

# 200 South Pointe Drive

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Oche Miami, LLC – PB20-0392

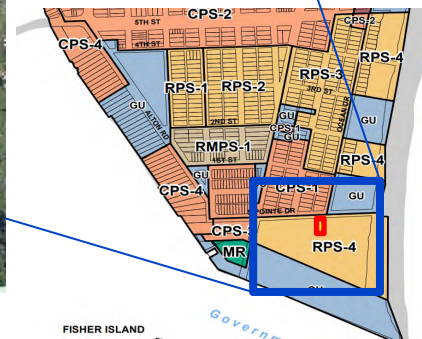
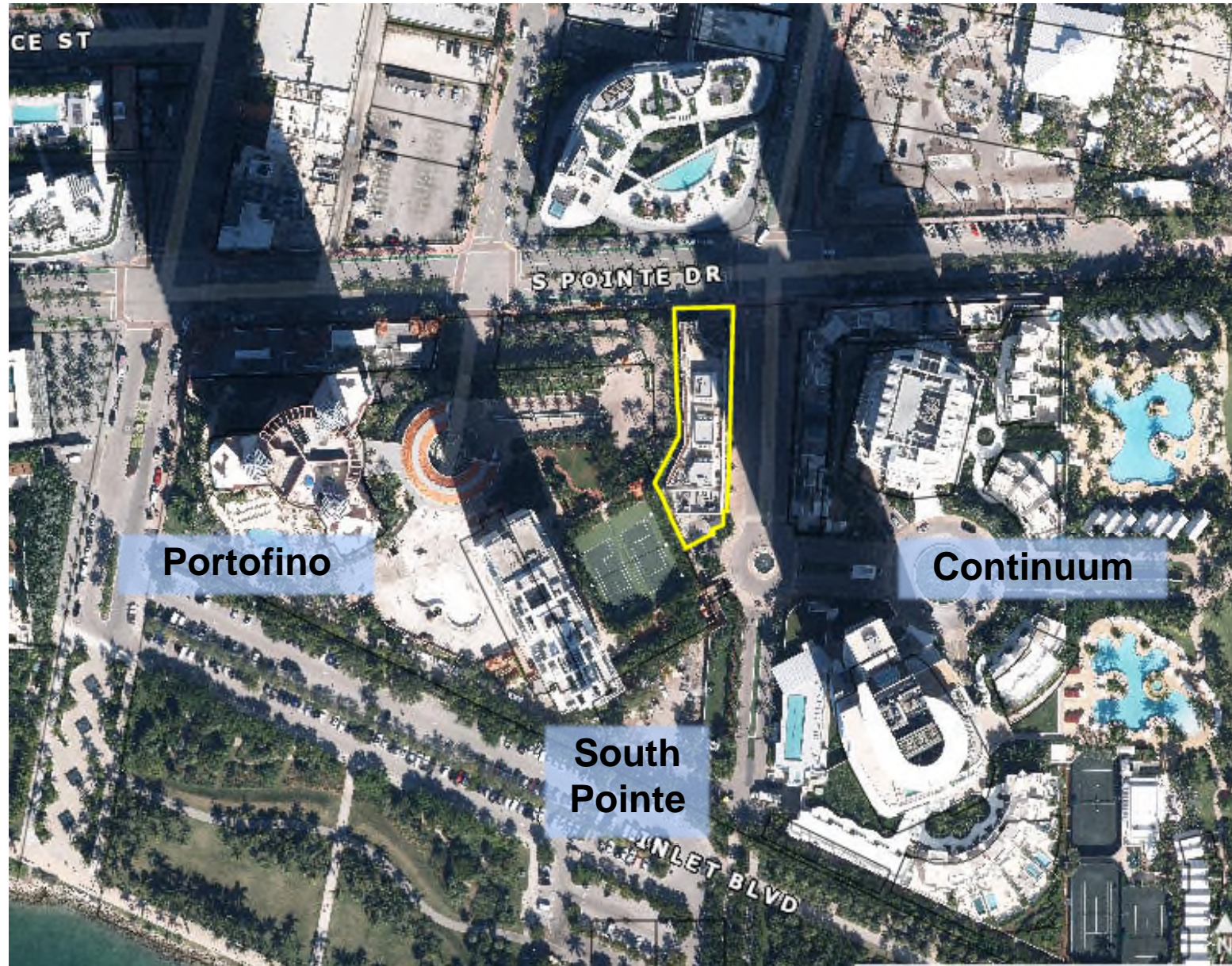
Miami Beach Planning Board

November 17, 2020



# Location

- **Neighborhood:**
  - South of Fifth
- **Zoning:**
  - R-PS4

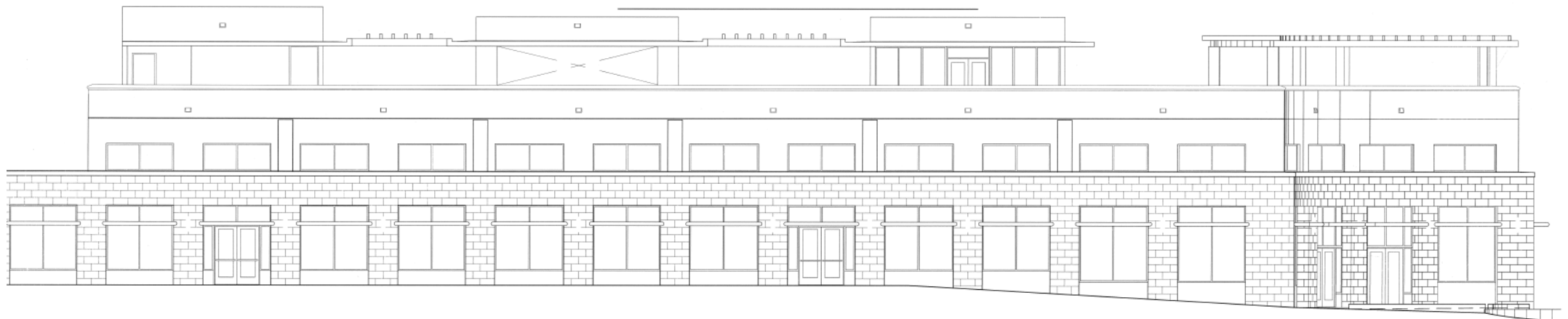




# Request

1. Approval of a Conditional Use Permit for a Neighborhood Impact Establishment to permit a 405 seat accessory restaurant at 200 South Pointe Drive;
2. Minor modifications of proposed conditions of approval 2(a)(iii) and 9.

## *CONTINUUM II* r e s t a u r a n t



# Property History

**2012: Constructed as 11,000 FT<sup>2</sup> accessory restaurant “shell” to Continuum II**

**2014-2015: CIBO Wine Bar becomes first and only tenant**

- Permitted to serve alcohol until 5AM
- Outdoor areas required to close by 12 AM
- Operated as legal non-conforming use
  - (400 seats – Approximately 175 rooftop; 225 interior)

**May 2019: CIBO closes**

- Property loses its legal nonconforming use status

**TRADE ADDRESS: 200 S POINTE DR**

Code	Certificate of Use/Occupation
000701	ALCOHOL BEV. (NO LATER THAN 5AM)
016400	RESTAURANT / BARS

CERTIFICATE OF USE	900
SQUARE FOOTAGE	400
# OF SEATS	400
OCCUPANCY LOAD	561
C_U # OF UNITS	400
ALC BEV, THROUGH 5AM	Y

Excerpt of Cibo BTR (2016)

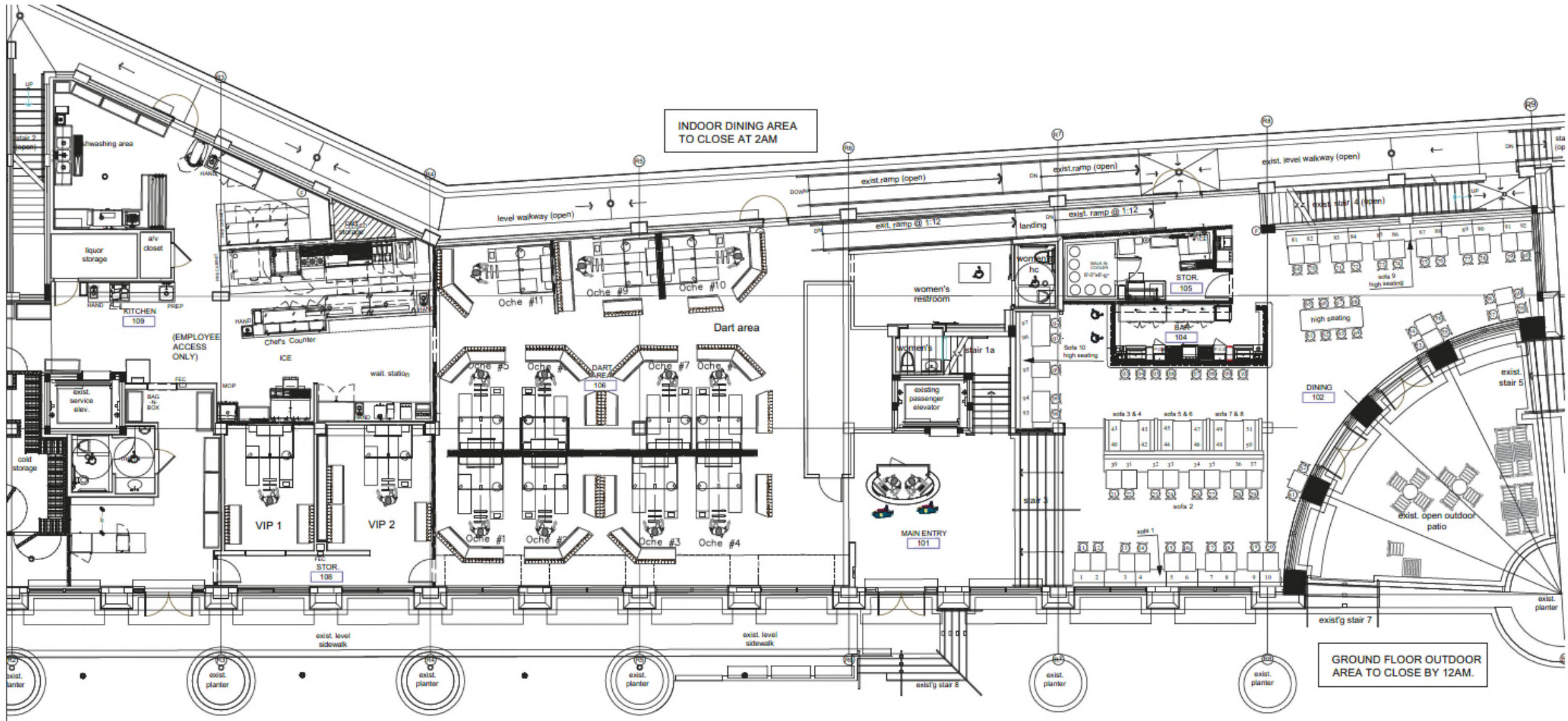
# Existing Conditions

- Vacant since May 2019
- Approximately 9,000 SF indoor dining space
- Approximately 5,000 SF roof terrace





# Floor Plan – Ground Floor



199 total seats (89 gaming area, 110 restaurant area)  
Approx. 399-person occupant load

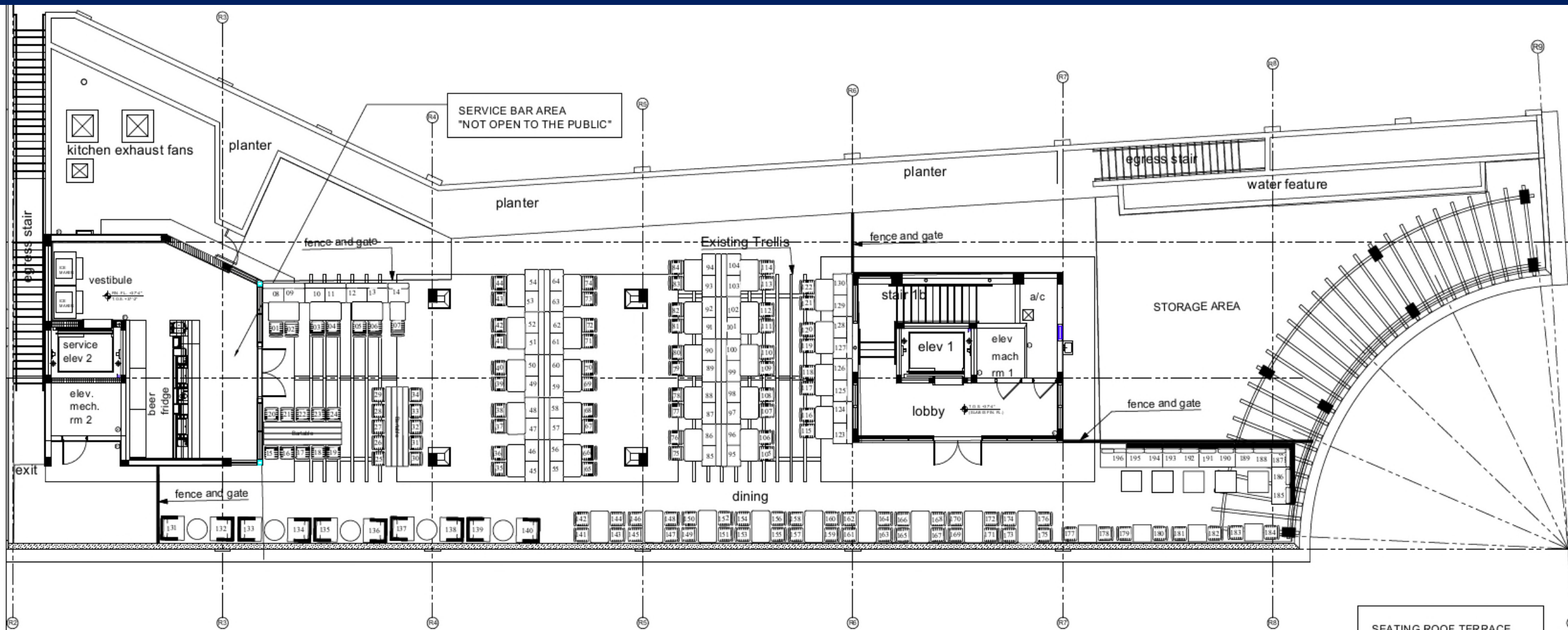


# Oche Concept



Oche - Oslo, Norway Location

# Floor Plan – Proposed Revised Rooftop Plan



SEATING ROOF TERRACE	
TOTAL	196
OCCUPANT LOAD = 250 PLP	
OCCUPANCY LOAD LIMITED TO 250 PERSON	
ROOF TERRACE DINING TO CLOSE BY 8PM	



# Modification of Proposed Conditions

- **Condition 2(a)(iii)**

- FROM: The maximum occupancy load for the ground floor shall not exceed 399, or such lesser number as approved by the Fire Marshall.
- TO: The maximum occupancy load for the ground floor shall not exceed the number of patrons approved by the Fire Marshall.

OR

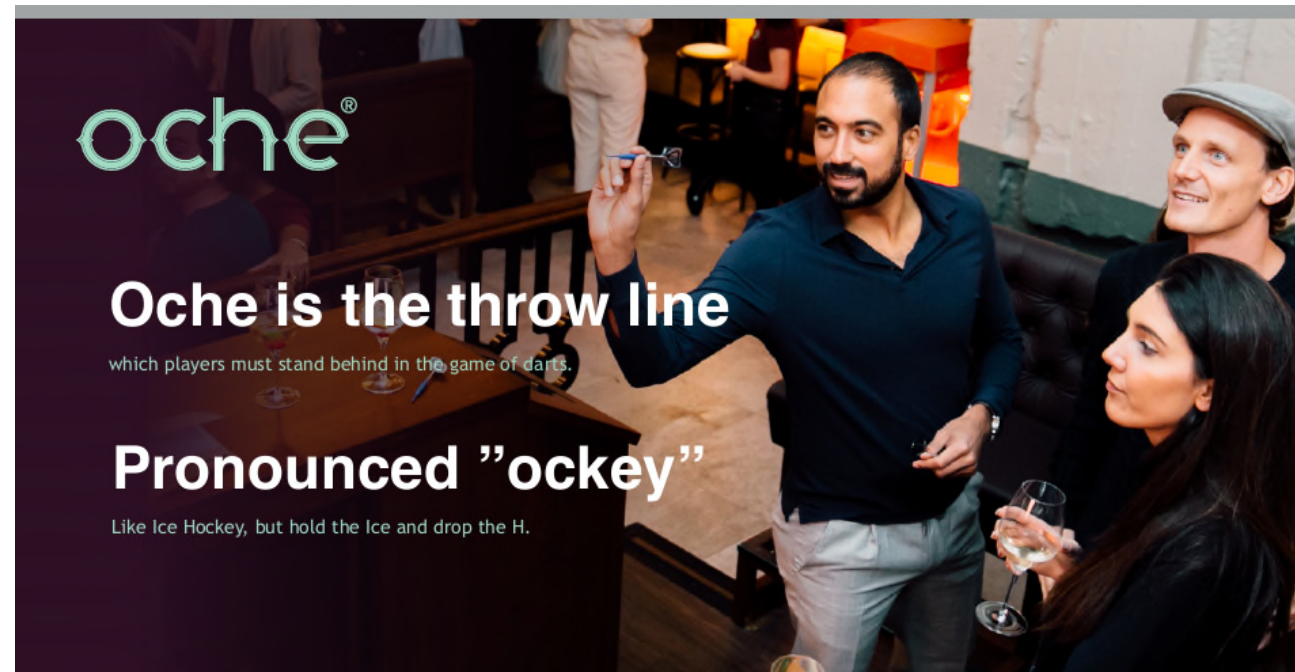
- TO: The maximum occupancy load for the ground floor shall not exceed 450, or such lesser number as approved by the Fire Marshall.

- **Condition 9**

- FROM: Substantial modifications to the plans submitted and approved as part of the application, as determined by the Planning Director or designee, may require the applicant to return to the Board for approval.
- TO: Substantial modifications to the plans submitted and approved as part of the application, as determined by the Planning Director or designee, other than modification to the roof top plan required to comply with Condition 2(c), may require the applicant to return to the Board for approval.

Thank you!!

Team available for questions.





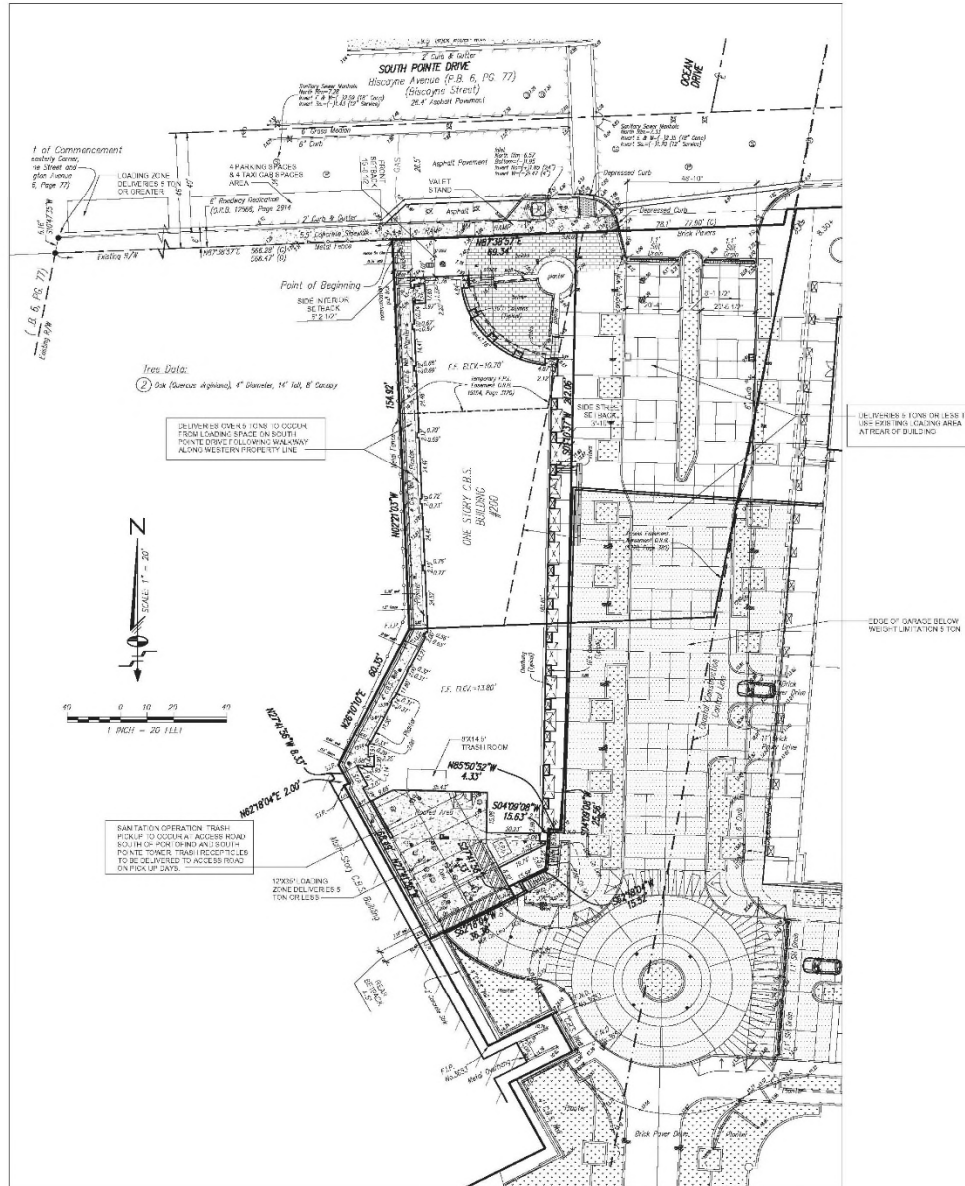
# Comparison: Cibo Wine Bar vs. Oche Miami

Condition	CIBO	Proposed Legislation
Rooftop hours of operation	12 AM	8 PM
Rooftop occupancy	330 persons (max. per Fire Code)	250 persons
Seat Count	400 seats (177 rooftop; 223 interior)	405 seats (206 rooftop; 199 interior)
Total Seats	400	405
Special events permits	8 per year (3 in December)	None permitted
Interior hours of operation	5 AM	2 AM
Entertainment (live music, performances, etc.)	Permitted	Not permitted
Ground floor outdoor area	12 AM	12 AM

# Site Plan

S:\Projects\1100-0140 - Midtown - 09/29/2020\1100-0140 - Midtown - 09/29/2020\Drawings\0119 - Current\Zoning Application Set\0119\_A21 - Proposed\_Site\_Plan.dwg

09/29/2020 11:00:30 AM midtown



2 SITE PLAN  
SCALE: 1" = 20'-0"

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	200 SOUTH POINTE DR. MIAMI BEACH, FLORIDA 33139			
2	Board and file numbers:	PB20-0392			
3	Folio number(s):	02-4210-000-0134			
4	Year constructed:	2014	Zoning District:	R-PS1	
5	Base Flood Elevation:	AE-8.0	Grade value in NGVD:	7.27'	
6	Adjusted grade (Flood+Grade/2):	'	Lot Area (SF):	17,861 (0.41 acres)	
7	Lot width (FT):	69.34'	Lot Depth (FT):	277.67'	
8	Minimum Unit Size(SF):	N/A	Average Unit Size:	N/A	
9	Existing use:	ACCESSORY RESTAURANT (ASSEMBLY - GROUP A2)	Proposed use:	ACCESSORY RESTAURANT (ASSEMBLY - GROUP A2)	
10	Height:	80'	43'-3"		
11	Number of Stories:	8	2	SAME AS EXISTING	
12	FAR:	2	1.5	SAME AS EXISTING	
13	Gross square footage:	-	11,933	SAME AS EXISTING	
	Setbacks	Required	Existing	Proposed	Deficiencies
14	Front Setback:	5'-0"	15'-0-1/2"	SAME AS EXISTING	
15	Side / Interior Setback:	7'-6"	6'-2"	SAME AS EXISTING	
16	Left Side Setback:	N/A	N/A	SAME AS EXISTING	
17	Right Side Setback:	5'-0"	3'-10"	SAME AS EXISTING	
18	Rear Setback:	27'-1"	4'-5"	SAME AS EXISTING	
	Parking	Required	Existing	Proposed	Deficiencies
19	Parking District: No. 1				
20	Total # of parking spaces:	1 SPACE PER 4 SEATS	0	120 VALET SPACES	0
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
21	Type of use:			RESTAURANT	
22	Total # of seats:			395	
23	Total # of seats per venue (Provide a separate chart for a breakdown calculation)			N/A	
24	Total occupant load:			795	
25	Occupant load per venue (Provide a separate chart for a breakdown calculation)			N/A	
26	Is this a contributing building?			Yes <input checked="" type="radio"/> No <input type="radio"/>	
27	Located within a Local Historic District?			Yes <input checked="" type="radio"/> No <input type="radio"/>	



1 VALET CIRCULATION DIAGRAM  
SCALE: N.T.S.

APPROVED FOR RELEASE - 1/1/2010  
**OCHÉ MIAMI RESTAURANT**  
200 SOUTH POINTE DR.  
MIAMI BEACH, FLORIDA 33139



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY JAMES M. WILLIAMS ON THE DATE INDICATED TO THE STATE USING A P.A.A. AUTHENTICATION CODE:  
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PROJECT SHEET: 07/25/2020  
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REVISIONS:

SITE PLAN

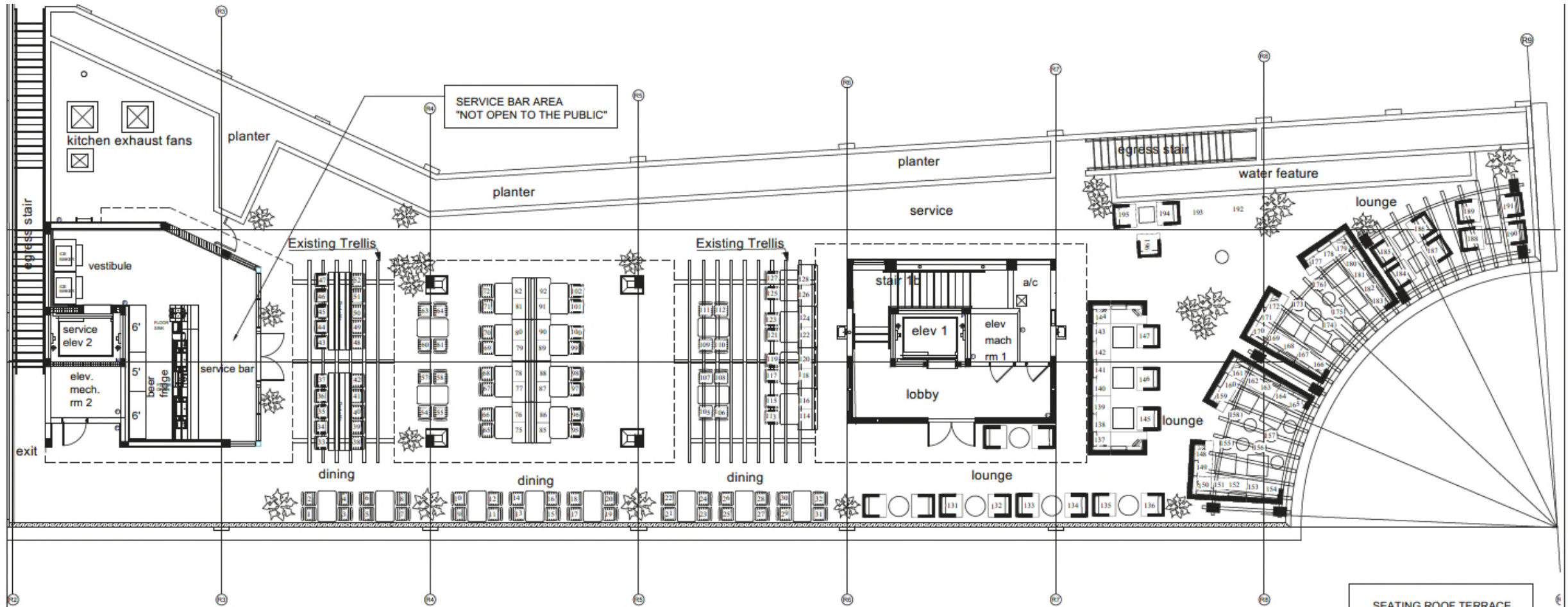
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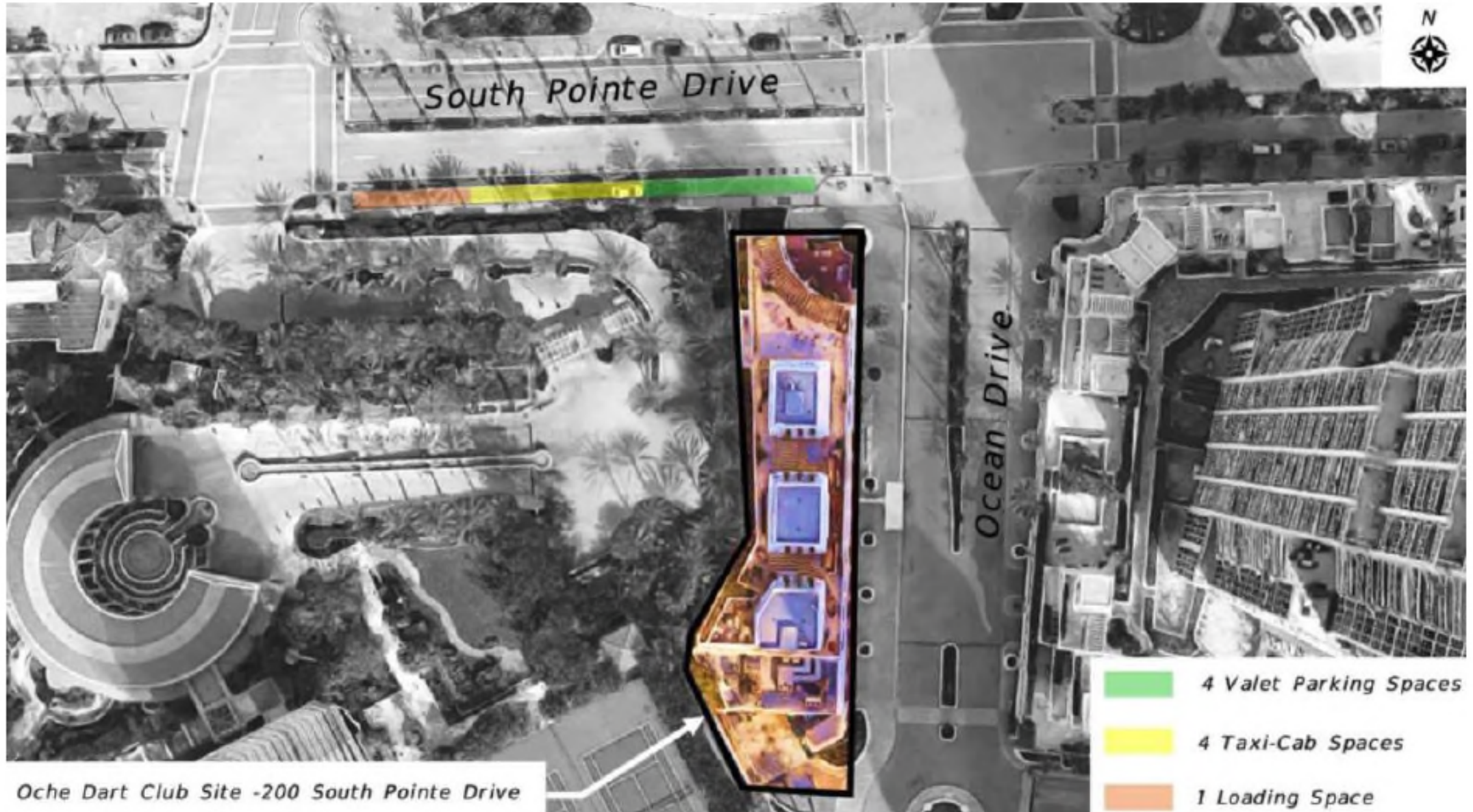
# Submitted Rooftop Floor Plan



SEATING ROOF TERRACE	
DINING	1 - 128
LOUNGE	129- 196
<hr/>	
TOTAL	196
*CONGREGATION OF STANDING PATRONS PROHIBITED. NO MORE THAN 250 PERSONS PERMITTED.*	
ROOF TERRACE DINING TO CLOSE BY 8PM	

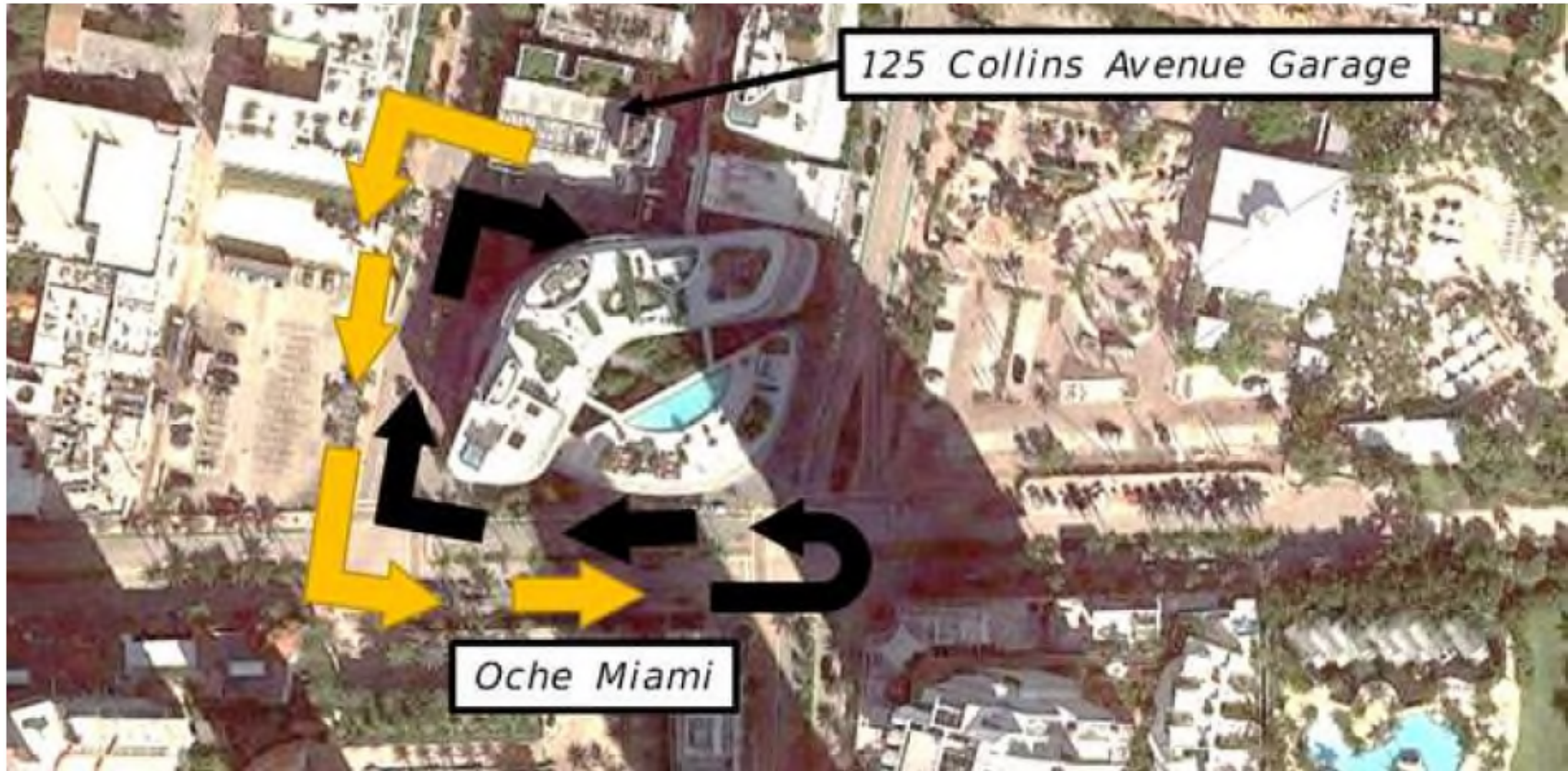


# Parking Plan





# Valet Operations



# RPS-4 District Amendment

Sec. 142-693

General Use Category	R-PS 1, 2	R-PS 3, 4
Neighborhood impact establishments	N	N However, in the R-PS4 district, this use is permitted, as an accessory use in oceanfront hotels with 250 or more hotel units, as a conditional use. Access to the establishment entrance shall be only from the interior lobby of the hotel and not from the street. <u>In addition, in the R-PS-4 district this use is also permitted as an accessory use to an oceanfront apartment building with more than 300 units that is adjacent to a park, as a conditional use, provided that the accessory use is located in a separate building from the primary use with a minimum square footage of 8,000 square feet.</u>
Accessory	P* Alcoholic beverage establishments pursuant to the regulations set forth in chapter 6 are prohibited in the RPS-1 district, unless otherwise specified.	P*

P – Main permitted use    C – Conditional use    N – Not permitted

(iv) Oceanfront apartment buildings in the R-PS-4 district. Accessory uses approved as a conditional use to oceanfront apartment buildings with more than 300 units, located adjacent to a park and in a separate building from the primary use with a minimum square footage of 8,000 square feet shall be permitted subject to the following restrictions:

- a. A maximum patron-occupant load of no more than 250 individuals located on an open level above the ground floor. The patron-occupant load shall be determined by the Fire Marshall;
- b. The open level above the ground floor shall not be occupied past 8:00 PM;
- c. Outdoor music and television sets, whether amplified or nonamplified, shall be prohibited in open level above the ground floor;
- d. Outdoor bar counters shall be prohibited;
- e. Special event permits are prohibited;
- f. Notwithstanding the prohibition set forth in 142-693(i)(2), alcoholic beverages are permitted in this open level above the ground floor permitted by this subsection until 8:00 PM; and
- g. Any open area above the ground floor shall only be open when the restaurant is open serving full meals.
- h. With regard to ground floor outdoor areas the following restrictions shall apply:
  - i. Outdoor bar counters shall be prohibited;
  - ii. There shall be no issuance of any special event permit for this area;
  - iii. This area shall not be occupied past 12:00 AM midnight.
- i. With regard to the interior area of this separate accessory use building, as defined herein, the following restrictions shall apply:
  - i. The area shall not be occupied past 2:00 AM;
  - ii. There shall be no issuance of any special event permit for this area.