

SKETCH OF SURVEY

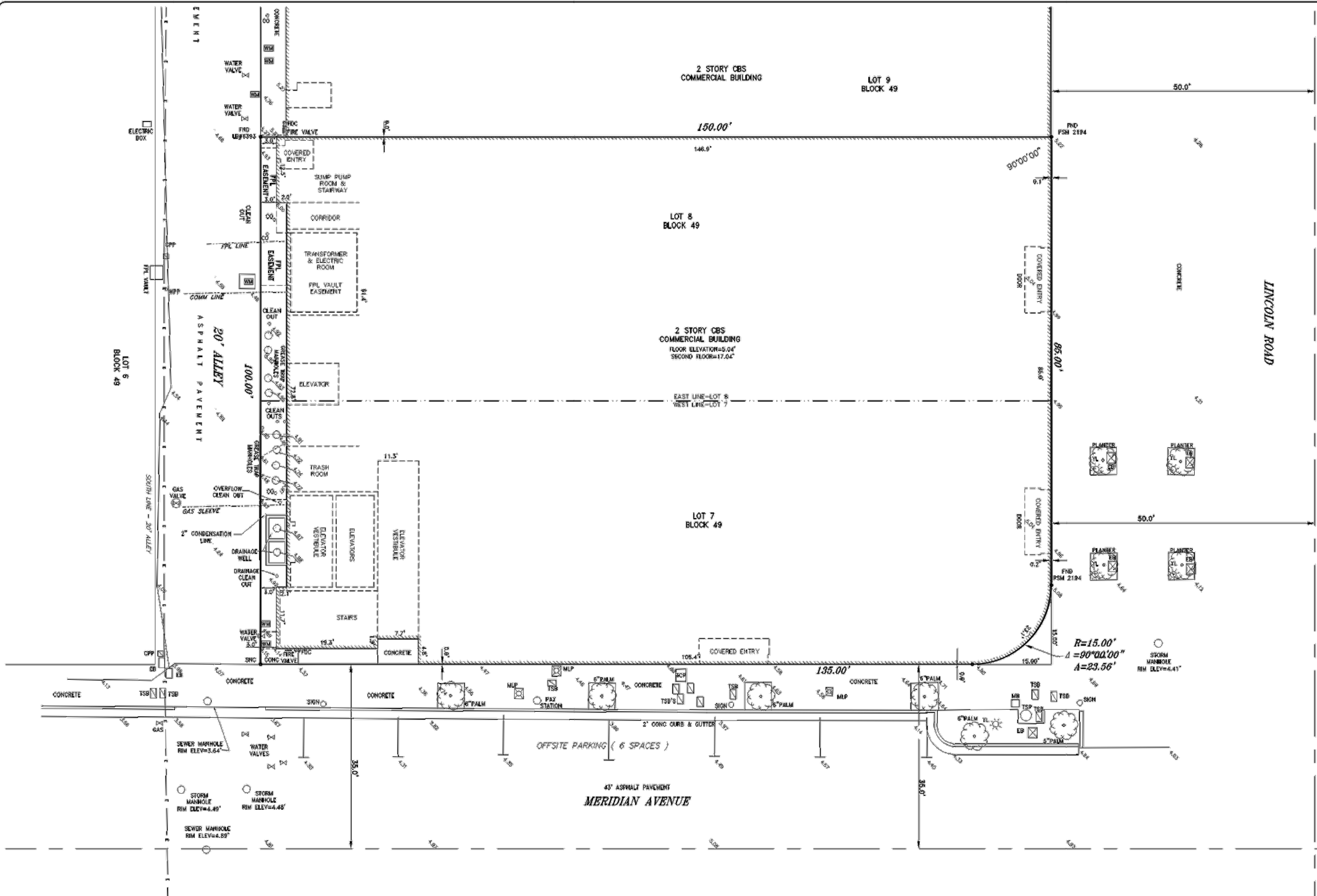
- LEGEND:
- CKD CHECKED BY
 - CONC CONCRETE
 - DWN DRAWN BY
 - FB/PG FIELD BOOK AND PAGE
 - SIR SET 5/8" IRON ROD & CAP #6448
 - SNC SET NAIL AND CAP #6448
 - FIR FOUND IRON ROD
 - FIP FOUND IRON PIPE
 - FNC FOUND NAIL AND CAP
 - FND FOUND NAIL & DISC
 - P.B. PLAT BOOK
 - M/D.C.R. MIAMI/DADE COUNTY RECORDS
 - E- OVERHEAD ELECTRIC LINES
 - INV INVERT ELEVATION
 - WM WATER METER
 - X- CHAIN LINK/ WOOD FENCE
 - ELEV ELEVATION
 - CBS CONCRETE BLOCK STRUCTURE
 - EB ELECTRIC BOX
 - TSB TRAFFIC SIGNAL BOX
 - TCP TRAFFIC CONTROL PANEL
 - BFP BACK FLOW PREVENTER
 - CO CLEAN OUT
 - COMM COMMUNICATION
 - NTS NOT TO SCALE
 - R RADIUS
 - Δ CENTRAL ANGLE
 - A ARC LENGTH

- NOTES :
- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
 - THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
 - UNDERGROUND IMPROVEMENTS NOT SHOWN.
 - ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
 - BENCHMARK REFERENCE : MIAMI/DADE COUNTY BENCHMARK # A-36 ELEVATION = 7.34'
 - LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.

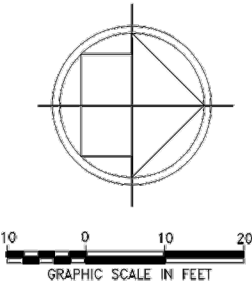
I HEREBY CERTIFY THAT THE "SKETCH OF SURVEY" OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION IN DECEMBER, 2018. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE STANDARD OF PRACTICE FOR SURVEYING IN THE STATE OF FLORIDA ACCORDING TO CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THERE ARE NO ABOVE GROUND ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

FOR THE FIRM, BY: _____
RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 4188

SURVEY DATE : 12/12/18



LAND DESCRIPTION:
LOTS 7 AND 8, BLOCK 49 OF "LINCOLN SUBDIVISION",
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT
9, AT PAGE 69 OF THE PUBLIC RECORDS OF MIAMI/DADE
COUNTY, FLORIDA.



FLOOD ZONE INFORMATION				
COMMUNITY NUMBER	120651			
PANEL NUMBER	0317 L			
ZONE	AE			
BASE FLOOD ELEVATION	8			
EFFECTIVE DATE	09/11/09			

COUSINS SURVEYORS & ASSOCIATES, INC.
3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :
PLAZA
CONSTRUCTION

800 LINCOLN ROAD
MIAMI BEACH, FLORIDA 33139

REVISIONS				
BOUNDARY AND IMPROVEMENTS SURVEY	06/06/15	SKETCH	RM	REC
ADDED DIMENSION TO 20' ALLEY	07/26/15	SKETCH	JD	REC
REVISED FLOOR ELEV./ADDITIONAL GRADES	11/11/15	SKETCH	JD	REC
ADDED TREES AND DESCRIPTIONS TO SURVEY	08/02/16	SKETCH	CS	REC
REVISED TREE LIST	05/27/16	SKETCH	JD	REC
SHOW INSIDE FACE OF CURVED WALL	08/17/17	SKETCH	JD	REC

REVISIONS				
HELICAL PILE AS-BUILT	06/28/17	SKETCH	AP	REC
ADD TIES TO CONTROL LINES FROM HELICAL PILES.	07/24/17	SKETCH	JD	REC
ADDED MISSING PILE	07/24/17	SKETCH	JD	REC
UTILITY LOCATION ALONG THE NORTH SIDE OF THE ALLEY	08/14/18	DATA/CORR.	REC	REC
FINAL SURVEY	12/12/18	DATA/CORR.	JD	REC

PROJECT NUMBER : 7615-15

SCALE : 1" = 10'

SHEET
1
OF
1
SHEET

Todd B.
Tragash

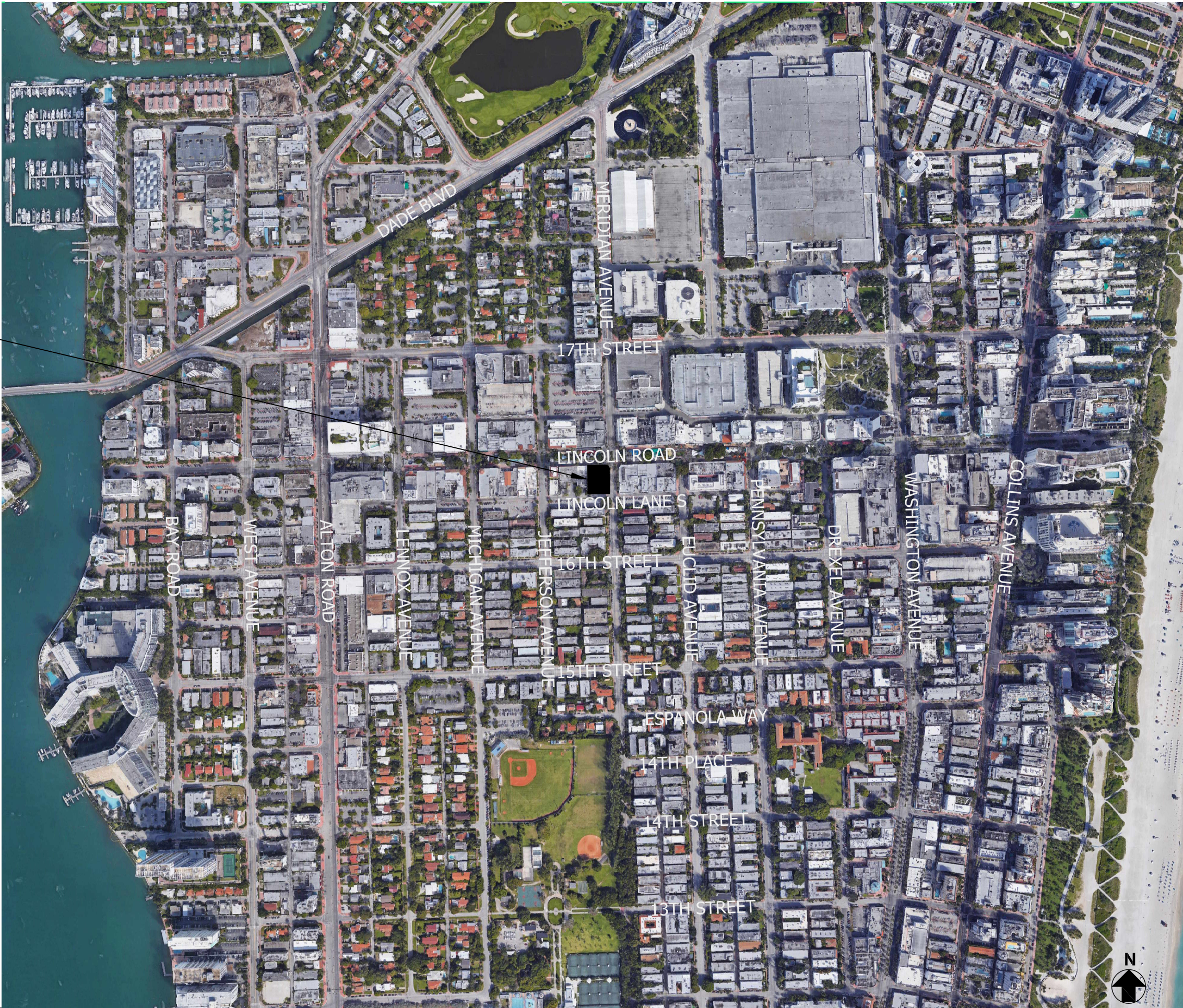
Digitally signed by Todd B. Tragash
DN: c=US, st=Florida, l=Miami, o=S/T/
A ARCHITECTURAL GROUP, INC.,
cn=Todd B. Tragash,
email=Todd@staarchitecturalgroup.c
om
Date: 2020.10.16 16:54:53 -0400

PLANNING BOARD REVIEW - 10/19/2020
City of Miami Beach
777 17th Street, Suite, 201
Miami Beach, FL, 33139



Project # 3801
800 Lincoln Road, Level 3.
Miami Beach, FL, 33139

800 LINCOLN ROAD



1

1/2 MILE RADIUS VICINITY PLAN

SCALE: N.T.S.



3526 NORTH MIAMI AVE.
MIAMI, FL 33127
TEL: 305.571.1811
Todd Tragash, A.I.A. Florida Registration Number #11053

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City of Miami Beach
777 17th Street, Suite, 201
Miami Beach, FL, 33139



Project # 3801
800 Lincoln Road, Level 3.
Miami Beach, FL, 33139



A-1.3

CONTEXT LOCATION PLAN



1 AERIAL VIEW / PHOTO KEY PLAN
SCALE: N.T.S.



1 LINCOLN ROAD (NORTH) FACADE
SCALE: N.T.S.



2

MERIDIAN AVE: FACING SW

SCALE: N.T.S.



3

MERIDIAN AVE: FACING SW

SCALE: N.T.S.



4

MERIDIAN AVE: FACING NW

SCALE: N.T.S.



5

MERIDIAN AVE: FACING WEST

SCALE: N.T.S.



1

INTERIOR SPACE

SCALE: N.T.S.



2

INTERIOR SPACE

SCALE: N.T.S.



3

EXTERIOR SPACE

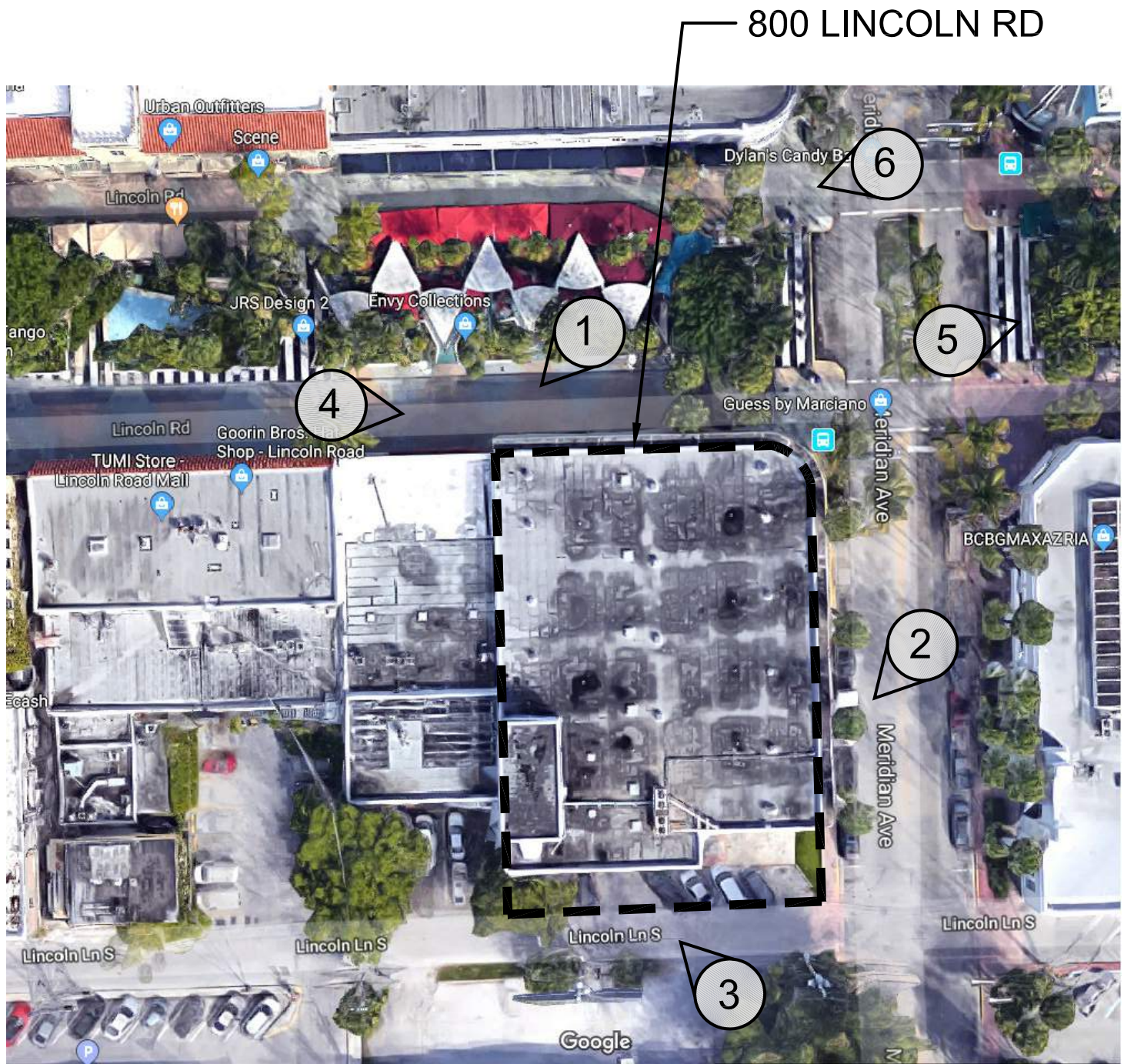
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4

EXTERIOR SPACE

SCALE: N.T.S.



AERIAL VIEW / PHOTO KEY PLAN
SCALE: N.T.S.



1 818 & 838 LINCOLN ROAD: FACING WEST
SCALE: N.T.S.



2 LINCOLN ROAD & MERIDIAN AVE: FACING WEST
SCALE: N.T.S.



3

818 LINCOLN ROAD (LINCOLN LANE SOUTH)

SCALE: N.T.S.



4

800 & 818 LINCOLN ROAD: FACING EAST

SCALE: N.T.S.



5

800 & 818 LINCOLN ROAD: FACING EAST

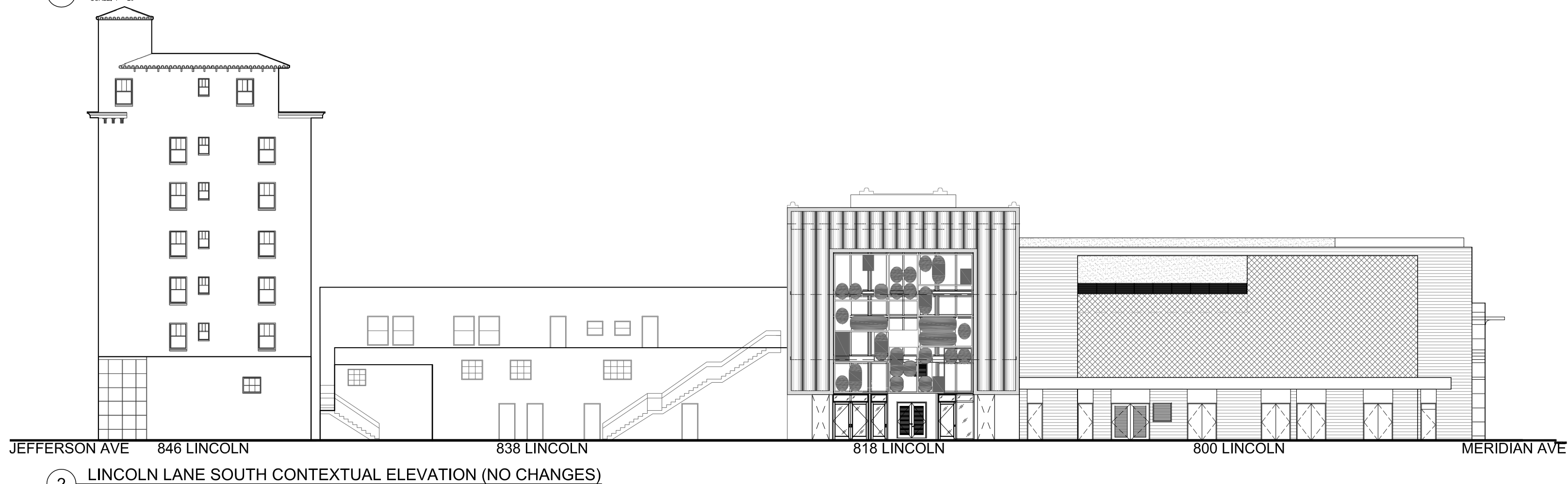
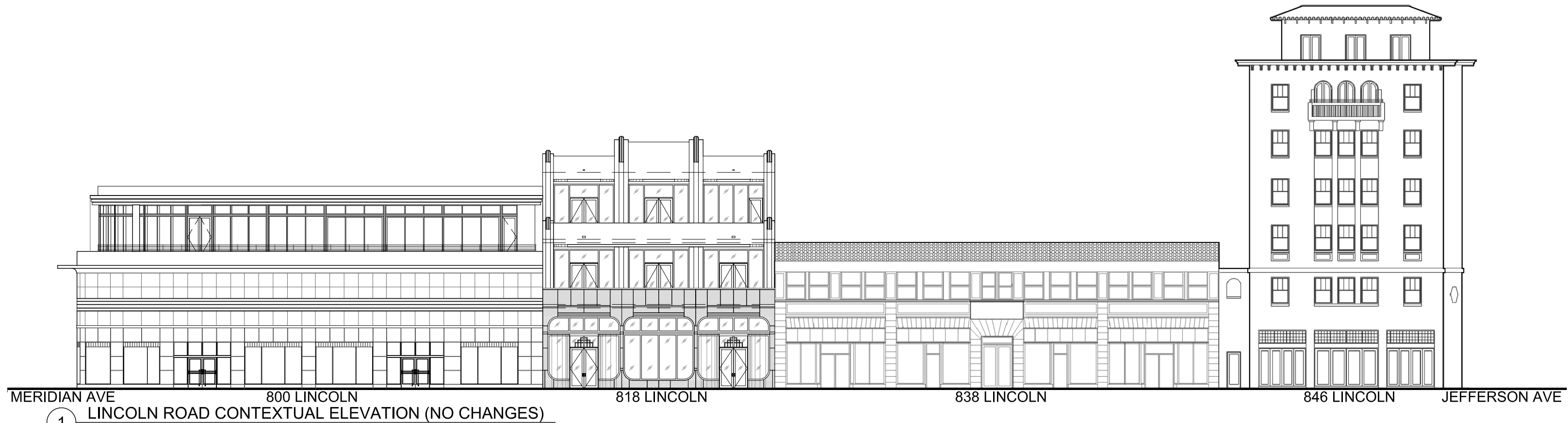
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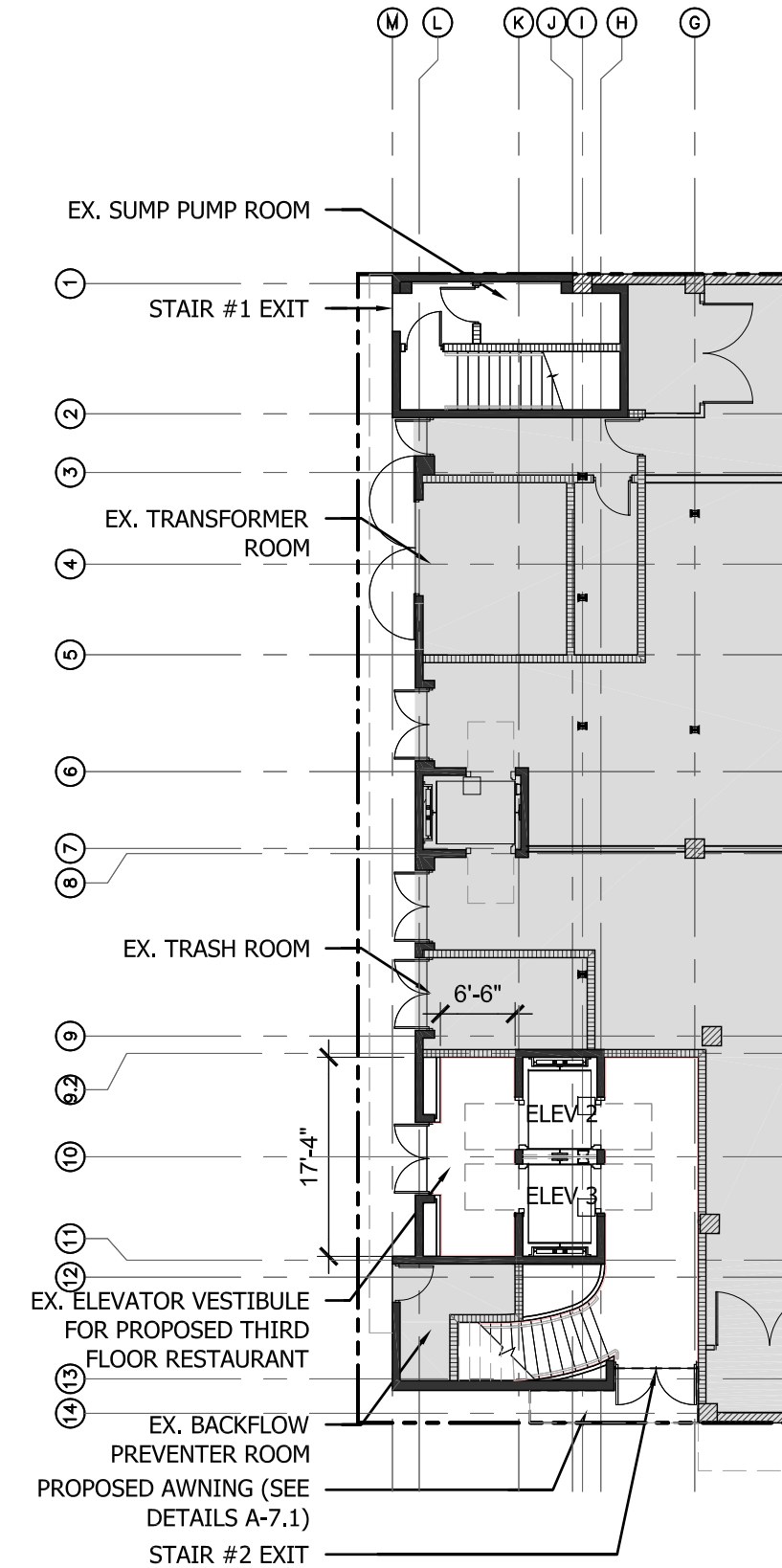
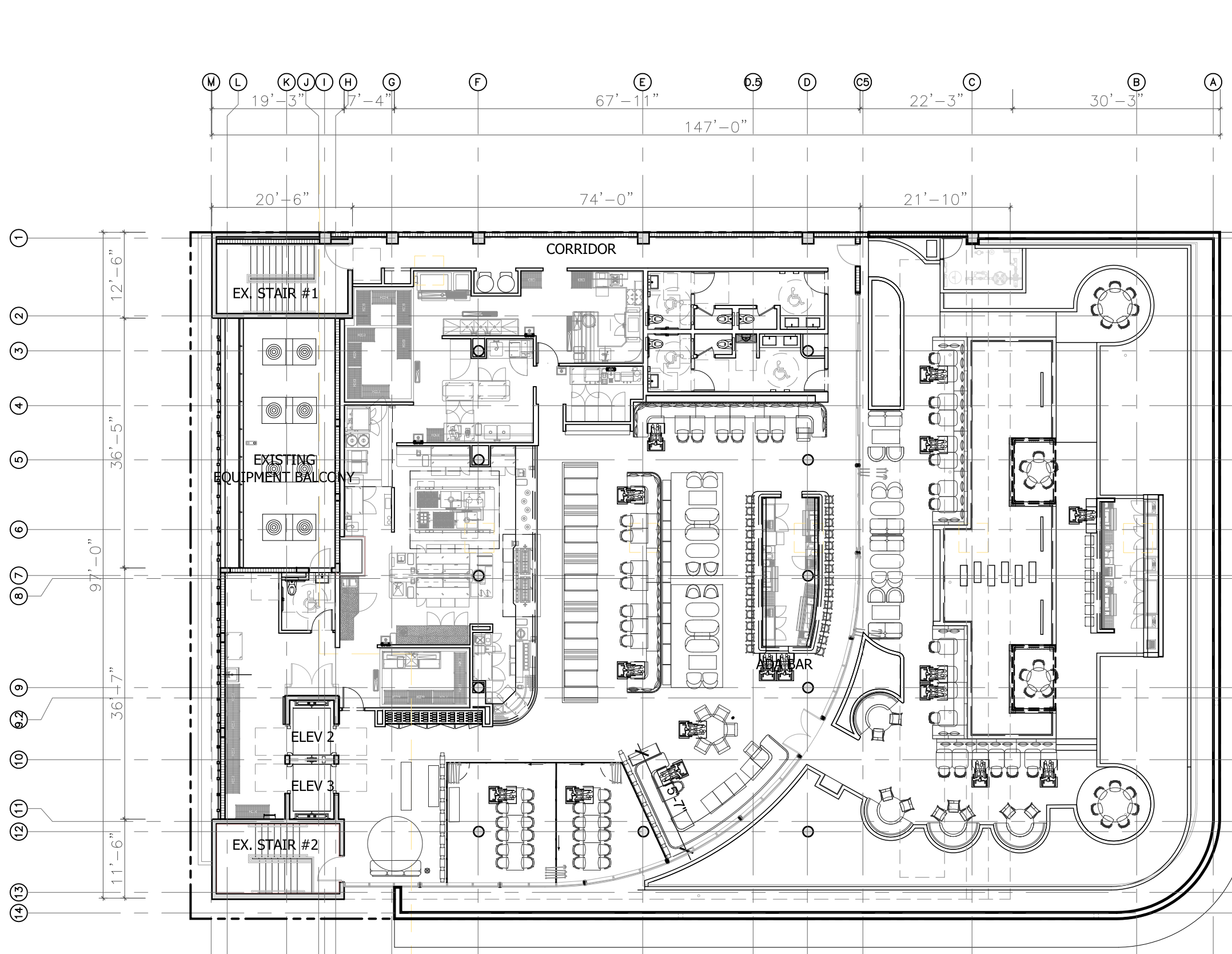


6

LINCOLN RD & MERIDIAN AVE: FACING WEST

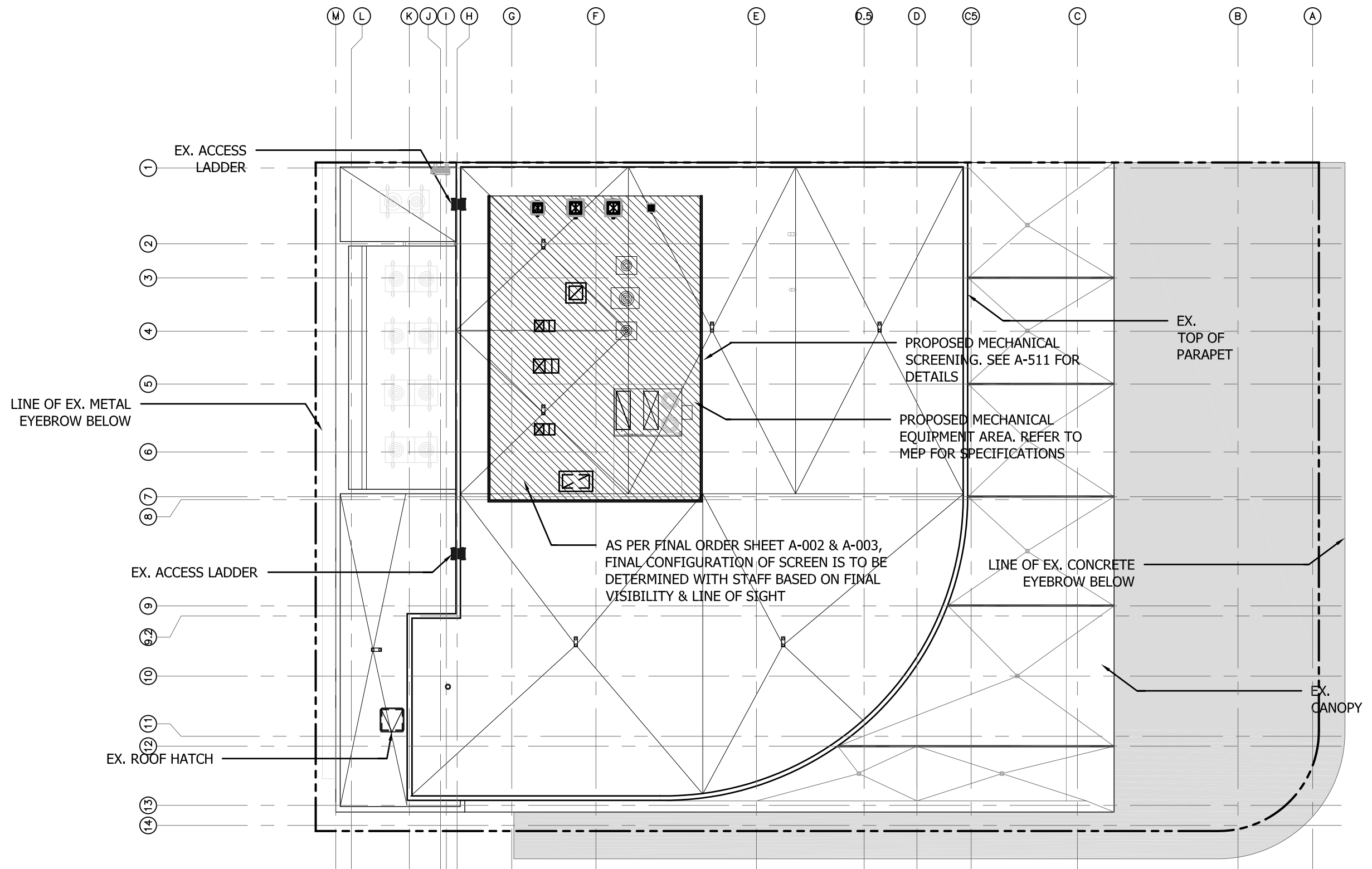
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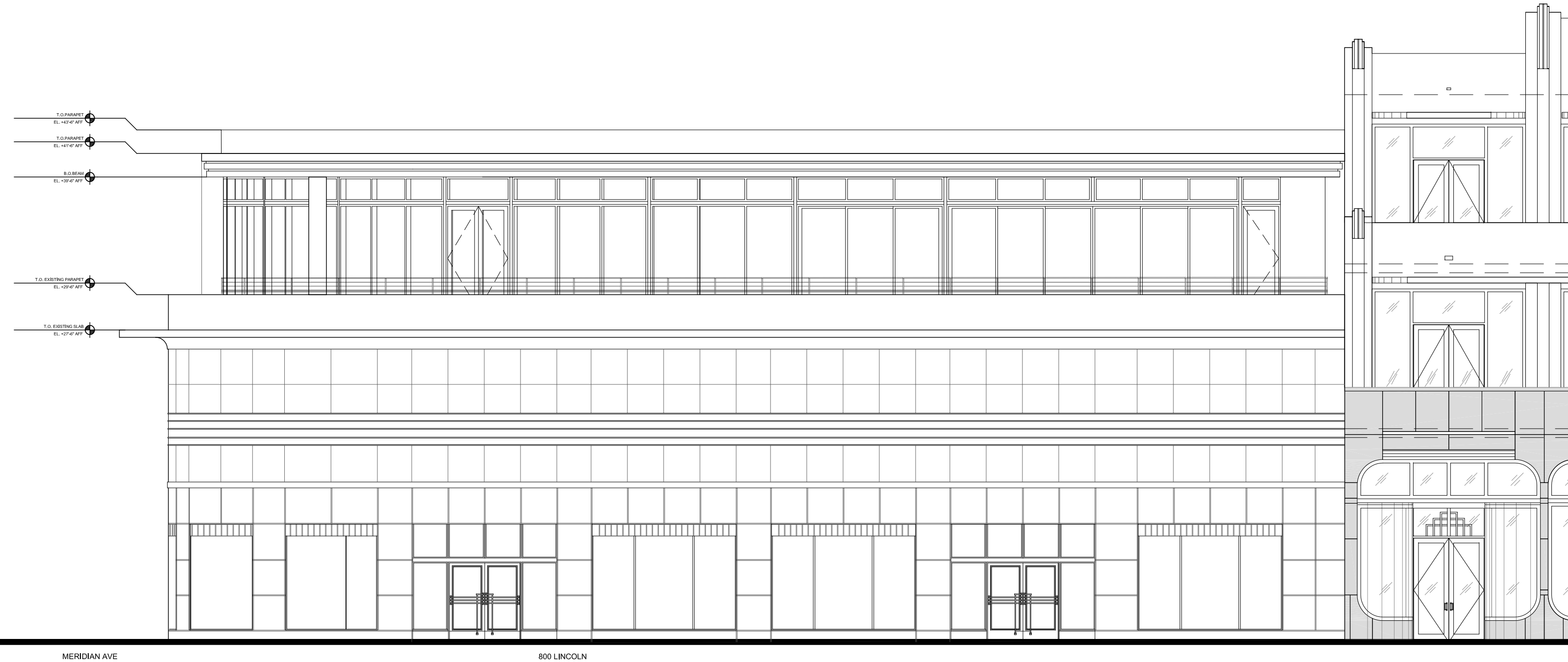


1 EXISTING THIRD FLOOR PLAN
SCALE: 1/16"=1'-0"

2 EXISTING GROUND FLOOR PLAN (NO CHANGES)
SCALE: 1/16"=1'-0"



1 EXISTING ROOF PLAN (NO CHANGES)
SCALE: 1/8"=1'-0"



1 LINCOLN ROAD BUILDING ELEVATION (NO CHANGES)
SCALE: 1" = 20'

