

# THE PALACE BAR & RESTAURANT

1052 OCEAN DRIVE, MIAMI BEACH, FLORIDA

FINAL SUBMISSION  
PLANNING BOARD  
SEPTEMBER 21<sup>ST</sup>, 2020

PROJECT:

**PALACE**  
EVERY QUEEN NEEDS A PALACE  
BAR & RESTAURANT

1052 OCEAN DRIVE  
UNIT CUC100  
MIAMI BEACH  
FLORIDA

DRAWING:

COVER  
PAGE



## SCOPE OF WORK

- **CONDITIONAL USE PERMIT FOR A NEIGHBORHOOD IMPACT ESTABLISHMENT AND AN OPEN AIR/OUTDOOR/ROOF TOP ENTERTAINMENT ESTABLISHMENT.**

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LAWRENCE E. POWERS

# MAP OF SURVEY

SUBJECT ADDRESS:  
**1052 OCEAN DR  
MIAMI BEACH, FL 33139**

TYPE OF SURVEY: AS-BUILT  
PREPARED FOR: PALACE BAR LLC

CERTIFIED TO:  
A) PALACE BAR LLC  
B)  
C)

PROJECT #: 1052OCEA  
RECERTIFIED & AMENDED NOV. 15, 2017  
ORG. FIELD SURVEYED: MAY 7, 2015  
DATE DRAWN: MAY 19, 2015  
DATE SIGNED: MAY 20, 2015  
REVISED 7/27/2016

FLOOD ZONE: AE BASE FLOOD ELEV. 8'  
(NAVD 88)

FEMA FIRM MAP # 12086C0319L

DATED SEPT 11, 2009  
PANEL # 0319 SUFFIX L  
COMMUNITY #: 120651

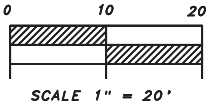
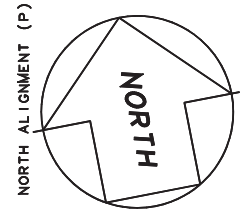
LAT: 25°46'52.6"N LONG: 80°07'50.4"W

FOLIO #: 02-4203-302-0001 (REFERENCE)  
LOT SIZE: 13000 +/- SQFT  
LAND USE: MIXED USE ENTERTAINMENT 6501 COMMERCIAL

### LEGAL DESCRIPTION SUPPLIED:

LOTS 2 AND 3 BLOCK 15 OCEAN BEACH FLA. ADDITION No. 2 AS PER MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 2 AT PAGE 56 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY FLORIDA.

BEARING STRUCTURE PER THE STRAND CONDO ORB 23668-2131



### GENERAL NOTES:

ADDITIONS OR DELETIONS TO THIS SURVEY MAP OR REPORT OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY.

RE-USE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED WITHOUT WRITTEN CONSENT FROM THE ENTITY IN WHICH IT WAS PREPARED FOR, WILL BE AT THE RE-USERS SOLE RISK AND WITHOUT LIABILITY TO THE SIGNING SURVEYORS OR ITS FIRM.

NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE WHOM THE SURVEY WAS PREPARED FOR.

THIS MAP CONSIST OF 1 SHEET(S). WHEN MULTIPLE SHEETS COMPRISE THE PLAT OR MAP OF SURVEY NO SINGLE SHEET SHALL BE CONSIDERED FULL AND COMPLETE WITHOUT THE OTHER/S.

LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS SURVEYOR FOR EASEMENTS AND/OR RIGHTS OF WAY OF RECORD.

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATION SHOWN HEREON DOES NOT EXTEND TO ANY UNNAMED PARTY.

THIS IS AN ABOVE GROUND SURVEY AND LOCATIONS ARE LIMITED TO VISIBLE IMPROVEMENTS ONLY. NO IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN. THERE MAY BE ADDITIONAL ABOVE GROUND AND/OR UNDERGROUND UTILITIES / IMPROVEMENTS NOT SHOWN ON THIS SURVEY.

NO ABSTRACT OF TITLE, TITLE COMMITMENT, NOR RESULTS OF TITLE SEARCHES WERE FURNISHED TO THIS SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT WOULD AFFECT THIS PARCEL.

MEASUREMENTS SHOWN HEREON ARE IN U.S. SURVEY FEET AND DECIMALS THEREOF.

THE EXISTING MONUMENTATION AS SHOWN HEREON HAS BEEN HELD TO DEFINE THE PLAT AND RECORD BOUNDARY TITLES DESCRIPTIONS. SAID MONUMENTATION HAS BEEN DETERMINED TO BE THE BEST ACCEPTABLE EVIDENCE OF THE DEEDING INTENT OF THOSE AREAS INVOLVED. SAID EXISTING MONUMENTATION MAY OR MAY NOT HARMONIZE WITH STANDARD SECTIONALIZED LANDS LINES, OTHER RECORD PLAT BOUNDARIES OR LIMITS AND OTHER FEE TITLE DESCRIPTIONS ADJACENT TO THE AREA SHOWN HEREON.

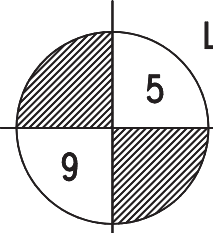
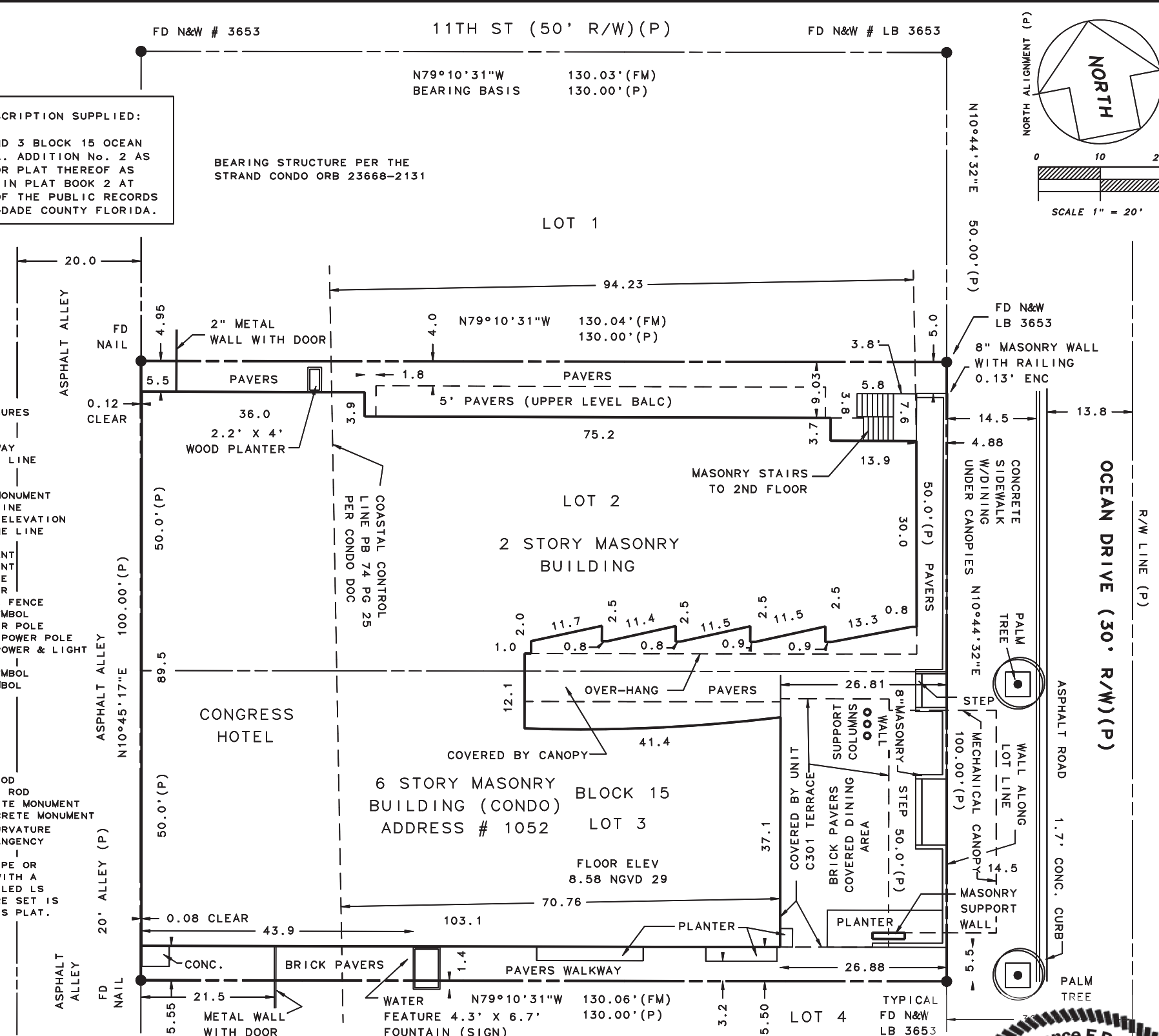
THERE MAY BE ADDITIONAL RESTRICTIONS AND/OR OTHER MATTERS THAT ARE NOT SHOWN ON THIS PLAT OF SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

THE TERM CERTIFIED AS USED ON THIS PLAT, IS UNDERSTOOD TO BE THE PROFESSIONAL OPINION OF THIS SURVEYOR WHICH IS FORMULATED ON HIS BEST KNOWLEDGE AND INFORMATION, AND AS SUCH, IT DOES NOT CONSTITUTE A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED. THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.

### LEGEND:

- (FM) FIELD MEASURES
- (D) DEED
- (P) PLAT
- (R/W) RIGHT-OF-WAY
- (NR) NON RADIAL LINE
- (IP) IRON PIPE
- (I/R) IRON ROD
- (CM) CONCRETE MONUMENT
- E- ELECTRIC LINE
- (4.53) DENOTES ELEVATION
- T- TELEPHONE LINE
- X- FENCE
- (FH) FIRE HYDRANT
- ENC ENCROACHMENT
- (WV) WATER VAVLE
- (WM) WATER METER
- (CLF) CHAIN LINK FENCE
- " SECONDS SYMBOL
- (WPP) WOOD POWER POLE
- (CPP) CONCRETE POWER POLE
- FP&L FLORIDA POWER & LIGHT
- ESM'T EASEMENT
- MINUTE SYMBOL
- DEGREES SYMBOL
- W WEST
- GUY ANCHOR
- EAST
- SOUTH
- BLDG BUILDING
- N NORTH
- (FD) FOUND
- SET IRON ROD
- FOUND IRON ROD
- SET CONCRETE MONUMENT
- FOUND CONCRETE MONUMENT
- (PC) POINT OF CURVATURE
- (PT) POINT OF TANGENCY

A 1 INCH IRON PIPE OR 5/8 INCH REBAR WITH A PLASTIC CAP LABELED LS 5505 IS SET WHERE SET IS INDICATED ON THIS PLAT.



## LAWRENCE E. POWERS

P. O. BOX 48026  
ST. PETERSBURG, FL 33743-8026  
P: 727-537-9895  
E: SURVEYINGSTPETE@GMAIL.COM  
WWW.SURVEYINGSTPETE.COM

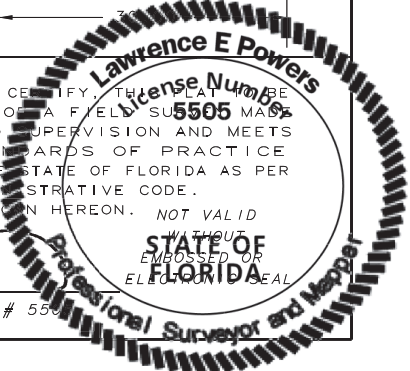
4996 MIRAMAR DR UNIT 6207 ST PETERSBURG, FL 33708

### AS-BUILT SURVEY

DATE: MAY 20, 2015 PROJECT #: 1052OCEA  
RECERTIFIED AND AMENDED NOV. 15, 2017  
PREPARED FOR THE SOLE AND EXCLUSIVE  
USE FOR ENTERTAINMENT PERMIT APPLICATION

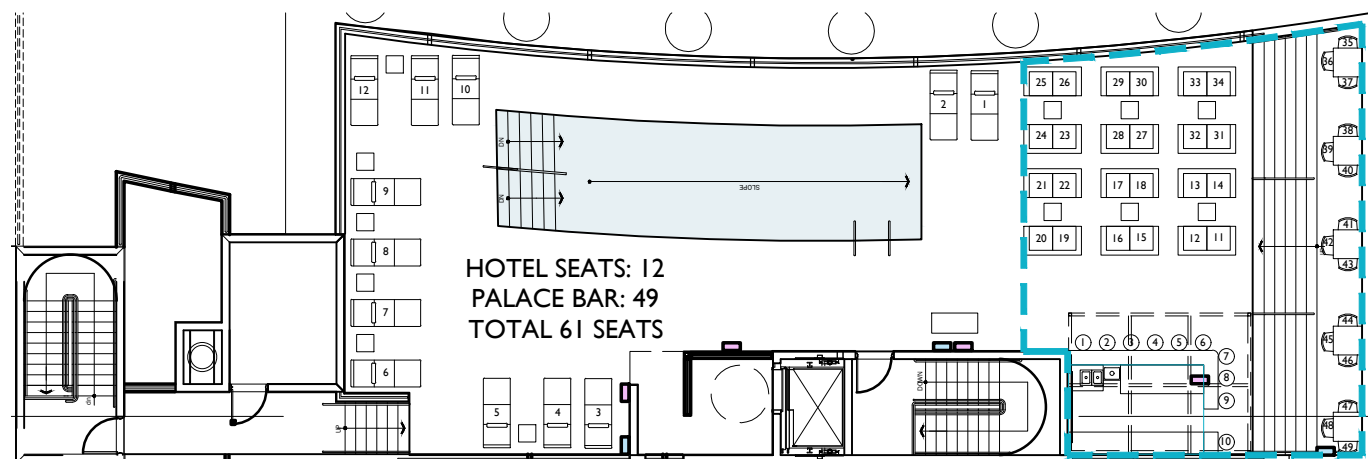
I THE UNDERSIGNED HEREBY CERTIFY THAT THE SURVEY MAP IS A TRUE REPRESENTATION OF THE SURVEY MADE UNDER MY DIRECTION AND SUPERVISION AND MEETS OR EXCEEDS THE STANDARDS OF PRACTICE FOR RECORD SURVEYS IN THE STATE OF FLORIDA AS PER 5J-17.051, FLORIDA ADMINISTRATIVE CODE. SUBJECT TO ALL NOTES SHOWN HEREON. NOT VALID WITHOUT SIGNATURE AND SEAL

LAWRENCE E. POWERS LS # 5505



## INDEX

A0.00	COVER SHEET
A0.01	DATA&INDEX
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A0.07	SITE PHOTOS
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A2.01	LIFE SAFETY LEVEL I PLAN
A2.06	LIFE SAFETY LEVEL 6 PLAN
A3.00	EXISTING ELEVATIONS



PALACE BAR AREA

PARKING CALCULATION DIAGRAM  
LEVEL 6 POOL DECK N.T.S.

### Parking Calculations

Proposed Rooftop seats	Ratio	Provided
49 seats	1 space per 4 seats - 1 seat / 2 hotel units (87 hotel rooms/2 = 43.5 seats) = 49 seats - 43.5 seats = 5.5 seats - 12 licensed seats in BTR = 6.5 seat credit Required = 0	0

## DATA

### MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	1052 OCEAN DRIVE, MIAMI BEACH, FL 33139		September 21st, 2020
2	Board and File numbers:			
3	Folio number(s):	02-4203-302-0001		
4	Year constructed:	2006	Zoning District:	MXE
5	Base Flood Elevation:	8'-0" NGVD	Grade Value in NGVD:	5.0 NGVD
6	Adjusted grade (Flood+Grade/2)	N/A	Lot Area:	13,000 SF
7	Lot Width	130'-0"	Lot Depth:	100'-0"
8	Minimum Unit Size	N/A	Average Unit Size:	N/A
9	Existing User	RESTAURANT	Proposed Use:	RESTAURANT

		Maximum	Existing	Proposed	Deficiencies
10	Height	50'-0"	N/A	N/A	
11	Number of Stories	5 STORIES	N/A	5 STORIES	-
12	FAR	2	N/A	N/A	-
13	FLOOR AREA Square Footage	4,968 SF	N/A	4,968 SF	-
14	Square Footage by use	N/A	N/A	N/A	-
15	Number of Units Residential	N/A	N/A	N/A	-
16	Number of Units Hotel	N/A	N/A	N/A	-
17	Number of Seats	210	147	147	-
18	Occupancy Load	224	224	219	-

	Setbacks	Required	Existing	Proposed	Deficiencies
<b>At Grade Parking:</b>					
19	Front Setback (SOUTH):	0'-0"	N/A	N/A	-
20	Rear Setback (NORTH):	5'-0"	N/A	5'-0"	-
21	Side Setback facing Street (EAST):	0'-0"	N/A	9'-3"	-
22	Side Setback (WEST):	0'-0"	N/A	0'-0"	-

	Parking	Required	Existing	Proposed	Deficiencies
31	Parking District	1	1	1	-
32	Total # of parking spaces	N/A	N/A	N/A	-
33	# of parking spaces required	N/A	N/A	N/A	-
34	Parking Space Dimensions	N/A	N/A	N/A	-
35	Parking Space Configurations (45°, 60°, 90°, Parallel)	N/A	N/A	N/A	-
36	ADA Spaces	N/A	N/A	N/A	-
37	Tandem Spaces	N/A	N/A	N/A	-
38	Drive Aisle Width	N/A	N/A	N/A	-
39	Valet Drop off and pick up	8'-0"	N/A	8'-0"	-
40	Loading zones and Trash collection areas	ALLEY	0	ALLEY	-
41	Bike Racks (15% of required parking)	N/A	N/A	N/A	-

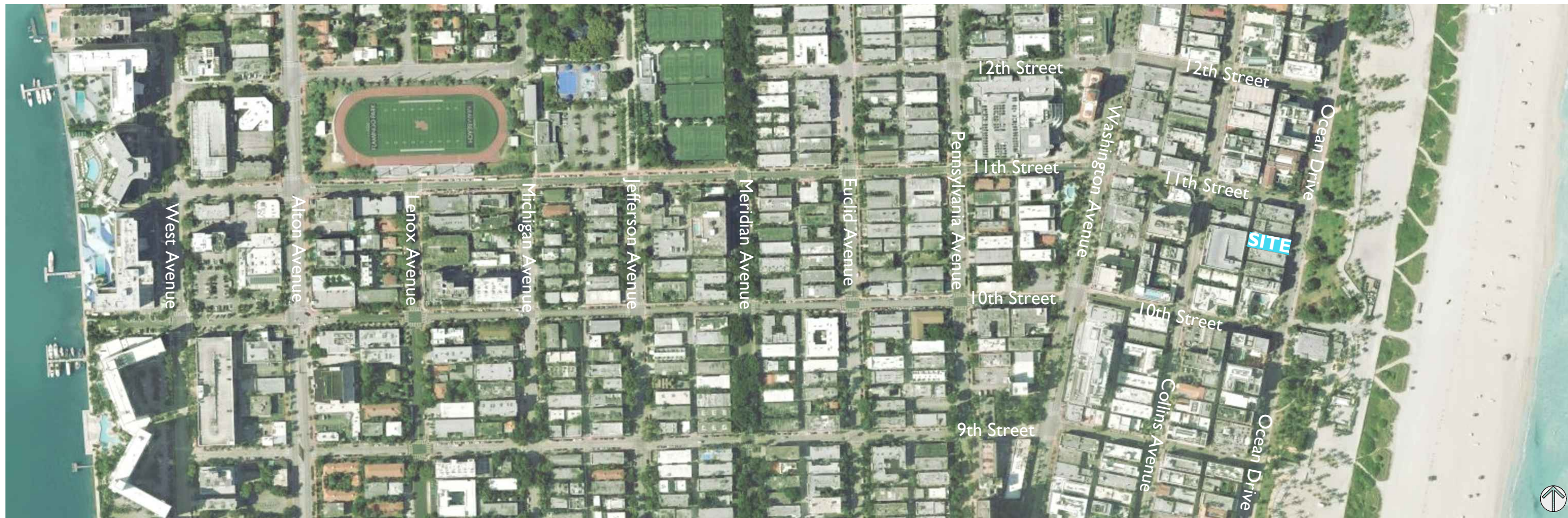
	Restaurants, Cafes, Bars, Lounges,	Required	Existing	Proposed	Deficiencies
42	Type of use	N/A	RESTAURANT	RESTAURANT	-
43	Total # of Seats	N/A	173	355	-
44	Total # of Seats per venue	N/A	N/A	N/A	-
45	Total Occupant Content	N/A	186	315	-
46	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	SEE PLAN A2.01 AND A2.06	SEE PLAN A2.01 AND A2.06	-

47	Is this a contributing building?	YES
48	Located within a Local Historic District?	YES

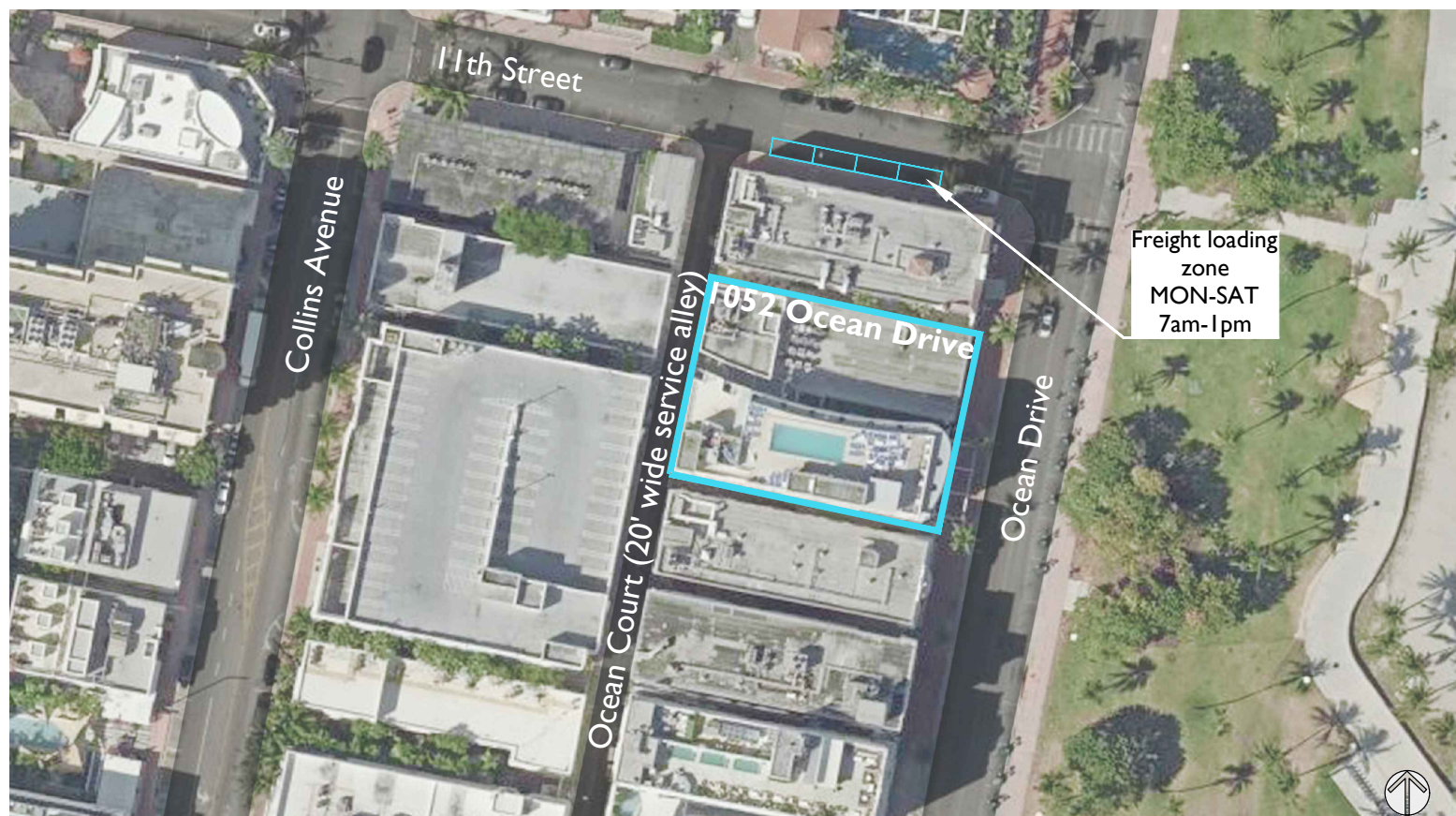
Notes: If not applicable write N/A

All other data information may be required and presented like the above format.

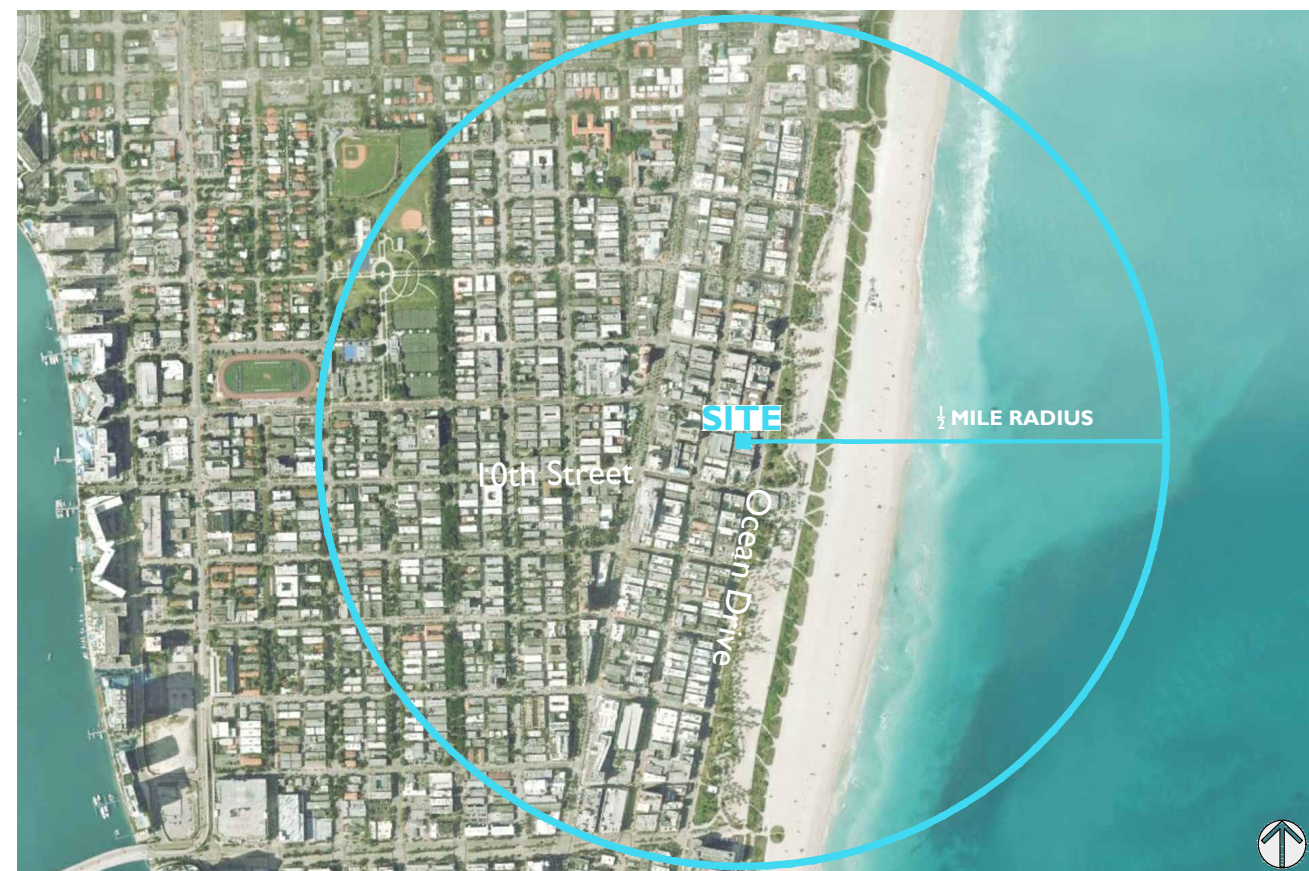
\* SEE PARKING REQUIREMENTS (A)



AERIAL OF 10TH STREET



AERIAL FACING WEST



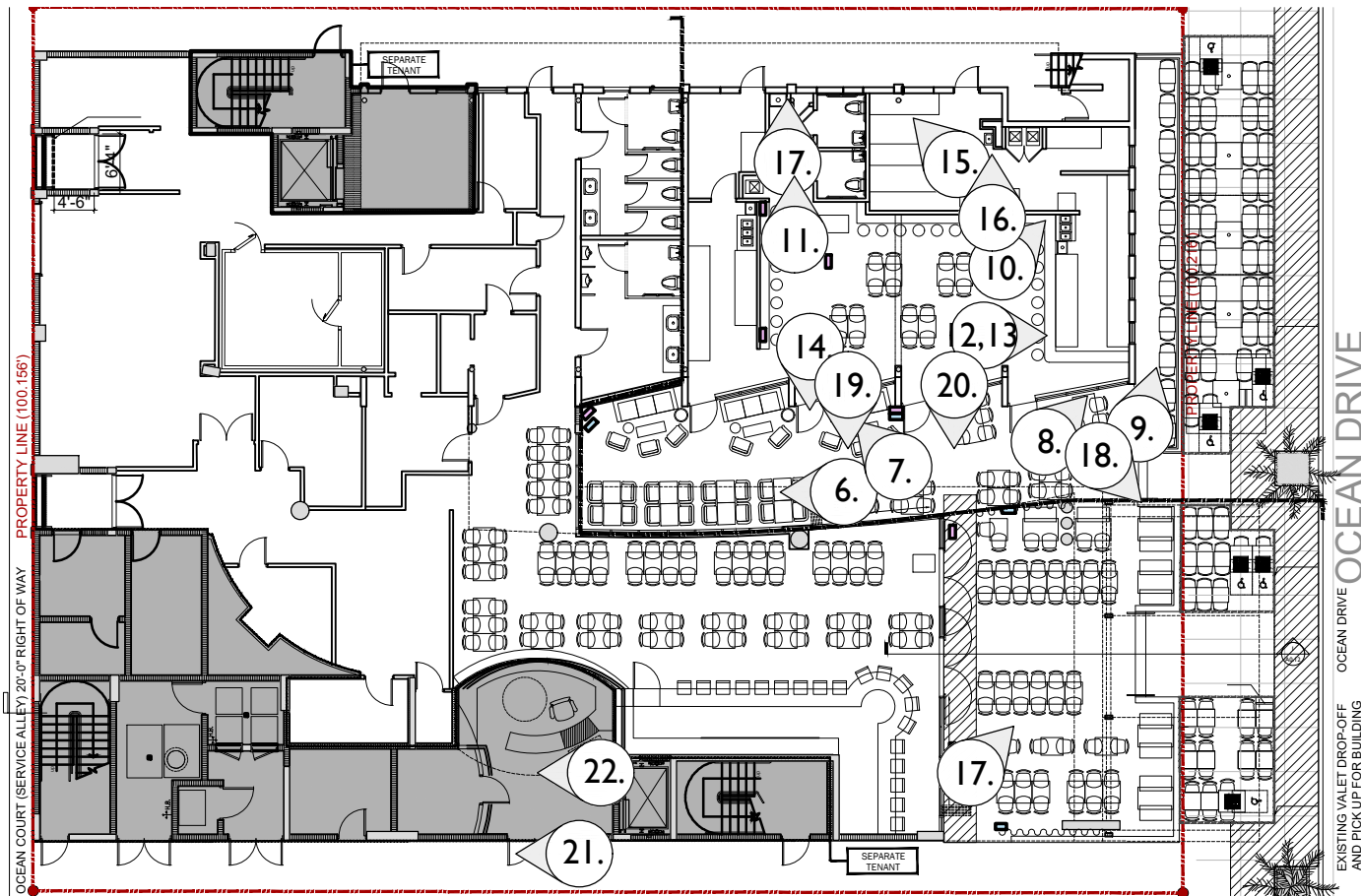
AERIAL OF 1/2 MILE RADIUS

PROJECT:  
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EVERY QUEEN NEEDS A PALACE  
BAR & RESTAURANT

1052 OCEAN DRIVE  
UNIT CUC100  
MIAMI BEACH  
FLORIDA

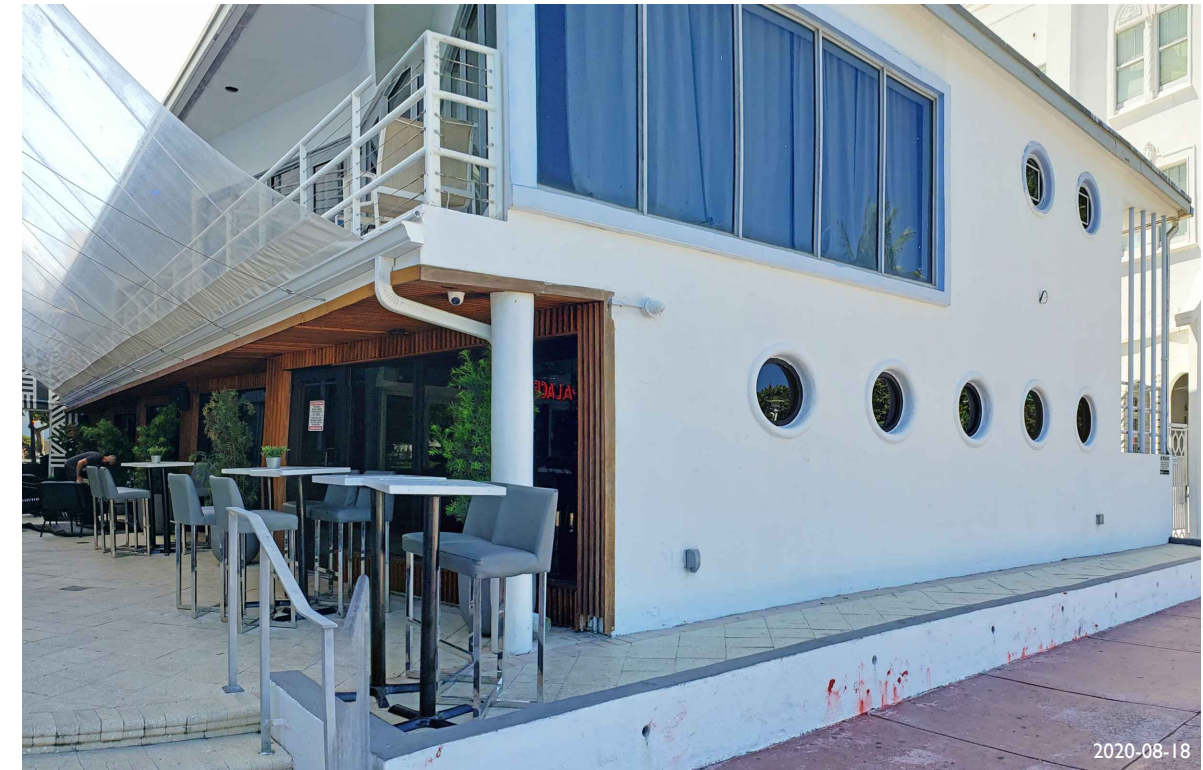
DRAWING:

OCEAN COURT 20'-0" RIGHT OF WAY



OCEAN DRIVE

EXISTING VALET DROP-OFF AND PICK-UP FOR BUILDING



1. VIEW OF SIDEWALK ON FRONT OF PALACE ADDITION



PHOTO LOCATIONS



2. VIEW OF EXISTING SIDEWALK SEATING

SITE  
PHOTOGRAPHY

JENNIFER McCONNAY FLORIDA LIC# AR93044

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CHECK: JMcG

DATE: 09/21/2020

SHEET NUMBER



2020-08-18

3. PANORAMIC VIEW OF PROPERTY



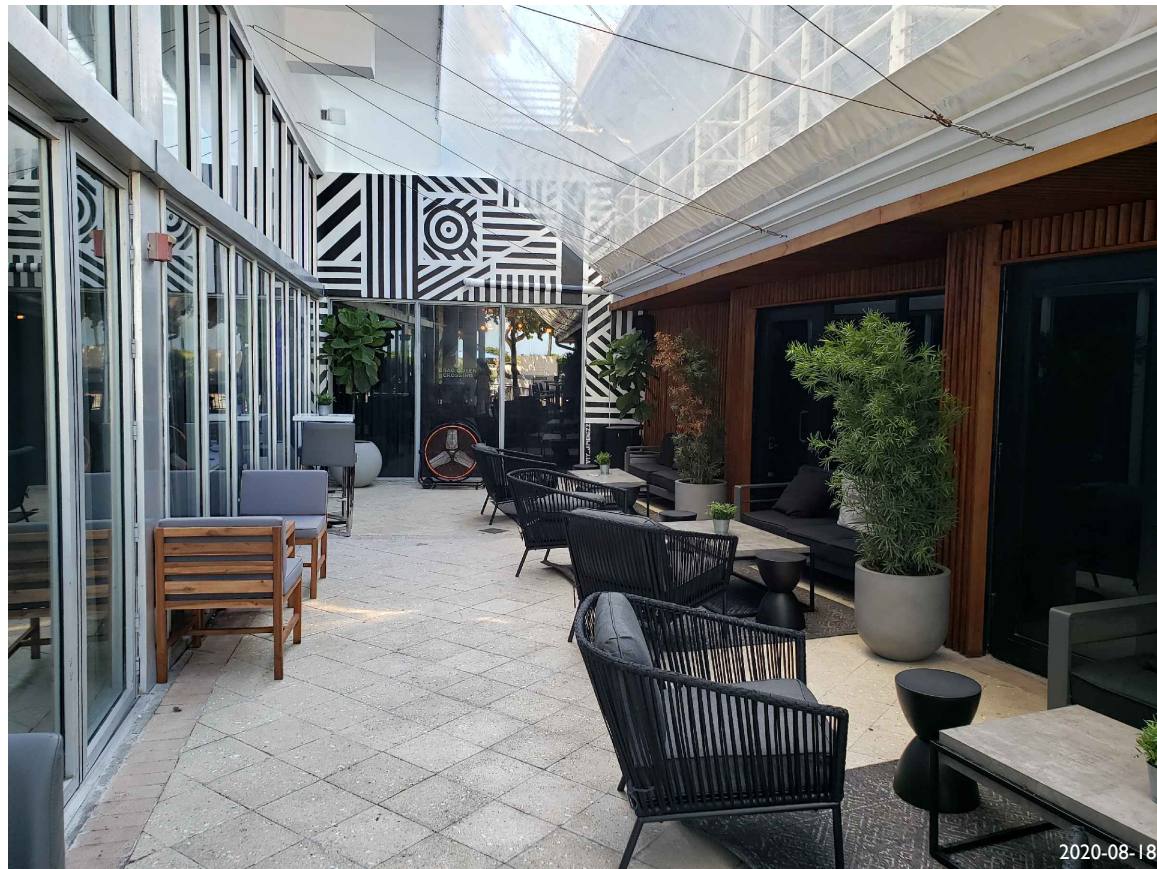
2020-08-18

5. CANOPIES ON SITE



2020-08-18

4. PEDESTRIAN PATH TOWARDS THE LOBBY



2020-08-18  
6. COURTYARD SPACE



2020-08-18  
7. COURTYARD SEATING



2020-08-18  
8. HIGH-TOP SEATING IN THE COURTYARD



2017-08-11  
2020-08-18  
9. VIEW TOWARDS TERRACE SEATING



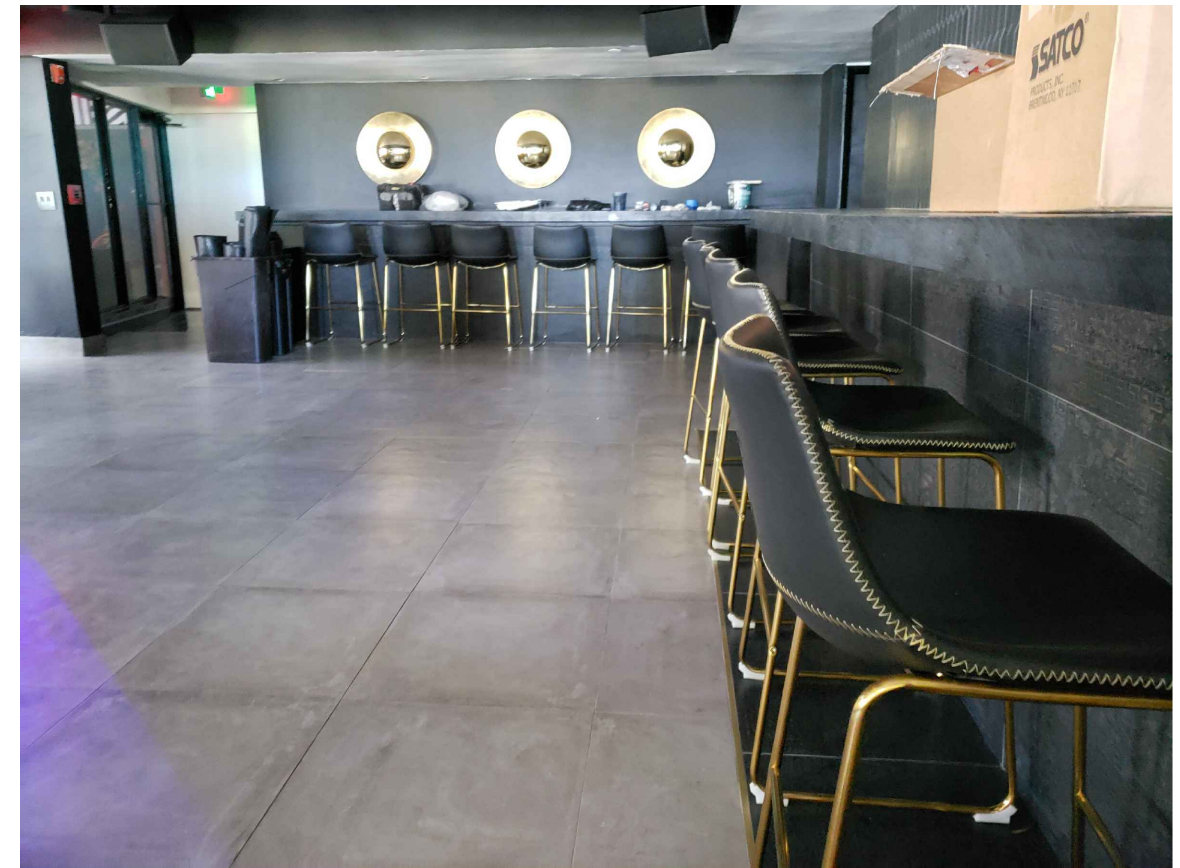
10. VIEW OF SURROUNDING BUILDINGS FACING WEST ACROSS OCEAN DRIVE



11. VIEW OF SURROUNDING BUILDINGS FACING WEST ACROSS OCEAN DRIVE



12. VIEW OF SURROUNDING BUILDINGS FACING WEST ACROSS OCEAN DRIVE



13. VIEW OF SURROUNDING BUILDINGS FACING WEST ACROSS OCEAN DRIVE

2018-08-18

DRAWING:

SITE  
PHOTOGRAPHY

JENNIFER McCONNAY FLORIDA LIC# AR93044

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DATE: 09/21/2020

SHEET NUMBER

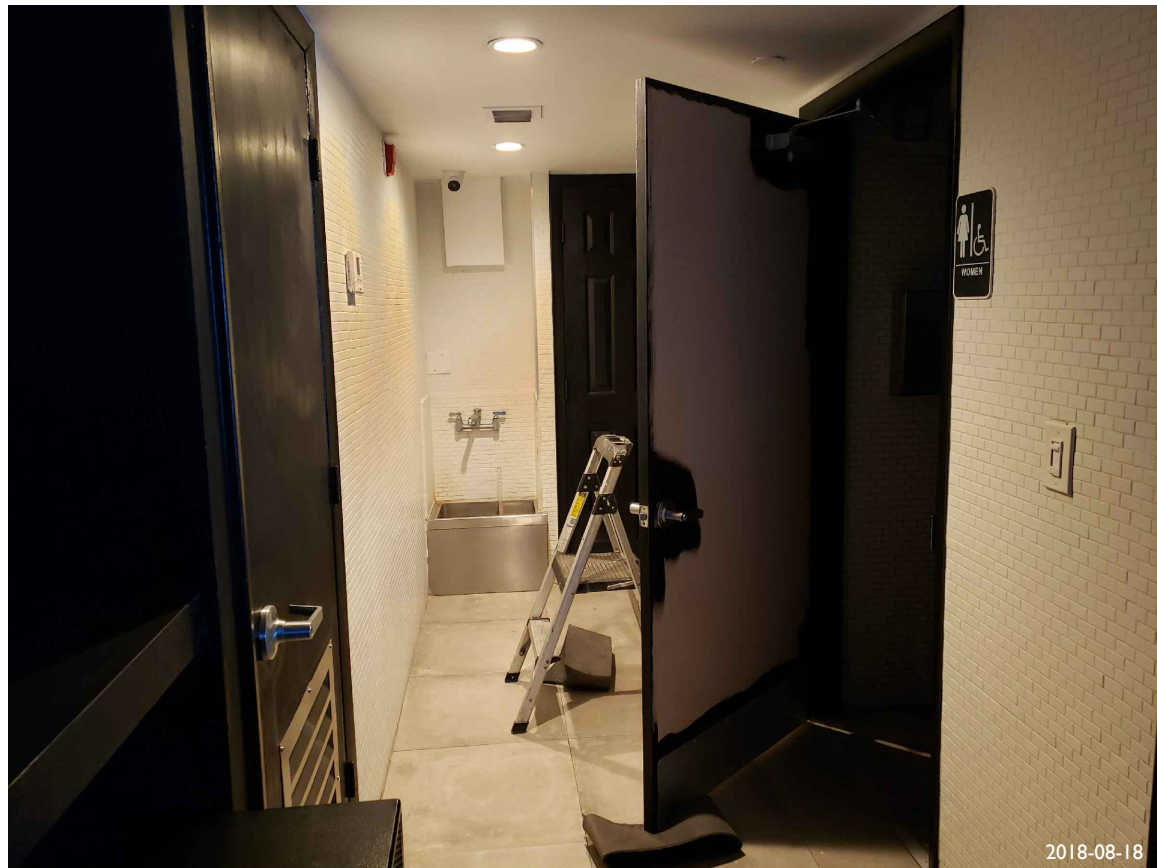




2018-08-18  
14. VIEW OF CLEVELANDER FACING WEST ACROSS OCEAN DRIVE



2018-08-18  
15. VIEW OF CLEVELANDER FACING WEST ACROSS OCEAN DRIVE



2018-08-18  
17. VIEW OF EDISON HOTEL FACING WEST ACROSS OCEAN DRIVE



2018-08-18  
16. VIEW OF 10TH STREET AND CLEVELANDER FACING WEST ACROSS OCEAN DRIVE



2020-08-18

17. EXISTING TERRACE SEATING



2020-08-18

18. TERRACE STAIR



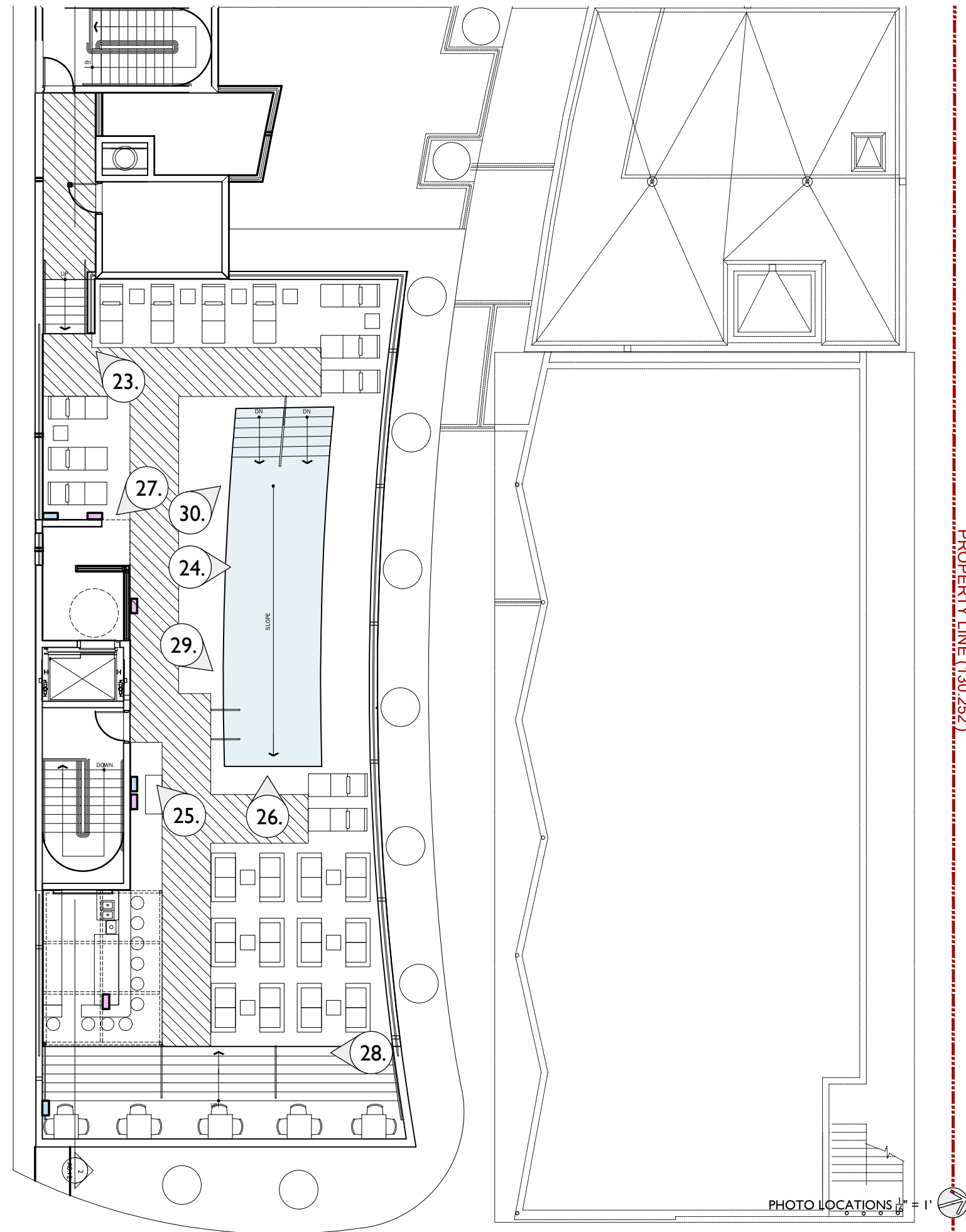
2020-08-18

19. COURTYARD SEATING



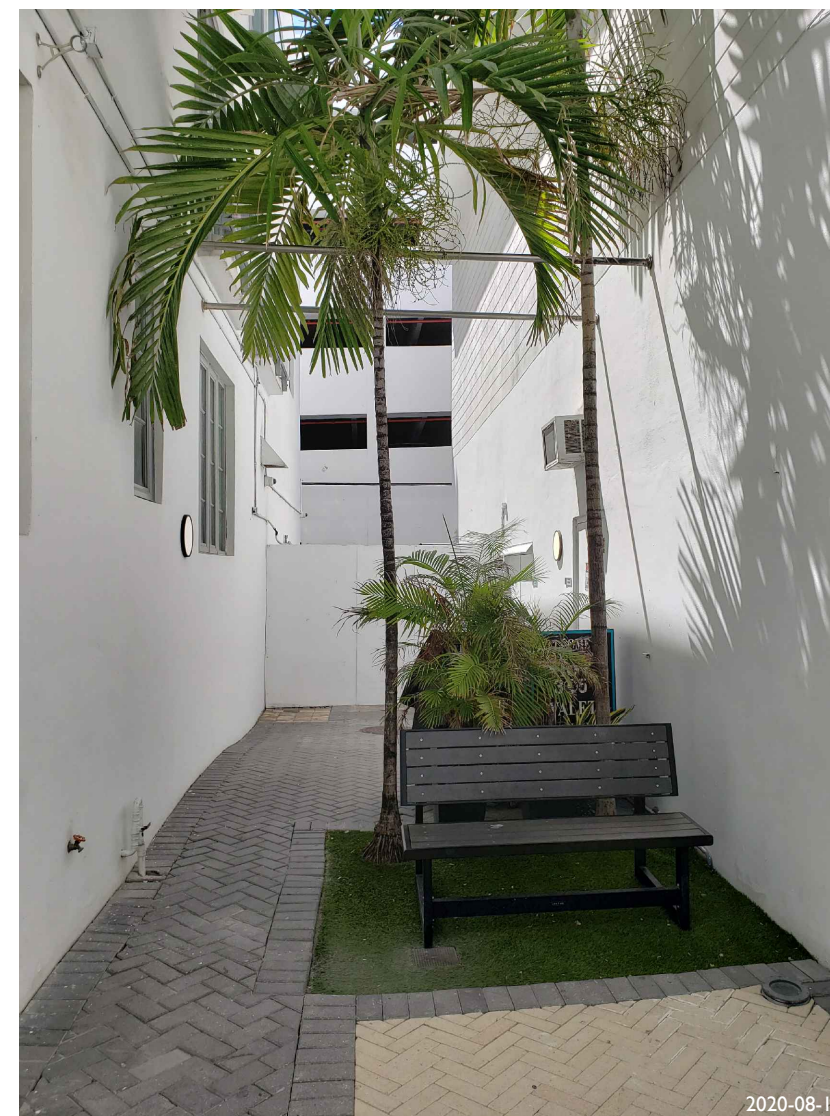
2020-08-18

20. COURTYARD HIGH-TOP SEATING

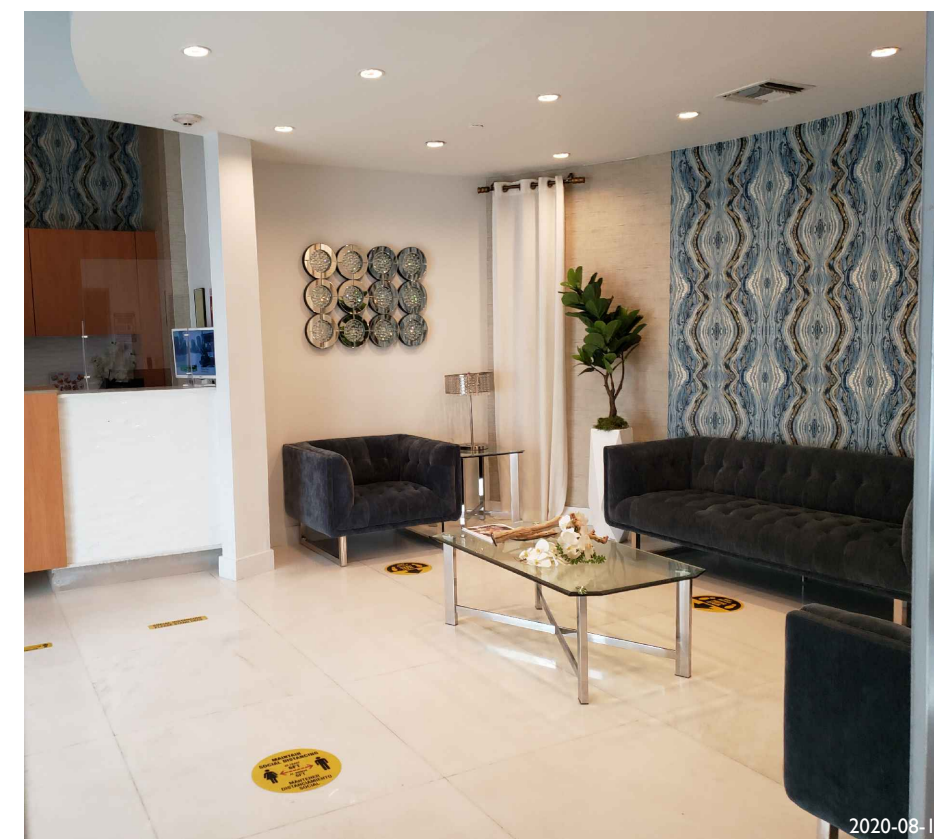


PROPERTY LINE (103.302)

PROPERTY LINE (130.252)



21. PATHWAY TOWARDS THE LOBBY



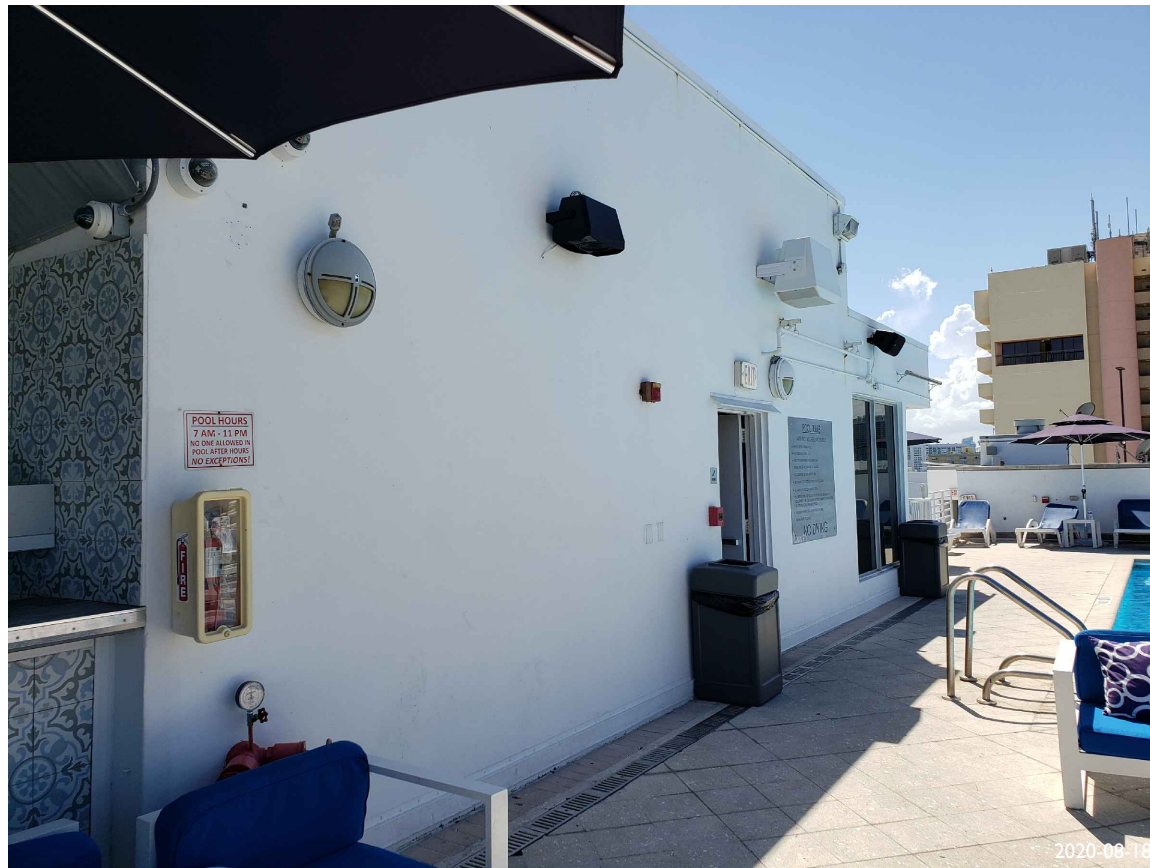
22. LOBBY



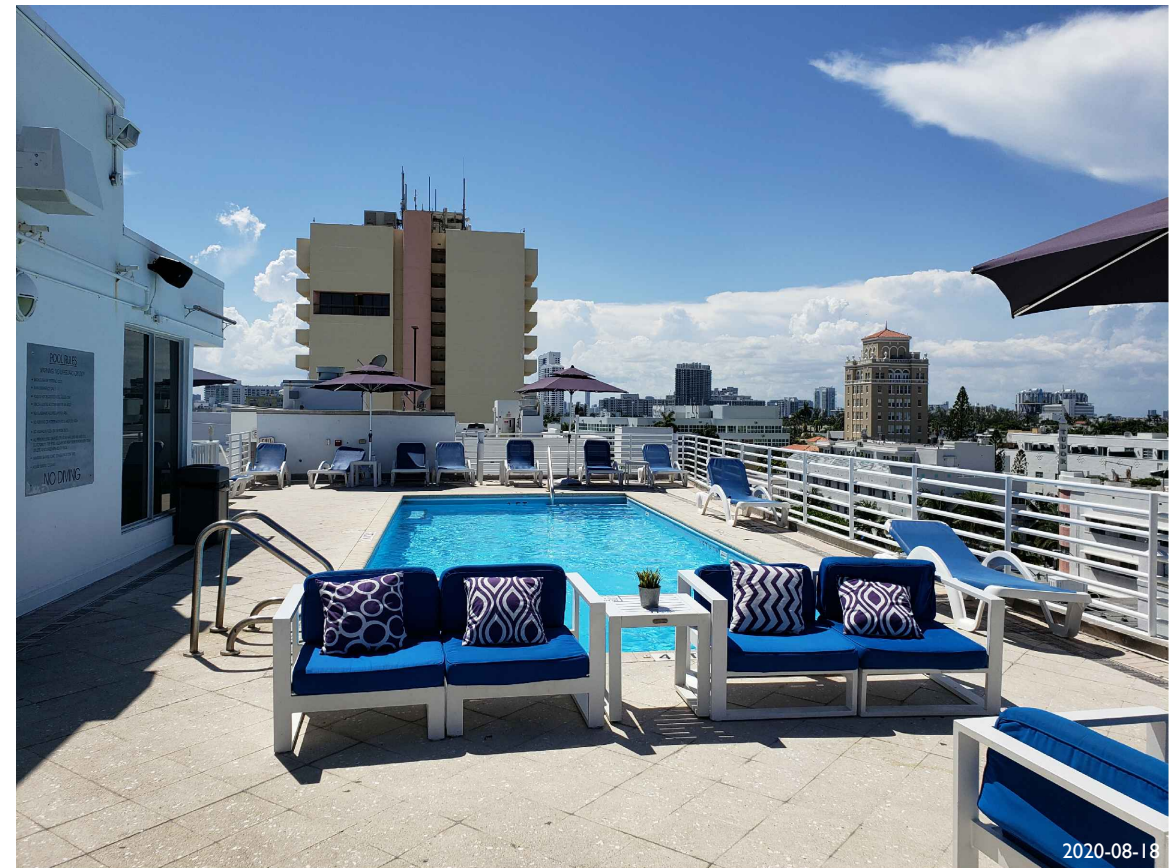
23. VIEW TOWARDS THE STAIR ON THE POOL DECK



24. VIEW TOWARDS NORTH FROM THE POOL DECK



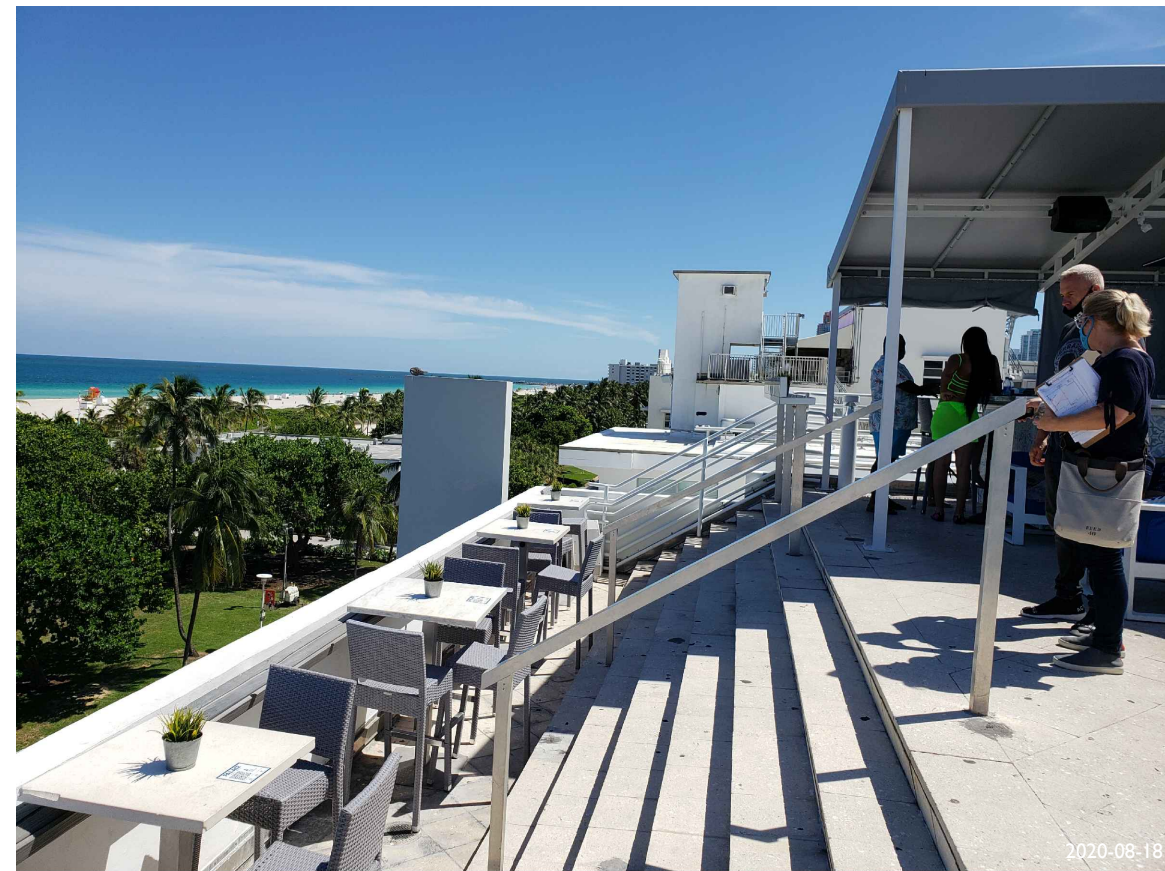
25. VIEW TOWARDS THE STAIRCASE



26. POOL DECK



2020-08-18  
27. ELEVATOR LOBBY ENTRANCE



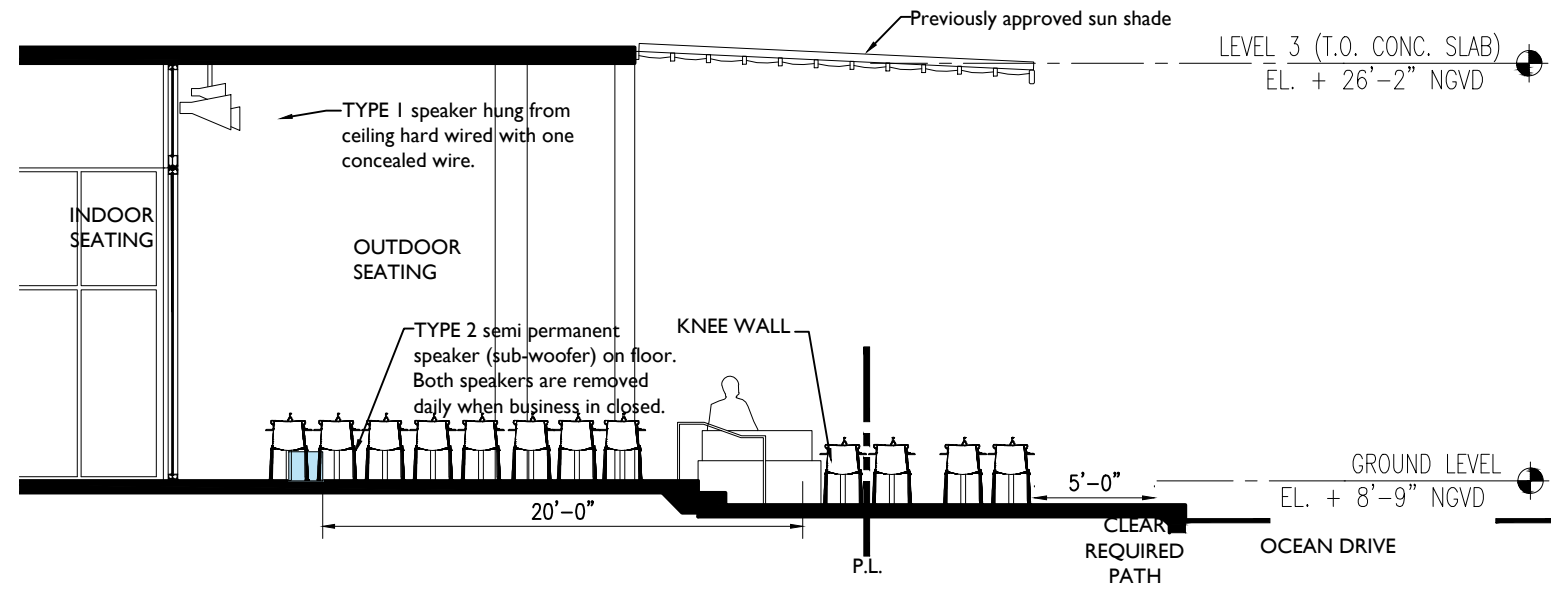
2020-08-18  
28. POOL DECK TERRACE SEATING



2020-08-18  
29. POOL DECK

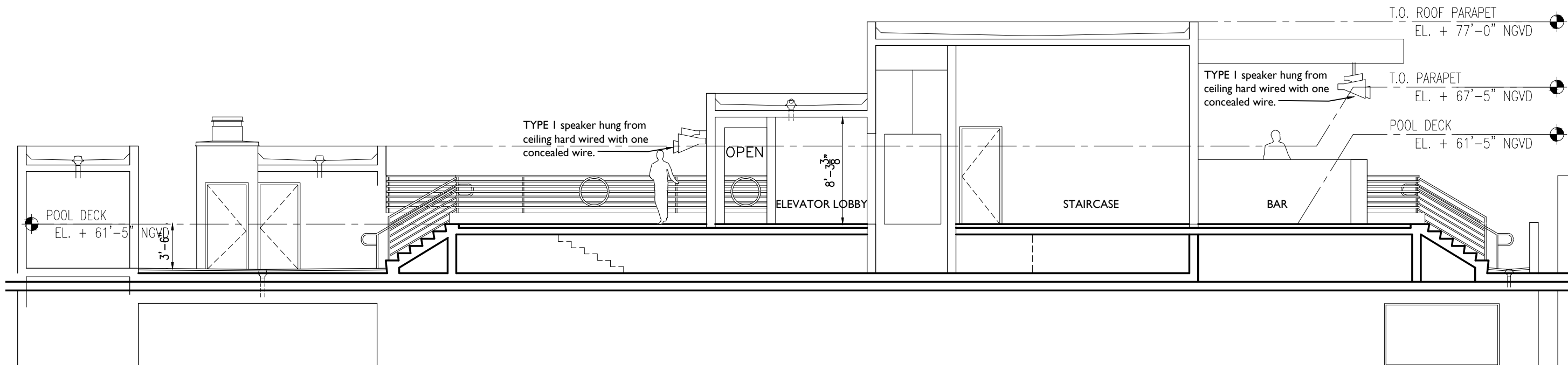


2020-08-18  
30. POOL DECK



PROPOSED SECTION 1 1/8"=1'-0"

DRAWING:



PROPOSED SECTION 2 1/8"=1'-0"

DETAILS  
OF  
SPEAKER  
LOCATIONS

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SCALE: 1/32"=1'-0"  
CHECK: JMcG  
DATE: 09/21/2020

SHEET NUMBER



Venu Bass

## Venu Bass

Reflex-loaded 12" low frequency loudspeaker

### Key Features

- > Compact and unobtrusive appearance
- > 1 x 12" low frequency driver
- > Recessed connector panel
- > Textured polyurethane finish, optional custom colours
- > Weather-resistant perforated steel grille

### Applications

- BAR, CLUB, LOUNGE
- HOTEL, RESTAURANT

- Overview
- Specifications**
- Image Gallery
- Documents

## Specifications

Frequency Response	34Hz - 160Hz ±3dB
Efficiency	99dB 1w/1m
Crossover Point	80Hz - 160Hz active
Impedance	8 ohms
Power Handling	600 Watts RMS
Maximum Output	123dB cont, 126dB peak
Driver Configuration	1 x 12" LF
Connectors	1 x Phoenix with link out
Height	370mm (14.6")
Width	430mm (16.9")
Depth	490mm (19.3")
Weight	24kg (52.9lbs)
Enclosure	15mm birch plywood
Finish	Textured polyurethane
Grille	Weather-resistant perforated steel with foam filter

Specifications and appearance are subject to change without notice.

SPEAKER TYPE 2



Three-way bi-amped sculpted loudspeaker array

### Key Features

- > Visually striking appearance for style-led environments
- > Exceptionally balanced waveform transmission
- > Fibreglass Kevlar composite construction
- > Standard red finish, optional custom colours
- > Integrated flying and mounting system
- > Optional floor stand or flying bracket
- > Internal electronic control prevents overdriving

### Applications

- HIGH IMPACT NIGHTCLUB
- VIP ROOM
- INDOOR AND OUTDOOR DANCE EVENTS
- BAR, CLUB, LOUNGE
- LIVE MUSIC VENUES

- Overview
- Specifications**
- Image Gallery
- Documents

## Specifications

Frequency Response	140Hz - 20kHz ±3dB
Efficiency	LF: 106dB 1w/1m, HMF: 108dB 1w/1m
Crossover Points	LF: 140Hz and 600Hz, HMF: 600Hz - Passive 1.7kHz
Impedance	LF: 8 ohms, HMF: 8 ohms
Power Handling	LF: 500 Watts RMS, HMF: 250 Watts RMS
Maximum Output	134dB cont, 138dB peak
Driver Configuration	1 x 12" LF, 1 x 8" MF, 1 x 1.5" HF compression driver
Dispersion	60°H x 50°V
Protection	Internal Electronic Control
Connectors	2 x 4-pole speakON™ NL4
Height	600mm (23.6")
Width	850mm (33.5")
Depth	760mm (29.9")
Weight	35.4kg (77.9lbs)
Enclosure	Fibreglass Kevlar composite
Rigging	Integral mounting system
Colour	Custom colours available

SPEAKER TYPE 1

7500 NE 4th Court  
Studio 103  
Miami, FL 33138

1737

PROJECT NUMBER

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1052 OCEAN DRIVE  
UNIT CUC100  
MIAMI BEACH  
FLORIDA

DRAWING:

DETAILS  
OF  
SPEAKERS

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SCALE: 3/32"=1'-0"

CHECK: JMcG

DATE: 09/21/2020

SHEET NUMBER

A0.13

PROJECT:  
**PALACE**  
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BAR & RESTAURANT

1052 OCEAN DRIVE  
UNIT CUC100  
MIAMI BEACH  
FLORIDA

DRAWING:

PROPOSED  
SITE PLAN  
LEVEL I

JENNIFER McCONNIEY FLORIDA LIC# AR93044

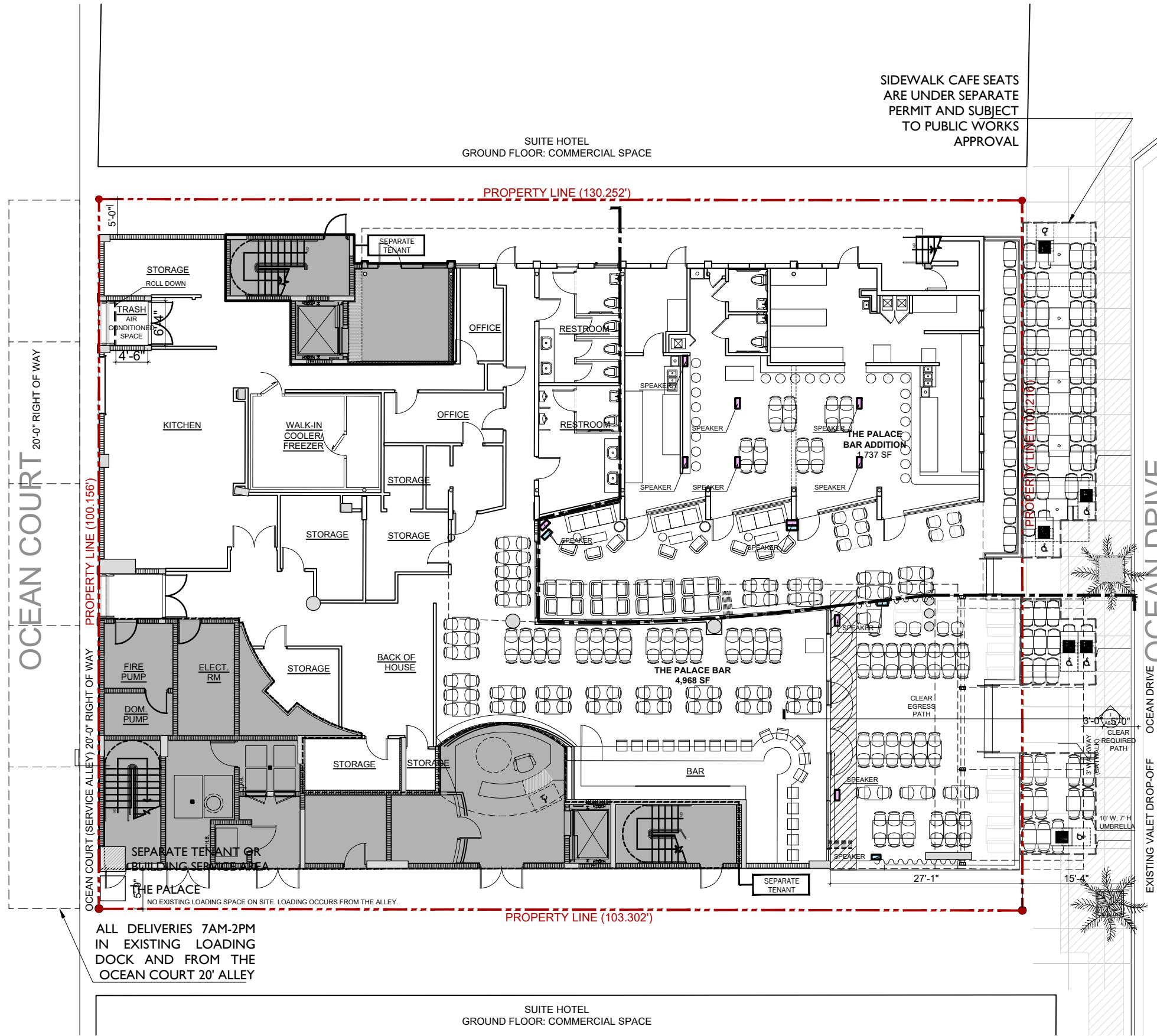
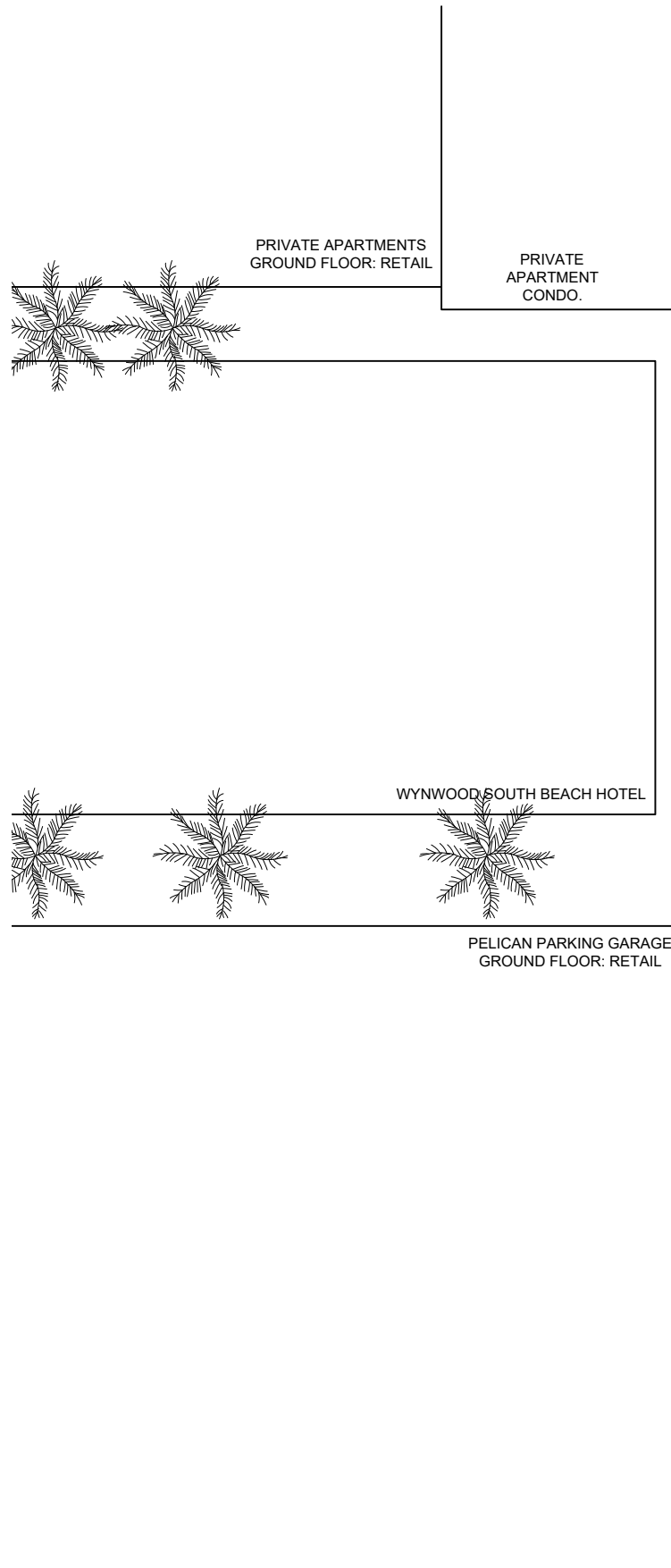
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SCALE: 1/8" = 1'-0"

CHECK: JMcG

DATE: 09/21/2020

SHEET NUMBER



PROPOSED SITE PLAN 1/8" = 1'-0"

A 1.00



PROJECT:  
**PALACE**  
EVERY QUEEN NEEDS A PALACE  
BAR & RESTAURANT

1052 OCEAN DRIVE  
UNIT CUC100  
MIAMI BEACH  
FLORIDA

DRAWING:

PROPOSED  
LEVEL I  
PLAN

JENNIFER McCONNERY FLORIDA LIC# AR93044

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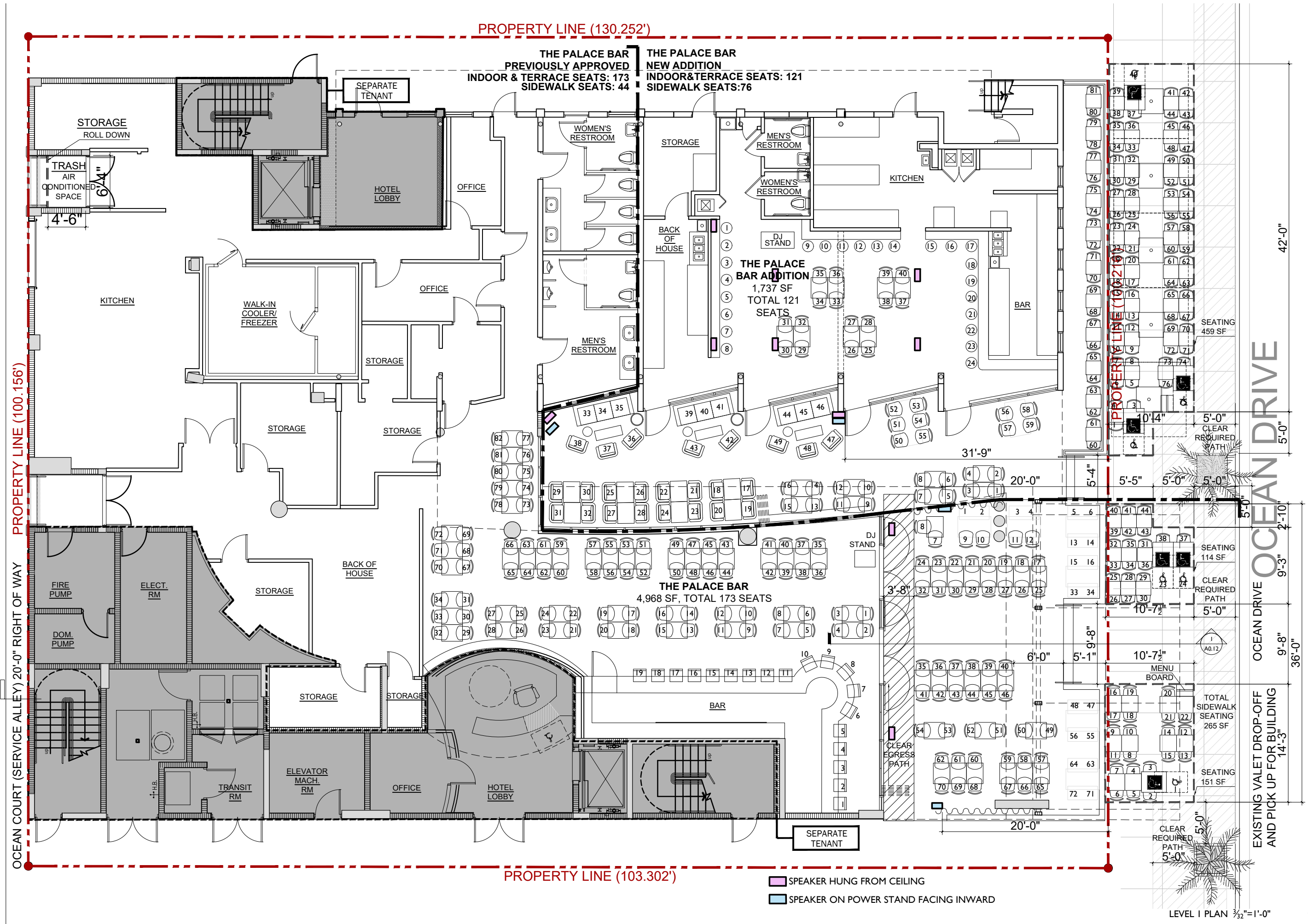
SCALE: 3/32"=1'-0"

CHECK: JMcG

DATE: 09/21/2020

SHEET NUMBER

**A1.01**



PROJECT:  
**PALACE**  
EVERY QUEEN NEEDS A PALACE  
BAR & RESTAURANT

1052 OCEAN DRIVE  
UNIT CUC100  
MIAMI BEACH  
FLORIDA

DRAWING:

PERFORMANCE PLAN

JENNIFER MCCONNEY FLORIDA LIC# AR93044

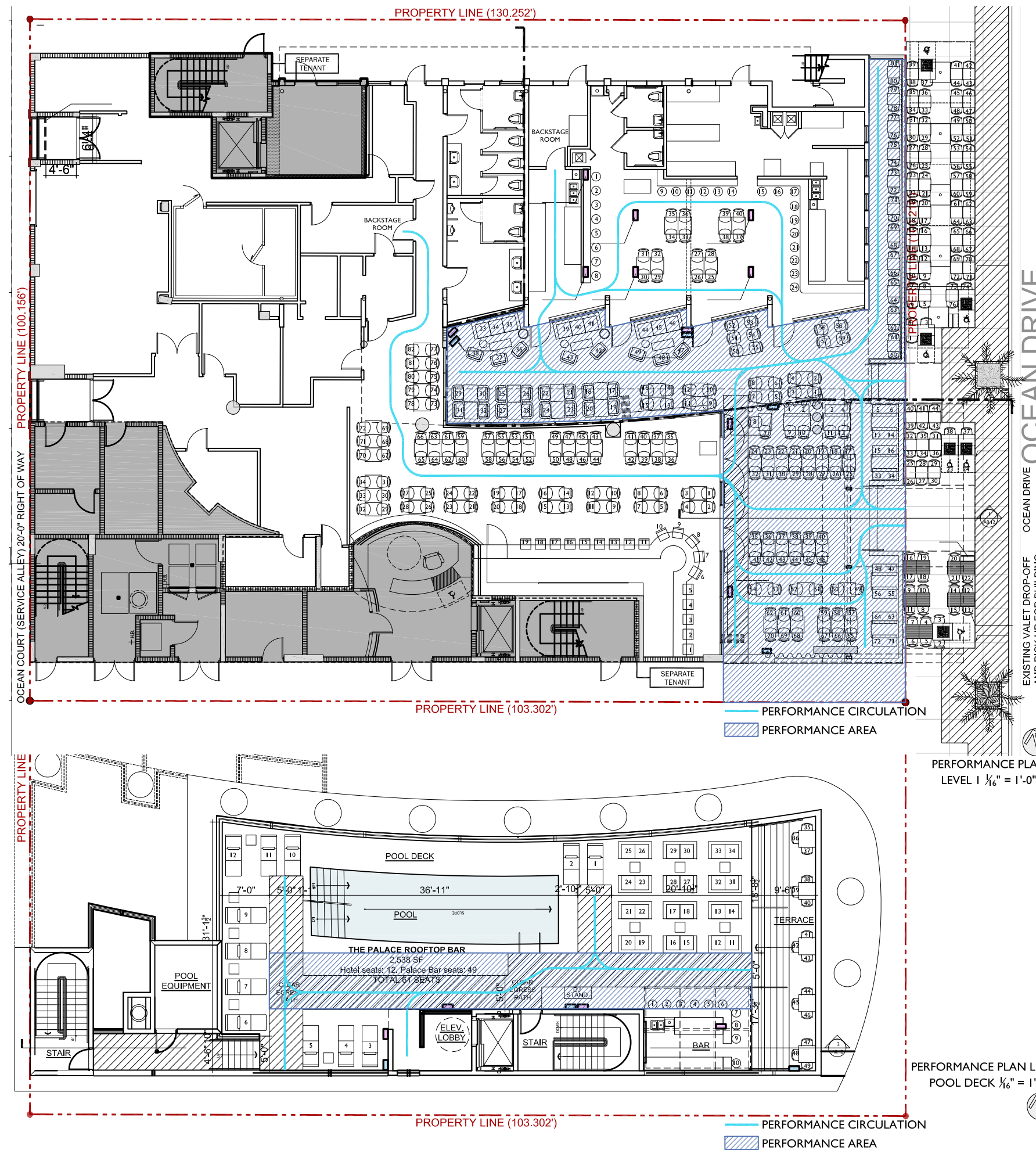
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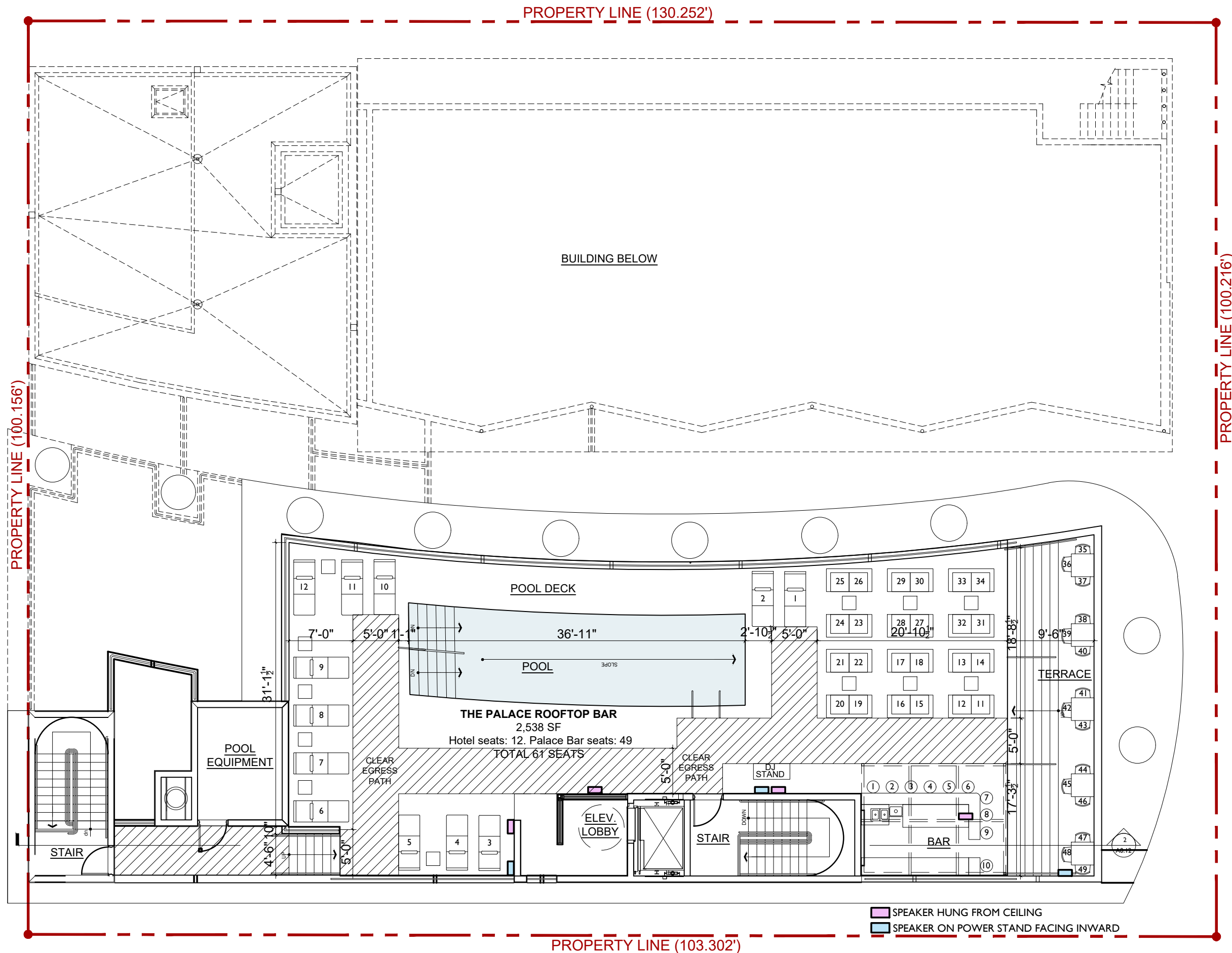
SCALE: 1/8" = 1'-0"

CHECK: JMcG

DATE: 09/21/2020

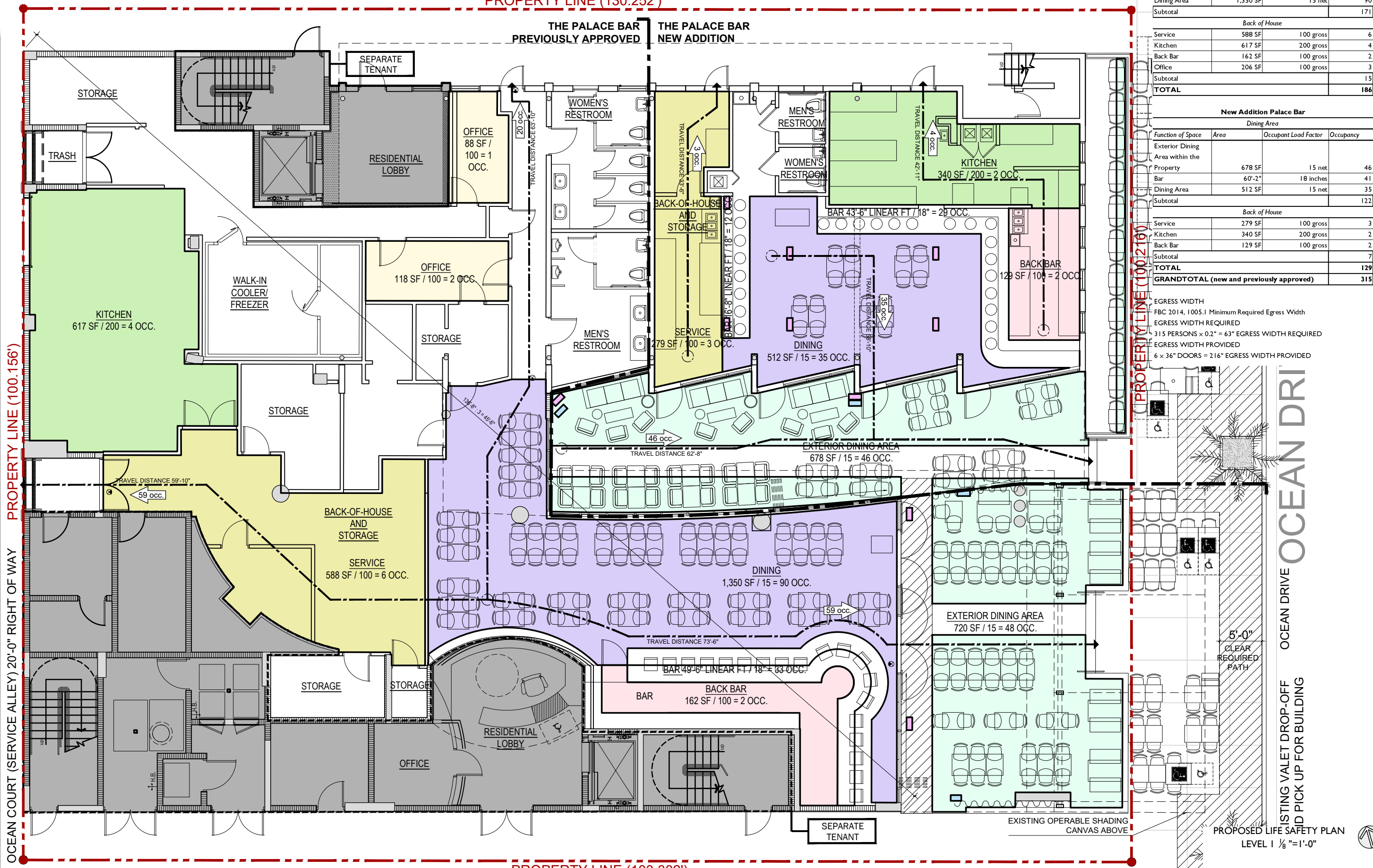
SHEET NUMBER





SUITE HOTEL  
GROUND FLOOR: COMMERCIAL SPACE

PROPERTY LINE (130.252')



Previously Approved Palace Bar			
Dining Area			
Function of Space	Area	Occupant Load Factor	Occupancy
Exterior Dining			
Area within the Property	720 SF	15 net	48
Bar	49'-6"	18 inches	33
Dining Area	1,350 SF	15 net	90
Subtotal			171
Back of House			
Service	588 SF	100 gross	6
Kitchen	617 SF	200 gross	4
Back Bar	162 SF	100 gross	2
Office	206 SF	100 gross	3
Subtotal			15
<b>TOTAL</b>			<b>186</b>

New Addition Palace Bar			
Dining Area			
Function of Space	Area	Occupant Load Factor	Occupancy
Exterior Dining			
Area within the Property	678 SF	15 net	46
Bar	60'-2"	18 inches	41
Dining Area	512 SF	15 net	35
Subtotal			122
Back of House			
Service	279 SF	100 gross	3
Kitchen	340 SF	200 gross	2
Back Bar	129 SF	100 gross	2
Subtotal			7
<b>TOTAL</b>			<b>129</b>
<b>GRANDTOTAL (new and previously approved)</b>			<b>315</b>

EGRESS WIDTH  
FBC 2014, 1005.1 Minimum Required Egress Width  
EGRESS WIDTH REQUIRED  
315 PERSONS x 0.2" = 63" EGRESS WIDTH REQUIRED  
EGRESS WIDTH PROVIDED  
6 x 36" DOORS = 216" EGRESS WIDTH PROVIDED



7500 NE 4th Court  
Studio 103  
Miami, FL 33138

1737

PROJECT NUMBER

PROJECT:  
**PALACE**  
EVERY QUEEN NEEDS A PALACE  
BAR & RESTAURANT

1052 OCEAN DRIVE  
UNIT CUC100  
MIAMI BEACH  
FLORIDA

DRAWING:

PROPOSED  
LIFE SAFETY  
PLAN  
LEVEL I

JENNIFER McCONNAY FLORIDA LIC# AR93044  
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A2.01

PROPERTY LINE (100.156')

OCEAN COURT (SERVICE ALLEY) 20'-0" RIGHT OF WAY

PROPERTY LINE (100.200')

OCEAN DRIVE

EXISTING VALET DROP-OFF  
DID PICK UP FOR BUILDING

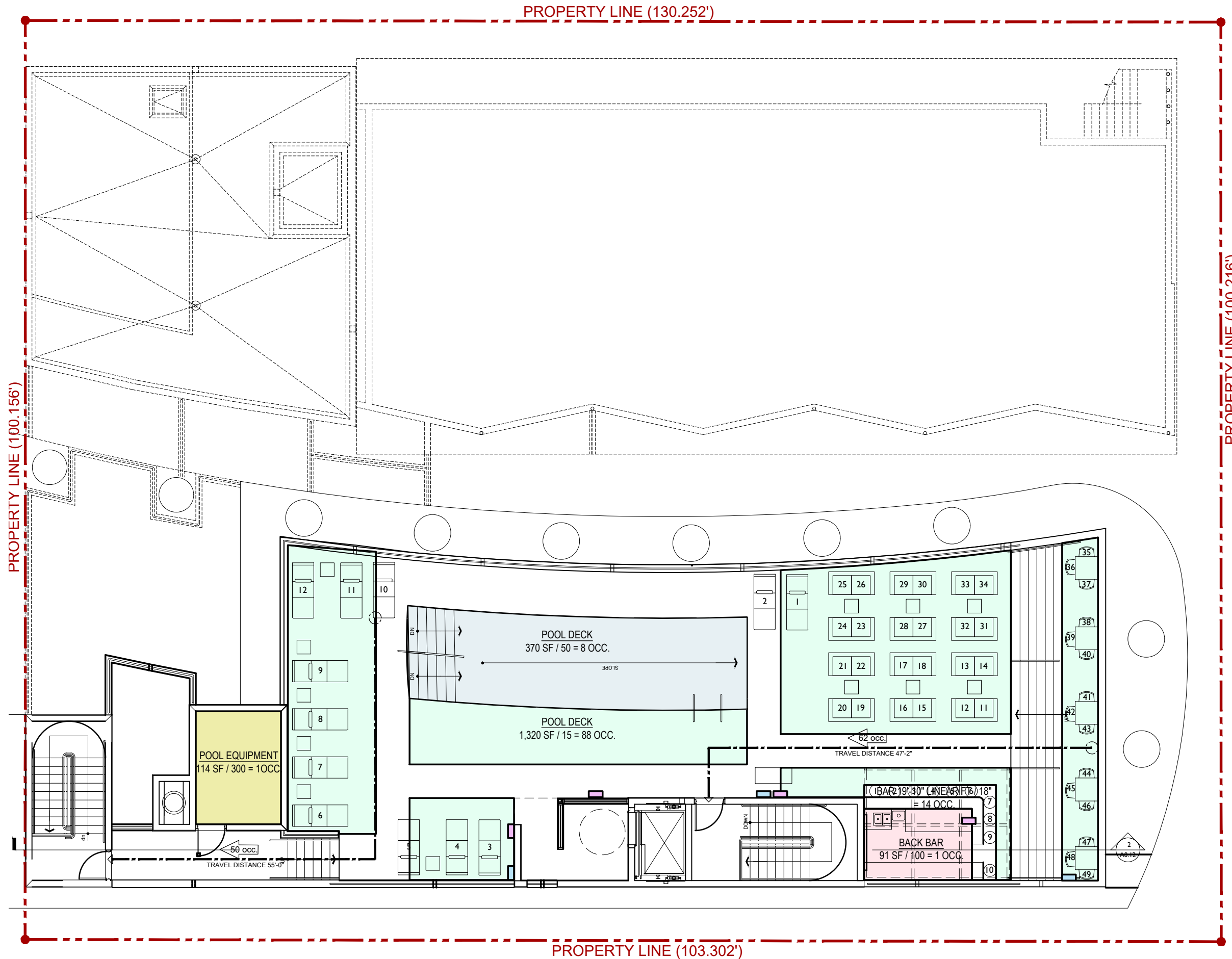
PROPOSED LIFE SAFETY PLAN  
LEVEL I 1/8" = 1'-0"

PROJECT:  
**PALACE**  
EVERY QUEEN NEEDS A PALACE  
BAR & RESTAURANT

1052 OCEAN DRIVE  
UNIT CUC100  
MIAMI BEACH  
FLORIDA

DRAWING:

PROPOSED  
LIFE SAFETY  
PLAN  
LEVEL 1



PROPERTY LINE (100.216')

PROPERTY LINE (100.156')

Palace Bar Rooftop			
Dining Area			
Function of Space	Area	Occupant Load Factor	Occupancy
Pool Deck	1,320 SF	15 net	88
Pool	370 SF	50 net	8
Bar	19'-10"	18 inches	14
<b>Subtotal</b>			<b>110</b>
Back of House			
Pool Equipment	114 SF	300 gross	1
Back Bar	91 SF	100 gross	1
<b>Subtotal</b>			<b>2</b>
<b>TOTAL</b>			<b>112</b>

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EGRESS WIDTH  
FBC 2014, 1005.1 Minimum Required Egress Width  
EGRESS WIDTH REQUIRED  
122 PERSONS x 0.2' = 25" EGRESS WIDTH REQUIRED  
EGRESS WIDTH PROVIDED  
2 x 36" DOORS = 72" EGRESS WIDTH PROVIDED

SCALE: 1/8" = 1'-0"  
CHECK: JMcG  
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PROJECT:  
**PALACE**  
EVERY QUEEN NEEDS A PALACE  
BAR & RESTAURANT

1052 OCEAN DRIVE  
UNIT CUC100  
MIAMI BEACH  
FLORIDA

DRAWING:

EXISTING  
ELEVATIONS

JENNIFER McCONNERY FLORIDA LIC# AR93044

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SCALE: VARIES

CHECK: JMcG

DATE: 09/21/2020

SHEET NUMBER

