

1787 NORMANDY DR. TOWNHOMES FINAL SUBMITTAL 10-12-20

DRB 20-0587

SCOPE OF WORK: DESIGN REVIEW APPROVAL

WAIVER: GARAGE CLEARANCE



DWG. TITLE SCALE PROJECT NO.

SHEET NUMBER

A DATE REVISION

DWG. TITLE

SCALE

DATE

PROJECT NO.

SHEET NUMBER **A-000**

BELLINSON , , , GOMEZ,

ARCHITECTURE AAC001062
JOSE L. GOMEZ AR0015416
8101 BISCAYNE BLVD.
SUITE 309
MIAMI FL 33138-4664
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FAX (305) 551.1740



SOUTH EAST VIEW

BELLLINSON GOME,Z

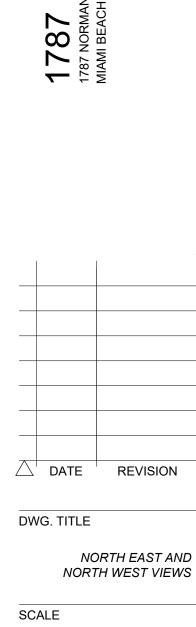
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NORTH WEST VIEW



NORTH EAST VIEW



PROJECT NO.

SHEET NUMBER

A-000

DATE

1355 NW 97TH AVE, SUITE 200 MIAMI, FL 33172 TELEPHONE: (305) 436-8004 FAX: (305) 264-0229

DRAWN BY: A.A

Nova Surveyors, Inc.

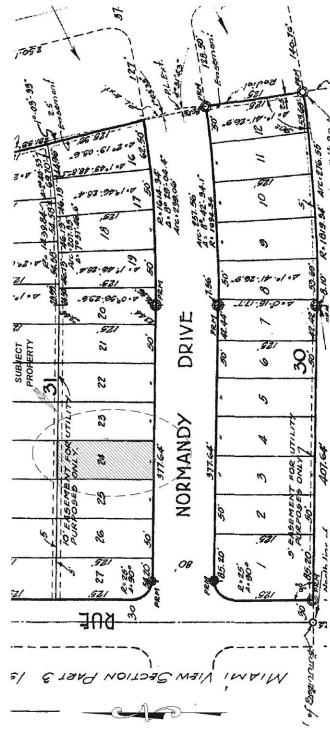
LAND SURVEYORS

15-0001097-6 2 OF SURVEY NO SHEET NO

SURVEY OF LOT 24, BLOCK 31, OF ISLE OF NORMANDY MIAMI VIEW SECTION PART 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 41, PAGE 75, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

1787 NORMANDY DR, MIAMI BEACH, FL 33141 NEW ALHAMBRA HOLDINGS, CORP. PROPERTY ADDRESS: FOR:

Scale 1" = NT.S. SKETCH LOCATION



ABBREVIATION AND MEANING

FINIP = FEDERAL NATIONAL INSURANCE PROGRAM IN & EG = INGRESS AND EGRESS ESSEMENT L.F.E. = LOWEST FLOOR ELEVATION L.M.E. = LAKE MAINTENANCE EASEMENT L.P. = LIGHT POLE M. = MANHOLE NATH = MANHOLE NATH = MANHOLE NATH = MANHOLE NATIONAL GEODETIC VERTICAL DATUM N.T.S. = NOT TO SCALE O.H.L. = OVERHEAD UTILITY LINES O.R.B. = OFFICIAL RECORD BOOK O.R.B. = PLAT BOOK P.C. = POINT OF COMPOUND CURVE P.C. = POINT OF COMPOUND P.C. = POINT OF COMPOUND P.C. = POINT OF COMMENCEMENT P.C. = POINT OF BEGINNING P.C. = POINT OF COMMENCEMENT	P.F.C. = POOL PUMP SLAB P.R.C. = POINT OF REVERSE CURVE PRM = PERMANNENT REFERENCE MONUMENT PT. = POINT OF TANGENCY PVMT. = PACKWAY R. = RECORD DISTANCE
A = ARC AC = AIR CONDITIONER PAD AE. = ANCHORE RASEMENT ASP = ALUMINIUM ROOF ASP = ALUMINIUM SHED B.M. = BENCH WARK B.M. = BENCH WARK B.M. = BENCH WARK C.R. = CALCUATED C.B. = CALCUATED C.B. = CALCUATED C.B. = CATCH BASIN C.B. = CATCH BASIN C.B. = CATCH BASIN C.H. = CHORD C.H. = CHORD C.H. = CHORD C.H. = CHORD C.H. = CLER C.L. = CHORD C.M. E. = CANCRETE C.M. E. = CONCRETE C.D. = CONCRETE C.D. = CONCRETE C.S. = CONCRET	ETT. P. = ENCIPER TRANSFORMER PAD F.F.E. = FINISHED FLOOR ELEVATION F.H. = FIRE HYDRANT F.I.P. = FOUND IRON PIPE F.I.R. = FOUND IRON ROD F.N. = FOUND NAIL F.N. = FOUND NAIL

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY ("SURVEY");

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY. THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESERVATIONS OR REASON, AND LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.

 BOUNDARY SURVEY MEANS A DRAWING AND / OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN ARE PREVIOUR DRAWING STALE AND / OR NOT TO SCALE.

 THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND / OR NOT TO SCALE.

 ARCHITECTS SHALL VERIEY ZONING REGULATIONS, RESTRICTIONS AND SETBACKS, AND THEY WILL BE RESPONSIBLE FOR SUBMITTING POLT PLANS WITH THE CORRECT INFORMATION FOR THEIR APPROVAL FOR AUTHORIZATION TO AUTHORITIES IN NEW CONSTRUCTIONS, UNLESS OTHERWISE NOTED. THIS FIRM HAS NOT ATTEMPTED TO LOCATE STAFENCE OWNERSHIP NOT DETERMINED.

 FIENCE OWNERSHIP NOT DETERMINED.

 THE SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE INFORMATION BELOW THE LOCAL F.E.M.A.

 AGENT SHOULD BE CONTACTED FOR VERIFICATION. THE FINIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN ZONE: AE

 AGENT SHOULD BE CONTACTED FOR VERIFICATION. THE FINIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN ZONE: AE

CERTIFIED TO: NEW ALHAMBRA HOLDINGS, CORP.

LEGEND TYPICAL

= EXISTING ELEVATIONS C.L.F. = CHAIN LINK FENCE -0H- OVERHEAD UTILITY LINES W.F. = WOOD FENCE C.B.S. = WALL (CBW) I.F. = IRON FENCE × 0.00

RAD. = RADIUS OF RADIAL RGE. = RANGE R.P. = RADIUS POINT R.O.E. = ROOF OVERHANG

R/W = RIGHT-OF-WAY
SEC. = SECTION
S.I.P = SET RON PIPE L.B. #F
SWK. = SIDEWALK
T = TANGENT
TWP = TOWNSHIP
U.E. = UTILITY EASEMENT
U.E. = UTILITY POLE
W.M. = WATER METER
W.R. = WOOD ROOF
W.S. = WOOD SHED

1) IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY. IF NOT, THEN BEARINGS ARE REFERRED TO COUNTY TOWNSHIP MAPS.

2) THIS IS A SPECIFIC PURPOSE SURVEY.
3) THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1.7500 FT.
4) IF SHOWN, ELEVATIONS ARE REFERRED TO MIAMI-DADE. COUNTY. SURVEYOR'S NOTES

 $\triangle = CENTRAL ANGLE$ $\mathcal{L} = CENTER LINE$ $\mathcal{L} = MONUMENT LINE$

₹ = ANGLE

ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEOGRAPHIC VERTICAL DATUM OF CITY OF MIANM BENCH MARK# N-313UCG LOCATOR# 3221 SE ELEVATION 3.75 FEET OF N.G.V.D. OF 1929

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY: THAT THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HERCEN, AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION, COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

(DATE OF FIELD WORK) GEORGE IBARRA BY:

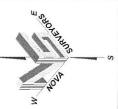
PROFESSIONAL LAND SURVEYOR NO. 2534

STATE OF FLORIDA (VALID COPIES OF THIS SURVEY WILL
BEAR THE EMBOSSED SEAL OF THE ATTESTING LAND
SURVEYOR). 2020

REVISED ON:

REVISED ON:





1355 N.W. 97th AVE SUITE 200 MIAMI, FLORIDA 33172 TELEPHONE: (305) 264-2660 FAX: (305) 264-0229

DRAWN BY: LG. (AL.)

Surveyors Nova

Inc

LAND SURVEYORS

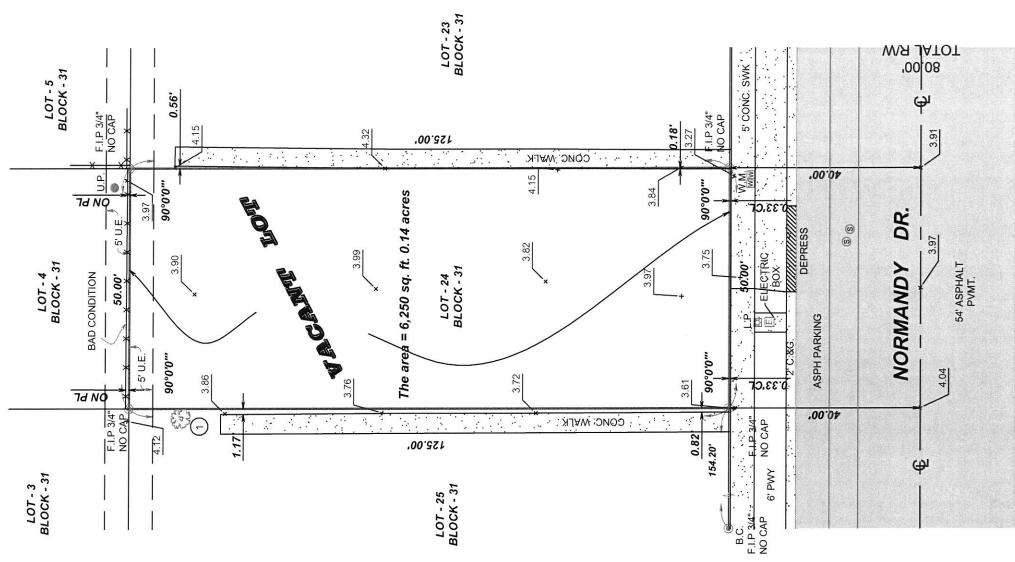
2

9 7 SHEET No.

SURVEY No. 15-0001097-6

BOUNDARY SURVEY

SPREAD(') 15.00 DIAMETER(') HEIGHT(') 25.00 TABLE 0.70 TREE TREE NAME UMBRELLA No.



SURVEYOR'S NOTE:
- There may be Basements recorded in the Public Records not shown on this Survey.

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM # Zo	oning Information				
1 Ad	ddress:	1787 Normandy Dr.			
2 Bo	oard and file numbers:				
3 Fo	olio number(s):	02-3210-017-0310			
4 Ye	ear constructed:		Zoning District:	RM-1	
5 Ba	ase Flood Elevation:	8.00'	Grade value in NGVD:	3.75'	
6 Ad	djusted grade (Flood+Grade/2):	5.875'	Lot Area (SF):		6,250.00
7 Lo	ot width (FT):	50.00	Lot Depth (FT):		125.00
8 Mi	linimum Unit Size(SF):	550.00	Average Unit Size:	800	
9 Exi	disting use:	Vacant	Proposed use:	Residential multifamily - Townhomes	
		Maximum	Existing	Proposed	Deficiencies
10 He	eight:	50'-0"		38'-6''	
11 Nu	umber of Stories:			4	
12 FA	AR:	1.25		1.25	
13 Gr	ross square footage:	7,812.50		7,810.00	
14 Sq	quare Footage by use:	N/A			
15 Nu	umber of units Residential:	N/A		6.00	
16 Nu	umber of units Hotel:	N/A		N/A	
17 Nu	umber of seats:	N/A		N/A	
18 Oc	ccupancy load:	N/A		N/A	
	Setbacks	Required	Existing	Proposed	Deficiencies
Su	ubterranean and Pedestal				
19 Fro	ont Setback:	20'-0''		20'-0''	
20 Sid	de Setback:	7'-6''		7'-6''	
21 Sid	de Setback:	7'-6''		7'-6''	
22 Sid	de Setback facing street:	N/A		N/A	
23 Re	ear Setback:	12'-6''		12'-6''	
At	t Grade Parking:				
24 Fro	ont Setback:	20'-0''		20'-0''	
25 Sid	de Setback:	5'-0''		5'-0''	
26 Sid	de Setback:	5'-0''		5'-0''	
27 Sid	de Setback facing street:	N/A		N/A	
28 Re	ear Setback:	12'-6''		12'-6''	
	Parking	Required	Existing	Proposed	Deficiencies
29 Pa	arking District: No. 1				
30 To	otal # of parking spaces:			6	
31 Pa	arking Space Dimensions:			8'-6" x 16'-0"	
32 Pa	arking Space configuration			90 degrees	
(45	50,600,900,Parallel)				
	DA Spaces			0	
	andem Spaces			0	
	rive aisle width			18'-0''	
	alet drop off and pick up			N/A	
3/	reas			N/A	
38 Ra	acks			6	

	39	Is this a contributing building?	Yes or No
	40	Located within a Local Historic	Yes or No
	District?	163 31 143	

PROJECT TEAM OWNER:

NEW ALHAMBRA HOLDINGS, CORP. 755 CRANDON BOULEVARD KEY BISCAYNE, FL 33149

DESIGN/PROJECT ARCHITECT:

BEILINSON GOMEZ ARCHITECTS PA JOSE L. GOMEZ AR0015416 8101 BISCAYNE BLVD., SUITE 309-310 MIAMI, FL 33138-4664 TEL. (305) 559.1250

LANDSCAPE ARCHITECT: CORP. ID # 0000266

FAX. (305) 551.1740 GARDNER + SEMLER DESIGN LANDSCAPE ARCHITECTURE 17670 NW 78TH AVE., SUITE 214 MIAMI, FL 33015 TEL. (305) 392.1016

DRAWING INDEX

ARCHITECTURAL

COVER SOUTH EAST VIEW A-000 A-000 NORTH EAST AND NORTH WEST VIEWS SURVEY GENERAL NOTES, INDEX AND ZONING INFORMATION ENLARGED CONTEXT LOCATION MAP SITE PICTURES CONTEXT PICTURES A-001 A-002 A-003 A-004 A-005 A-100 A-101 A-102 A-103 A-104 A-201 A-201 A-301 A-302 A-303 A-401 DIAGRAM - AREA ANALYSIS SITE PLAN GROUND LEVEL PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN FOURTH FLOOR PLAN - ROOF PLAN UPPER ROOF PLAN
BUILDING ELEVATIONS
BUILDING ELEVATIONS
CROSS BUILDING SECTIONS

LANDSCAPE

PLANTING PLAN PLANTING DETAILS AND SPECIFICATIONS

ENLARGED SECTION YARD DIAGRAMS

MATERIALS

LONGITUDINAL BUILDING SECTION AND WAIVER DIAGRAM

APPLICABLE CODES

MATERIAL LEGEND

solid conc. mas. unit

MIAMI BEACH, FLORIDA CODE OF ORDINANCE

BUILDING CODE: FLORIDA BUILDING CODE 2017

concrete pre cast

insulation

GOVERNING ZONING CODE:

insulation blanket

FLORIDA BUILDING CODE: EXISTING BUILDING CODE 2017 **EXISTING BUILDING:**

STRUCTURAL: FLORIDA BUILDING CODE 2017 PLUMBING: FLORIDA BUILDING CODE 2017 - PLUMBING MECHANICAL: FLORIDA BUILDING CODE 2017 - MECHANICAL ELECTRICAL: FLORIDA BUILDING CODE - 2017 EDITION ACCESSIBILITY: FLORIDA BUILDING CODE 2017 - CHAPTER 11 FACBC

FIRE PROTECTION: FLORIDA FIRE PREVENTION CODE - 2017 EDITION

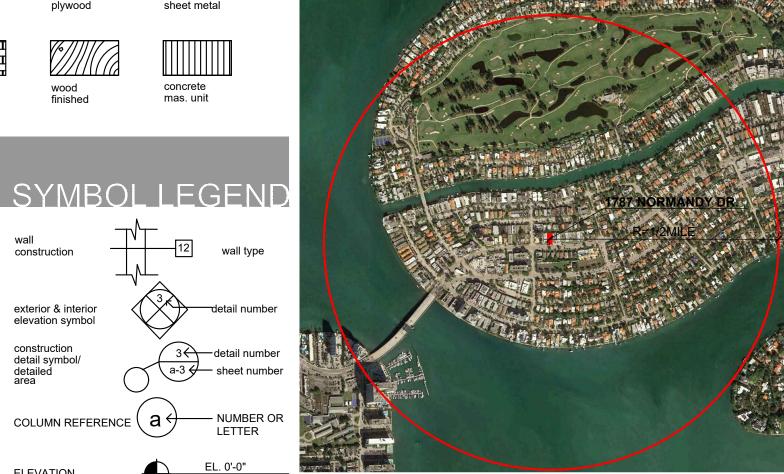
PROJECT INFORMATION

SCOPE OF WORK

DESIGN OF A NEW MULTI-STORY, SIX-UNIT RESIDENTIAL BUILDING IN A VACANT LOT.

LEGAL DESCRIPTION

ISLE OF NORMANDY MIAMI VIEW SEC PART 2 PB 41-75 LOT 24 BLK 31 LOT SIZE 50.000 X 125 OR 13340-770 0687 6



LOCATION MAP

S TOWNHOME

BEILLINSON

ARCHITECTURE AAC001062 JOSE L. GOMEZ AR0015416

8101 BISCAYNE BLVD.

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, , , , GOME,Z,

DATE DWG. TITLE GENERAL NOTES
INDEX AND ZONING INFORMATIO PROJECT NO.

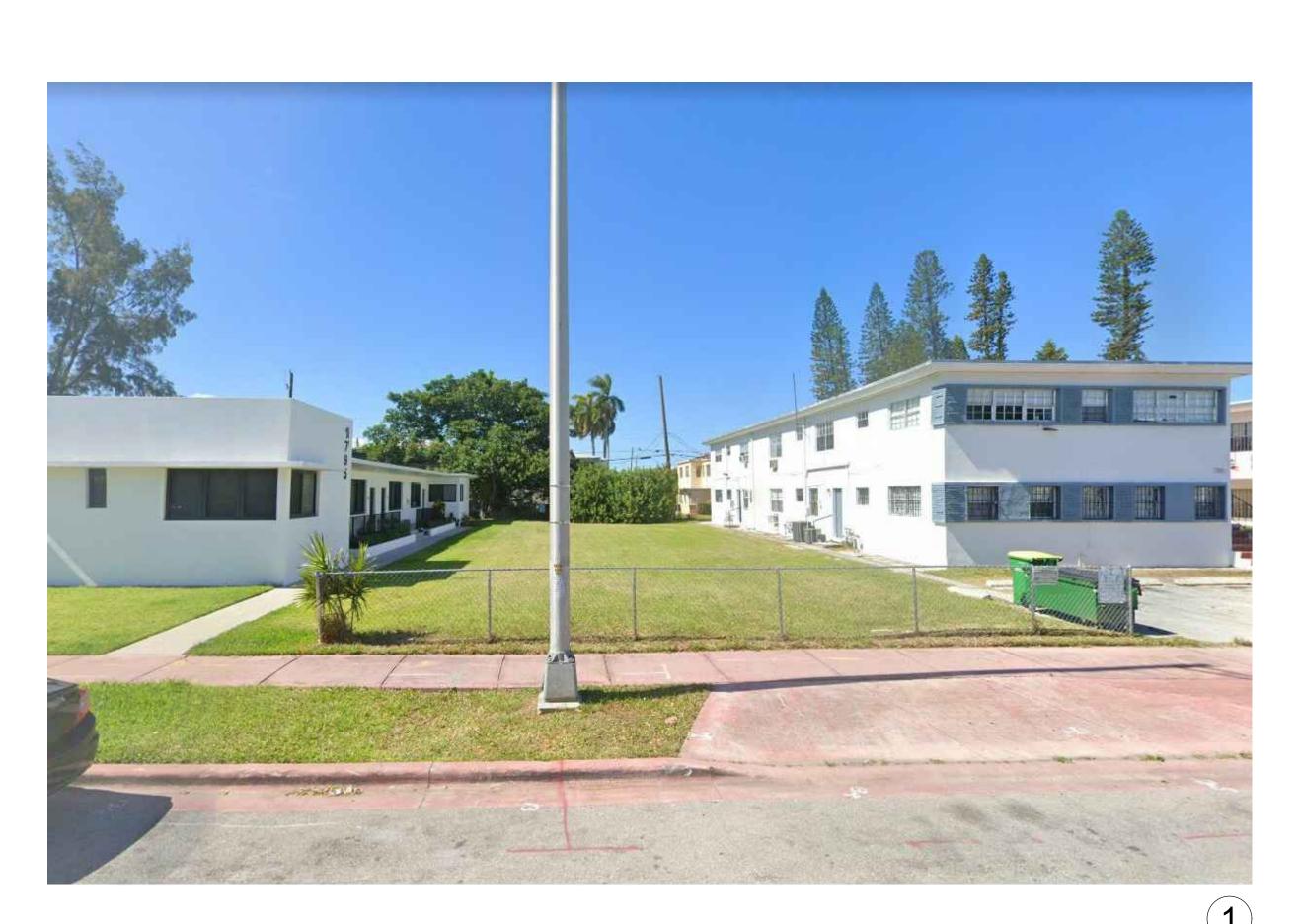
SHEET NUMBER

BELLLINSON , , , GOMEZ, ARCHITECTURE AAC001062 JOSE L. GOMEZ AR0015416 8101 BISCAYNE BLVD. SUITE 309 MIAMI FL 33138-4664 TEL. (305) 559.1250 FAX (305) 551.1740

ENLARGED CONTEXT LOCATION MAP









1787 NORMANDY DR. TOWNHOMES MIAMI BEACH, FL 33141

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DATE REVISION

DWG. TITLE

SITE PICTURES

SCALE

N.T.S.

PROJECT NO.

SHEET NUMBER

A-003

3

KEY PLAN
SCALE: N.T.S.











TOWNHOMES 1787 NORMANDY DR MIAMI BEACH, FL 33141

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DATE DWG. TITLE

CONTEXTUAL PICTURES SCALE PROJECT NO.

SHEET NUMBER **A-004**

9 10

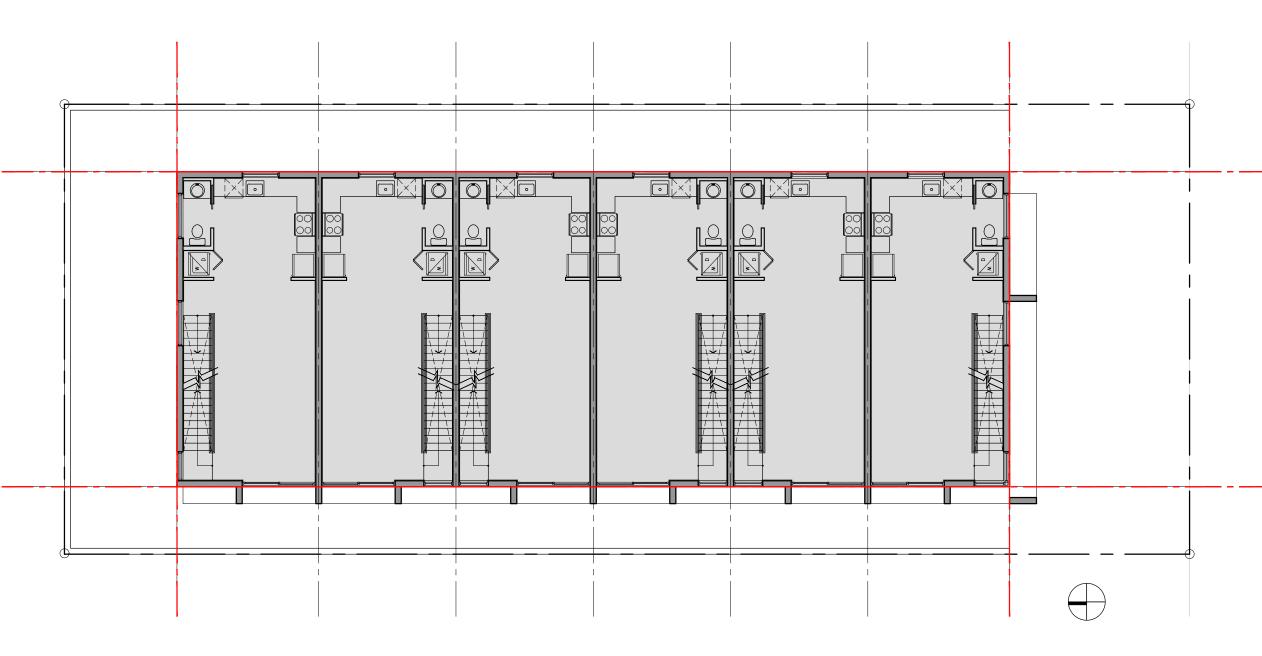
78

BEILINSON GOMEZ

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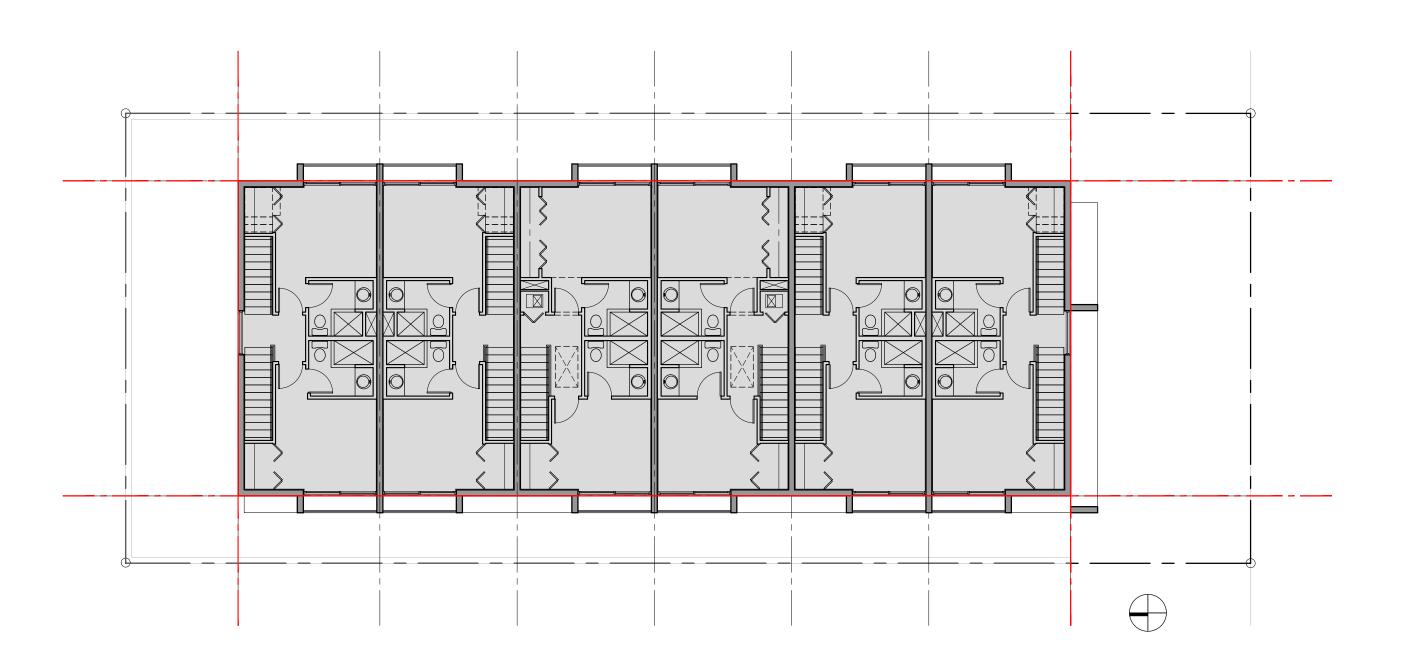
GROUND FLOOR

FLOOR AREA INCLUDED IN CALCULATIONS= 437 SF



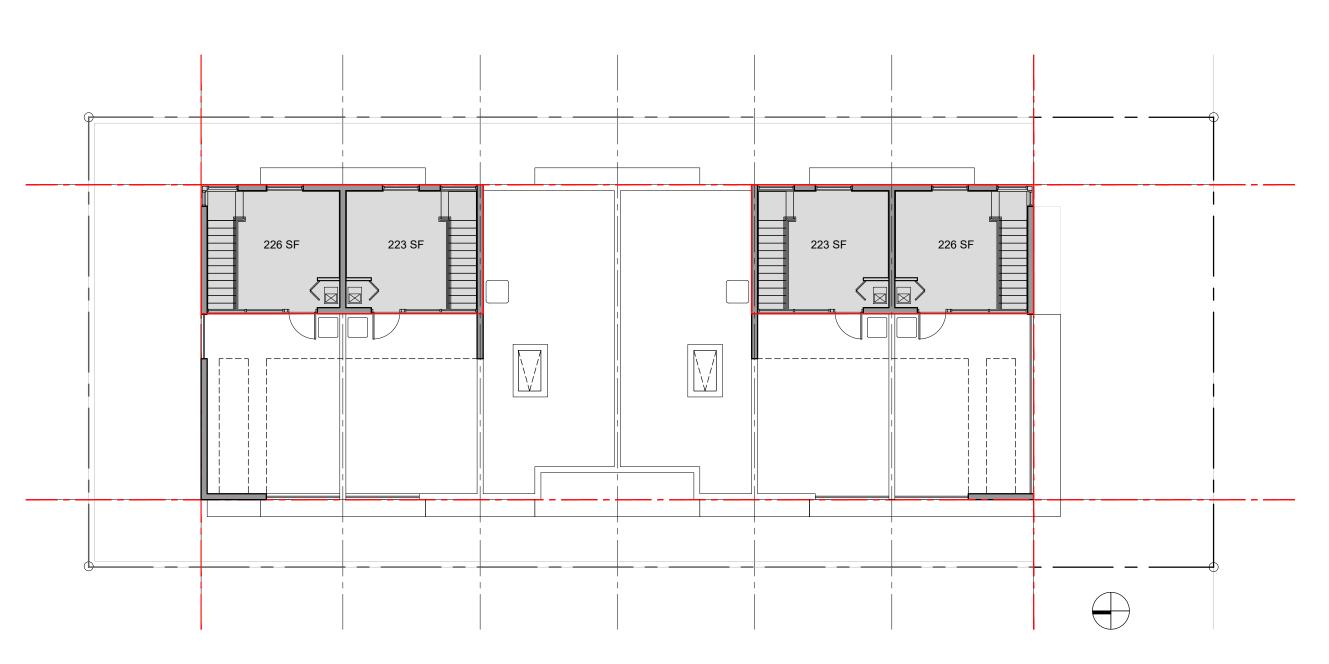
SECOND FLOOR

FLOOR AREA INCLUDED IN CALCULATIONS= 3,237.5 SF



THIRD FLOOR

FLOOR AREA INCLUDED IN CALCULATIONS= 3,237.5 SF



ROOF LEVEL

FLOOR AREA INCLUDED IN CALCULATIONS= 898 SF

FLOOR AREA CALCULATION LOT AREA= 6,250 SF MAX. FAR ALLOWED= 1.25 / 7,812.5 SF

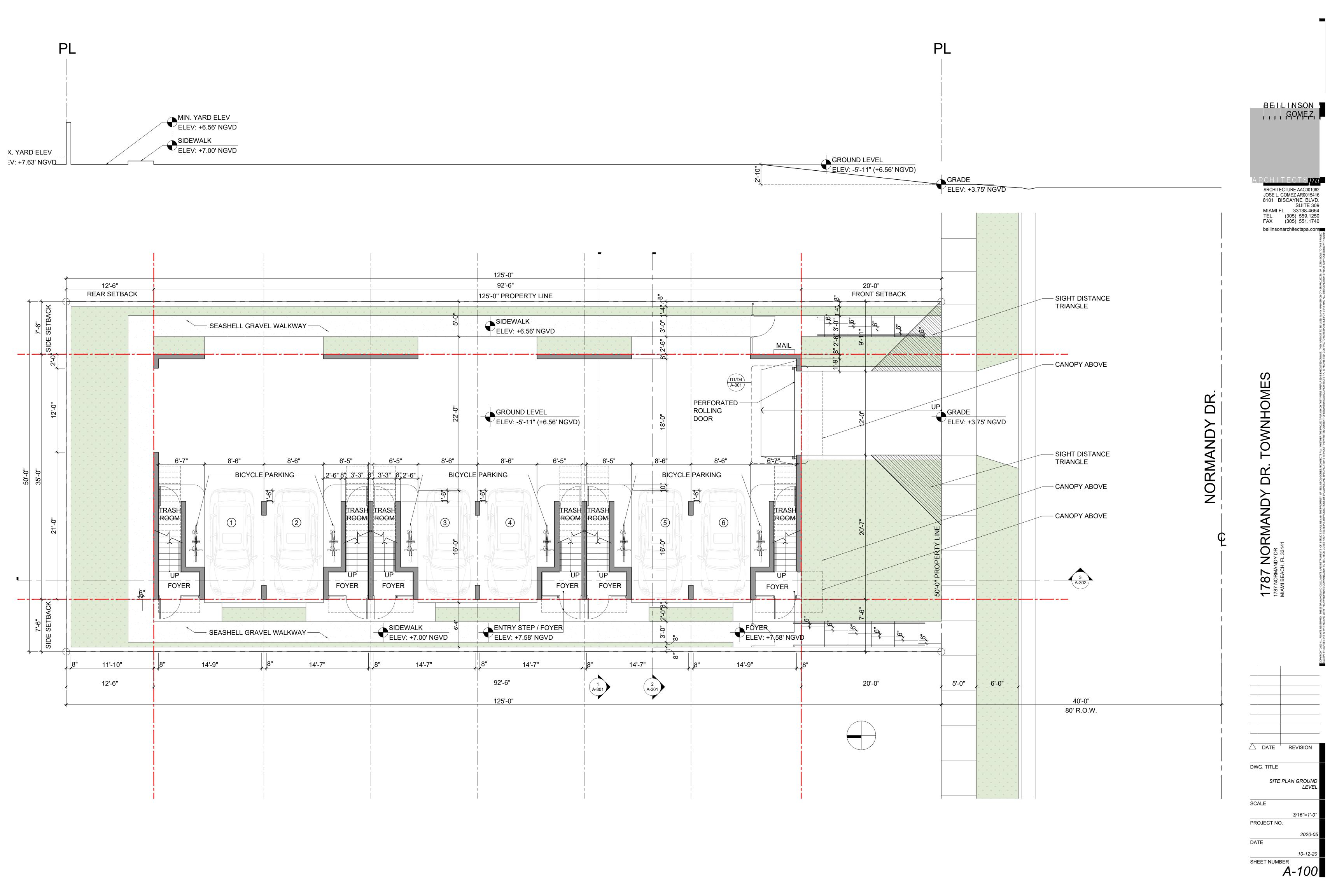
TOTAL FLOOR AREA PROVIDED= 7,810 SF GROUND FLOOR= 437 SF SECOND FLOOR= 3,237.5 SF THIRD LEVEL= 3,237.5 SF ROOF LEVEL= 898 SF

1787 NORMANDY DR MIAMI BEACH, FL 33141

DATE DWG. TITLE DIAGRAM - FLOOR SCALE 3/32"=1'-0" PROJECT NO. DATE

A-005

SHEET NUMBER



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1787 NORMANDY DR. TOWNHOMES MIAMI BEACH, FL 33141

DATE REVISION

DWG. TITLE

SECOND FLOOR PLAN

SCALE

DATE

PROJECT NO.

SHEET NUMBER

3/16"=1'-0"

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DR 1787 NORMANDY DR MIAMI BEACH, FL 33141

A DATE REVISION DWG. TITLE THIRD FLOOR PLAN

SCALE 3/16"=1'-0" PROJECT NO. DATE

SHEET NUMBER

A-102

BEILINSON , , , GOME,Z, ARCHITECTURE AAC001062 JOSE L. GOMEZ AR0015416 8101 BISCAYNE BLVD. SUITE 309 MIAMI FL 33138-4664 TEL. (305) 559.1250 FAX (305) 551.1740

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TOWNHOMES

DR 1787 NORMANDY DR MIAMI BEACH, FL 33141

DATE REVISION DWG. TITLE FOURTH FLOOR PLAN -ROOF PLAN

SCALE

3/16"=1'-0" PROJECT NO.

DATE SHEET NUMBER

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1787 NORMANDY DR. TOWNHOMES MIAMI BEACH, FL. 33141

DATE REVISION

DWG. TITLE

UPPER ROOF PLAN

SCALE

3/16"=1'-0"

PROJECT NO.

2020-08

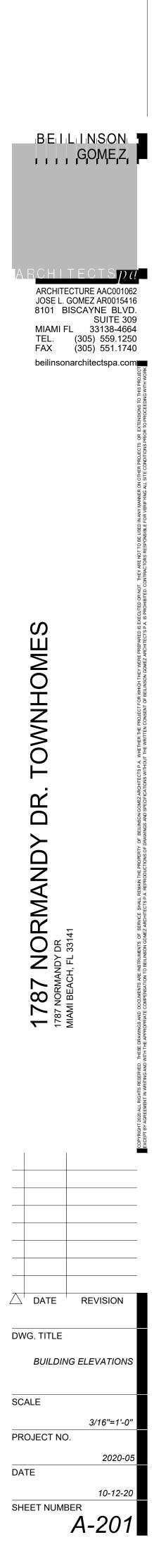
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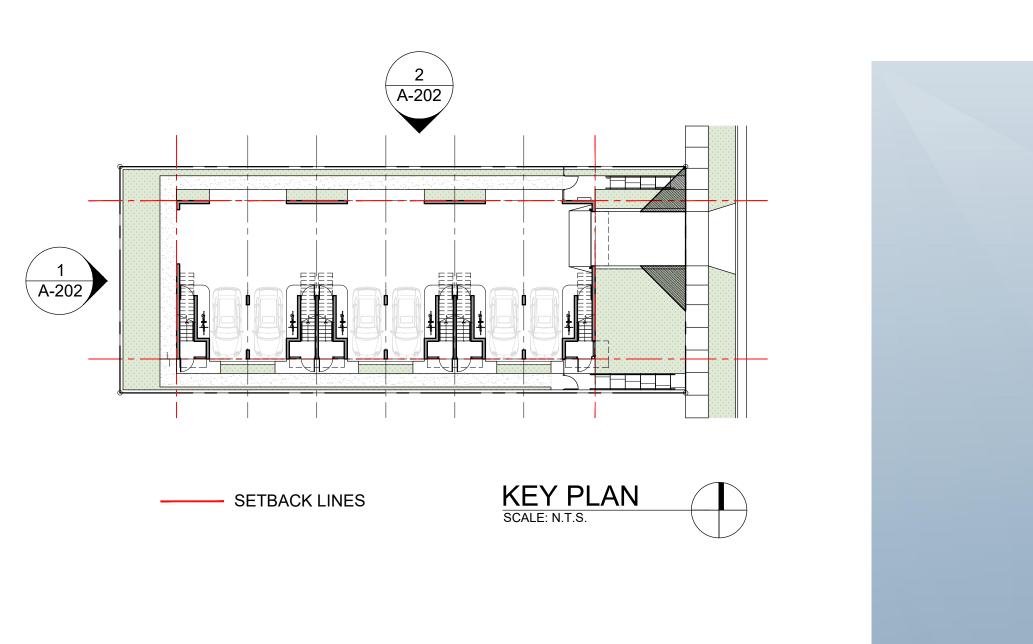
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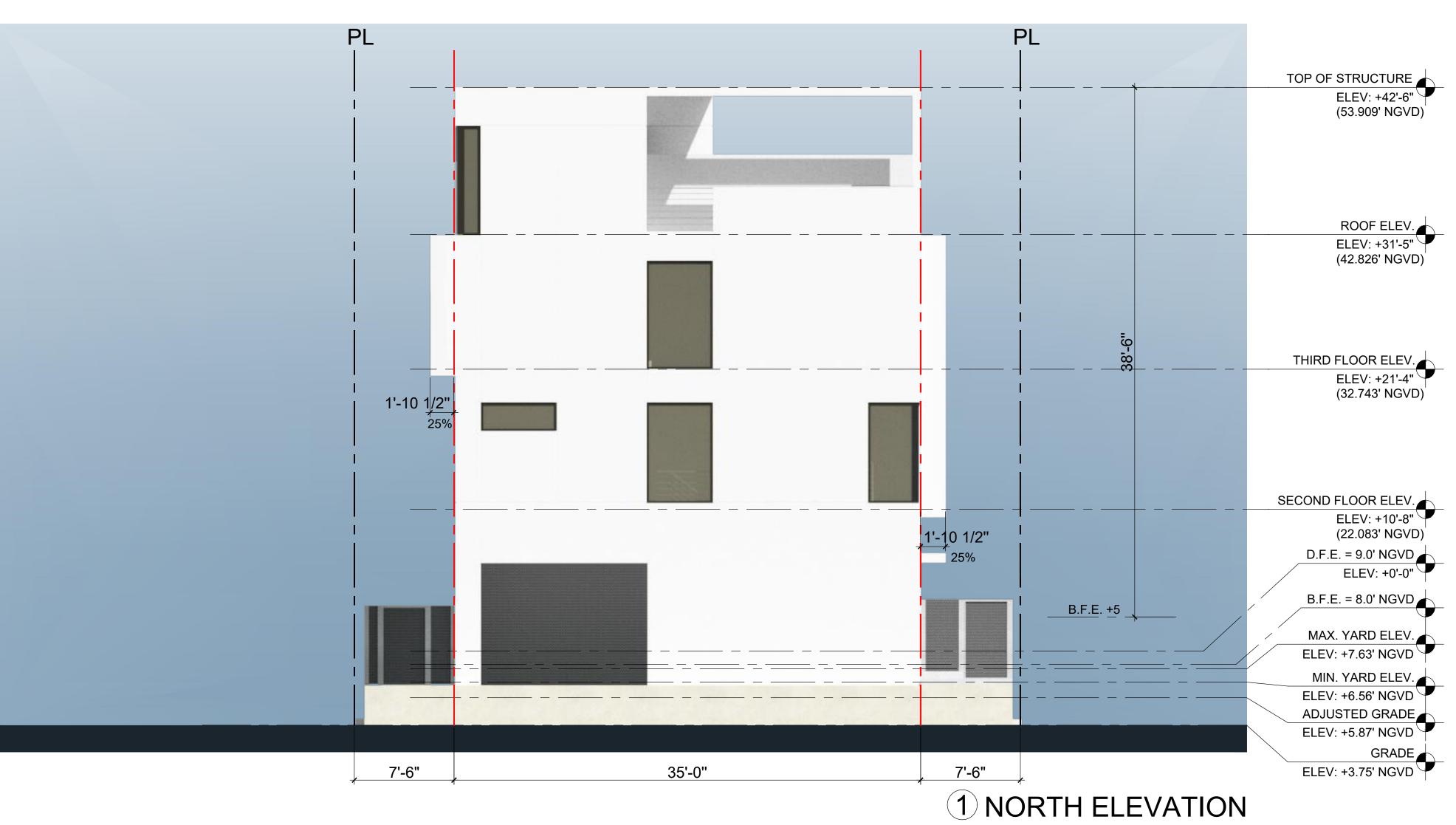
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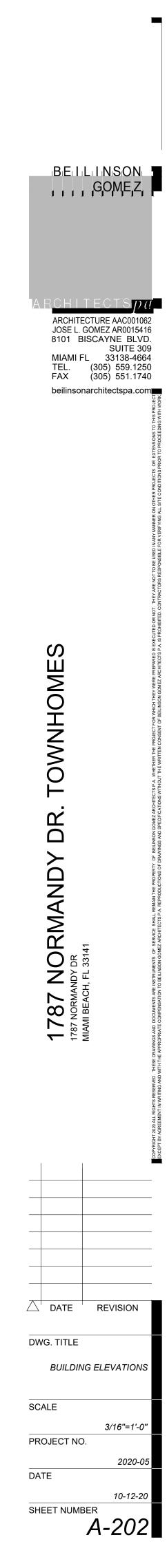


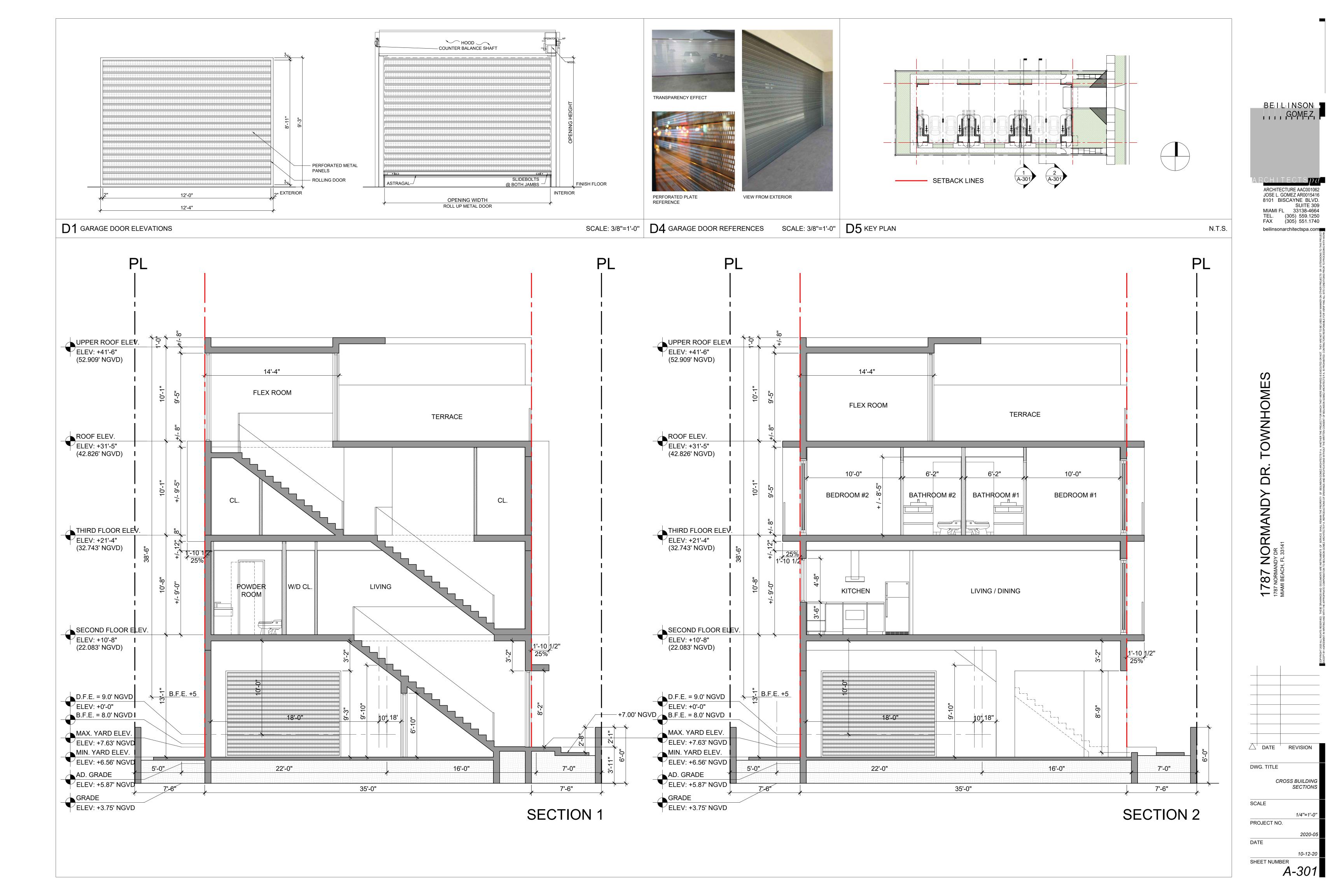


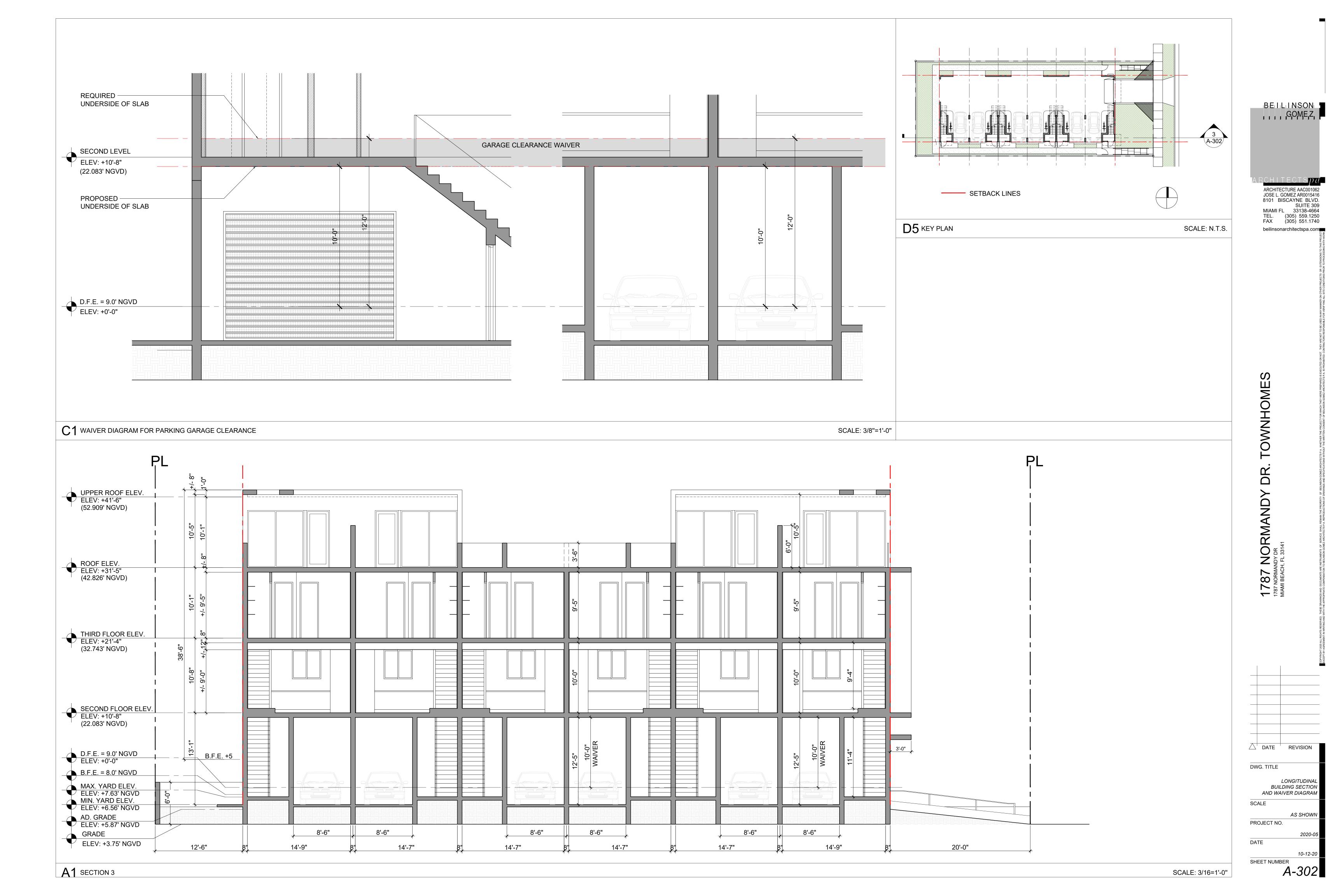


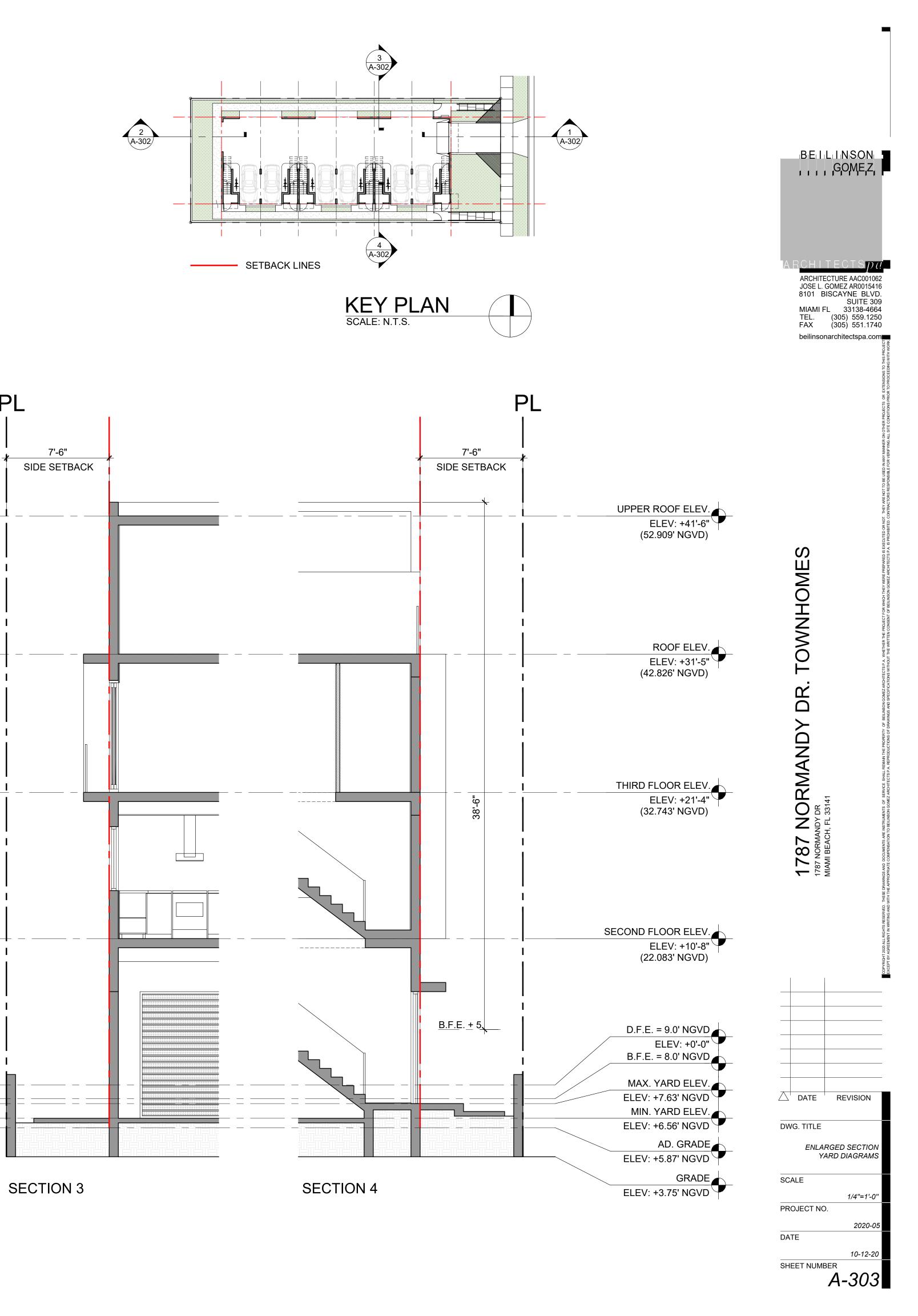












PL

12'-6"

REAR SETBACK

SECTION 2

PL

PL

20'-0"

FRONT SETBACK

SECTION 1

BELLLINSON GOME,Z,

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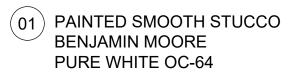
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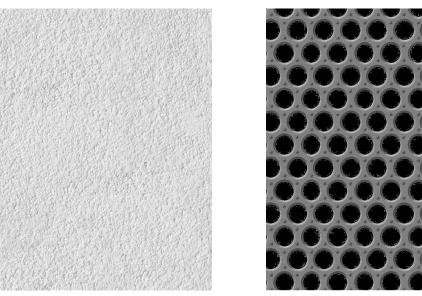
SOUTHWEST VIEW

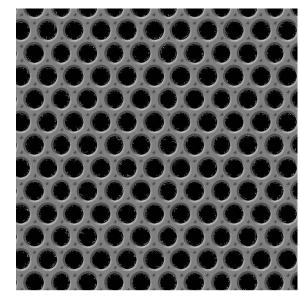


SOUTHEAST VIEW





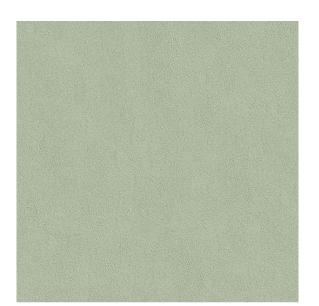




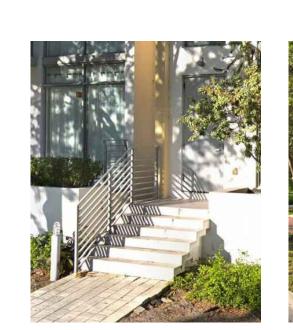
02 PERFORATED METAL GARAGE DOOR



03 DARK ANODIZED ALUMINUM STOREFRONT WITH CLEAR GLASS



04 PAINTED SMOOTH STUCCO BENJAMIN MOORE CASTLE WALLS 1573



05 FLAT BAR METAL RAILING

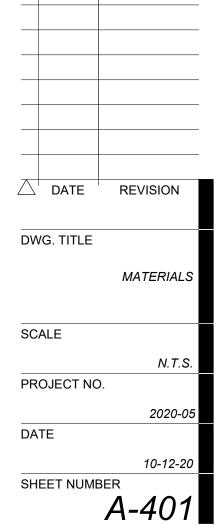


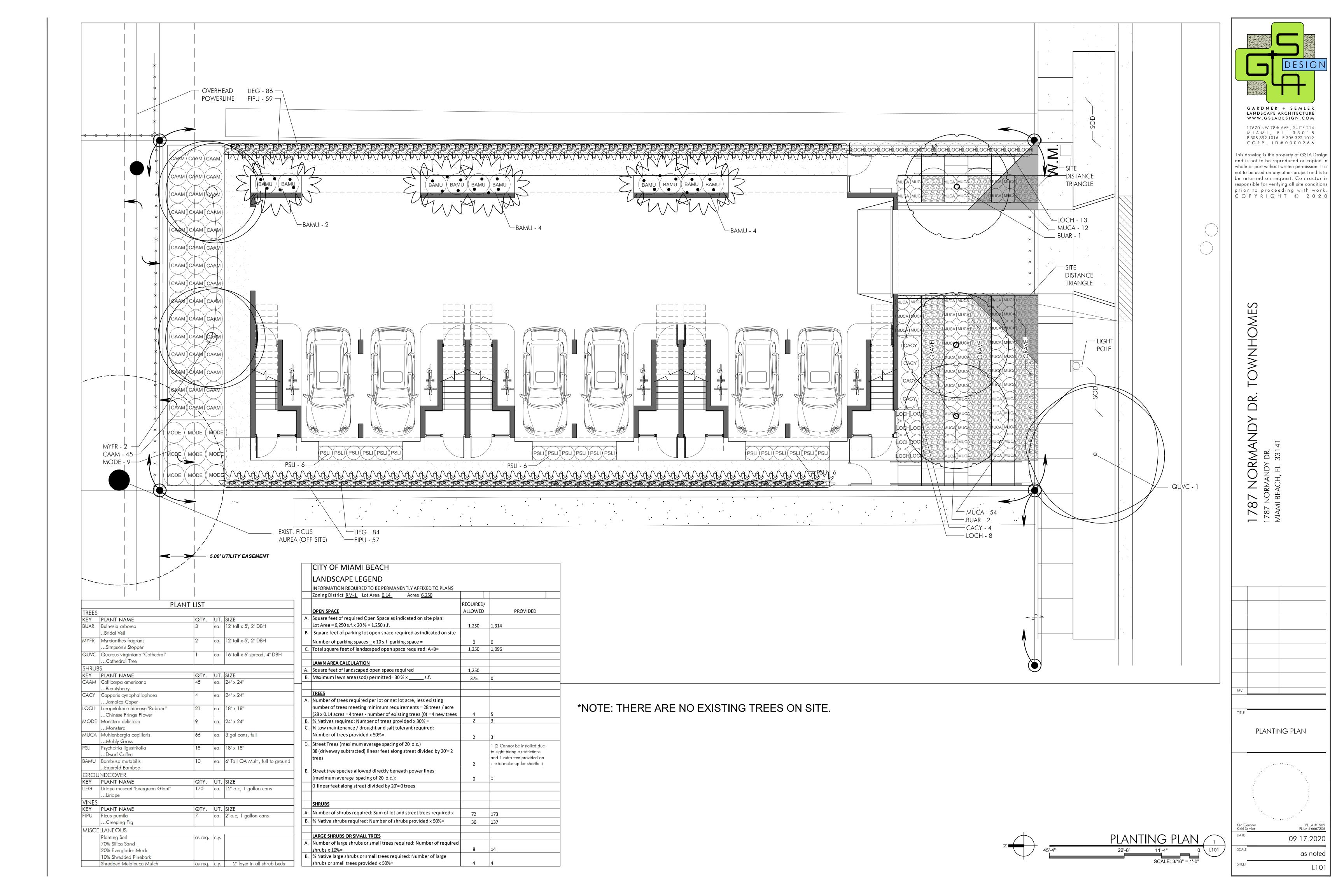
06 SEASHELL GRAVEL WALKWAY



07 CONCRETE STEP STONES







.2 CONTRACTOR QUALIFICATIONS

Landscape installation work to be performed by a Contractor Certified by the Florida urserymen, Growers and Landscape Association (FNGLA) as a Certified Landscape ontractor. Any pruning to be supervised by an Arborist, certified by the International Society f Arboriculture (ISA) and licensed in County where work is performed.

INVESTIGATION OF UTILITIES

Prior to beginning work, the Contractor shall be responsible to locate existing derground utilities. Check with all utility companies and Sunshine State, call (811).

4 SUBSTITUTIONS . Only materials specified will be accepted, unless approved in writing by the Landscape

Architect in advance. 5 PLANT SIZES

. All plant sizes shall equal or exceed the minimum sizes as specified in the plant list. When plant sizes are specified as a range of size, installed materials shall average the mean of the range specified. Plants shall be measured following pruning, with branches in normal position. All necessary pruning shall be done at the time of planting.

.6 PLANT QUALITY

All plant material shall be equal to or better than Florida No. 1 as classified by "Grades nd Standards for Nursery Plants" by the Division of Plant Industry, Florida Department of Agriculture. They shall have a growth habit that is normal for the species; healthy, vigorous, free from insects, disease and injury.

. The Owner or Landscape Architect reserves the right to refuse any plant material which does not conform to the intent of the written specifications or design.

CIRCLING ROOTS FOUND ON CONTAINER-GROWN MATERIAL WILL NOT BE ACCEPTED UNLESS REMEDIAL ROOT PRUNING, APPROVED BY THE LANDSCAPE ARCHITECT IS DONE BEFORE PLANTING.

. The plant quantities shown on the plant list are to be used only as an aid to bidders. In he case of discrepancy between the plant list and the plan, the quantity on the plan shall verride the plant list.

.8 UNIT PRICES The successful bidder shall furnish to the Owner and the Landscape Architect, a unit price eakdown for all materials. The Owner may, at his discretion, add to or delete from the

materials utilizing the unit price breakdown submitted to and accepted by the Owner.

.9 SUBMITTALS Fertilizer: The Contractor shall submit to the Owner and Landscape Architect ocumentation that all the fertilizer used for the project is of the analysis specified and placed above, after installation of each section of the planting installed. at the rates specified in section 2.2 FERTILIZER.

Planting soil: The Contractor shall submit a sample of the planting soil (approximately 1 Ft.) for approval by the Landscape Architect prior to delivery to the site.

10 CLEAN-UP & MAINTENANCE OF TRAFFIC

. Follow procedures in FDOT Index 600 for maintenance of traffic during construction.

. At the end of each work day, the Contractor shall remove debris and shall barricade the n-filled holes in a manner appropriate in the path of pedestrians and motorists.

Upon completion of the work or any major portion of the work or as directed by the andscape Architect, all debris and surplus material from his work shall be removed from the

11 MAINTENANCE PRIOR TO ACCEPTANCE

The Contractor is responsible to maintain the plantings until they are accepted under the rovisions of 1.12 "ACCEPTANCE OF INSTALLATION"

Plants: Begin maintenance immediately following the final plant installation operation for each plant and continue until all plant installation is complete and accepted. Maintenance hall include watering all plants, weeding, mulching, pest and disease control, tightening and epairing of guys, repair of braces, removal of dead growth, resetting of plants to proper grade or up-right position, restoration of plant saucer, litter pick-up in plant beds and other necessary operations to assure specified minimum grade of Florida No. 1.

Turf Areas: Begin maintenance of turf immediately following the placement of sod and

A. See the details bound herewith or made part of the plans. ntinue until sod installation is complete and accepted. Maintenance shall include but not be limited to, watering, leveling, mowing, weed and pest control, fungus and disease control and other necessary operations as determined by the Landscape Architect and good nursery

Re-setting or straightening trees and palms:

he Contractor shall re-set and/or straighten trees and palms as required at no additional cost to the Owner unless caused by sustained winds of 75 mph or more. Then, the costs of the operations may be charged to the owner. Re-set trees within 48 hours.

.12 ACCEPTANCE OF INSTALLATION

he possible replacement of plants and turf, will be made by the Landscape Architect at the onclusion of the maintenance period. Written notice requesting such an inspection and submitted by the Contractor at least ten (10) days prior to the anticipated date.

1.13 GUARANTEE

Guarantee all plants for a period of one year (CCD). Guarantee shall commence from the date of written acceptance. Plant material which is on the site and scheduled to be elocated is not covered by the guarantee except in the case of Contractor's negligence or work that has been done in an unworkman-like manner. The Contractor is not responsible for loss due to acts of god, (i.e.) sustained winds of 75 mph or more, floods, frost, lightning, andalism or theft.

A. Replacement shall be made during the guarantee period as directed by the Landscape rchitect within ten (10) days from time of notification. For all replacement plant material, the guarantee period shall extend for an additional forty-five (45) days beyond the original guarantee period. The Contractor shall be responsible to provide water to the replacement plants in sufficient quantity to aid in their establishment. At the end of the guarantee period, spection will be made by the Landscape Architect, upon written notice requesting such nspection and submitted by the Contractor at least five (5) days before the anticipated date. Replacement plants must meet the requirements of Florida No. 1 at time of inspection. Remove from the site all plants that are dead or in a state of unsatisfactory growth, as etermined by the Landscape Architect. Replace these and any plants missing due to the ontractor's negligence as soon as conditions permit.

Materials and Operations: All replacement plants shall be of the same kind and size as indicated on the plant list. The Contractor shall supply and plant the plants as specified under planting operations.

. Cost of Replacements: A sum sufficient to cover the estimated cost of possible eplacements, including material and labor will be retained by the Owner and paid to the ontractor after all replacements have been satisfactorily made and approved by the andscape Architect.

PART 2 - MATERIALS

PLANTING SOIL Planting soil for trees, shrubs and ground covers shall be of the composition noted on the plans, measured by volume.

. Soil for Sodded Areas: shall be coarse lawn sand.

2 FERTILIZER

Fertilizer for trees, palms, shrubs, and groundcovers shall be as follows: LESCO Palm Special 13-3-13 or equal, Sulfur coated with iron and other minor elements and maximum of 2% chlorine, or brand with equal analysis. The fertilizer shall be uniform in composition, dry and free flowing and shall be delivered to the site in the original unopened containers, earing the manufacturer's guaranteed analysis. Fertilizer for sod and seeded areas shall be can). 8-6-8, 50% organically derived nitrogen, or equal.

The Contractor shall provide potable water on site, available from the start of planting. The Contractor is responsible to ascertain the location and accessibility of the water source. The Contractor is responsible to provide the means of distribution (i.e. water truck, hoses, etc.) for distribution of water to the planting areas.

4 MUICH Mulch shall be as specified on the Plant List.

ROOT BARRIER MATERIAL

Root barrier material shall be 24" deep polypropolylene panels by DeepRoot or approved NOXIOUS BUILDING SUPPLIES OR CHEMICALS WITHIN THE DRIP LINE.

PART 3 - INSTALLATION PROCEDURES

A. Verify location of all underground utilities and obstructions prior to excavation.

A. In all areas infected with weed and/or grass growth, a systemic herbicide shall be applied per manufacturer's rates. When it has been established where work will be done, the systemic herbicide shall be applied in accordance with manufacturer's labeling to kill all noxious growth. Contractor shall schedule his work to allow more than one application to obtain at least 95% kill of undesirable growth. If necessary, Contractor shall conduct a test to establish suitability of product and applicator to be used on this project, prior to execution of the full

3.3 PLANT PIT EXCAVATION AND BACKFILLING A. Trees: See the Planting and Bracing Details and notes.

B. All planting holes shall be hand dug where machine dug holes may adversely affect utilities or improvements.

C. Shrubs and Groundcover: Shrubs and groundcover shall be planted in a soil bed as described in the notes and details. Space shrubs and provide setback from curb and

D. Watering of field-grown plants: Thoroughly puddle in water to remove any air pockets in the plant hole.

A. The Contractor is responsible to provide the water for all new plants and transplants and means of distribution (i.e. hand watering or water truck) during the maintenance period and extending into the period after acceptance until the full schedule as listed below is complete. Water for trees and other large field grown plants shall be supplemented by hand or water truck, in addition to the irrigation system, (if one is provided). Contractor can adjust watering schedule during heavy rain season upon approval of the Landscape Architect.

AMOUNT OF WATER PER APPLICATION

For trees up to 5 inch caliper - 5 gallons From 5 to 8 inch caliper - 25 gallons 9 inch and up caliper - 50 gallons

FREQUENCY OF WATER

Daily for the first week

3 times per week for weeks 2 - 5 2 times per week for weeks 6 - 8 time per week for weeks 9 - 12

B. Water in plants by thoroughly soaking of the entire root ball immediately after planting. For large trees and shrubs, add water while backfilling hole to eliminate any air pockets in the soil around the root ball.

C. Water shrubs, sod and groundcover a minimum of once daily for a week or until an irrigation system is fully operational. If no irrigation system is to be installed, the Contractor shall be responsible for watering the shrub, sod, and groundcover for the time specified

3.5 FERTILIZING

A. Add fertilizer on top of the surface of shrubs beds and tree and palms root balls two (2) months after installation. Fertilize sod within two (2) days after installing after planting of each segment of the job. Fertilizer shall be applied after soil has been well moistened. Fertilizer shall be washed off of plant leaves and stems immediately after application. Apply at the

1. Trees and Large Shrubs: One (1) pound per inch of trunk diameter, spread evenly over

2. Shrubs: One half (1/2) handful per shrub, spread evenly over the root ball area.

3. Groundcover: Twelve (12) pounds per 100 sq. ft. of bed area.

4. Sod: Twelve (12) pounds per 1,000 sq. ft. Wash fertilizer off blades immediately after

A. Spread mulch two (2) inches thick uniformly over the entire surface of shrubs and groundcover beds, depth measured after settling, unless otherwise specified in the plans. Provide 36" diameter bed of mulch, measured from outer edge of the trunk, for all trees and palms planted in sod areas. Keep mulch away from contact with the trunk. Create a 6" high ring of mulch at the outer edge of tree and palm holes.

3.7 GUYING AND BRACING

3.8 SODDING

A. Provide a blanket of lawn sand as described in the notes in these plans. Prior to planting, remove stones, sticks, etc. from the sub-soil surface. Excavate existing non-conforming soil as required so that the finish grade of sod is flush with adjacent pavement or top of curb as well as adjacent sod in the case of sod patching.

B. Place sod on moistened soil, with edges tightly butted, in staggered rows at right angles to

slopes. The sod shall be rolled with a 500 pound hand roller immediately after placing. C. Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away

Inspection: Inspection of the work, to determine completion of contract work, exclusive of from edge of shrub beds and 36" from trees, measured from the edge of plant or tree trunk.

D. Sod shall be watered immediately after installation to uniformly wet the soil to at least two inches below the bottom of sod strips.

E. Apply fertilizer to the sod as specified in Section 3.5.

F. Excavate and remove excess soil so top of sod is flush w/top of curb or adjacent payement, or adjacent existing sod.

PLANT BED PREPARATION NOTES

1. In all areas where new sod and shrub and groundcover masses are to be planted, kill all existing weeds by treating with systemic herbicide prior to beginning soil

2. In all shrub and groundcover beds, excavate and backfill soil as described in "Plant List(s)". If no specific preparation is noted, prepare soil as described below for either condition, over the entire area to be planted:

If any compacted road base or asphalt or rocky soil is encountered, remove compacted material entirely to allow an 18" depth of planting soil per plant list unless otherwise stated. Backfill the entire area of the shrub and groundcover beds with 18" planting soil (as specified in Plans) to within 2 inches of the adjacent pavement or top of curb. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before planting.

Condition B:

Where no compacted soil is encountered, thoroughly mix 6 inches of planting soil per plant list into the existing soil to a depth of 18 inches unless otherwise stated. If required, excavate and remove the existing soil to lower the grade, so that the prepared mix is finished to a minimum of 2 inches below top of curb or adjacent walkway. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before planting.

For all sod areas, spread a 2" deep layer of lawn sand prior to sodding. Remove all debris and rocks and pebbles larger than 2 inchs in size and level the grade before sodding. Remove, if required, existing soil so that top of sod is flush with and adjacent top of curb or pavement.

For Trees and shrubs larger than 7 gallon, Add Diehard" transplant innoculant supplied by Horticultural Alliance, Inc. (800-628-6373) or equal. Mix into top 8-10 inches of planting hole, making sure it is contact with the root ball. Add at a rate specified by manufacturer (typically 4oz. per 1 inches of trunk caliper or 7 gallon

SPACING OF PLANTS (SEE PLANT SPACING DETAIL)

1. Plants shall be planted sufficiently away from edges of pavements or curbs, to allow for growth toward the edges of the bed.

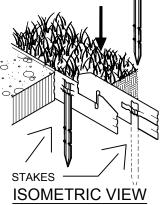
PROTECTION OF PLANTS

1. The Contractor shall be responsible to protect existing trees and shrubs in and adjacent to the area of work. Erect barriers as necessary to keep equipment and materials. any toxic material, away from the canopy drip line of trees and shrubs. DO NOT PILE SOIL OR DEBRIS AGAINST TREE TRUNKS OR DEPOSIT



FINISH LEGEND:

☐ 1/8" X 51/2" (3.2MM X 140MM), 0.072" (1.82MM) THICK w/ 0.135" (3.43MM) EXPOSED TOP LIP



1. INSTALL PER MANUFACTURER'S "INSTALLATION GUIDELINES" 2. 8'-0" (2.44 M) SECTIONS TO INCLUDE

(MF) MILL FINISH-NATURAL ALUMINUM

(3) 12" (305 MM) ALUMINUM STAKES. 16'-0" (4.88 M) SECTIONS TO INCLUDE (5) 12" (305 MM) ALUMINUM STAKES.

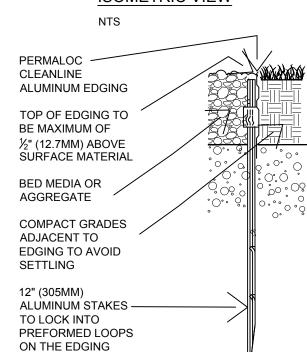
CORNERS - CUT BASE EDGING UP HALFWAY AND 4. FORM A CONTINUOUS CORNER. PERMALOC CLEANLINE AS

MANUFACTURED BY PERMALOC CORPORATION, HOLLAND MI. (800) 356-9660, (616) 399-9600 CONTRACTOR'S NOTE:

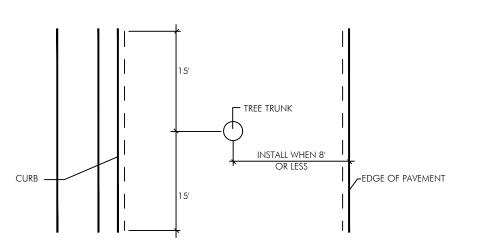
6. PURCHASING INFORMATION

VISIT:WWW.PERMALOC.COM

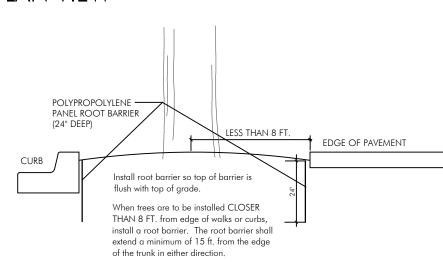
FOR PRODUCT AND



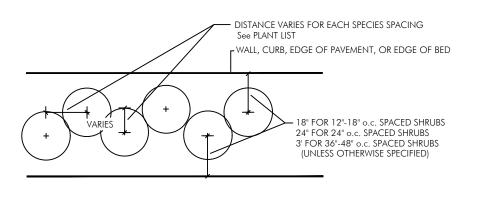
ALUMINUM EDGING DETAIL



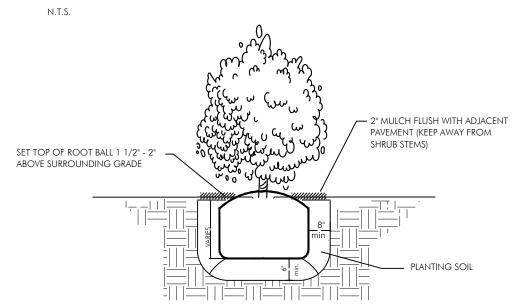
PLAN VIEW



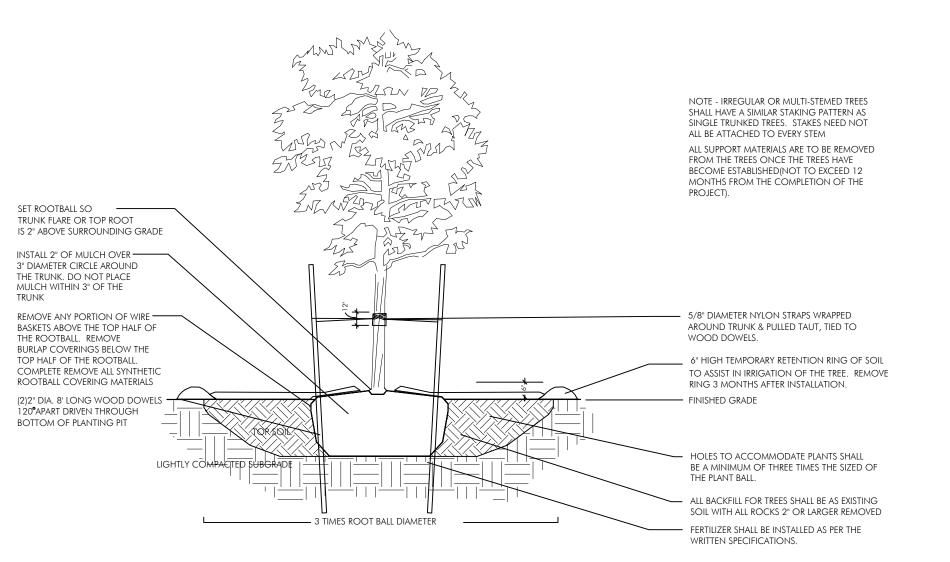
ROOT BARRIER INSTALLATION DETAIL



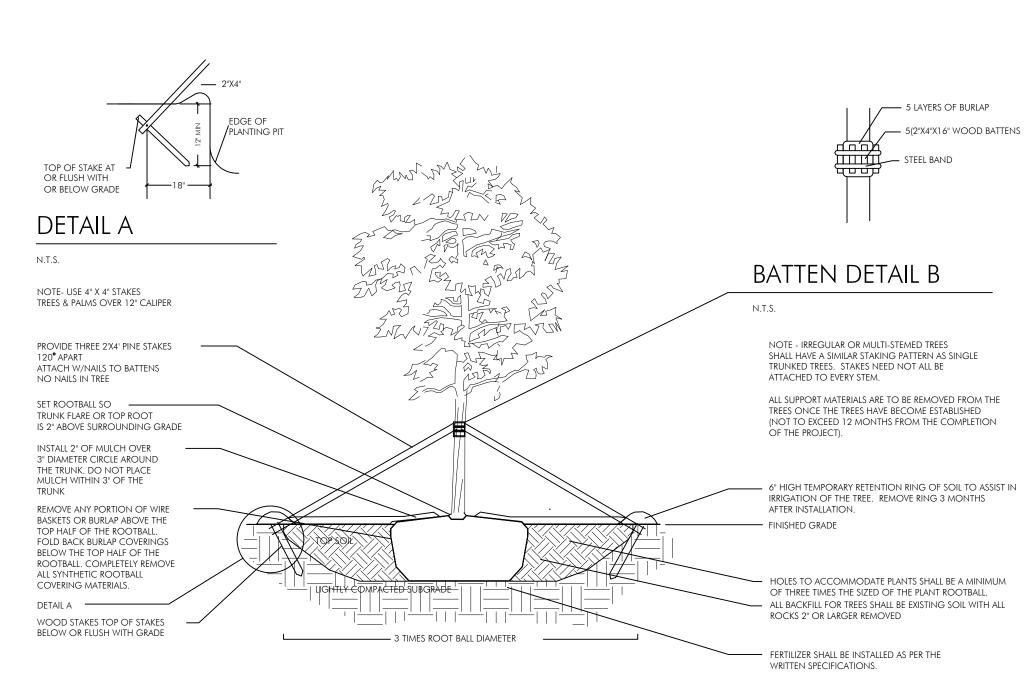
SHRUB SPACING DIAGRAM



SHRUB INSTALLATION DETAIL

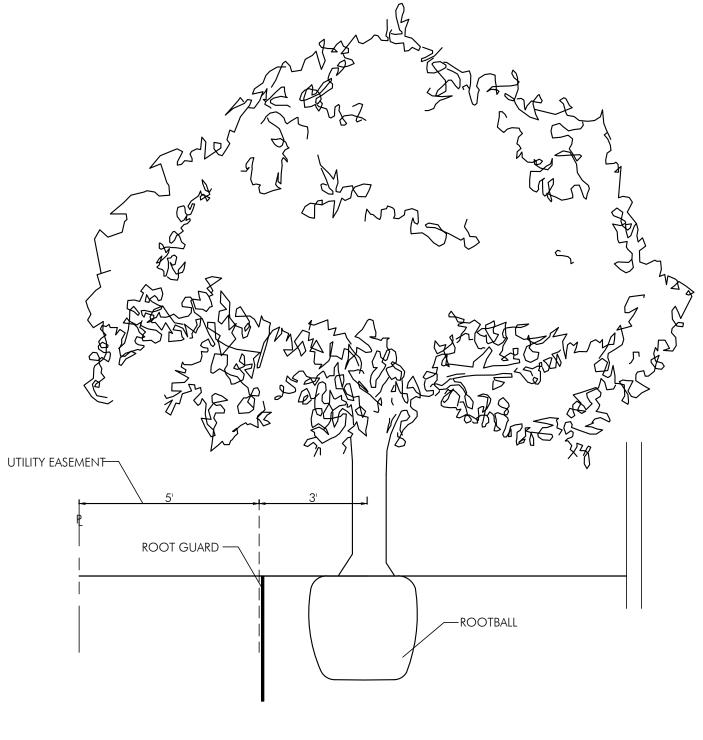


PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER



PLANTING & BRACING DETAIL OVER 3 1/2" CALIPER

N.T.S.



UTILITY EASEMENT DETAIL

SCALE: 3/8" = 1'-0'

PLANTING DETAILS AND SPECIFICATIONS

PLANTING DETAILS AND **SPECIFICATIONS**

GARDNER + SEMLER

LANDSCAPE ARCHITECTURE

WWW.GSLADESIGN.COM

17670 NW 78th AVE., SUITE 214

MIAMI, FL 33015

P 305.392.1016 F 305.392.1019

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AND

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as noted

. Install per details in the plans.

09.17.2020

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