

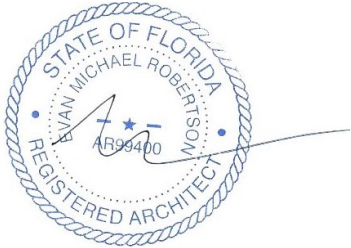
4880 PINE TREE DRIVE

ARCHITECTURE SET
CONTINUANCE SUBMITTAL
OCTOBER 5, 2020



DRAWING LIST

A0	TITLE SHEET
A0.1	DESIGN REVISIONS DIAGRAM
A0.2	DESIGN REVISION DIAGRAM 2
A0.3	DESIGN REVISION DIAGRAM 3
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A2	SURVEY 2 OF 2
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A6	CONTOUR PLAN
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A34	AXONOMETRICS
A35	RENDERINGS - STREET PRESENCE VOLUME
A36	RENDERINGS - UNDERSTORY
A37	RENDERINGS

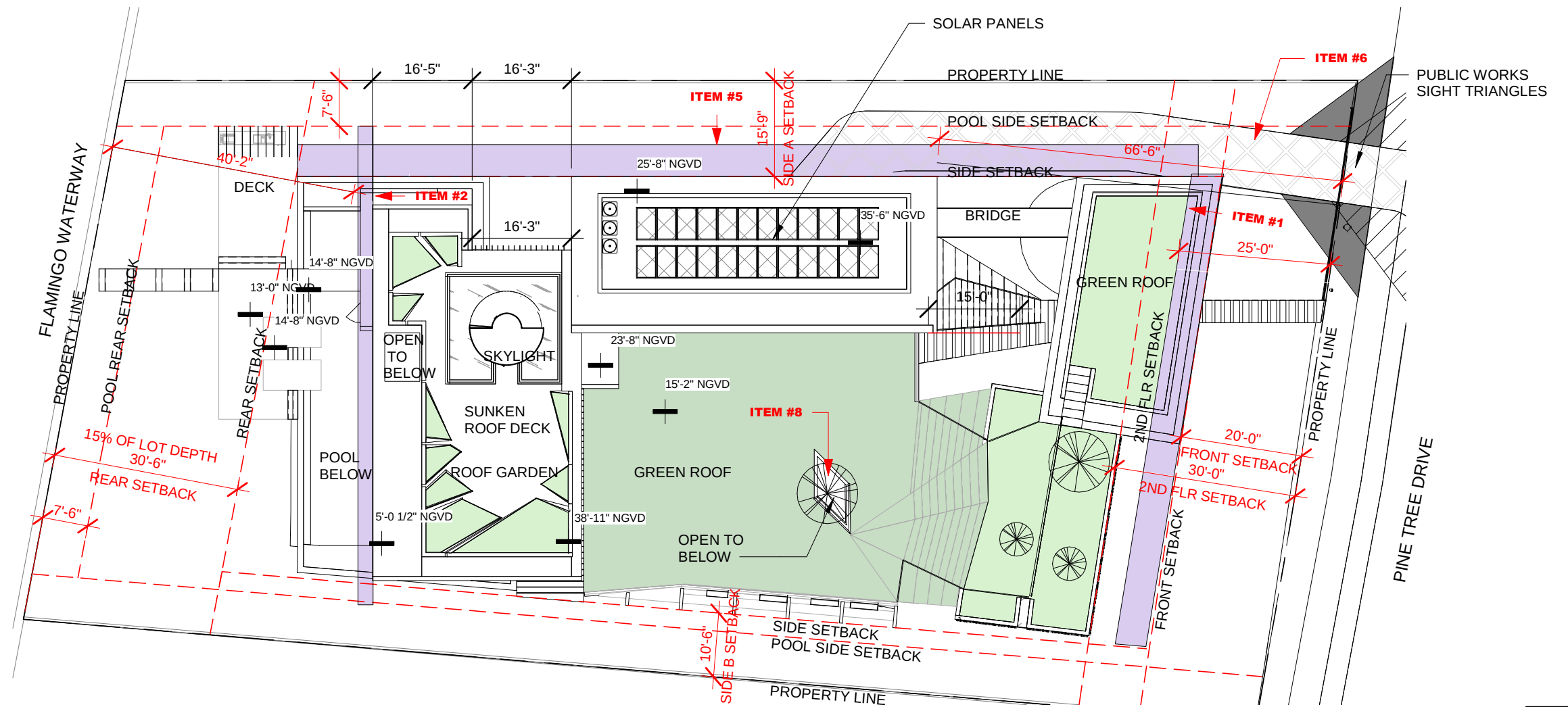


DESIGN REVISIONS

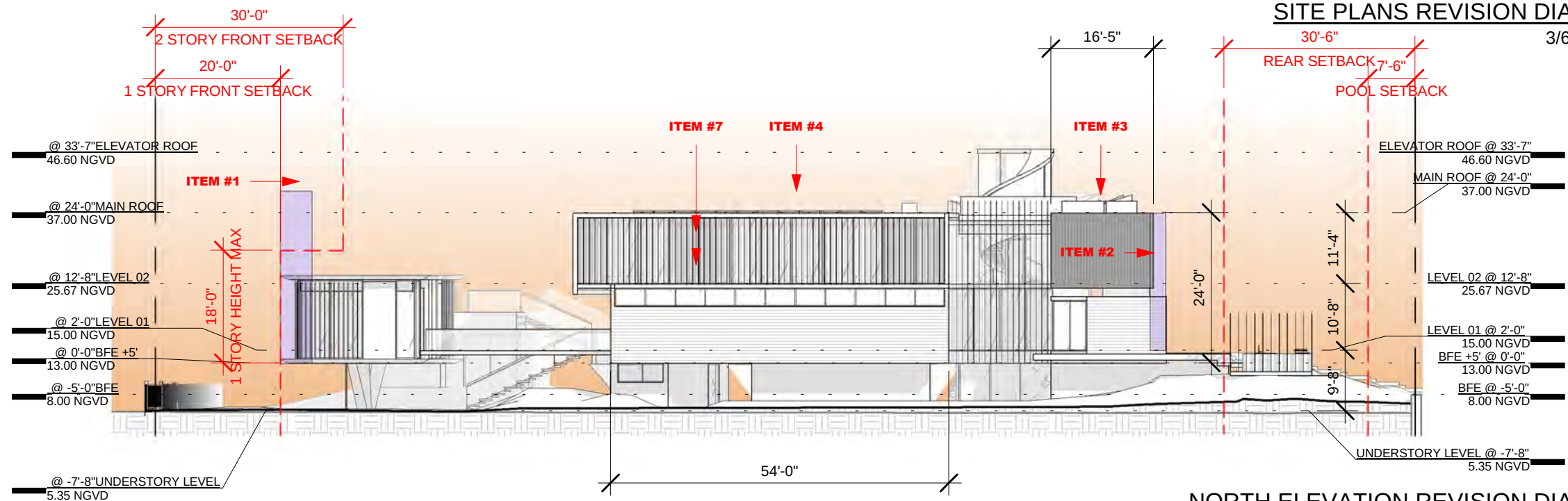
- ITEM #1 - PUSHED EAST VOLUME BACK 5'-0" FROM STREET TO REDUCE STREET PRESENCE
- ITEM #2 - PUSHED WEST VOLUME BACK 2'-6" FROM STREET
- ITEM #3 - LOWERED WEST VOLUME 1'-0" IN HEIGHT TO REDUCE SHADOW IN ADJACENT PROPERTY
- ITEM #4 - LOWERED NORTH VOLUME 2'-0" IN HEIGHT TO REDUCE SHADOW IN ADJACENT PROPERTY
- ITEM #5 - MOVED BUILDING SOUTHWARDS 5'-3" TO REDUCE SHADOWS ON NORTH NEIGHBOR
- ITEM #6 - MOVED DRIVEWAY TO NORTH SIDE AT WIDER SETBACK LOCATION
- ITEM #7 - ADDED TRANSLUCENT GLASS PANELS AT BATHROOM LOCATIONS AND TRANSLUCENT BALCONY RAILING TO SCREEN FROM VIEW
- ITEM #8 - LARGER OPENING TO ALLOW MORE NATURAL LIGHT INTO UNDERSTORY

ADDITIONAL ITEMS:

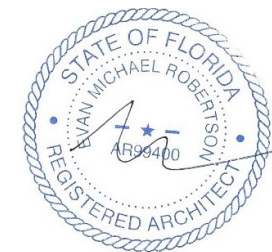
- FRONT SCREEN CHANGED, SEE SHEETS A22, A40 AND A41



SITE PLANS REVISION DIAGRAM 1
3/64" = 1'-0"



NORTH ELEVATION REVISION DIAGRAM 2
3/64" = 1'-0"



ARCHITECT

CONSULTANT

OWNER

PROJECT

DRAWING TITLE

DRAWING #

MTTR MGMT
212 NE 73RD ST | MIAMI FL | 33150
www.ma77er.com

DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

PINE TREE

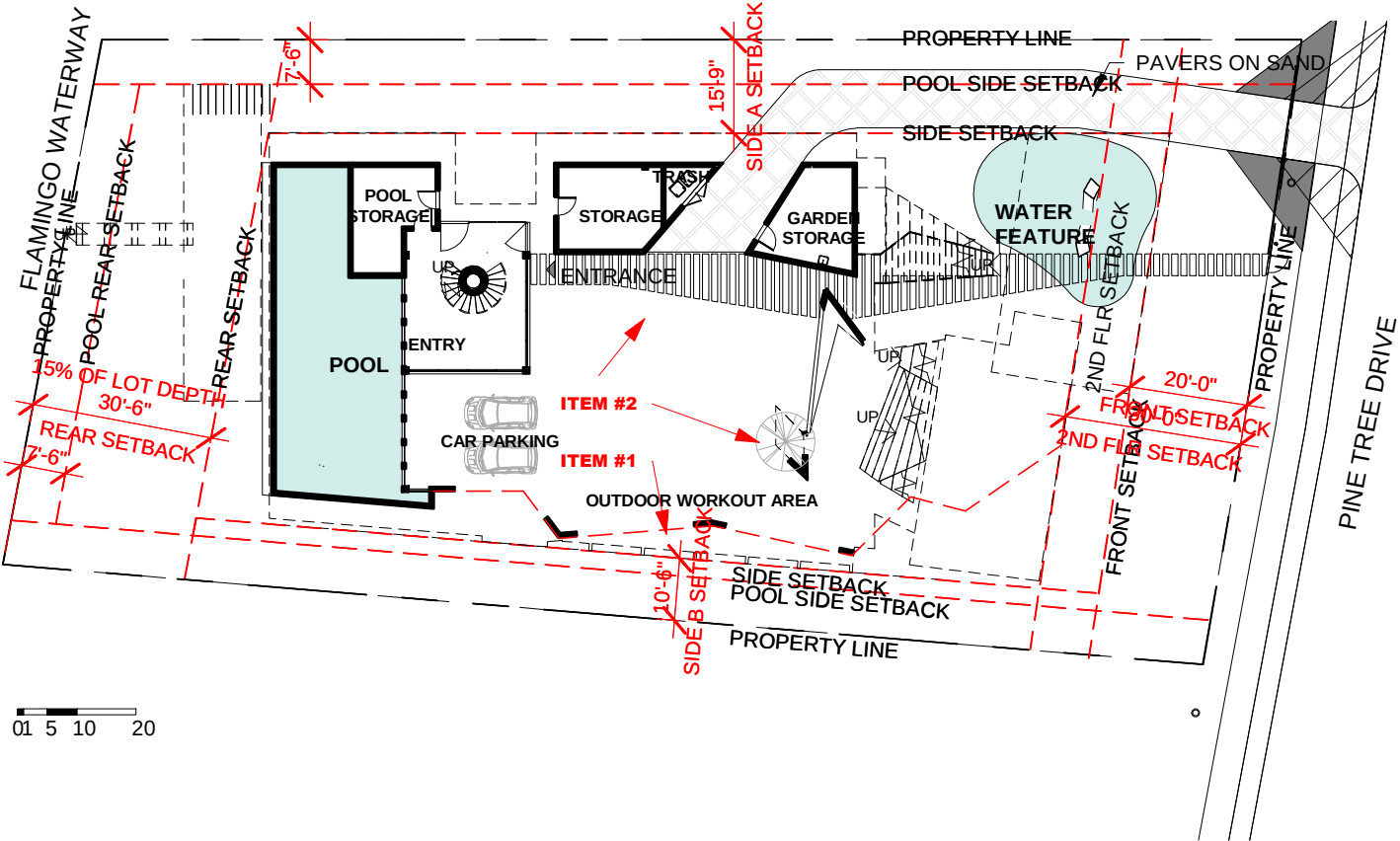
DESIGN REVISIONS DIAGRAM
10.05.2020
3/64" = 1'-0"

1804

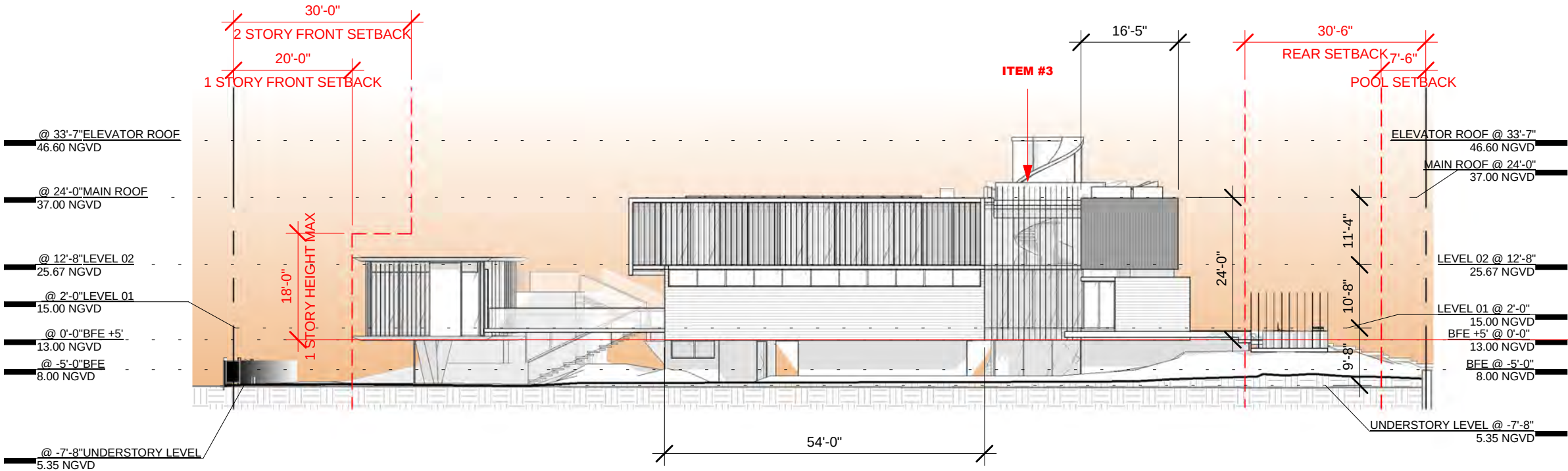
A0.1

DESIGN REVISIONS FROM PREVIOUS

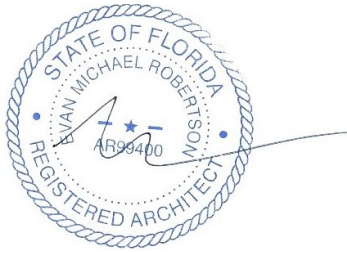
- ITEM #1 - REVISED OUTLINE OF UNDERTORY WALLS TO MAKE IT MORE OPEN.
- ITEM #2 - CHANGED LOCATION OF OPENING TO ABOVE AND ADDED ANOTHER OPENING
- ITEM #3 - CHANGED HEIGHT OF SCREEN TO NOT EXTEND PAST THE ROOF LINE



UNDERSTORY PLAN



NORTH ELEVATION



ARCHITECT

CONSULTANT

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DRAWING TITLE

DRAWING #

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212 NE 73RD ST | MIAMI FL | 33150
www.ma77er.com

DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

PINE TREE

DESIGN REVISION DIAGRAM 2
10.05.2020 As indicated 1804

A0.2

ITEM #1 - SPLIT THE FRONT ELEVATION TO REDUCE STREET PRESENCE

ITEM #2 - LOWERED THE HIGH PART OF THE GUESTHOUSE HEIGHT BY 3'-3" M THE OTHER HALF BY 7'-1"

ITEM #3 - PUSHED BACK HALF THE GUESTHOUSE TO 30'-0" SETBACK

ITEM #4 - ADDED OPEN TREAD STAIR TO ALLOW MORE LIGHT INTO THE UNDERSTORY

ITEM #5 - REDUCED THE OVERALL HEIGHT OF THE MAIN BUILDING BY 4'-0" AS PER ZONING CODE

ITEM #6 - RELOCATED ELEVATOR TO INTERIOR OF BUILDING

ITEM #7 - FLIPPED SECOND FLOOR BEDROOMS TO HAVE CORRIDOR ON NORTH SIDE FOR PRIVACY SEE A16

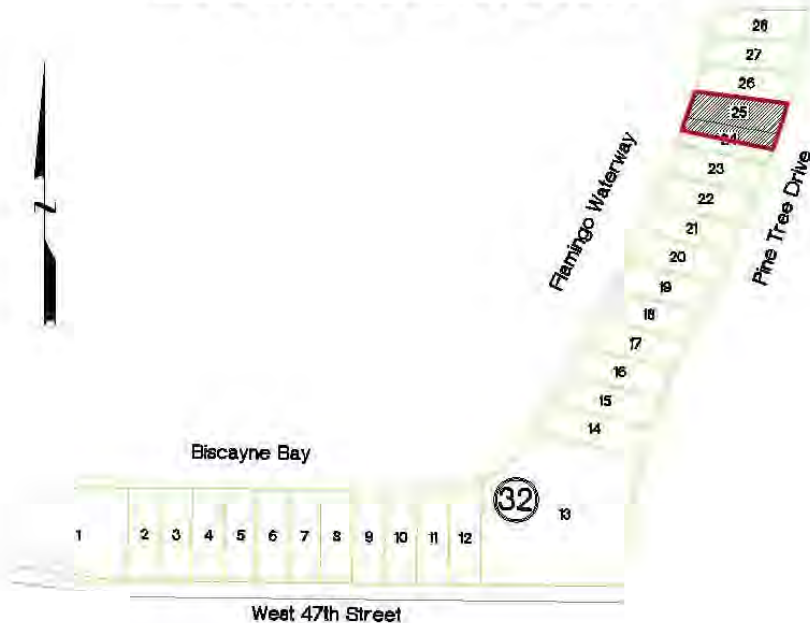
SECOND FLOOR PLAN





Prepared By:
AFA & COMPANY, INC.
PROFESSIONAL LAND SURVEYORS AND MAPPERS
FLORIDA CERTIFICATE OF AUTHORIZATION No. LB 7498
13050 SW 133RD COURT
MIAMI, FLORIDA 33186
E-MAIL: AFACON@BELLOUTH.NET
PH: 305-234-0588
FAX: 305-495-0778

Location Sketch



TREE LEGEND:
1. Queen Palm D=0.70', H=20', SP=10'
2. Christmas Palm D=0.80', H=20', SP=8'
3. Queen Palm D=0.35', H=10', SP=5'
4. Palm D=0.70', H=20', SP=8'
5. Palm D=0.80', H=25', SP=15'
6. Palm D=0.80', H=25', SP=15'
7. Palm D=0.80', H=25', SP=15'
8. Palm D=0.80', H=25', SP=15'
9. Palm D=0.80', H=25', SP=15'
10. Ficus D=0.85', H=30', SP=20'
11. Queen Palm D=0.85', H=30', SP=20'
12. Ficus D=0.80', H=25', SP=20'
13. Ficus D=0.80', H=25', SP=20'
14. Christmas Palm D=1.0', H=20', SP=15'
15. Christmas Palm D=0.80', H=10', SP=10'
16. Queen Palm D=0.40', H=10', SP=10'
17. Ficus D=0.50', H=20', SP=10'
18. Coconut Palm D=1.1', H=35', SP=20'
19. Queen Palm D=0.35', H=10', SP=10'
20. Christmas Palm D=0.70', H=25', SP=10'
21. Christmas Palm D=0.80', H=25', SP=10'
22. Christmas Palm D=0.40', H=20', SP=10'
23. Christmas Palm D=0.40', H=20', SP=10'
24. Christmas Palm D=0.80', H=35', SP=20'
25. Christmas Palm D=0.80', H=35', SP=20'
26. Christmas Palm D=0.80', H=35', SP=20'
27. Christmas Palm D=0.80', H=35', SP=20'
28. Christmas Palm D=0.80', H=35', SP=20'
29. Christmas Palm D=0.80', H=35', SP=20'
30. Christmas Palm D=0.80', H=35', SP=20'
31. Ficus D=1.3', H=15', SP=15'
32. Ficus D=2.3', H=25', SP=20'
33. Ficus D=4.0', H=35', SP=35'
34. Ficus D=0.55', H=20', SP=10'
35. Christmas Palm D=0.85', H=20', SP=15'
36. Queen Palm D=1.0', H=25', SP=15'
37. Ficus D=0.70', H=20', SP=15'
38. Christmas Palm D=0.70', H=20', SP=12'
39. Christmas Palm D=0.60', H=15', SP=12'
40. Ficus D=1.1', H=20', SP=10'
41. Ficus D=1.1', H=20', SP=10'
42. Christmas Palm D=0.70', H=30', SP=15'
43. Christmas Palm D=0.70', H=30', SP=15'
44. Queen Palm D=0.35', H=10', SP=5'
45. Christmas Palm D=0.80', H=30', SP=10'

46. Christmas Palm D=0.70', H=30', SP=15'
47. Christmas Palm D=0.70', H=20', SP=10'
48. Christmas Palm D=0.70', H=20', SP=10'
49. Queen Palm D=0.35', H=10', SP=5'
50. Ficus D=0.70', H=15', SP=10'
51. Christmas Palm D=0.50', H=25', SP=10'
52. Christmas Palm D=0.50', H=25', SP=10'
53. Christmas Palm D=0.50', H=25', SP=10'
54. Christmas Palm D=0.50', H=25', SP=10'
55. Christmas Palm D=0.50', H=25', SP=10'
56. Christmas Palm D=0.50', H=25', SP=10'
57. Christmas Palm D=0.50', H=25', SP=10'
58. Christmas Palm D=0.50', H=25', SP=10'
59. Christmas Palm D=0.50', H=25', SP=10'
60. Christmas Palm D=0.50', H=25', SP=10'
61. Christmas Palm D=0.50', H=25', SP=10'
62. Coconut Palm D=1.0', H=25', SP=15'
63. Avocado D=0.70', H=25', SP=20'
64. Queen Palm D=0.80', H=25', SP=20'
65. Queen Palm D=0.80', H=25', SP=20'
66. Coconut Palm D=1.0', H=35', SP=20'
67. Coconut Palm D=1.0', H=35', SP=20'
68. Ficus D=0.40', H=20', SP=15'
69. Christmas Palm D=0.35', H=25', SP=10'
70. Ficus D=1.0', H=30', SP=10'
71. Coconut Palm D=0.70', H=35', SP=25'
72. Christmas Palm D=0.80', H=25', SP=10'
73. Christmas Palm D=0.80', H=25', SP=10'
74. Christmas Palm D=0.80', H=25', SP=10'
75. Christmas Palm D=0.25', H=25', SP=8'
76. Christmas Palm D=0.60', H=25', SP=8'
77. Christmas Palm D=0.60', H=25', SP=8'
78. Christmas Palm D=0.60', H=25', SP=8'
79. Christmas Palm D=0.60', H=15', SP=8'
80. Mango D=0.70', H=15', SP=15'
81. Christmas Palm D=0.60', H=20', SP=8'
82. Christmas Palm D=0.60', H=20', SP=8'
83. Lemon D=0.40', H=10', SP=10'
84. Christmas Palm D=0.60', H=20', SP=10'
85. Christmas Palm D=0.60', H=30', SP=20'
86. Christmas Palm D=0.60', H=15', SP=10'
87. Ficus D=0.50', H=15', SP=10'
88. Ficus D=0.50', H=15', SP=10'
89. Ficus D=0.50', H=15', SP=10'

Property Information

PROPERTY ADDRESS:

4880 Pine Tree Drive
Miami Beach, Florida 33140

CERTIFIED ONLY TO:

Deva Finger

LEGAL DESCRIPTION:

Lots 24 and 25, Less the Southerly 1/2 of Lot 24,
Block 32, of: "LAKE VIEW SUBDIVISION",
according to the Plat Thereof as Recorded in Plat
Book 14, Page 42, of the Public Records of
Miami-Dade County, Florida.

ELEVATION INFORMATION

National Flood Insurance Program

FEMA Elev. Reference to NGVD 1929

Comm Panel 120651
Panel # 0309
Firm Zone: "AE"
Date of Firm: 09-11-2009
Base Flood Elev. 8.00'
F.Floor Elev. 6.52'
Garage Elev. 5.06'
Suffix: "L"
Elev. Reference to NGVD 1929

JOB #	19-1223
DATE	11-08-2019
PB	14-42

Surveyors Notes:

- #1 Land Shown Hereon were not abstracted for Easement and for Right of Way Records. The Easement / Right of Way Show on Survey are as per plat of record unless otherwise noted.
#2 Benchmark: Miami-Dade County Public Works Dep. N/A.
#3 Bearings as Shown hereon are Based upon West 47th Street, N90°00'00"E
#4 Please See Abbreviations
#5 Drawn By: A. Torres
#6 Date: 7-26-18; 10-5-18; 11-8-19
#7 Completed Survey Field Date: 7-25-18; 10-1-18; 11-8-19
#8 Disc No 2019, Station Surveying Scion
#9 Last Revised:
#10 Zoned Building setback line not determined



Professional
Surveyors & Mappers LB 7498
13050 S.W. 133rd Court
Miami Florida, 33186
E-mail: afaco@bellsouth.net
Ph: (305) 234-0588
Fax: (206) 495-0778

Surveyor's Notes:

- #11 The herein captioned Property was surveyed and described based on the Legal Description Provided by Client.
#12 This Certification is Only for the lands as Described, it is not a certification of Title, Zoning, Easements, or Freedom of encumbrances. ABSTRACT NOT REVIEWED.
#13 There may be additional Restrictions not Shown on this survey that may be found in the Public Records of Said County. Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.
#14 Accuracy:
The expected use of land, as classified in the Standards of Practice (S-17.052), is residential. The minimum relative distance accuracy for this type of boundary survey is 1.0 foot in 10,000.00' feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
#15 Foundation and / or footing that may cross beyond the boundary lines of the parcel herein described are not shown hereon.
#16 Not valid without the signature and original seal of a Florida Licensed Surveyor and Mapper, additions or deletions to survey maps or reports by other than the signing party or parties.
#17 Contact the appropriate authority prior to any design work on the herein described parcel for building and zoning information.
#18 Underground Utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
#19 Ownership subject to Opinion of Title.

This certifies that the survey of the property described hereon was made under my supervision & that the survey meets the Standards of Practice set forth by the Florida Board of Professional Land Surveyors & Mappers in Chapter S-17.052 of Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.
& That the Sketch hereon is a true and accurate representation thereof to the best of my knowledge and Belief, subject to notes and notations shown hereon.

Armando F. Alvarez
Professional Surveyor & Mapper #5526
State of Florida
Not Valid unless Signed & Stamped with Embossed Seal

ARCHITECT

MTTR MGMT
212 NE 73RD ST | MIAMI FL | 33150
www.ma77er.com

CONSULTANT

OWNER

DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

PROJECT

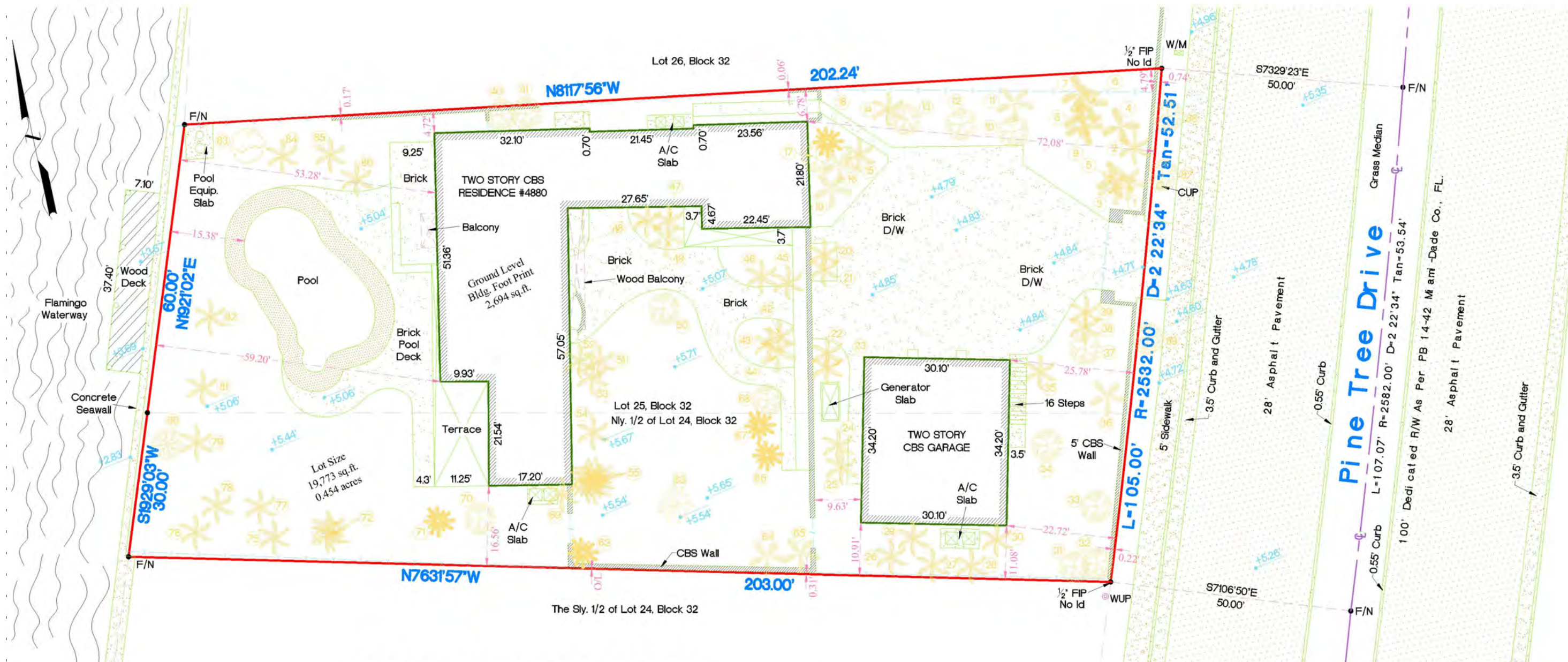
PINE TREE

DRAWING TITLE

SURVEY 1 OF 2
10.05.2020

DRAWING #

A1



Abbreviations of Legend

A		B		C		D		E		F		G		H		I		J		K		L		M		N		O		P		Q		R		S		T		U		V		W		X		Y		Z		AA		AB		AC		AD		AE		AF		AG		AH		AI		AJ		AK		AL		AM		AN		AO		AP		AQ		AR		AS		AT		AU		AV		AW		AX		AY		AZ		BA		BB		BC		BD		BE		BF		BG		BH		BI		BJ		BK		BL		BM		BN		BO		BP		BQ		BR		BS		BT		BU		BV		BW		BX		BY		BZ		CA		CB		CC		CD		CE		CF		CG		CH		CI		CJ		CK		CL		CM		CN		CO		CP		CQ		CR		CS		CT		CU		CV		CW		CX		CY		CZ		DA		DB		DC		DD		DE		DF		DG		DH		DI		DJ		DK		DL		DM		DN		DO		DP		DQ		DR		DS		DT		DU		DV		DW		DX		DY		DZ		EA		EB		EC		ED		EE		EF		EG		EH		EI		EJ		EK		EL		EM		EN		EO		EP		EQ		ER		ES		ET		EU		EV		EW		EX		EY		EZ		FA		FB		FC		FD		FE		FF		FG		FH		FI		FJ		FK		FL		FM		FN		FO		FP		FQ		FR		FS		FT		FU		FV		FW		FX		FY		FZ		GA		GB		GC		GD		GE		GF		GG		GH		GI		GJ		GK		GL		GM		GN		GO		GP		GQ		GR		GS		GT		GU		GV		GW		GX		GY		GZ		HA		HB		HC		HD		HE		HF		HG		HH		HI		HJ		HK		HL		HM		HN		HO		HP		HQ		HR		HS		HT		HU		HV		HW		HX		HY		HZ		IA		IB		IC		ID		IE		IF		IG		IH		II		IJ		IK		IL		IM		IN		IO		IP		IQ		IR		IS		IT		IU		IV		IW		IX		IY		IZ		JA		JB		JC		JD		JE		JF		JG		JH		JI		JJ		JK		JL		JM		JN		JO		JP		JQ		JR		JS		JT		JU		JV		JW		JX		JY		JZ		KA		KB		KC		KD		KE		KF		KG		KH		KI		KJ		KK		KL		KM		KN		KO		KP		KQ		KR		KS		KT		KU		KV		KW		KX		KY		KZ		LA		LB		LC		LD		LE		LF		LG		LH		LI		LJ		LK		LL		LM		LN		LO		LP		LQ		LR		LS		LT		LU		LV		LW		LX		LY		LZ		MA		MB		MC		MD		ME		MF		MG		MH		MI		MJ		MK		ML		MN		MO		MP		MQ		MR		MS		MT		MU		MV		MW		MX		MY		MZ		NA		NB		NC		ND		NE		NF		NG		NH		NI		NJ		NK		NL		NM		NN		NO		NP		NQ		NR		NS		NT		NU		NV		NW		NX		NY		NZ		OA		OB		OC		OD		OE		OF		OG		OH		OI		OJ		OK		OL		OM		ON		OO	
AVE		D		E		L		L		PL		P.O.C		P.O.B		R		RES		R/W		S.D.H		S.P		S.N		S.DWLK		T		U/E		W/F		W/V		W.U.P		WALK		=ARC DISTANCE		=DIRECTION		=LAKE MAINTENANCE EASEMENT		=POINT OF COMMENCEMENT		=POINT OF BEGINNING		=RADIUS		=RESIDENCE		=RIGHT OF WAY		=SET DRILL HOLE		=SET RAIL HOLE		=SET NAILE		=SIDEWALK		=TANGENT		=UTILITY EASEMENT		=WOOD FENCE		=WATER VALVE		=WOOD UTILITY POLE		=WALKWAY		=CHAIN FENCE		=CHAIN LINK FENCE		=WOOD FENCE		=CBS WALL		=OVERHEAD ELEC.		=CENTER LINE		=TRANSITION		=DENOTES ELEVATIONS		=BUILDING		=DISTANCE		=CATCH BASIN		=WATER METER		=B		=STATE ROAD		=US HIGHWAY		=INTERSTATE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
ASPH		D/W		L.F.E		L.M.E		L.F.E		P.L		P.O.C		P.O.B		R		RES		R/W		S.D.H		S.P		S.N		S.DWLK		T		U/E		W/F		W/V		W.U.P		WALK		=ARC DISTANCE		=DIRECTION		=LAKE MAINTENANCE EASEMENT		=POINT OF COMMENCEMENT		=POINT OF BEGINNING		=RADIUS		=RESIDENCE		=RIGHT OF WAY		=SET DRILL HOLE		=SET RAIL HOLE		=SET NAILE		=SIDEWALK		=TANGENT		=UTILITY EASEMENT		=WOOD FENCE		=WATER VALVE		=WOOD UTILITY POLE		=WALKWAY		=CHAIN FENCE		=CHAIN LINK FENCE		=WOOD FENCE		=CBS WALL		=OVERHEAD ELEC.		=CENTER LINE		=TRANSITION		=DENOTES ELEVATIONS		=BUILDING		=DISTANCE		=CATCH BASIN		=WATER METER		=B		=STATE ROAD		=US HIGHWAY		=INTERSTATE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
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JOB #	19-1223
DATE	11-08-2019
PB	14-42

The sketch hereon is a true and Accurate representation thereof to the best of my knowledge and belief, Subject to notes and Notations shown hereon.

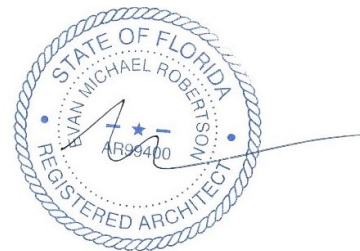
Armando F. Alvarez
Professional Surveyor & Mapper #5526
State of Florida
Not Valid unless Signed & Stamped with Embossed Seal

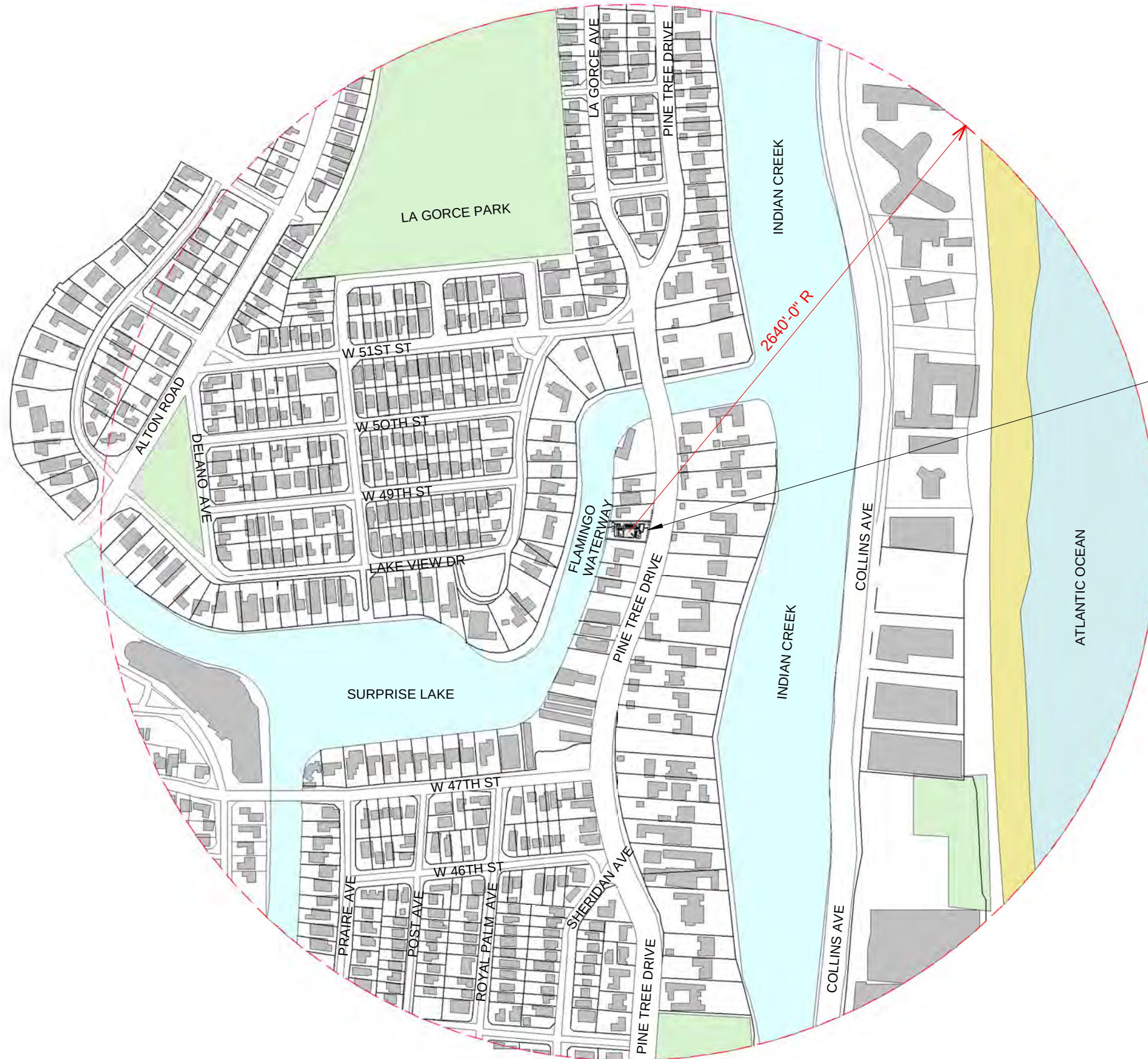
SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address: 4880 PINE TREE DRIVE, MIAMI BEACH, FL, 33140			
2	Folio number(s): 02-3222-022-1770			
3	Board and file numbers : DRB19-0468			
4	Year built:	1938	Zoning District:	RS-3
5	Based Flood Elevation:	8.00 NGVD	Grade value in NGVD:	4.60 NGVD
6	Adjusted grade (Flood+Grade/2):	6.30 FEET	Free board:	MAIN HOUSE 13.00 NGVD
7	Lot Area:	19,773 SF		GUEST HOUSE 9.00 NGVD
8	Lot width:	105 FEET	Lot Depth:	203 FEET
9	Max Lot Coverage SF and %:	5,931 SF 30%	Proposed Lot Coverage SF and %:	5,056 SF 26%
10	Existing Lot Coverage SF and %:	3,727 SF 19%	Lot coverage deducted (garage-storage) SF:	N/A
11	Front Yard Open Space SF and %:	1,862 SF 88%	Rear Yard Open Space SF and %:	2,210 SF 80%
12	Max Unit Size SF and %:	9,886 SF 50%	Proposed Unit Size SF and %:	7,643 SF 39%
13	Existing First Floor Unit Size:	2,694 SF	Proposed First Floor Unit Size:	4,143 SF
14	Existing Second Floor Unit Size	3,727 SF	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	2,777 SF 67%
15			Proposed Second Floor Unit Size SF and % :	2,777 SF 67%
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	MAIN HOUSE 473 SF 17%
				GUEST HOUSE 284 SF 21%

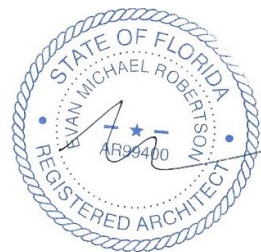
	Required	Existing	Proposed	Deficiencies
17	Height:			
	Main House	2 STORY (24 FEET)	20 FEET	24 FEET
	Guest House	1 STORY (18 FEET)	18 FEET	
18	Setbacks:			
19	Front First level:	20'-0"	22.72 FEET	25'-0"
20	Front Second level:	30'-0"	22.72 FEET	61'-8"
21	Side 1:	10'-6"	4.72 FEET	10'-6"
22	Side 2 or (facing street):	15'-9"	10.91 FEET	15'-9"
23	Rear:	30'-6"	53.28 FEET	41'-2"
	Accessory Structure Side 1:	7'-6"	N/A	7'-6"
24	Accessory Structure Side 2 or (facing street) :	N/A	N/A	N/A
25	Accessory Structure Rear:	7'-6"	N/A	16'-5"
26	Sum of Side yard :	26'-3"	15.63 FEET	26'-3"
27	Located within a Local Historic District?		NO	
28	Designated as an Individual Historic Single Family Residence Site?		NO	
29	Determined to be Architecturally Significant?		NO	

Notes:
If not applicable write N/A
All other data information should be presented like the above format





4880 PINE TREE DRIVE



0 100 500 1000



ARCHITECT

CONSULTANT

OWNER

PROJECT

DRAWING TITLE

DRAWING #

MTTR MGMT
212 NE 73RD ST | MIAMI FL | 33150
www.ma77er.com



DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

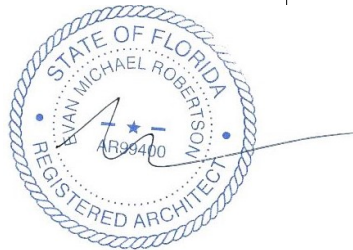
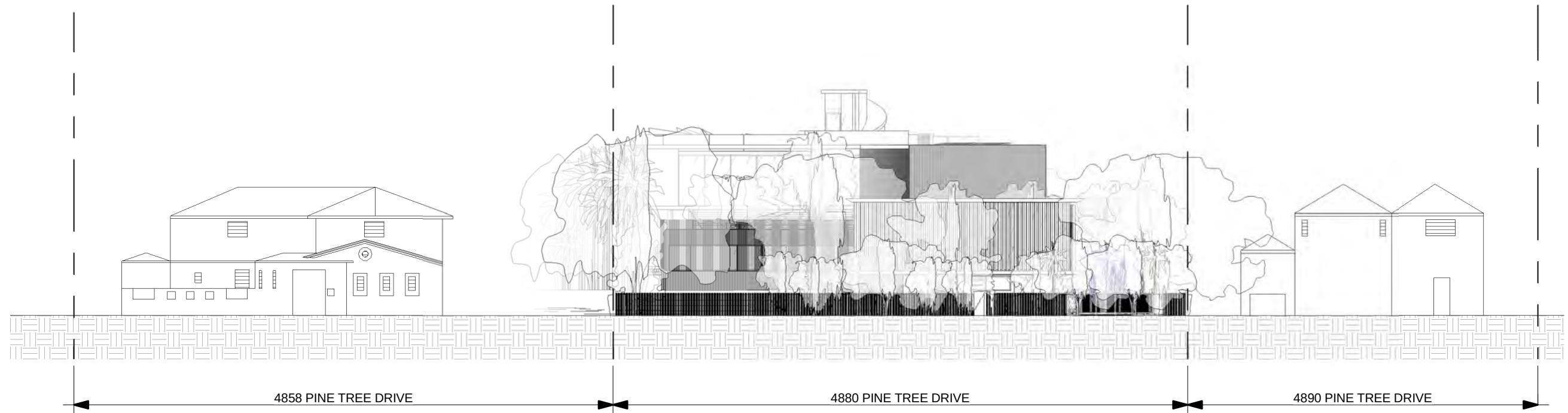
PINE TREE

CONTEXT PLAN
10.05.2020

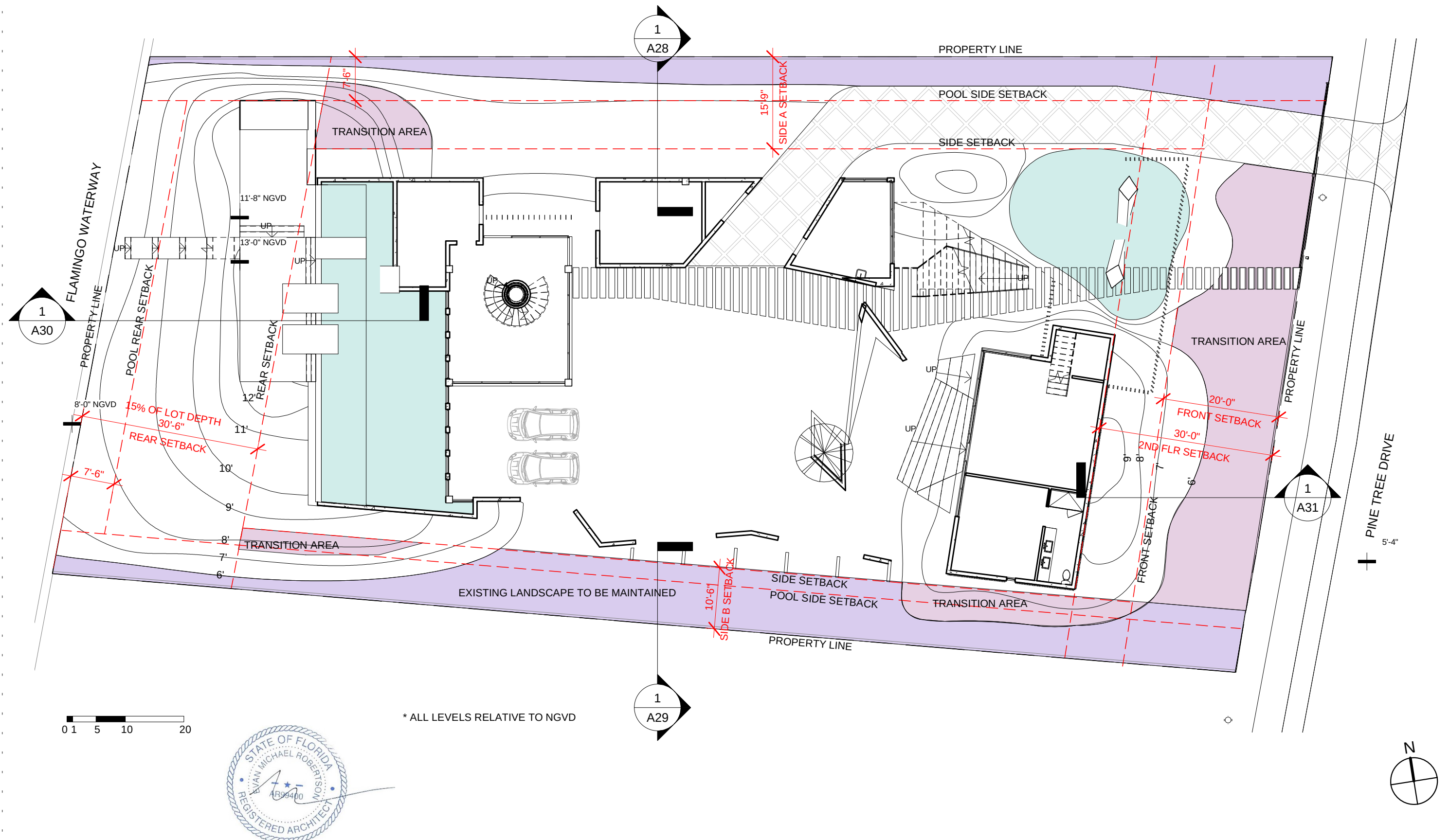
1" = 600'-0"

1804

A4



ARCHITECT	CONSULTANT	OWNER	PROJECT	DRAWING TITLE	DRAWING #
MTTR MGMT 212 NE 73 RD ST MIAMI FL 33150 www.ma77er.com		DEVA FINGER 4880 PINE TREE DR MIAMI BEACH FL 33140	PINE TREE	CONTEXT ELEVATIONS 10.05.2020 3/64" = 1'-0" 1804	A5



* ALL LEVELS RELATIVE TO NGVD



ARCHITECT

MTTR MGMT
212 NE 73RD ST | MIAMI FL | 33150
www.ma77er.com

CONSULTANT

OWNER

DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

PROJECT

PINE TREE

DRAWING TITLE

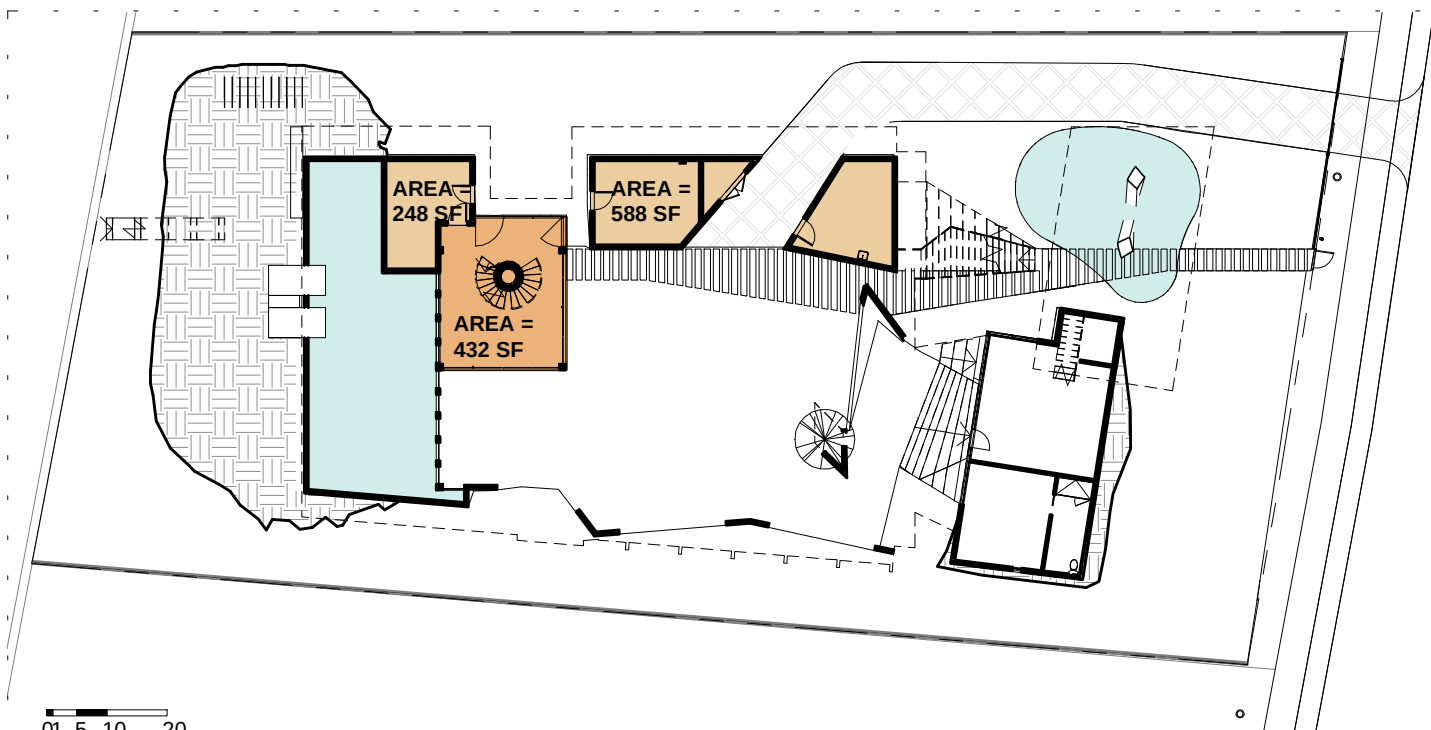
CONTOUR PLAN
10.05.2020

1/16" = 1'-0"

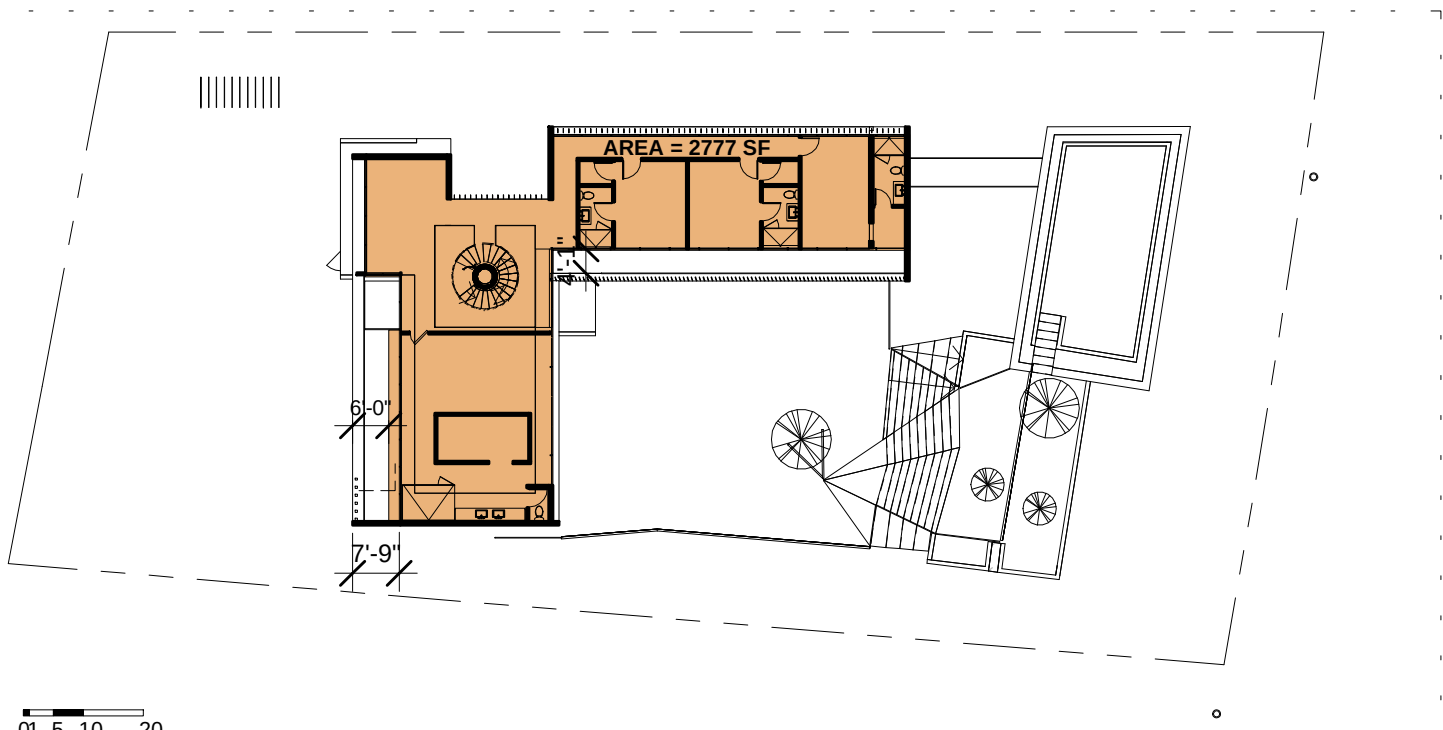
DRAWING #

A6

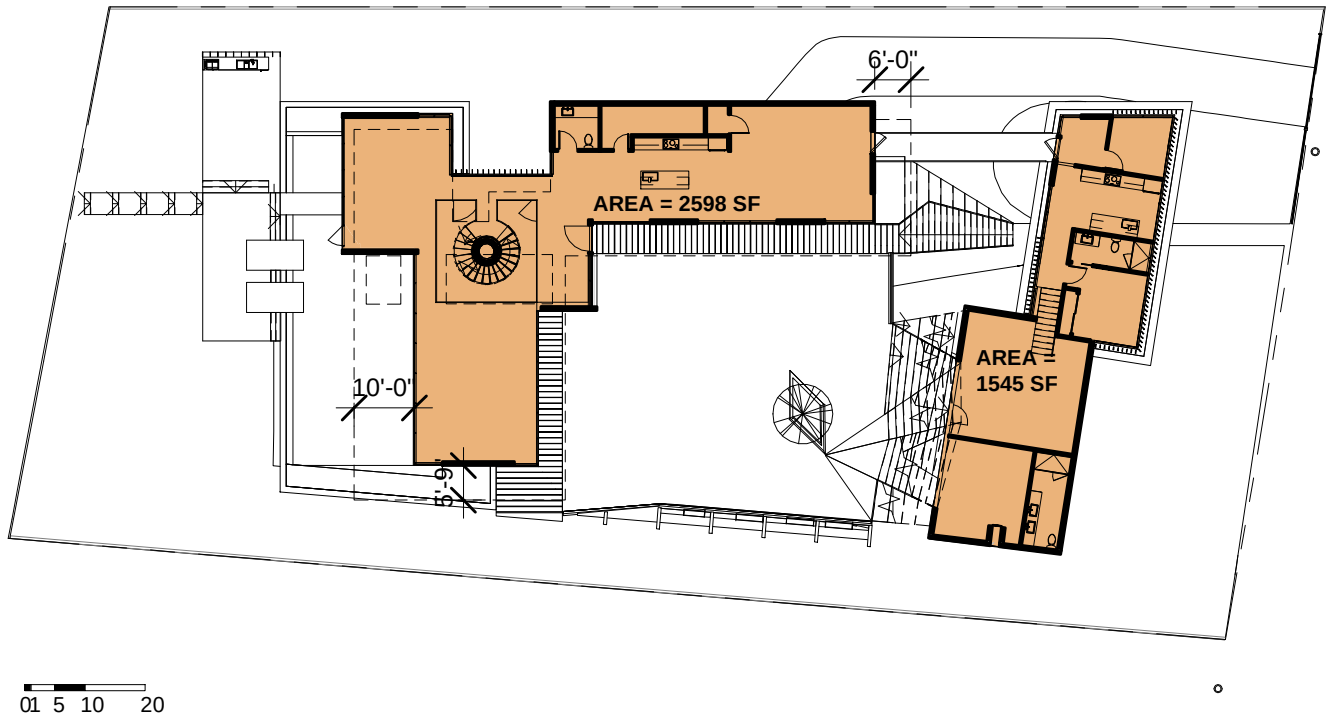
1804



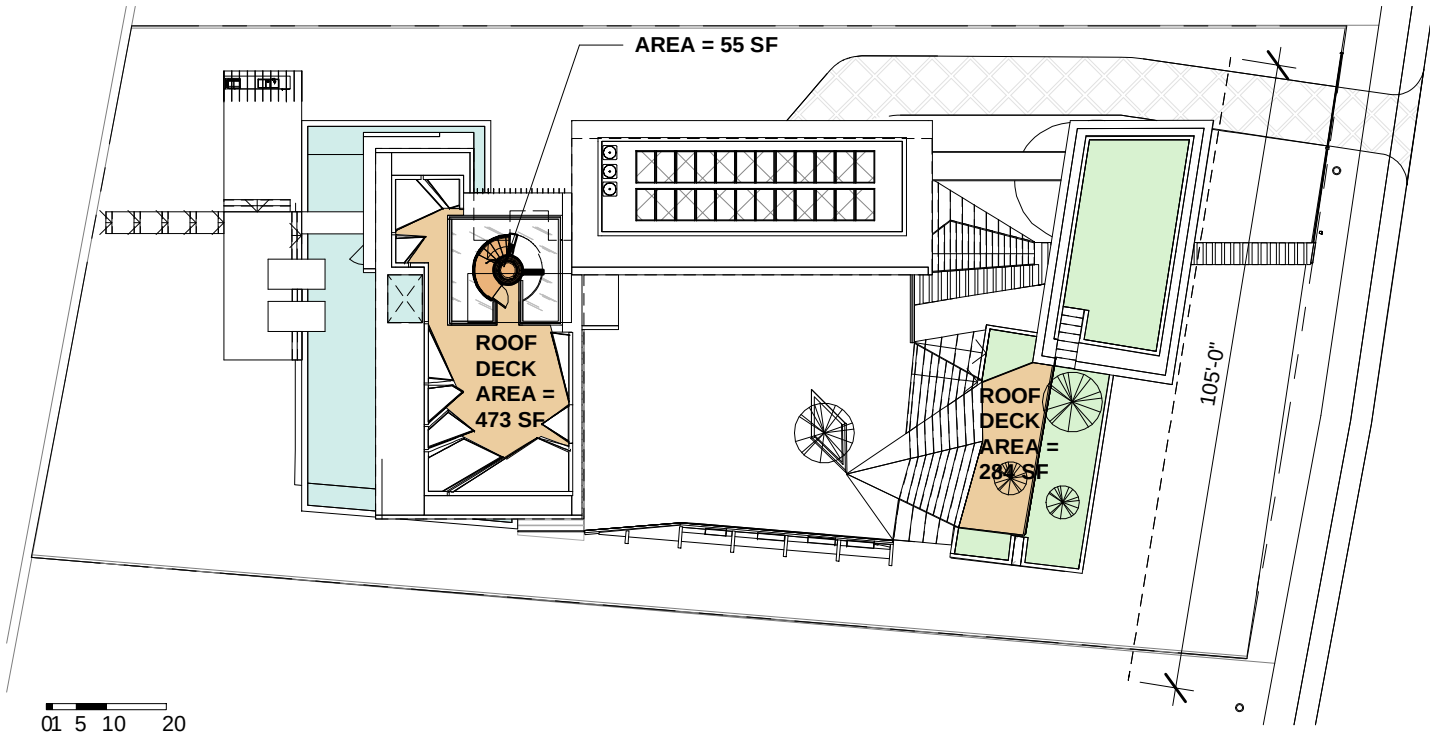
UNDERSTORY



SECOND FLOOR



FIRST FLOOR



ROOF PLAN

UNDERSTORY UNIT SPACE REQUIREMENTS

ALLOWED	PROVIDED
3% OF LOT AREA 19,773 SF X 3% = 593 SF	AC AREA = 432 SF
	NON-AC AREA = 836 SF - 600 SF = 236 SF
	TOTAL UNDERSTORY UNIT AREA = 668 SF

MAXIMUM UNIT SIZE

ALLOWED	PROVIDED
50% OF LOT AREA 19,773 SF X 50% = 9,886 SF	UNDERSTORY = 668 SF FIRST FLOOR = 4,143 SF SECOND FLOOR = 2,777 SF ROOF = 55 SF
	TOTAL = 7,643 SF (39%)

2ND FLOOR VOLUMETRIC UNIT SIZE

ALLOWED	PROVIDED
70% OF FLOOR BELOW 4,143 SF X 70% = 2,900 SF	2ND FLOOR = 2,777 SF (67%)

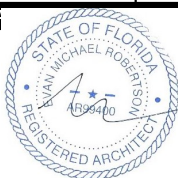
ROOF DECK AREA

ALLOWED	PROVIDED
MAIN HOUSE 25% OF FLOOR BELOW 2,777 SF X 25% = 689 SF	ROOF DECK AREA = 473 SF (17%)
GUESTHOUSE 25% OF FLOOR BELOW 1,545 SF X 25% = 386 SF	ROOF DECK AREA = 284 SF (21%)

ARCHITECT

MTTR MGMT
212 NE 73RD ST | MIAMI FL | 33150
www.ma77er.com

CONSULTANT



OWNER

DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

PROJECT

PINE TREE

DRAWING TITLE

UNIT SIZE DIAGRAMS

10.05.2020

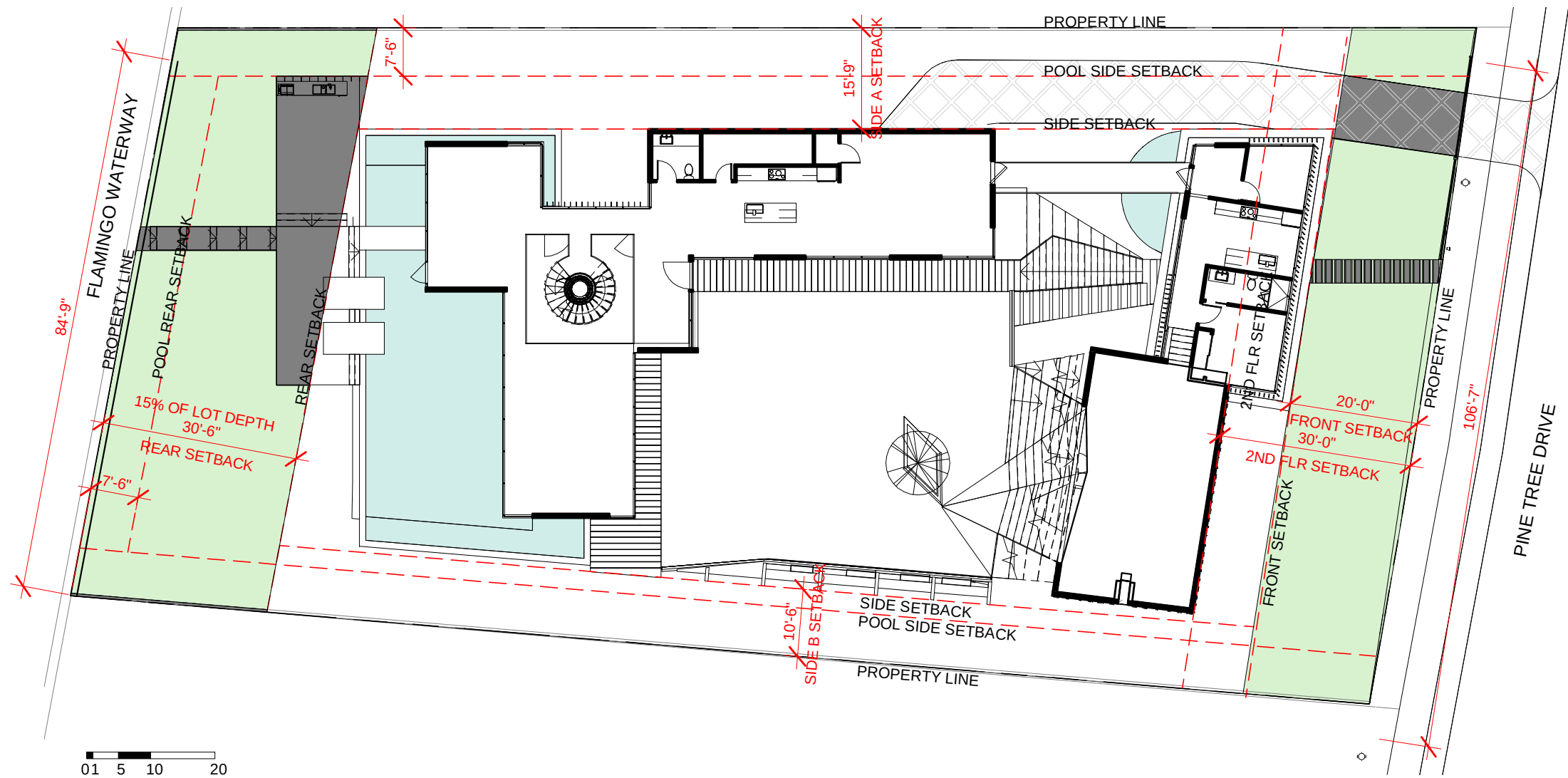
1/32" = 1'-0"

1804

DRAWING #

A7





PERVIOUS REAR YARD REQUIREMENTS

ALLOWED

70% OF REAR YARD AREA
2,779 SF X 70% = 1,945 SF

PROVIDED

 SODDED OR LANDSCAPED
2,210 SF 80%

 IMPERVIOUS
571 SF

PERVIOUS FRONT YARD REQUIREMENTS

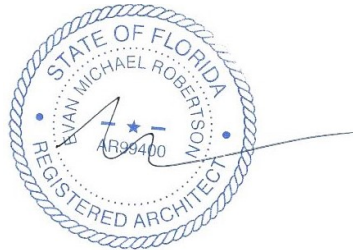
ALLOWED

50% OF FRONT YARD AREA
2,116 SF X 50% = 1,058 SF

PROVIDED

 SODDED OR LANDSCAPED
1,862 SF 88%

 PAVERS
242 SF



ARCHITECT

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CONSULTANT

OWNER

DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

PROJECT

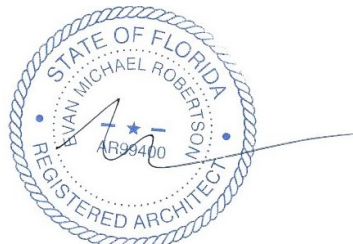
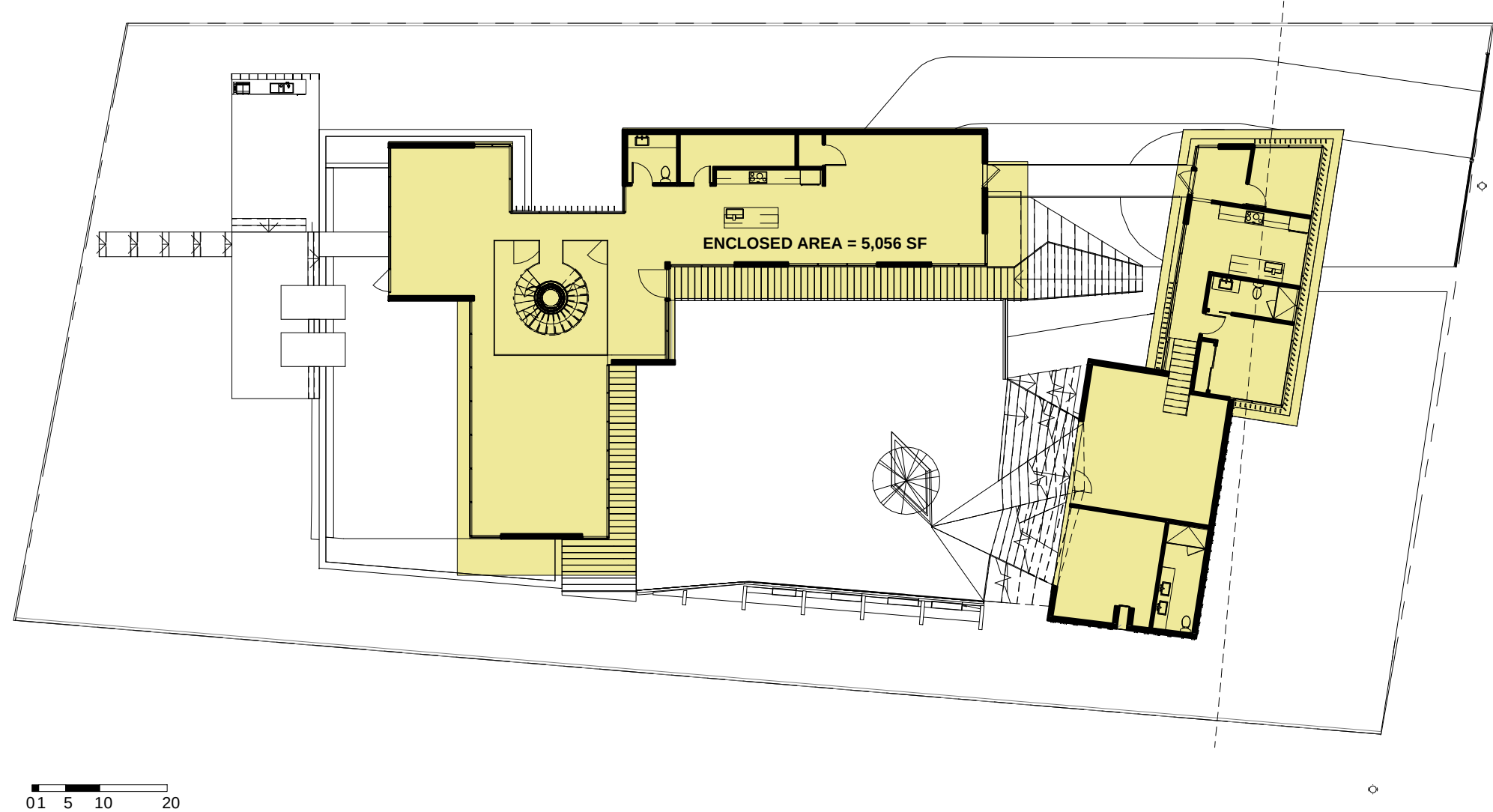
PINE TREE

DRAWING TITLE

PERVIOUS DIAGRAM
10.05.2020 3/64" = 1'-0" 1804

DRAWING #

A8



LOT COVERAGE

ALLOWED

30% OF LOT AREA
19,773 SF X 30% = 5,931 SF

PROVIDED



LOT COVERAGE AREA
5,056 SF (26%)



ARCHITECT

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OWNER

DEVA FINGER
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PROJECT

PINE TREE

DRAWING TITLE

LOT COVERAGE

10.05.2020

3/64" = 1'-0"

1804

DRAWING #

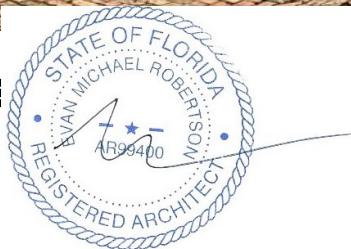
A9



ARCHITECT

CC

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OWNER

DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

PROJECT

PINE TREE

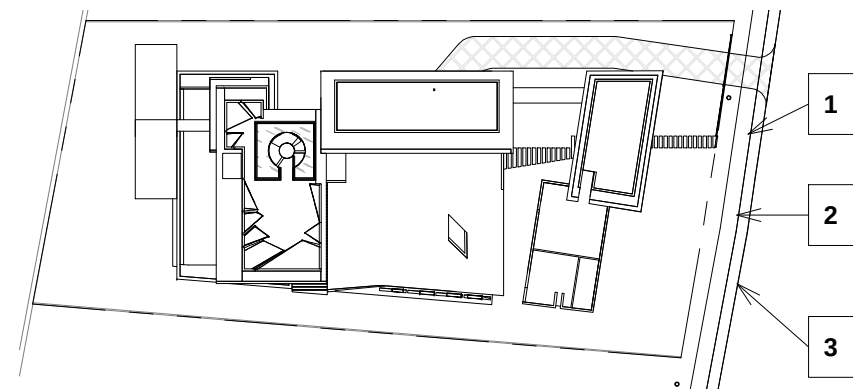
DRAWING TITLE

SITE PHOTOS
10.05.2020

DRAWING #

A10

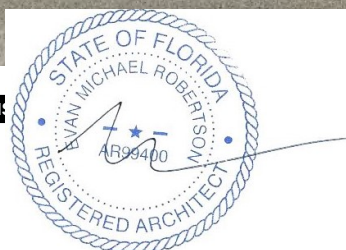
1804



ARCHITECT

MTTR MGMT
212 NE 73RD ST | MIAMI FL | 33150
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CONS



OWNER

DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

PROJECT

PINE TREE

DRAWING TITLE

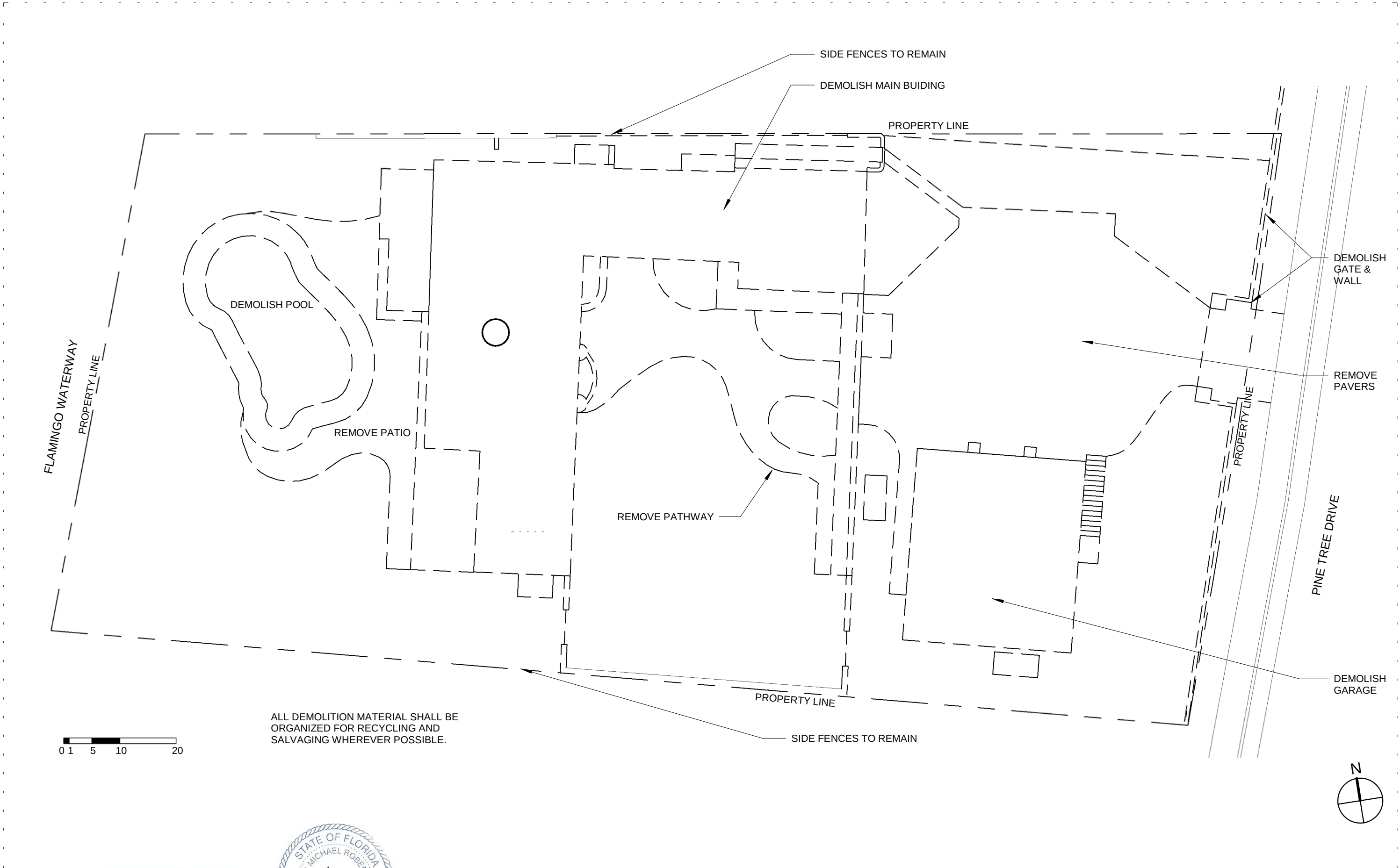
CONTEXT PHOTOS

$$1'' = 60'-0''$$

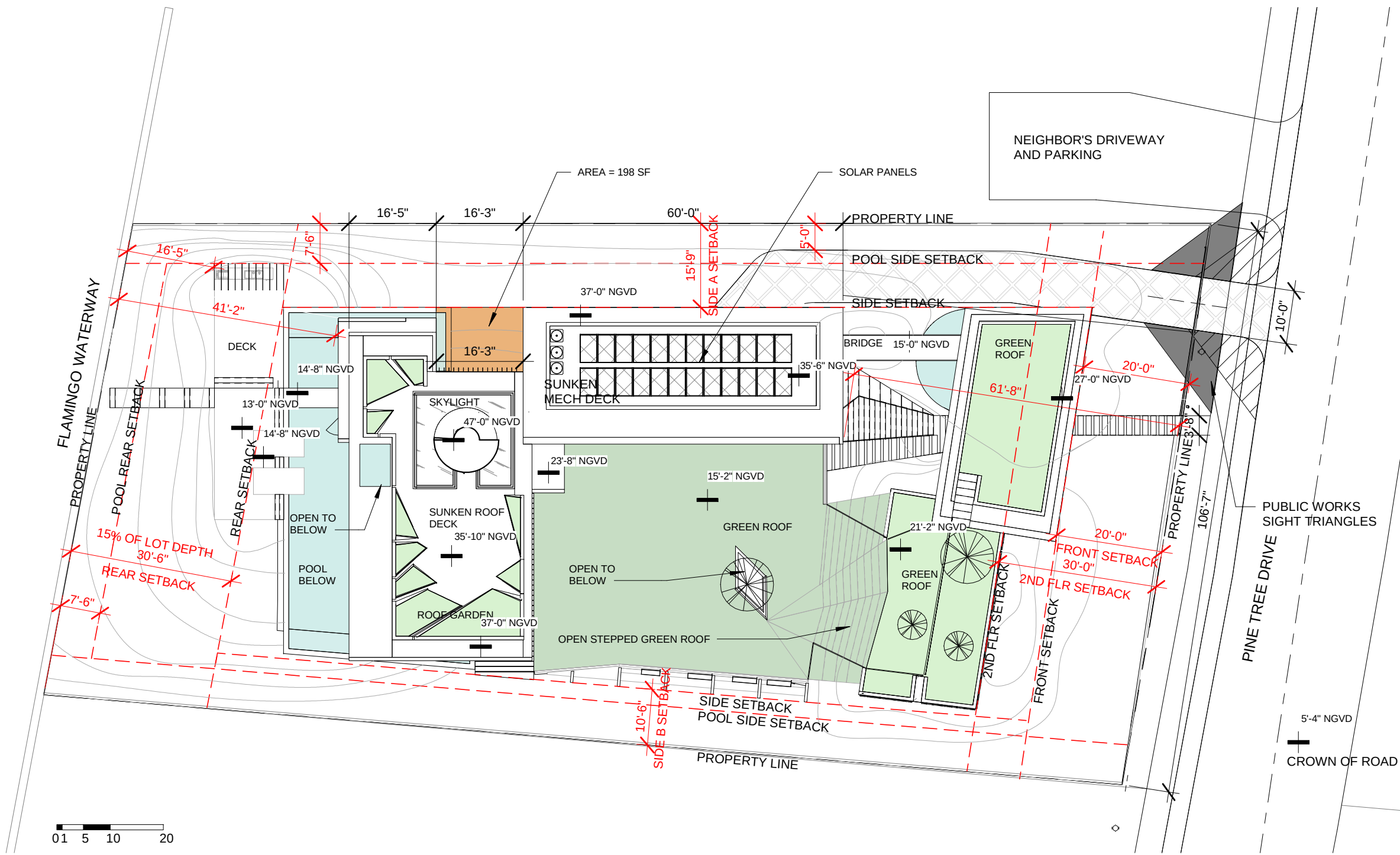
1804

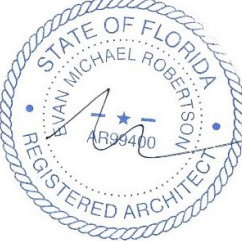
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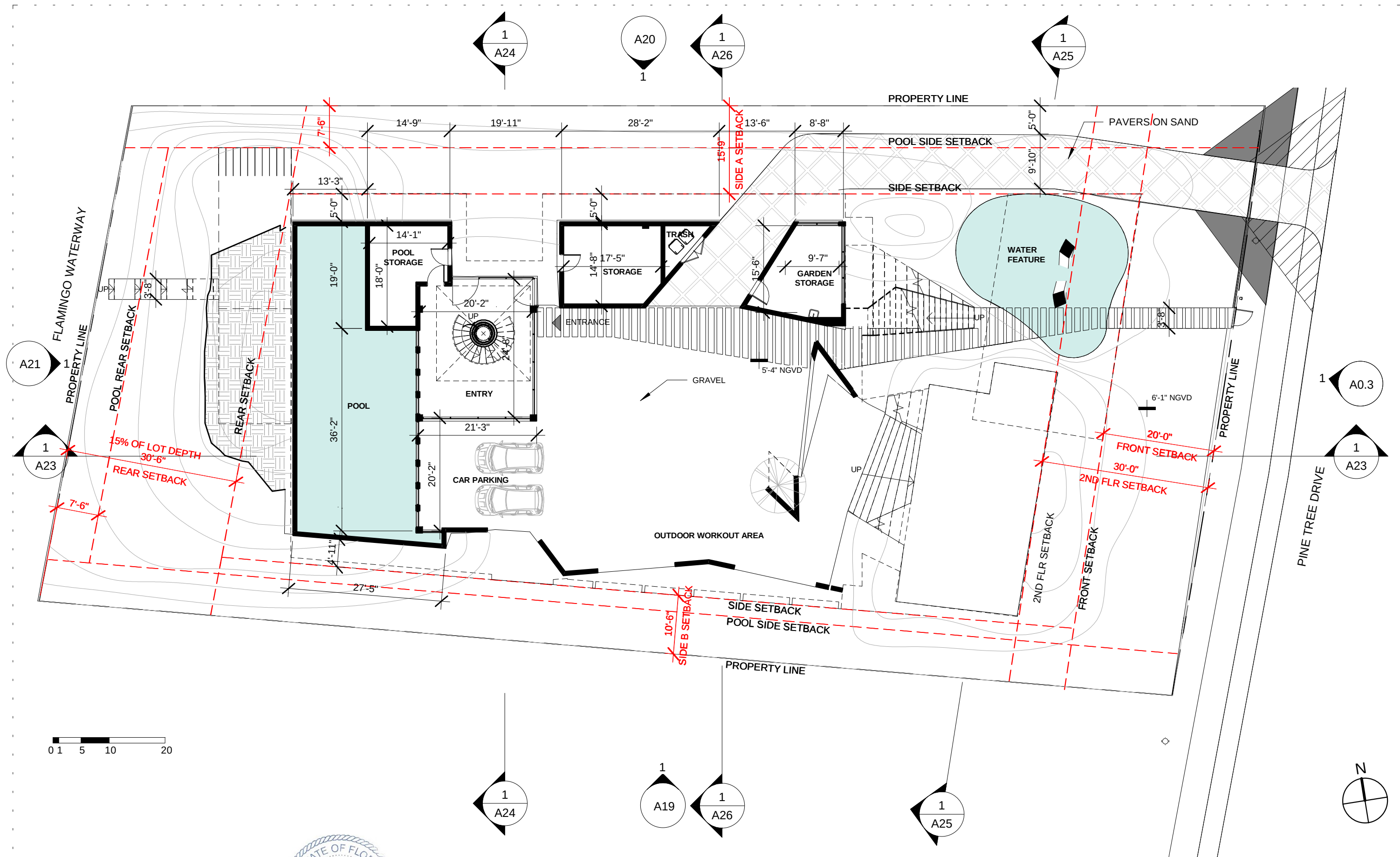
A11



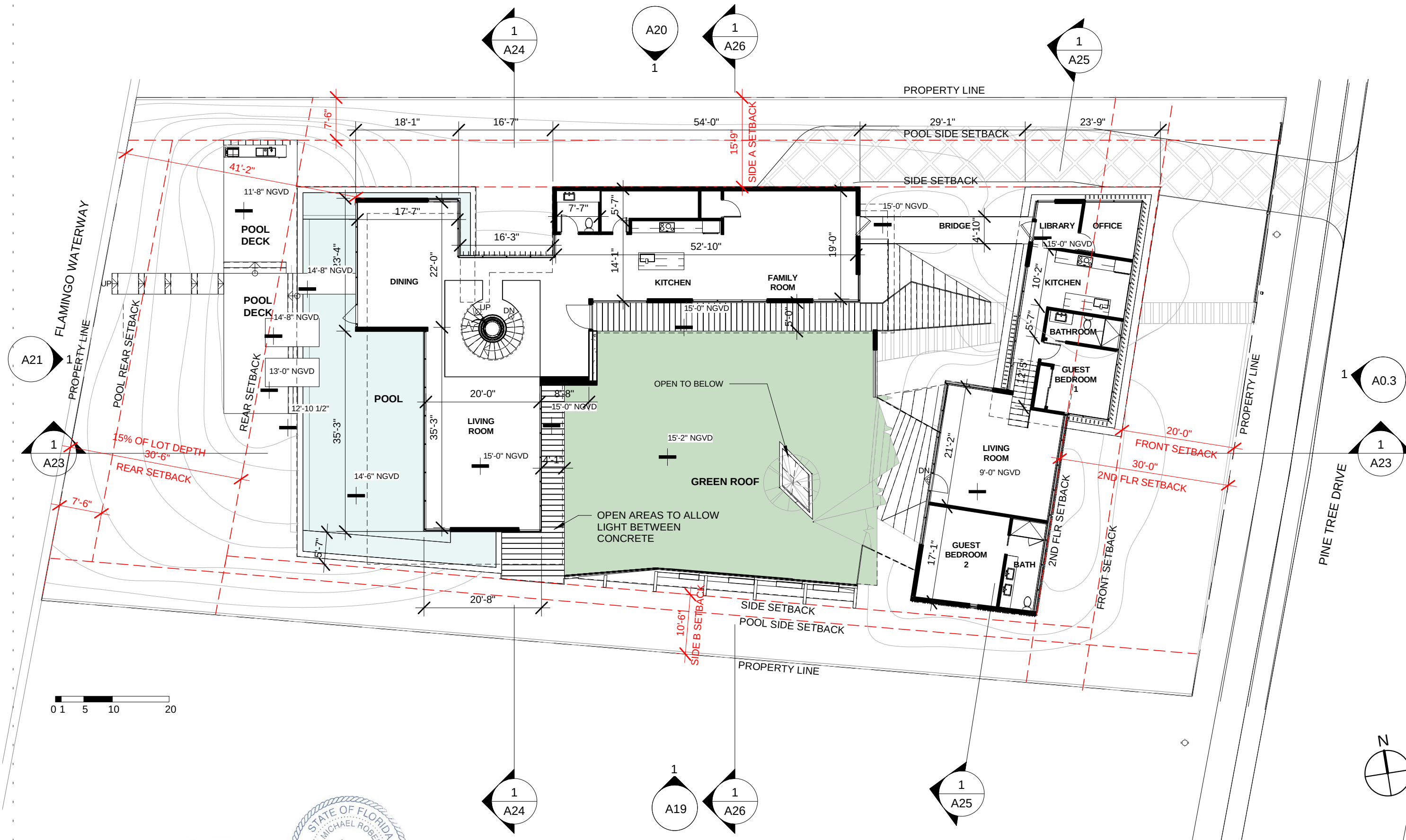
ARCHITECT	CONSULTANT	OWNER	PROJECT	DRAWING TITLE	DRAWING #
MTTR MGMT 212 NE 73 RD ST MIAMI FL 33150 www.ma77er.com		DEVA FINGER 4880 PINE TREE DR MIAMI BEACH FL 33140	PINE TREE	DEMOLITION PLAN 10.05.2020 1/16" = 1'-0"	1804 A12

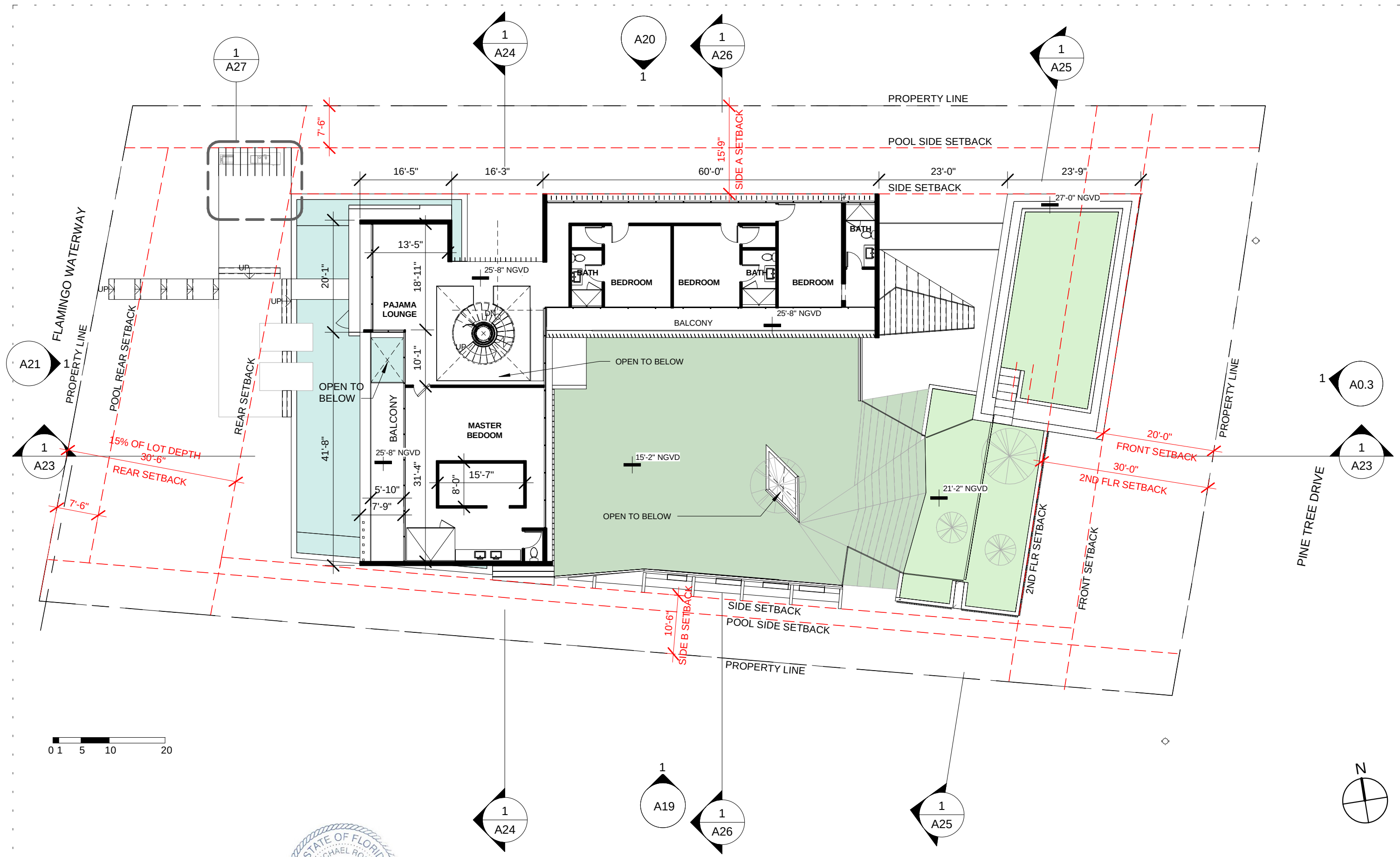


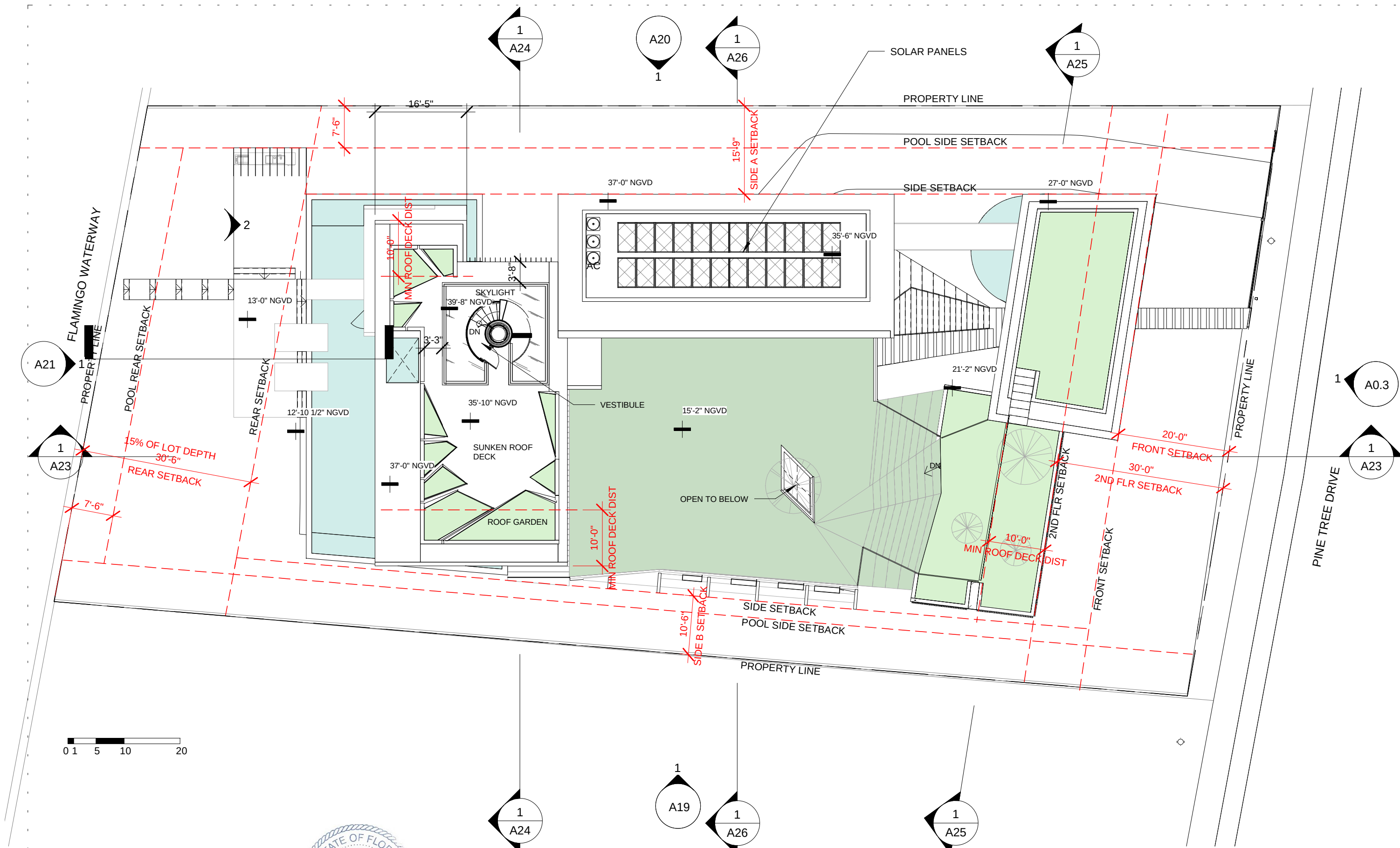
ACCESSORY SETBACKS			SETBACKS			SIDE ELEVATION		
ALLOWED	PROVIDED		ALLOWED	PROVIDED		ALLOWED	PROVIDED	
SIDE: 7'-6"	7'-6"		FRONT: ONE STORY: 20'-0" TWO STORY: 30'-0"	20'-0" 61'-8"		2 STORY MAX ALLOWABLE LENGTH 60'-0" MAX	60'-0"	
REAR: 7'-6"	16'-5"		SIDE: 25% OF LOT WIDTH 105' X 25% = 26.25 SIDE B 10% LOT WIDTH = 10.5' SIDE A = 15.75'	10'-6" 15'-9"		AREA OF COURTYARD 1% OF LOT AREA 19,773 SF X 1%: 197.7 SF	198 SF	
			REAR: MIN. 15% OF LOT DEPTH 203' X 15% = 30.5'	41'-2"				
ARCHITECT			OWNER			DRAWING TITLE		
CONSULTANT			PROJECT			DRAWING #		
MTTR MGMT 212 NE 73 RD ST MIAMI FL 33150 www.ma77er.com			DEVA FINGER 4880 PINE TREE DR MIAMI BEACH FL 33140			SITE PLAN 10.05.2020		
			PINE TREE			3/64" = 1'-0"		
						1804		
						A13		



ARCHITECT	CONSULTANT	OWNER	PROJECT	DRAWING TITLE	DRAWING #
MTTR MGMT 212 NE 73 RD ST MIAMI FL 33150 www.ma77er.com	STATE OF FLORIDA EVAN MICHAEL ROBERTS REGISTERED ARCHITECT AR99400	DEVA FINGER 4880 PINE TREE DR MIAMI BEACH FL 33140	PINE TREE	UNDERSTORY PLAN 10.05.2020 1/16" = 1'-0"	1804 A14







ARCHITECT

CONSULTANT

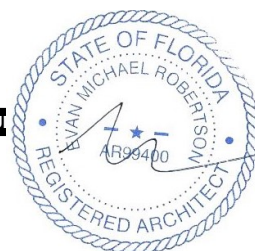
OWNER

PROJECT

DRAWING TITLE

DRAWING #

MTTR MGMT
212 NE 73RD ST | MIAMI FL | 33150
www.ma77er.com



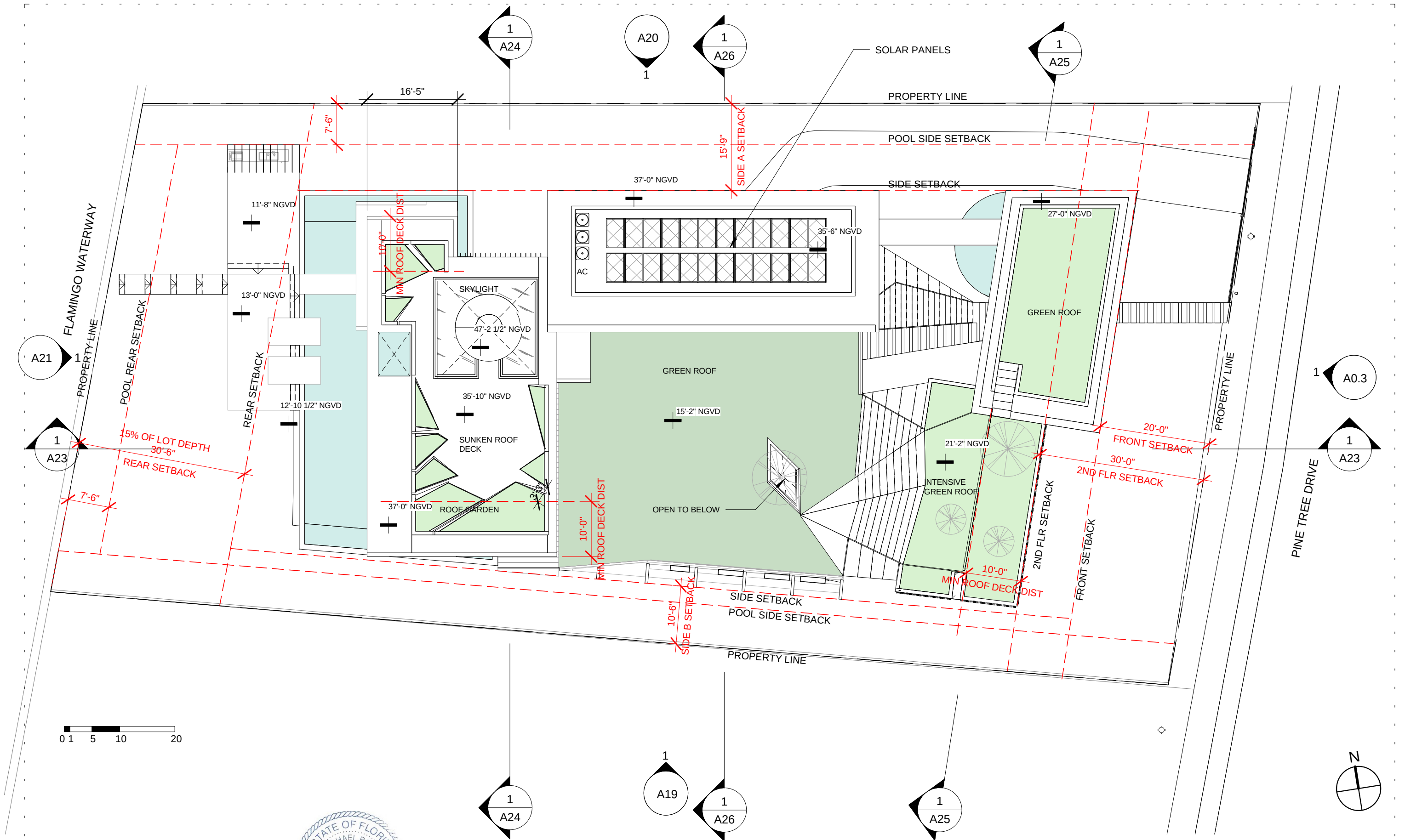
DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

PINE TREE

VESTIBULE PLAN
10.05.2020 1/16" = 1'-0"

1804

A17



ARCHITECT

CONSULTANT

OWNER

PROJECT

DRAWING TITLE

DRAWING #

MTTR MGMT
212 NE 73RD ST | MIAMI FL | 33150
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DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

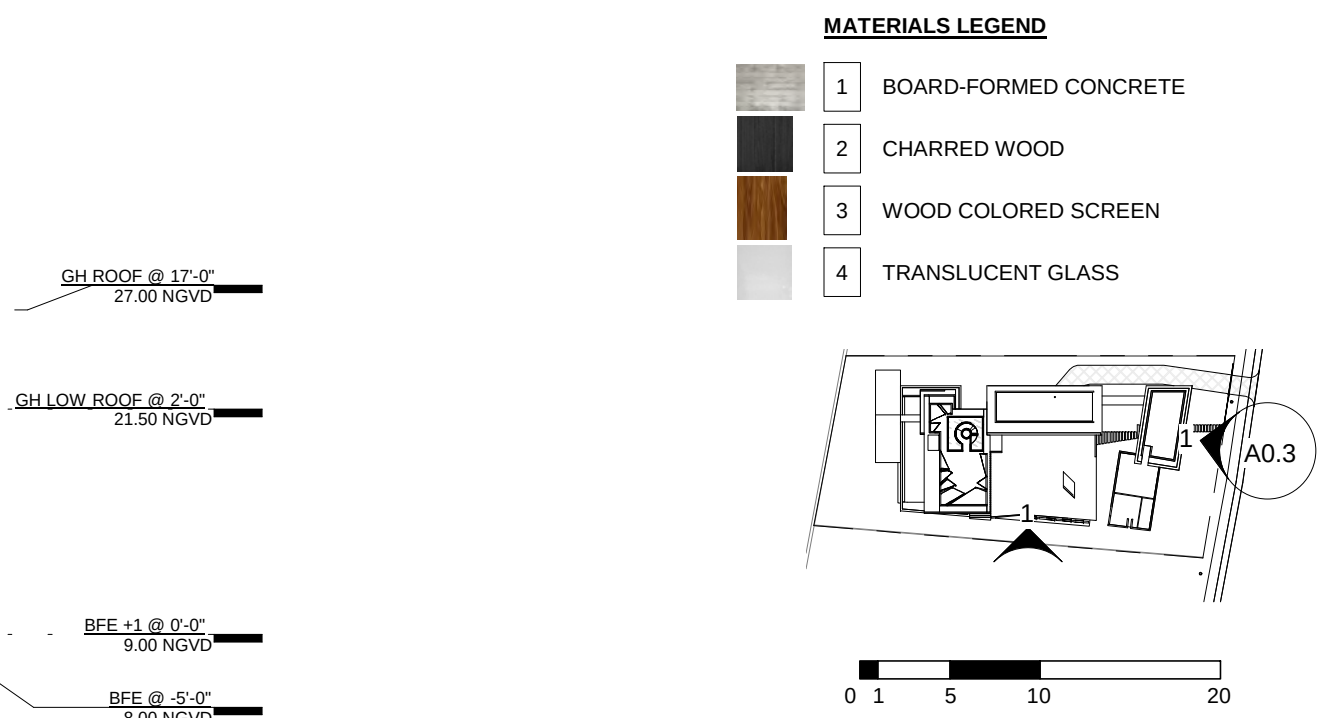
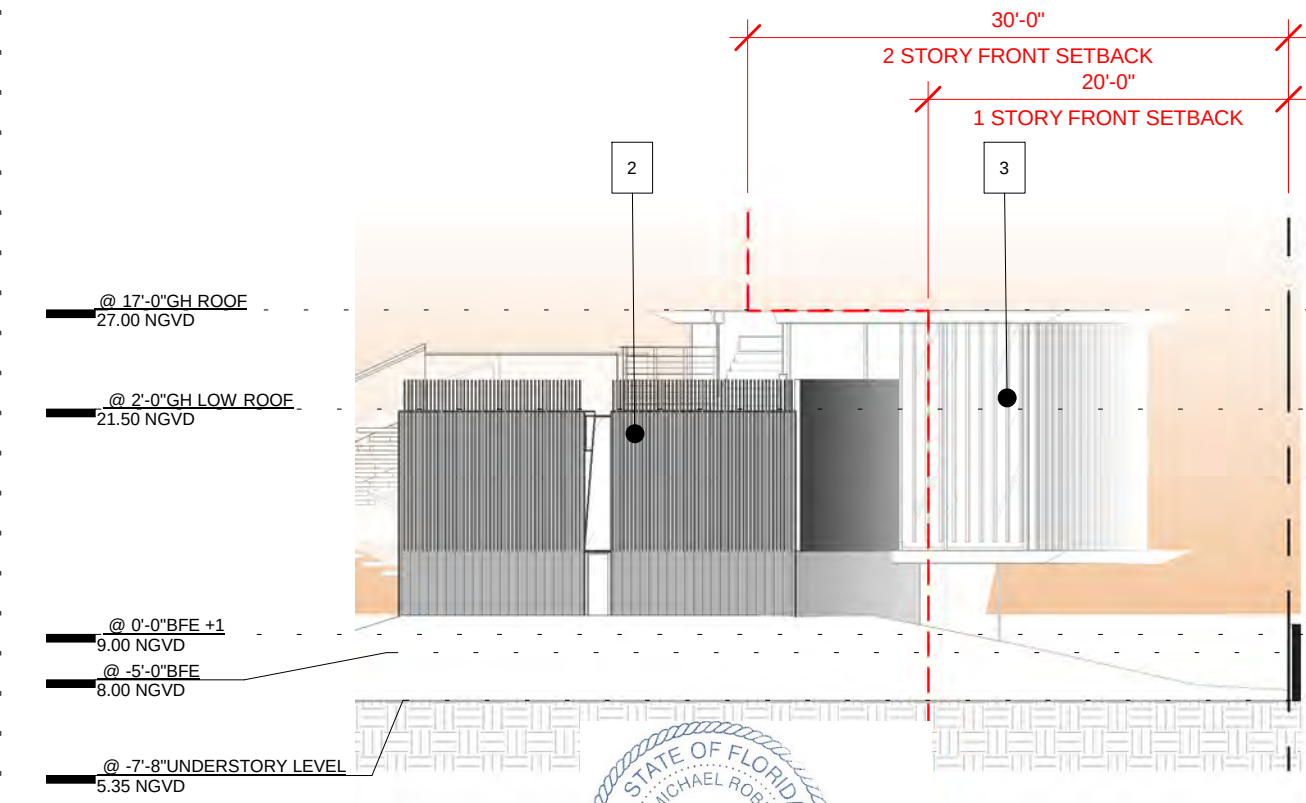
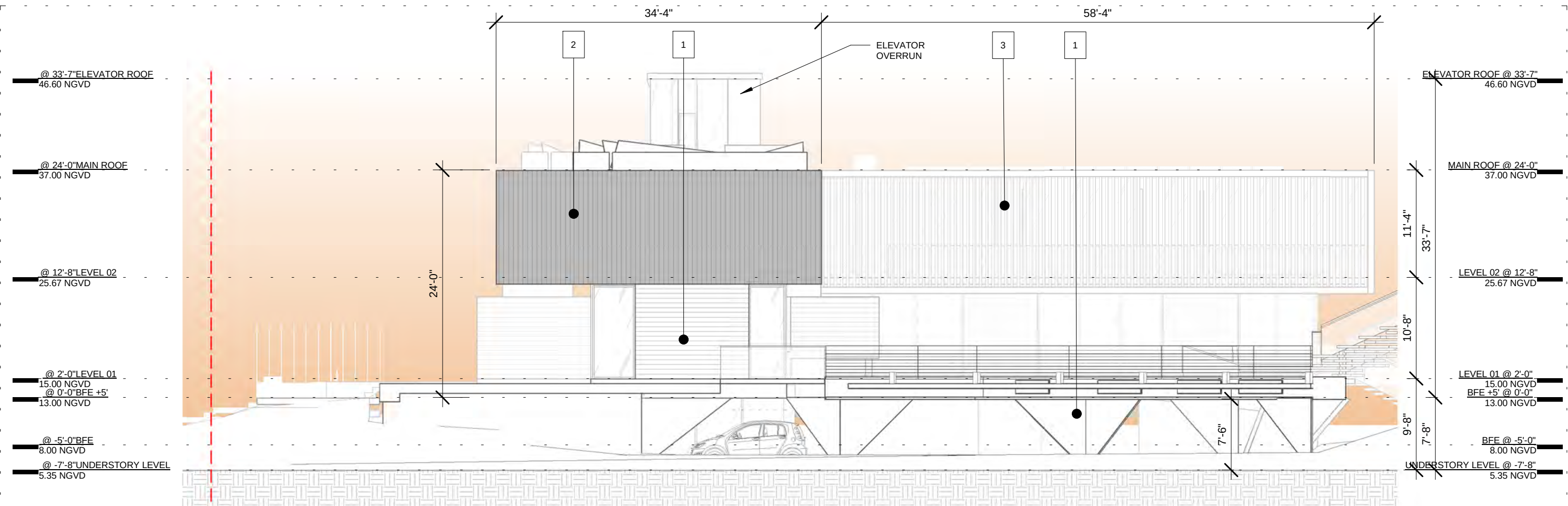
PINE TREE

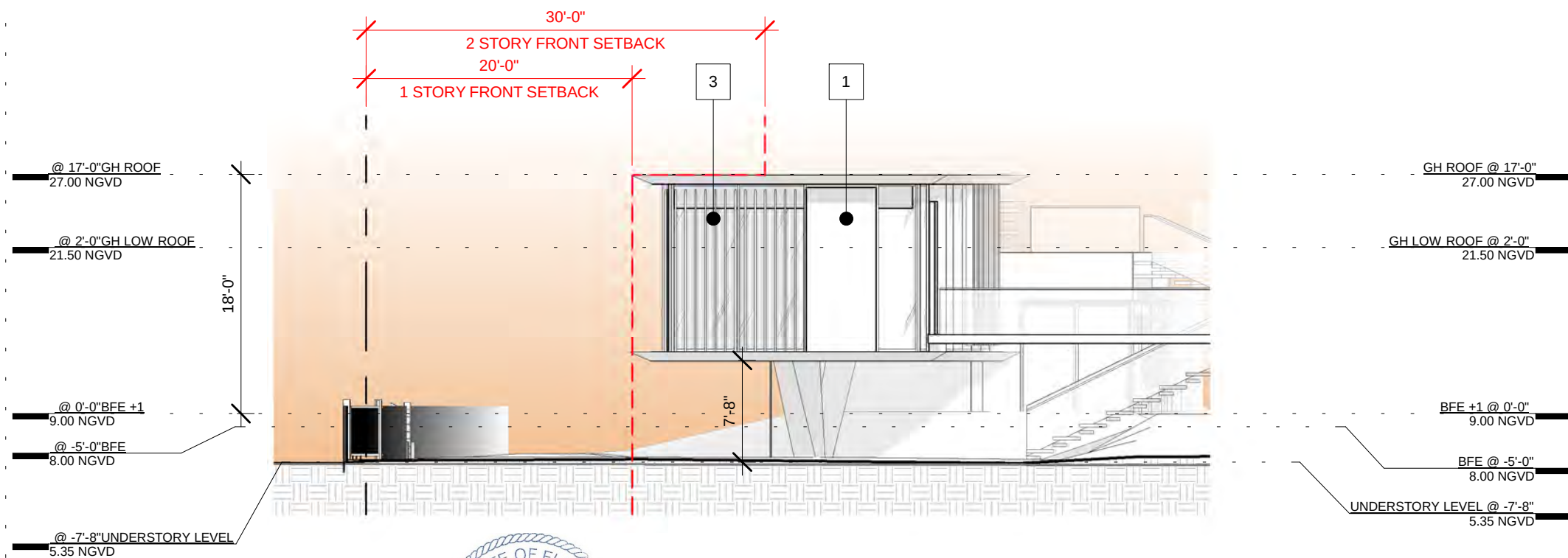
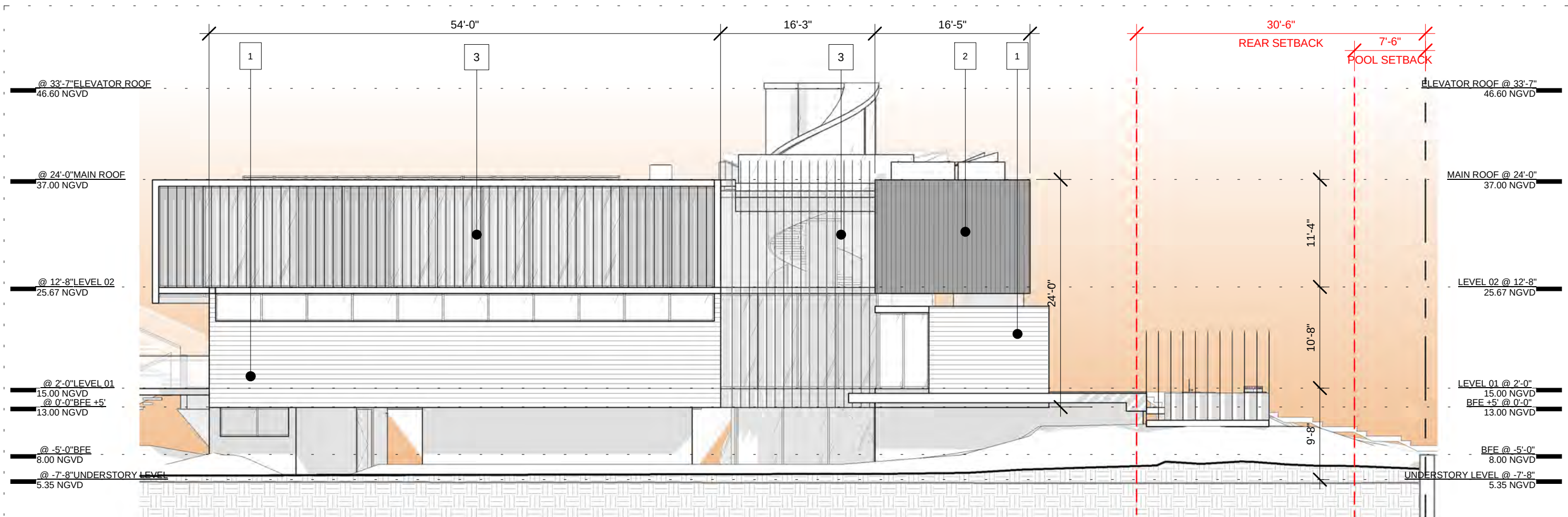
ROOF PLAN
10.05.2020

1/16" = 1'-0"

1804

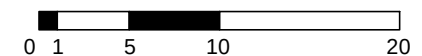
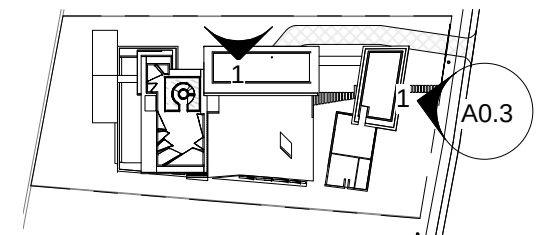
A18





MATERIALS LEGEND

1	BOARD-FORMED CONCRETE
2	CHARRED WOOD
3	WOOD COLORED SCREEN
4	TRANSLUCENT GLASS



ARCHITECT

CONSULTANT

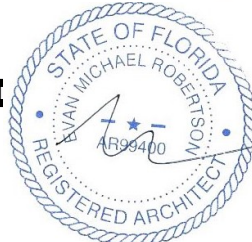
OWNER

PROJECT

DRAWING TITLE

DRAWING #

MTTR MGMT
212 NE 73RD ST | MIAMI FL | 33150
www.ma77er.com



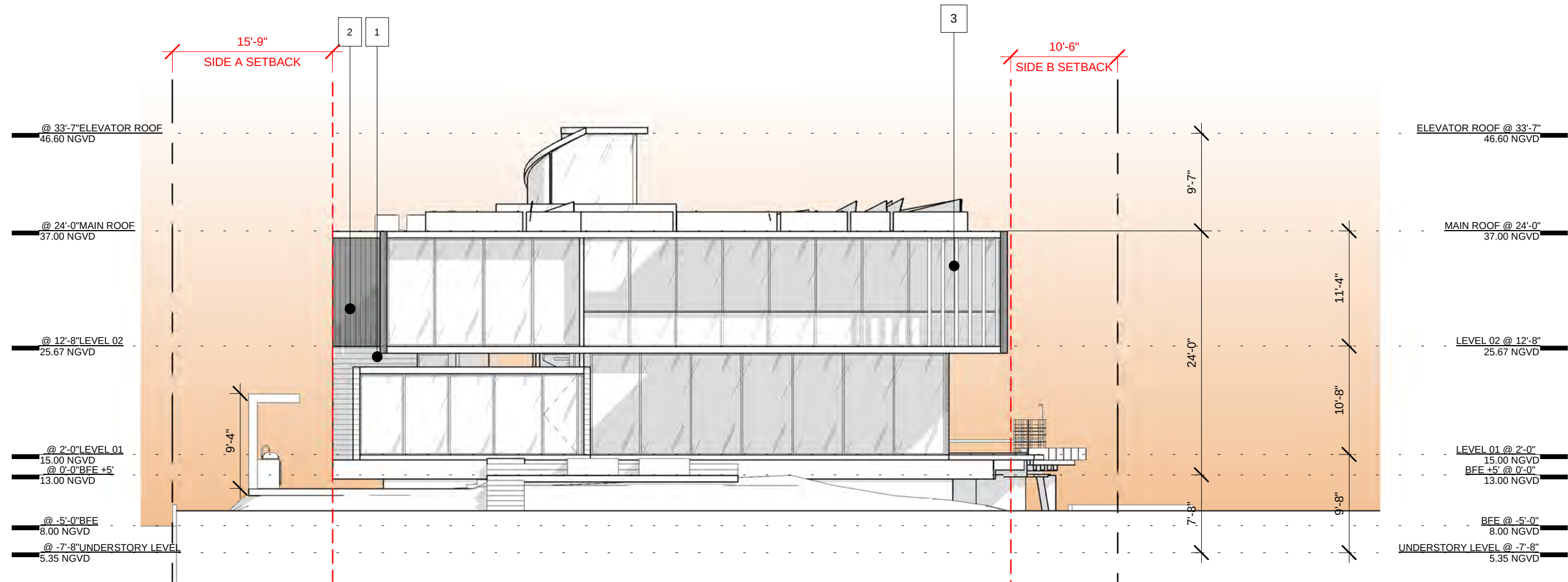
DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

PINE TREE

NORTH ELEVATION
10.05.2020
1/16" = 1'-0"

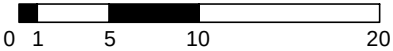
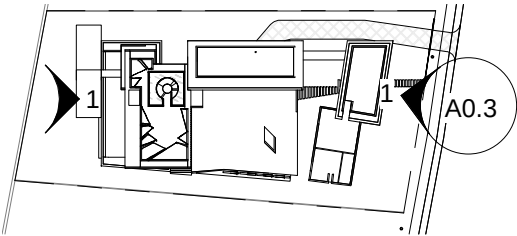
1804

A20



MATERIALS LEGEND

- 1 BOARD-FORMED CONCRETE
- 2 CHARRED WOOD
- 3 WOOD COLORED SCREEN
- 4 TRANSLUCENT GLASS



ARCHITECT

CONSULTANT

OWNER

PROJECT

DRAWING TITLE

DRAWING #

MTTR MGMT
212 NE 73RD ST | MIAMI FL | 33150
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4880 PINE TREE DR | MIAMI BEACH | FL | 33140

PINE TREE

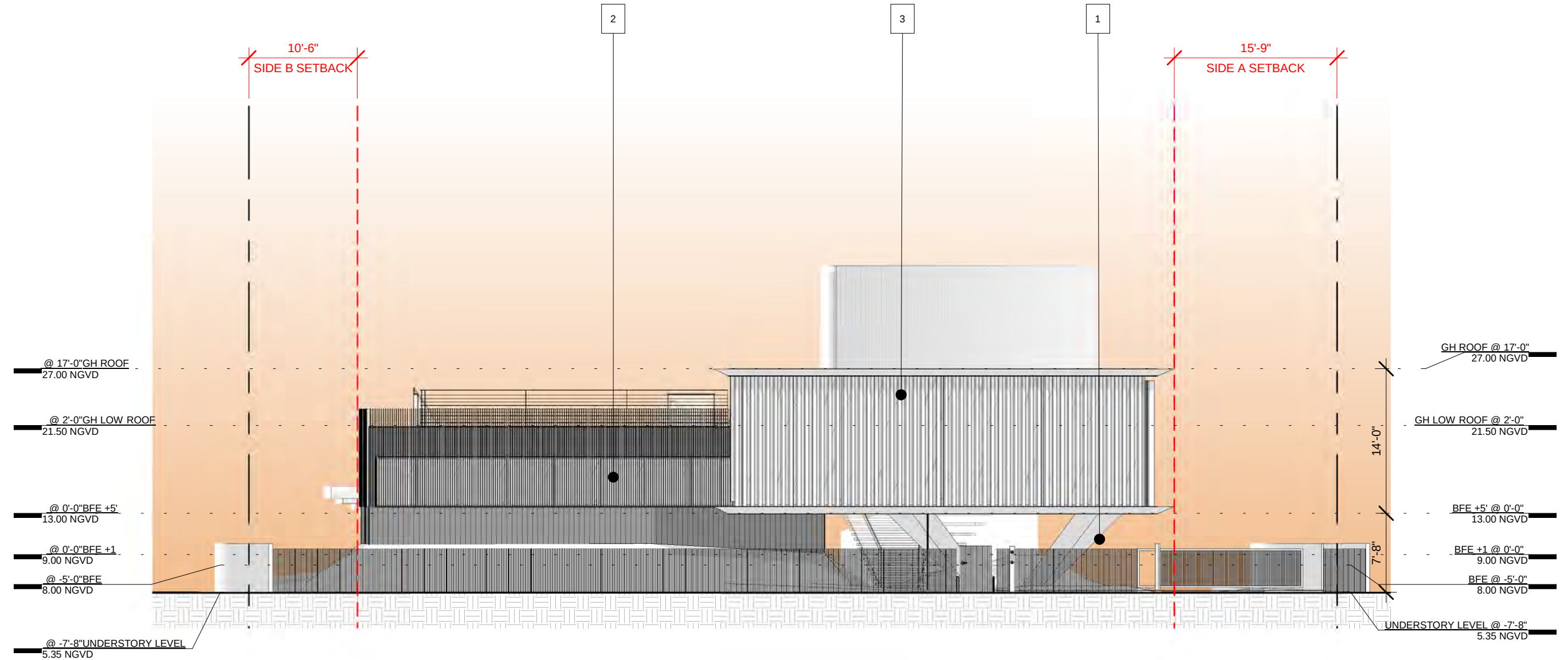
WEST ELEVATION

10.05.2020

1/16" = 1'-0"

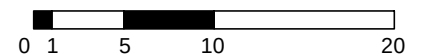
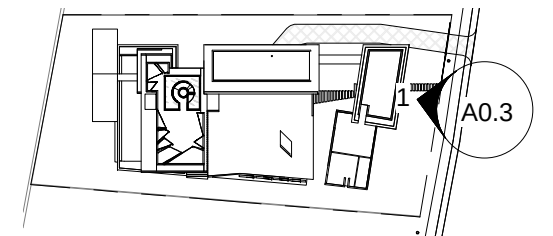
1804

A21



MATERIALS LEGEND

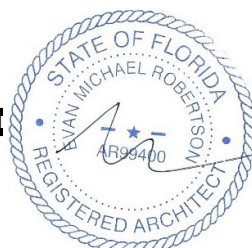
- | | |
|---|-----------------------|
| 1 | BOARD-FORMED CONCRETE |
| 2 | CHARRED WOOD |
| 3 | WOOD COLORED SCREEN |
| 4 | TRANSLUCENT GLASS |



ARCHITECT

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PROJECT

PINE TREE

DRAWING TITLE

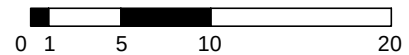
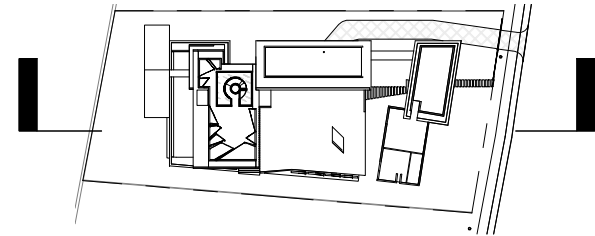
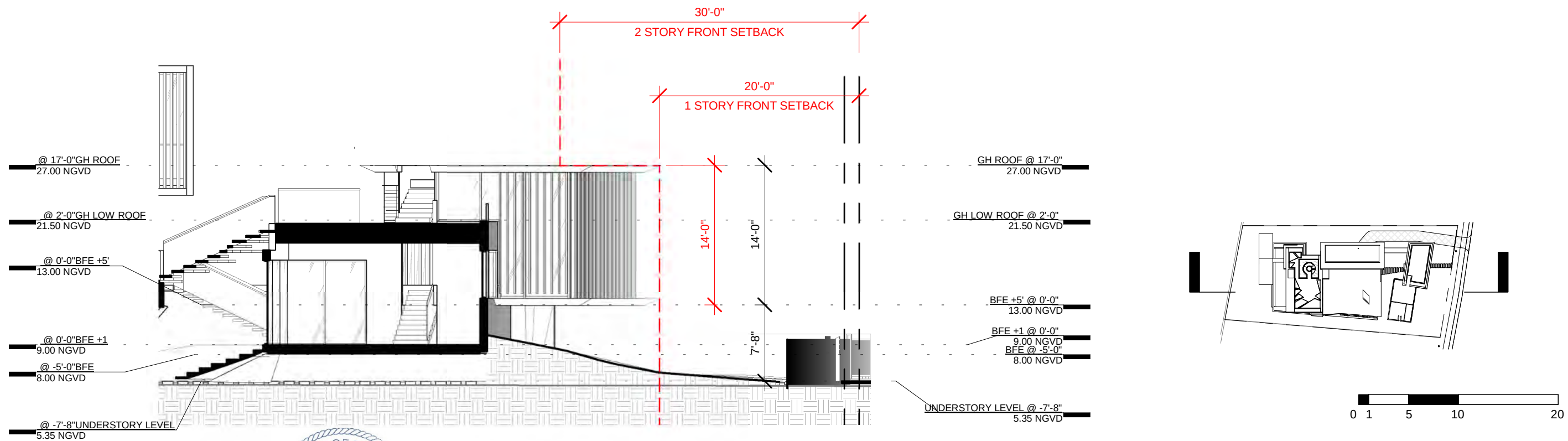
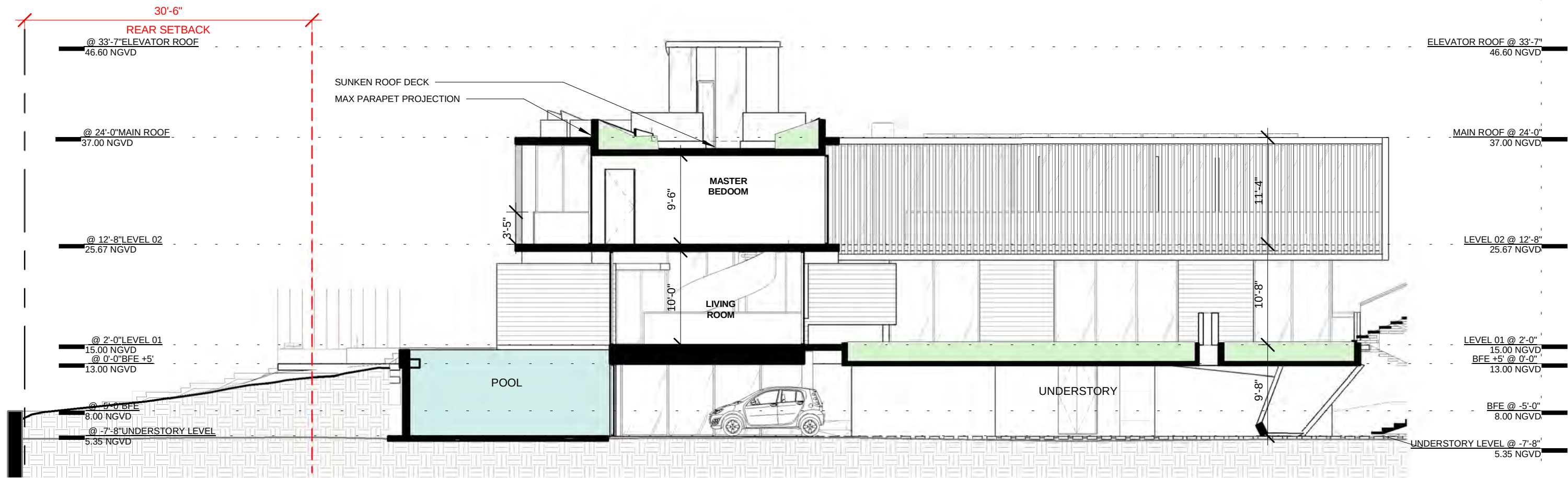
EAST ELEVATION
10.05.2020

1/16" = 1'-0"

1804

DRAWING #

A22



ARCHITECT

CONSULTANT

OWNER

PROJECT

DRAWING TITLE

DRAWING #

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DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

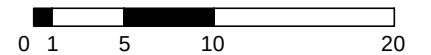
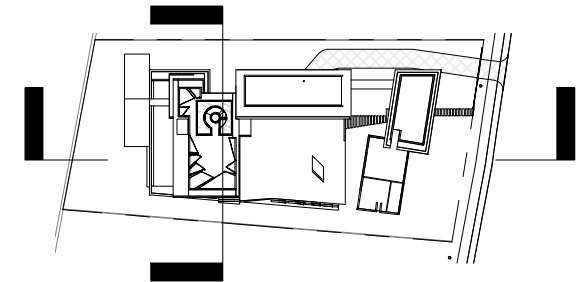
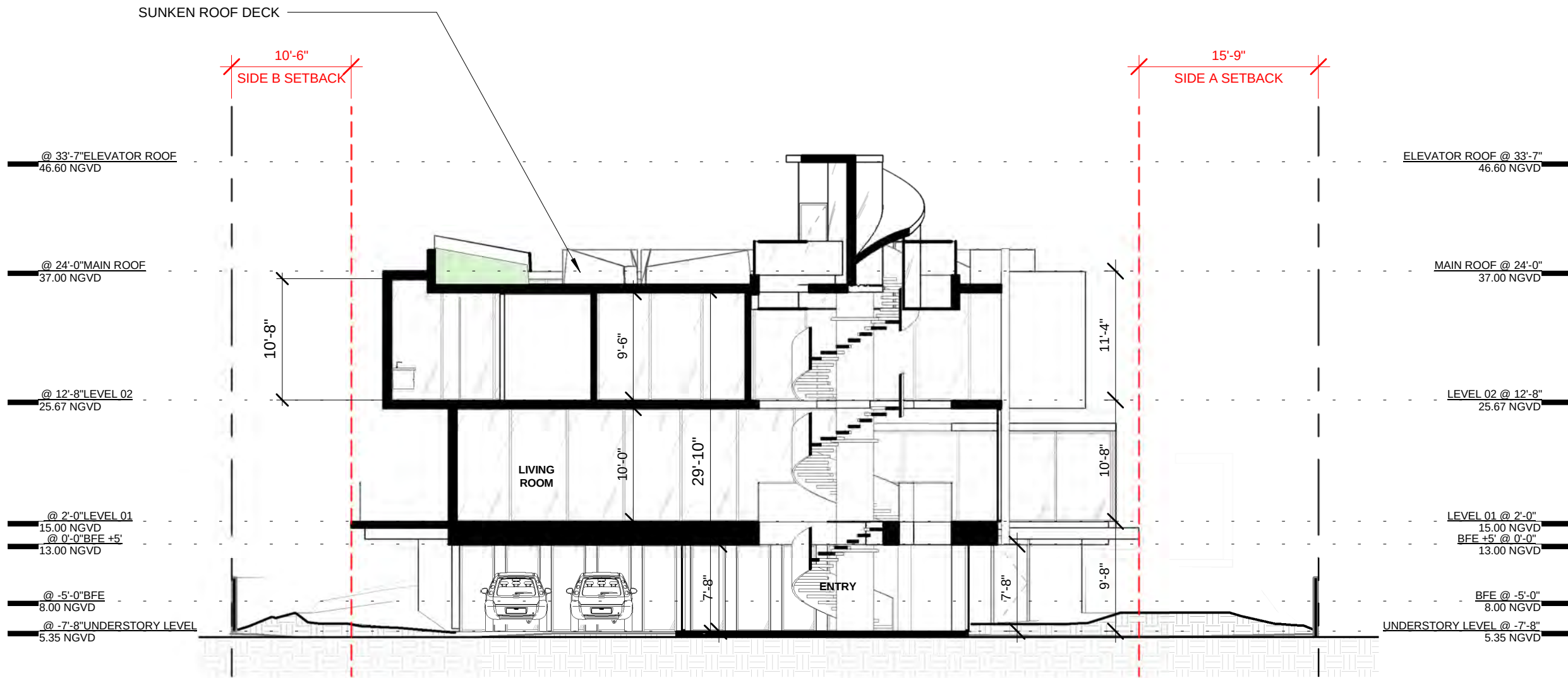
PINE TREE

SECTION A
10.05.2020

1/16" = 1'-0"

1804

A23



ARCHITECT

CONSULTANT

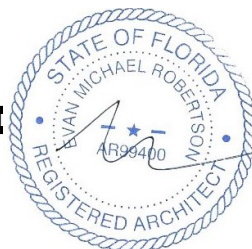
OWNER

PROJECT

DRAWING TITLE

DRAWING #

MTTR MGMT
212 NE 73RD ST | MIAMI FL | 33150
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DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

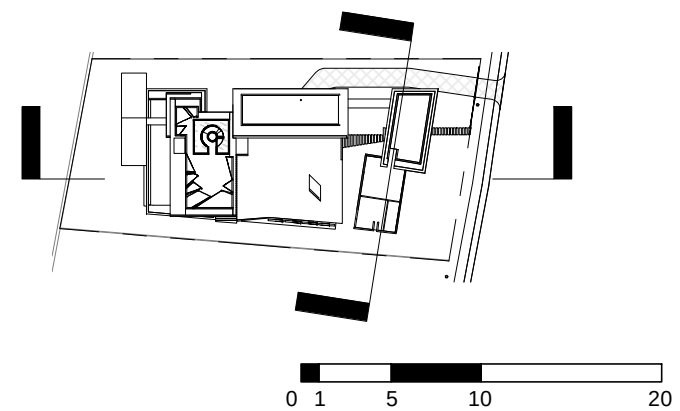
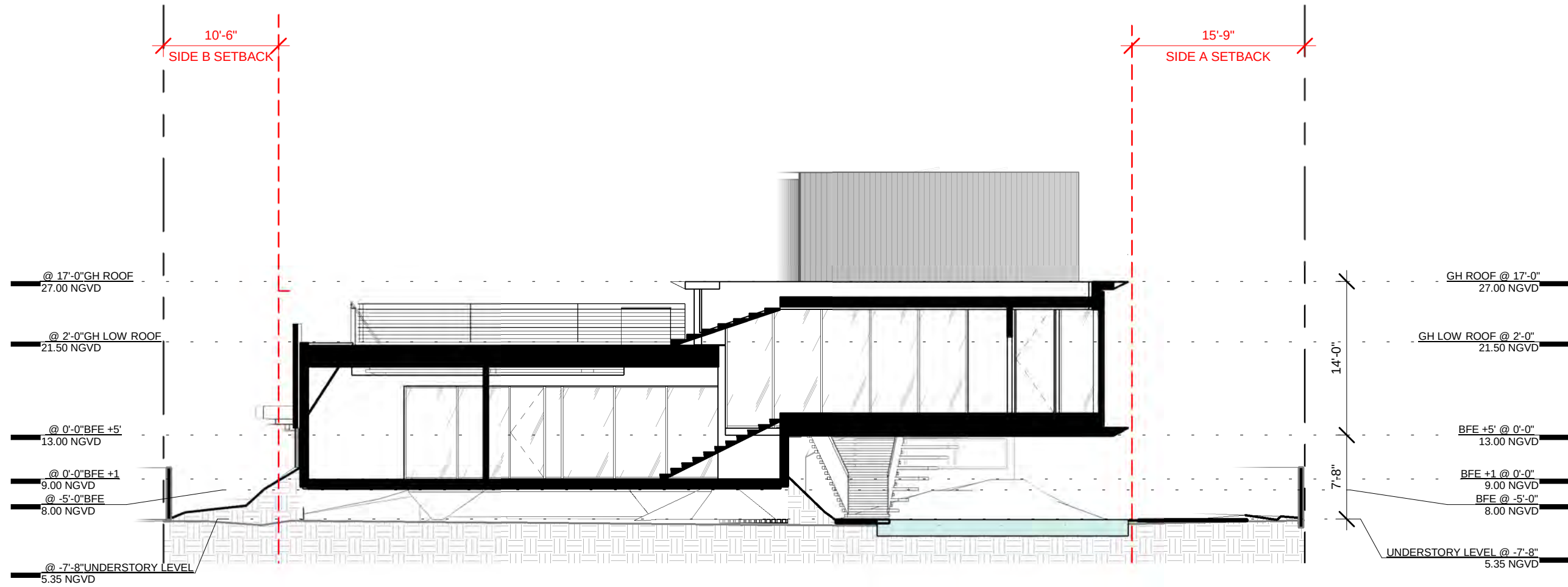
PINE TREE

SECTION B
10.05.2020

1/16" = 1'-0"

1804

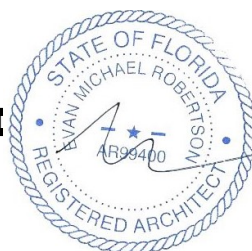
A24



ARCHITECT

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CONSULTANT



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DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

PROJECT

PINE TREE

DRAWING TITLE

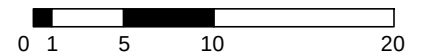
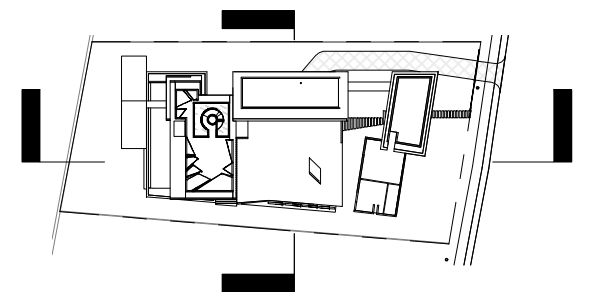
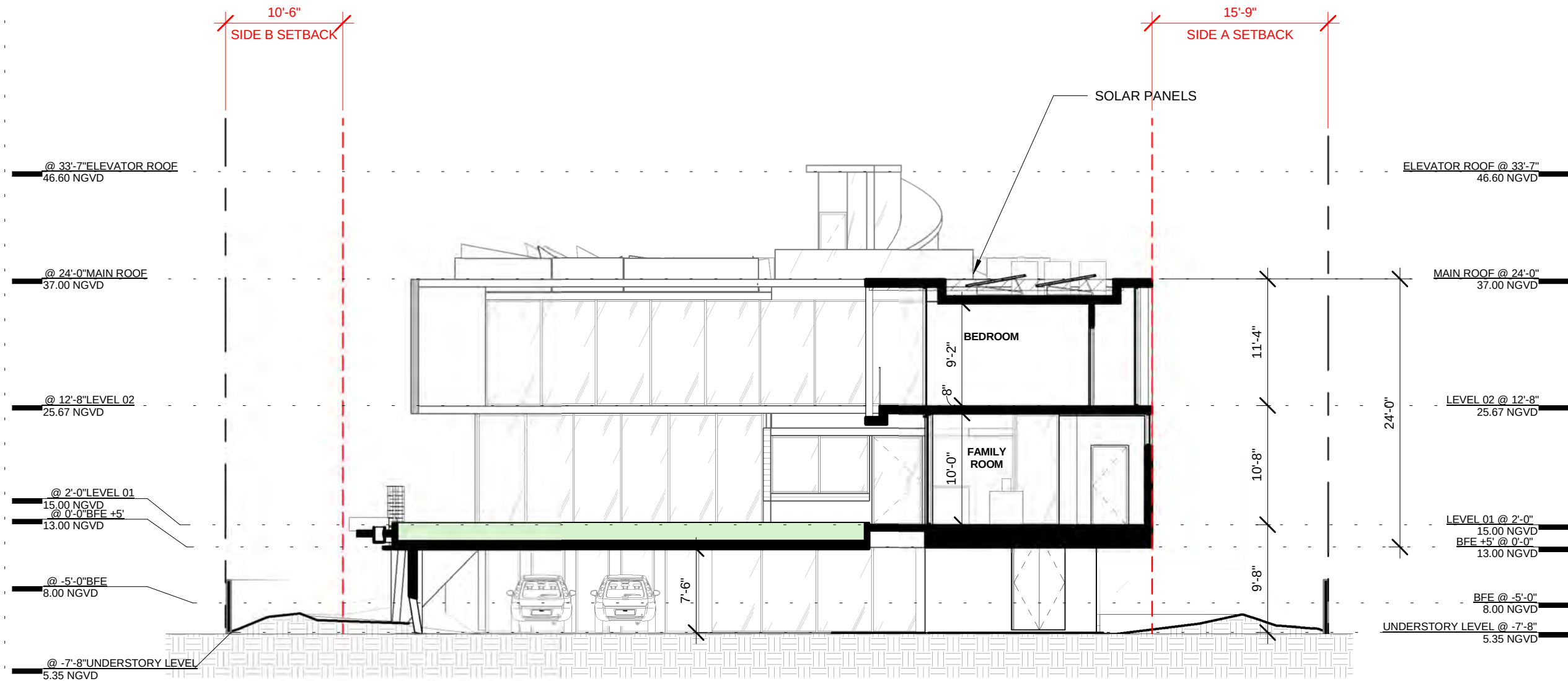
SECTION C
10.05.2020

As indicated

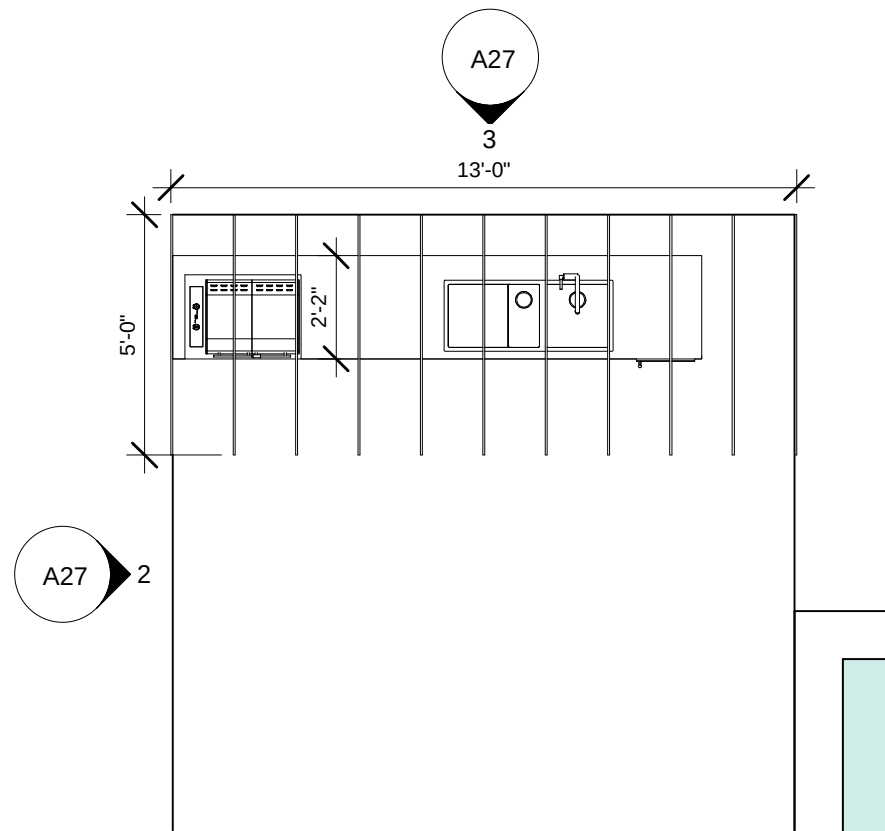
1804

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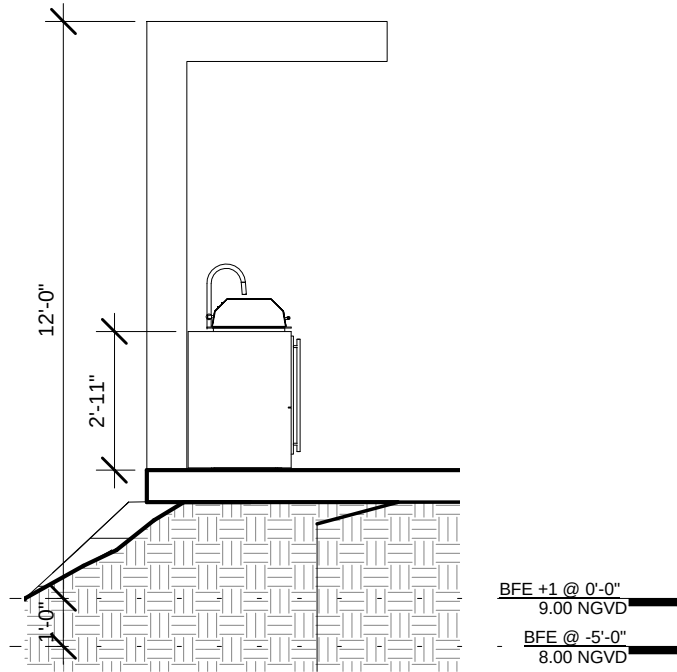
A25



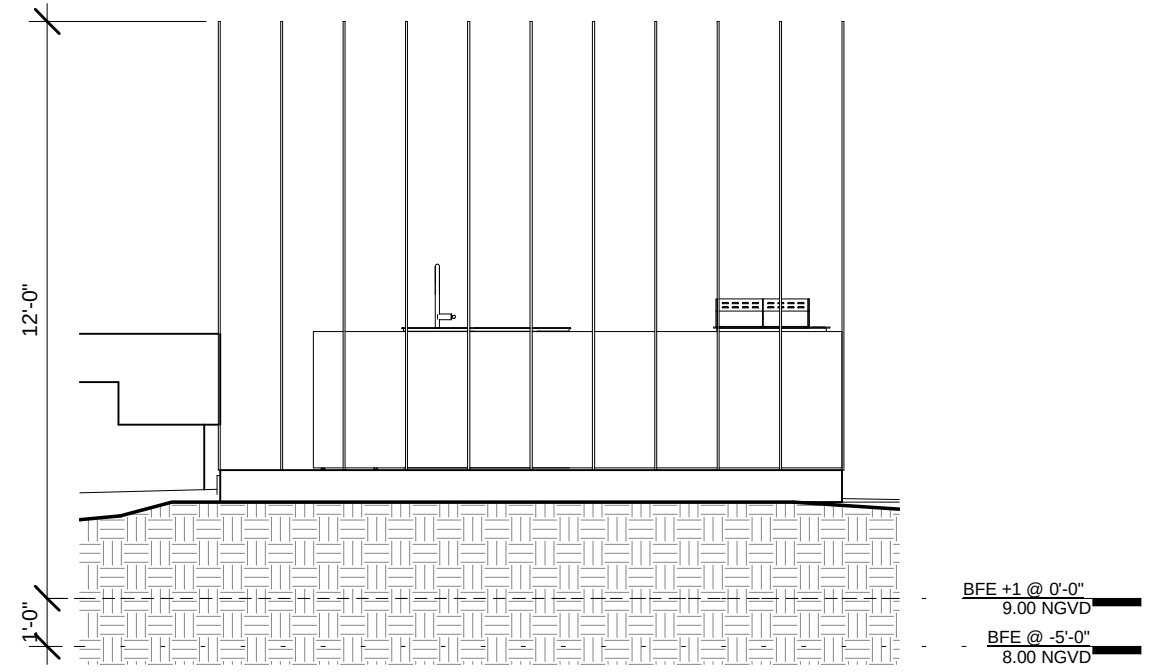
ARCHITECT	CONSULTANT	OWNER	PROJECT	DRAWING TITLE	DRAWING #
MTTR MGMT 212 NE 73 RD ST MIAMI FL 33150 www.ma77er.com		DEVA FINGER 4880 PINE TREE DR MIAMI BEACH FL 33140	PINE TREE	SECTION D 10.05.2020 1/16" = 1'-0" 1804	A26



EXTERIOR COVER PLAN
1/4" = 1'-0" **1**



EXTERIOR COVER SIDE ELEVATION
1/4" = 1'-0" **2**

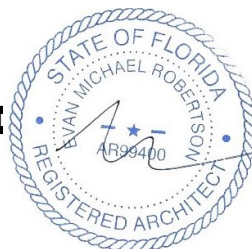


EXTERIOR COVER REAR ELEVATION
1/4" = 1'-0" **3**

ARCHITECT

MTTR MGMT
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www.ma77er.com

CONSULTANT



OWNER

DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

PROJECT

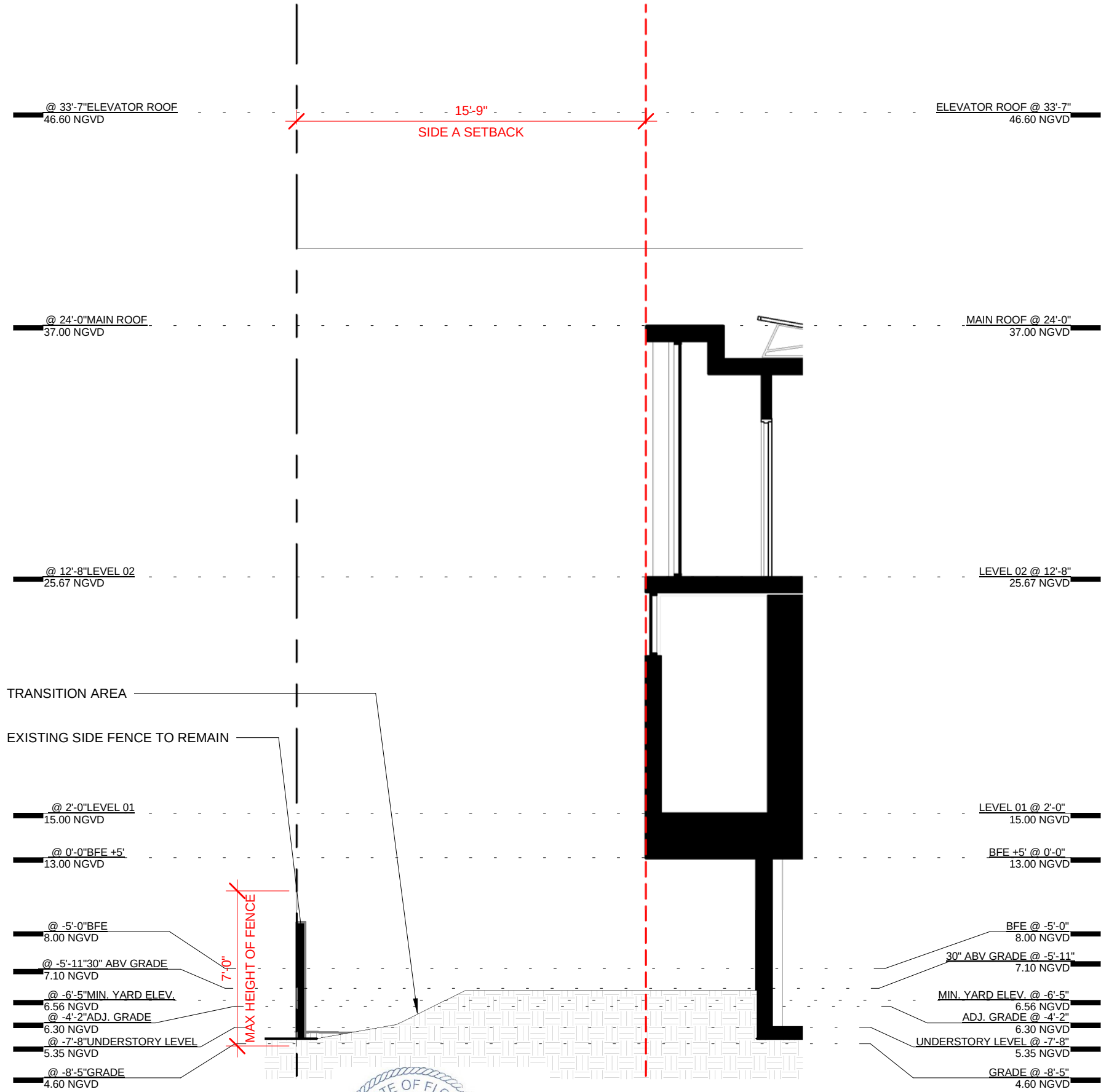
PINE TREE

DRAWING TITLE

EXTERIOR COVERED AREA
10.05.2020 1/4" = 1'-0" 1804

DRAWING #

A27



DEFINITIONS

GRADE MEANS THE CITY SIDEWALK ELEVATION AT THE CENTERLINE OF THE FRONT OF THE PROPERTY.

GRADE = 4.60 NGVD

GRADE, ADJUSTED MEANS THE MIDPOINT ELEVATION BETWEEN GRADE AND THE MINIMUM REQUIRED FLOOD ELEVATION FOR A LOT OR LOTS.
 $(8.00-4.60)/2 + 4.60 = 6.30$

ADJUSTED GRADE = 6.30 NGVD

CODE

THE **MINIMUM ELEVATION** OF A REQUIRED YARD SHALL BE NO LESS THAN FIVE (5) FEET NAVD (**6.56** FEET NGVD), WITH THE EXCEPTION OF DRIVEWAYS, WALKWAYS, TRANSITION AREAS, GREEN INFRASTRUCTURE (E.G., VEGETATED SWALES, PERMEABLE PAVEMENT, RAIN GARDENS, AND RAINWATER/STORMWATER CAPTURE AND INFILTRATION DEVICES), AND AREAS WHERE EXISTING LANDSCAPING IS TO BE PRESERVED, WHICH MAY HAVE A LOWER ELEVATION.

INTERIOR SIDE YARDS (LOCATED BETWEEN THE FRONT SETBACK LINE AND REAR PROPERTY LINE). THE **MAXIMUM ELEVATION** SHALL NOT EXCEED ADJUSTED GRADE, OR **30 INCHES** ABOVE GRADE, WHICHEVER IS GREATER

WITHIN THE REQUIRED REAR OR SIDE YARD, FENCES, WALLS AND GATES SHALL NOT EXCEED **SEVEN FEET**, AS MEASURED FROM GRADE

CENTRAL AIR CONDITIONERS, EMERGENCY GENERATORS AND OTHER MECHANICAL EQUIPMENT. ACCESSORY CENTRAL AIR CONDITIONERS, GENERATORS AND ANY OTHER MECHANICAL EQUIPMENT, INCLUDING ATTACHED SCREENING ELEMENTS, MAY OCCUPY A REQUIRED SIDE OR REAR YARD, IN SINGLE-FAMILY, PROVIDED THAT:

- (1) THEY ARE NOT CLOSER THAN **FIVE FEET** TO A REAR OR INTERIOR SIDE LOT LINE
- (2) THE **MAXIMUM HEIGHT** OF THE EQUIPMENT INCLUDING ATTACHED SCREENING ELEMENTS, SHALL NOT EXCEED **FIVE FEET** ABOVE CURRENT FLOOD ELEVATION, WITH A **MAXIMUM HEIGHT** NOT TO EXCEED **TEN FEET ABOVE GRADE**.



ARCHITECT

MTTR MGMT
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OWNER

DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

PROJECT

PINE TREE

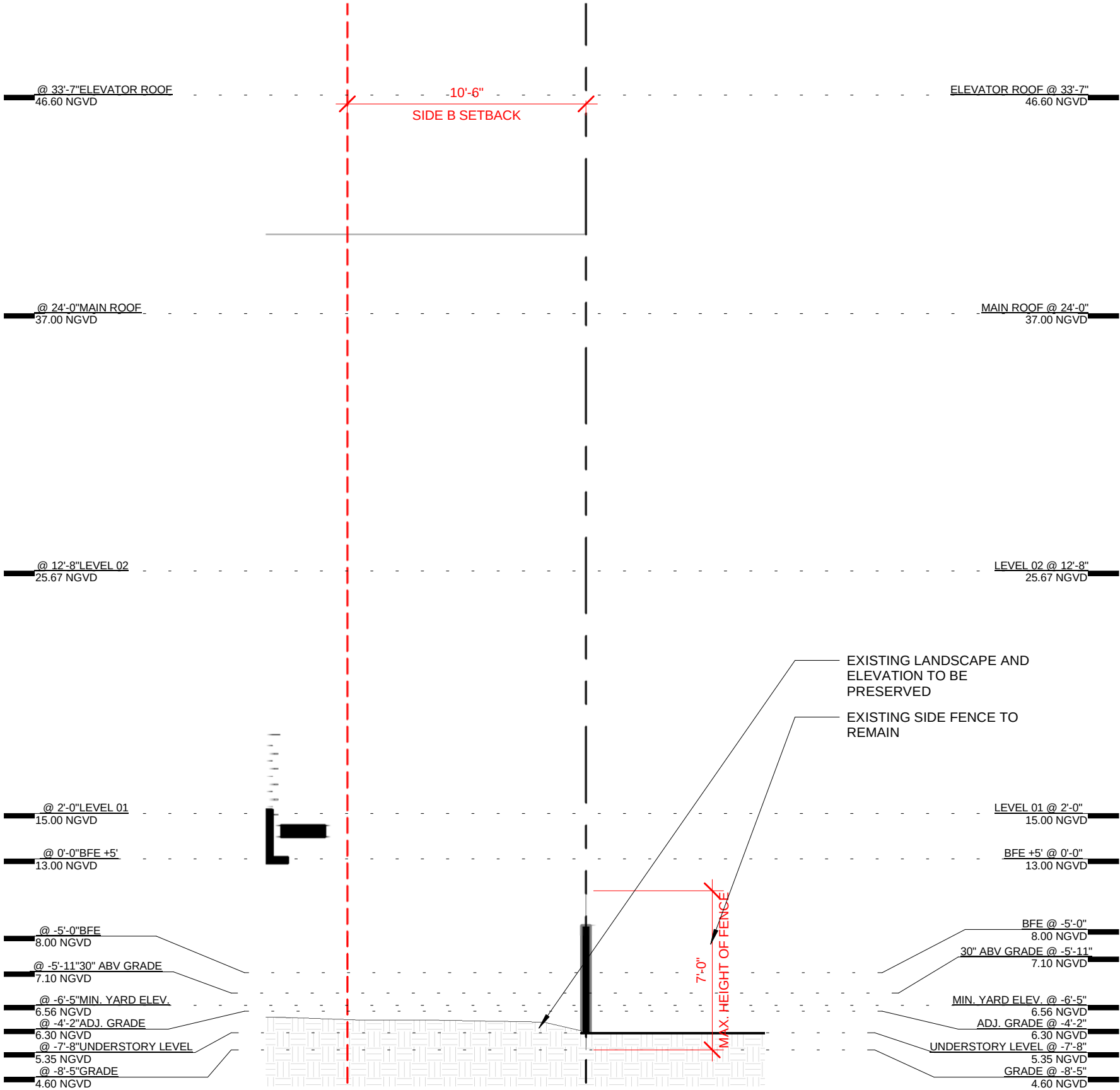
DRAWING TITLE

SIDE YARD A SECTION
10.05.2020 3/16" = 1'-0"

DRAWING #

A28

1804



DEFINITIONS

GRADE MEANS THE CITY SIDEWALK ELEVATION AT THE CENTERLINE OF THE FRONT OF THE PROPERTY.

GRADE = 4.60 NGVD

GRADE, ADJUSTED MEANS THE MIDPOINT ELEVATION BETWEEN GRADE AND THE MINIMUM REQUIRED FLOOD ELEVATION FOR A LOT OR LOTS.
 $(8.00-4.60)/2 + 4.60 = 6.30$

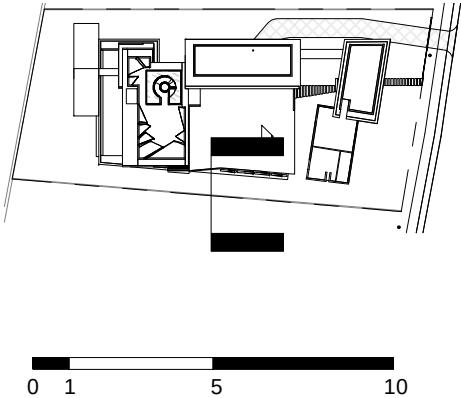
ADJUSTED GRADE = 6.30 NGVD

CODE

THE **MINIMUM ELEVATION** OF A REQUIRED YARD SHALL BE NO LESS THAN FIVE (5) FEET NAVD (**6.56** FEET NGVD), WITH THE EXCEPTION OF DRIVEWAYS, WALKWAYS, TRANSITION AREAS, GREEN INFRASTRUCTURE (E.G., VEGETATED SWALES, PERMEABLE PAVEMENT, RAIN GARDENS, AND RAINWATER/STORMWATER CAPTURE AND INFILTRATION DEVICES), AND AREAS WHERE EXISTING LANDSCAPING IS TO BE PRESERVED, WHICH MAY HAVE A LOWER ELEVATION.

INTERIOR SIDE YARDS (LOCATED BETWEEN THE FRONT SETBACK LINE AND REAR PROPERTY LINE). THE **MAXIMUM ELEVATION** SHALL NOT EXCEED ADJUSTED GRADE, OR **30 INCHES** ABOVE GRADE, WHICHEVER IS GREATER

WITHIN THE REQUIRED REAR OR SIDE YARD, FENCES, WALLS AND GATES SHALL NOT EXCEED **SEVEN FEET**, AS MEASURED FROM GRADE



ARCHITECT

CONSULTANT

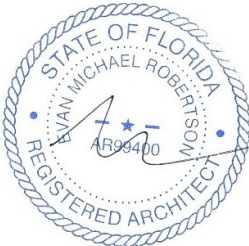
OWNER

PROJECT

DRAWING TITLE

DRAWING #

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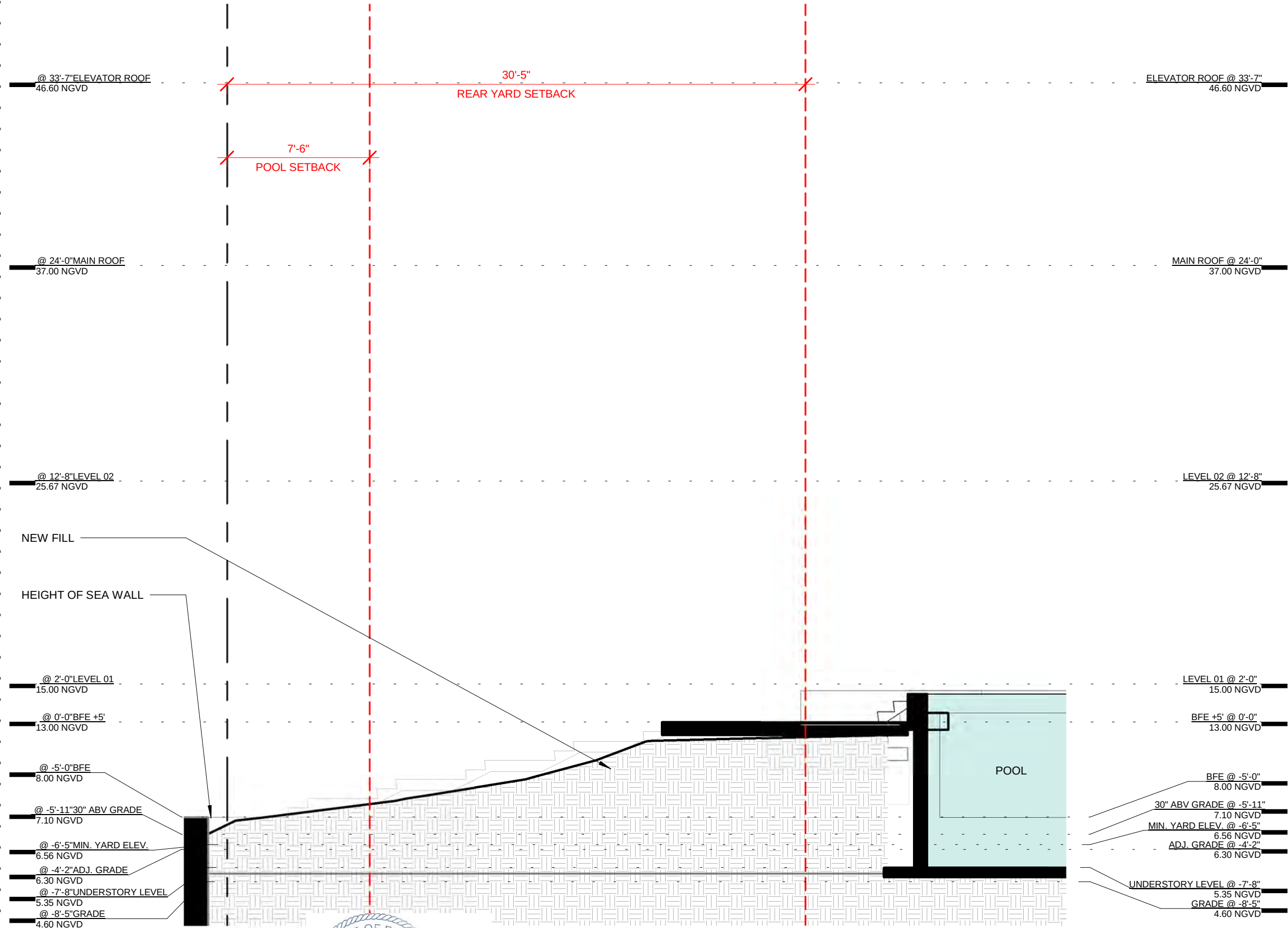


DEVA FINGER
4880 PINE TREE DR | MIAMI BEACH | FL | 33140

PINE TREE

SIDE YARD B SECTION
10.05.2020 3/16" = 1'-0" 1804

A29



DEFINITIONS

GRADE MEANS THE CITY SIDEWALK ELEVATION AT THE CENTERLINE OF THE FRONT OF THE PROPERTY.

GRADE = 4.60 NGVD

GRADE, ADJUSTED MEANS THE MIDPOINT ELEVATION BETWEEN GRADE AND THE MINIMUM REQUIRED FLOOD ELEVATION FOR A LOT OR LOTS.
(8.00-4.60)/2 +4.60 = 6.30

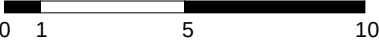
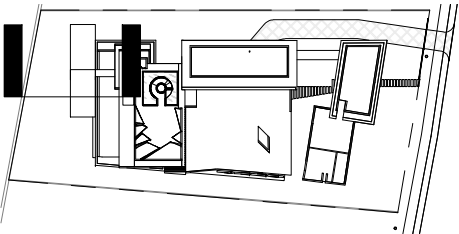
ADJUSTED GRADE = 6.30 NGVD

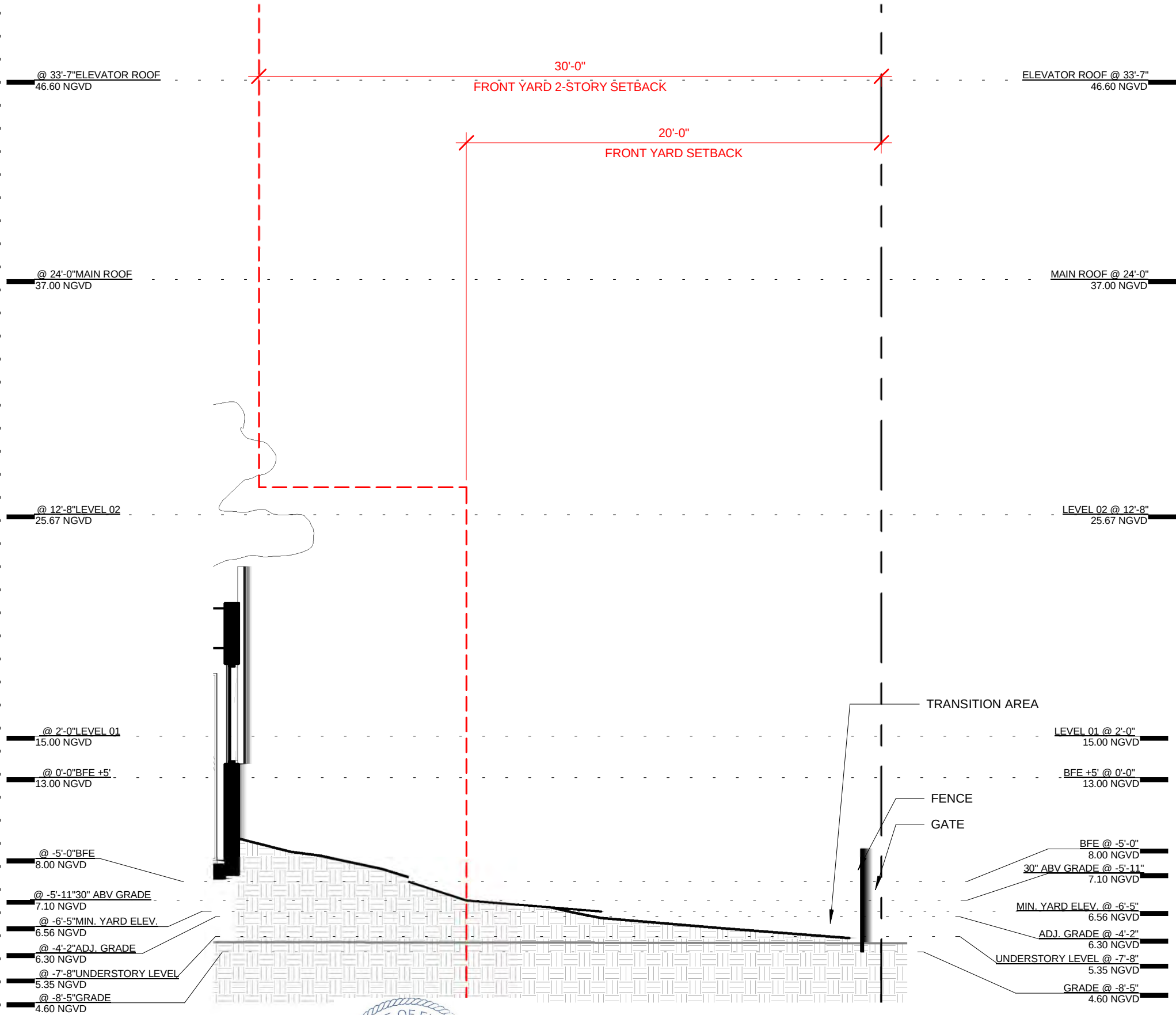
CODE

THE **MINIMUM ELEVATION** OF A REQUIRED YARD SHALL BE NO LESS THAN FIVE (5) FEET NAVD (**6.56** FEET NGVD), WITH THE EXCEPTION OF DRIVEWAYS, WALKWAYS, TRANSITION AREAS, GREEN INFRASTRUCTURE (E.G., VEGETATED SWALES, PERMEABLE PAVEMENT, RAIN GARDENS, AND RAINWATER/STORMWATER CAPTURE AND INFILTRATION DEVICES), AND AREAS WHERE EXISTING LANDSCAPING IS TO BE PRESERVED, WHICH MAY HAVE A LOWER ELEVATION.

REAR YARD WATERFRONT. THE **MAXIMUM ELEVATION** SHALL NOT EXCEED THE BASE FLOOD ELEVATION, PLUS FREEBOARD

MAXIMUM ELEVATION = 13.00 NGVD





DEFINITIONS

GRADE MEANS THE CITY SIDEWALK ELEVATION AT THE CENTERLINE OF THE FRONT OF THE PROPERTY.

GRADE = 4.60 NGVD

GRADE, ADJUSTED MEANS THE MIDPOINT ELEVATION BETWEEN GRADE AND THE MINIMUM REQUIRED FLOOD ELEVATION FOR A LOT OR LOTS. $(8.00-4.60)/2 + 4.60 = 6.30$

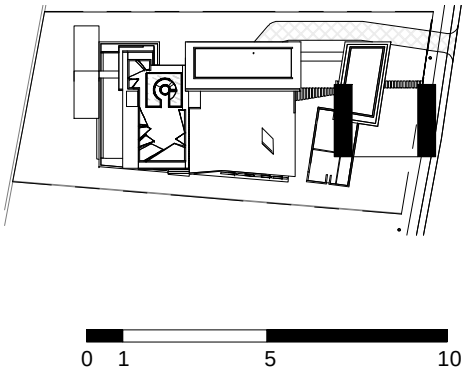
ADJUSTED GRADE = 6.30 NGVD

CODE

THE **MINIMUM ELEVATION** OF A REQUIRED YARD SHALL BE NO LESS THAN FIVE (5) FEET NAVD (**6.56** FEET NGVD), WITH THE EXCEPTION OF DRIVEWAYS, WALKWAYS, TRANSITION AREAS, GREEN INFRASTRUCTURE (E.G., VEGETATED SWALES, PERMEABLE PAVEMENT, RAIN GARDENS, AND RAINWATER/STORMWATER CAPTURE AND INFILTRATION DEVICES), AND AREAS WHERE EXISTING LANDSCAPING IS TO BE PRESERVED, WHICH MAY HAVE A LOWER ELEVATION.

FRONT YARD. THE **MAXIMUM ELEVATION** WITHIN A REQUIRED FRONT YARD SHALL NOT EXCEED ADJUSTED GRADE, 30 INCHES ABOVE GRADE, OR FUTURE ADJUSTED GRADE, WHICHEVER IS GREATER.

WITHIN THE REQUIRED FRONT YARD, FENCES, WALLS AND GATES SHALL NOT EXCEED **FIVE FEET**, AS MEASURED FROM GRADE. THE HEIGHT MAY BE INCREASED UP TO A MAXIMUM TOTAL HEIGHT OF SEVEN FEET IF THE FENCE, WALL OR GATE IS SET BACK FROM THE FRONT PROPERTY LINE. HEIGHT MAY BE INCREASED ONE FOOT FOR EVERY TWO FEET OF SETBACK.



ARCHITECT

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PROJECT

PINE TREE

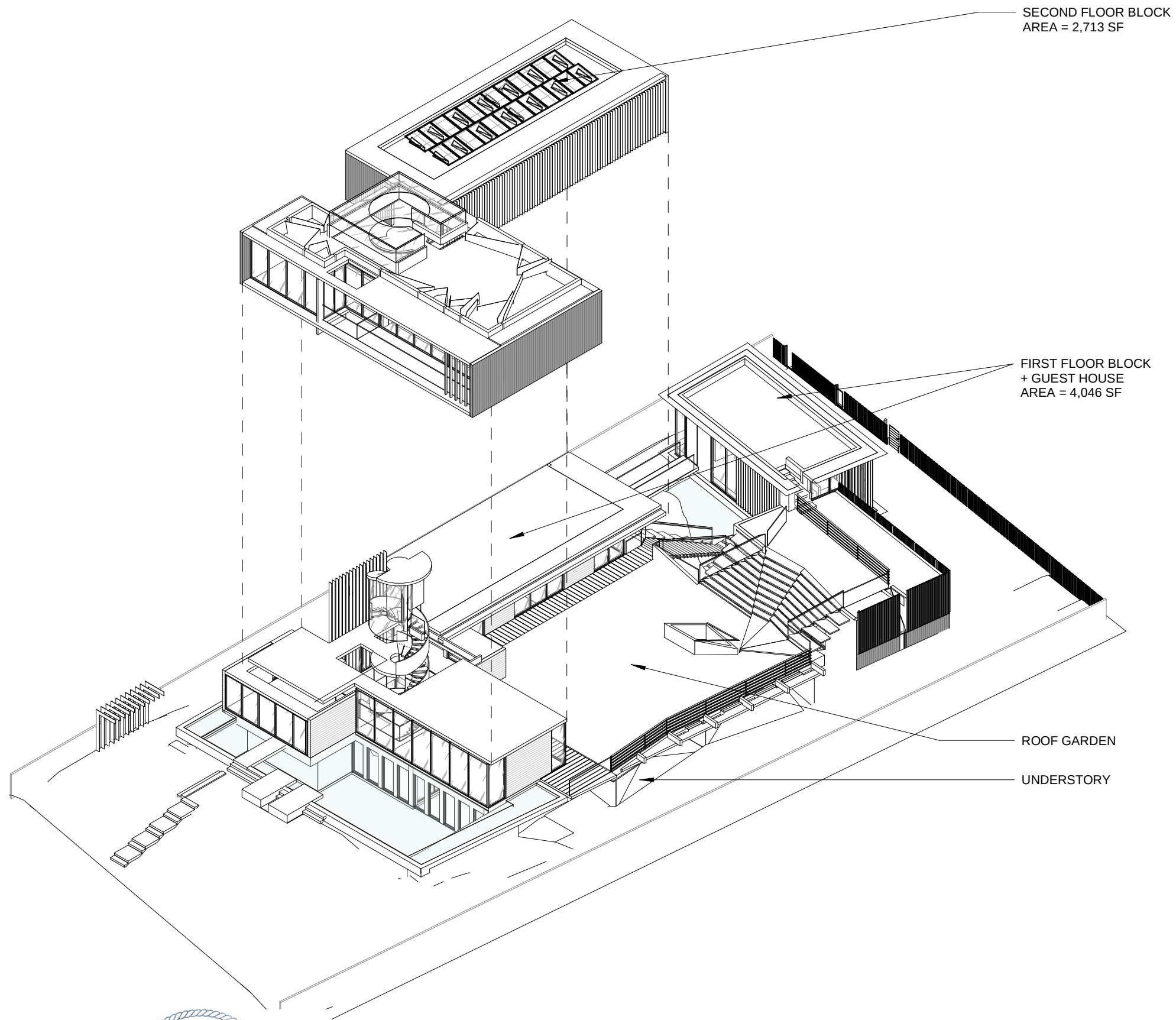
DRAWING TITLE

FRONT YARD SECTION
10.05.2020 3/16" = 1'-0"

DRAWING #

A31

1804



SECOND FLOOR BLOCK
AREA = 2,713 SF

FIRST FLOOR BLOCK
+ GUEST HOUSE
AREA = 4,046 SF

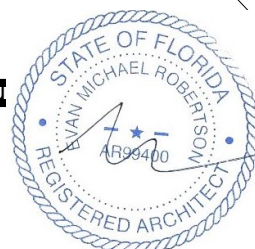
ROOF GARDEN

UNDERSTORY

ARCHITECT

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PINE TREE

DRAWING TITLE

EXPLODED AXO FLOOR RATIO
10.05.2020

DRAWING #

A32

1804



CHARRED WOOD



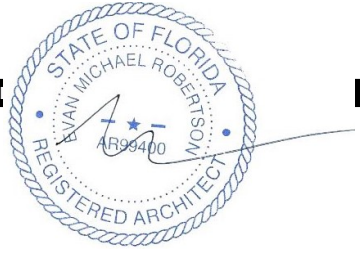
TEAK WOOD SCREEN



TRANSLUCENT GLASS



BOARD-FORMED CONCRETE

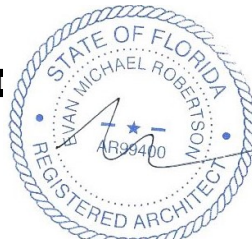
ARCHITECT		CONSUMER	OWNER	PROJECT	DRAWING TITLE	DRAWING #
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PROJECT

PINE TREE

DRAWING TITLE

AXONOMETRICS
10.05.2020

DRAWING #

A34

1804



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PROJECT

PINE TREE

DRAWING TITLE

**RENDERINGS - STREET PRESENCE
VOLUME**

1804

DRAWING #

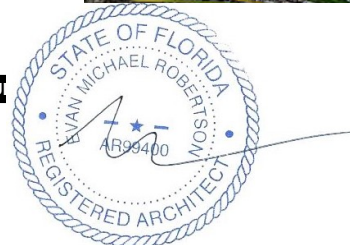
A35



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PROJECT

PINE TREE

DRAWING TITLE

RENDERINGS - UNDERSTORY
10.05.2020

DRAWING #

A36

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PROJECT

PINE TREE

DRAWING TITLE

RENDERINGS
10.05.2020

DRAWING #

A37

1804