



DRB 20-0587
SCOPE OF WORK: DESIGN REVIEW APPROVAL
WAIVER: GARAGE CLEARANCE

[illegible]



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MIAMI BEACH, FL 33141

A-000



NORTH WEST VIEW



NORTH EAST VIEW

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1787 NORMANDY DR. TOWNHOMES
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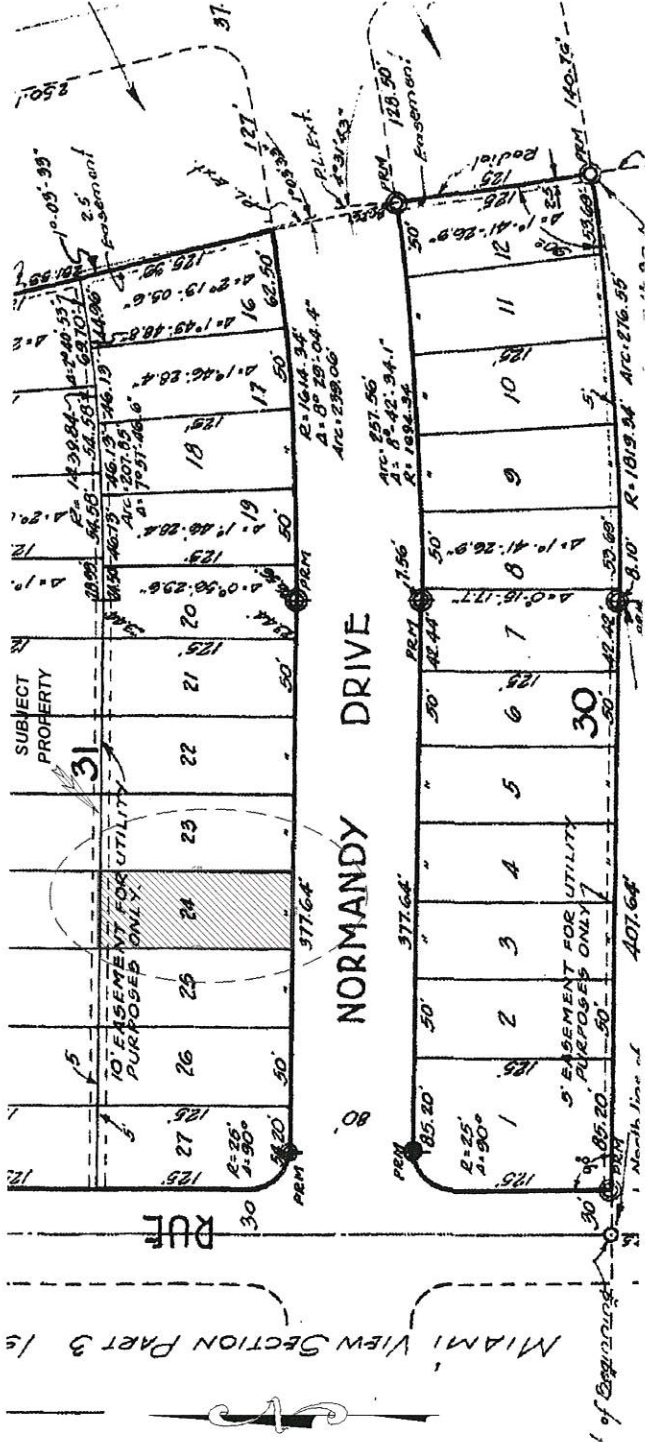
△	DATE	REVISION
DWG. TITLE		
NORTH EAST AND NORTH WEST VIEWS		
SCALE		
N.T.S.		
PROJECT NO.		
2020-05		
DATE		
10-12-20		
SHEET NUMBER		
A-000		

SURVEY OF LOT 24, BLOCK 31, OF ISLE OF NORMANDY MIAMI VIEW SECTION PART 2, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 41, PAGE 75, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS: 1787 NORMANDY DR, MIAMI BEACH, FL 33141
FOR: NEW ALHAMBRA HOLDINGS, CORP.

LOCATION SKETCH

Scale 1" = NT.S.



ABBREVIATION AND MEANING

A = ARC	FNIP = FEDERAL NATIONAL INSURANCE PROGRAM	RAD. = RADIUS OF RADIAL
AC = AIR CONDITIONER PAD	IN & EG. = INGRESS AND EGRESS EASEMENT	RGE. = RANGE
A.E. = ANCHOR EASEMENT	L.F.E. = LOWEST FLOOR ELEVATION	R.P. = RADIUS POINT
AR = ALUMINUM ROOF	L.M.E. = LAKE MAINTENANCE EASEMENT	R.O.E. = ROOF OVERHANG EASEMENT
AS = ALUMINUM SHED	L.P. = LIGHT POLE	R.W. = RIGHT-OF-WAY
ASPH. = ASPHALT	M. = MEASURED DISTANCE	SEC. = SECTION
B.C. = BLOCK CORNER	M.H. = MANHOLE	S.I.P. = SET IRON PIPE L.B. #6044
B.C.R. = BROWARD COUNTY RECORDS	N.A.P. = NOT A PART OF	SWK. = SIDEWALK
B.M. = BENCH MARK	NGVD = NATIONAL GEODETIC VERTICAL DATUM	T = TANGENT
B.O.B. = BASIS OF BEARINGS	N.T.S. = NOT TO SCALE	TWP = TOWNSHIP
C = CALCULATED	O.H.L. = OVERHEAD UTILITY LINES	U.E. = UTILITY EASEMENT
C.B. = CATCH BASIN	O.R.B. = OFFICIAL RECORD BOOK	U.P. = UTILITY POLE
C.B.W. = CONCRETE BLOCK WALL	O/S = OFFSET	W.M. = WATER METER
CH = CHORD	OVH. = OVERHANG	W.S. = WOOD SHED
CH.B. = CHORD BEARING	P.B. = PLAT BOOK	W.W. = WOOD ROOF
CL = CLEAR	P.C. = POINT OF CURVE	W.S. = WOOD SHED
C.L.F. = CHAIN LINK FENCE	P.C.C. = POINT OF COMPOUND CURVE	W.S. = WOOD SHED
C.M.E. = CANAL MAINTENANCE EASEMENTS	PL. = PLANTER	W.S. = WOOD SHED
CONC. = CONCRETE	P.L.S. = PROFESSIONAL LAND SURVEYOR	W.S. = WOOD SHED
C.P. = CONCRETE PORCH	P.O.B. = POINT OF BEGINNING	W.S. = WOOD SHED
C.S. = CONCRETE SLAB	P.O.C. = POINT OF COMMENCEMENT	W.S. = WOOD SHED
D.E. = DRAINAGE EASEMENT	P.P. = POWER POLE	W.S. = WOOD SHED
D.M.E. = DRAINAGE MAINTENANCE EASEMENTS	P.P.S. = POOL PUMP SLAB	W.S. = WOOD SHED
DRIVE = DRIVEWAY	P.R.C. = POINT OF REVERSE CURVE	W.S. = WOOD SHED
ENCR. = ENCROACHMENT	PRM = PERMANENT REFERENCE MONUMENT	W.S. = WOOD SHED
E.T.P. = ELECTRIC TRANSFORMER PAD	PT. = POINT OF TANGENCY	W.S. = WOOD SHED
F.F.E. = FINISHED FLOOR ELEVATION	PWMT. = PAVEMENT	W.S. = WOOD SHED
F.H. = FIRE HYDRANT	PWY = PAVEMENT	W.S. = WOOD SHED
F.I.P. = FOUND IRON PIPE	R = RECORD DISTANCE	W.S. = WOOD SHED
F.I.R. = FOUND IRON ROD		W.S. = WOOD SHED
F.N. = FOUND NAIL		W.S. = WOOD SHED
F.N.D. = FOUND NAIL & DISK		W.S. = WOOD SHED

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY ("SURVEY"):

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY. THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD, AND LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND / OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND / OR NOT TO SCALE.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS OTHERWISE SHOWN.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS AND SETBACKS, AND THEY WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH THE CORRECT INFORMATION FOR THEIR APPROVAL FOR AUTHORIZATION TO AUTHORITIES IN NEW CONSTRUCTIONS, UNLESS OTHERWISE NOTED. THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED.
- HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.
- THE SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE INFORMATION BELOW. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION. THE FNP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN ZONE: AE COMMUNITY/PANEL/SUFFIX: 120651 0307 L DATE OF FIRM: 09/11/2009
- BASE FLOOD ELEVATION: 8 FT.

LEGEND TYPICAL

- OH— OVERHEAD UTILITY LINES
- ZZZZZ C.B.S. = WALL (CBW)
- X-X- C.L.F. = CHAIN LINK FENCE
- O-O- I.F. = IRON FENCE
- W-W- W.F. = WOOD FENCE
- * 0.00 = EXISTING ELEVATIONS

SURVEYOR'S NOTES

- 1) IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, THEN BEARINGS ARE REFERRED TO COUNTY, TOWNSHIP MAPS.
 - 2) THIS IS A SPECIFIC PURPOSE SURVEY.
 - 3) THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
 - 4) IF SHOWN, ELEVATIONS ARE REFERRED TO MIAMI-DADE COUNTY.
- ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEOGRAPHIC VERTICAL DATUM OF 1929 CITY OF MIAMI BENCH MARK# N-313UCG LOCATOR# 3221 SE ELEVATION 3.75 FEET OF N.G.V.D. OF 1929

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY, THAT THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION, COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY: GEORGE IBARRA (DATE OF FIELD WORK)

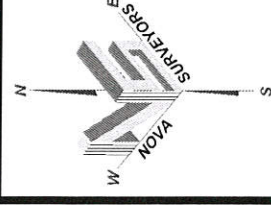
09-15-2020

PROFESSIONAL LAND SURVEYOR NO. 2534
STATE OF FLORIDA (VALID COPIES OF THIS SURVEY WILL BEAR THE EMBOSSED SEAL OF THE ATTESTING LAND SURVEYOR).

REVISED ON: _____

REVISED ON: _____

CERTIFIED TO: NEW ALHAMBRA HOLDINGS, CORP.



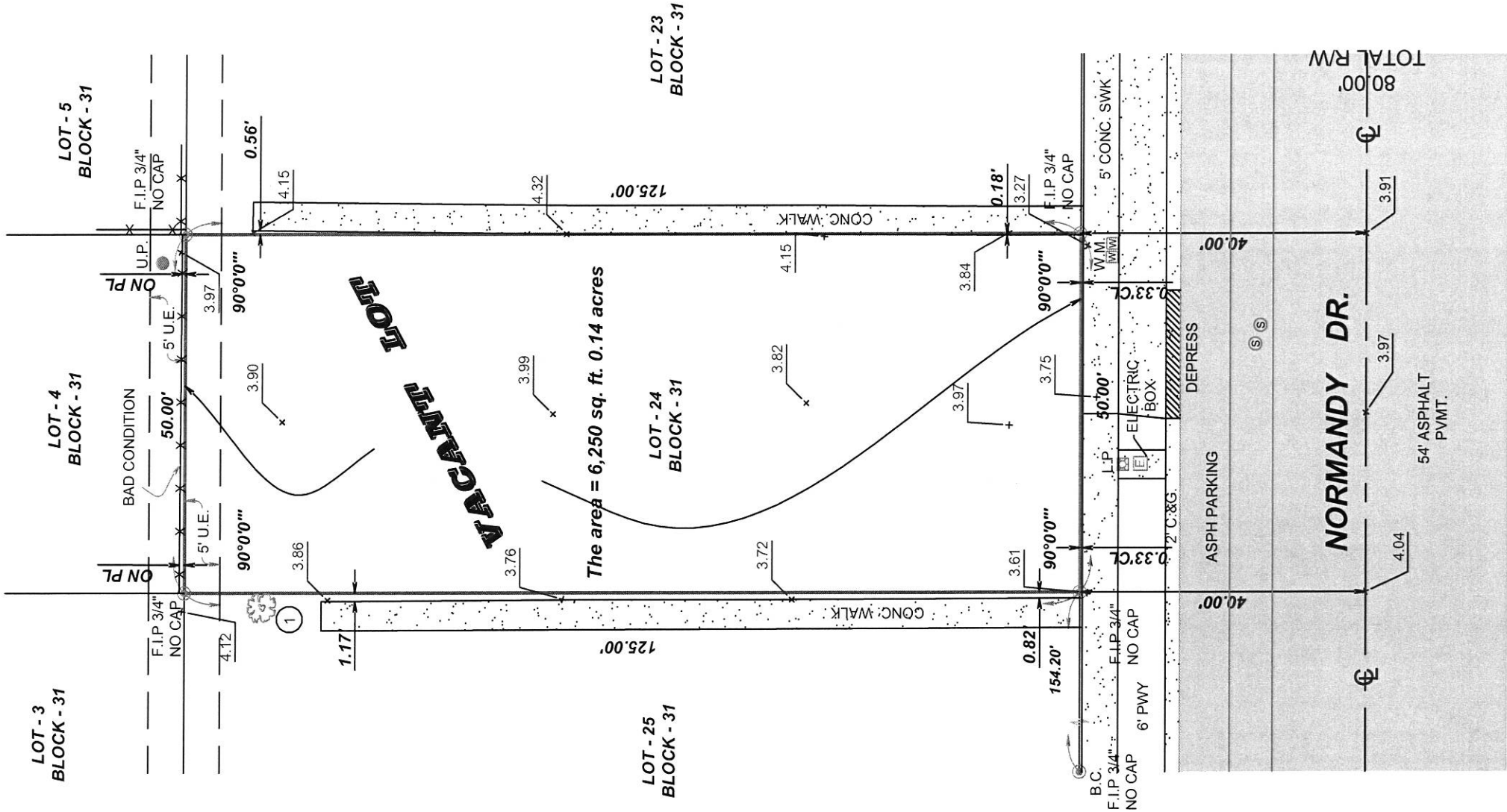
SURVEYOR'S SEAL

BOUNDARY SURVEY

SCALE = 1" = 20'

TREE TABLE

No.	TREE NAME	DIAMETER (")	HEIGHT (')	SPREAD (')
1	UMBRELLA	0.70	25.00	15.00



SURVEYOR'S NOTE:

There may be Easements recorded in the Public Records not shown on this Survey.

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address:		1787 Normandy Dr.		
2	Board and file numbers:				
3	Folio number(s):		02-3210-017-0310		
4	Year constructed:		Zoning District:	RM-1	
5	Base Flood Elevation:		8.00'	Grade value in NGVD:	3.75'
6	Adjusted grade (Flood+Grade/2):		5.875'	Lot Area (SF):	6,250.00
7	Lot width (FT):		50.00	Lot Depth (FT):	125.00
8	Minimum Unit Size(SF):		550.00	Average Unit Size:	800
9	Existing use:		Vacant	Proposed use:	Residential multifamily - Townhomes
		Maximum	Existing	Proposed	Deficiencies
10	Height:		50'-0"	38'-6"	
11	Number of Stories:			4	
12	FAR:		1.25	1.25	
13	Gross square footage:		7,812.50	7,810.00	
14	Square Footage by use:		N/A		
15	Number of units Residential:		N/A	6.00	
16	Number of units Hotel:		N/A	N/A	
17	Number of seats:		N/A	N/A	
18	Occupancy load:		N/A	N/A	
	Setbacks		Required	Existing	Proposed
	Subterranean and Pedestal				
19	Front Setback:		20'-0"	20'-0"	
20	Side Setback:		7'-6"	7'-6"	
21	Side Setback:		7'-6"	7'-6"	
22	Side Setback facing street:		N/A	N/A	
23	Rear Setback:		12'-6"	12'-6"	
	At Grade Parking:				
24	Front Setback:		20'-0"	20'-0"	
25	Side Setback:		5'-0"	5'-0"	
26	Side Setback:		5'-0"	5'-0"	
27	Side Setback facing street:		N/A	N/A	
28	Rear Setback:		12'-6"	12'-6"	
	Parking		Required	Existing	Proposed
29	Parking District: No. 1				
30	Total # of parking spaces:			6	
31	Parking Space Dimensions:			8'-6" x 16'-0"	
32	Parking Space configuration (45o,60o,90o,Parallel)			90 degrees	
33	ADA Spaces			0	
34	Tandem Spaces			0	
35	Drive aisle width			18'-0"	
36	Valet drop off and pick up			N/A	
37	Loading zones and Trash collection areas			N/A	
38	Racks			6	

39	Is this a contributing building?	Yes or No
40	Located within a Local Historic District?	Yes or No

PROJECT TEAM

OWNER:

NEW ALHAMBRA HOLDINGS, CORP.
755 CRANDON BOULEVARD
KEY BISCAYNE, FL 33149

DESIGN/PROJECT ARCHITECT:

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JOSE L. GOMEZ AR0015416 8101
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LANDSCAPE ARCHITECT:

GARDNER + SEMLER DESIGN
LANDSCAPE ARCHITECTURE
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DRAWING INDEX

ARCHITECTURAL

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A-000 NORTH EAST AND NORTH WEST VIEWS
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A-004 CONTEXT PICTURES
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LANDSCAPE

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APPLICABLE CODES

GOVERNING ZONING CODE:

MIAMI BEACH, FLORIDA CODE OF ORDINANCE

BUILDING CODE:

FLORIDA BUILDING CODE 2017

EXISTING BUILDING:

FLORIDA BUILDING CODE: EXISTING BUILDING CODE 2017

STRUCTURAL:

FLORIDA BUILDING CODE 2017

PLUMBING:

FLORIDA BUILDING CODE 2017 - PLUMBING

MECHANICAL:

FLORIDA BUILDING CODE 2017 - MECHANICAL

ELECTRICAL:

FLORIDA BUILDING CODE - 2017 EDITION

ACCESSIBILITY:

FLORIDA BUILDING CODE 2017 - CHAPTER 11 FACBC

FIRE PROTECTION:

FLORIDA FIRE PREVENTION CODE - 2017 EDITION

MATERIAL LEGEND

insulation blanket

concrete pre cast

gravel or crushed stone

cement mortar plaster

concrete

glass: large scale

insulation rigid

earth

tile

solid conc. mas. unit

marble

steel small scale

steel large scale

plywood

sheet metal

wood blocking continuous

wood blocking intermittent

brick large scale

wood finished

concrete mas. unit

SYMBOL LEGEND

DOOR SYMBOL

room name / finish schedule

bldg. / partial & detail section symbol

notes

notes

DOOR number

room number bathroom room name

detail number sheet number

legend letter/ number

legend letter/ number

wall construction

exterior & interior elevation symbol

construction detail symbol/ detailed area

COLUMN REFERENCE

ELEVATION

DRAWING REVISION

wall type

detail number

detail number sheet number

NUMBER OR LETTER

EL 0'-0" FINISH FLOOR

REVISION NUMBER

PROJECT INFORMATION

SCOPE OF WORK

DESIGN OF A NEW MULTI-STORY, SIX-UNIT RESIDENTIAL BUILDING IN A VACANT LOT.

LEGAL DESCRIPTION

ISLE OF NORMANDY MIAMI VIEW SEC PART 2 PB 41-75
LOT 24 BLK 31 LOT SIZE 60.000 X 125 OR 13340-770 0687 6

LOCATION MAP



BEILINSON GOMEZ ARCHITECTS PA

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DATE	REVISION
DWG. TITLE	
GENERAL NOTES, INDEX AND ZONING INFORMATION	
SCALE	
PROJECT NO.	
2020-05	
DATE	
10-12-20	
SHEET NUMBER	
A-001	



1787 NOR
1787 NORMANDY DR
MIAMI BEACH, FL 33141

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DATE	REVISION

DWG. TITLE	
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ENLARGED CONTEXT
LOCATION MAP

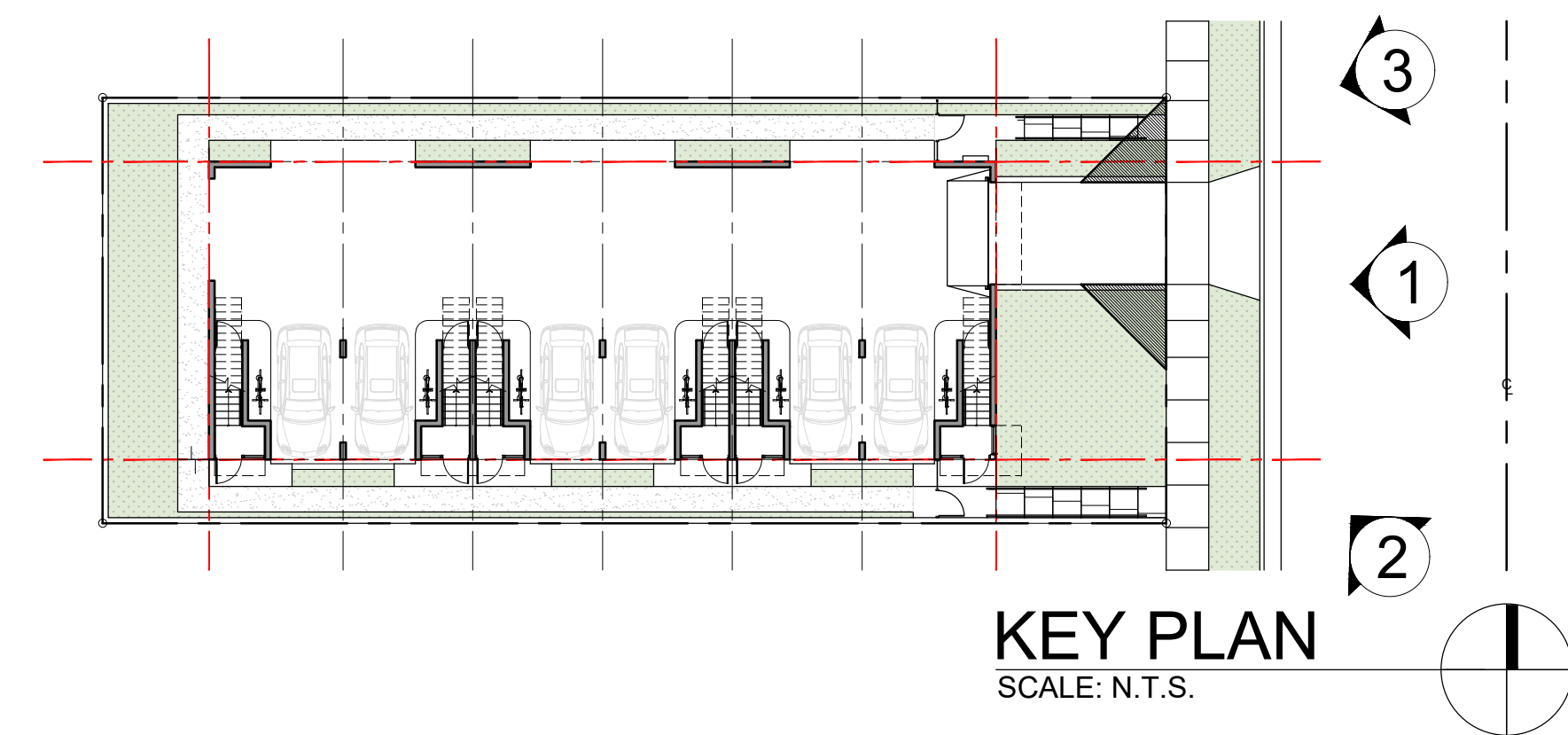
SCALE

PROJECT NO.

DATE _____

10-12-20	
SHEET NUMBER	

A-002

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DATE	REVISION

G. TITLE																																																					
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SITE PICTURES

SALE

N.T.S.

PROJECT NO.

2020-05

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10-12-20

SHEET NUMBER

A-003



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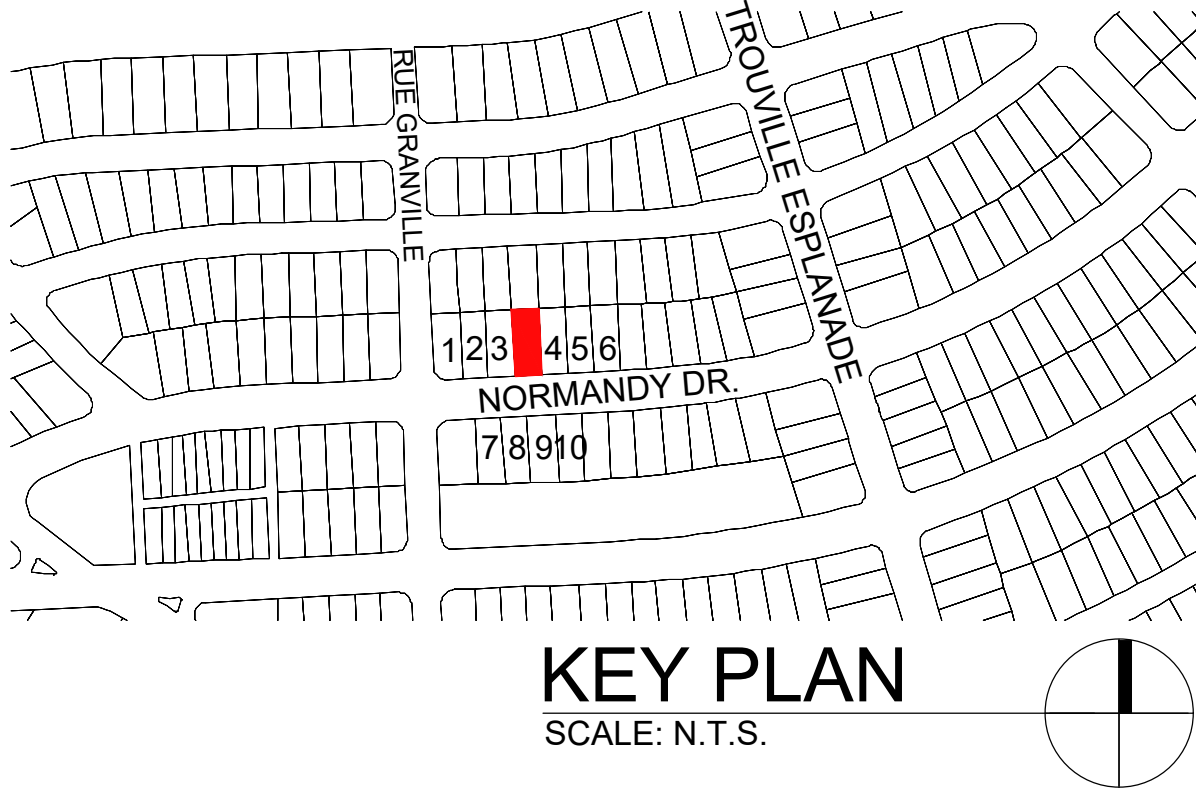
7 8



6



9 10



KEY PLAN
SCALE: N.T.S.

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DATE REVISION

DWG. TITLE

CONTEXTUAL
PICTURES

SCALE

N.T.S.

PROJECT NO.

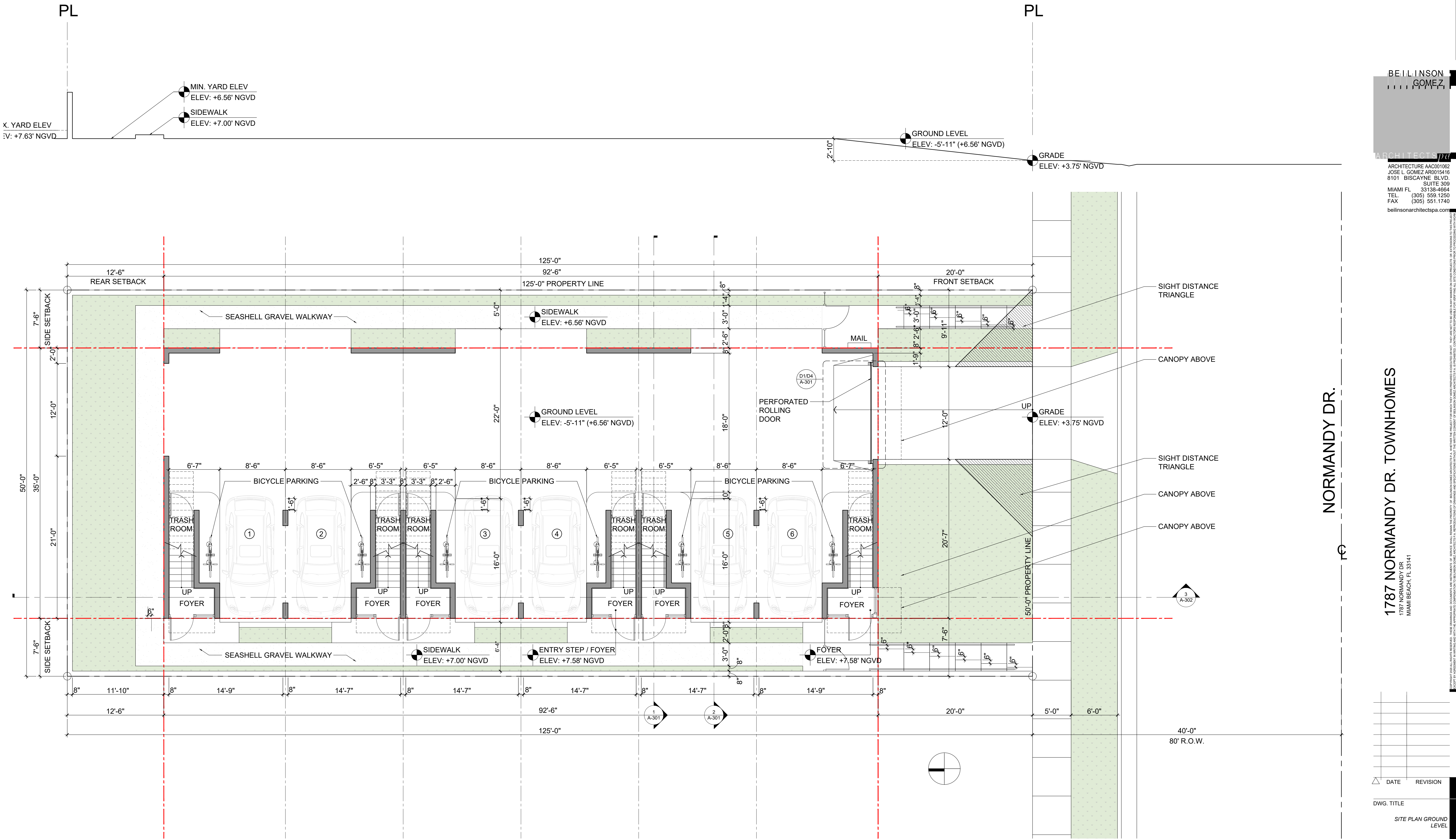
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DATE

10-12-20

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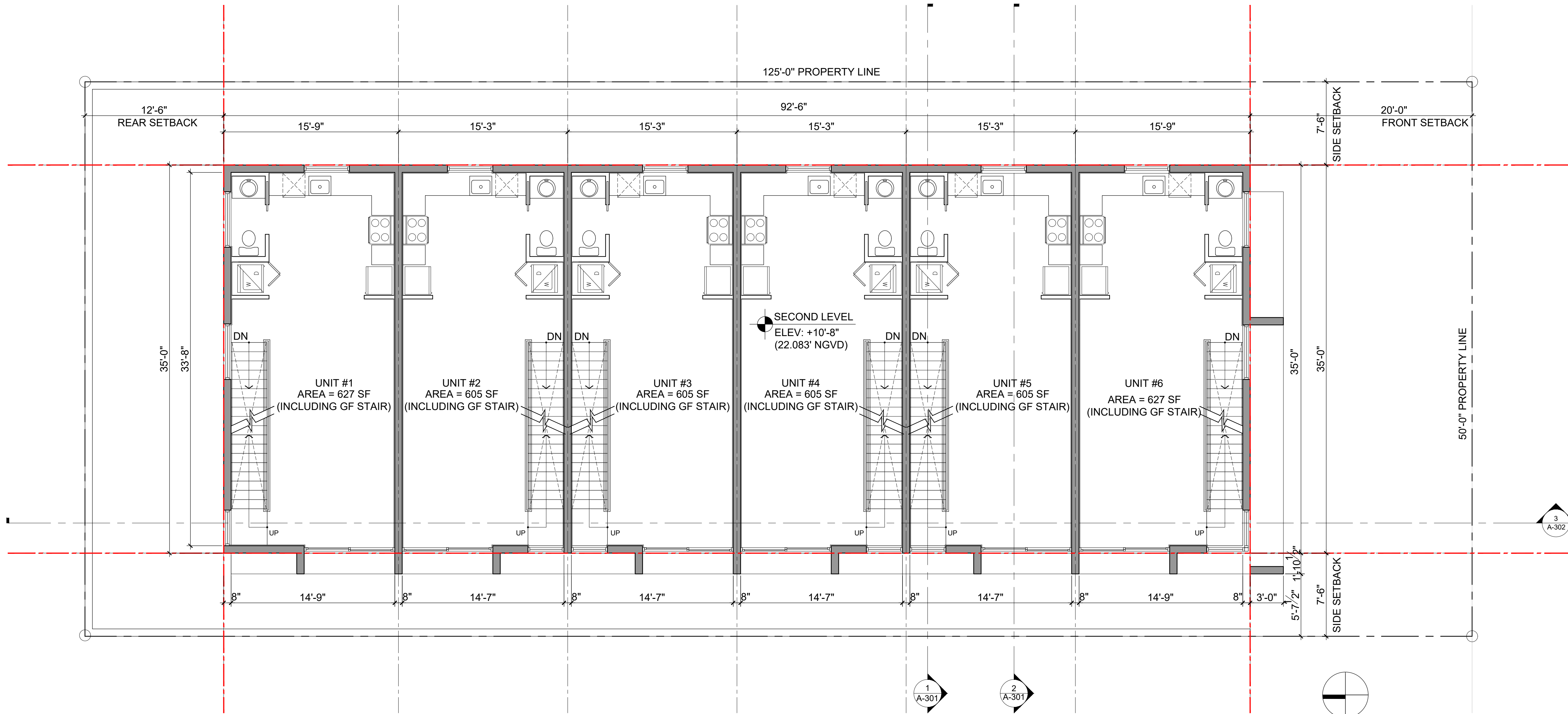
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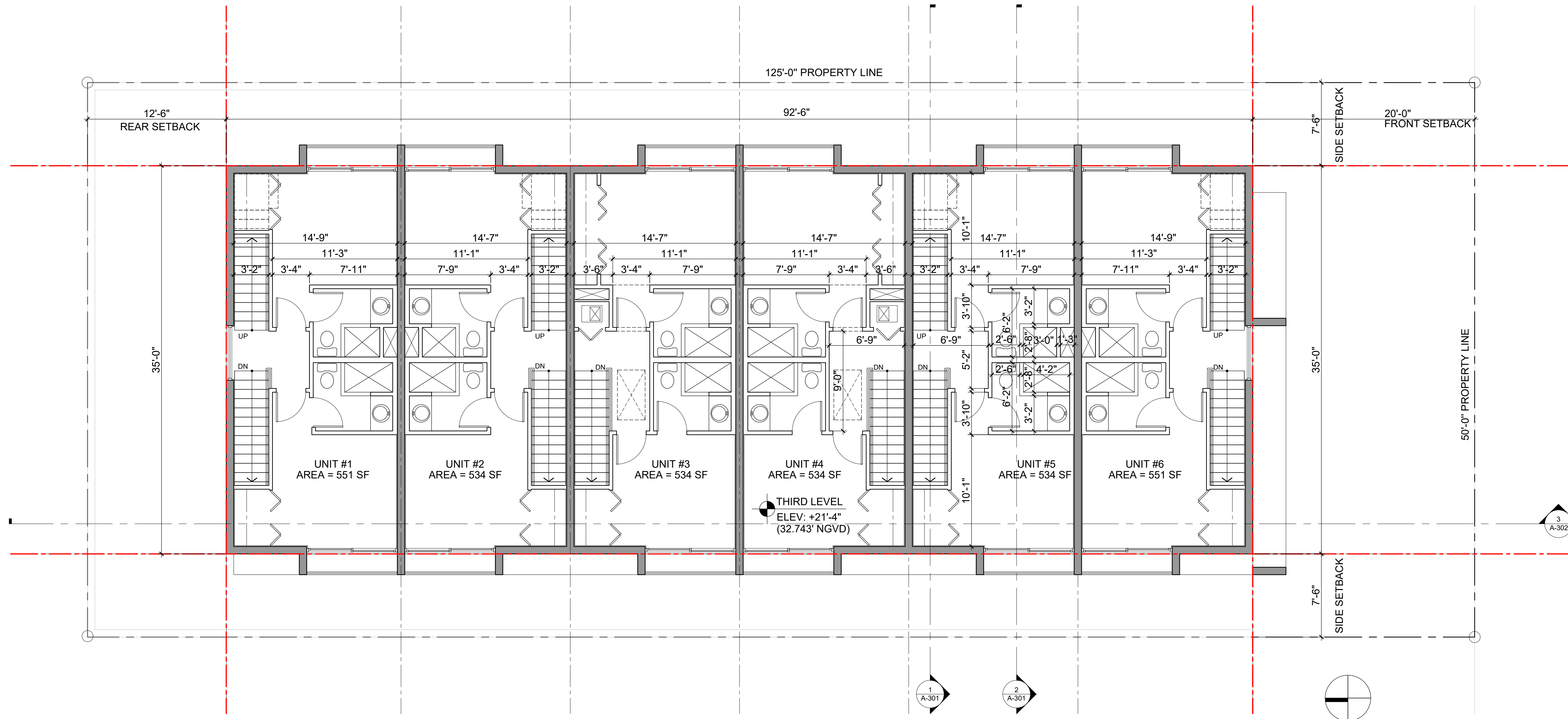


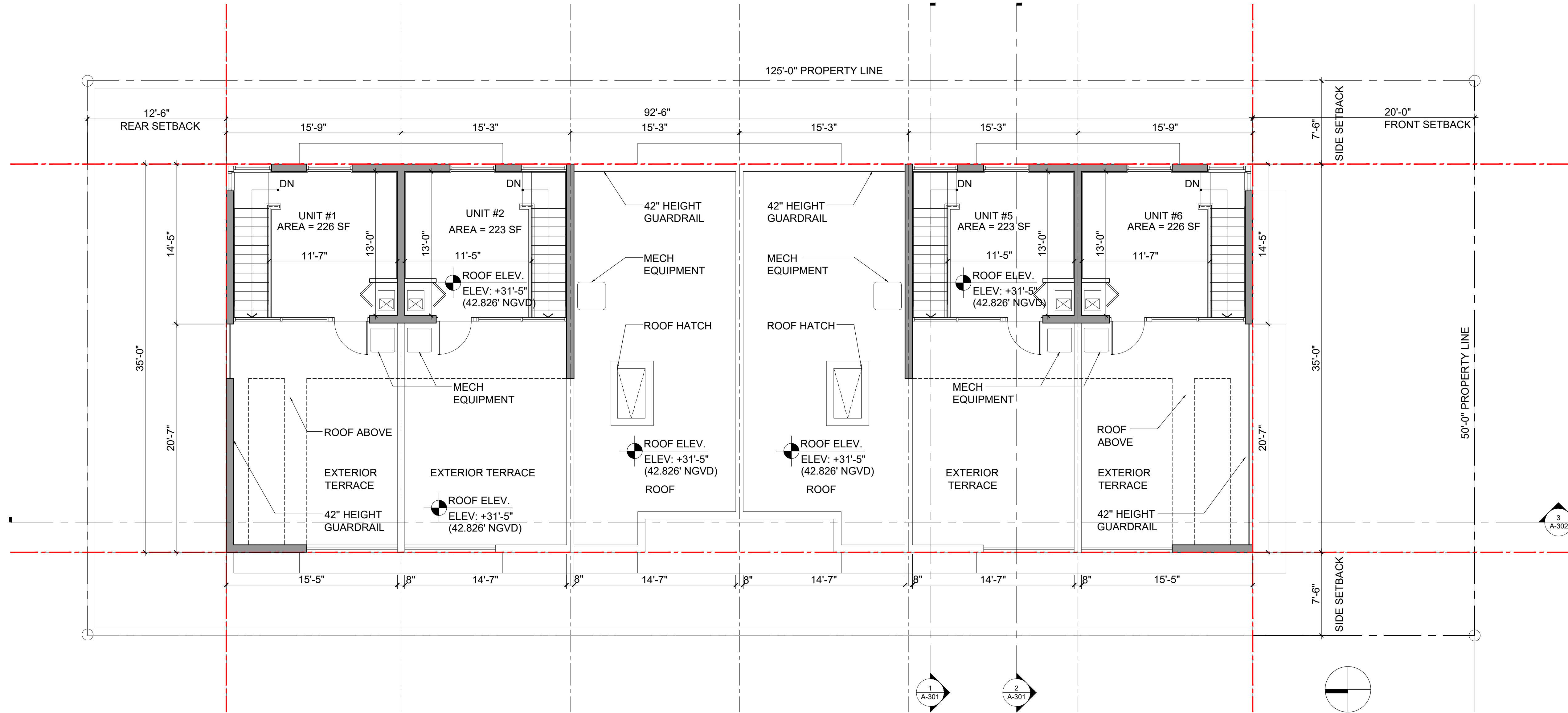
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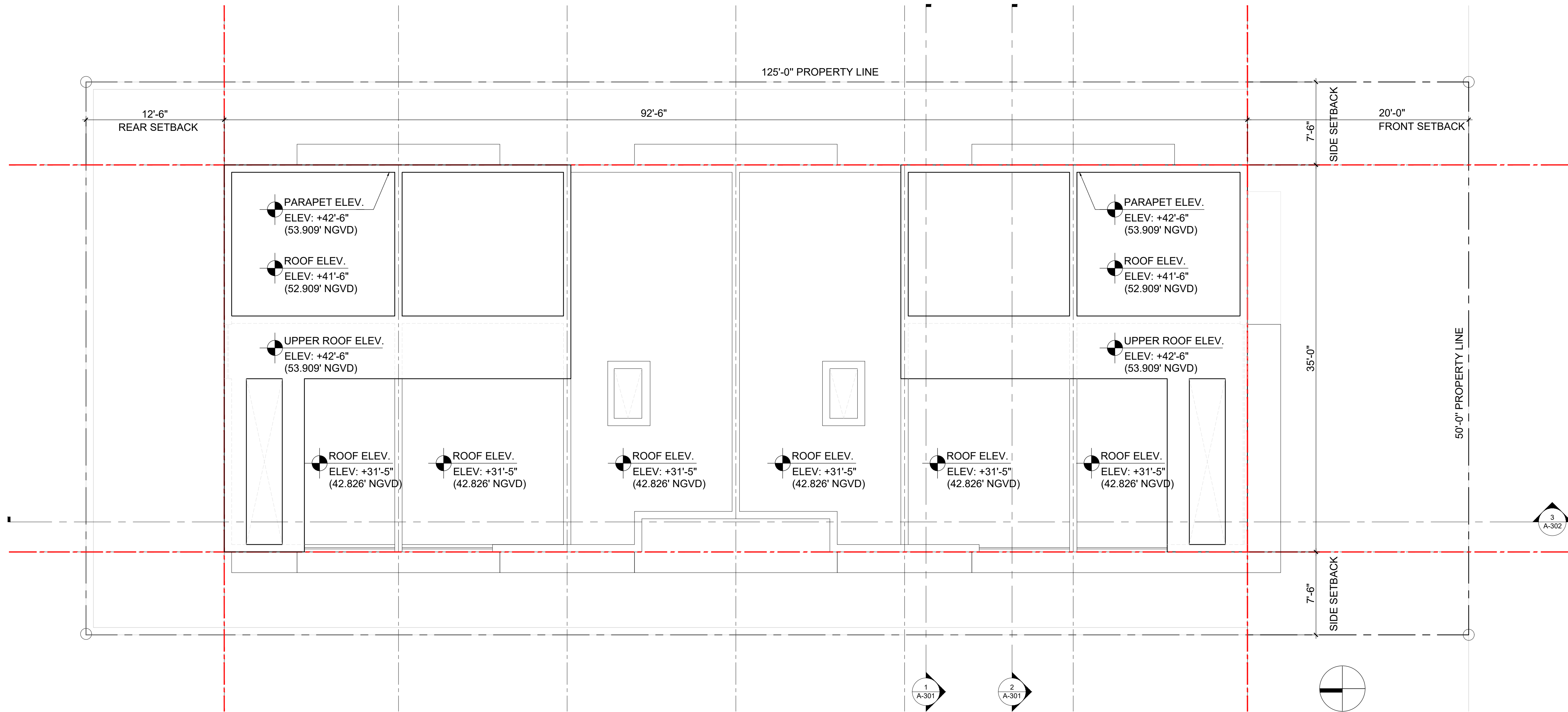
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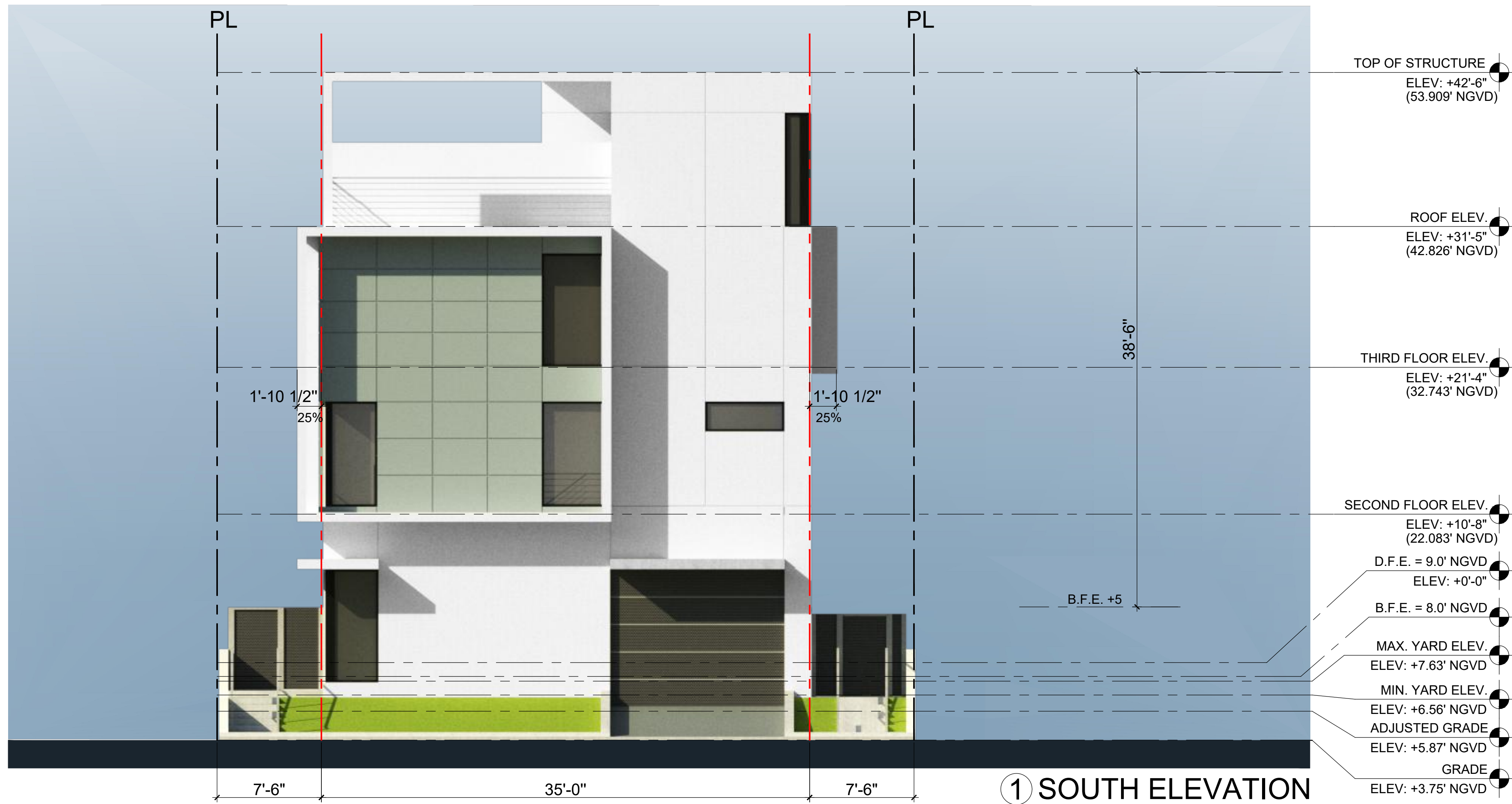
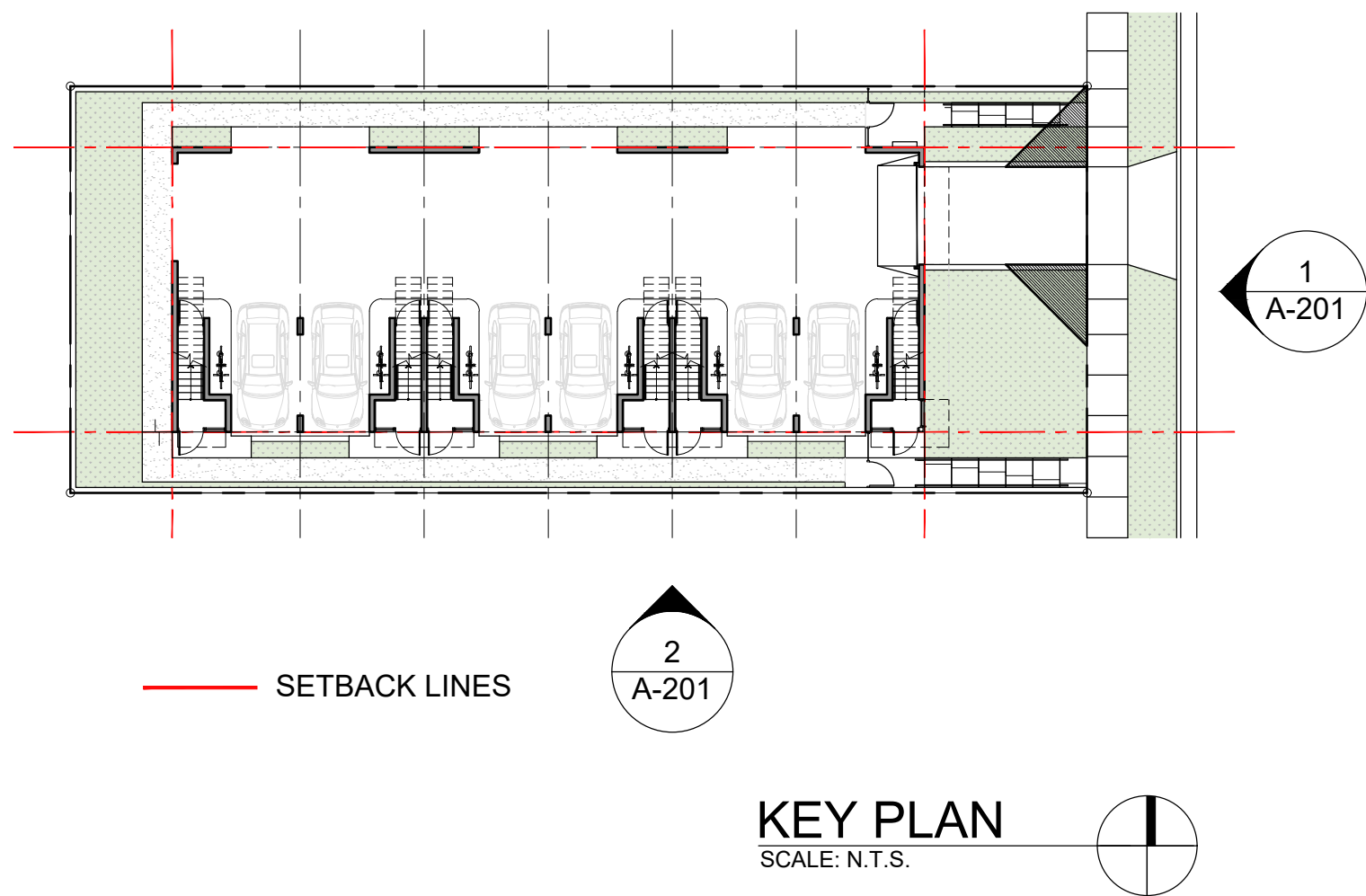
DATE	REVISION
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SITE PLAN GROUND LEVEL	
SCALE	
3/16"=1'-0"	
PROJECT NO.	
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A-100	







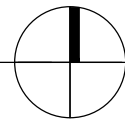




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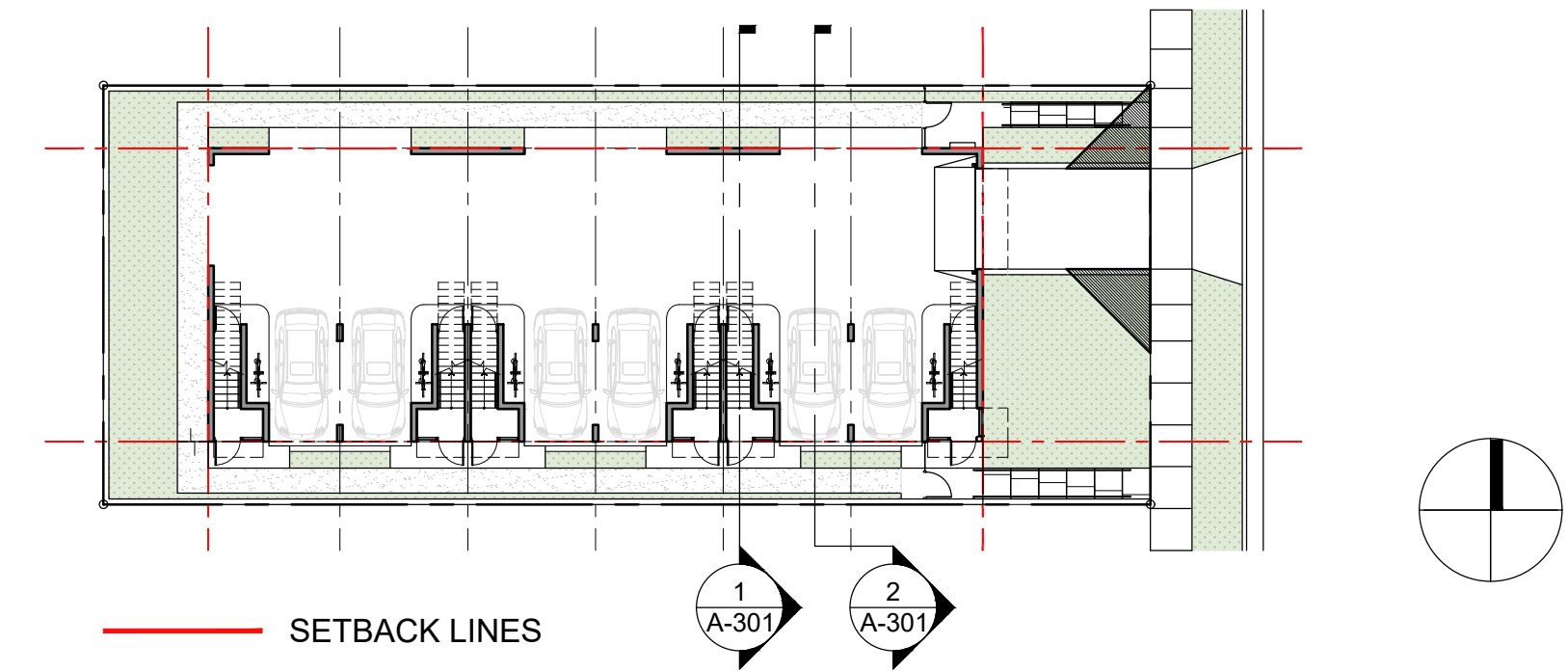
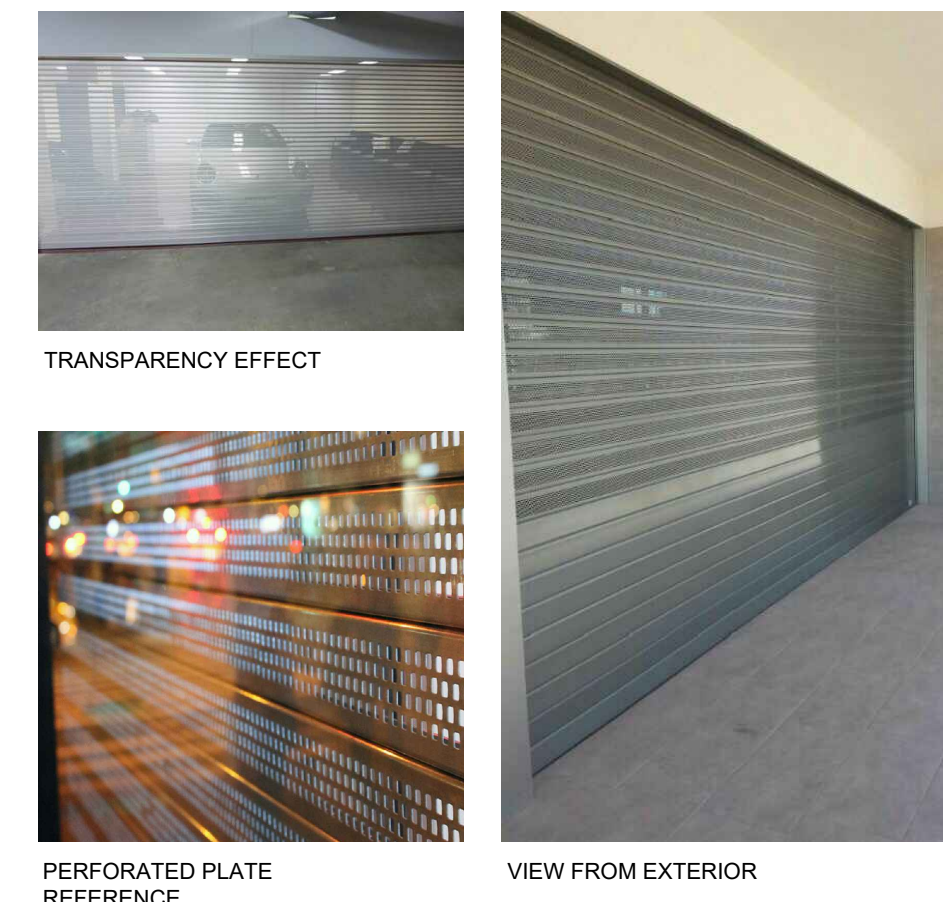
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DATE	REVISION
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BUILDING ELEVATIONS	
SCALE	
3/16"=1'-0"	
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A-201	



① NORTH ELEVATION

② EAST ELEVATION



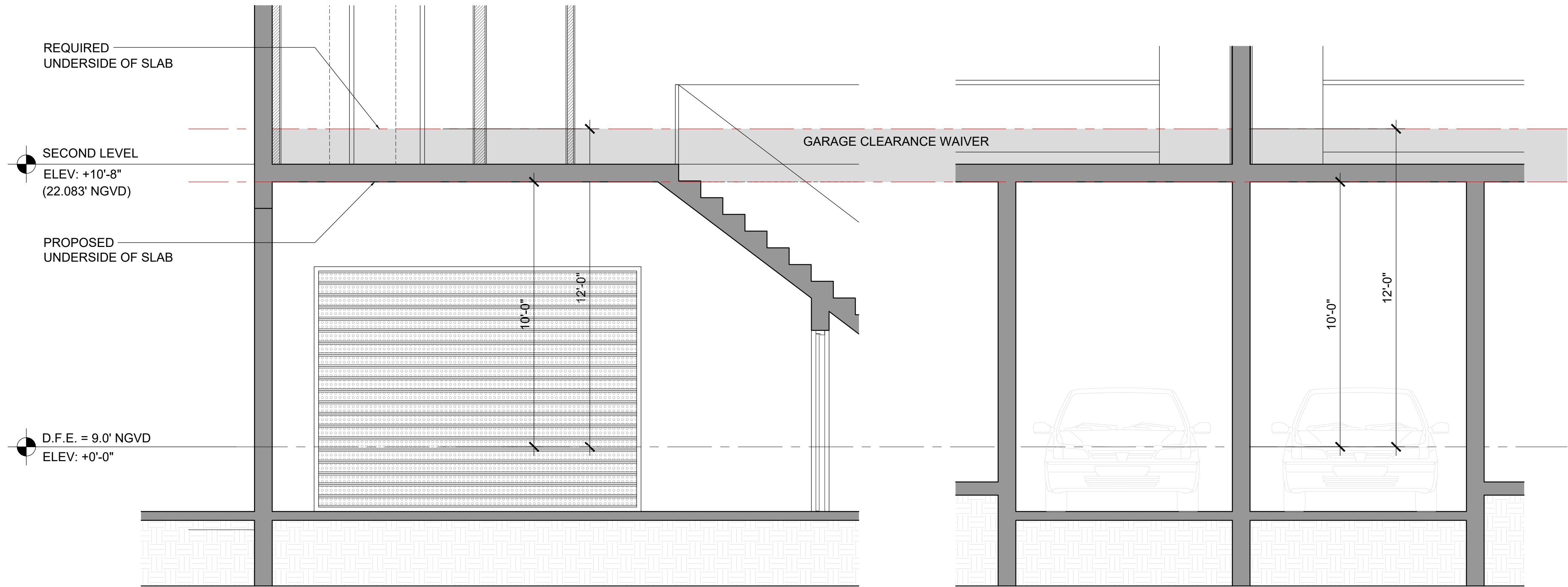
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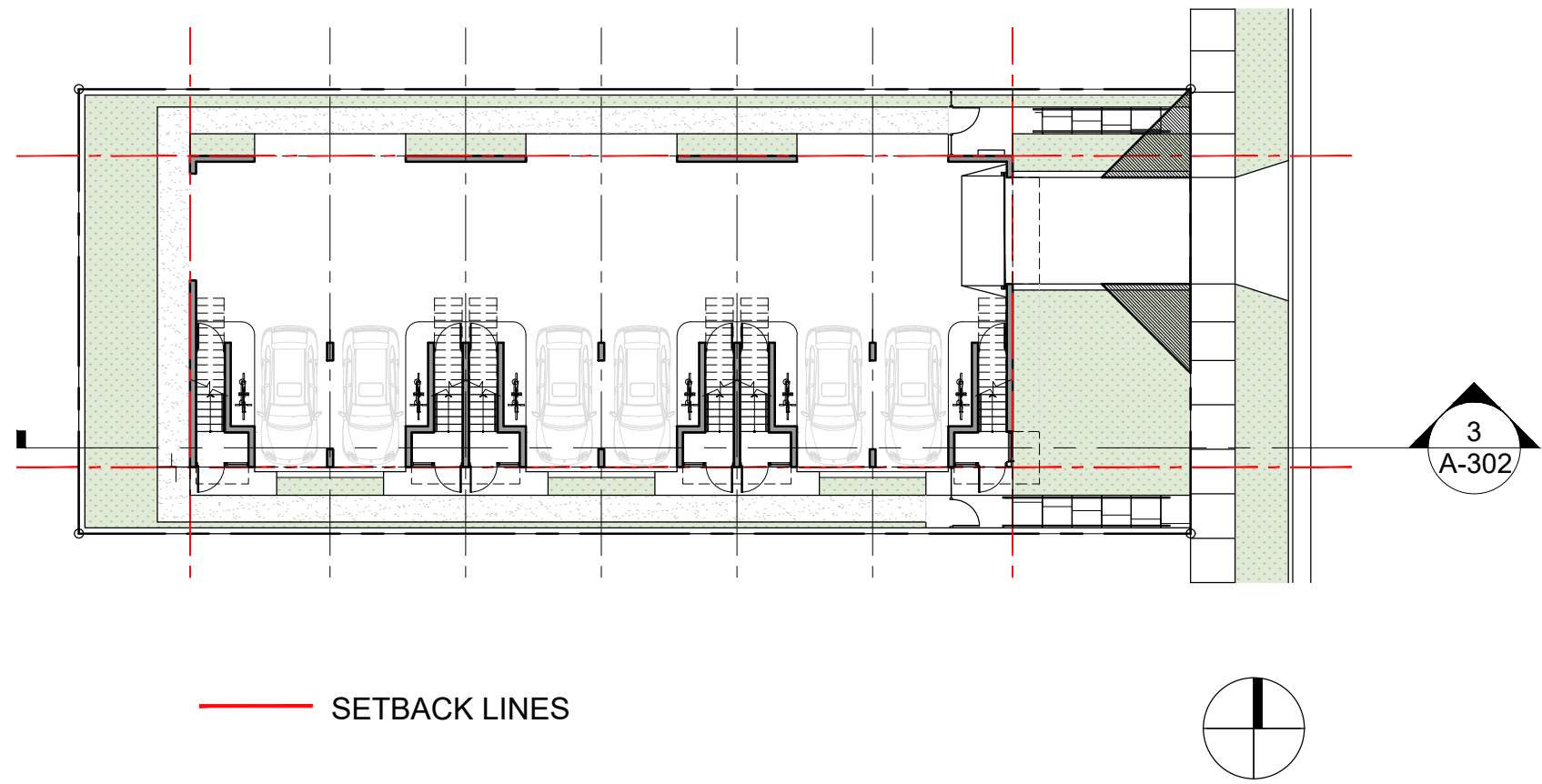


PL



C1 WAIVER DIAGRAM FOR PARKING GARAGE CLEARANCE

SCALE: 3/8"=1'-0"



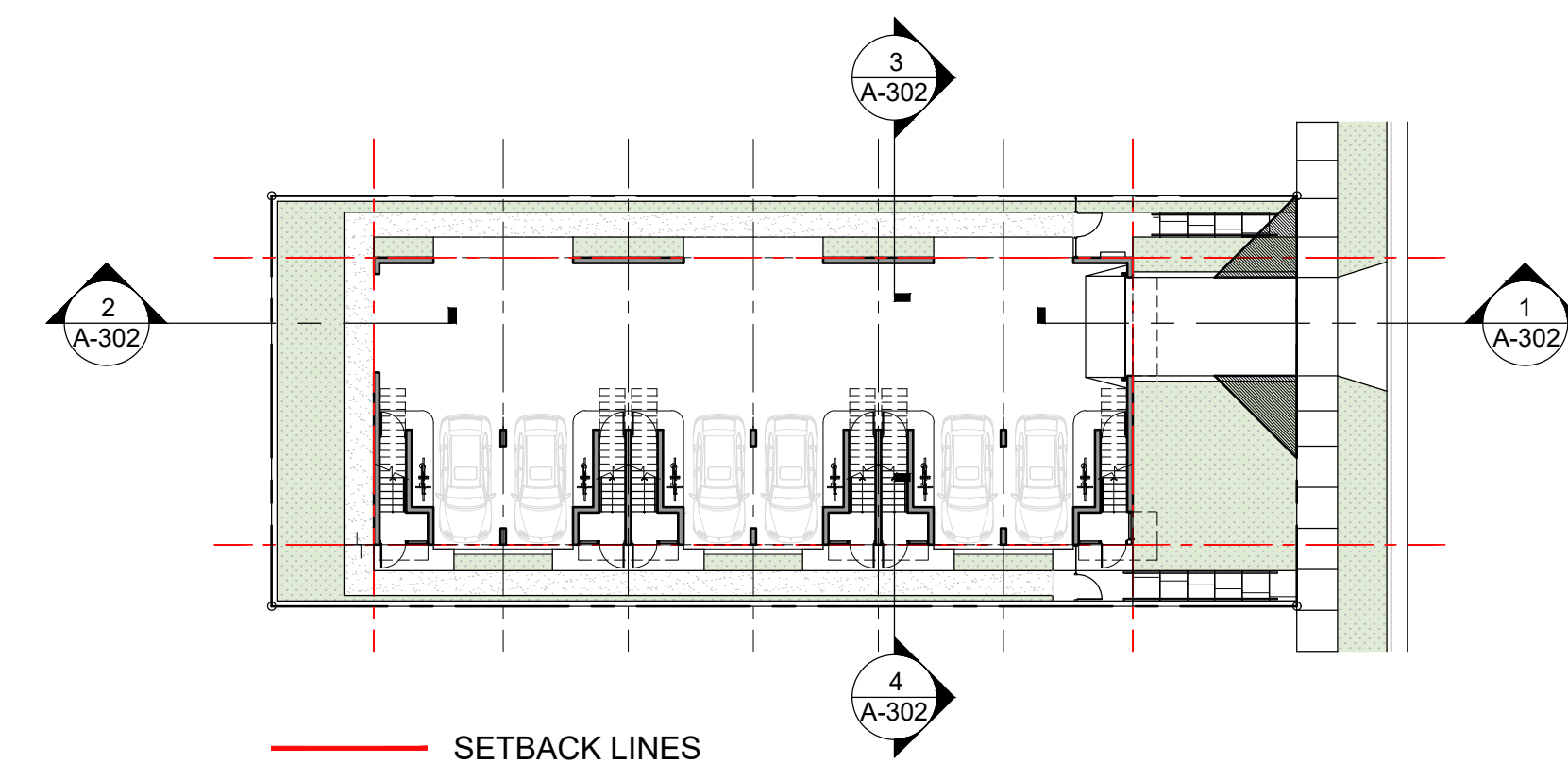
D5 KEY PLAN

SCALE: N.T.S.

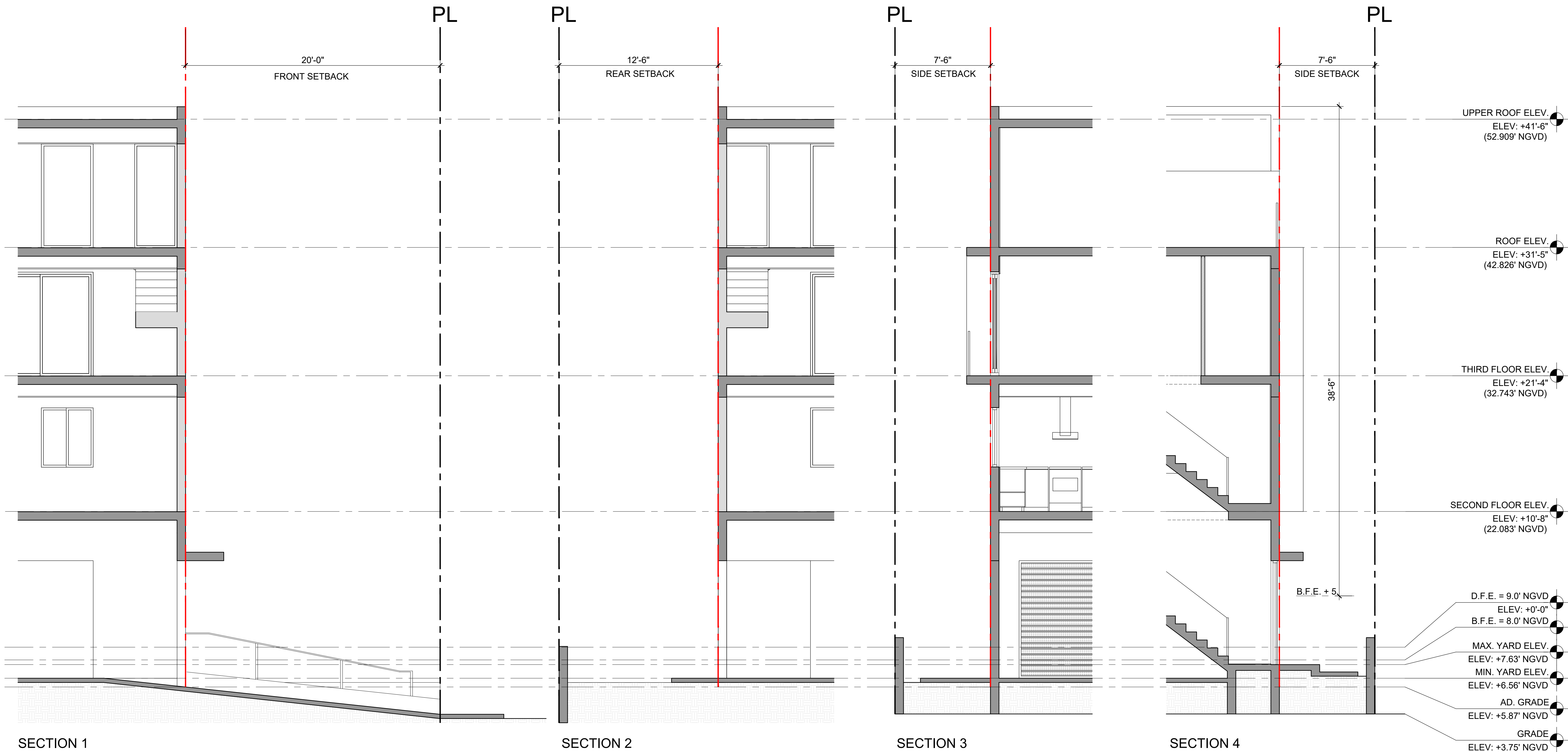
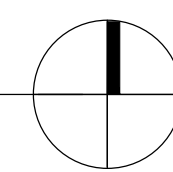


A1 SECTION 3

SCALE: 3/16"=1'-0"



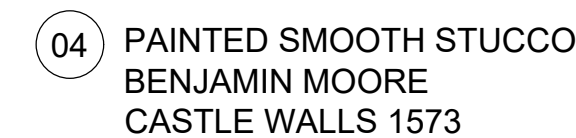
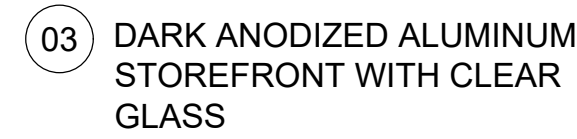
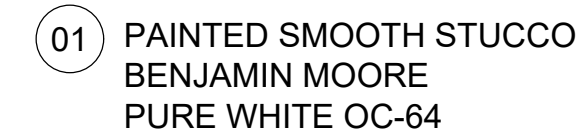
KEY PLAN
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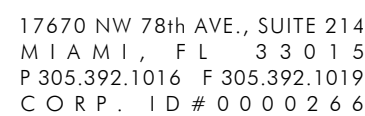


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1787 NORMANDY DR. TOWNHOMES
1787 NORMANDY DR.
MIAMI BEACH, FL 33141

DATE	REVISION
2020-05	10-12-20
DWG. TITLE	
ENLARGED SECTION YARD DIAGRAMS	
SCALE	
1/4"=1'-0"	
PROJECT NO.	
DATE	
SHEET NUMBER	
A-303	



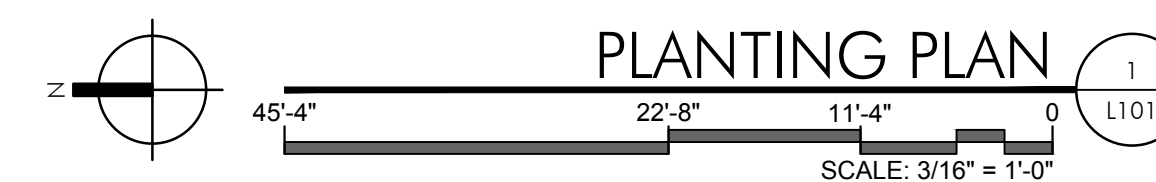


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PLANTING PLAN



CITY OF MIAMI BEACH			
LANDSCAPE LEGEND			
INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS			
Zoning District RM-1 Lot Area 0.14 Acres 6,250		REQUIRED/ ALLOWED	PROVIDED
OPEN SPACE			
A.	Square feet of required Open Space as indicated on site plan: Lot Area = 6,250 x f.x 20 % = 1,250 s.f.	1,250	1,314
B.	Square feet of parking lot open space required as indicated on site		
	Number of parking spaces x 10 s.f. parking space =	0	0
C.	Total square feet of landscaped open space required: A+B=	1,250	1,096
LAWN AREA CALCULATION			
A.	Square feet of landscaped open space required	1,250	
B.	Maximum lawn area (sod) permitted= 30 % x _____ s.f.	375	0
TREES			
A.	Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements = 28 trees / acre (28 x 0.14 acres = 4 trees - number of existing trees (0) = 4 new trees	4	5
B.	% Natives required: Number of trees provided x 30% =	2	3
C.	% Low maintenance / drought and salt tolerant required: Number of trees provided x 50% =	2	3
D.	Street Trees (maximum average spacing of 20' o.c.) 38 (driveaway subtracted) linear feet along street divided by 20 = 2 trees	2	1 (2 Cannot be installed due to sight triangle restrictions and 1 extra tree provided on site to make up for shortfall)
E.	Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.): 0 linear feet along street divided by 20 = 0 trees	0	0
SHRUBS			
A.	Number of shrubs required: Sum of lot and street trees required x	72	173
B.	% Native shrubs required: Number of shrubs provided x 50% =	36	137
LARGE SHRUBS OR SMALL TREES			
A.	Number of large shrubs or small trees required: Number of required shrubs x 100% =	8	14
B.	% Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50% =	4	4

*NOTE: THERE ARE NO EXISTING TREES ON SITE.

