

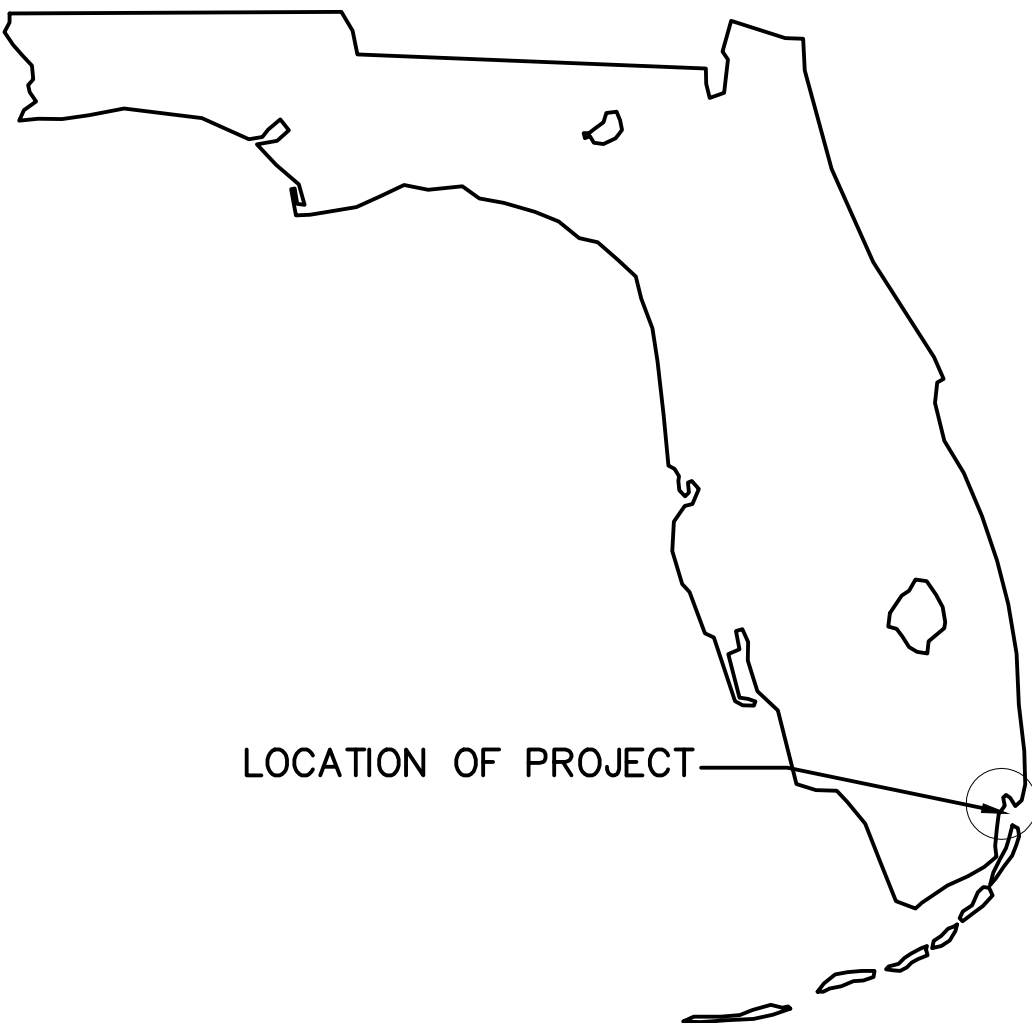
MIAMI BEACH

OFFICE OF CAPITAL IMPROVEMENT PROJECTS

BRITTANY BAY PARK LIVING SHORELINE, OVERLOOK & PARK RENOVATION

OCTOBER 12, 2020

FINAL SUBMITTAL



LOCATION OF PROJECT

CITY OF MIAMI BEACH

MAYOR: DAN GELBER

COMMISSIONERS: STEVEN MEINER
RICKY ARRIOLA
MICHAEL GONGORA
DAVID RICHARDSON
MARK SAMUELIAN
MICKY STEINBERG

CITY MANAGER: JIMMY L. MORALES

CITY ATTORNEY: RAUL J. AGUILA

CITY CLERK: RAFAEL E. GRANADO

ASSISTANT CITY MANAGER: ERIC T. CARPENTER, P.E.

PARKS & RECREATION DIRECTOR: JOHN REBAR

CIP DIRECTOR: DAVID MARTINEZ P.E.

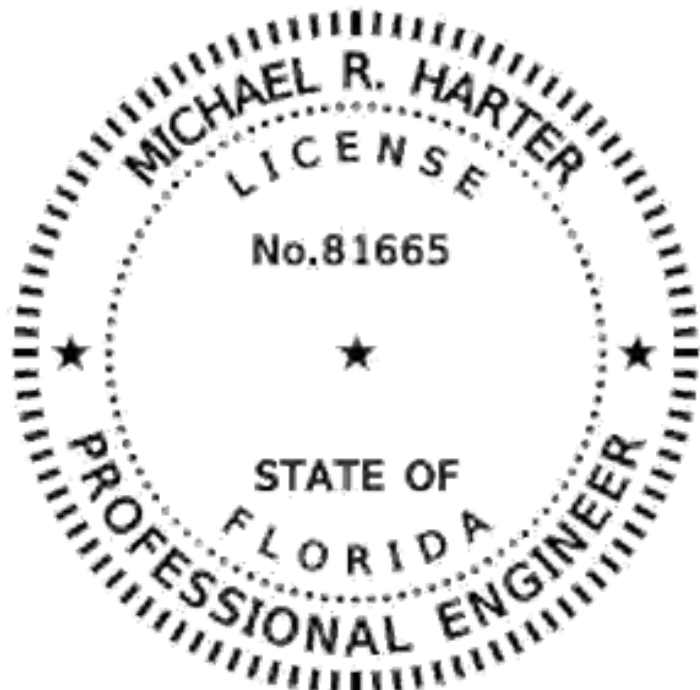


Brindley Pieters & Associates, Inc.

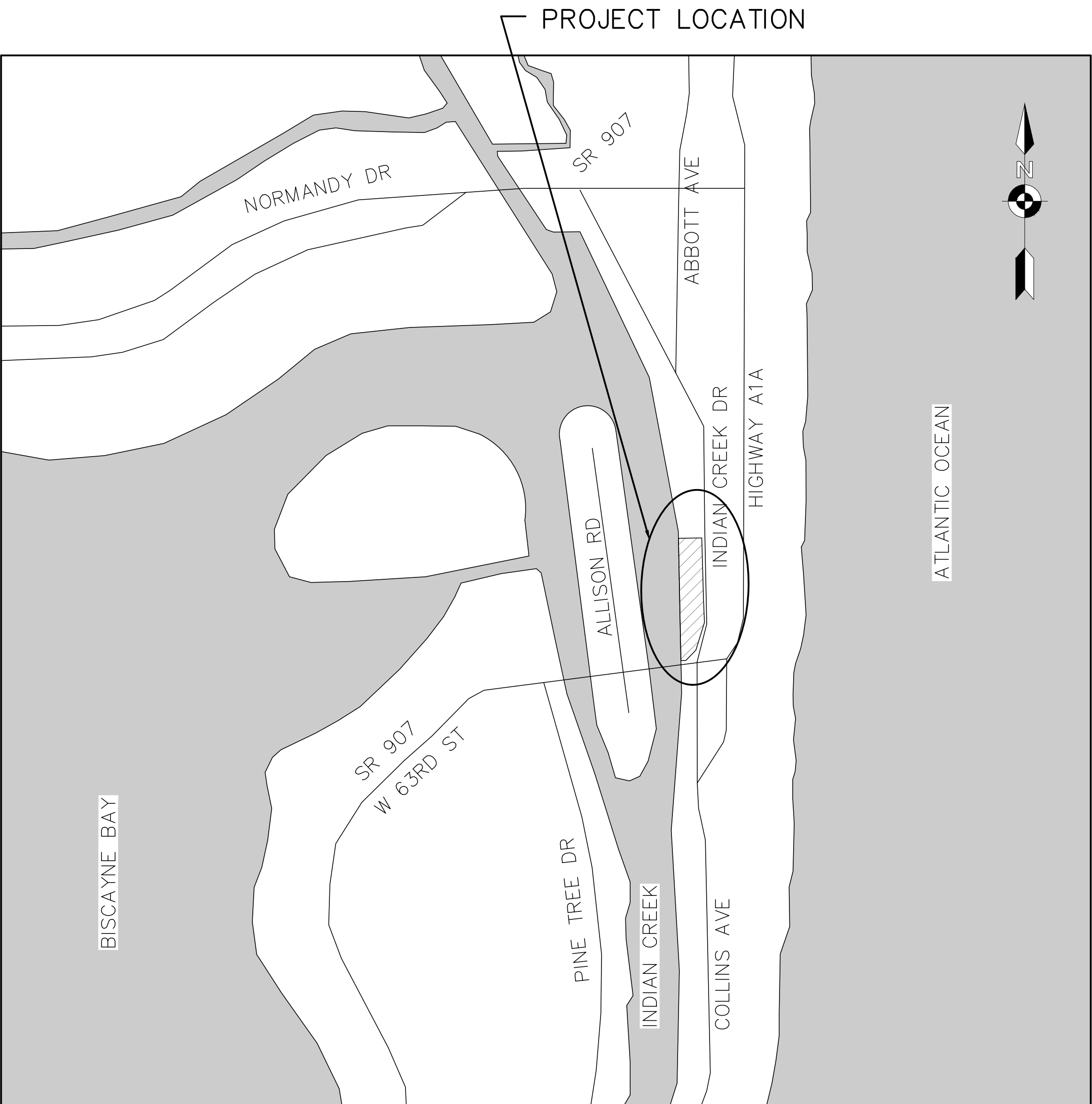
815 NW 57 th Avenue,

Suite 200-11, Miami, FL 33126

Certificate of Authorization Number 5993



This item has been electronically signed and sealed by MICHAEL R. HARTER using a Digital Signature and Date. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electric copies



LOCATION MAP

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LEGAL DESCRIPTION

LOTS 1-12, BLOCK 3, AMENDED PLAT OF SECOND OCEAN FRONT SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 28, PAGE 28, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SCOPE OF WORK

THIS PROJECT INCLUDES THE CREATION OF A LIVING SHORELINE BETWEEN THE EXISTING REMAINING SEAWALL AND THE CONCRETE RETAINING/SEATWALL. THE LIVING SHORELINE WILL BE HYDRAULICALLY CONNECTED TO INDIAN CREEK AND WILL HAVE AN ADA-ACCESSIBLE OVERLOOK THAT WILL ALLOW PARK PATRONS TO WALK FROM THE PARK TO THE EXISTING SEAWALLS'S EDGE. IN ADDITION, THE PROJECT ALSO INCLUDES IMPROVED PATHWAYS, SITE FURNITURE, AND PEDESTRIAN LIGHTING TO ENHANCE THE SURROUNDING RIPARIAN AND INTERTIDAL ENVIRONMENT BY CREATING A NEW HABITAT FOR AQUATIC AND TERRESTRIAL SPECIES AND IMPROVING WATER QUALITY VIA FILTRATION OF UPLAND RUNOFF. THE PARK RENOVATIONS INCLUDE NEW CONCRETE WALKWAYS, MILLING AND RESURFACING THE EXISTING PARKING LOT, NEW TREES, NEW EXERCISE EQUIPMENT, AND NEW LANDSCAPING.

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING TO HIS SATISFACTION, PRIOR TO THE EXECUTION OF THE CONTRACT, THE NATURE AND LOCATION OF THE WORK, THE CONFIRMATION OF THE EXISTING GROUND, THE CHARACTER AND QUALITY OF THE SUBSTRATA, THE TYPES AND QUANTITY OF EXISTING MATERIALS TO BE ENCOUNTERED, THE NATURE OF THE GROUNDWATER CONDITIONS, THE CHARACTER OF EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING THE EXECUTION OF THE WORK, THE GENERAL AND LOCAL CONDITIONS, AND ALL OTHER MATTERS WHICH CAN IN ANY WAY AFFECT THE WORK UNDER THIS CONTRACT. THE CONTRACT UNIT PRICES FOR THE ENTIRE CONTRACT WILL REFLECT ALL COSTS PERTAINING TO PROPOSED WORK.

2. THE CONTRACTOR SHALL SUPPLY HIS OWN TEMPORARY ELECTRIC, WATER AND SANITARY FACILITIES AND ACQUIRE ALL NECESSARY CONSTRUCTION PERMITS. TEMPORARY SANITARY SEWER FACILITIES FOR CONSTRUCTION WORKERS SHALL REMAIN LOCKED DURING NON-CONSTRUCTION HOURS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT EACH UTILITY COMPANY AND THE CITY OF MIAMI BEACH PARK MAINTENANCE DEPARTMENT TO FIELD-LOCATE EXISTING UTILITIES AT THE PROJECT SITE AND IN THE CONSTRUCTION STAGING AREA.

3. ALL COSTS ASSOCIATED WITH PREPARING THE CONTRACTOR'S STORAGE AND STAGING AREA SITE SHALL BE BORNE BY THE CONTRACTOR. THIS INCLUDES, BUT IS NOT LIMITED TO, CLEARING AND GRADING OF THE SITE, CONSTRUCTION OF ALL TEMPORARY UTILITIES, ACCESS ROADS, ALL SECURITY FENCING, PERMITTING COSTS, RESTORATION OF THE SITE TO ITS ORIGINAL CONDITION AT PROJECT COMPLETION, MEETING FEDERAL, STATE AND LOCAL REQUIREMENTS, ETC.

4. CONTRACTOR SHALL REVIEW ALL PERMITS BEFORE BIDDING ON THE PROJECT AND BECOME FAMILIAR WITH THE CONDITIONS OF THE PERMITS. CONTRACTOR SHALL ENSURE THAT THE CONSTRUCTION ACTIVITIES ARE IN COMPLIANCE WITH ALL REGULATORY AGENCY PERMITS.

5. THE PROJECT PAY ITEMS ARE INTENDED TO BE INCLUSIVE OF ALL WORK TO BE PERFORMED WITHIN THESE CONTRACT DOCUMENTS AND ALL REFERENCED CONSTRUCTION AND PERMIT REQUIREMENTS. ALL INCIDENTAL WORK REQUIRED TO COMPLETE THE PROJECT AND ADHERE TO THIS PROJECT'S REQUIREMENTS SHALL BE INCLUDED IN THE CONTRACTOR'S BID UNDER THE MOST APPLICABLE BID ITEM.

6. THE CONTRACTOR WILL RESTRICT PERSONNEL, THE USE OF EQUIPMENT, AND THE STORAGE OF MATERIALS TO AREAS WITHIN THE LIMITS OF CONSTRUCTION, OR TO OTHER AREAS AS DIRECTED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

7. ALL CONTRACTOR VEHICLES AND TRAFFIC SHALL REMAIN WITHIN THE DESIGNATED CONSTRUCTION AREAS, STAGING AREAS, OR HAUL ROUTES.

8. THE CONTRACTOR SHALL COMPLY WITH OSHA'S EXCAVATION SAFETY STANDARDS AND THE FLORIDA TRENCH SAFETY ACT. AND SHALL COMPLY WITH ALL OTHER OSHA REQUIREMENTS.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, SIDEWALK, UTILITY PIPES, CONDUITS, SPRINKLER HEADS, CABLES, GRASS, LANDSCAPED AREAS, AND ALL OTHER EXISTING IMPROVEMENTS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS. THE CONTRACTOR SHALL RESTORE ALL EXISTING IMPROVEMENTS TO ORIGINAL CONDITION OR BETTER AT NO ADDITIONAL COST TO THE OWNER.

10. WHERE REQUIRED, AT NO ADDITIONAL COST TO THE OWNER, THE CONTRACTOR SHALL USE TEMPORARY SHEETING OR TRENCH BOXES, TO MINIMIZE THE SIZE OF EXCAVATIONS IN ORDER TO PROTECT ADJACENT EXISTING ROADWAYS, UTILITIES AND OTHER FACILITIES.

11. UNLESS OTHERWISE NOTED, EXISTING DRAINAGE STRUCTURES AND DRAINAGE PIPE AT THE PROJECT SHALL REMAIN.

12. THE CONTRACTOR SHALL REPLACE AND RECONNECT ALL IRRIGATION MAINS WHICH ARE DISTURBED BY CONSTRUCTION. ALL EXISTING IRRIGATION TO AREAS NOT WITHIN CONSTRUCTION LIMITS MUST BE MAINTAINED DURING CONSTRUCTION. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL INSPECT IRRIGATION AND LANDSCAPING WITH A REPRESENTATIVE OF THE CITY OF MIAMI BEACH PARK MAINTENANCE. IF IRRIGATION IS INTERRUPTED TO LANDSCAPE AREAS, CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING. AFTER COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL COORDINATE WITH THE OWNER'S STAFF TO TEST ALL IRRIGATION MAINS AND BRANCHES WITHIN, OR CROSSING THE PROJECT.

13. PLAN BENCHMARK DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988.

14. CONTRACTOR SHALL SET TEMPORARY BENCHMARKS AS NEEDED.

15. ANY SURVEY MONUMENT WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF A MONUMENT IS IN DANGER OF BEING DAMAGED, THE CONTRACTOR SHALL NOTIFY THE FLORIDA DEPARTMENT OF NATURAL RESOURCES, BUREAU OF SURVEY AND MAPPING, 3900 COMMONWEALTH BOULEVARD, SUITE 309, TALLAHASSEE, FLORIDA 32399, TELEPHONE (904) 488-2427.

16. ALL PUBLIC LAND CORNERS OR COUNTY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE PROTECTED. IF A CORNER OR MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR'S CONSTRUCTION MANAGER SHOULD NOTIFY THE CITY OF MIAMI BEACH SURVEYOR WITHOUT DELAY.

17. ALL EXISTING ROADS AND DRIVEWAYS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES DURING CONSTRUCTION, UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER.

18. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL AIR QUALITY AND POLLUTION CONTROL REGULATIONS PERTAINING TO CONSTRUCTION ACTIVITIES.

19. SILT FENCES SHALL BE PLACED IN ACCORDANCE WITH THE FDOT DESIGN STANDARDS. ALL EROSION CONTROL DEVICES SHALL BE REMOVED BY THE CONTRACTOR AFTER INSTALLATION OF PERMANENT GRASSING IS COMPLETE. THE COST OF REMOVING EROSION CONTROL ITEMS IS TO BE INCLUDED IN THE COST OF EROSION CONTROL. ANY AREAS DISTURBED BY THE REMOVAL OF EROSION CONTROL ITEMS SHALL BE REGRASSED OR SODDED AT NO ADDITIONAL COST TO THE OWNER.

20. PRIOR TO AND DURING CONSTRUCTION, THE CONTRACTOR SHALL INSURE AGAINST POLLUTING, SILTING OR DISTURBING ONSITE AND DOWNSTREAM WATER BODIES AND WETLANDS TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY ABOVE THAT ALLOWED BY CHAPTER 62-302, FLORIDA ADMINISTRATIVE CODE (FAC) (0 NTU ABOVE BACKGROUND), TO WATERS OF THE STATE. SUCH MEASURES MAY INCLUDE, BUT NOT BE LIMITED TO, CONSTRUCTION OF TEMPORARY EROSION CONTROL STRUCTURES SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, OR SILT BARRIERS. THESE TURBIDITY CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS TO ENSURE THAT CONSTRUCTION GENERATED TURBIDITY IS CONTAINED WITHIN THE WORK AREAS. AT NO TIME SHALL THE CONSTRUCTION SITE RUNOFF OR DEWATERING ACTIVITY RESULT IN EXCEEDING THE WATER QUALITY STANDARDS AS SET FORTH IN CHAPTER 62-302, FLORIDA ADMINISTRATIVE CODE (FAC) AS REQUIRED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). TURBIDITY CURTAINS TO CONTAIN EMBOSSED, IN A CONTRASTING COLOR, THE NAME OF THE CONTRACTOR IN 4" HIGH LETTERS.

21. CONTRACTOR SHALL PROVIDE SITE DRAINAGE AND EROSION CONTROL DURING CLEARING AND GRUBBING AND ALL PHASES OF CONSTRUCTION. SITE DRAINAGE AND FLOW THROUGH EXISTING AND TEMPORARY DRAINAGE SYSTEMS SHALL BE MAINTAINED AT ALL TIMES AND SHALL EQUAL THE FLOW THROUGH THE EXISTING SYSTEM.

22. CONTRACTOR TO SUBMIT AND RECEIVE APPROVAL OF AN EROSION CONTROL PLAN FROM THE OWNER PRIOR TO BEGINNING ANY CONSTRUCTION. EROSION CONTROL ITEMS ARE REQUIRED FOR PREVENTION, CONTROL AND ABATEMENT OF EROSION, SEDIMENTATION, AND WATER POLLUTION. THESE ITEMS ARE TO BE USED AT THE LOCATIONS DESCRIBED IN THE CONTRACTOR'S APPROVED EROSION CONTROL PLAN TO COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS. CONTRACTOR TO SUBMIT NPDES PERMIT APPLICATION AND PROVIDE OWNER WITH A COPY.

23. THE EROSION CONTROL MEASURES AS SHOWN IN FDOT DESIGN STANDARDS ARE THE MINIMUM REQUIRED. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO FIELD CONDITIONS AS DETERMINED BY THE OWNER AND REGULATORY AGENCIES.

24. IN ADDITION TO THE TURBIDITY AND EROSION CONTROL MEASURES SPECIFIED IN THE FDOT DESIGN STANDARDS, BEST MANAGEMENT PRACTICES FOR EROSION AND TURBIDITY CONTROL SHALL BE UTILIZED AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS INCLUDING, BUT NOT LIMITED TO, SOUTH FLORIDA WATER MANAGEMENT DISTRICT AND FDEP (NPDES). THESE BEST MANAGEMENT PRACTICES SHALL INCLUDE THE USE AND MAINTENANCE

OF STAKED FILTER CLOTH, AND OTHER SUITABLE MEANS SURROUNDING ALL CONSTRUCTION AREAS TO PREVENT EROSION AS WELL AS THE USE OF FLOATING OR STAKED TURBIDITY SCREENS, WHERE APPROPRIATE, TO ISOLATE CONSTRUCTION AREAS FROM ADJACENT SURFACE WATERS. THESE TURBIDITY CONTROL DEVICES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS TO ENSURE THAT CONSTRUCTION GENERATED TURBIDITY IS CONTAINED WITHIN THE WORK AREAS AND THAT THE TURBIDITY CONTROL DEVICES REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE.

25. THE CONTRACTOR SHALL APPLY BEST MANAGEMENT PRACTICES TO PREVENT EROSION OF SOILS, TURBIDITY AND POLLUTION IN ADJACENT WATERWAYS, DUST CLOUDS AND AIR POLLUTION.

26. PRIOR TO MOBILIZATION THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL FDEP NPDES PERMITS. THE CONTRACTOR SHALL PREPARE AND SUBMIT ALL PERMIT APPLICATIONS, EXHIBITS, STORMWATER POLLUTION PREVENTION PLANS (SWPPP) AND ALL OTHER REQUIRED SUBMITTALS NECESSARY TO OBTAIN THE NPDES PERMIT FOR THE PROJECT. THE CONTRACTOR SHALL SUBMIT TWO (2) COPIES OF ALL SUBMITTAL DOCUMENTS TO THE OWNER AND TWO (2) COPIES TO THE ENGINEER FOR REVIEW AND ACCEPTANCE PRIOR TO SUBMITTING NPDES PERMIT APPLICATION/NOTIFICATION TO FDEP.

27. THE CONTRACTOR SHALL NOT BRING ANY HAZARDOUS MATERIALS ONTO THE PROJECT. SHOULD THE CONTRACTOR REQUIRE SUCH FOR PERFORMING THE CONTRACTED WORK, THE CONTRACTOR SHALL REQUEST, IN WRITING, WRITTEN PERMISSION FROM THE OWNER. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A COPY OF THE MATERIAL SAFETY DATA SHEET (MSDS) FOR EACH HAZARDOUS MATERIAL PROPOSED FOR USE. THE OWNER SHALL ISSUE WRITTEN APPROVAL TO THE CONTRACTOR. BECAUSE STATE LAW DOES NOT TREAT PETROLEUM PRODUCTS THAT ARE PROPERLY CONTAINERIZED AND INTENDED FOR EQUIPMENT USE AS A HAZARDOUS MATERIAL, SUCH PRODUCTS DO NOT NEED A MSDS SUBMITTAL.

28. ANY KNOWN OR SUSPECTED HAZARDOUS MATERIAL FOUND ON THE PROJECT BY THE CONTRACTOR SHALL BE IMMEDIATELY REPORTED TO THE OWNER, WHO SHALL DIRECT THE CONTRACTOR TO PROTECT THE AREA OF KNOWN OR SUSPECTED CONTAMINATION FROM FURTHER ACCESS. THE OWNER WILL ARRANGE FOR INVESTIGATION, IDENTIFICATION, AND REMEDIATION OF THE HAZARDOUS MATERIAL. THE CONTRACTOR SHALL NOT RETURN TO THE AREA OF CONTAMINATION UNTIL APPROVAL IS PROVIDED BY THE OWNER.

29. EXISTING CONDITIONS AND LOCATIONS OF EXISTING UTILITIES AND STORM DRAINAGE PIPE AND STRUCTURES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING CONSTRUCTION DOCUMENTS, SURVEYS AND FIELD INVESTIGATIONS. IT IS TO BE UNDERSTOOD THAT UNFORESEEN CONDITIONS MAY EXIST AND NEW AND EXISTING WORK MAY NOT BE LOCATED EXACTLY AS SHOWN ON THE DRAWINGS. IT IS ALSO TO BE UNDERSTOOD THAT THE PLANS ARE NOT COMPLETELY TO SCALE. THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS TO FIELD VERIFY LOCATIONS AND DIMENSIONS OF ALL EXISTING SITE UTILITIES AND THE CONTRACTOR SHALL FIELD VERIFY ALL OTHER EXISTING IMPROVEMENTS PRIOR TO CONSTRUCTION. THE COSTS FOR DEVIATIONS OR UNKNOWN CONDITIONS SHALL BE INCLUDED IN THE CONTRACT.

30. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH FLORIDA STATUTES FOR THE PROTECTION OF UNDERGROUND GAS PIPELINES.

31. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS IS BASED ON LIMITED INVESTIGATION TECHNIQUES AND SHOULD BE CONSIDERED APPROXIMATE ONLY. THE VERIFIED LOCATIONS/ELEVATIONS APPLY ONLY AT THE POINT SHOWN. INTERPOLATIONS BETWEEN THESE POINTS HAVE NOT BEEN VERIFIED. ALL UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.

32. THE CONTRACTOR SHALL NOTIFY UTILITY OWNERS THROUGH SUNSHINE 811 (DIAL 811) AT LEAST 48 HOURS IN ADVANCE OF BEGINNING CONSTRUCTION ON JOB SITE.

COMPANY	CONTACT	UTILITY	TELEPHONE
ATLANTIC BROADBAND	EDWIN ZAMBRANA	CABLE TV	305.861.8069 x 5411
HOTWIRE COMMUNICATIONS	WALTER SANCHEZ DAVILA	FIBER, TELEPHONE, CATV	954.417.3606
FIBERDIG TEAM	CROWN CASTLE NG	FIBER	561.544.4960
SPRINT NEXTEL	MARK CALDWELL	FIBER OPTIC	321.287.9942
AT&T/DISTRIBUTION	STEVE LOW	TELEPHONE	305.222.8745
CITY OF MIAMI BEACH UTILITIES	ASHOK VERMA	WATER, SEWER/STR. LIGHTS	305.673.7000
DADE COUNTY PUBLIC WORKS	OCTAVIO VIDAL	TRAFFIC/STR. LIGHTS	786.345.0986
FLORIDA POWER & LIGHT-TRANSN.	SEVED HAJASSADOLLAH	POWER	305.938.1910
FLORIDA POWER & LIGHT-SUBAQUEOUS	ERNESTO DOMINGUEZ	POWER	954.581.3088
FLORIDA POWER & LIGHT-DADE	ERNESTO DOMINGUEZ	POWER	954.581.3088
TECO PEOPLES GAS	YVONNE GOLDMAN	GAS	954.453.0824

33. PRIOR TO ANY SITE WORK, THE CONTRACTOR SHALL SUPPLY TO THE OWNER A COMPREHENSIVE CHECKLIST OF UTILITY FACILITY OWNERS CONTACTED FOR VERIFICATION OF ON-SITE UTILITIES AND THE LOCATION OF FACILITIES. THE CHECK LIST SHALL INCLUDE: CONTACT NAME, TELEPHONE NUMBER, DATE CONTACTED AND DATE UTILITY WAS FLAGGED AT SITE. NO WORK AT SITE SHALL PROCEED WITHOUT OWNER'S WRITTEN REVIEW AND ACCEPTANCE OF THE COMPREHENSIVE UTILITY LOCATE CHECKLIST. ADDITIONALLY, PRIOR TO ANY WORK PROCEEDING AT THE PROJECT SITE, THE CONTRACTOR SHALL FLAG THE LOCATION OF ALL UTILITIES (WATER, SEWER, RECLAIMED WATER, POWER, TELEPHONE, FUEL, GAS, AND ALL OTHERS) IN THE FIELD. THE OWNER SHALL PROVIDE WRITTEN REVIEW AND ACCEPTANCE OF FLAGGED LOCATIONS OF UTILITIES AND MUST PROVIDE WRITTEN NOTICE TO PROCEED TO THE CONTRACTOR PRIOR TO ANY EXCAVATION AT THE SITE. AS PART OF THE FLAGGING OF THE UTILITIES, THE CONTRACTOR SHALL HAND EXCAVATE, OR USE OTHER SUBSURFACE UTILITY LOCATING TECHNIQUES, AT EACH UTILITY CROSSING OR AT LOCATIONS ADJACENT TO PROPOSED IMPROVEMENTS, TO EXPOSE, TO A DEPTH OF 2 FEET BELOW THE BOTTOM OF ANY PROPOSED EXCAVATIONS, THE UTILITY FOR VISUAL VERIFICATION BY THE OWNER PRIOR TO CONSTRUCTION.

THE OWNER'S REVIEW OF THE EXISTING UTILITIES, FLAGGING, EXPOSURE AND REVIEW OF THE CHECKLIST IS FOR VERIFICATION OF THE CONTRACTOR'S UTILITY LOCATE EFFORTS ONLY. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING, PROTECTING AND SUPPORTING ALL EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES WHETHER ON THE PLANS, CHECKLIST, FLAGGED, EXPOSED OR NOT.

34. TO AVOID VECTOR BREEDING AREAS, THE CONTRACTOR SHALL NOT ALLOW PONDING WATER ON SITE. PROVIDE POSITIVE DRAINAGE AT ALL TIMES. TREAT ALL WATER THAT HAS NOT DRAINED AND PONDED FOR 48 HOURS.

35. THE CONTRACTOR SHALL EMPLOY AN EFFECTIVE INTEGRATED MOSQUITO MANAGEMENT PROGRAM, WHICH UTILIZES BEST MANAGEMENT PRACTICES DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE THE PROJECT MANAGER WITH THE PROPOSED MOSQUITO PROGRAM, FOR APPROVAL, ONE WEEK BEFORE ANY WORK BEGINS. THE CONTRACTOR SHALL NOT BEGIN ANY EARTH WORK UNTIL HE RECEIVES WRITTEN APPROVAL, FOR THE MOSQUITO MANAGEMENT PROGRAM, FROM THE CITY OF MIAMI BEACH PROJECT MANAGER.

36. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLASS II PERMIT FROM THE WATER CONTROL SECTION OF THE DEPARTMENT OF ENVIRONMENTAL RESOURCES MANAGEMENT (DERM)

37. CONTRACTOR SHALL LEGALLY DISPOSE OF ALL EXCAVATED MATERIAL (SUITABLE AND UNSUITABLE) AND COMPLY WITH THE REQUIREMENTS OF THE 2017 FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 120, EXCAVATION AND EMBAKMENT.

NOTES:

- PROJECT WILL BE BID & PAID FOR AS LUMP SUM. ESTIMATED QUANTITIES PROVIDED FOR REFERENCE ONLY.
- ITEM No.2 MAINTENANCE OF TRAFFIC INCLUDES MAINTENANCE OF PEDESTRIAN TRAFFIC AND INCLUDES VEHICLE AND PEDESTRIAN MAINTENANCE OF TRAFFIC ON INDIAN CREEK DRIVE.
- ITEM No.3. EROSION CONTROL INCLUDES ALL SILT FENCE, FLOATING AND STAKED TURBIDITY BARRIERS AND OTHER EROSION AND SEDIMENTATION CONTROLS NECESSARY TO INHIBIT DISCHARGE OF SEDIMENT TO THE WATERWAYS.
- ITEM No.5. CLEARING AND GRUBBING INCLUDES REMOVAL OF THE EXISTING CONCRETE PADS, REMOVING TREES AND ROOTS; REMOVING EXISTING DRINKING FOUNTAINS, WATER SERVICES, IRRIGATION AND BENCHES, REMOVING EXISTING SIDEWALKS AND PATHS AND REMOVAL OF ALL LIMESTONE BASE MATERIAL AT THE SIDEWALKS AND PATHS.
- ITEM No.6. REGULAR EXCAVATION INCLUDES EXCAVATION, COMPACTION, GRADING, AND UTILIZATION.
- ITEM No 11, PIPE CULV, HP, ROUND, 12" SD, INCLUDES THE CONNECTION TO THE EXISTING SEAWALL, REBAR CAGE AT SEAWALL CONNECTION, DEMOLITION AND RECONSTRUCTION OF EXISTING CONCRETE WALKWAY, AND ALL INCIDENTAL WORK FOR THE INSTALLATION OF THE PIPE.
- ITEMS 14, 15 AND 16, MANATEE GUARDS SHALL BE CONSTRUCTED AS SHOWN IN THE DETAIL ON SHEET C-07 AND SHALL BE STAINLESS STEEL.

DESCRIPTION OF LUMP SUM PROJECT COMPONENTS

FDOT NO.	ITEM NO.	DESCRIPTION	ESTIMATED QUANTITY	UNIT OF MEASUREMENT
101-1	1	Mobilization	1	LS
102-1	2	Maintenance of Traffic	1	LS
104	3	Erosion Control	1	LS
N/A	4	Temporary 6' Chain Link Fence & gates with 80% Blockage Screen	1	LS
110-1-1	5	Clearing & Grubbing	1	LS
120-1	6	Regular Excavation	174	CY
120-6	7	Embankment	150	CY
522-1	8	3000 PSI Concrete (6" Thick) Walkway and all concrete pads	1430	SY
N/A	9	Nyloplast 15" drain basin with solid grate	4	EA
N/A	10	Nyloplast 15" drain basin with standard grate	2	EA
430-174-112	11	Pipe Culv, High Performance storm by ADS (HP), Round,12"SD	279	LF
327-70-1	12	Milling Exist. Asphalt Pavement, 1" Avg Depth	540	SY
334-1-13	13	Superpave Asphaltic Conc. Traffic C	30	TN
430-885-15	14	Manatee Guard for 12" Pipe- Stainless Steel- Hinged	2	EA
430-885-15	15	Manatee Guard for 15" Pipe- Stainless Steel- Hinged	3	EA
430-885-24	16	Manatee Guard for 24" Pipe- Stainless Steel- Hinged	1	EA
N/A	17	Oolite boulders	120	TN
530-3-5	18	Riprap- Rubble, Bank and Shore Protection	490	TN
711/700-1-12	19	Thermoplastic pavt markings and Signs	1	LS
N/A	20	Furnish and Install water service for drinking fountains & Irrigation. (Include accesories & fittings, BFPs, Enclosures, Conc. Slabs and Drinking Fountain Dry wells)	700	LF
N/A	21	Overlook (Furnish & Install complete system)	1	LS
N/A *	22	Electrical and lighting (Includes demolition of existing)	1	LS
N/A *	23	Irrigation, Landscape and Hardscape	1	LS

* REFER TO LANDSCAPE AND ELECTRICAL PLANS FOR TREE REMOVALS, LANDSCAPE/HARDSCAPE, ELECTRICAL DEMOLITION AND ELECTRICAL LAYOUT

NOTES (CONTINUED):

- PAY ITEM No.20. FURNISH AND INSTALL WATER SERVICE FOR DRINKING FOUNTAINS AND IRRIGATION INCLUDES ALL THE REQUIRED ACCESSORIES AND FITTINGS FOR THE WATER SERVICE AND WATER SUPPLY LINES, THE NEW BACKFLOW PREVENTERS FOR IRRIGATION AND DRINKING WATER, CONC. SLABS AND DRY WELL SYSTEMS. WATER SERVICE, 4" BACKFLOW PREVENTERS, VALVES, ETC. FOR THE WATER SERVICES SHALL MEET THE REQUIREMENTS OF THE CITY OF MIAMI BEACH DETAILS AND SPECIFICATIONS.
- ITEM No.21 OVERLOOK INCLUDES THE COST TO PROVIDE SIGNED AND SEALED SHOP DRAWINGS FOR THE CITY OF MIAMI BEACH APPROVAL AND ALL COSTS RELATED TO THE CONSTRUCTION AND PERMITTING OF THE OVERLOOK.
- ALL REFERENCES TO FDOT INDEX ARE TO THE 2017 EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) DESIGN STANDARDS.
- ALL ITEMS REFERENCED BY FDOT NUMBERS SHALL BE PAID PER THE FDOT BASIS OF ESTIMATE 2017 EDITION AND SHALL BE CONSTRUCTED PER THE CORRESPONDING FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2017 EDITION. ONE COPY OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2017 EDITION AND THE FDOT DESIGN STANDARDS 2017 EDITION SHALL BE KEPT AT THE SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL HARDWARE (NUTS, BOLTS, WASHERS, ETC) FOR ALL COMPONENTS REQUIRING NEW HARDWARE SHALL BE STAINLESS STEEL TYPE 316.
- QUANTITIES FOR PAY ITEMS 6 AND 7 INCLUDE ALL EXCAVATION AND EMBANKMENT EAST OF THE SEAWALL AND SEATWALL AND INCLUDE THE EXCAVATION AT THE SWALE/OOLOITIC BOULDERS IN THE LIVING SHORELINE AREA. THE EXCAVATION QUANTITIES FOR THE SAND/ORGANIC MIX AREAS AND THE QUANTITIES FOR THE SAND/ORGANIC MIX ARE CALLED OUT ON THE LANDSCAPE PLANS.

PARK EQUIPMENT NOTES:

- ALL EXISTING EXERCISE EQUIPMENT AND PARK AMENITIES (TRASH CANS, BENCHES, AND ALL OTHER PARK AMENITIES SELECTED BY THE CITY) ARE TO BE REMOVED AND DELIVERED TO A CITY OF MIAMI BEACH LOCATION DESIGNATED BY THE PARKS AND RECREATION DEPARTMENT. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO THE EXISTING EXERCISE EQUIPMENT AND AMENITIES THAT OCCURS DURING REMOVAL AND TRANSPORT.
- ALL NEW EXERCISE PADS SHALL BE CONSTRUCTED TO HAVE POSITIVE DRAINAGE. NO PONDING (0.0%) ON THE NEWLY CONSTRUCTED PADS IS ACCEPTABLE. THE CONTRACTOR SHALL REMOVE AND REPLACE ALL NEWLY CONSTRUCTED PADS WHICH EXHIBIT PONDING OR BIRDBATHS.
- THE CONTRACTOR SHALL REMOVE AND SALVAGE ALL LIGHT FIXTURES AND PARTS AND DELIVER THEM TO THE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT (PWD), OPERATIONS – STREET LIGHT DIVISION, YARD FACILITY.

SITE INFORMATION:

• LOT SIZE	• PROPOSED AREA
AREA: 164,757 SQ-FT	PROPOSED PERVIOUS AREA: 138,737 SQ-FT PROPOSED IMPERVIOUS AREA: 26,020 SQ-FT
• SEAWALL	• CURRENT URBAN FURNITURE
EXISTING SEAWALL: 1595 FT	NUMBER OF BENCHES: 4 NUMBER OF BIKE RACKS: 0
• EXISTING AREA	• PROPOSED URBAN FURNITURE
PERVIOUS AREA: 138,880 SQ-FT IMPERVIOUS AREA: 25,877 SQ-FT	NUMBER OF BENCHES: 5 NUMBER OF BIKE RACKS: 2

<div><div>MIAMI BEACH</div><div>OFFICE OF CAPITAL IMPROVEMENT PROJECTS</div><div>1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139</div></div>	PROJECT:	BRITTANY BAY PARK RENOVATION	<div><div>BPA</div><div>Brindley Pieters & Associates, Inc.</div><div>815 NW 57th Avenue, Suite 200-11, Miami, FL 33128 Certificate of Authorization Number 5993</div></div>	SUB-CONSULTANT	ENGINEER OF RECORD: MRH	<div><div>ENGINEER OF RECORD:</div><div><div>5</div><div>4</div><div>3</div><div>2</div><div>1</div></div><div><div>NO.</div><div>DATE</div></div></div> <div><div>MICHAEL R. HARTER</div><div>NO.81665</div></div>	ENGINEER OF RECORD:	5						Drawing Title:	NOTES AND LUMP SUM PROJECT COMPONENTS	Drawing No.: <div>G-02</div>			
	ADDRESS:	6444 INDIAN CREEK DRIVE, MIAMI BEACH, FL. 33141		DESIGN ENGINEER	BPA		DRAWN BY:	NJL	CHECKER:	RA	SCALE:	AS INDICATED	APP'D. BY	Date:			10/12/20	Sheet:	2 of 48
	Filename: 471A-G-02.dwg																		

TO: DRB Chairperson and Members DATE: March 07, 2017

FROM: Thomas R. Mooney, AICP
Planning Director

SUBJECT: DRB16-0101
6444 Indian Creek Drive - Brittany Bay Park

The applicant, the City of Miami Beach, is requesting Design Review Approval for site plan improvements to Brittany Bay Park and the rehabilitation of the Indian Creek/Brittany Bay seawall incorporating a living seawall and construction of three viewing platforms.

RECOMMENDATION:
Approval

LEGAL DESCRIPTION:

Lots 1-12, Block 3, Amended Plat of SECOND OCEAN FRONT SUBDIVISION, According to the Plat thereof as recorded in Plat Book 28, Page 28, Public Records of Miami-Dade County, Florida

BACKGROUND:

The City of Miami Beach has approximately 63 miles of shoreline. With many City-owned seawall projects currently in the planning and design phase, there is an opportunity to integrate green 'living seawalls' with the existing structural seawall rehabilitation projects. The Public Works and the Environmental and Sustainability Departments have been working together on several projects to design, permit and implement living shorelines where possible. Moreover, the 2025 Comprehensive Plan encourages the use of living seawalls in applicable areas (Policy 2.7, page C12M-4 - 116 of 179).

HISTORY:

Brittany Bay Park, also known as Indian Creek Park, is a City-owned waterfront park on the Indian Creek Waterway. The Park serves as a leisure, open space park for residents and visitors with vegetation and winding pedestrian paths, as well as offering a free Villa fitness route and equipment stations.

SITE DATA:

Zoning: GU, Government
Future Land Use: GU, Recreation Open Space
Lot Size: 164,757 SF
Existing Seawall: 1060 LF
Proposed Rehabilitation: 540 LF
Proposed Living Shoreline: 14,093 SF

OPEN SPACE:

Existing Pervious Area 138,880 SF
Existing Impervious Area 25,877
Proposed Pervious Area 138,880 SF
Proposed Impervious Area 25,876 SF

SITE FURNITURE:

Current Benches 4
Proposed Benches 4
Current Bike Racks 1
Proposed Bike Racks 13

SURROUNDING PROPERTIES:

East: Indian Creek Drive/ Mid-Rise Residential
North: Three-story residential building
South: Seventeen-Story transient residential
West: Indian Creek Waterway

THE PROJECT:

The applicant has submitted plans titled 'Indian Creek Park Seawall Rehabilitation - 60% Submittal', as prepared by Brindley Pieters & Associates, Inc., dated November 30, 2016.

The applicant is requesting the approval for site plan improvements to Brittany Bay Park and the rehabilitation of the Indian Creek/Brittany Bay seawall incorporating a living seawall. The Brittany Bay Park Seawall Project proposes to rehabilitate the existing seawall which is currently failing in multiple areas along the aged seawall and incorporate a living shoreline where existing mangrove stands have naturally recruited. The existing seawall is approximately 1,030 linear feet. While the structural seawall is in fair conditions, the concrete cap is dilapidated and other minor repairs are necessary. Red mangrove stands have recruited along areas that are exposed to tidal flushing. The design calls for the restoration of approximately 530 linear feet of existing structural seawall, topped with a new concrete cap at an elevation of 5.7' NAVD.

The living shoreline is proposed along the remaining 500 linear feet of seawall, midpoint along the water edge. It is comprised of existing mangrove stands and other landscape species, as well as new native landscape species that will be introduced to provide shoreline stabilization. In addition, three overlook decks are proposed to connect park users to the living seawall's edge and allow the opportunity to inform users about the natural environment. The scope also includes improved pathways and site furniture, and pedestrian lighting to enhance security and safety.

ACCESSIBILITY COMPLIANCE

Additional information will be required for a complete review for compliance with the Florida Building Code 2001 Edition, Section 11 (Florida Accessibility Code for Building Construction). These and all accessibility matters shall require final review and verification by the Building Department prior to the issuance of a Building Permit.

CONCURRENCY DETERMINATION:

A final concurrency determination shall be conducted prior to the issuance of a Building Permit. Mitigation fees and concurrency administrative costs shall be paid prior to the project

receiving any Building Permit. Without exception, all concurrency fees shall be paid prior to the issuance of a Temporary Certificate of Occupancy or Certificate of Occupancy.

CONSISTENCY WITH COMPREHENSIVE PLAN:

A preliminary review of the project indicates that the proposed recreational use appears to be consistent with the ROS designation of the Future Land Use Map of the 2025 Comprehensive Plan. The main permitted uses in the ROS, Recreation Open Space Element are recreation and open space facilities.

COMPLIANCE WITH ZONING CODE:

The application, as submitted, appears to be consistent with the applicable requirements of the City Code. This shall not be considered final zoning review or approval. These and all zoning matters shall require final review and verification by the Zoning Administrator prior to the issuance of a Building Permit.

COMPLIANCE WITH DESIGN REVIEW CRITERIA:

Design Review encompasses the examination of architectural drawings for consistency with the criteria stated below with regard to the aesthetics, appearances, safety, and function of the structure or proposed structures in relation to the site, adjacent structures and surrounding community. Staff recommends that the following criteria be found to be satisfied, not satisfied or not applicable, as hereto indicated:

- The existing and proposed conditions of the lot, including but not necessarily limited to topography, vegetation, trees, drainage, and waterways.
Satisfied
- The location of all existing and proposed buildings, drives, parking spaces, walkways, means of ingress and egress, drainage facilities, utility services, landscaping structures, signs, and lighting and screening devices.
Satisfied
- The dimensions of all buildings, structures, setbacks, parking spaces, floor area ratio, height, lot coverage and any other information that may be reasonably necessary to determine compliance with the requirements of the underlying zoning district, and any applicable overlays, for a particular application or project.
Satisfied
- The color, design, selection of landscape materials and architectural elements of Exterior Building surfaces and primary public interior areas for Developments requiring a Building Permit in areas of the City identified in section 118-252.
Satisfied
- The proposed site plan, and the location, appearance and design of new and existing Buildings and Structures are in conformity with the standards of this Ordinance and other applicable ordinances, architectural and design guidelines as adopted and amended periodically by the Design Review Board and Historic Preservation Boards, and all pertinent master plans.
Satisfied

- The proposed Structure, and/or additions or modifications to an existing structure, indicates sensitivity to and is compatible with the environment and adjacent properties.
Satisfied
- The design and layout of the proposed site plan, as well as all new and existing buildings shall be reviewed to provide an efficient arrangement of land uses. Particular attention shall be given to safety, crime prevention and fire protection, relationship to the surrounding neighborhood, impact on contiguous and adjacent properties and lands, pedestrian sight lines and view corridors.
Satisfied
- Pedestrian and vehicular traffic movement within and adjacent to the site shall be reviewed to ensure that clearly defined, segregated pedestrian access to the site and conveniently arranged; pedestrian furniture and bike racks shall be considered. Access to the Site from adjacent roads shall be designed to interfere as little as possible with traffic flow on these roads and to permit vehicles a rapid and safe ingress and egress to the Site.
Satisfied
- Lighting shall be reviewed to ensure safe movement of persons and vehicles and reflection on adjacent properties. Lighting shall be reviewed to assure that it enhances the appearance of structures at night.
Satisfied
- Landscape and paving materials shall be reviewed to ensure an adequate relationship with and enhancement of the overall Site Plan design.
Satisfied
- Buffering materials shall be reviewed to ensure that headlights of vehicles, noise, and light from structures are adequately shielded from public view, adjacent properties and pedestrian areas.
Satisfied
- The proposed structure has an orientation and massing which is sensitive to and compatible with the building site and surrounding area and which creates or maintains important view corridor(s).
Satisfied
- The building has, where feasible, space in that part of the ground floor fronting a street or streets which is to be occupied for residential or commercial uses; likewise, the upper floors of the pedestal portion of the proposed building fronting a street, or being a residential or commercial space or shall have an architectural treatment of which shall buffer the appearance of the parking structure from the surrounding area and is integrated with the overall appearance of the project.
Satisfied

- The building shall have an appropriate and fully integrated rooftop architectural treatment which substantially screens all mechanical equipment, stairs and elevator towers.
Satisfied
- An addition on a building site shall be designed, sited and massed in a manner which is sensitive to and compatible with the existing improvement(s).
Not Applicable
- All portions of a project fronting a street or sidewalk shall incorporate an architecturally appropriate amount of transparency at the first level in order to achieve pedestrian compatibility and adequate visual interest.
Not Applicable
- The location, design, screening and buffering of all required service bays, delivery bays, trash and refuse receptacles, as well as trash rooms shall be arranged so as to have a minimal impact on adjacent properties.
Not Applicable

STAFF ANALYSIS:

DESIGN REVIEW

Brittany Bay Park is a city owned 4-acre waterfront park on the Indian Creek Waterway. The initial scope of the Brittany Bay Park Seawall Project was to rehabilitate the existing seawall as it stands. However, the rehabilitation of the existing seawall would have required the removal of 72 mangroves, 23 buttonwoods and additional trees, many of which were native and specimen-sized, along the shoreline. Since the protection of mangroves is a priority to the City of Miami Beach, the Project's scope evolved to include the protection of the existing mangrove stands and introduce a natural shoreline within the existing structural seawall.

The Sustainability and Resiliency Committee has directed City staff to develop living shorelines along City seawalls, where appropriate. The seawall at Brittany Park was selected since it is one of the few seawalls in the City that can accommodate a living shoreline and wetland habitat. Given its deteriorating seawall cap, as well as the natural recruitment of mangroves along the seawall, the site presented a unique opportunity to build a living shoreline together with a structural seawall. At the Committee's January 18, 2017 meeting, City Commissioners supported the concept design for Brittany Bay Park's seawall rehabilitation with the integration of a living shoreline.

The proposed rehabilitation to the Brittany Bay Park seawall will be the first hybrid design where the City incorporates a structural seawall with a living shoreline. The hybrid design preserves the existing mangrove stands, as well as proposes an abundance of landscape both at the shoreline and within the park. Moreover, the shoreline serves as an educational tool to residents and visitors of the Park, demonstrating the importance of resilient species for shoreline stabilization and alternative options to strictly grey infrastructure. Educational signage will focus on sea level rise outreach and the role of natural system in building resiliency.

In addition to the rehabilitation and construction of a hybrid seawall, the design includes site improvements to the existing park and the construction of three overlooks that connect the

park, through the living shoreline, to the water's edge. The proposed improvements include a new pedestrian pathway along the land edge of the living shoreline, improvements to existing pathways, replacement of existing benches with new, wooden benches, new bike racks and trash receptacles, and new site lighting to enhance security and safety. Staff recommends the review of the design and details, including materials and finishes.

The proposed overlooks connect the park to the water's edge. They are set amid the brush of the living shoreline and project 35'-0" westward, extending 3'-0" beyond the seawall. The overlooks are triangular in design, embraced on three sides by contemporary railings, with composite wood deck flooring. Staff recommends the review and approval of the final design of the overlook and railings, including materials and finishes.

Planning staff originally raised fairly significant concerns related to the impact of the project on existing canopy shade trees along the edge of the seawall. Upon the issuance of our comments related to potential tree removal, Planning staff inspected the site in conjunction with staff from the Tree Forestry Division (Urban Forester), CIP, Environmental and Sustainability Department, as well as the Landscape Architect for the project to explore changes that would maximize the preservation of existing matured canopy shade trees and relocation, if feasible. The consultant for the project has since revised the plans to more accurately reflect the field findings that will ensure the preservation of most of the large canopy shade trees. It is important to note that a significant number of existing trees that make up the existing green buffer consist of Mahoe (Hibiscus illiaceus L.) which is listed as a prohibited / invasive plant species by Miami-Dade County and will be required to be removed as part of the park renovation.

RECOMMENDATION:

In view of the foregoing analysis, staff recommends the application be approved, subject to the conditions enumerated in the attached Draft Order, which address the inconsistencies with the aforementioned Design Review criteria.

TRM/JGM/FSC

F:\PLANS\DRB\DRB1703-07-2017\MAR17 Staff Reports\DRB16-0101 6444 Indian Creek Drive.MAR17.doc

DESIGN REVIEW BOARD
City of Miami Beach, Florida

MEETING DATE: March 07, 2017

FILE NO: DRB16-0101

PROPERTY: 6444 Indian Creek Drive--Brittany Bay Park

APPLICANT: City of Miami Beach

LEGAL: Lots 1-12, Block 3, Amended Plat of SECOND OCEAN FRONT SUBDIVISION, According to the Plat thereof as recorded in Plat Book 28, Page 28, Public Records of Miami-Dade County, Florida.

IN RE: The applicant, the City of Miami Beach, is requesting Design Review Approval for site plan improvements to Brittany Bay Park and the rehabilitation of the Indian Creek/Brittany Bay seawall incorporating a living seawall and construction of three viewing platforms

ORDER

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

I. Design Review

- The Board has jurisdiction pursuant to Section 118-252(a) of the Miami Beach Code. The property is not located within a designated local historic district and is not a individually designated historic site.
- Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is consistent with Design Review Criteria in Section 118-251 of the Miami Beach Code.
- The project would remain consistent with the criteria and requirements of section 118-251 if the following conditions are met:
 - Revised elevation, and site plan drawings shall be submitted to and approved by staff; at a minimum, such drawings shall incorporate the following:
 - The final design and details of the proposed overlook deck, including materials and finishes, shall be provide, subject to the review and approval of staff.
 - The pier deck planks may alternatively be of a durable composite material designed for marine use, subject to the review and approval of staff.

- The final design and details, including materials and finishes, of the proposed seating, trash receptacles and bike racks shall be provided, subject to the review and approval of staff.
 - The final design and details of all lighting fixtures shall be required, subject to the review and approval of staff.
 - Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.
- A revised landscape plan, prepared by a Professional Landscape Architect, registered in the State of Florida, and corresponding site plan, shall be submitted to and approved by staff. The species type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plan shall incorporate the following:
 - Prior to the issuance of a building permit, the applicant shall submit a tree protection plan for all trees to be retained on site. Such plan shall be subject to the review and approval of staff, and shall include, but not be limited to a study tree protection fence installed at the dripline of the trees prior to any construction.
 - In order to identify, protect and preserve mature trees on site, which are suitable for retention and relocation, a Tree Report prepared by a Certified Tree Arborist shall be submitted for the mature trees on site.
 - Any tree identified to be in good overall condition shall be retained, and protected in their current location if they are not in conflict with the proposed home, or they shall be relocated on site. A tree care and watering plan, subject to the review and approval of staff. A tree care and watering plan, also prepared by a Certified Arborist shall be submitted prior to the issuance of a Building Permit or Tree Removal/Relocation Permit. Subsequent to any approved relocation, a monthly report prepared by a Certified Arborist shall be provided to staff describing the overall tree performance and adjustments to the maintenance plan in order to ensure survivability, such report shall continue for a period of 18 months unless determined otherwise by staff.
 - Existing trees to be retained on site shall be protected from all types of construction disturbance. Root cutting, storage of soil or construction materials, movement of heavy vehicles, change in drainage patterns, and wash of concrete or other materials shall be prohibited.
 - Prior to the issuance of a Certificate of Occupancy, the Landscape Architect for the project architect shall verify, in writing, that the project is consistent with the site and landscape plans approved by the Planning Department for Building Permit.

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DRB16-0101--6444 Indian Creek Drive
March 07, 2017

f. Prior to any site work, the CIP Office shall coordinate and be responsible for making sure that the CMB Urban Forester has the opportunity to oversee and approve any tree work related to the project. An independent Certified Arborist should also be retained as part of the consulting team in order to assist the contractor during the construction in order to evaluate tree conditions and make recommendations periodically.

In accordance with Section 118-252, the applicant, or the city manager on behalf of the city administration, or an affected person, Miami Design Preservation League or Dade Heritage Trust may seek review of any order of the Design Review Board by the city commission, except that orders granting or denying a request for rehearing shall not be reviewed by the commission.

II. Variance(s)
A. No variance(s) were filed as part of this application.

III. General Terms and Conditions applying to both 'I. Design Review Approval' and 'II. Variances' noted above.

A. Where one or more parcels are unified for a single development, the property owner shall execute and record a unity of title or a covenant in lieu of unity of title, as may be applicable, in a form acceptable to the City Attorney. If there is a roadway or right-of-way between parcels, that parcel separated from the remaining development shall not be considered a unified development site and shall not be joined into the covenant in lieu of unity of title or unity of title for the actual unified development site.

B. A Construction Parking and Traffic Management Plan (CPTMP) shall be approved by the Parking Director pursuant to Chapter 106, Article II, Division 3 of the City Code, prior to the issuance of a Building Permit.

C. The final building plans shall meet all other requirements of the Land Development Regulations of the City Code.

D. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.

E. Satisfaction of all conditions is required for the Planning Department to give its approval on a Certificate of Occupancy; a Temporary Certificate of Occupancy or Partial Certificate of Occupancy may also be conditionally granted Planning Departmental approval.

F. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.

G. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.

H. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

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DRB16-0101--6444 Indian Creek Drive
March 07, 2017

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendations which were adopted by the Board, that the Application for Design Review approval is GRANTED for the above-referenced project subject to those certain conditions specified in Paragraph I, II, III of the Findings of Fact, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans, entitled "Indian Creek Park Seawall Rehabilitation - 60% Submittal", as prepared by Brindley Pieters & Associates, Inc., dated, signed and sealed 11/30/16, and as approved by the Design Review Board, as determined by staff.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order. No building permit may be issued unless and until all conditions of approval that must be satisfied prior to permit issuance, as set forth in this Order, have been met.

The issuance of the approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including final zoning approval. If adequate handicapped access is not provided on the Board-approved plans, this approval does not mean that such handicapped access is not required. When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

If the Full Building Permit for the project is not issued within eighteen (18) months of the meeting date at which the original approval was granted, the application will expire and become null and void, unless the applicant makes an application to the Board for an extension of time, in accordance with the requirements and procedures of Chapter 118 of the City Code; the granting of any such extension of time shall be at the discretion of the Board. If the Full Building Permit for the project should expire for any reason (including but not limited to construction not commencing and continuing, with required inspections, in accordance with the applicable Building Code), the application will expire and become null and void.

In accordance with Chapter 118 of the City Code, the violation of any conditions and safeguards that are a part of this Order shall be deemed a violation of the land development regulations of the City Code. Failure to comply with this Order shall subject the application to Chapter 118 of the City Code, for revocation or modification of the application.

Dated this _____ day of _____, 20_____.

DESIGN REVIEW BOARD
THE CITY OF MIAMI BEACH, FLORIDA

BY: _____
JAMES G. MURPHY
CHIEF OF URBAN DESIGN
FOR THE CHAIR

Page 5 of 5
DRB16-0101--6444 Indian Creek Drive
March 07, 2017

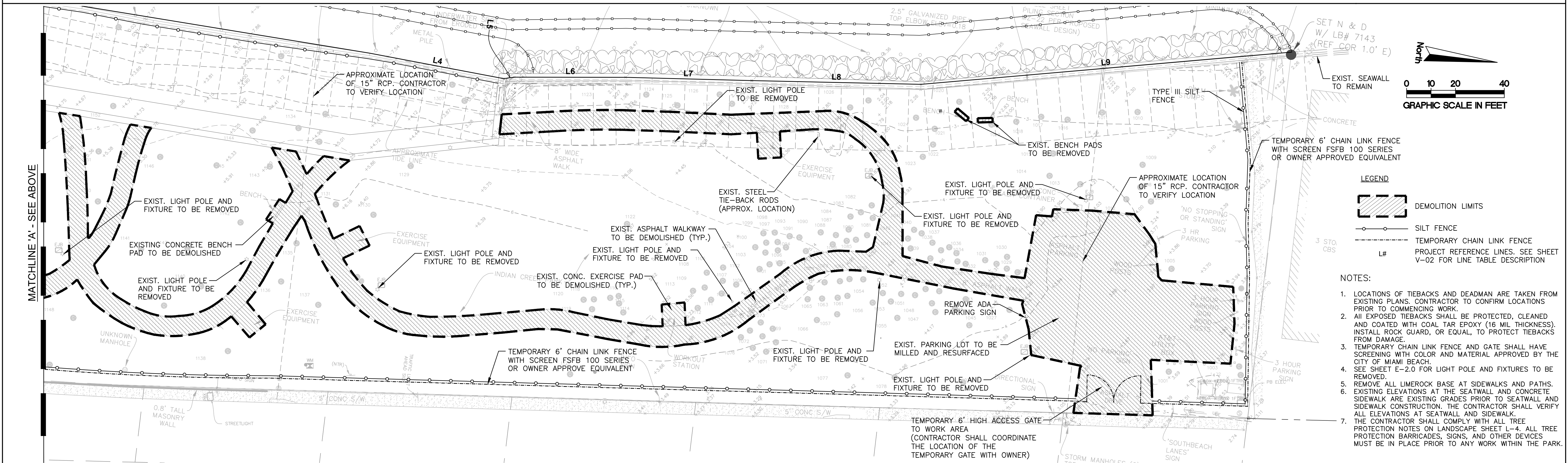
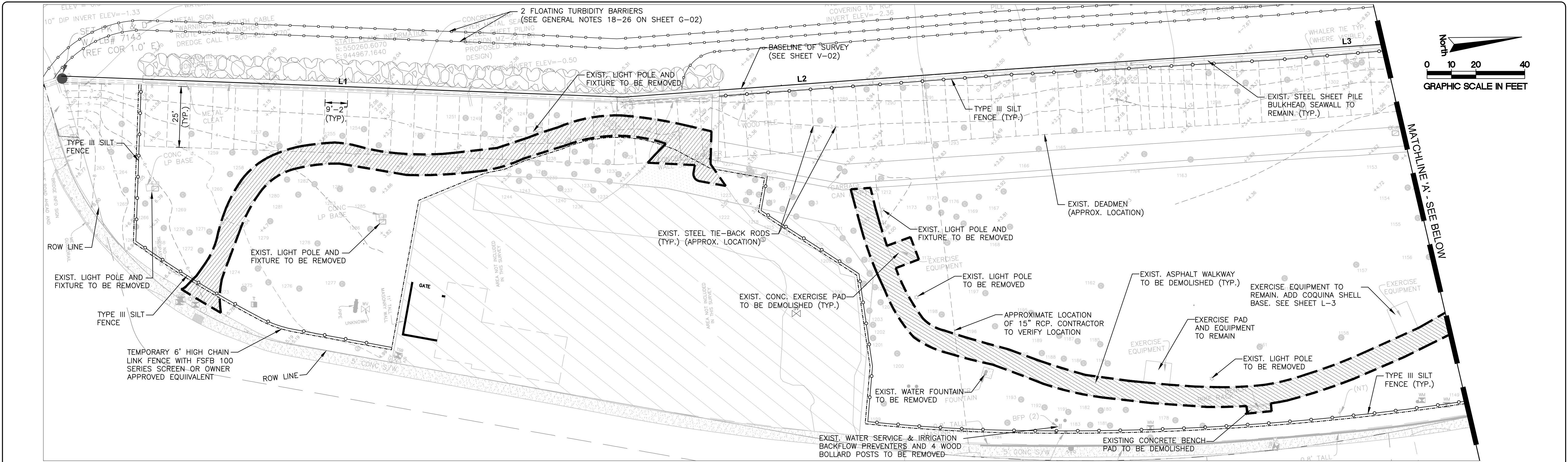
STATE OF FLORIDA)
)SS
COUNTY OF MIAMI-DADE)
The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by James G. Murphy, Chief of Urban Design, Planning Department, City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the Corporation. He is personally known to me.

NOTARY PUBLIC
Miami-Dade County, Florida
My commission expires: _____

Approved As To Form:
City Attorney's Office: _____ (_____)

Filed with the Clerk of the Design Review Board on _____ (_____)

F:\PLANS\DRB\DRB1703-07-2017\MAR17 Final Orders\DRFT DRB16-0101 6444 Indian Creek Drive MAR17.FD.docx



MIAMI BEACH

OFFICE OF CAPITAL IMPROVEMENT PROJECTS

1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139

PROJECT:

BRITTANY BAY PARK RENOVATION

ADDRESS:

6444 INDIAN CREEK DRIVE, MIAMI BEACH, FL. 33141

BPA

Brindley Pieters & Associates, Inc.

815 NW 57th Avenue,
Suite 200-11, Miami, FL 33128
Certificate of Authorization Number 5993

SUB-CONSULTANT

ENGINEER OF RECORD: MRH

DESIGN ENGINEER: BPA

DRAWN BY: NJL

CHECKER: RA

SCALE: AS INDICATED

ENGINEER OF RECORD:

NO.81665

5

4

3

2

1

NO.

DATE

REVISION

APP'D. BY

Drawing Title:

DEMOLITION PLAN

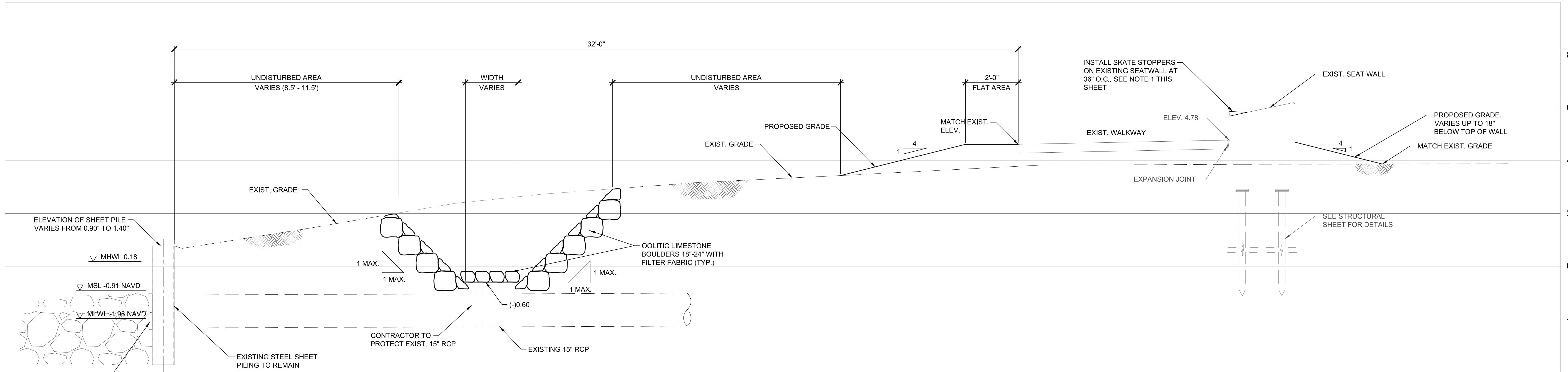
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Date: 10/12/20

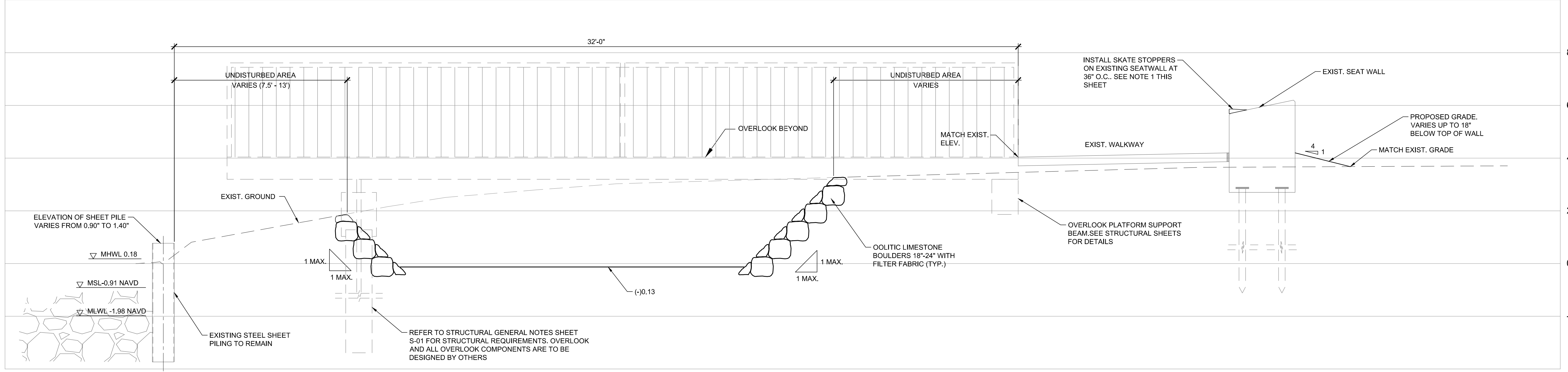
Sheet: 8 of 48

Drawing No.:

C-01



1 LIVING SHORE SECTION
1/2" = 1' - 0"



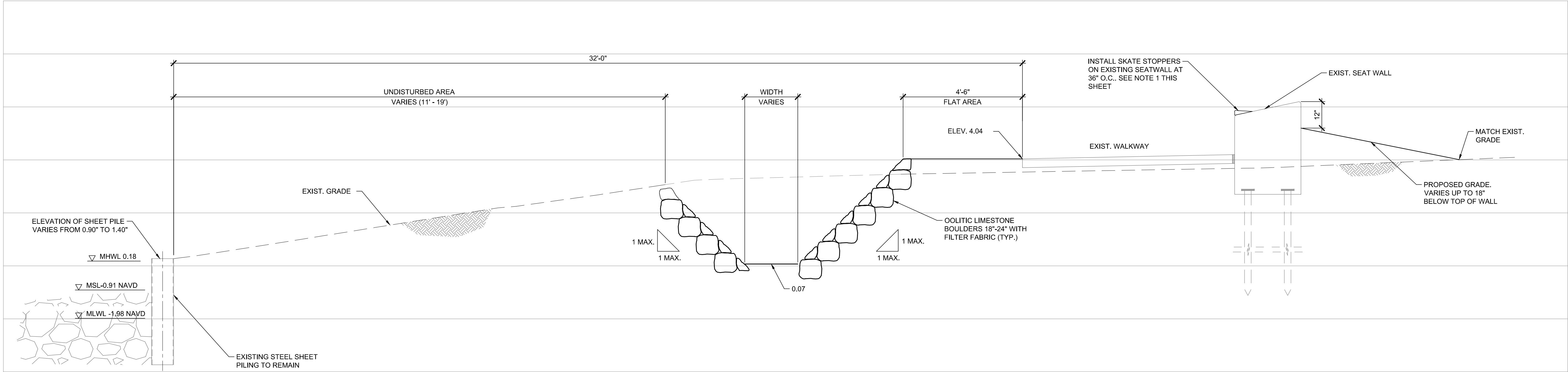
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1/2" = 1' - 0"

OVELOOK NOTES:

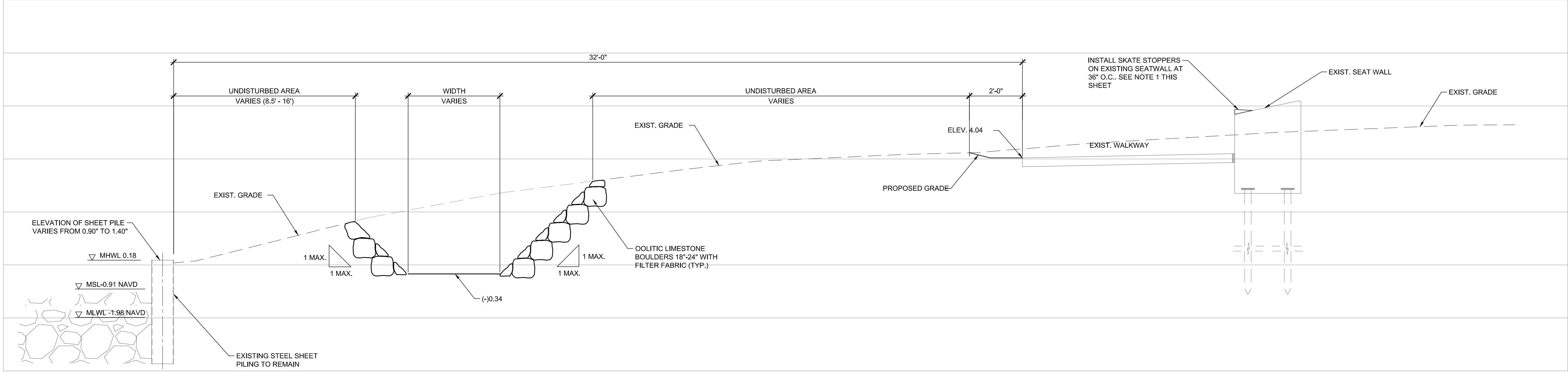
1. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF THE EXISTING DEADMEN, AND TIEBACKS. ALL EXPOSED TIEBACKS SHALL BE PROTECTED, CLEANED AND COATED WITH COAL TAR EPOXY (16 MIL THICKNESS). INSTALL ROCK GUARD, OR EQUAL, TO PROTECT COATED TIEBACKS FROM DAMAGE. SEE SHEET C-08 FOR DETAIL.
2. CONTRACTOR TO CONFIRM LOCATIONS OF ALL EXISTING TIE-BACKS PRIOR TO EXCAVATION AND PIPE INSTALLATION.

NOTES:

1. CONTRACTOR TO INSTALL PER MANUFACTURER'S INSTRUCTIONS THE SERIES G135-SS SURFACE MOUNT STAINLESS STEEL SKATE STOPPERS AT 36" O.C. CONTRACTOR TO CONFIRM CHAMFER EDGE DIMENSIONS OF SEATWALL PRIOR TO ORDERING SKATE STOPPERS.



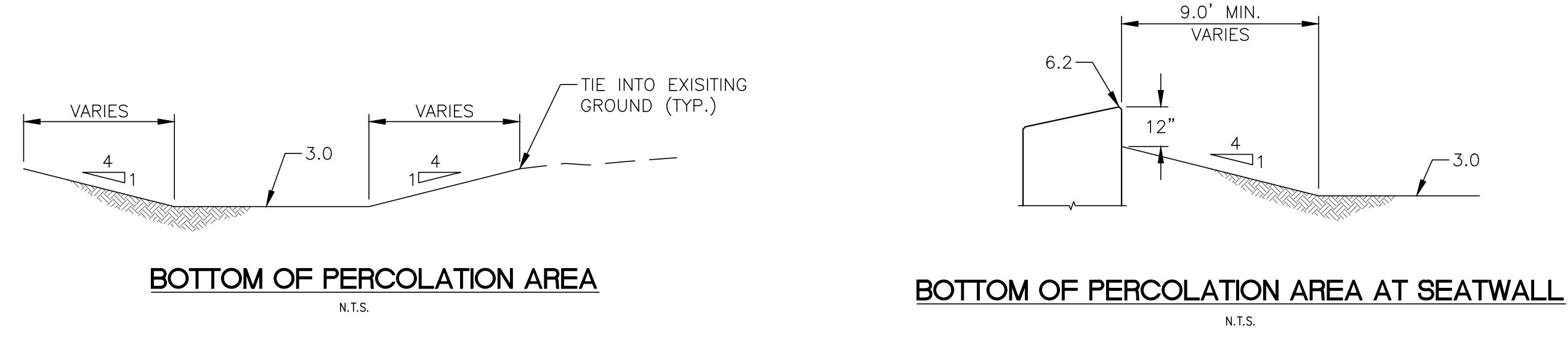
3 LIVING SHORE SECTION
1/2" = 1' - 0"



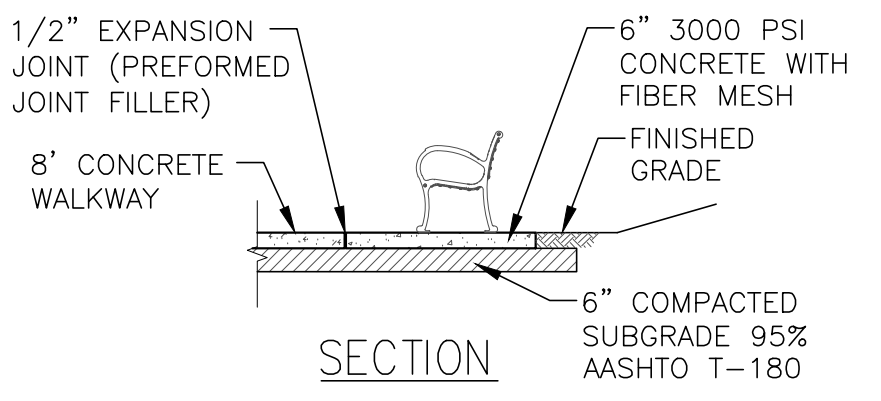
4 LIVING SHORE SECTION
1/2" = 1' - 0"

- OVERLOOK NOTES:
1. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF THE EXISTING DEADMEN, AND TIEBACKS. ALL EXPOSED TIEBACKS SHALL BE PROTECTED, CLEANED AND COATED WITH COAL TAR EPOXY (16 MIL THICKNESS). INSTALL ROCK GUARD, OR EQUAL, TO PROTECT COATED TIEBACKS FROM DAMAGE. SEE SHEET C-08 FOR DETAIL.
 2. CONTRACTOR TO CONFIRM LOCATIONS OF ALL EXISTING TIE-BACKS PRIOR TO EXCAVATION AND PIPE INSTALLATION.

- NOTES:
1. CONTRACTOR TO INSTALL PER MANUFACTURER'S INSTRUCTIONS THE SERIES G135-SS SURFACE MOUNT STAINLESS STEEL SKATE STOPPERS AT 36" O.C. CONTRACTOR TO CONFIRM CHAMFER EDGE DIMENSIONS OF SEATWALL PRIOR TO ORDERING SKATE STOPPERS.



BOTTOM OF PERCOLATION AREA AT SEATWALL



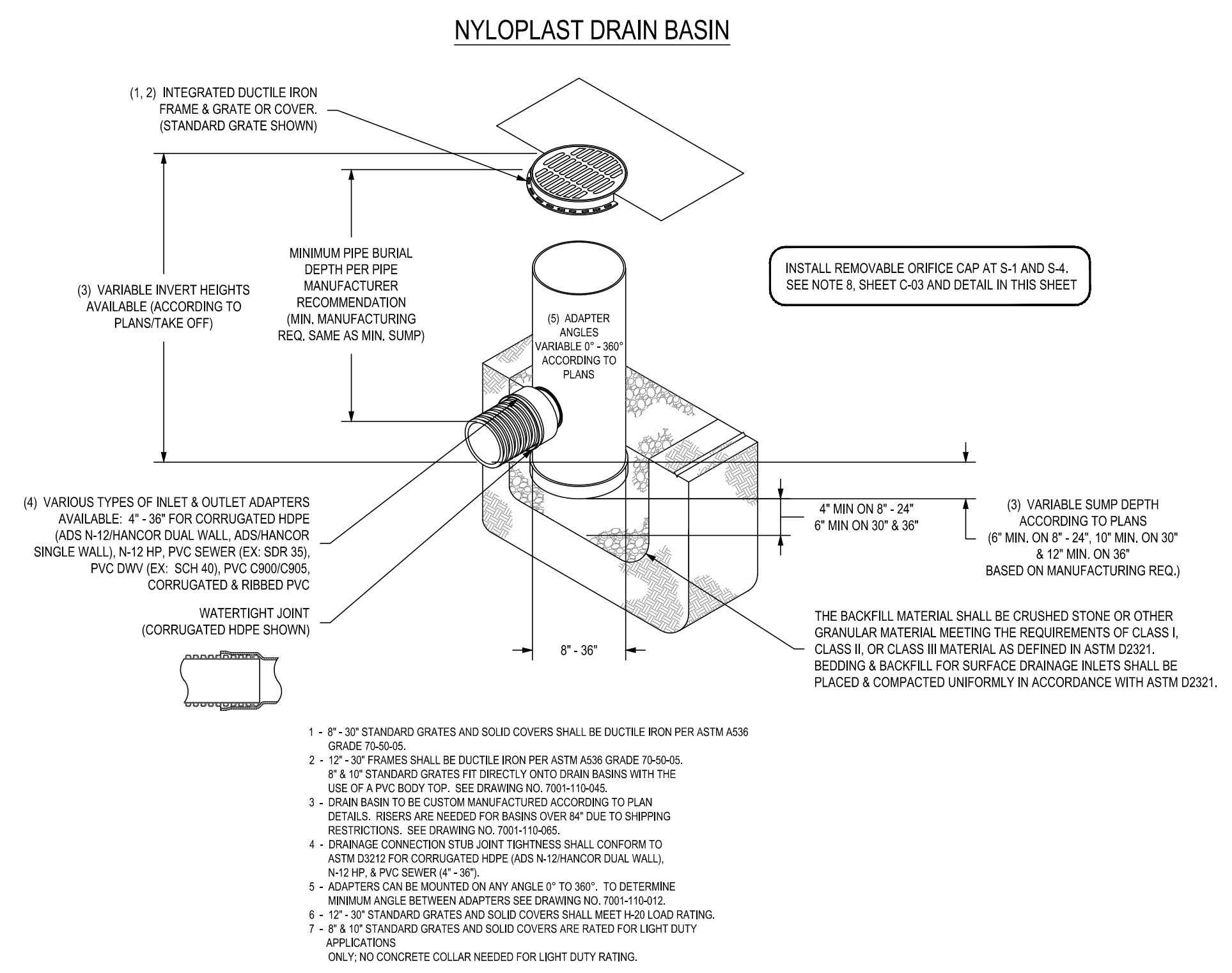
- NOTES:**
1. BENCH PAD W/LIGHT BROOM FINISH & TROWELED EDGE.
 2. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
 3. BENCH PAD AND ADJACENT ACCESSIBLE AREA TO HAVE A CROSS SLOPE NOT TO EXCEED 2% IN ANY DIRECTION.
 4. SURFACE MOUNT BENCH TO SLAB WITH CONCRETE ANCHOR PER MANUFACTURER SPECIFICATIONS.

Diagram illustrating a vertical container assembly with the following components labeled:

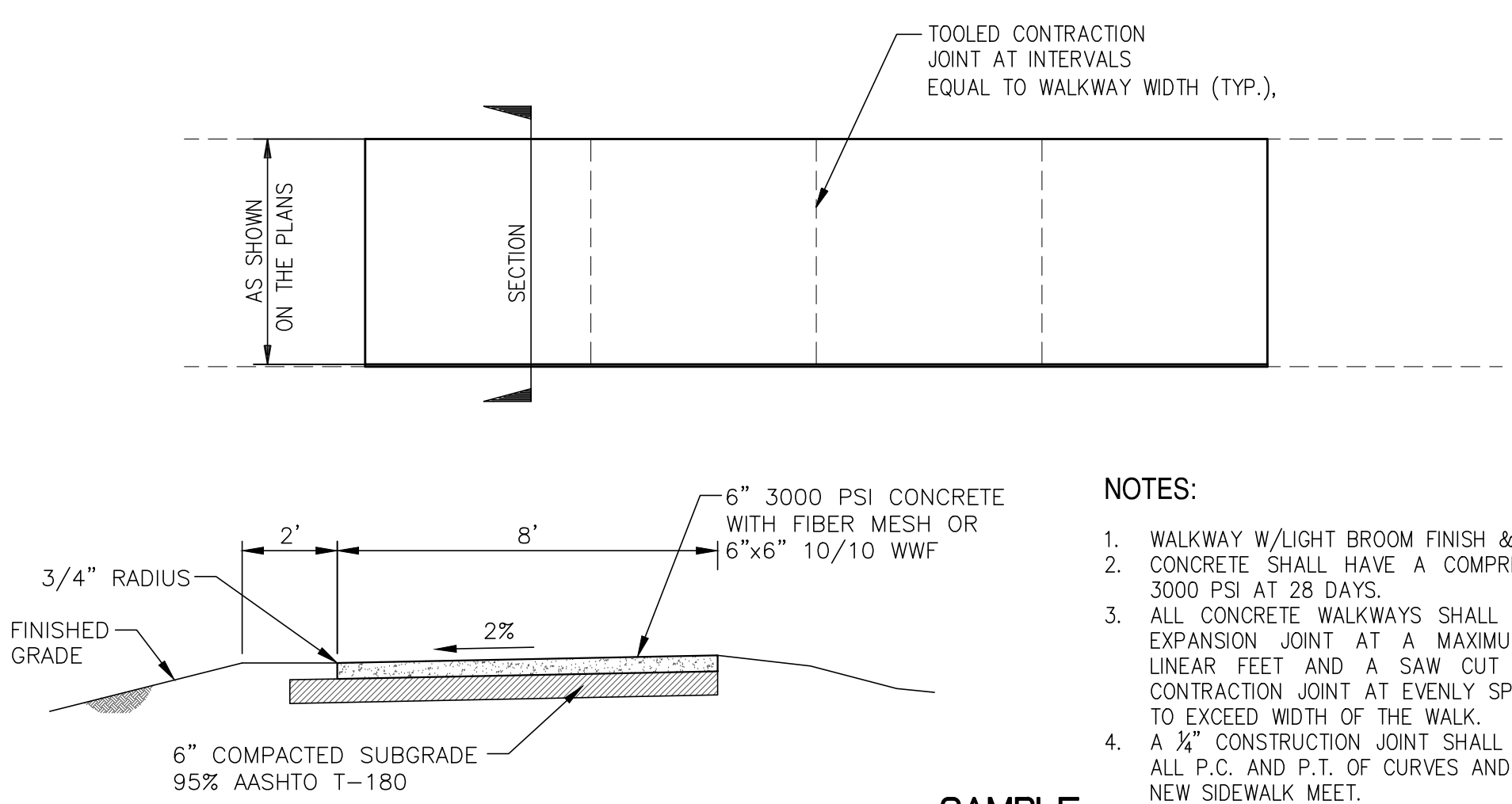
- NO ORIFICE OPENING
- FRAME AND SOLID COVER
- DRAIN BASIN
- OUTLET WITH ORIFICE CAP
- REMOVABLE OUTLET ORIFICE CAP

NOTE:

CONTRACTOR TO INSTALL NYLOPLAST ORIFICE CAP PRIOR TO WORK LANDSIDE OF SEAWALL WITHIN CONFINES OF SEATWALL. REMOVE ORIFICE CAP AT COMPLETION OF ALL WORK LANDSIDE OF SEAWALL WITHIN THE CONFINES OF THE SEATWALL

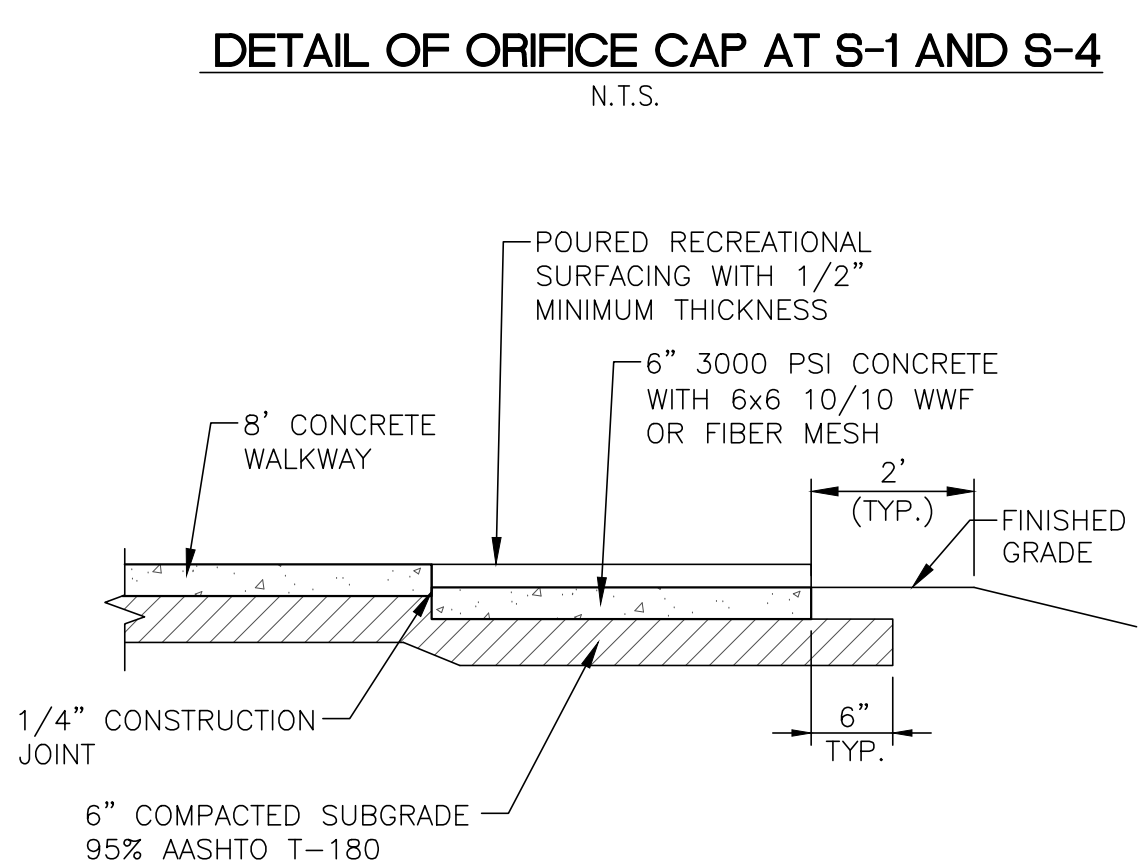


SECTION 2721
ENGINEERED SURFACE DRAINAGE PRODUCTS



- NOTES:**
1. WALKWAY W/LIGHT BROOM FINISH & TROWELED EDGE.
 2. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
 3. ALL CONCRETE WALKWAYS SHALL HAVE A FULL 1/2" EXPANSION JOINT AT A MAXIMUM DISTANCE OF 30 LINE FEET AND A SAW CUT OR FORMED DUMMY CONTRACTION JOINT AT EVENLY SPACED INTERVALS NOT TO EXCEED WIDTH OF THE WALK.
 4. A 3/4" CONSTRUCTION JOINT SHALL BE CONSTRUCTED AT ALL P.C. AND P.T. OF CURVES AND WHERE EXISTING AND NEW SIDEWALK MEET.

TYPICAL CONCRETE WALKWAY DETAIL



EXERCISE PAD DETAIL



TYPICAL STRIPING DETAIL
SCALE: 1"=1'



1. HANDICAP SPACE IS TO BE OUTLINED IN A 4" BLUE THERMOPLASTIC STRIPE.
2. PAINT CURB AND WHEEL STOP BLUE.

TYPICAL ACCESSIBLE PARKING STALLS
1"=10'

NOTES:

1. ORDER FWAS24 KIT WITH FWPB24 BOTTOM.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. WRAP FLO-WELL DRY WELL WITH FLO-WELL FILTER FABRIC (FWFF67)

FLO-WELL DRY WELL SYSTEM

N.T.S.



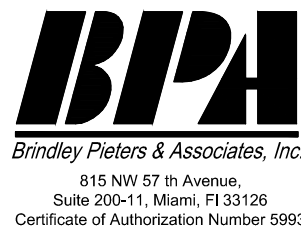
128	550561.23	945115.64	SWLK EDGE
129	550596.53	945124.05	SWLK EDGE
130	550595.98	945116.07	SWLK EDGE
131	550651.97	945126.86	SWLK EDGE
132	550652.74	945118.90	SWLK EDGE
133	550705.71	945118.48	SWLK EDGE
134	550702.14	945111.19	SWLK EDGE
135	550763.71	945084.77	SWLK EDGE
136	550764.05	945076.77	SWLK EDGE
137	550822.55	945122.29	SWLK EDGE
138	550828.94	945098.93	SWLK EDGE
139	550835.67	945094.61	SWLK EDGE
140	550807.59	945058.86	SWLK EDGE
141	550815.58	945059.22	SWLK EDGE
142	550808.24	945044.49	BEGIN/END SWLK
143	550837.01	945121.71	SWLK EDGE
144	550863.80	945114.09	SWLK EDGE
145	550914.76	945104.41	SWLK EDGE
146	550913.08	945096.59	SWLK EDGE
147	550964.75	945105.71	SWLK EDGE
148	550963.07	945097.83	SWLK EDGE
149	551007.75	945082.73	SWLK EDGE
150	551002.32	945076.86	SWLK EDGE
151	551039.04	945064.81	SWLK EDGE
152	551038.25	945056.84	SWLK EDGE
153	551063.82	945065.88	SWLK EDGE
154	551110.30	945068.90	END SWLK
155	551064.34	945057.89	SWLK EDGE
156	551056.47	945031.40	SWLK EDGE

157	551048.49	945032.00	SWLK EDGE
158	551017.59	945001.40	SWLK EDGE
159	551019.04	945009.27	SWLK EDGE
160	550942.89	945011.03	SWLK EDGE
161	550943.60	945019.00	SWLK EDGE
162	550923.01	945013.23	SWLK EDGE
163	550924.29	945021.22	SWLK EDGE
164	550905.24	945025.16	SWLK EDGE
165	550903.43	945017.37	SWLK EDGE
166	550892.86	945008.47	BEGIN/END SWALE
167	550931.94	945003.25	CL SWALE
168	550981.69	944998.26	CL SWALE
169	551031.43	944993.24	CL SWALE
170	551080.89	944985.88	CL SWALE
171	551129.80	944975.47	CL SWALE
172	551178.70	944965.06	BEGIN/END SWALE
173	550511.40	945002.82	CL SWALE
174	550638.78	945015.63	CL SWALE
175	550660.37	945011.60	CL SWALE
176	550763.24	945012.09	CL SWALE

NOTES:

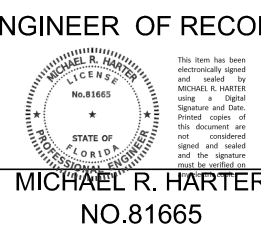
1. SEE SHEET C-03 FOR ELEVATION POINTS LOCATIONS.

PROJECT:	BRITTANY BAY PARK RENOVATION
ADDRESS:	6444 INDIAN CREEK DRIVE, MIAMI BEACH, FL. 33141




SUB-CONSULTANT

ENGINEER OF RECORD	MRH
DESIGN ENGINEER	BPA
DRAWN BY:	NJL
CHECKER:	RA
SCALE:	AS INDICATED



ENGINEER OF RECORD:



This plan has been electronically signed and sealed by MICHAEL R. HARTER using a digital signature and PIN. Printed copies of this document are not considered signed and sealed and the signature must be printed on the plan.

MICHAEL R. HARTER
NO.81665

5		
4		
3		
2		
1	.	.
NO.	DATE	

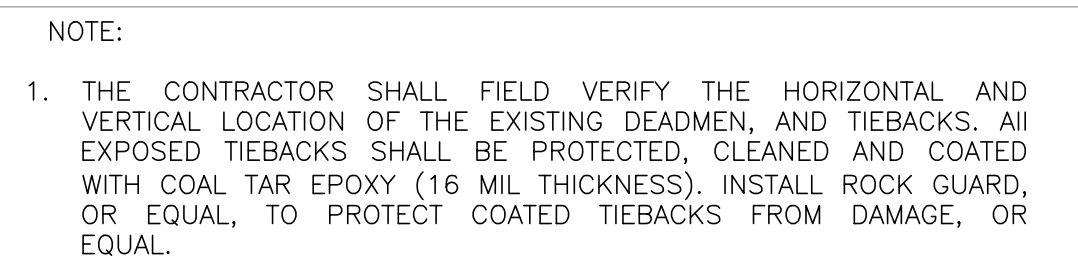
Drawing Title:

CIVIL DETAILS

Filename:	471A-C-06-07.dwg		
Date:	10/12/20	Sheet:	14 of 48

Drawing No.:

C-07



4" Min.
5" Max.

5/8" Or 3/4" Holes

5" Min.
6" Max.

Pitch Optional

2" Min.
3" Max.

8" Min.
9" Max.

R=2"
Cast Or
Rubbed

12"(±)

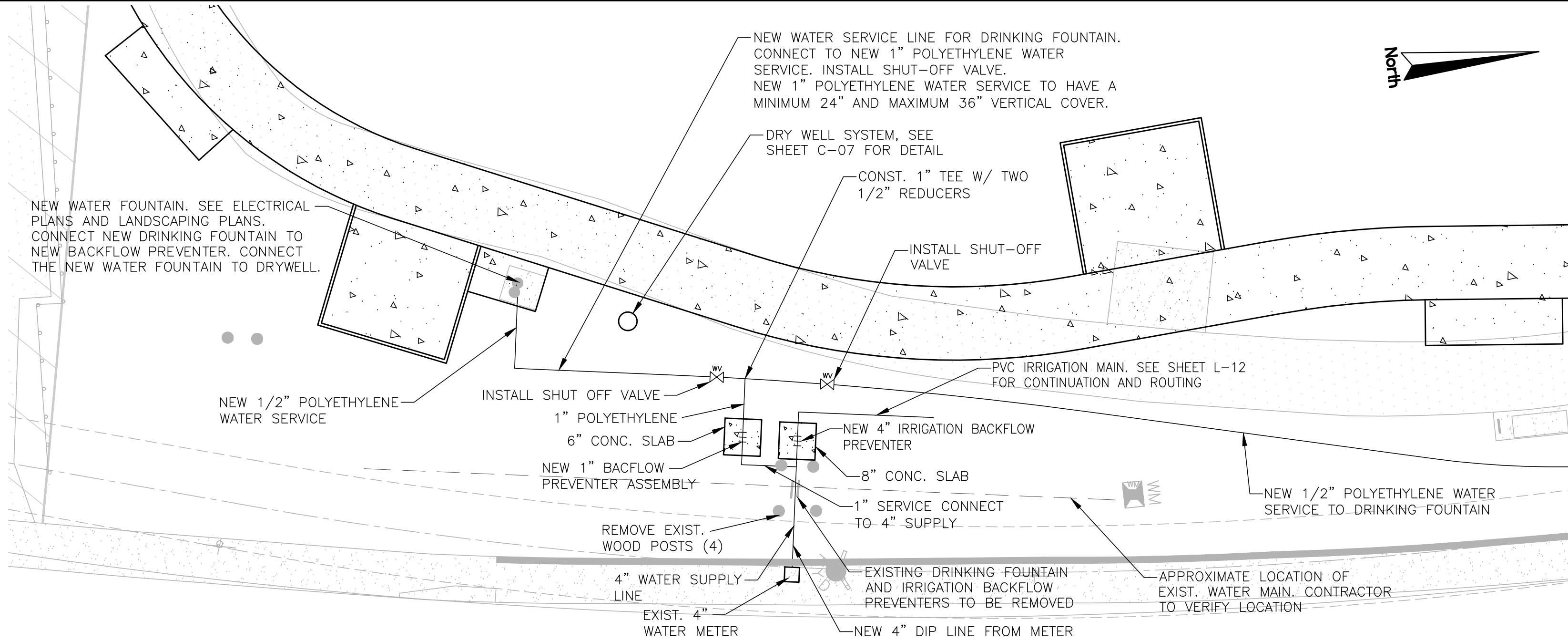
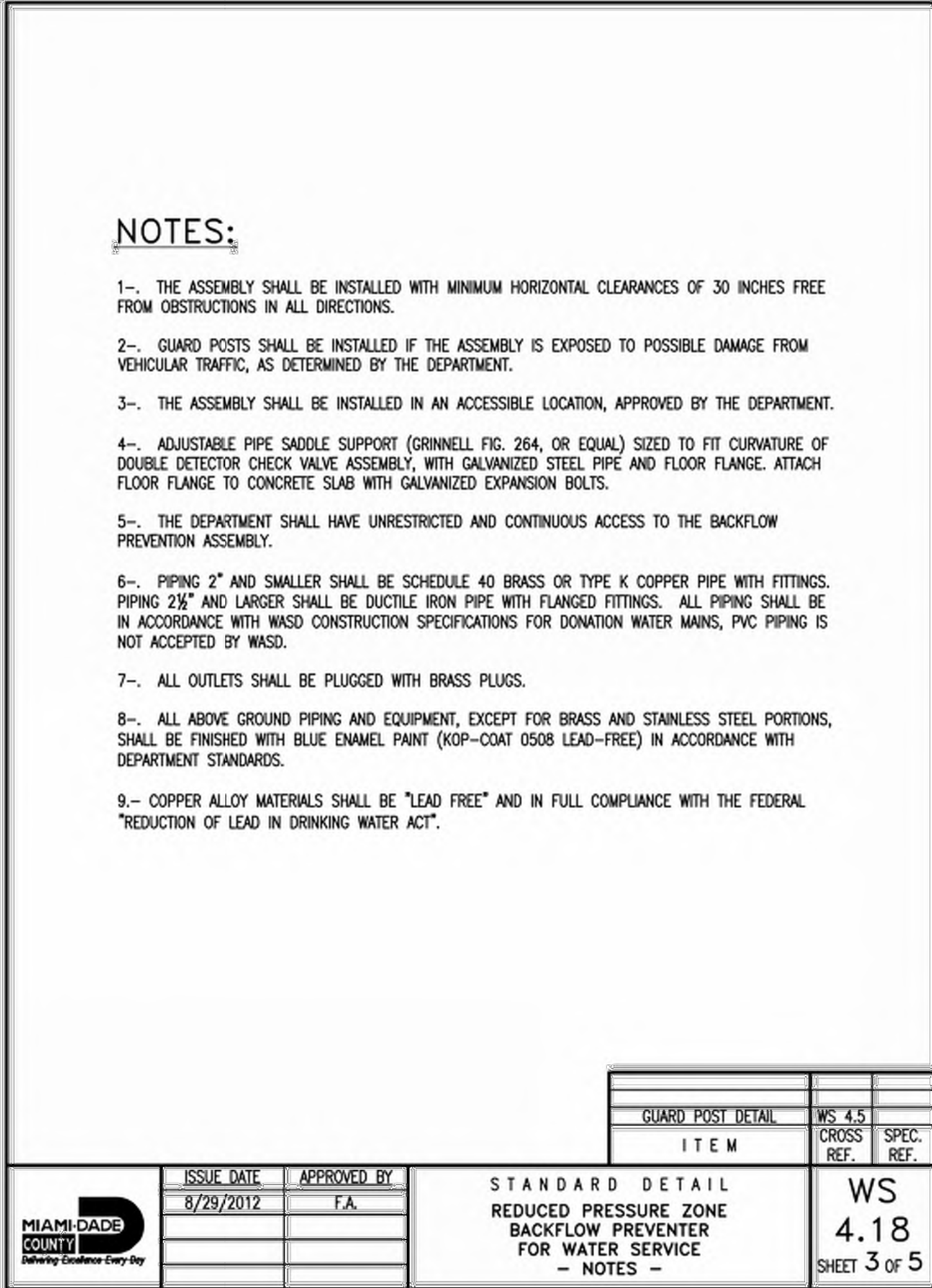
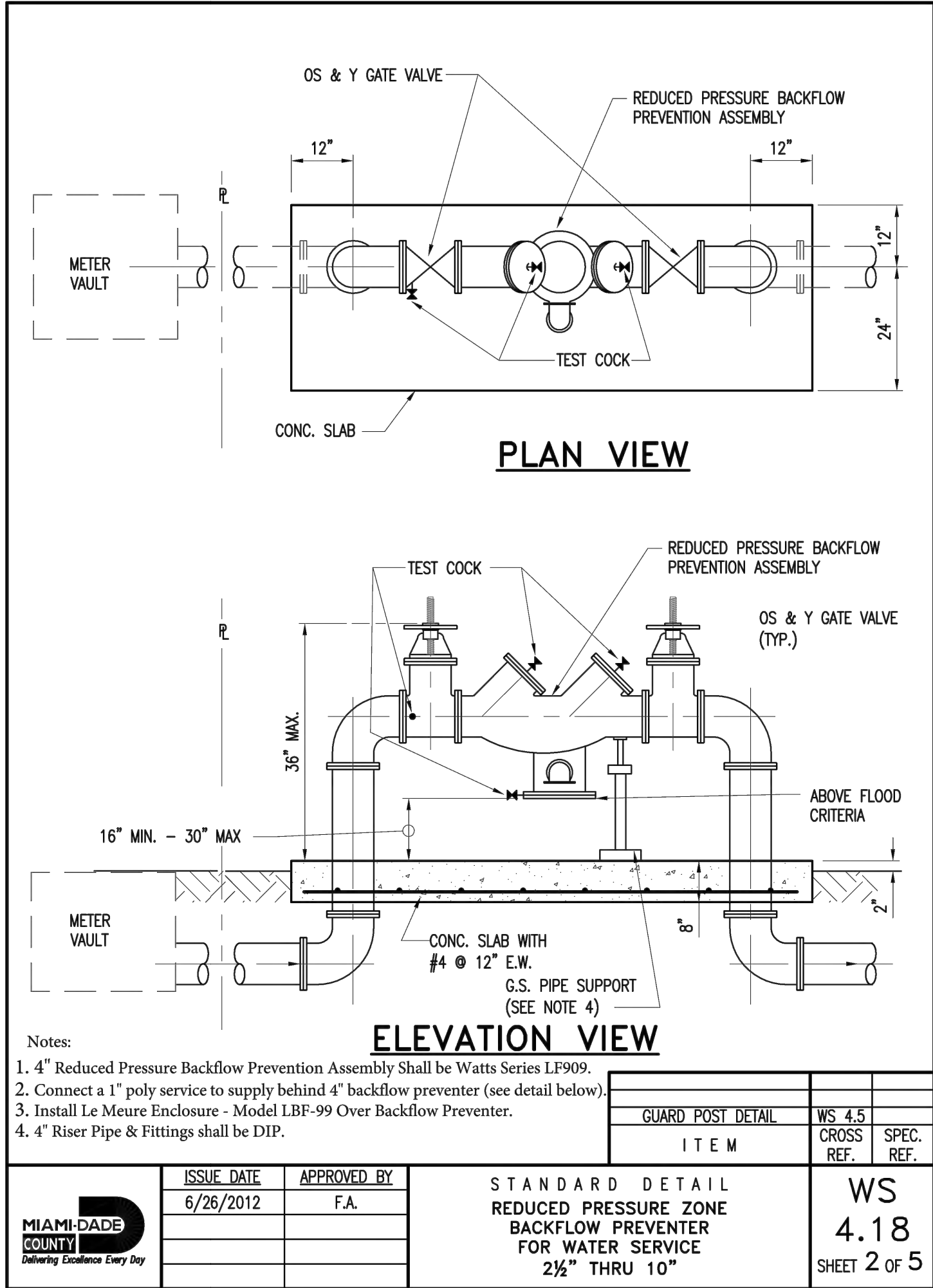
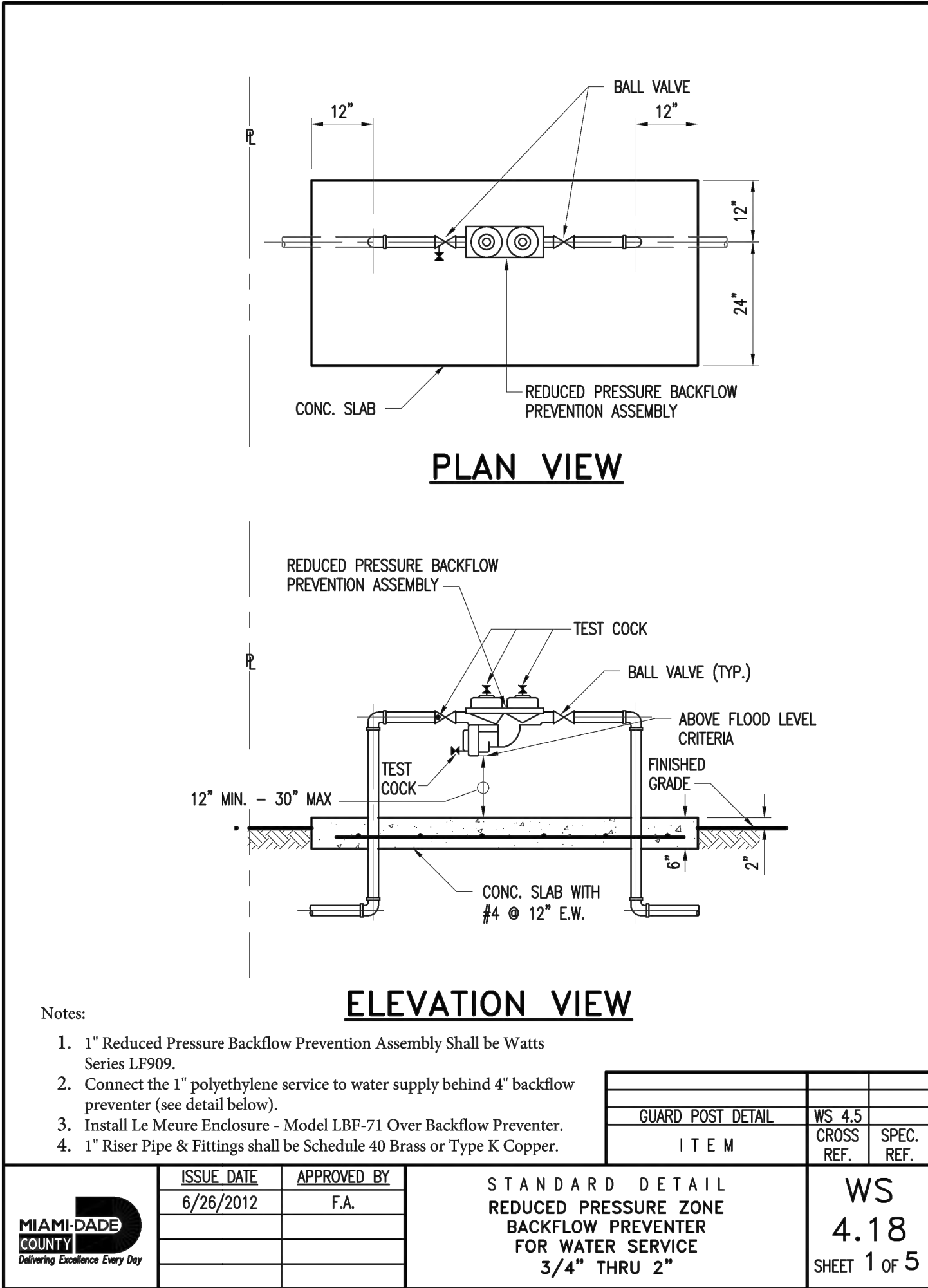
6'-0"

2" Min.
3" Max.

#4 Bars, 18" Long
(Two Per Guard)

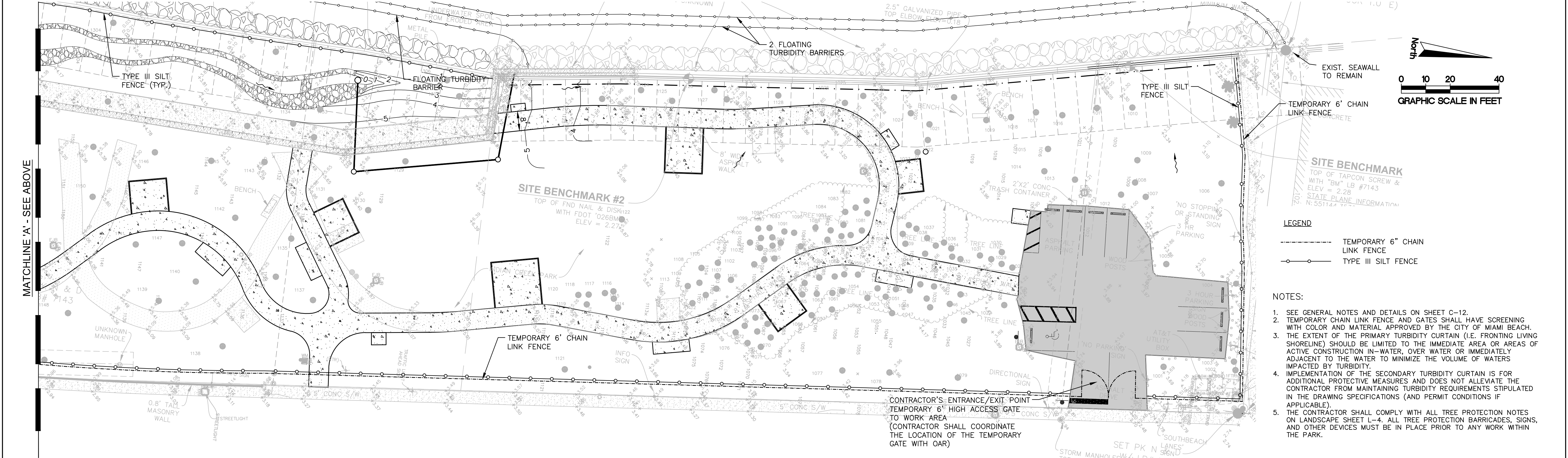
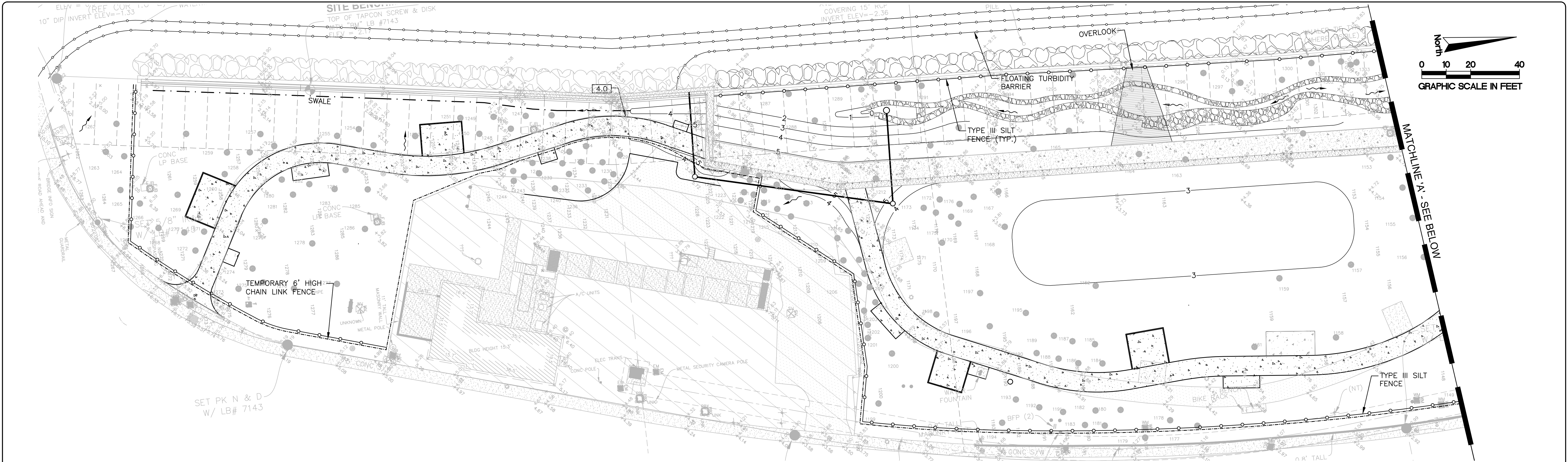
NOTE:
SYMBOL TO BE PAINTED AT THE ACCESSIBLE
PARKING SPACE. SEE SHEET C-02









PLAN DETAIL AT WATER SERVICE POINT OF CONNECTION

SCALE: 1"=10'



F:\WORK\LOCAL\DWG\2\AND\CD\CD - STANDARD - DETAIL\SPJ\Job Work Manual\CD\9 Site Earthwork Detail			
 MIAMI BEACH PUBLIC WORKS DEPARTMENT <small>THE CORPORATION OF THE CITY OF MIAMI BEACH, FLORIDA</small>	APPROVED _____ 06/01/2020 _____	REVISION _____ _____ _____ _____ _____ _____	TITLE: SITE EARTHWORK DETAILS NO.2 BURLAP DROP INLET SEDIMENT FILTER
			SES9


MIAMI BEACH
PUBLIC WORKS DEPARTMENT
1185 CONVENT CIRCLE, SUITE 200, MIAMI BEACH, FL 33139

APPROVED	REVIEWED	TITLE
		SITE EARTHWORK DETAILS NO.2
06/01/2020		HAYBALE DROP SEDIMENT FILTER

SES10

SES14