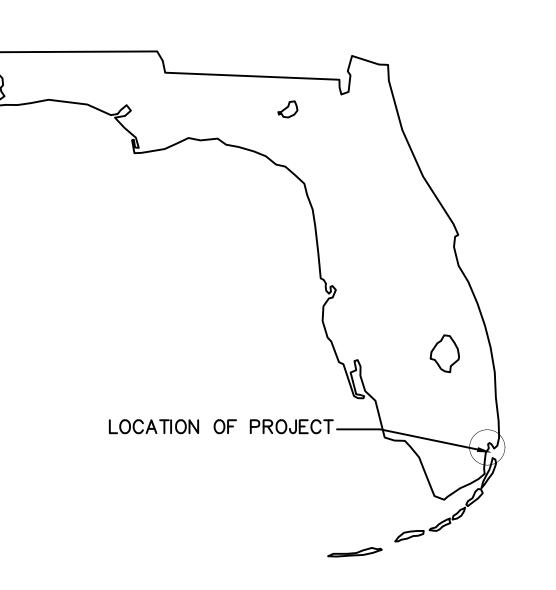
MAMBEACH

OFFICE OF CAPITAL IMPROVEMENT PROJECTS

BRITTANY BAY PARK LIVING SHORELINE, OVERLOOK & PARK RENOVATION OCTOBER 12, 2020
FINAL SUBMITTAL





CITY OF MIAMI BEACH

MAYOR: DAN GELBER

COMMISSIONERS: STEVEN MEINER

RICKY ARRIOLA
MICHAEL GONGORA
DAVID RICHARDSON
MARK SAMUELIAN
MICKY STEINBERG

CITY MANAGER: JIMMY L. MORALES CITY ATTORNEY: RAUL J. AGUILA

CITY CLERK: RAFAEL E. GRANADO

ASSISTANT CITY MANAGER: ERIC T. CARPENTER, P.E. PARKS & RECREATION DIRECTOR: JOHN REBAR

CIP DIRECTOR: DAVID MARTINEZ P.E.

- PROJECT LOCATION NORMANDY DR DR

LOCATION MAP

Brindley Pieters & Associates, Inc.

815 NW 57 th Avenue, Suite 200-11, Miami, Fl 33126 Certificate of Authorization Number 5993



This item has been electronically signed and sealed by MICHAEL R. HARTER using a Digital Signature and Date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electric copies

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LEGAL DESCRIPTION

LOTS 1-12, BLOCK 3, AMENDED PLAT OF SECOND OCEAN FRONT SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 28, PAGE 28, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SCOPE OF WORK

THIS PROJECT INCLUDES THE CREATION OF A LIVING SHORELINE BETWEEN THE EXISTING REMAINING SEAWALL AND THE CONCRETE RETAINING/SEATWALL. THE LIVING SHORELINE WILL BE HYDRAULICALLY CONNECTED TO INDIAN CREEK AND WILL HAVE AN ADA—ACCESIBLE OVERLOOK THAT WILL ALLOW PARK PATRONS TO WALK FROM THE PARK TO THE EXISTING SEAWALLS'S EDGE. IN ADDITION, THE PROJECT ALSO INCLUDES IMPROVED PATHWAYS, SITE FURNITURE, AND PEDESTRIAN LIGHTING TO ENHANCE THE SURROUNDING RIPARIAN AND INTERTIDAL ENVIRONMENT BY CREATING A NEW HABITAT FOR AQUATIC AND TERRESTRIAL SPECIES AND IMPROVING WATER QUALITY VIA FILTRATION OF UPLAND RUNOFF. THE PARK RENOVATIONS INCLUDE NEW CONCRETE WALKWAYS, MILLING AND RESURFACING THE EXISTING PARKING LOT, NEW TREES, NEW EXERCISE EQUIPMENT, AND NEW LANDSCAPING.

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING TO HIS SATISFACTION, PRIOR TO THE EXECUTION OF THE CONTRACT, THE NATURE AND LOCATION OF THE WORK, THE CONFIRMATION OF THE EXISTING GROUND, THE CHARACTER AND QUALITY OF THE SUBSTRATA, THE TYPES AND QUANTITY OF EXISTING MATERIALS TO BE ENCOUNTERED, THE NATURE OF THE GROUNDWATER CONDITIONS, THE CHARACTER OF EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING THE EXECUTION OF THE WORK, THE GENERAL AND LOCAL CONDITIONS, AND ALL OTHER MATTERS WHICH CAN IN ANY WAY AFFECT THE WORK UNDER THIS CONTRACT. THE CONTRACT UNIT PRICES FOR THE ENTIRE CONTRACT WILL REFLECT ALL COSTS PERTAINING TO PROPOSED WORK.

2. THE CONTRACTOR SHALL SUPPLY HIS OWN TEMPORARY ELECTRIC, WATER AND SANITARY FACILITIES AND ACQUIRE ALL NECESSARY CONSTRUCTION PERMITS. TEMPORARY SANITARY SEWER FACILITIES FOR CONSTRCTION WORKERS SHALL REMAIN LOCKED DURING NON-CONSTRUCTION HOURS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT EACH UTILITY COMPANY AND THE CITY OF MIAMI BEACH PARK MAINTENANCE DEPARTMENT TO FIELD-LOCATE EXISTING UTILITIES AT THE PROJECT SITE AND IN THE CONSTRUCTION STAGING AREA.

3. ALL COSTS ASSOCIATED WITH PREPARING THE CONTRACTOR'S STORAGE AND STAGING AREA SITE SHALL BE BORNE BY THE CONTRACTOR. THIS INCLUDES, BUT IS NOT LIMITED TO, CLEARING AND GRADING OF THE SITE, CONSTRUCTION OF ALL TEMPORARY UTILITIES, ACCESS ROADS, ALL SECURITY FENCING, PERMITTING COSTS, RESTORATION OF THE SITE TO ITS ORIGINAL CONDITION AT PROJECT COMPLETION, MEETING FEDERAL, STATE AND LOCAL REQUIREMENTS, ETC.

4. CONTRACTOR SHALL REVIEW ALL PERMITS BEFORE BIDDING ON THE PROJECT AND BECOME FAMILIAR WITH THE CONDITIONS OF THE PERMITS. CONTRACTOR SHALL ENSURE THAT THE CONSTRUCTION ACTIVITIES ARE IN COMPLIANCE WITH ALL REGULATORY AGENCY PERMITS.

5. THE PROJECT PAY ITEMS ARE INTENDED TO BE INCLUSIVE OF ALL WORK TO BE PERFORMED WITHIN THESE CONTRACT DOCUMENTS AND ALL REFERENCED CONSTRUCTION AND PERMIT REQUIREMENTS. ALL INCIDENTAL WORK REQUIRED TO COMPLETE THE PROJECT AND ADHERE TO THIS PROJECT'S REQUIREMENTS SHALL BE INCLUDED IN THE CONTRACTOR'S BID UNDER THE MOST APPLICABLE BID ITEM.

- 6. THE CONTRACTOR WILL RESTRICT PERSONNEL, THE USE OF EQUIPMENT, AND THE STORAGE OF MATERIALS TO AREAS WITHIN THE LIMITS OF CONSTRUCTION. OR TO OTHER AREAS AS DIRECTED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- 7. ALL CONTRACTOR VEHICLES AND TRAFFIC SHALL REMAIN WITHIN THE DESIGNATED CONSTRUCTION AREAS, STAGING AREAS, OR HAUL ROUTES.

8. THE CONTRACTOR SHALL COMPLY WITH OSHA'S EXCAVATION SAFETY STANDARDS AND THE FLORIDA TRENCH SAFETY ACT. AND SHALL COMPLY WITH ALL OTHER OSHA REQUIREMENTS.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, SIDEWALK, UTILITY PIPES, CONDUITS, SPRINKLER HEADS, CABLES, GRASS, LANDSCAPED AREAS, AND ALL OTHER EXISTING IMPROVEMENTS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL RESTORE ALL EXISTING IMPROVEMENTS TO ORIGINAL CONDITION OR BETTER AT NO ADDITIONAL COST TO THE OWNER.

10. WHERE REQUIRED, AT NO ADDITIONAL COST TO THE OWNER, THE CONTRACTOR SHALL USE TEMPORARY SHEETING OR TRENCH BOXES, TO MINIMIZE THE SIZE OF EXCAVATIONS IN ORDER TO PROTECT ADJACENT EXISTING ROADWAYS, UTILITIES AND OTHER FACILITIES.

11. UNLESS OTHERWISE NOTED, EXISTING DRAINAGE STRUCTURES AND DRAINAGE PIPE AT THE PROJECT SHALL REMAIN.

12. THE CONTRACTOR SHALL REPLACE AND RECONNECT ALL IRRIGATION MAINS WHICH ARE DISTURBED BY CONSTRUCTION. ALL EXISTING IRRIGATION TO AREAS NOT WITHIN CONSTRUCTION LIMITS MUST BE MAINTAINED DURING CONSTRUCTION. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL INSPECT IRRIGATION AND LANDSCAPING WITH A REPRESENTATIVE OF THE CITY OF MIAMI BEACH PARK MAINTENANCE. IF IRRIGATION IS INTERRUPTED TO LANDSCAPE AREAS, CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING. AFTER COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL COORDINATE WITH THE OWNER'S STAFF TO TEST ALL IRRIGATION MAINS AND BRANCHES WITHIN, OR CROSSING THE PROJECT.

- 13. PLAN BENCHMARK DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988.
- 14. CONTRACTOR SHALL SET TEMPORARY BENCHMARKS AS NEEDED.

15. ANY SURVEY MONUMENT WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF A MONUMENT IS IN DANGER OF BEING DAMAGED, THE CONTRACTOR SHALL NOTIFY THE FLORIDA DEPARTMENT OF NATURAL RESOURCES. BUREAU OF SURVEY AND MAPPING, 3900 COMMONWEALTH BOULEVARD, SUITE 309, TALLAHASSEE, FLORIDA 32399. TELEPHONE (904) 488-2427.

16. ALL PUBLIC LAND CORNERS OR COUNTY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE PROTECTED. IF A CORNER OR MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR'S CONSTRUCTION MANAGER SHOULD NOTIFY THE CITY OF MIAMI BEACH SURVEYOR WITHOUT DELAY.

17. ALL EXISTING ROADS AND DRIVEWAYS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES DURING CONSTRUCTION. UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER.

18. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL AIR QUALITY AND POLLUTION CONTROL REGULATIONS PERTAINING TO CONSTRUCTION ACTIVITIES.

19. SILT FENCES SHALL BE PLACED IN ACCORDANCE WITH THE FDOT DESIGN STANDARDS. ALL EROSION CONTROL DEVICES SHALL BE REMOVED BY THE CONTRACTOR AFTER INSTALLATION OF PERMANENT GRASSING IS COMPLETE. THE COST OF REMOVING EROSION CONTROL ITEMS IS TO BE INCLUDED IN THE COST OF EROSION CONTROL. ANY AREAS DISTURBED BY THE REMOVAL OF EROSION CONTROL ITEMS SHALL BE REGRASSED OR SODDED AT NO ADDITIONAL COST TO THE OWNER.

20. PRIOR TO AND DURING CONSTRUCTION, THE CONTRACTOR SHALL INSURE AGAINST POLLUTING, SILTING OR DISTURBING ONSITE AND DOWNSTREAM WATER BODIES AND WETLANDS TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY ABOVE THAT ALLOWED BY CHAPTER 62-302, FLORIDA ADMINISTRATIVE CODE (FAC) (0 NTU ABOVE BACKGROUND), TO WATERS OF THE STATE. SUCH MEASURES MAY INCLUDE, BUT NOT BE LIMITED TO, CONSTRUCTION OF TEMPORARY EROSION CONTROL STRUCTURES SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, OR SILT BARRIERS. THESE TURBIDITY CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS TO ENSURE THAT CONSTRUCTION GENERATED TURBIDITY IS CONTAINED WITHIN THE WORK AREAS. AT NO TIME SHALL THE CONSTRUCTION SITE RUNOFF OR DEWATERING ACTIVITY RESULT IN EXCEEDING THE WATER QUALITY STANDARDS AS SET FORTH IN CHAPTER 62-302, FLORIDA ADMINISTRATIVE CODE (FAC) AS REQUIRED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). TURBIDITY CURTAINS TO CONTAIN EMBOSSED, IN A CONTRASTING COLOR, THE NAME OF THE CONTRACTOR IN 4" HIGH LETTERS.

21. CONTRACTOR SHALL PROVIDE SITE DRAINAGE AND EROSION CONTROL DURING CLEARING AND GRUBBING AND ALL PHASES OF CONSTRUCTION. SITE DRAINAGE AND FLOW THROUGH EXISTING AND TEMPORARY DRAINAGE SYSTEMS SHALL BE MAINTAINED AT ALL TIMES AND SHALL EQUAL THE FLOW THROUGH THE EXISTING SYSTEM.

22. CONTRACTOR TO SUBMIT AND RECEIVE APPROVAL OF AN EROSION CONTROL PLAN FROM THE OWNER PRIOR TO BEGINNING ANY CONSTRUCTION. EROSION CONTROL ITEMS ARE REQUIRED FOR PREVENTION, CONTROL AND ABATEMENT OF EROSION, SEDIMENTATION, AND WATER POLLUTION. THESE ITEMS ARE TO BE USED AT THE LOCATIONS DESCRIBED IN THE CONTRACTOR'S APPROVED EROSION CONTROL PLAN TO COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS. CONTRACTOR TO SUBMIT NPDES PERMIT APPLICATION AND PROVIDE OWNER WITH A COPY.

23. THE EROSION CONTROL MEASURES AS SHOWN IN FDOT DESIGN STANDARDS ARE THE MINIMUM REQUIRED. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO FIELD CONDITIONS AS DETERMINED BY THE OWNER AND REGULATORY AGENCIES.

24. IN ADDITION TO THE TURBIDITY AND EROSION CONTROL MEASURES SPECIFIED IN THE FDOT DESIGN STANDARDS, BEST MANAGEMENT PRACTICES FOR EROSION AND TURBIDITY CONTROL SHALL BE UTILIZED AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS INCLUDING, BUT NOT LIMITED TO, SOUTH FLORIDA WATER MANAGEMENT DISTRICT AND FDEP (NPDES). THESE BEST MANAGEMENT PRACTICES SHALL INCLUDE THE USE AND MAINTENANCE

PROJECT:

OF STAKED FILTER CLOTH, AND OTHER SUITABLE MEANS SURROUNDING ALL CONSTRUCTION AREAS TO PREVENT EROSION AS WELL AS THE USE OF FLOATING OR STAKED TURBIDITY SCREENS, WHERE APPROPRIATE, TO ISOLATE CONSTRUCTION AREAS FROM ADJACENT SURFACE WATERS. THESE TURBIDITY CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS TO ENSURE THAT CONSTRUCTION GENERATED TURBIDITY IS CONTAINED WITHIN THE WORK AREAS AND THAT THE TURBIDITY CONTROL DEVICES REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE.

25. THE CONTRACTOR SHALL APPLY BEST MANAGEMENT PRACTICES TO PREVENT EROSION OF SOILS, TURBIDITY AND POLLUTION IN ADJACENT WATERWAYS, DUST CLOUDS AND AIR POLLUTION.

26. PRIOR TO MOBILIZATION THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL FDEP NPDES PERMITS. THE CONTRACTOR SHALL PREPARE AND SUBMIT ALL PERMIT APPLICATIONS, EXHIBITS, STORMWATER POLLUTION PREVENTION PLANS (SWPPP) AND ALL OTHER REQUIRED SUBMITTALS NECESSARY TO OBTAIN THE NPDES PERMIT FOR THE PROJECT. THE CONTRACTOR SHALL SUBMIT TWO (2) COPIES OF ALL SUBMITTAL DOCUMENTS TO THE OWNER AND TWO (2) COPIES TO THE ENGINEER FOR REVIEW AND ACCEPTANCE PRIOR TO SUBMITTING NPDES PERMIT APPLICATION/NOTIFICATION TO FDEP.

27. THE CONTRACTOR SHALL NOT BRING ANY HAZARDOUS MATERIALS ONTO THE PROJECT. SHOULD THE CONTRACTOR REQUIRE SUCH FOR PERFORMING THE CONTRACTED WORK, THE CONTRACTOR SHALL REQUEST, IN WRITING, WRITTEN PERMISSION FROM THE OWNER. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A COPY OF THE MATERIAL SAFETY DATA SHEET (MSDS) FOR EACH HAZARDOUS MATERIAL PROPOSED FOR USE. THE OWNER SHALL ISSUE WRITTEN APPROVAL TO THE CONTRACTOR. BECAUSE STATE LAW DOES NOT TREAT PETROLEUM PRODUCTS THAT ARE PROPERLY CONTAINERIZED AND INTENDED FOR EQUIPMENT USE AS A HAZARDOUS MATERIAL, SUCH PRODUCTS DO NOT NEED A MSDS SUBMITTAL.

28. ANY KNOWN OR SUSPECTED HAZARDOUS MATERIAL FOUND ON THE PROJECT BY THE CONTRACTOR SHALL BE IMMEDIATELY REPORTED TO THE OWNER, WHO SHALL DIRECT THE CONTRACTOR TO PROTECT THE AREA OF KNOWN OR SUSPECTED CONTAMINATION FROM FURTHER ACCESS. THE OWNER WILL ARRANGE FOR INVESTIGATION, IDENTIFICATION, AND REMEDIATION OF THE HAZARDOUS MATERIAL. THE CONTRACTOR SHALL NOT RETURN TO THE AREA OF CONTAMINATION UNTIL APPROVAL IS PROVIDED BY THE OWNER.

29. EXISTING CONDITIONS AND LOCATIONS OF EXISTING UTILITIES AND STORM DRAINAGE PIPE AND STRUCTURES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING CONSTRUCTION DOCUMENTS, SURVEYS AND FIELD INVESTIGATIONS. IT IS TO BE UNDERSTOOD THAT UNFORESEEN CONDITIONS MAY EXIST AND NEW AND EXISTING WORK MAY NOT BE LOCATED EXACTLY AS SHOWN ON THE DRAWINGS. IT IS ALSO TO BE UNDERSTOOD THAT THE PLANS ARE NOT COMPLETELY TO SCALE. THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS TO FIELD VERIFY LOCATIONS AND DIMENSIONS OF ALL EXISTING SITE UTILITIES AND THE CONTRACTOR SHALL FIELD VERIFY ALL OTHER EXISTING IMPROVEMENTS PRIOR TO CONSTRUCTION. THE COSTS FOR DEVIATIONS OR UNKNOWN CONDITIONS SHALL BE INCLUDED IN THE CONTRACT.

30. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTES FOR THE PROTECTION OF UNDERGROUND GAS PIPELINES.

31. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS IS BASED ON LIMITED INVESTIGATION TECHNIQUES AND SHOULD BE CONSIDERED APPROXIMATE ONLY. THE VERIFIED LOCATIONS/ELEVATIONS APPLY ONLY AT THE POINT SHOWN. INTERPOLATIONS BETWEEN THESE POINTS HAVE NOT BEEN VERIFIED. ALL UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.

32. THE CONTRACTOR SHALL NOTIFY UTILITY OWNERS THROUGH SUNSHINE 811 (DIAL 811) AT LEAST 48 HOURS IN ADVANCE OF BEGINNING CONSTRUCTION ON JOB SITE.

| COMPANY | CONTACT | UTILITY | TELEPHONE |
|---|--|--|---|
| ATLANTIC BROADBAND HOTWIRE COMMUNICATIONS CROWN CASTLE NG SPRINT NEXTEL AT&T/DISTRIBUTION CITY OF MIAMI BEACH UTILITIES DADE COUNTY PUBLIC WORKS FLORIDA POWER & LIGHT-TRANSM. FLORIDA POWER & LIGHT-SUBAQUEOUS FLORIDA POWER & LIGHT-DADE TECO PEOPLES GAS | EDWIN ZAMBRANA WALTER SANCHO DAVILA FIBERDIG TEAM MARK CALDWELL STEVE LOW ASHOK VERMA OCTAVIO VIDAL SEYED HAJASSADOLLAH ERNESTO DOMINGUEZ ERNESTO DOMINGUEZ YVONNE GOLDMAN | CABLE TV FIBER, TELEPHONE, CATV FIBER FIBER OPTIC TELEPHONE WATER, SEWER/STR. LIGHTS TRAFFIC/STR. LIGHTS POWER POWER POWER GAS | 305.861.8069 x 5411 954.417.3606 561.544.4960 321.287.9942 305.222.8745 305.673.7000 786.345.0986 305.938.1910 954.581.3088 954.453.0824 |
| | | | |

33. PRIOR TO ANY SITE WORK, THE CONTRACTOR SHALL SUPPLY TO THE OWNER A COMPREHENSIVE CHECKLIST OF UTILITY FACILITY OWNERS CONTACTED FOR VERIFICATION OF ON—SITE UTILITIES AND THE LOCATION OF FACILITIES. THE CHECK LIST SHALL INCLUDE: CONTACT NAME, TELEPHONE NUMBER, DATE CONTACTED AND DATE UTILITY WAS FLAGGED AT SITE. NO WORK AT SITE SHALL PROCEED WITHOUT OWNER'S WRITTEN REVIEW AND ACCEPTANCE OF THE COMPREHENSIVE UTILITY LOCATE CHECKLIST. ADDITIONALLY, PRIOR TO ANY WORK PROCEEDING AT THE PROJECT SITE. THE CONTRACTOR SHALL FLAG THE LOCATION OF ALL UTILITIES (WATER, SEWER, RECLAIMED WATER, POWER, TELEPHONE, FUEL, GAS, AND ALL OTHERS) IN THE FIELD. THE OWNER SHALL PROVIDE WRITTEN REVIEW AND ACCEPTANCE OF FLAGGED LOCATIONS OF UTILITIES AND MUST PROVIDE WRITTEN NOTICE TO PROCEED TO THE CONTRACTOR PRIOR TO ANY EXCAVATION AT THE SITE. AS PART OF THE FLAGGING OF THE UTILITIES. THE CONTRACTOR SHALL HAND EXCAVATE. OR USE OTHER SUBSURFACE UTILITY LOCATING TECHNIQUES, AT EACH UTILITY CROSSING OR AT LOCATIONS ADJACENT TO PROPOSED IMPROVEMENTS, TO EXPOSE, TO A DEPTH OF 2 FEET BELOW THE BOTTOM OF ANY PROPOSED EXCAVATIONS. THE UTILITY FOR VISUAL VERIFICATION BY THE OWNER PRIOR TO CONSTRUCTION.

THE OWNER'S REVIEW OF THE EXISTING UTILITIES, FLAGGING, EXPOSURE AND REVIEW OF THE CHECKLIST IS FOR VERIFICATION OF THE CONTRACTOR'S UTILITY LOCATE EFFORTS ONLY. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING, PROTECTING AND SUPPORTING ALL EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES WHETHER ON THE PLANS, CHECKLIST, FLAGGED, EXPOSED OR NOT.

34. TO AVOID VECTOR BREEDING AREAS, THE CONTRACTOR SHALL NOT ALLOW PONDING WATER ON SITE. PROVIDE POSITIVE DRAINAGE AT ALL TIMES. TREAT ALL WATER THAT HAS NOT DRAINED AND PONDED FOR 48

35. THE CONTRACTOR SHALL EMPLOY AN EFFECTIVE INTEGRATED MOSQUITO MANAGEMENT PROGRAM, WHICH UTILIZES BEST MANAGEMENT PRACTICES DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE THE PROJECT MANAGER WITH THE PROPOSED MOSQUITO PROGRAM, FOR APPROVAL, ONE WEEK BEFORE ANY WORK BEGINS. THE CONTRACTOR SHALL NOT BEGIN ANY EARTH WORK UNTIL HE RECEIVES WRITTEN APPROVAL, FOR THE MOSQUITO MANAGEMENT PROGRAM, FROM THE CITY OF MIAMI BEACH PROJECT MANAGER.

36. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLASS II PERMIT FROM THE WATER CONTROL SECTION OF THE DEPARTMENT OF ENVIRONMENTAL RESOURCES MANAGEMENT (DERM) 37. CONTRACTOR SHALL LEGALLY DISPOSE OF ALL EXCAVATED MATERIAL (SUITABLE AND UNSITABLE) AND COMPLY WITH THE REQUIREMENTS OF THE 2017 FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 120, EXCAVATION AND EMBAKMENT.

NOTES:

- 1. PROJECT WILL BE BID & PAID FOR AS LUMP SUM.ESTIMATED QUANTITIES PROVIDED FOR REFERENCE ONLY. 2. ITEM No.2 MAINTENANCE OF TRAFFIC INCLUDES MAINTENANCE OF PEDESTRIAN TRAFFIC AND INCLUDES
- VEHICLE AND PEDESTRIAN MAINTENANCE OF TRAFFIC ON INDIAN CREEK DRIVE. 3. ITEM No.3. EROSION CONTROL INCLUDES ALL SILT FENCE, FLOATING AND STAKED TURBIDITY BARRIERS AND OTHER EROSION AND SEDIMENTATION CONTROLS NECESSARY TO INHIBIT DISCHARGE OF SEDIMENT TO THE WATERWAYS.
- 4. ITEM No.5. CLEARING AND GRUBBING INCLUDES REMOVAL OF THE EXISTING CONCRETE PADS, REMOVING TREES AND ROOTS, REMOVING EXISTING DRINKING FOUNTAINS, WATER SERVICES, IRRIGATION AND BENCHES, REMOVING EXISTING SIDEWALKS AND PATHS AND REMOVAL OF ALL LIMEROCK BASE MATERIAL AT THE SIDEWALKS AND PATHS.
- 5. ITEM No.6. REGULAR EXCAVATION INCLUDES EXCAVATION, COMPACTION, GRADING, AND UTILIZATION. 6. ITEM No 11, PIPE CULV, HP, ROUND, 12" SD, INCLUDES THE CONNECTION TO THE EXISTING SEAWALL, REBAR CAGE AT SEAWALL CONNECTION, DEMOLITION AND RECONSTRUCTION OF EXISTING CONCRETE WALKWAY, AND
- ALL INCIDENTAL WORK FOR THE INSTALLATION OF THE PIPE. 7. ITEMS 14, 15 AND 16, MANATEE GUARDS SHALL BE CONSTRUCTED AS SHOWN IN THE DETAIL ON SHEET C-07 AND SHALL BE STAINLESS STEEL.

DESCRIPTION OF LUMP SUM PROJECT COMPONENTS

| FDOT NO. | ITEM NO. | DESCRIPTION | ESTIMATED QUANTITY | UNIT OF MEASUREMENT |
|--------------|----------|---|-----------------------|------------------------|
| 101-1 | 1 | Mobilization | 1 | LS |
| 102-1 | 2 | Maintenance of Traffic | 1 | LS |
| 104 | 3 | Erosion Control | 1 | LS |
| N/A | 4 | Temporary 6' Chain Link Fence & gates with 80% Blockage Screen | 1 | LS |
| 110-1-1 | 5 | Clearing & Grubbing | 1 | LS |
| 120-1 | 6 | Regular Excavation | 174 | CY |
| 120-6 | 7 | Embankment | 150 | CY |
| 522-1 | 8 | 3000 PSI Concrete (6" Thick) Walkway and all concrete pads | 1430 | SY |
| N/A | 9 | Nyloplast 15" drain basin with solid grate | 4 | EA |
| N/A | 10 | Nyloplast 15" drain basin with standard grate | 2 | EA |
| 430-174-112 | 11 | Pipe Culv, High Performance storm by ADS (HP), Round,12"SD | 279 | LF |
| 327-70-1 | 12 | Milling Exist. Asphalt Pavement, 1" Avg Depth | 540 | SY |
| 334-1-13 | 13 | Superpave Asphaltic Conc. Traffic C | 30 | TN |
| 430-885-15 | 14 | Manatee Guard for 12" Pipe- Stainless Steel- Hinged | 2 | EA |
| 430-885-15 | 15 | Manatee Guard for 15" Pipe- Stainless Steel- Hinged | 3 | EA |
| 430-885-24 | 16 | Manatee Guard for 24" Pipe- Stainless Steel- Hinged | 1 | EA |
| N/A | 17 | Oolite boulders | 120 | TN |
| 530-3-5 | 18 | Riprap- Rubble, Bank and Shore Protection | 490 | TN |
| 711/700-1-12 | 19 | Thermoplastic pavt markings and Signs | 1 | LS |
| N/A | 20 | Furnish and Install water service for drinking fountains & Irrigation. (Include accesories & fittings, BFPs, Enclosures, Conc. Slabs and Drinking Fountain Dry wells) | 700 | LF |
| N/A | 21 | Overlook (Furnish & Install complete system) | 1 | LS |
| N/A * | 22 | Electrical and lighting (Includes demolition of existing) | 1 | LS |
| N/A * | 23 | Irrigation, Landscape and Hardscape | 1 | LS |

* REFER TO LANDSCAPE AND ELECTRICAL PLANS FOR TREE REMOVALS, LANDSCAPE/HARDSCAPE, ELECTRICAL DEMOLITION AND ELECTRICAL LAYOUT

NOTES (CONTINUED):

- 8. PAY ITEM No.20. FURNISH AND INSTALL WATER SERVICE FOR DRINKING FOUNTAINS AND IRRIGATION INCLUDES ALL THE REQUIRED ACCESSORIES AND FITTINGS FOR THE WATER SERVICE AND WATER SUPPLY LINES, THE NEW BACKFLOW PREVENTERS FOR IRRIGATION AND DRINKING WATER, CONC. SLABS AND DRY WELL SYSTEMS. WATER SERVICE, 4" BACKFLOW PREVENTERS, VALVES, ETC. FOR THE WATER SERVICES SHALL MEET THE REQUIREMENTS OF THE CITY OF MIAMI BEACH DETAILS AND SPECIFICATIONS.
- 9. ITEM No.21 OVERLOOK INCLUDES THE COST TO PROVIDE SIGNED AND SEALED SHOP DRAWINGS FOR THE CITY OF MIAMI BEACH APPROVAL AND ALL COSTS RELATED TO THE CONSTRUCTION AND PERMITTING OF THE OVERLOOK.
- 10. ALL REFERENCES TO FDOT INDEX ARE TO THE 2017 EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) DESIGN STANDARDS.
- 11. ALL ITEMS REFERENCED BY FDOT NUMBERS SHALL BE PAID PER THE FDOT BASIS OF ESTIMATE 2017 EDITION AND SHALL BE CONSTRUCTED PER THE CORRESPONDING FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2017 EDITION. ONE COPY OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2017 EDITION AND THE FDOT DESIGN STANDARDS 2017 EDITION SHALL BE KEPT AT THE SITE AT ALL TIMES DURING CONSTRUCTION.
- 12. ALL HARDWARE (NUTS, BOLTS, WASHERS, ETC) FOR ALL COMPONENTS REQUIRING NEW HARDWARE SHALL BE STAINLESS STEEL TYPE 316.
- 13. QUANTITIES FOR PAY ITEMS 6 AND 7 INCLUDE ALL EXCAVATION AND EMBANKMENT EAST OF THE SEAWALL AND SEATWALL AND INCLUDE THE EXCAVATION AT THE SWALE/OOLOITIC BOULDERS IN THE LIVING SHORELINE AREA. THE EXCAVATION QUANTITIES FOR THE SAND/ORGANIC MIX AREAS AND THE QUANTITIES FOR THE SAND/ORGANIC MIX ARE CALLED OUT ON THE LANDSCAPE PLANS.

PARK EQUIPMENT NOTES:

- 1. ALL EXISTING EXERCISE EQUIPMENT AND PARK AMENITIES (TRASH CANS, BENCHES, AND ALL OTHER PARK AMENITIES SELECTED BY THE CITY) ARE TO BE REMOVED AND DELIVERED TO A CITY OF MIAMI BEACH LOCATION DESIGNATED BY THE PARKS AND RECREATION DEPARTMENT. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO THE EXISTING EXERCISE EQUIPMENT AND AMENITIES THAT OCCURS DURING REMOVAL AND TRANSPORT
- 2. ALL NEW EXERCISE PADS SHALL BE CONSTRUCTED TO HAVE POSITIVE DRAINAGE. NO PONDING (0.0%) ON THE NEWLY CONSTRUCTED PADS IS ACCEPTABLE. THE CONTRACTOR SHALL REMOVE AND REPLACE ALL NEWLY CONSTRUCTED PADS WHICH EXHIBIT PONDING OR BIRDBATHS.
- 3. THE CONTRACTOR SHALL REMOVE AND SALVAGE ALL LIGHT FIXTURES AND PARTS AND DELIVER THEM TO THE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT (PWD), OPERATIONS — STREET LIGHT DIVISION, YARD FACILITY.

SITE INFORMATION:

 LOT SIZE PROPOSED AREA AREA: 164,757 SQ-FT 138,737 SQ-FT PROPOSED PERVIOUS AREA: PROPOSED IMPERVIOUS AREA: 26,020 SQ-FT SEAWALL • CURRENT URBAN FURNITURE EXISTING SEAWALL: 1595 FT NUMBER OF BENCHES: EXISTING AREA NUMBER OF BIKE RACKS: 138,880 SQ-FT PERVIOUS AREA: PROPOSED URBAN FURNITURE 25,877 SQ-FT IMPERVIOUS AREA: NUMBER OF BENCHES:

ENGINEER OF RECORD MRH DESIGN ENGINEER NJL DRAWN BY:

SCALE:

ENGINEER OF RECORD: NO.81665 NO. DATE REVISION

Drawing Title: NOTES AND LUMP SUM PROJECT COMPONENTS Filename: 471A-G-02.dwg APP'D. BY Date: 10/12/20 Sheet: 2 of 48

NUMBER OF BIKE RACKS:

rawing No.

OFFICE OF CAPITAL IMPROVEMENT PROJECTS 1701 MERIDIAN AVENUE, MIAMI BEACH, FL.33139

BRITTANY BAY PARK RENOVATION

6444 INDIAN CREEK DRIVE, MIAMI BEACH, FL. 33141

815 NW 57 th Avenue,

Suite 200-11, Miami, FI 33126 Certificate of Authorization Number 5993

CHECKER: AS INDICATED

MICHAEL R. HARTER

MIAMBEACH PLANNING DEPARTMENT Staff Report & Recommendation

Bosenstands of the car as a management as particular

Design Review Board

DRB Chairperson and Members Thomas R. Mooney, AICP TT FROM:

DATE: March 97, 2017

Planning Director SUBJECT

DR816-010 6444 Indian Creek Drive Brittany Bay Park

The applicant, the City of Miami Beach, is requesting Design Review Approval for site planimprovements to Brittany Bay Park and the rehabilitation of the Indian Creek/Brittany Bay seawall incorporating a living seawall and construction of three viewing platforms.

RECOMMENDATION:

Lots 1-12, Block 3, Amended Plat of SECOND OCEAN PRONT SUBDIVISION, According to the Plat thereof as recorded in Plat Book 28, Page 28, Public Records of Miami Dade County, Florida

The City of Miami. Beach has approximately 63 miles of shoreline. With many City-owned seawall projects currently in the planning and design phase, there is an opportunity to integrate green 'living seawalls' with the existing, structural seawall rehabilitation projects. The Public Works and the Environmental and Sustainability Departments have been working together on several projects to design, permit and implement living shorelines where possible. Moreover, the 2025 Comprehensive Plan encourages the use of living seawalls in applicable areas (Policy 2.7, page C/CZM-4 - 116 of 179).

Brittany Bay Park, also known as Indian Creek Park, is a City-owned waterfront park on the Indian Creek Waterway. The Park serves as a leisure, open space park for residents and visitors with vegetation and winding pedestrian paths, as well as offering a free Vita fitness. route and equipment stations.

SITE DATA: Future Land Use: Lot Size: Existing Seawall

Proposed Rehabilitation

Proposed Living Shoreline 14,093 SF

GU, Recreation Open Space 164.757 SF 1060 LF

540 LF

Page 5 of 6 DRB16-0101—6444 Indian Creek Drive – Brittany Bay Park

The building shall have an appropriate and fully integrated rooftop architectural treatment which substantially screens all mechanical equipment, stairs and elevator Satisfied

An addition on a building site shall be designed, sited and massed in a manner which is sensitive to and compatible with the existing improvement(s). Not Applicable

16. All portions of a project fronting a street or sidewalk shall incorporate an architecturally appropriate amount of transparency at the first level in order to achieve pedestrian compatibility and adequate visual interest. Not Applicable

17. The location, design, screening and buffering of all required service bays, delivery bays, trash and refuse receptacles, as well as trash rooms shall be arranged so as to have a minimal impact on adjacent properties. Not Applicable

STAFF ANALYSIS: DESIGN REVIEW

Brittany Bay Park is a city owned 4-acre waterfront park on the Indian Creek Waterway. The initial scope of the Brittany Bay Park Seawall Project was to rehabilitate the existing seawall as it stands. However, the rehabilitation of the existing seawall would have required the removal of 72 mangroves, 23 buttonwoods and additional trees, many of which were native and specimen-sized, along the shoreline. Since the protection of mangroves is a priority to the City of Miami Beach, the Project's scope evolved to include the protection of the existing mangrove stands and introduce a natural shoreline within the existing structural

The Sustainability and Resiliency Committee has directed City staff to develop living shorelines along City seawalls, where appropriate. The seawall at Brittany Park was selected since it is one of the few seawalls in the City that can accommodate a living shoreline and wetland habitat. Given its' deteriorating seawall cap, as well as the natural recruitment of mangroves along the seawall, the site presented a unique opportunity to build a living shoreline together with a structural seawall. At the Committee's January 18, 2017 meeting, City Commissioners supported the concept design for Brittany Bay Park's seawall rehabilitation with the integration of a living shoreline.

The proposed rehabilitation to the Brittany Bay Park seawall will be the first hybrid design where the City incorporates a structural seawall with a living shoreline. The hybrid design preserves the existing mangrove stands, as well as proposes an abundance of landscape both at the shoreline and within the park. Moreover, the shoreline serves as an educational tool to residents and visitors of the Park, demonstrating the importance of resilient species for shoreline stabilization and alternative options to strictly grey infrastructure. Educational signage will focus on sea level rise outreach and the role of natural system in building

In addition to the rehabilitation and construction of a hybrid seawall, the design includes site improvements to the existing park and the construction of three overlooks that connect the

Page 2 of 6 DRB File: 16-0100 - 501 72nd Street Meeting Date: March 7, 2017

OPEN SPACE: Existing Pervious Area 138,880 SF Existing Impervious Area 25,877 Proposed Pervious Area 138.880SF Proposed Impervious Area 25,876 SF

SITE FURNITURE: Current Benches Proposed Benches Current Bike Racks

Proposed Bike Racks 13 SURROUNDING PROPERTIES:

East: Indian Creek Drive/ Mid-Rise Residential North: Three-story residential building South: Seventeen-Story transient residential West: Indian Creek Waterway

The applicant has submitted plans titled "Indian Creek Park Seawall Rehabilitation - 60% Submittal", as prepared by Brindley Pieters & Associates, Inc., dated November 30, 2016.

The applicant is requesting the approval for site plan improvements to Brittany Bay Park and the rehabilitation of the Indian Creek/Brittany Bay seawall incorporating a living seawall. The Brittany Bay Park Seawall Project proposes to rehabilitate the existing seawall which is currently failing in multiple areas along the aged seawall and incorporate a living shoreline where existing mangrove stands have naturally recruited. The existing seawall is approximately 1,030 linear feet. While the structural seawall is in fair conditions, the concrete cap is dilapidated and other minor repairs are necessary. Red mangrove stands have recruited along areas that are exposed to tidal flushing. The design calls for the restoration of approximately 530 linear feet of existing structural seawall, topped with a new concrete cap at an elevation of 5.7' NAVD.

The living shoreline is proposed along the remaining 500 linear feet of seawall, midpoint along the water edge. It is comprised of existing mangrove stands and other landscape species, as well as new native landscape species that will be introduced to provide shoreline stabilization. In addition, three overlook decks are proposed to connect park users to the living seawall's edge and allow the opportunity to inform users about the natural environment. The scope also includes improved pathways and site furniture, and pedestrian lighting to enhance security and safety.

ACCESSIBILITY COMPLIANCE

Additional information will be required for a complete review for compliance with the Florida Building Code 2001 Edition, Section 11 (Florida Accessibility Code for Building Construction). These and all accessibility matters shall require final review and verification by the Building Department prior to the issuance of a Building Permit.

CONCURRENCY DETERMINATION:

A final concurrency determination shall be conducted prior to the issuance of a Building Permit. Mitigation fees and concurrency administrative costs shall be paid prior to the project

DRB16-0101—6444 Indian Creek Drive – Brittany Bay Park

park, through the living shoreline, to the water's edge. The proposed improvements include a new pedestrian pathway along the land edge of the living shoreline, improvements to existing pathways, replacement of existing benches with new, wooden benches, new bike racks and trash receptacles, and new site lighting to enhance security and safety. Staff recommends the review of the design and details, including materials and finishes

The proposed overlooks connect the park to the water's edge. They are set amid the brush of the living shoreline and project 35'-0" westward, extending 3'-0" beyond the seawall. The overlooks are triangular in design, embraced on three sides by contemporary railings, with composite wood deck flooring. Staff recommends the review and approval of the final design of the overlook and railings, including materials and finishes.

Planning staff originally raised fairly significant concerns related to the impact of the project on existing canopy shade trees along the edge of the seawall. Upon the issuance of our comments related to potential tree removal, Planning staff inspected the site in conjunction with staff from the Tree Forestry Division (Urban Forester), CIP, Environmental and Sustainability Department, as well as the Landscape Architect for the project to explore changes that would maximize the preservation of existing matured canopy shade trees and relocation, if feasible. The consultant for the project has since revised the plans to more accurately reflect the field findings that will ensure the preservation of most of the large canopy shade trees. It is important to note that a significant number of existing trees that make up the existing green buffer consist of Mahoe (Hibiscus liliaceous L.) which is listed as a prohibited / invasive plant species by Miami-Dade County and will be required to be removed as part of the park renovation.

RECOMMENDATION:

In view of the foregoing analysis, staff recommends the application be approved, subject to the conditions enumerated in the attached Draft Order, which address the inconsistencies with the aforementioned Design Review criteria.

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DESIGN REVIEW BOARD City of Miami Beach, Florida

MEETING DATE: March 07, 2017

FILE NO: DRB16-0101 PROPERTY:

6444 Indian Creek Drive—Brittany Bay Park APPLICANT: City of Miami Beach

LEGAL:

Lots 1-12, Block 3, Amended Plat of SECOND OCEAN FRONT SUBDIVISION, According to the Plat thereof as recorded in Plat Book 28, Page 28, Public Records of Miami-Dade County, Florida.

DRB16-0101—6444 Indian Creek Drive - Brittany Bay Park

receiving any Building Permit. Without exception, all concurrency fees shall be paid prior to

A preliminary review of the project indicates that the proposed recreational use appears to

be consistent with the ROS designation of the Future Land Use Map of the 2025

Comprehensive Plan. The main permitted uses in the ROS, Recreation Open Space

The application, as submitted, appears to be consistent with the applicable requirements of

the City Code. This shall not be considered final zoning review or approval. These and all

zoning matters shall require final review and verification by the Zoning Administrator prior to

Design Review encompasses the examination of architectural drawings for consistency with

the criteria stated below with regard to the aesthetics, appearances, safety, and function of

the structure or proposed structures in relation to the site, adjacent structures and

surrounding community. Staff recommends that the following criteria be found to be

The existing and proposed conditions of the lot, including but not necessarily limited

The location of all existing and proposed buildings, drives, parking spaces,

3. The dimensions of all buildings, structures, setbacks, parking spaces, floor area

district, and any applicable overlays, for a particular application or project.

requiring a Building Permit in areas of the City identified in section 118-252.

walkways, means of ingress and egress, drainage facilities, utility services,

ratio, height, lot coverage and any other information that may be reasonably

The color, design, selection of landscape materials and architectural elements of

The proposed site plan, and the location, appearance and design of new and

existing Buildings and Structures are in conformity with the standards of this

Ordinance and other applicable ordinances, architectural and design guidelines as

adopted and amended periodically by the Design Review Board and Historic

Exterior Building surfaces and primary public interior areas for Developments

necessary to determine compliance with the requirements of the underlying zoning

the issuance of a Temporary Certificate of Occupancy or Certificate of Occupancy.

CONSISTENCY WITH COMPREHENSIVE PLAN:

Element are recreation and open space facilities.

COMPLIANCE WITH DESIGN REVIEW CRITERIA:

satisfied, not satisfied or not applicable, as hereto indicated:

Preservation Boards, and all pertinent master plans.

to topography, vegetation, trees, drainage, and waterways.

landscaping structures, signs, and lighting and screening devices.

COMPLIANCE WITH ZONING CODE:

the issuance of a Building Permit.

IN RE:

The applicant, the City of Miami Beach, is requesting Design Review Approval for site plan improvements to Brittany Bay Park and the rehabilitation of the Indian Creek/Brittany Bay seawall incorporating a living seawall and construction of three viewing platforms

ORDER

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter.

I. Design Review

DESIGN ENGINEER

DRAWN BY:

CHECKER:

SCALE:

A. The Board has jurisdiction pursuant to Section 118-252(a) of the Miami Beach Code. The property is not located within a designated local historic district and is not a

B. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is consistent with Design Review Criteria in Section 118-251 of the Miami Beach Code.

C. The project would remain consistent with the criteria and requirements of section 118-251 if the following conditions are met:

Revised elevation, and site plan drawings shall be submitted to and approved by staff; at a minimum, such drawings shall incorporate the following:

designed for marine use, subject to the review and approval of staff.

The final design and details of the proposed overlook deck, including materials and finishes, shall be provide, subject to the review and The pier deck planks may alternatively be of a durable composite material Page 4 of 6 DRB16-0101—6444 Indian Creek Drive – Brittany Bay Park

The proposed Structure, and/or additions or modifications to an existing structure, indicates sensitivity to and is compatible with the environment and adjacent structures, and enhances the appearance of the surrounding properties.

The design and layout of the proposed site plan, as well as all new and existing buildings shall be reviewed to provide an efficient arrangement of land uses. Particular attention shall be given to safety, crime prevention and fire protection, relationship to the surrounding neighborhood, impact on contiguous and adjacent Buildings and lands, pedestrian sight lines and view corridors.

8. Pedestrian and vehicular traffic movement within and adjacent to the site shall be reviewed to ensure that clearly defined, segregated pedestrian access to the site and all buildings is provided for and that all parking spaces are usable and are safely and conveniently arranged; pedestrian furniture and bike racks shall be considered. Access to the Site from adjacent roads shall be designed to interfere as little as possible with traffic flow on these roads and to permit vehicles a rapid and safe ingress and egress to the Site.

Lighting shall be reviewed to ensure safe movement of persons and vehicles and reflection on public property for security purposes and to minimize glare and reflection on adjacent properties. Lighting shall be reviewed to assure that it enhances the appearance of structures at night.

Landscape and paving materials shall be reviewed to ensure an adequate relationship with and enhancement of the overall Site Plan design.

11. Buffering materials shall be reviewed to ensure that headlights of vehicles, noise, and light from structures are adequately shielded from public view, adjacent properties and pedestrian areas.

12. The proposed structure has an orientation and massing which is sensitive to and compatible with the building site and surrounding area and which creates or maintains important view corridor(s).

13. The building has, where feasible, space in that part of the ground floor fronting a street or streets which is to be occupied for residential or commercial uses; likewise, the upper floors of the pedestal portion of the proposed building fronting a street, or streets shall have residential or commercial spaces, shall have the appearance of being a residential or commercial space or shall have an architectural treatment which shall buffer the appearance of the parking structure from the surrounding area and is integrated with the overall appearance of the project.

> Page 2 of 5 DRB16-0101—6444 Indian Creek Drive March 07, 2017

c. The final design and details, including materials and finishes, of the proposed seating, trash receptacles and bike racks shall be provided, subject to the review and approval of staff.

The final design and details of all lighting fixtures shall be required, subject to the review and approval of staf

Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for

A revised landscape plan, prepared by a Professional Landscape Architect, registered in the State of Florida, and corresponding site plan, shall be submitted to and approved by staff. The species type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plan shall incorporate the following:

Prior to the issuance of a building permit, the applicant shall submit a tree protection plan for all trees to be retained on site. Such plan shall be subject to the review and approval of staff, and shall include, but not be limited to a sturdy tree protection fence installed at the dripline of the trees prior to any construction.

b. In order to identify, protect and preserve mature trees on site, which are suitable for retention and relocation, a Tree Report prepared by a Certified Tree Arborist shall be submitted for the mature trees on site.

Any tree identified to be in good overall condition shall be retained, and protected in their current location if they are not in conflict with the proposed home, or they shall be relocated on site, if determined feasible, subject to the review and approval of staff. A tree care and watering plan also prepared by a Certified Arborist shall be submitted prior to the issuance of a Building Permit or Tree Removal/Relocation Permit. Subsequent to any approved relocation, a monthly report prepared by a Certified Arborist shall be provided to staff describing the overall tree performance and adjustments to the maintenance plan in order to ensure survivability, such report shall continue for a period of 18 months unless determined otherwise by staff.

Existing trees to be retained on site shall be protected from all types of construction disturbance. Root cutting, storage of soil or construction materials, movement of heavy vehicles, change in drainage patterns, and wash of concrete or other materials shall be prohibited.

Prior to the issuance of a Certificate of Occupancy, the Landscape Architect for the project architect shall verify, in writing, that the project is consistent with the site and landscape plans approved by the Planning Department for Building Permit.

PROJECT:

BRITTANY BAY PARK RENOVATION



ENGINEER OF RECORD MRH BPA NJL MICHAEL R. HARTER AS INDICATED NO.81665

RA

ENGINEER OF RECORD:

NO. DATE

Drawing Title: DRB 16-0101 **BRITTANY BAY PARK** Filename: 471A-G-03-04.dwg APP'D. BY Date: 10/12/20 Sheet: 3 of 48 REVISION

Drawing No.:

DDRESS: OFFICE OF CAPITAL IMPROVEMENT PROJECTS 1701 MERIDIAN AVENUE, MIAMI BEACH, FL.33139

6444 INDIAN CREEK DRIVE, MIAMI BEACH, FL. 33141

Page 3 of 5 DRB16-0101—6444 Indian Creek Drive March 07, 2017 f. Prior to any site work, the CIP Office shall coordinate and be responsible for making sure that the CMB Urban Forester has the opportunity to oversee and approve any tree work related to the project. An independent Certified Arborist should also be retained as part of the consulting team in order to assist the contractor during the construction in order to evaluate tree conditions and make recommendations periodically In accordance with Section 118-262, the applicant, or the city manager on behalf of the city administration, or an affected person, Miami Design Preservation League or Dade Heritage Trust may seek review of any order of the Design Review Board by the city commission, except that orders granting or denying a request for rehearing shall not be reviewed by the commission. II. Variance(s) A. No variance(s) were filed as part of this application. III. General Terms and Conditions applying to both 'I. Design Review Approval and 'II. A. Where one or more parcels are unified for a single development, the property owner shall execute and record a unity of title or a covenant in lieu of unity of title, as may be applicable, in a form acceptable to the City Attorney. If there is a roadway or right-ofway between parcels, that parcel separated from the remaining development shall not be considered a unified development site and shall not be joined into the covenant in lieu of unity of title or unity of title for the actual unified development site. B. A Construction Parking and Traffic Management Plan (CPTMP) shall be approved by the Parking Director pursuant to Chapter 106, Article II, Division 3 of the City Code, prior to the issuance of a Building Permit. C. The final building plans shall meet all other requirements of the Land Development D. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to E. Satisfaction of all conditions is required for the Planning Department to give its approval on a Certificate of Occupancy; a Temporary Certificate of Occupancy or Partial Certificate of Occupancy may also be conditionally granted Planning Departmental F. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions. G. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns. H. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

| STATE OF FLORIDA) | | | | -6444 Indian (Marc | h 07, 201 |
|--|---|---------------------------------------|---------------------------------------|------------------------|-----------|
| COUNTY OF MIAMI-DADE 1 | SS | | | | |
| The foregoing instrument was ac | cknowledged be by James 0 h. Florida, a Florida | fore me this 3. Murphy, Chie | day | of esign. Plann | ina |
| Department, City of Miami Beach Corporation. He is personally kno | n, Florida, a Flo own to me. | rida Municipal (| Corporation, | on behalf of | the |
| | | | | | |
| | NOTAR | Y PUBLIC | | | |
| | Miami-E My com | oade County, Fi mission expires | lorida s: | | |
| Approved As To Form: City Attorney's Office: | | e de T | 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 | | |
| Filed with the Clerk of the Design | | (| | | |
| was that the clerk of the Design | Review Board | on | (| |) |
| F:\PLAN\\$DRB\DRB17\03-07-2017\MAR17 Fir | nal Orders\DRFT DR | 316-0101 6444 India | n Creek Drive see | : | |
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| DRB16-0101—6444 Indian Creek | 4 of 5 Drive |
|--|-------------------------------|
| IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, informatestimony and materials presented at the public hearing, which are part of the record for matter, and the staff report and analysis, which are adopted herein, including the recommendations which were adopted by the Board, that the Application for Design Reapproval is GRANTED for the above-referenced project subject to those certain conditions application of Paragraph I, II, III of the Findings of Fact, to which the applicant has agreed. | this staff view ions |
| PROVIDED, the applicant shall build substantially in accordance with the plans, entitled "Inc Creek Park Seawall Rehabilitation — 60% Submittal", as prepared by Brindley Pieters Associates, Inc., dated, signed and sealed 11/30/16, and as approved by the Design Rev | dian s & view |
| When requesting a building permit, the plans submitted to the Building Department for personal beconsistent with the plans approved by the Board, modified in accordance with conditions set forth in this Order. No building permit may be issued unless and until conditions of approval that must be satisfied prior to permit issuance, as set forth in this Order. | the |
| The issuance of the approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including final zoning approval. If adequate the first such handicapped access is not required. When requesting a building permit the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order. | ate an |
| If the Full Building Permit for the project is not issued within eighteen (18) months of the meeting date at which the original approval was granted, the application will expire and become null at accordance with the requirements and procedures of Chapter 118 of the City Code; the granting for the project should expire for any reason (including but not limited to construction not building Code), the application will expire and become null and void. | ng nd in ng |
| In accordance with Chapter 118 of the City Code, the violation of any conditions and safeguard that are a part of this Order shall be deemed a violation of the land development regulations of the City Code. Failure to comply with this Order shall subject the application to Chapter 118 of the City Code, for revocation or modification of the application. | s of of |
| Dated thisday of, 20 | - |
| DESIGN REVIEW BOARD THE CITY OF MIAMI BEACH, FLORIDA | |
| BY: JAMES G. MURPHY CHIEF OF URBAN DESIGN FOR THE CHAIR | |
| | |
| | |

PROJECT: OFFICE OF CAPITAL IMPROVEMENT PROJECTS 1701 MERIDIAN AVENUE, MIAMI BEACH, FL.33139

BRITTANY BAY PARK RENOVATION

6444 INDIAN CREEK DRIVE, MIAMI BEACH, FL. 33141

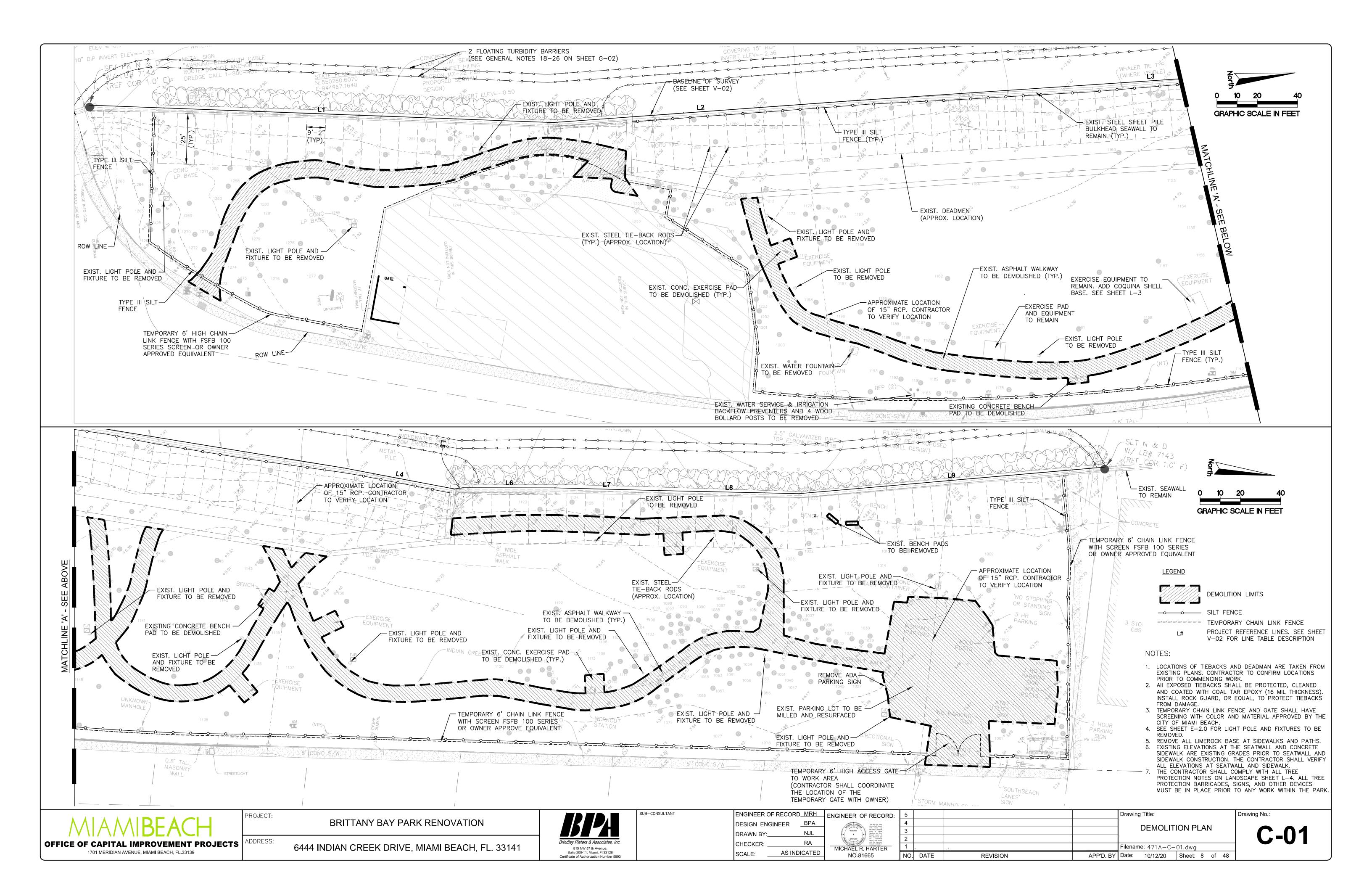
815 NW 57 th Avenue, Suite 200-11, Miami, FI 33126 Certificate of Authorization Number 5993

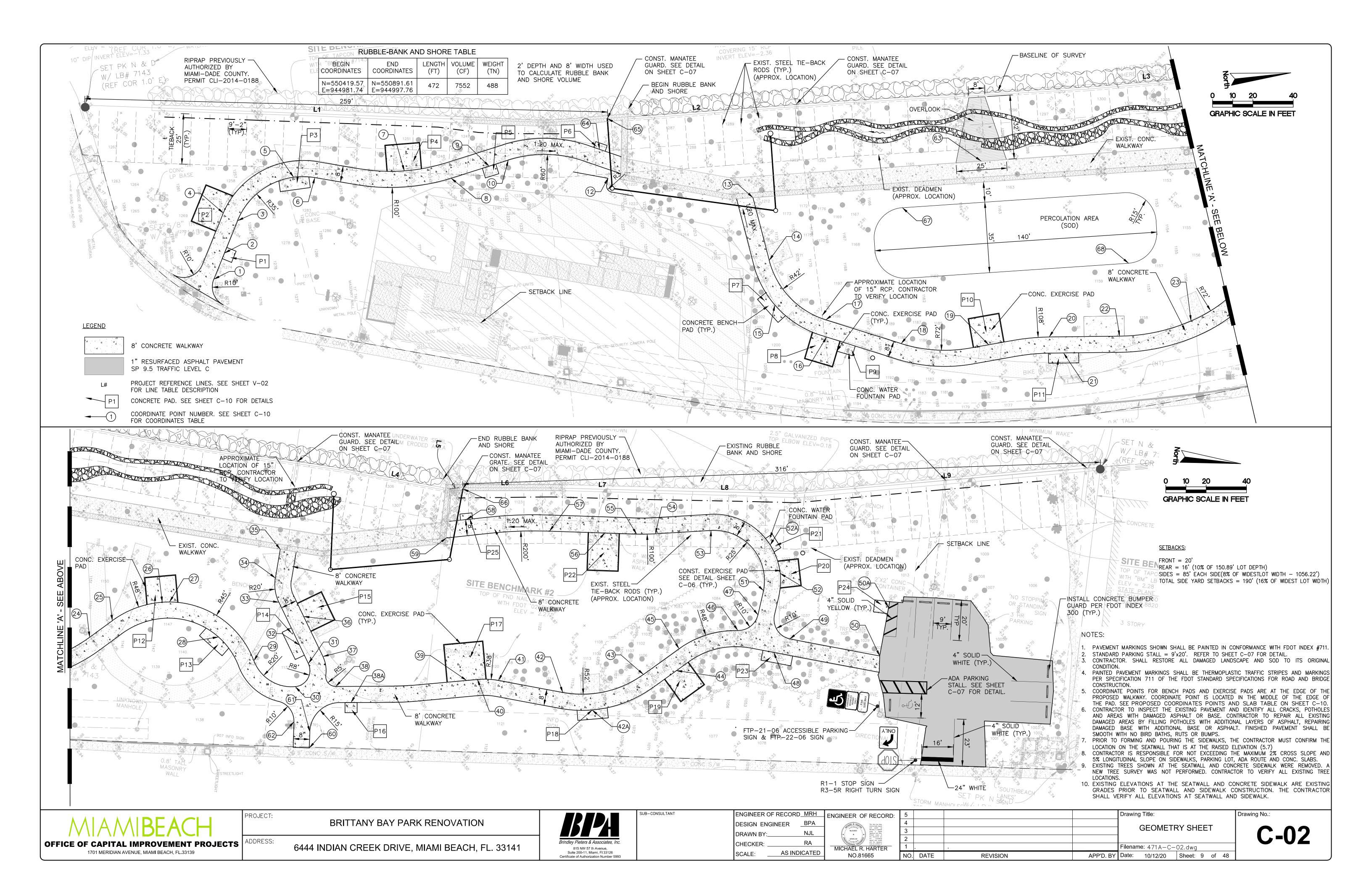
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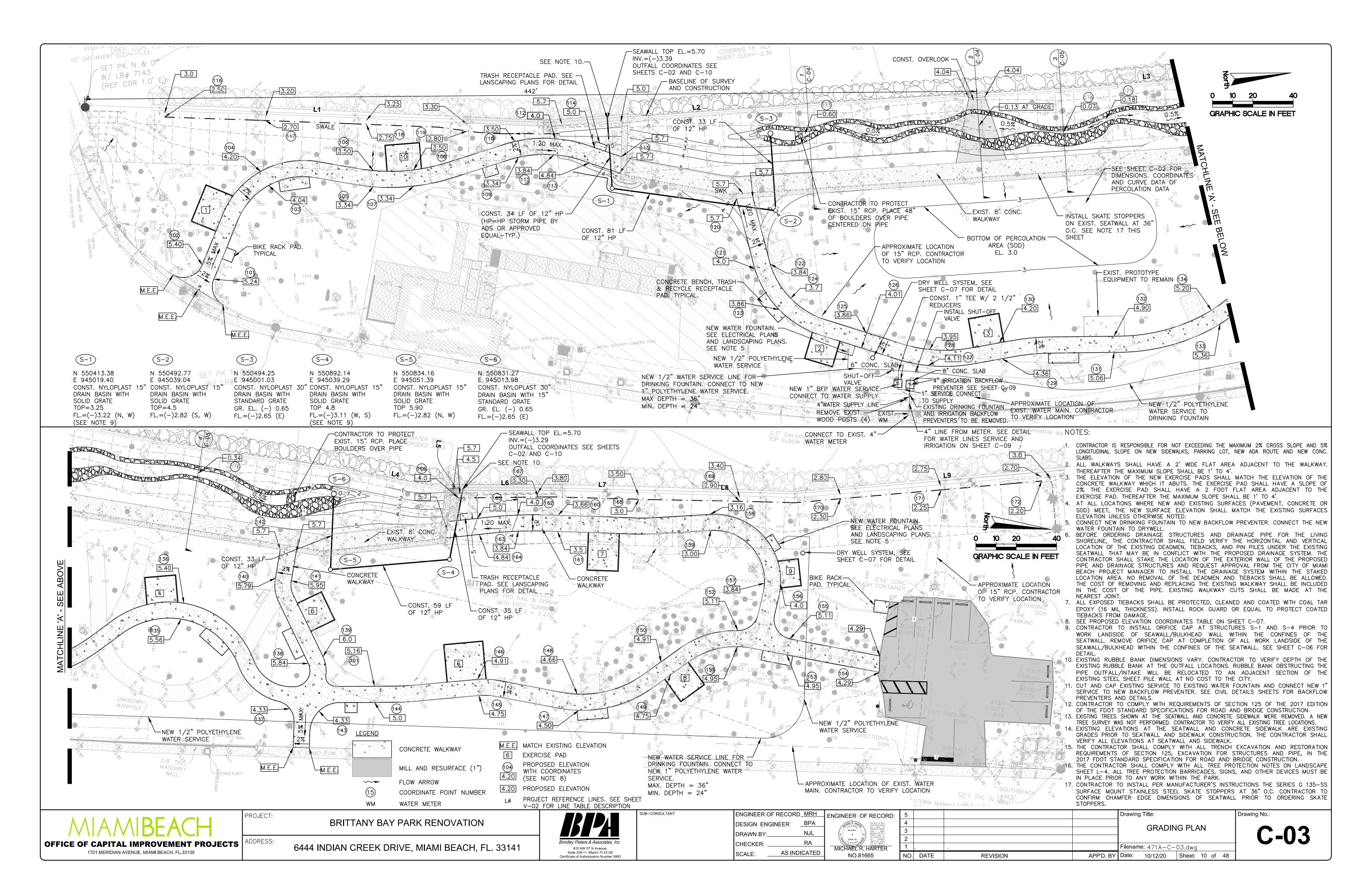
ENGINEER OF RECORD MRH ENGINEER OF RECORD: 5 MICHAEL R. HARTER NO.81665

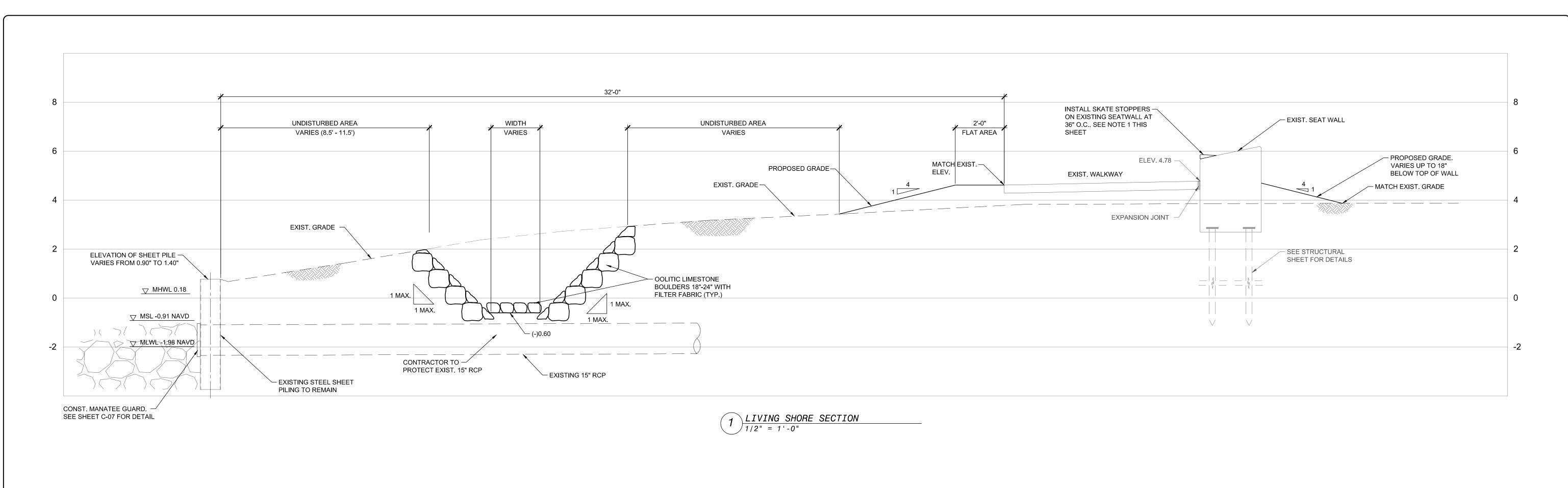
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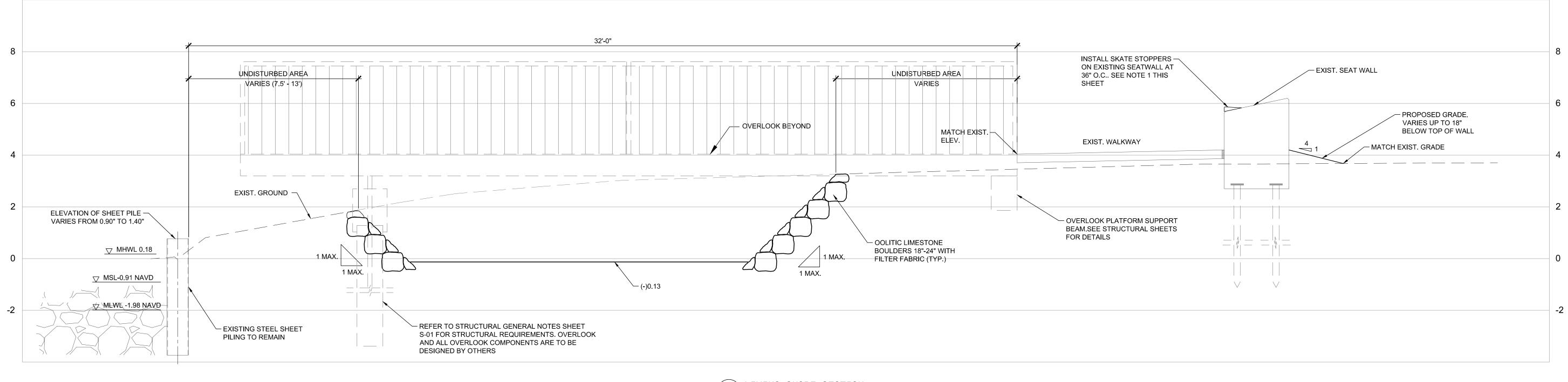
G-04











OVELOOK NOTES:

1. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF THE EXISTING DEADMEN, AND TIEBACKS. All EXPOSED TIEBACKS SHALL BE PROTECTED, CLEANED AND COATED WITH COAL TAR EPOXY (16 MIL THICKNESS). INSTALL ROCK GUARD, OR EQUAL, TO PROTECT COATED TIEBACKS FROM DAMAGE. SEE SHEET C-08 FOR DETAIL.

2. CONTRACTOR TO CONFIRM LOCATIONS OF ALL EXISTING TIE-BACKS PRIOR

NOTES:

1. CONTRACTOR TO INSTALL PER MANUFACTURER'S INSTRUCTIONS THE SERIES G135-SS SURFACE MOUNT STAINLESS STEEL SKATE STOPPERS AT 36" O.C. CONTRACTOR TO CONFIRM CHAMFER EDGE DIMENSIONS OF SEATWALL PRIOR TO ORDERING SKATE STOPPERS.

PROJECT: OFFICE OF CAPITAL IMPROVEMENT PROJECTS 1701 MERIDIAN AVENUE, MIAMI BEACH, FL.33139

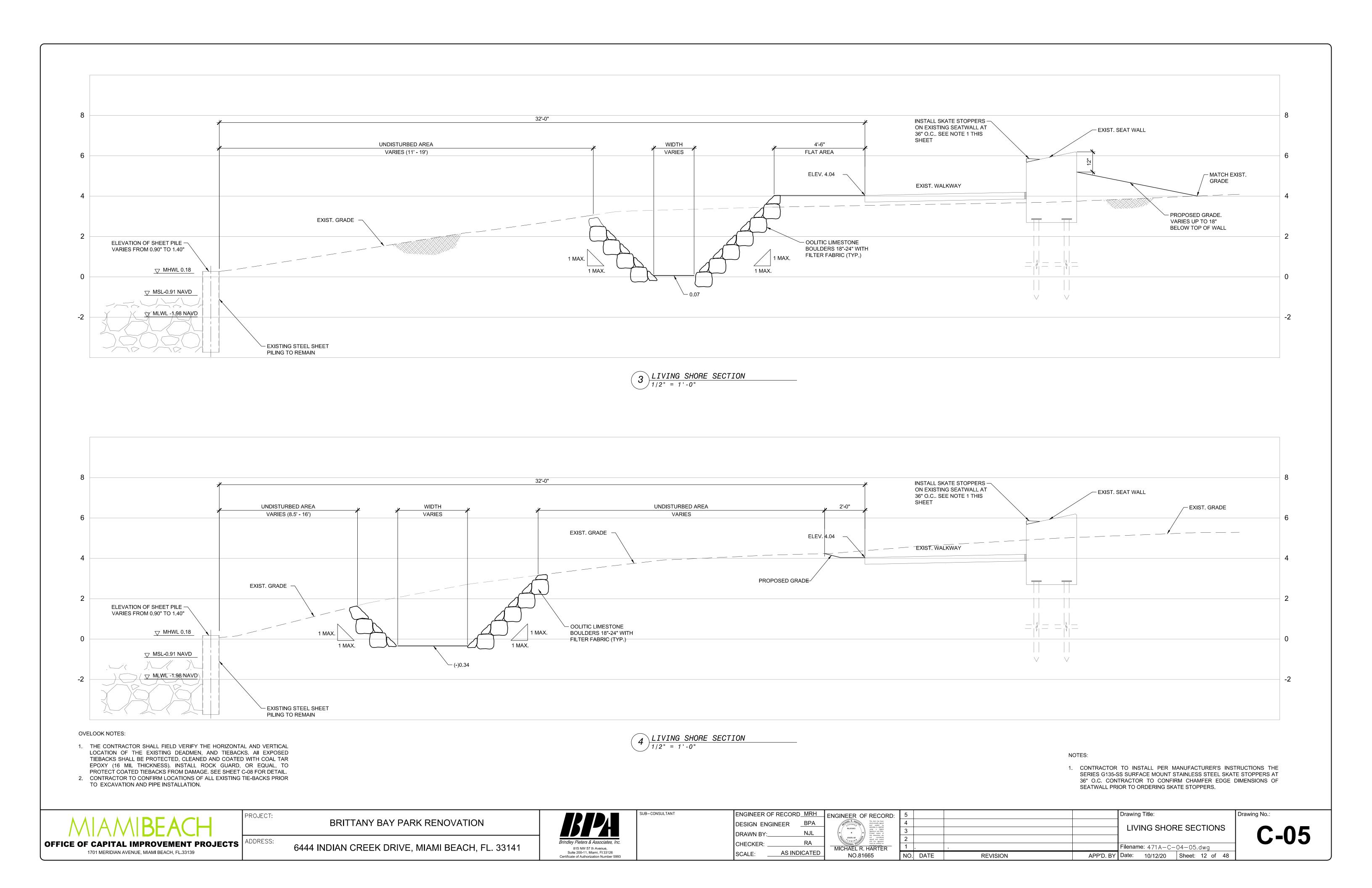
TO EXCAVATION AND PIPE INSTALLATION.

BRITTANY BAY PARK RENOVATION 6444 INDIAN CREEK DRIVE, MIAMI BEACH, FL. 33141 815 NW 57 th Avenue, Suite 200-11, Miami, FI 33126 Certificate of Authorization Number 5993

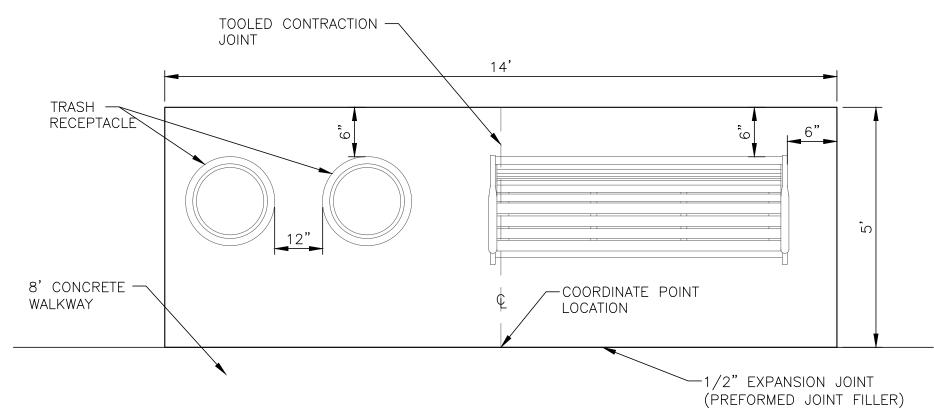
ENGINEER OF RECORD MRH ENGINEER OF RECORD: 5 DESIGN ENGINEER CHECKER: AS INDICATED SCALE:

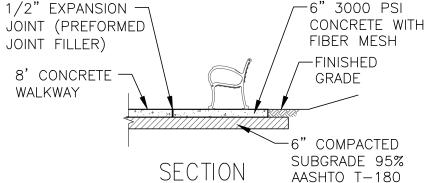
MICHAEL R. HARTER NO.81665

Drawing Title: LIVING SHORE SECTIONS Filename: 471A-C-04-05.dwg APP'D. BY Date: 10/12/20 Sheet: 11 of 48 NO. DATE REVISION



GRADING ADJACENT TO WALL AT NORTH AND SOUTH END OF LIVING SHORE N.T.S.



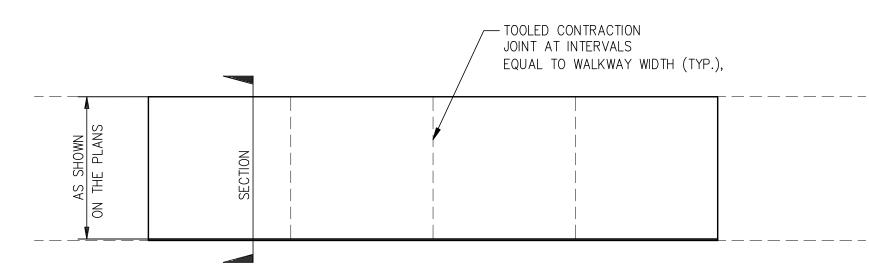


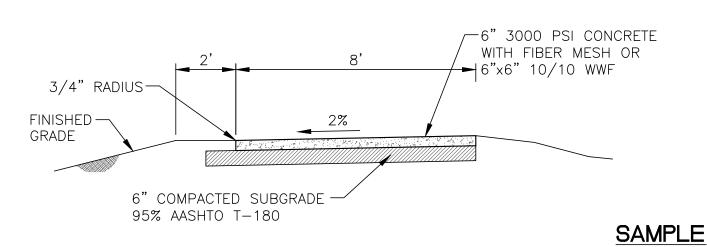
NOTES:

- BENCH PAD W/LIGHT BROOM FINISH & TROWELED EDGE.
 CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000
- PSI AT 28 DAYS.

 3. BENCH PAD AND ADJACENT ACCESSIBLE AREA TO HAVE A CROSS SLOPE NOT TO EXCEED 2% IN ANY DIRECTION.
- 4. SURFACE MOUNT BENCH TO SLAB WITH CONCRETE ANCHOR PER MANUFACTURER SPECIFICATIONS.

BENCH PAD DETAIL



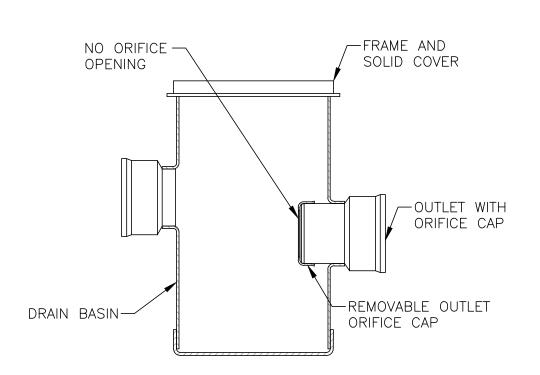


NOTES:

3000 PSI AT 28 DAYS.

- 1. WALKWAY W/LIGHT BROOM FINISH & TROWELED EDGE.
 2. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF
- 3. ALL CONCRETE WALKWAYS SHALL HAVE A FULL 1/2" EXPANSION JOINT AT A MAXIMUM DISTANCE OF 30 LINEAR FEET AND A SAW CUT OR FORMED DUMMY CONTRACTION JOINT AT EVENLY SPACED INTERVALS NOT TO EXCEED WIDTH OF THE WALK.
- 4. A 1/4" CONSTRUCTION JOINT SHALL BE CONSTRUCTED AT ALL P.C. AND P.T. OF CURVES AND WHERE EXISTING AND NEW SIDEWALK MEET.

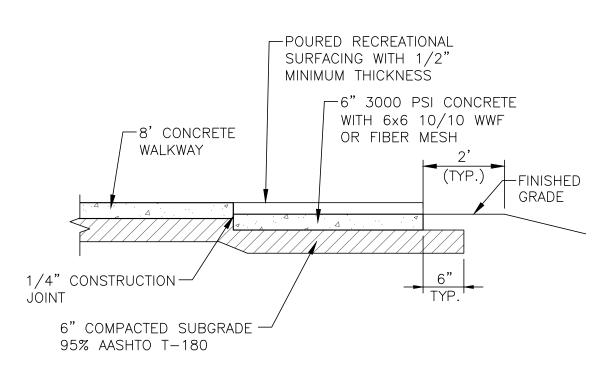
TYPICAL CONCRETE WALKWAY DETAIL



NOTE:

CONTRACTOR TO INSTALL NYLOPLAST ORIFICE CAP PRIOR TO WORK LANDSIDE OF SEAWALL WITHIN CONFINES OF SEATWALL. REMOVE ORIFICE CAP AT COMPLETION OF ALL WORK LANDSIDE OF SEAWALL WITHIN THE CONFINES OF THE SEATWALL

DETAIL OF ORIFICE CAP AT S-1 AND S-4

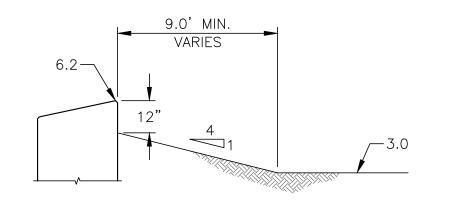


EXERCISE PAD DETAIL

N.T.S.

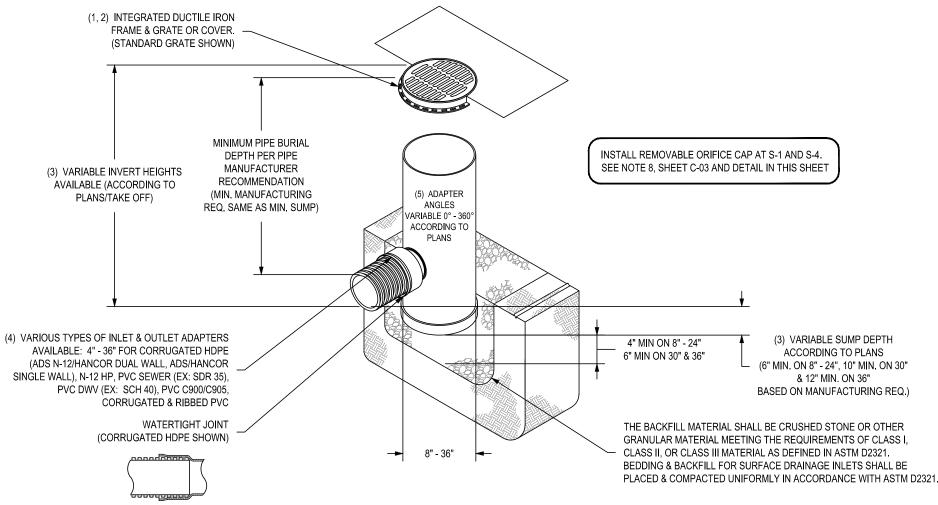
VARIES VARIES VARIES VARIES TIE INTO EXISITING GROUND (TYP.)

BOTTOM OF PERCOLATION AREA



BOTTOM OF PERCOLATION AREA AT SEATWALL

NYLOPLAST DRAIN BASIN



- 1 8" 30" STANDARD GRATES AND SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536
- GRADE 70-50-05.
 2 12" 30" FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 8" & 10" STANDARD GRATES FIT DIRECTLY ONTO DRAIN BASINS WITH THE USE OF A PVC BODY TOP. SEE DRAWING NO. 7001-110-045.

 3 DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN
- 3 DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLA DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIF RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO
 ASTM D3212 FOR CORRUGATED HDPF (ADS N.12/HANCOR DUAL WALL)
- ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 36"). 5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE

ONLY; NO CONCRETE COLLAR NEEDED FOR LIGHT DUTY RATING.

- MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012. 6 - 12" - 30" STANDARD GRATES AND SOLID COVERS SHALL MEET H-20 LOAD RATING
- 7 8" & 10" STANDARD GRATES AND SOLID COVERS ARE RATED FOR LIGHT DUTY
 APPLICATIONS

SECTION 2721

ENGINEERED SURFACE DRAINAGE PRODUCTS

GENERAL

PVC SURFACE DRAINAGE INLETS SHALL INCLUDE THE DRAIN BASIN TYPE AS INDICATED ON THE CONTRACT DRAWING AND REFERENCED WITHIN THE CONTRACT SPECIFICATIONS. THE DUCTILE IRON GRATES FOR EACH OF THESE FITTINGS ARE TO BE CONSIDERED AN INTEGRAL PART OF THE SURFACE DRAINAGE INLET AND SHALL BE FURNISHED BY THE SAME MANUFACTURER. THE SURFACE DRAINAGE INLETS SHALL BE AS MANUFACTURED BY NYLOPLAST A DIVISION OF ADVANCED DRAINAGE SYSTEMS, INC., OR PRIOR APPROVED EQUAL.

MATERIALS

THE DRAIN BASINS REQUIRED FOR THIS CONTRACT SHALL BE MANUFACTURED FROM PVC PIPE STOCK, UTILIZING A THERMOFORMING PROCESS TO REFORM THE PIPE STOCK TO THE SPECIFIED CONFIGURATION. THE DRAINAGE PIPE CONNECTION STUBS SHALL BE MANUFACTURED FROM PVC PIPE STOCK AND FORMED TO PROVIDE A WATERTIGHT CONNECTION WITH THE SPECIFIED PIPE SYSTEM. THIS JOINT TIGHTNESS SHALL CONFORM TO ASTM 03212 FOR JOINTS FOR DRAIN AND SEWER PLASTIC PIPE USING FLEXIBLE ELASTOMERIC SEALS. THE FLEXIBLE ELASTOMERIC SEALS SHALL CONFORM TO ASTM F477. THE PIPE BELL SPIGOT SHALL BE JOINED TO THE MAIN BODY OF THE DRAIN BASIN OR CATCH BASIN. THE RAW MATERIAL USED TO MANUFACTURE THE PIPE STOCK THAT IS USED TO MANUFACTURE THE MAIN BODY AND PIPE STUBS OF THE SURFACE DRAINAGE INLETS SHALL CONFORM TO ASTM 01784 CELL CLASS 12454.

THE GRATES AND FRAMES FURNISHED FOR ALL SURFACE DRAINAGE INLETS SHALL BE DUCTILE IRON FOR STRUCTURE SIZES 8", 10", 12", 15", 18", 24", 30" AND 36" AND SHALL BE MADE SPECIFICALLY FOR EACH BASIN SO AS TO PROVIDE A ROUND BOTTOM FLANGE THAT CLOSELY MATCHES THE DIAMETER OF THE SURFACE DRAINAGE INLET. GRATES FOR DRAIN BASINS SHALL BE CAPABLE OF SUPPORTING VARIOUS WHEEL LOADS AS SPECIFIED BY NYLOPLAST. 12" AND 15" SQUARE GRATES WILL BE HINGED TO THE FRAME USING PINS. DUCTILE IRON USED IN THE MANUFACTURE OF THE CASTINGS SHALL CONFORM TO ASTM A536 GRADE 70-50-05. GRATES AND COVERS SHALL BE PROVIDED PAINTED BLACK.

INSTALLATION

THE SPECIFIED PVC SURFACE DRAINAGE INLET SHALL BE INSTALLED USING CONVENTIONAL FLEXIBLE PIPE BACKFILL MATERIALS AND PROCEDURES. THE BACKFILL MATERIAL SHALL BE

CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS 1, CLASS 2, OR CLASS 3 MATERIAL AS DEFINED IN ASTM 02321. BEDDING AND BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE WELL PLACED AND COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM 02321. THE DRAIN BASIN BODY WILL BE CUT AT THE TIME OF THE FINAL GRADE. NO BRICK, STONE OR CONCRETE BLOCK WILL BE REQUIRED TO SET THE GRATE TO THE FINAL GRADE HEIGHT. FOR LOAD RATED INSTALLATIONS, A CONCRETE SLAB SHALL BE POURED UNDER AND AROUND THE GRATE AND FRAME. THE CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, AND OTHER APPLICABLE DESIGN FACTORS. FOR OTHER INSTALLATION CONSIDERATIONS SUCH AS MIGRATION OF FINES, GROUND WATER, AND SOFT FOUNDATIONS REFER TO ASTM 02321 GUIDELINES.

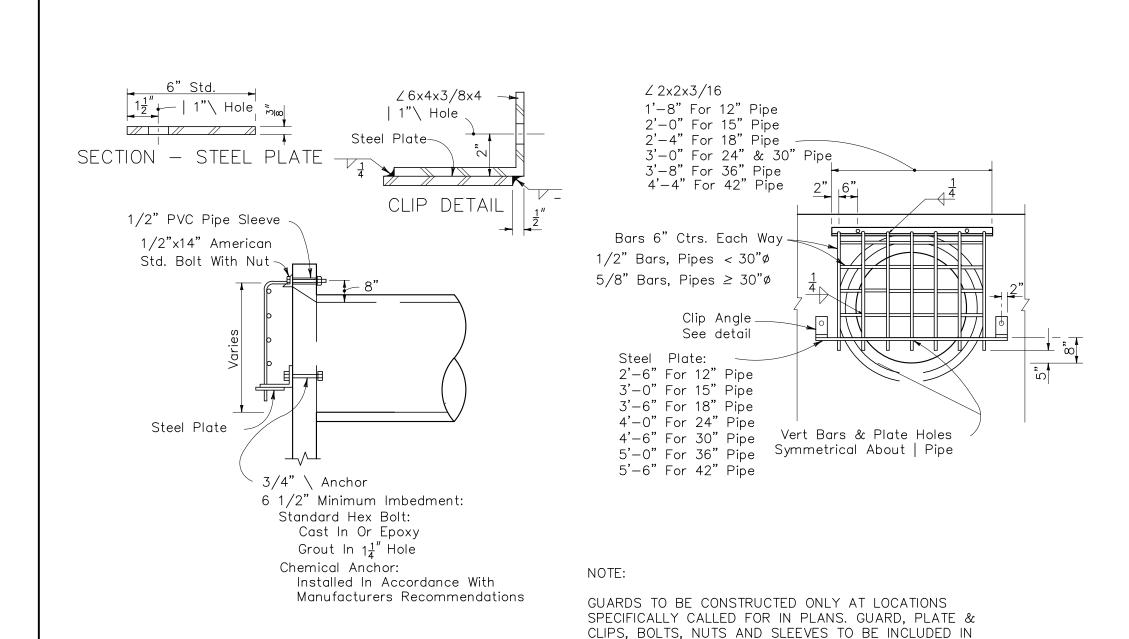
OFFICE OF CAPITAL IMPROVEMENT PROJECTS 1701 MERIDIAN AVENUE, MIAMI BEACH, FL.33139 PROJECT: ADDRESS:

| 3201. | BRITTANY BAY PARK RENOVATION | |
|-------|---|--|
| RESS: | 6444 INDIAN CREEK DRIVE, MIAMI BEACH, FL. 33141 | |



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| RAWN BY: | N | JL | No.81665 No.81665 MCNAGIR, R. MARTER using a Digital Signature and Date. Printed copies of the document are |
| HECKER: | R | Α | ORD Signed and sealed and the Signature must be verified on any electric copies |
| CALE: | AS INDICA | TED | MICHAEL R. HARTER NO.81665 |
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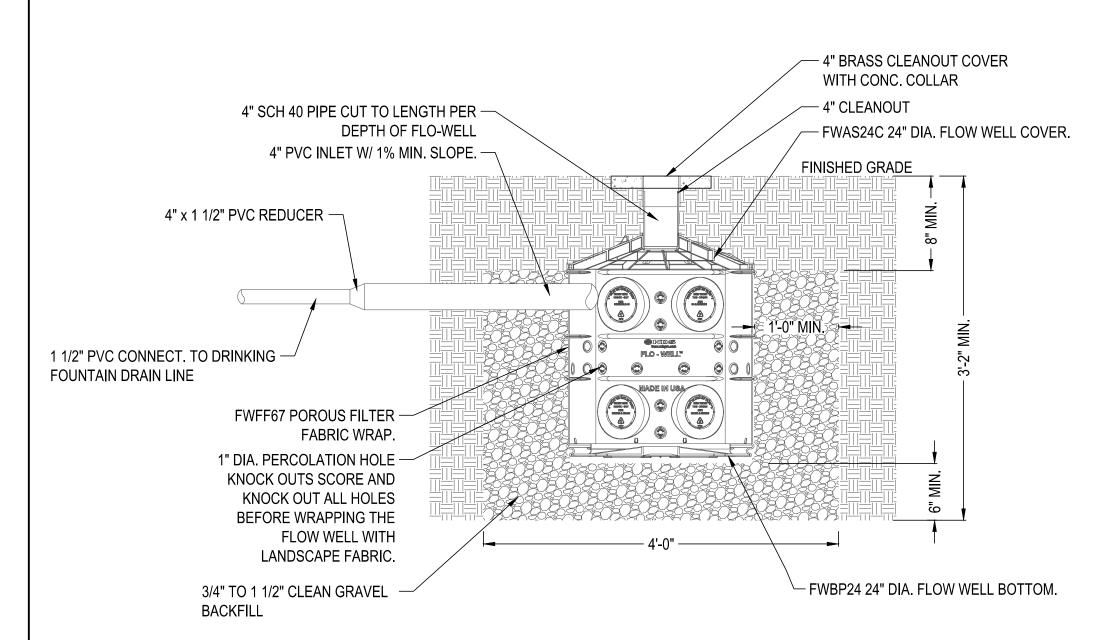


MANATEE GUARD DETAIL

STEEL, TYPE 316.

THE CONTRACT UNIT PRICE FOR MANATEE GUARD. ALL

HARDWARE (NUTS, BOLTS, WASHERS) TO BE STAINLESS

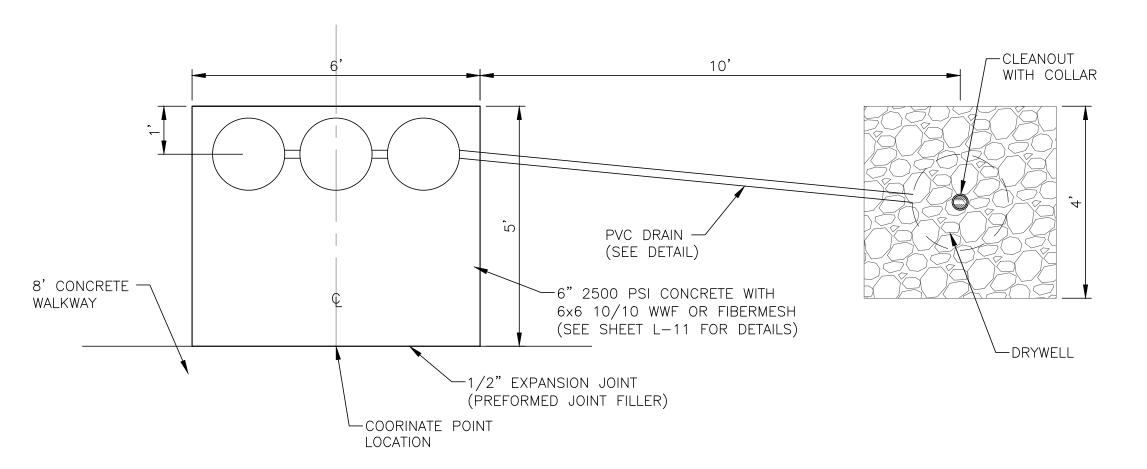


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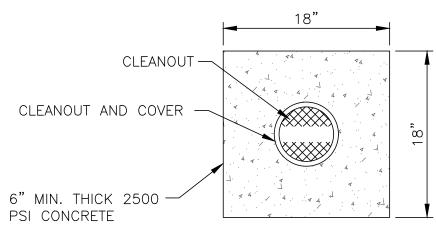
- 1. ORDER FWAS24 KIT WITH FWPB24 BOTTOM.
- 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- 3. WRAP FLO-WELL DRY WELL WITH FLO-WELL FILTER FABRIC (FWFF67)

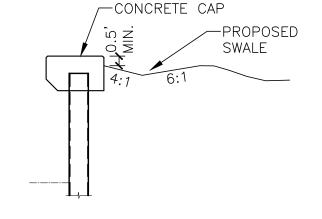
FLO-WELL DRY WELL SYSTEM

N.T.S.



WATER FOUNTAIN PAD DETAIL



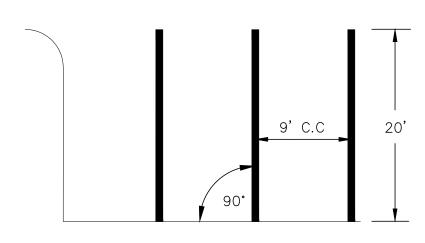


CONCRETE COLLAR AT CLEANOUT

SWALE DETAIL AT SEAWALL

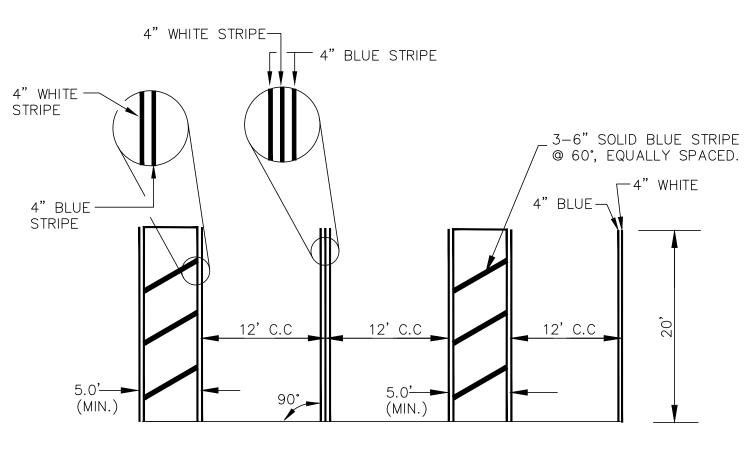
| | ELEVATION POINTS COORDINATES TABLE | | | | | | |
|-----|------------------------------------|-----------|-----------------|--|--|--|--|
| NO. | NORTHING | EASTING | DESCRIPTION | | | | |
| 101 | 550212.26 | 945043.02 | SWLK EDGE | | | | |
| 102 | 550207.30 | 945035.35 | SWLK EDGE | | | | |
| 103 | 550244.25 | 944999.78 | SWLK EDGE | | | | |
| 104 | 550241.13 | 944992.42 | SWLK EDGE | | | | |
| 105 | 550295.74 | 945005.95 | SWLK EDGE | | | | |
| 106 | 550296.60 | 944997.97 | SWLK EDGE | | | | |
| 107 | 550315.66 | 945007.79 | SWLK EDGE | | | | |
| 108 | 550316.52 | 944999.78 | SWLK EDGE | | | | |
| 109 | 550368.79 | 944999.18 | SWLK EDGE | | | | |
| 110 | 550367.90 | 944991.23 | SWLK EDGE | | | | |
| 111 | 550386.43 | 944999.81 | SWLK EDGE | | | | |
| 112 | 550387.89 | 944991.95 | SWLK EDGE | | | | |
| 113 | 550403.48 | 945005.66 | SWLK EDGE | | | | |
| 114 | 550406.86 | 944998.41 | SWLK EDGE | | | | |
| 115 | 550417.72 | 945012.30 | BEGIN/END SWLK | | | | |
| 116 | 550196.64 | 944960.52 | BEGIN/END SWALE | | | | |
| 117 | 550196.64 | 944960.52 | CL SWALE | | | | |
| 118 | 550295.65 | 944974.80 | CL SWALE | | | | |
| 119 | 550344.90 | 944983.42 | CL SWALE | | | | |
| 120 | 550474.10 | 945031.10 | SWLK EDGE | | | | |
| 121 | 550479.39 | 945066.57 | SWLK EDGE | | | | |
| 122 | 550487.25 | 945065.05 | SWLK EDGE | | | | |
| 123 | 550489.20 | 945088.01 | SWLK EDGE | | | | |
| 124 | 550495.49 | 945083.06 | SWLK EDGE | | | | |
| 125 | 550530.71 | 945103.87 | SWLK EDGE | | | | |
| 126 | 550527.72 | 945111.29 | SWLK EDGE | | | | |
| 127 | 550559.57 | 945123.57 | SWLK EDGE | | | | |

| 128 | 550561.23 | 945115.64 | SWLK EDGE |
|-----|-----------|-----------|----------------|
| 129 | 550596.53 | 945124.05 | SWLK EDGE |
| 130 | 550595.98 | 945116.07 | SWLK EDGE |
| 131 | 550651.97 | 945126.86 | SWLK EDGE |
| 132 | 550652.74 | 945118.90 | SWLK EDGE |
| 133 | 550705.71 | 945118.48 | SWLK EDGE |
| 134 | 550702.14 | 945111.19 | SWLK EDGE |
| 135 | 550763.71 | 945084.77 | SWLK EDGE |
| 136 | 550764.05 | 945076.77 | SWLK EDGE |
| 137 | 550822.55 | 945122.29 | SWLK EDGE |
| 138 | 550828.94 | 945098.93 | SWLK EDGE |
| 139 | 550835.67 | 945094.61 | SWLK EDGE |
| 140 | 550807.59 | 945058.86 | SWLK EDGE |
| 141 | 550815.58 | 945059.22 | SWLK EDGE |
| 142 | 550808.24 | 945044.49 | BEGIN/END SWLK |
| 143 | 550837.01 | 945121.71 | SWLK EDGE |
| 144 | 550863.80 | 945114.09 | SWLK EDGE |
| 145 | 550914.76 | 945104.41 | SWLK EDGE |
| 146 | 550913.08 | 945096.59 | SWLK EDGE |
| 147 | 550964.75 | 945105.71 | SWLK EDGE |
| 148 | 550963.07 | 945097.83 | SWLK EDGE |
| 149 | 551007.75 | 945082.73 | SWLK EDGE |
| 150 | 551002.32 | 945076.86 | SWLK EDGE |
| 151 | 551039.04 | 945064.81 | SWLK EDGE |
| 152 | 551038.25 | 945056.84 | SWLK EDGE |
| 153 | 551063.82 | 945065.88 | SWLK EDGE |
| 154 | 551110.30 | 945068.90 | END SWLK |
| 155 | 551064.34 | 945057.89 | SWLK EDGE |
| 156 | 551056.47 | 945031.40 | SWLK EDGE |
| | | | |



ALL STRIPES 4" WIDE THERMOPLASTIC (WHITE)

TYPICAL STRIPING DETAIL



NOTES

- 1. HANDICAP SPACE IS TO BE OUTLINED IN A 4" BLUE
- THERMOPLASTIC STRIPE.
 2. PAINT CURB AND WHEEL STOP BLUE.

TYPICAL ACCESSIBLE PARKING STALLS

1"=10'

ACCESSIBLE PARKING DETAILS

| 157 | 551048.49 | 945032.00 | SWLK EDGE |
|-----|-----------|-----------|-----------------|
| 158 | 551017.59 | 945001.40 | SWLK EDGE |
| 159 | 551019.04 | 945009.27 | SWLK EDGE |
| 160 | 550942.89 | 945011.03 | SWLK EDGE |
| 161 | 550943.60 | 945019.00 | SWLK EDGE |
| 162 | 550923.01 | 945013.23 | SWLK EDGE |
| 163 | 550924.29 | 945021.22 | SWLK EDGE |
| 164 | 550905.24 | 945025.16 | SWLK EDGE |
| 165 | 550903.43 | 945017.37 | SWLK EDGE |
| 166 | 550892.86 | 945008.47 | BEGIN/END SWALE |
| 167 | 550931.94 | 945003.25 | CL SWALE |
| 168 | 550981.69 | 944998.26 | CL SWALE |
| 169 | 551031.43 | 944993.24 | CL SWALE |
| 170 | 551080.89 | 944985.88 | CL SWALE |
| 171 | 551129.80 | 944975.47 | CL SWALE |
| 172 | 551178.70 | 944965.06 | BEGIN/END SWALE |
| 173 | 550511.40 | 945002.82 | CL SWALE |
| 174 | 550638.78 | 945015.63 | CL SWALE |
| 175 | 550660.37 | 945011.60 | CL SWALE |
| 176 | 550763.24 | 945012.09 | CL SWALE |
| | | | |

NOTES

1. SEE SHEET C-03 FOR ELEVATION POINTS LOCATIONS.

| MIAMIBEACH | PROJECT: |
|--|----------|
| OFFICE OF CAPITAL IMPROVEMENT PROJECTS | ADDRESS: |

1701 MERIDIAN AVENUE, MIAMI BEACH, FL.33139

BRITTANY BAY PARK RENOVATION

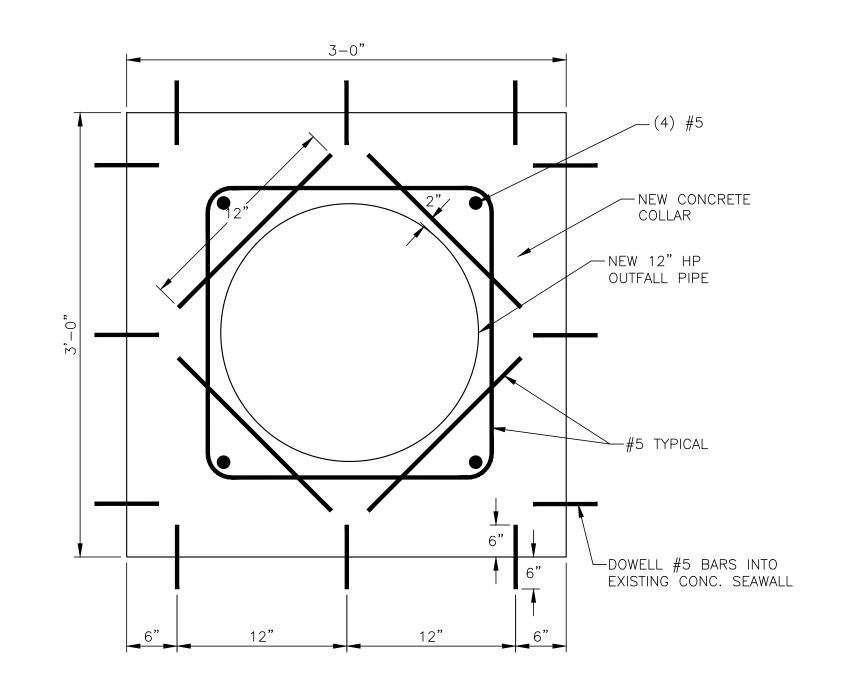
6444 INDIAN CREEK DRIVE, MIAMI BEACH, FL. 33141

Brindley Pieters & Associates, Inc.
815 NW 57 th Avenue,
Suite 200-11, Miami, Fl 33126
Certificate of Authorization Number 5993

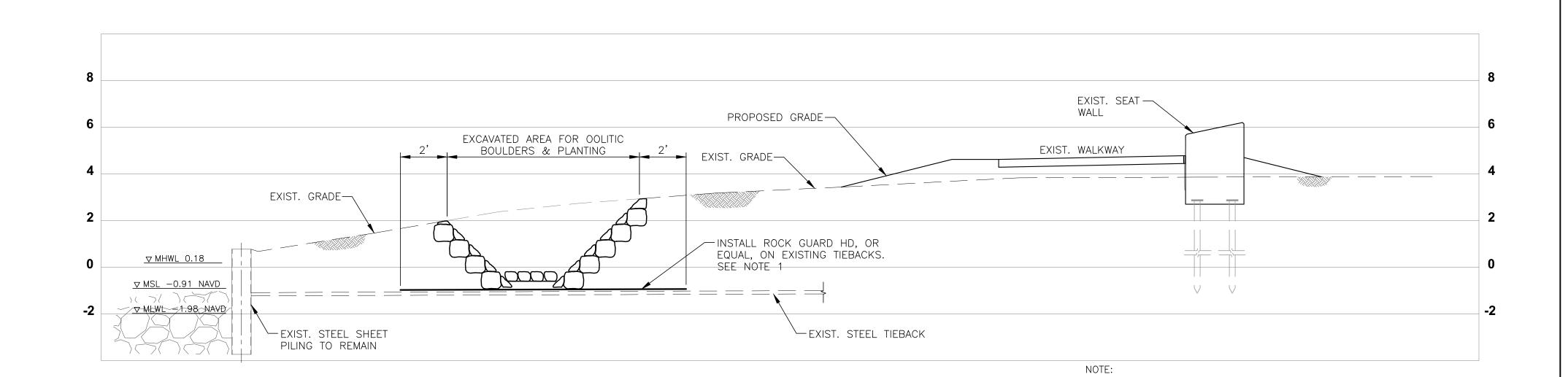
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| and seeled by MO.81665 NO.81665 NO | 3 | | |
| STATE OF Signed and sealed and the signsture | 2 | | |
| MICHAEL R. HARTER | 1 | • | |
| NO.81665 | NO. | DATE | |

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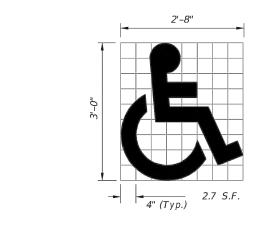


ELEVATION AT SEAWALL - CONCRETE COLLAR DETAIL
SCALE: N.T.S



SECTION AT TIEBACK PROTECTION

— #4 Bars, 18" Long (Two Per Guard) ———



EQUAL.

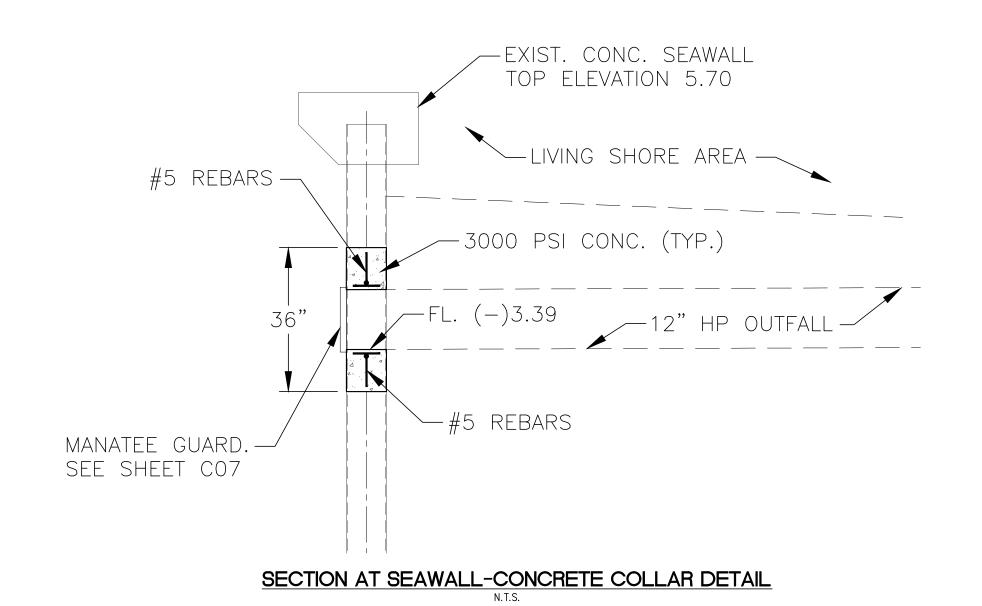
NOTE:

SYMBOL TO BE PAINTED AT THE ACCESIBLE PARKING SPACE. SEE SHEET C-02

1. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF THE EXISTING DEADMEN, AND TIEBACKS. AII EXPOSED TIEBACKS SHALL BE PROTECTED, CLEANED AND COATED WITH COAL TAR EPOXY (16 MIL THICKNESS). INSTALL ROCK GUARD, OR EQUAL, TO PROTECT COATED TIEBACKS FROM DAMAGE, OR

CONCRETE WHEEL STOP

ACCESSIBILITY SYMBOL



5%" Or ¾" Holes

— Pitch Optional /

Cast Or

OFFICE OF CAPITAL IMPROVEMENT PROJECTS
1701 MERIDIAN AVENUE, MIAMI BEACH, FL.33139

BRITTANY BAY PARK RENOVATION

ADDRESS: 6444 INDIAN CREEK DRIVE, MIAMI BEACH, FL. 33141



ENGINEER OF RECORD MRH

DESIGN ENGINEER BPA

DRAWN BY: NJL

CHECKER: RA

SCALE: AS INDICATED NRH

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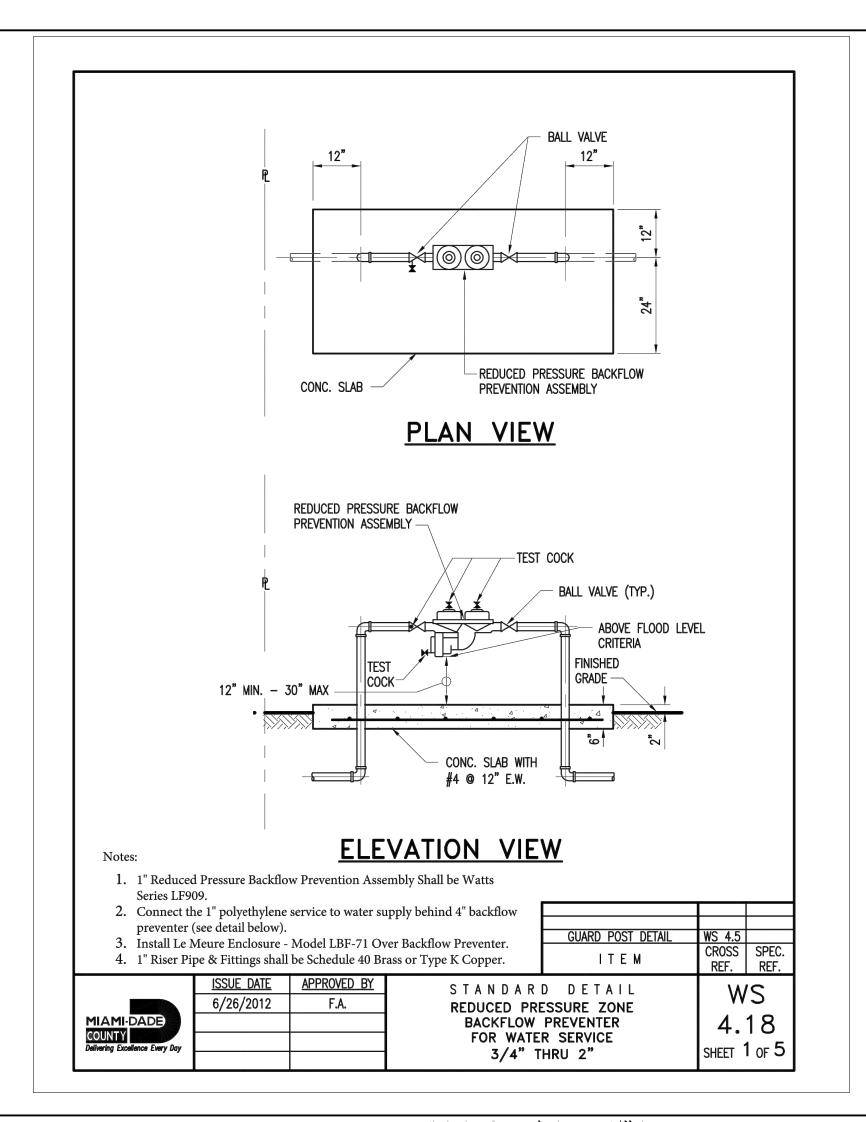
EXAMPLE R. HARTER
NO.81665

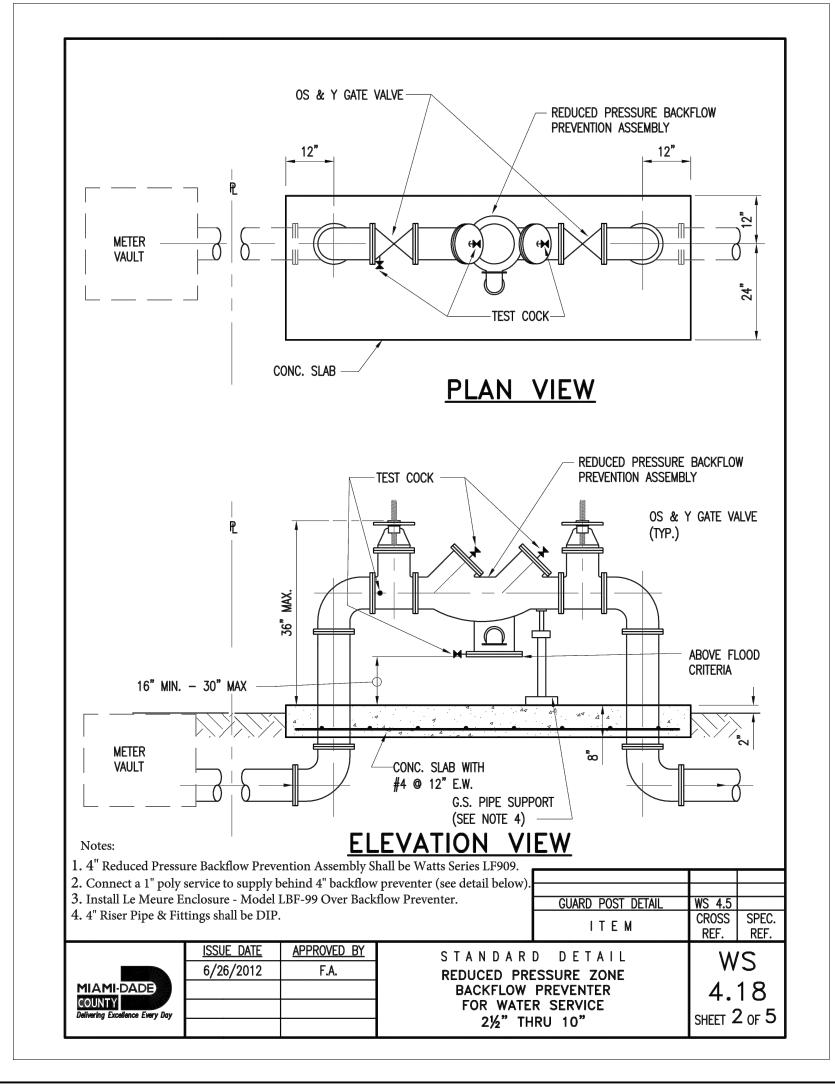
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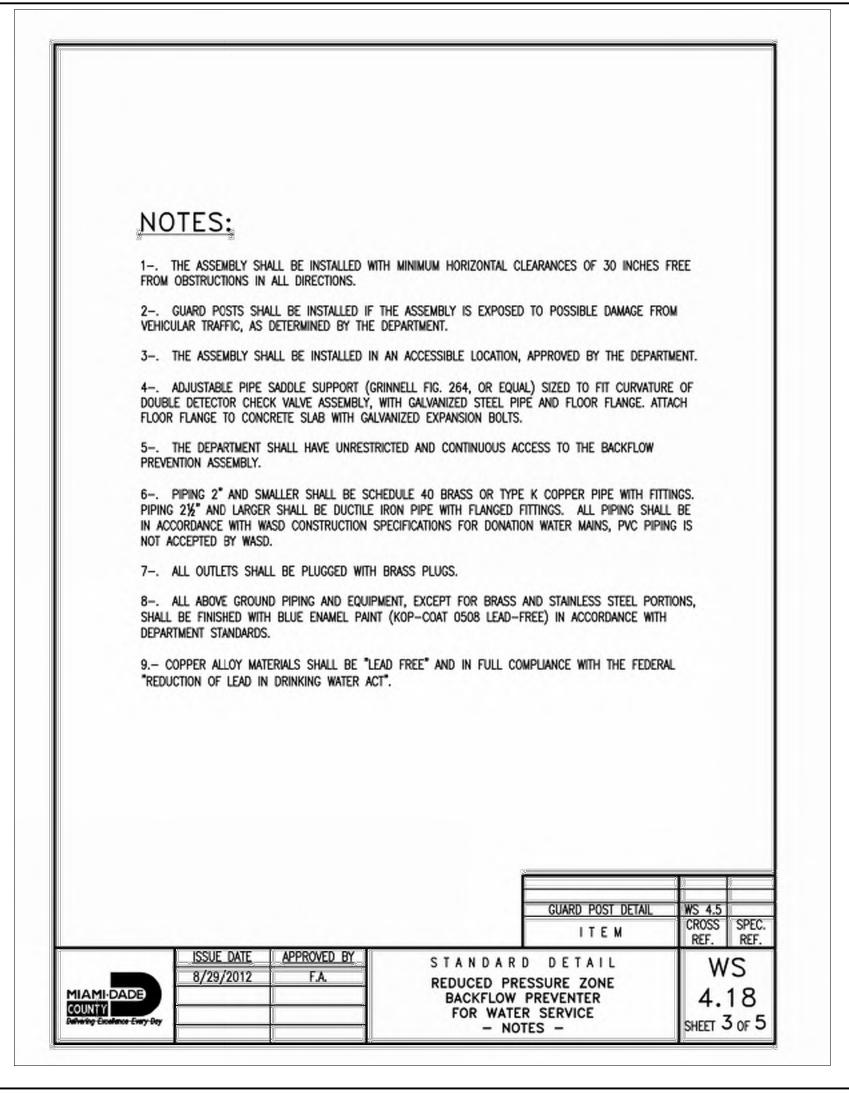
Statistics

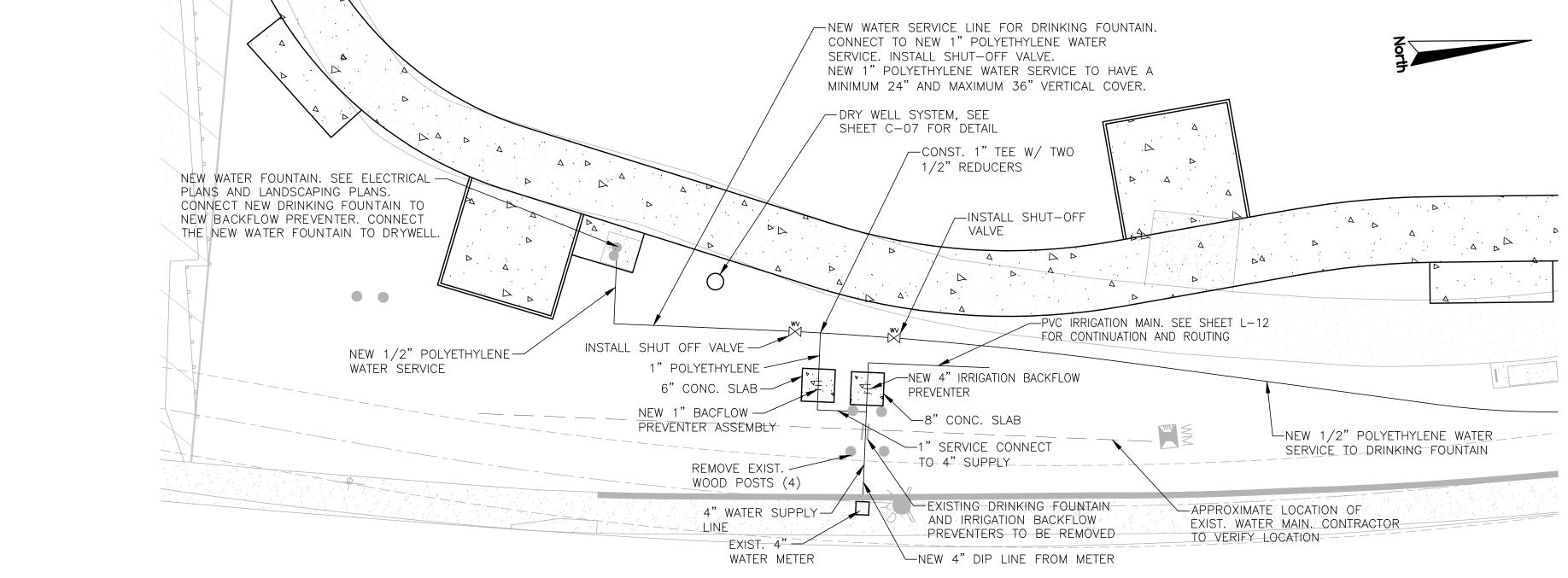
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3" Max.









OFFICE OF CAPITAL IMPROVEMENT PROJECTS

1701 MERIDIAN AVENUE, MIAMI BEACH, FL.33139

PROJECT:

ADDRESS:

BRITTANY BAY PARK RENOVATION

ORESS: 6444 INDIAN CREEK DRIVE, MIAMI BEACH, FL. 33141

Brindley Pieters & Associates, Inc.
815 NW 57 th Avenue,
Suite 200-11, Miami, FI 33126
Certificate of Authorization Number 5993

PLAN DETAIL AT WATER SERVICE POINT OF CONNECTION

ENGINEER OF RECORD MRH

DESIGN ENGINEER BPA

DRAWN BY: NJL

CHECKER: RA

SCALE: AS INDICATED

ENGINEER C

 5
 Drawing Title:

 4
 CIVIL DETAILS

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 Filename: 471A-C-08-12.dwg

 NO. DATE
 REVISION
 APP'D. BY
 Date: 10/12/20
 Sheet: 17 of 48

| 2 | 550218.91 | 945030.65 | BIKE RACK |
|----------------------|------------------------|------------------------|-----------------------|
| 3 | 550227.09 | 945015.43 | BEGIN CURVE |
| 4 | 550220.45 | 945010.91 | EXERCISE PAD |
| 5 | 550256.98 | 944997.02 | BENCH PAD |
| 6 | 550267.42 | 944998.32 | BEGIN CURVE |
| 7 | 550311.86 | 944999.74 | EXERCISE PAD |
| 8 | 550334.55 | 945005.83 | END/BEGIN CURVE |
| 9 | 550353.87 | 945001.95 | BENCH PAD |
| | | | END/BEGIN CURVE |
| 10 | 550363.66 | 944999.98 | |
| 11 | - | - | NOT USED |
| 12 | 550411.81 | 945014.20 | END CURVE |
| 13 | 550482.24 | 945031.42 | END/BEGIN WLKWAY |
| 14 | 550486.93 | 945063.19 | END/BEGIN CURVE |
| 15 | 550487.34 | 945085.46 | BENCH PAD |
| 16 | 550511.12 | 945104.03 | EXERCISE PAD |
| 17 | 550511.65 | 945095.53 | END/BEGIN CURVE |
| 18 | 550547.50 | 945111.21 | END/BEGIN CURVE |
| 19 | 550590.58 | 945116.44 | EXERCISE PAD |
| 20 | 550620.85 | 945115.83 | END/BEGIN CURVE |
| 21 | 550627.05 | 945124.46 | BENCH PAD |
| | | | |
| 22 | 550655.57 | 945119.17 | END/BEGIN CURVE |
| 23 | 550691.58 | 945115.49 | END/BEGIN CURVE |
| 24 | 550719.75 | 945099.17 | END/BEGIN CURVE |
| 25 | 550729.91 | 945089.65 | END/BEGIN CURVE |
| 26 | 550753.39 | 945077.60 | EXERCISE PAD |
| 27 | 550756.92 | 945077.03 | END/BEGIN CURVE |
| 28 | 550783.11 | 945091.27 | BENCH PAD |
| 29 | 550801.95 | 945100.82 | END/BEGIN CURVE |
| 30 | 550823.90 | 945111.07 | END/BEGIN CURVE |
| 31 | 550823.90 | 945111.07 | END/BEGIN CURVE |
| 32 | 550823.49 | | BENCH PAD |
| + | | 945090.43 | |
| 33 | 550810.74 | 945070.55 | END/BEGIN CURVE |
| 34 | 550807.59 | 945058.86 | END CURVE |
| 35 | 550808.24 | 945044.49 | END/BEGIN WLKWAY |
| 36 | 550823.78 | 945076.06 | EXERCISE PAD |
| 37 | 550835.67 | 945094.61 | BEGIN CURVE |
| 38 | 550843.83 | 945108.55 | END CURVE |
| 38A | 550852.27 | 945115.55 | BIKE RACK PAD |
| 39 | 550907.79 | 945097.73 | EXERCISE PAD |
| 40 | 550913.08 | 945096.59 | BEGIN CURVE |
| 41 | 550923.47 | 945095.82 | END CURVE |
| 42 | 550955.85 | 945097.87 | BEGIN CURVE |
| 42A | 550971.35 | 945104.72 | BENCH PAD |
| - | | | |
| 43 | 550994.45 | 945084.15 | END CURVE |
| 44 | 551010.41 | 945080.28 | EXERCISE PAD |
| 45 | 551010.42 | 945069.37 | BEGIN CURVE |
| 46 | 551038.25 | 945056.84 | END/BEGIN CURVE |
| 47 | 551047.20 | 945047.95 | END CURVE |
| 48 | 551057.26 | 945065.45 | BENCH PAD |
| 49 | 551064.34 | 945057.89 | BEGIN CURVE |
| 50 | 551109.55 | 945060.83 | END/BEGIN WLKWAY |
| 50A | 551111.00 | 945036.57 | BIKE RACK PAD |
| 51 | 551048.50 | 945035.73 | END CURVE |
| 52 | 551055.66 | 945026.24 | EXERCISE PAD |
| | | 945026.24 | WATER FOUNTAIN PAN |
| 52A | 551049.01 | | |
| 53 | 551019.04 | 945009.27 | END CURVE |
| 54 | 550991.84 | 945014.27 | BEGIN CURVE |
| 55 | 550982.63 | 945015.53 | END CURVE |
| 56 | 550966.93 | 945016.92 | EXERCISE PAD |
| 57 | 550939.60 | 945019.36 | BEGIN CURVE |
| 58 | 550898.10 | 945018.61 | TRASH CAN PAD |
| 59 | 550889.24 | 945028.88 | END/BEGIN WLKWAY |
| 60 | 550834.47 | 945140.37 | END/BEGIN WLKWAY |
| | 550833.75 | 945132.46 | BEGIN CURVE |
| 61 | | | |
| 61 | 550825.35 | 945128.38 | BEGIN CURVE |
| 62 | EE0E00 == | . 0/15/13/5 5/ | OVERLOOK |
| 62 63 | 550596.65 | 945025.54 | |
| 62 | 550596.65 550409.17 | 944999.49 | TRASH CAN PAD |
| 62 63 | | | TRASH CAN PAD OUTFALL |
| 62 63 64 | 550409.17 | 944999.49 | |
| 62 63 64 65 | 550409.17 550414.68 | 944999.49 944984.70 | OUTFALL |

COORDINATE POINTS

945043.02

945030.65

DESCRIPTION

BEGIN CURVE

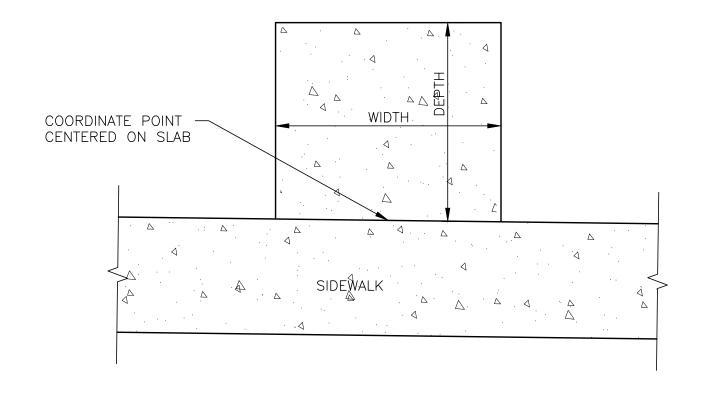
BIKE RACK

NORTHING

550212.26

550218.91

| SLAB TABLE | | | | | |
|------------|-------|-------|-----------------------|--|--|
| SLAB# | WIDTH | DEPTH | COORDINATE POINT # | | |
| PI | 6 | 5 | 2 | | |
| P2 | 19.66 | 13 | 4 | | |
| Р3 | 15 | 5.3 | 5 | | |
| P4 | 17.3 | 13 | 7 | | |
| P5 | 7 | 5 | 9 | | |
| P6 | 6 | 3 | 64 | | |
| P7 | 15.33 | 5.3 | 15 | | |
| P8 | 14.66 | 13.5 | 16 | | |
| Р9 | 7.7 | 5 | 16 | | |
| P10 | 15.66 | 14.58 | 19 | | |
| P11 | 15 | 5 | 21 | | |
| P12 | 15.66 | 13.73 | 26 | | |
| P13 | 15 | 5 | 28 | | |
| P14 | 15 | 5 | 32 | | |
| P15 | 15.66 | 13.33 | 36 | | |
| P16 | 6 | 5 | 38A | | |
| P17 | 19.66 | 18.83 | 39 | | |
| P18 | 15 | 5 | 42A | | |
| P19 | 14.66 | 13.9 | 44 | | |
| P20 | 13.66 | 9.78 | 52 | | |
| P21 | 8 | 4 | 52A | | |
| P22 | 15.66 | 18.83 | 56 | | |
| P23 | 15 | 5 | 48 | | |
| P24 | 6 | 7 | 50A | | |
| P25 | 6 | 3 | 58 | | |



TYPICAL CONCRETE SLAB DETAIL

SCALE: N.T.S

NOTES:

1. REFER TO SHEET C-02 FOR COORDINATES POINTS AND CONCRETE SLABS LOCATIONS.



BRITTANY BAY PARK RENOVATION

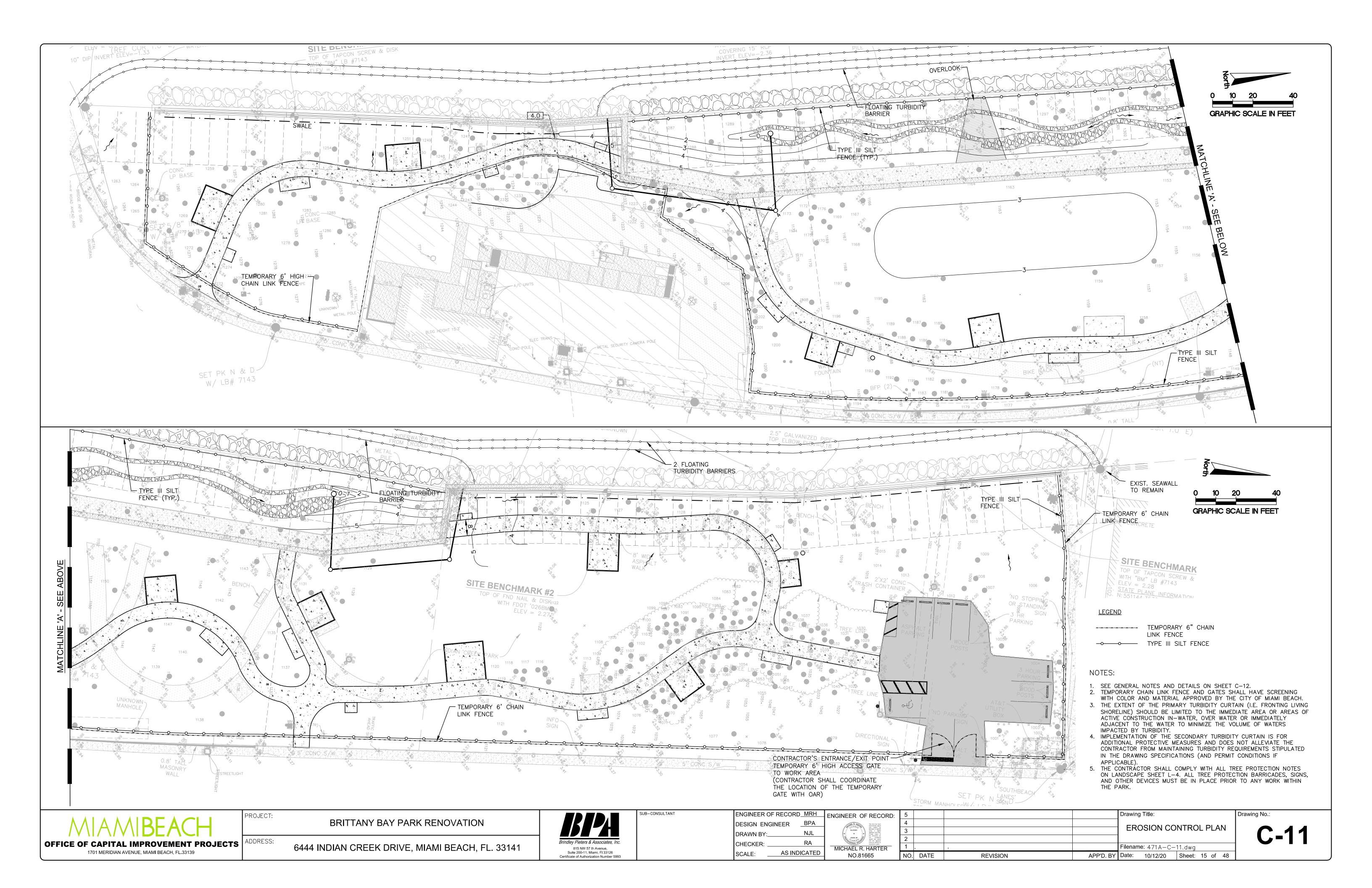
6444 INDIAN CREEK DRIVE, MIAMI BEACH, FL. 33141

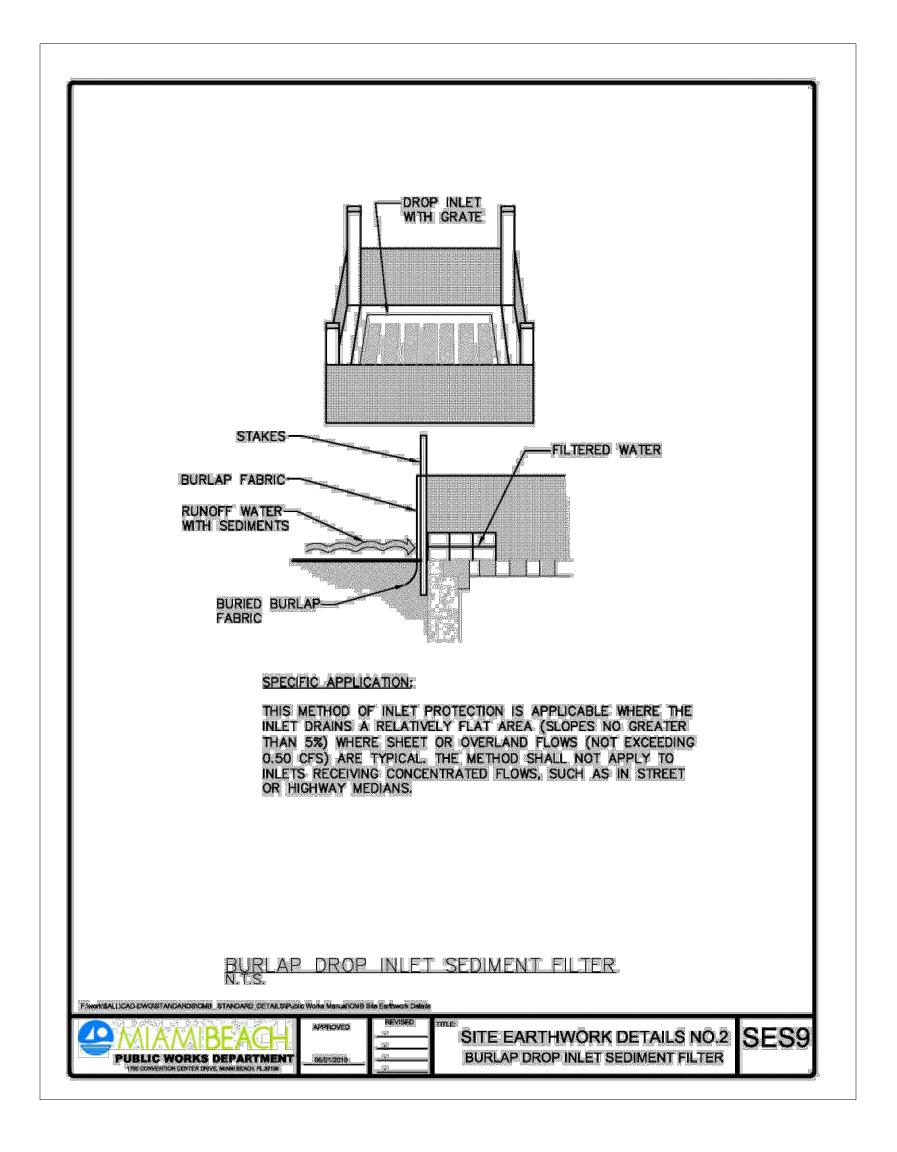
815 NW 57 th Avenue, Suite 200-11, Miami, FI 33126 Certificate of Authorization Number 5993

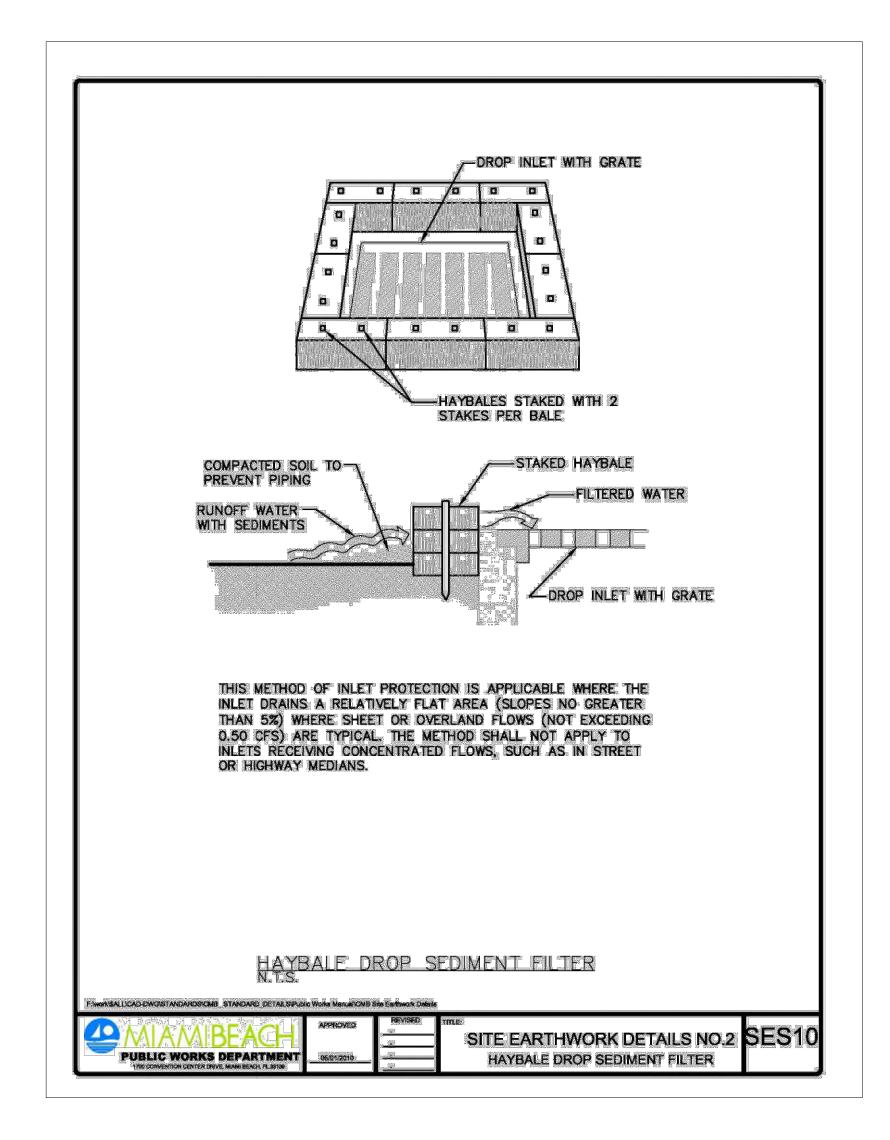
ENGINEER OF RECORD MRH ENGINEER OF RECORD: 5 DESIGN ENGINEER CHECKER: AS INDICATED SCALE:

MICHAEL R. HARTER NO.81665

Drawing Title: COORDINATE POINT TABLES Filename: 471A-C-08-12.dwg APP'D. BY Date: 10/12/20 Sheet: 19 of 48 NO. DATE REVISION







General Sediment and Erosion Control Notes

- The contractor is responsible for following the best erosion and sediment control practices as outlined in the plans, specification, applicable permit(s), and the prevention, correction, control, and abatement of erosion and water pollution in accordance with chapter 62-302, Florida Administrative Code.
- Erosion and sediment control barriers shall be placed where there is potential for downstream water quality degradation.
- 3. The site contractor is responsible for removing the temporary erosion and sediment control devices after completion of construction and only when areas have been stabilized.
- The site contractor is responsible for the maintenance of BMPs to make sure they are functioning as designed at all times.
- The BMP structures shall be inspected after each rain and repairs made as needed. Sediment deposits should be removed after each rainfall. They must be removed when the level of deposition reaches approximately one-half
- 6. Correctly installed silt fences will be used along the limits of construction to minimize offsite siltation migration.
- 7. Sod shall be placed in areas which may require immediate erosion protection to ensure water quality standards are maintained and where no active construction is occurring.
- 8. The contractor shall pay for any water quality control violations from any agency that results in fines being assessed to the owner because of the contractor's failure to eliminate turbid runoff from leaving the site and raising background levels of turbidity above existing background levels.

Inlet Protection

- 9. Wire mesh shall be laid over the top drop inlet so that the wire extends a minimum of 1 foot beyond each side of the inlet structure. Hardware cloth or comparable wire mesh with ½ inch opening shall be used. If more than one strip of mesh is necessary the strips shall be overlapped.
- 10. FDOT NO. 1 coarse aggregate shall be placed over the wire mesh as indicated on detail. The depth of stone shall be at least 12 inches over the entire inlet opening. The stone shall extend beyond the inlet opening at least 18 inches on all sides.
- 11. If the stone filter becomes clogged with sediment so that it no longer adequately performs its function, the stone must be pulled away from the inlet, cleaned and replaced.
- 12. The filter barrier shall be entrenched and backfilled. A trench shall be excavated around the inlet and width of a bale to a minimum depth of four inches. After the bales are stacked, the excavated soil shall be backfilled and compacted against the filter barrier.
- 13. Bale shall be either wire-bound or string-tied with the bindings oriented around the sides rather than over and under the bales.
- 14. Bales shall be placed lengthwise in single row surrounding the inlet with the ends of adjacent bales pressed
- 15. Each bale shall be securely anchored and held in place by at least two stakes or rebars driven through the bale.
- 16. Loose straw should be wedged between bales to prevent water from entering between bales.

Turbidity Barriers

- 17. Floating turbidity barriers will be placed at all outfall locations connected to the work area during active construction. If seagrasses are present barriers will not be placed over them. The floating turbidity barriers shall be installed in a manner to prevent manatee entanglement.
- 18. Turbidity barriers to be marked with site contractor's company name using permanent markings no smaller than 3 inches in height on the top of the barrier.

EROSION AND SEDIMENT CONTROL GENERAL NOTES

MIAMIBEACH
PUBLIC WORKS DEPARTMENT
1700 CONVENTION CENTER DRIVE, MIAMI BEACH, FL33139

the height of the barrier.

PPROVED REVISED T 12/16/2011 11/15/2012 07/11/2017

SITE EARTHWORK DETAILS NO.2

EROSION AND SEDIMENT CONTROL

GENERAL NOTES

SES14

OFFICE OF CAPITAL IMPROVEMENT PROJECTS

1701 MERIDIAN AVENUE, MIAMI BEACH, FL.33139

PROJECT:

ADDRESS:

BRITTANY BAY PARK RENOVATION

6444 INDIAN CREEK DRIVE, MIAMI BEACH, FL. 33141

Brindley Pieters & Associates, Inc.
815 NW 57 th Avenue,
Suite 200-11, Miami, FI 33126
Certificate of Authorization Number 5993

ENGINEER OF RECORD MRH

DESIGN ENGINEER BPA

DRAWN BY: NJL

CHECKER: RA

SCALE: AS INDICATED

ENGINEER OF RECORD:

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 EROSION AND SEDIMENT CONTROL DETAILS

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 NO. DATE
 REVISION

 APP'D. BY
 Date: 10/12/20

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 EROSION AND SEDIMENT CONTROL DETAILS

 Filename: 471A-C-08-12.dwg

 NO. DATE
 REVISION