

M I L A
800 LINCOLN RD.
Miami Beach, FL 33139

SCOPE OF WORK

- Modification to Conditional Use Permit Issued Under Planning Board File No. PB18-0253

**PLANNING BOARD
FINAL SUBMITTAL**

October 19, 2020
STA Project #3801

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SKETCH OF SURVEY

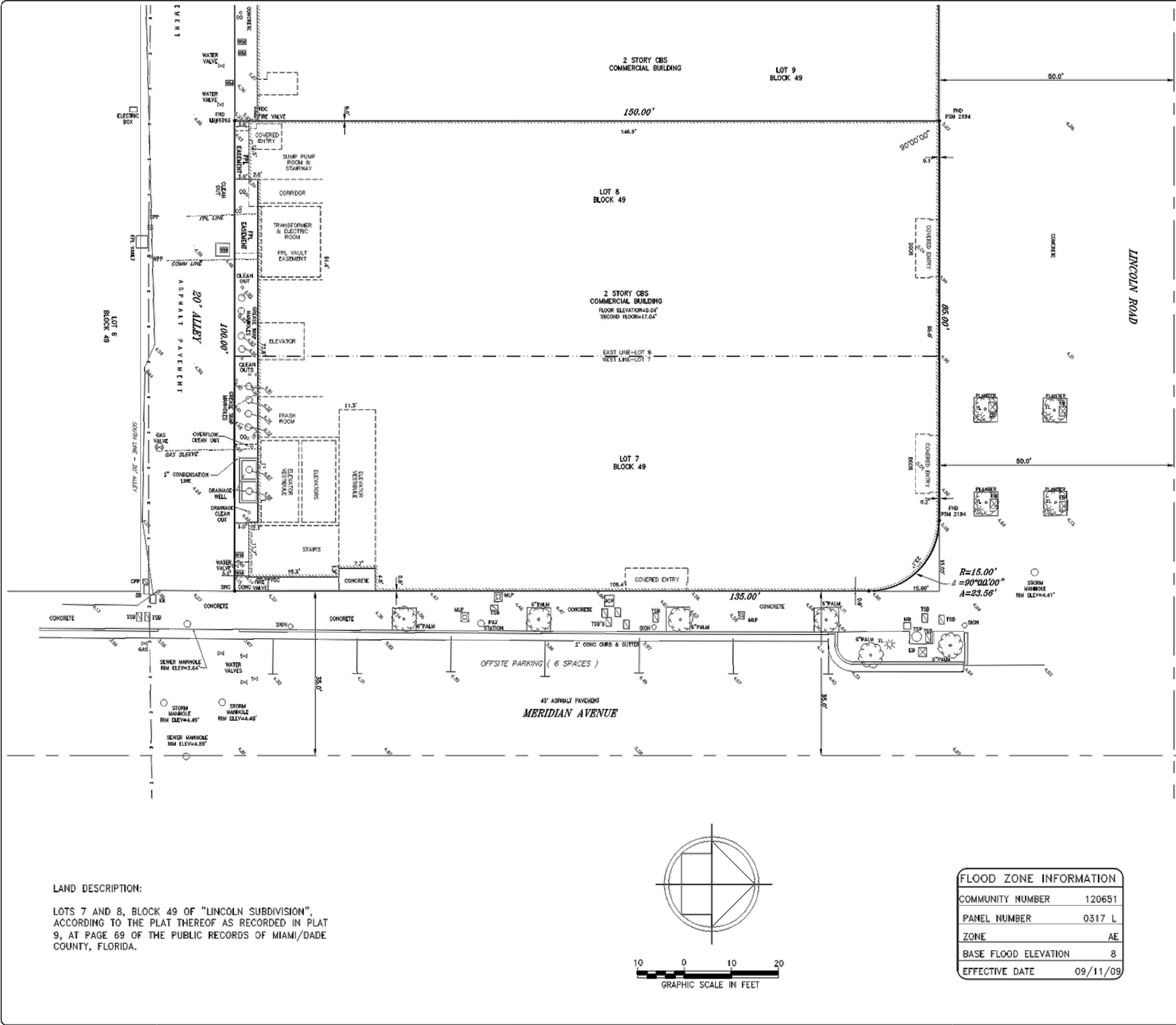
- LEGEND:
- CKD CHECKED BY
 - CONC CONCRETE
 - DWN DRAWN BY
 - FB/PG FIELD BOOK AND PAGE
 - SIR SET 5/8" IRON ROD & CAP #6448
 - SNC SET NAIL AND CAP #6448
 - FIR FOUND IRON ROD
 - FIP FOUND IRON PIPE
 - FNC FOUND NAIL AND CAP
 - FND FOUND NAIL & DISC
 - P.B. PLAT BOOK
 - M/D.C.R. MIAMI/DADE COUNTY RECORDS
 - E- OVERHEAD ELECTRIC LINES
 - INV INVERT ELEVATION
 - WM WATER METER
 - X- CHAIN LINK/ WOOD FENCE
 - ELEV ELEVATION
 - CBS CONCRETE BLOCK STRUCTURE
 - EB ELECTRIC BOX
 - TSB TRAFFIC SIGNAL BOX
 - TCP TRAFFIC CONTROL PANEL
 - BFP BACK FLOW PREVENTER
 - CO CLEAN OUT
 - COMM COMMUNICATION
 - NTS NOT TO SCALE
 - R RADIUS
 - Δ CENTRAL ANGLE
 - A ARC LENGTH

- NOTES :
- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
 - THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
 - UNDERGROUND IMPROVEMENTS NOT SHOWN.
 - ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
 - BENCHMARK REFERENCE : MIAMI/DADE COUNTY BENCHMARK # A-36 ELEVATION = 7.34'
 - LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.

I HEREBY CERTIFY THAT THE "SKETCH OF SURVEY" OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION IN DECEMBER, 2018. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE STANDARD OF PRACTICE FOR SURVEYING IN THE STATE OF FLORIDA ACCORDING TO CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THERE ARE NO ABOVE GROUND ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

FOR THE FIRM, BY: _____
RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 4188

SURVEY DATE : 12/12/18



LAND DESCRIPTION:
LOTS 7 AND 8, BLOCK 49 OF "LINCOLN SUBDIVISION",
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT
9, AT PAGE 69 OF THE PUBLIC RECORDS OF MIAMI/DADE
COUNTY, FLORIDA.

COUSINS SURVEYORS & ASSOCIATES, INC.

3921 SW 47TH AVENUE, SUITE 1011
DAVE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :

PLAZA
CONSTRUCTION

800 LINCOLN ROAD
MIAMI BEACH, FLORIDA 33139

REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY AND IMPROVEMENTS SURVEY	06/06/15	SKETCH	RM	REC
ADDED DIMENSION TO 20' ALLEY	07/26/15	SKETCH	JD	REC
REVISED FLOOR ELEV./ADDITIONAL GRADES	11/11/15	SKETCH	JD	REC
ADDED TREES AND DESCRIPTIONS TO SURVEY	08/08/16	SKETCH	CS	REC
REVISED TREE LIST	05/27/16	SKETCH	JD	REC
SHOW INSIDE FACE OF CURVED WALL	08/17/17	SKETCH	JD	REC

REVISIONS	DATE	FB/PG	DWN	CKD
HELICAL PILE AS-BUILT	06/28/17	SKETCH	JD	REC
ADD TIES TO CONTROL LINES FROM HELICAL PILES.	07/24/17	SKETCH	JD	REC
ADDED MISSING PILE	07/24/17	SKETCH	JD	REC
UTILITY LOCATION ALONG THE NORTH SIDE OF THE ALLEY	08/14/18	DATA/CORR	JD	REC
FINAL SURVEY	12/12/18	DATA/CORR	JD	REC

PROJECT NUMBER : 7615-15

SHEET 1 OF 1 SHEET

SCALE : 1" = 10'

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address:	800 LINCOLN ROAD, MIAMI BEACH, FL 33139			
2	Board and file numbers :				
3	Folio number(s):	02-3234-002-0320			
4	Year constructed:	EXIST-1935, ADDITION	Zoning District:	CD-3 (COMMERCIAL HIGH INTENSITY DISTRICT)	
5	Based Flood Elevation:	AE 8.00' NGVD	Grade value in NGVD:	AE 8.00' NGVD	
6	Adjusted grade (Flood+Grade/2):	9.00' NGVD	Lot Area:	15,000 SF	
7	Lot width:	100'	Lot Depth:	150'	
8	Minimum Unit Size	N/A	Average Unit Size	N/A	
9	Existing use:	ASSEMBLY	Proposed use:	ASSEMBLY	

		Maximum	Existing	Proposed	Deficiencies
10	Height	50'-0"	43'-6"	43'-6" (NO CHANGE*)	N/A
11	Number of Stories	5	3	3 (NO CHANGE*)	N/A
12	FAR	33,750 SF	33,131 SF	33,131 SF (NO CHANGE *)	N/A
13	Gross square footage	N/A	N/A	N/A	N/A
14	Square Footage by use	N/A	N/A	N/A	N/A
15	Number of units Residential	N/A	N/A	N/A	N/A
16	Number of units Hotel	N/A	N/A	N/A	N/A
17	Number of seats	N/A	N/A	N/A	N/A
18	Occupancy load	N/A	N/A	N/A	N/A

	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	N/A	N/A	N/A	N/A
20	Side Setback:	N/A	N/A	N/A	N/A
21	Side Setback:	N/A	N/A	N/A	N/A
22	Side Setback facing street:	N/A	N/A	N/A	N/A
23	Rear Setback:	N/A	N/A	N/A	N/A
	At Grade Parking:				
24	Front Setback:	N/A	N/A	N/A	N/A
25	Side Setback:	N/A	N/A	N/A	N/A
26	Side Setback:	N/A	N/A	N/A	N/A
27	Side Setback facing street:	N/A	N/A	N/A	N/A
28	Rear Setback:	N/A	N/A	N/A	N/A
	Pedestal:				
29	Front Setback:	0'-0"	0'-0"	0'-0" (NO CHANGE *)	N/A
30	Side Setback:	0'-0"	0'-0"	0'-0" (NO CHANGE *)	N/A
31	Side Setback:	N/A	N/A	N/A	N/A
32	Side Setback facing street:	0'-0"	0'-0"	0'-0" (NO CHANGE *)	N/A
33	Rear Setback:	5'-0"	3'-0"	3'-0" (NO CHANGE *)	N/A
	Tower:				
34	Front Setback:	N/A	N/A	N/A	N/A
35	Side Setback:	N/A	N/A	N/A	N/A
36	Side Setback:	N/A	N/A	N/A	N/A
37	Side Setback facing street:	N/A	N/A	N/A	N/A
38	Rear Setback:	N/A	N/A	N/A	N/A

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	DISTRICT #2 - LINCOLN ROAD			
40	Total # of parking spaces	0	0	0	N/A
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A
43	Parking Space Dimensions	N/A	N/A	N/A	N/A
44	Parking Space configuration (45o,60o,90o,Parallel)	N/A	N/A	N/A	N/A
45	ADA Spaces	N/A	N/A	N/A	N/A
46	Tandem Spaces	N/A	N/A	N/A	N/A
47	Drive aisle width	N/A	N/A	N/A	N/A
48	Valet drop off and pick up	N/A	N/A	N/A	N/A
49	Loading zones and Trash collection areas	0	0	0 (NO CHANGE *)	N/A
50	racks	N/A	N/A	N/A	N/A

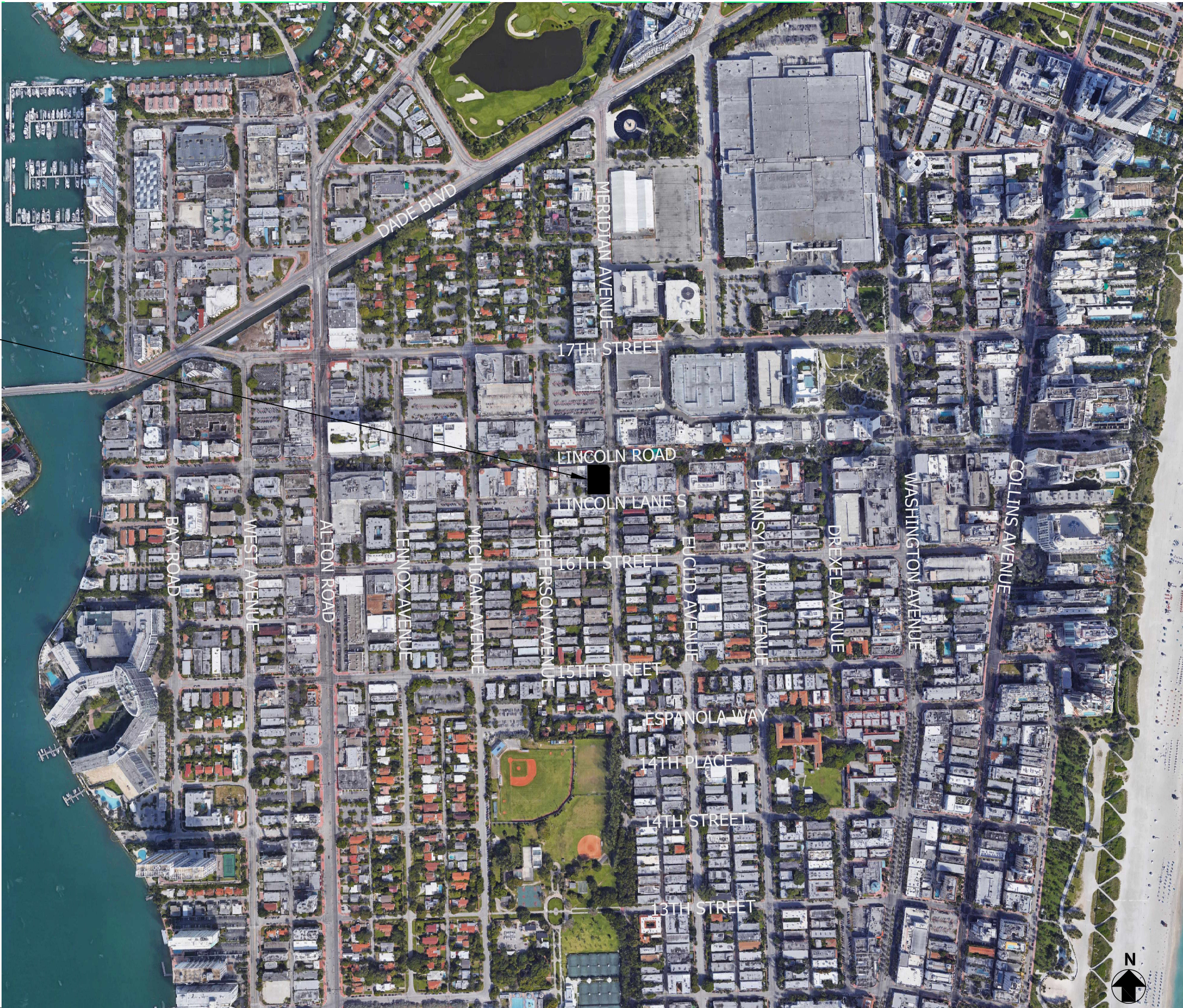
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	N/A	RESTAURANT	RESTAURANT (NO CHANGE)	
52	Number of seats located outside on private property	N/A	97	97(NO CHANGE *)	
53	Number of seats inside	N/A	150	150 (NO CHANGE *)	
54	Total number of seats	N/A	247	247 (NO CHANGE *)	
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A	247	247 (NO CHANGE *)	
56	Total occupant content	N/A	247	247 (NO CHANGE *)	
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	247	247 (NO CHANGE *)	

58	Proposed hours of operation	Sunday-Thursday : 11am – 12am Friday : 11am – 2am / Indoor Bar until 2am / Outdoor Bar until 2am Saturday : 11am – 2am / Indoor Bar until 2am / Outdoor Bar until 2am
59	Is this an NIE? (Neighboot Impact stablishment, see CMB 141-1361)	YES
60	Is dancing and/or entertainment proposed ? (see CMB 141-1361)	YES: live music - ONLY indoors
61	Is this a contributing building?	YES: original building, not the new floor where project is located
62	Located within a Local Historic District?	YES

Notes:

*NO CHANGES ON "ZONING DATA SHEET" AS PER HPB ORDER No 7550 FOR SHELL BUILDING, HPB ORDER No 180264 FOR INTERIOR BUILD-OUT.

800 LINCOLN ROAD



1

1/2 MILE RADIUS VICINITY PLAN

SCALE: N.T.S.



3526 NORTH MIAMI AVE.
MIAMI, FL 33127
TEL: 305.571.1811
Todd Tragash, A.I.A. Florida Registration Number #11053

PLANNING BOARD REVIEW - 10/19/2020
City of Miami Beach
777 17th Street, Suite, 201
Miami Beach, FL, 33139

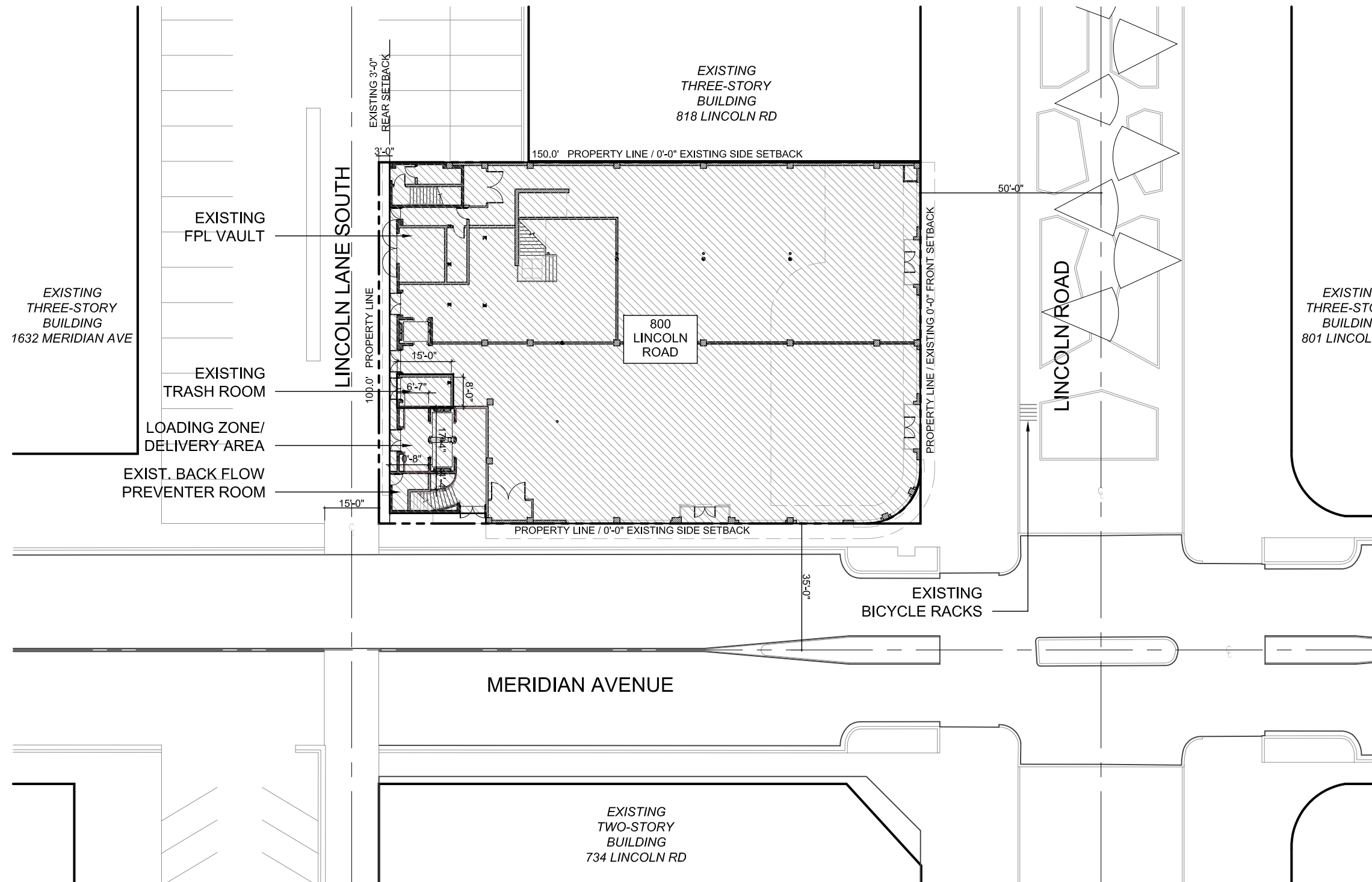


Project # 3801
800 Lincoln Road, Level 3.
Miami Beach, FL, 33139



A-1.3

CONTEXT LOCATION PLAN



1 EXISTING SITE PLAN (NO CHANGES - PER HPB ORDER No 7550 & PB18-0253 CU)

SCALE: 1/32" = 1'-0"





○ AERIAL VIEW / PHOTO KEY PLAN
SCALE: N.T.S. 



○ 1 LINCOLN ROAD (NORTH) FACADE
SCALE: N.T.S.



2

MERIDIAN AVE: FACING SW

SCALE: N.T.S.



3

MERIDIAN AVE: FACING SW

SCALE: N.T.S.



4

MERIDIAN AVE: FACING NW

SCALE: N.T.S.



5

MERIDIAN AVE: FACING WEST

SCALE: N.T.S.



1

INTERIOR SPACE

SCALE: N.T.S.



2

INTERIOR SPACE

SCALE: N.T.S.



3

EXTERIOR SPACE

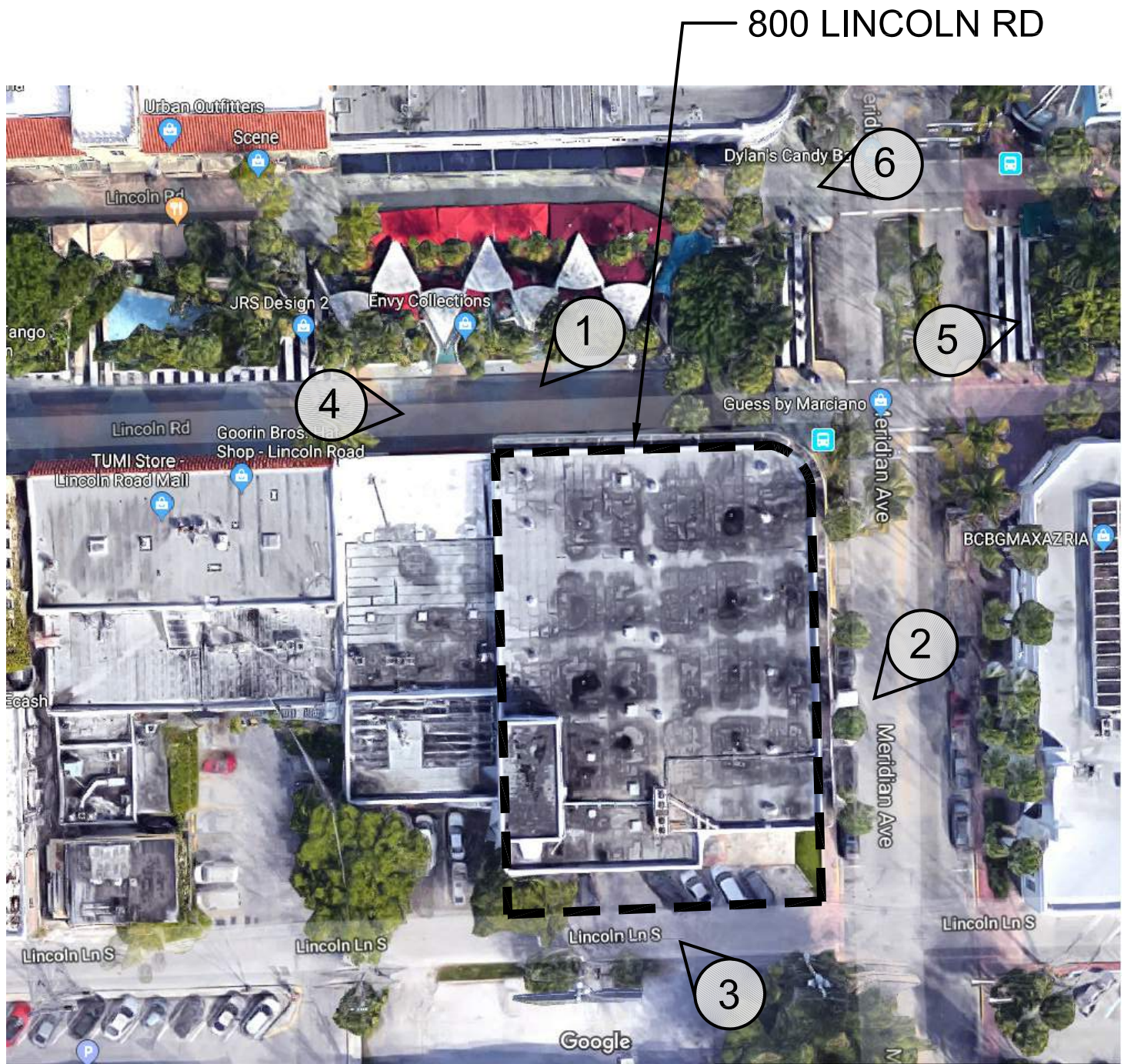
SCALE: N.T.S.



4

EXTERIOR SPACE

SCALE: N.T.S.



AERIAL VIEW / PHOTO KEY PLAN
SCALE: N.T.S.



1 818 & 838 LINCOLN ROAD: FACING WEST
SCALE: N.T.S.



2 LINCOLN ROAD & MERIDIAN AVE: FACING WEST
SCALE: N.T.S.