

DATE: November 9th, 2020

DRB#: BR20-0600

ADDRESS: 48 E. Rivo Alto. Miami Beach, FL. 33139

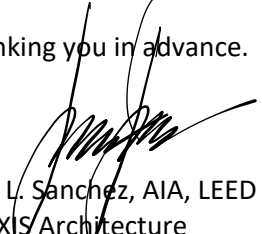
REFERENCE: Response to First Submittal DRB comments.

Dear Plan Reviewer,

Below, please find response to your recent comments.

We hope that this will help assist you in your review and ensure that all items have been addressed to your satisfaction.

Thanking you in advance.



Jose L. Sanchez, AIA, LEED AP
PRAXIS Architecture
AR0016966

ZONING COMMENTS

1. Stair leading to the garage at the ground floor counts in unit size.
 - **STAIRS HAVE BEEN ADDED TO THE UNIT SIZE CALCULATION. SEE SHEET A-1.0 & A-1.5.**
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- a) A-1.1 – pool and associated deck not allowed in front yard. Variance needed. Driveways and parking spaces parallel to the property line shall have a minimum setback of five feet from the property line – Dimension is illegible.
 - **VARIANCE IS BEING REQUESTED FOR EXISTING POOL ENCROACHING FRONT YARD.**
 - **DIMENSION TO DRIVEWAY HAS BEEN ADDED TO SITE PLAN. SIDE YARD AND REAR YARD OPEN SPACE HAS BEEN REVISED ACCORDINGLY. SEE SHEETS A-1.0, A-1.1, A-1.6.**
 - b) A-3.1 elevation lengths, overall and broken down.
 - **ADDITIONAL DIMENSIONS HAVE BEEN ADDED. SEE SHEET A-3.1**
 - c) A-3.2 Add elevation lengths, overall and broken down.
 - **ADDITIONAL DIMENSIONS HAVE BEEN ADDED. SEE SHEET A-3.2**
 - d) A-3.3 Add elevation lengths, overall and broken down.
 - **ADDITIONAL DIMENSIONS HAVE BEEN ADDED. SEE SHEET A-3.3**
 - e) A-3.4 Add elevation lengths, overall and broken down.
 - **ADDITIONAL DIMENSIONS HAVE BEEN ADDED. SEE SHEET A-3.4**
 - f) Add “FINAL SUBMITTAL” to front cover title for heightened clarity of reference for next deadline. Also drawings need to be dated.
 - **COVER SHEET HAS BEEN REVISED FOR FINAL SUBMITTAL.**
 - g) Add narrative response sheet.
 - **NARRATIVE FOR FIRST SUBMITTAL COMMENTS PROVIDED. ALSO PROVIDED BY LANDSCAPE ARCHITECT SEPARATELY.**
 - h) Variances #1 to reduce required setback for a pool and deck. Required: 20’-0” | Proposed 18’-8”.
 - **VARIANCE FOR EXISTING POOL SETBACK IS BEING REQUESTED. SEE SHEETS A-1.12.**
 - i) Waiver #1 side elevation two story greater than 60’ side facing street. Proposed 81’-6”.
 - **WAIVER FOR WALL LENGTH GREATER THAN 60 FT IS BEING REQUESTED. SEE SHEETS A-1.13.**