

OCHE MIAMI RESTAURANT

200 SOUTH POINTE DR.,
MIAMI BEACH, FLORIDA 33139

PROJECT TEAM & INDEX



JAMES R. WILLIAMS AIA
7000 CONGRESS AVE.
BOCA RATON, FLORIDA 33487
TEL: 561.997.1244
FAX: 561.997.8175

JAMES R. WILLIAMS - ARCHITECT FRI

OCHE MIAMI RESTAURANT
200 SOUTH POINTE DR.
MIAMI BEACH, FLORIDA 33139



THIS ITEM HAS BEEN REVIEWED AND SEALED BY JAMES R. WILLIAMS ON THE DATE ADJACENT TO THE AUTHENTICATION CODE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

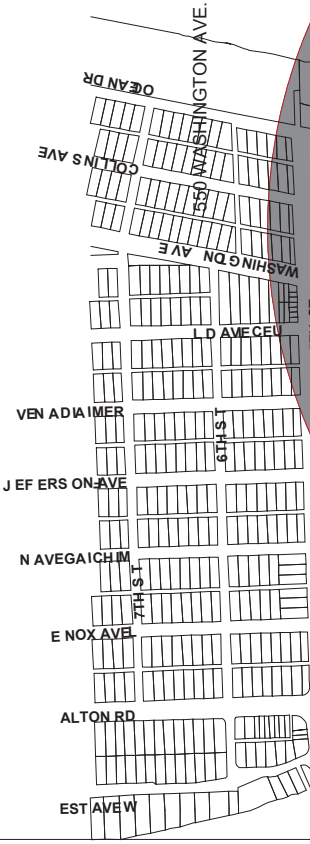
PROJECT NO. 20112
DESIGNED BY: JRW
DRAWN BY: JRW/MB
CHECKED BY: JRW/MB
SUBMITTALS: 07/29/2020
PERMIT SET: 08/12/2020

REVISIONS:

COVER SHEET

A0.1

CONTEXT LOCATION MAP N.T.S.



FISHER ISLAND

- ZONING DISTRICTS**
- RS-1 Single family residential
 - RS-2 Single family residential
 - RS-3 Single family residential
 - RS-4 Single family residential
 - TH Townhome residential
 - RM-1 Residential multifamily, low intensity
 - RM-2 Residential multifamily, medium intensity
 - RM-3 Residential multifamily, high intensity
 - CD-1 Commercial, low intensity
 - CD-2 Commercial, medium intensity
 - CD-3 Commercial, high intensity
 - I-1 Urban light industrial
 - MXE Mixed use entertainment
 - HD Hospital district
 - MR Marine recreational
 - GU Civic and government use
 - CCC Convention center district
 - RM-PRD Multifamily, planned residential development district
 - WD-1 Waterway district
 - WD-2 Waterway district
 - RO Residential office
 - GC Golf course
 - RPS-1 Residential performance standard, medium-low density
 - RPS-2 Residential performance standard, medium density
 - RPS-3 Residential performance standard, medium-high density
 - RPS-4 Residential performance standard, high density
 - CPS-1 Commercial performance standard, limited mixed use
 - CPS-2 Commercial performance standard, general mixed use
 - CPS-3 Commercial performance standard, intensive mixed use
 - CPS-4 Commercial performance standard, intensive phased bayside
 - RMPS-1 Residential mixed use performance standard
 - SPE Special public facilities educational district
 - TC-1 North Beach Town Center core
 - TC-2 North Beach Town Center mixed use
 - TC-3 North Beach Town Center residential/office
 - TC-3(c) North Beach Town Center residential/office with conditional neighborhood commercial
- Property**

FOR AN OFFICIAL ZONING DETERMINATION
PLEASE CONTACT THE PLANNING DEPARTMENT.





JAMES R. WILLIAMS - ARCHITECT

GENERAL LEGEND table listing various symbols and their corresponding features such as ALUMINUM LAMP POST, CONCRETE DRIVE, and ASPHALT DRIVE.

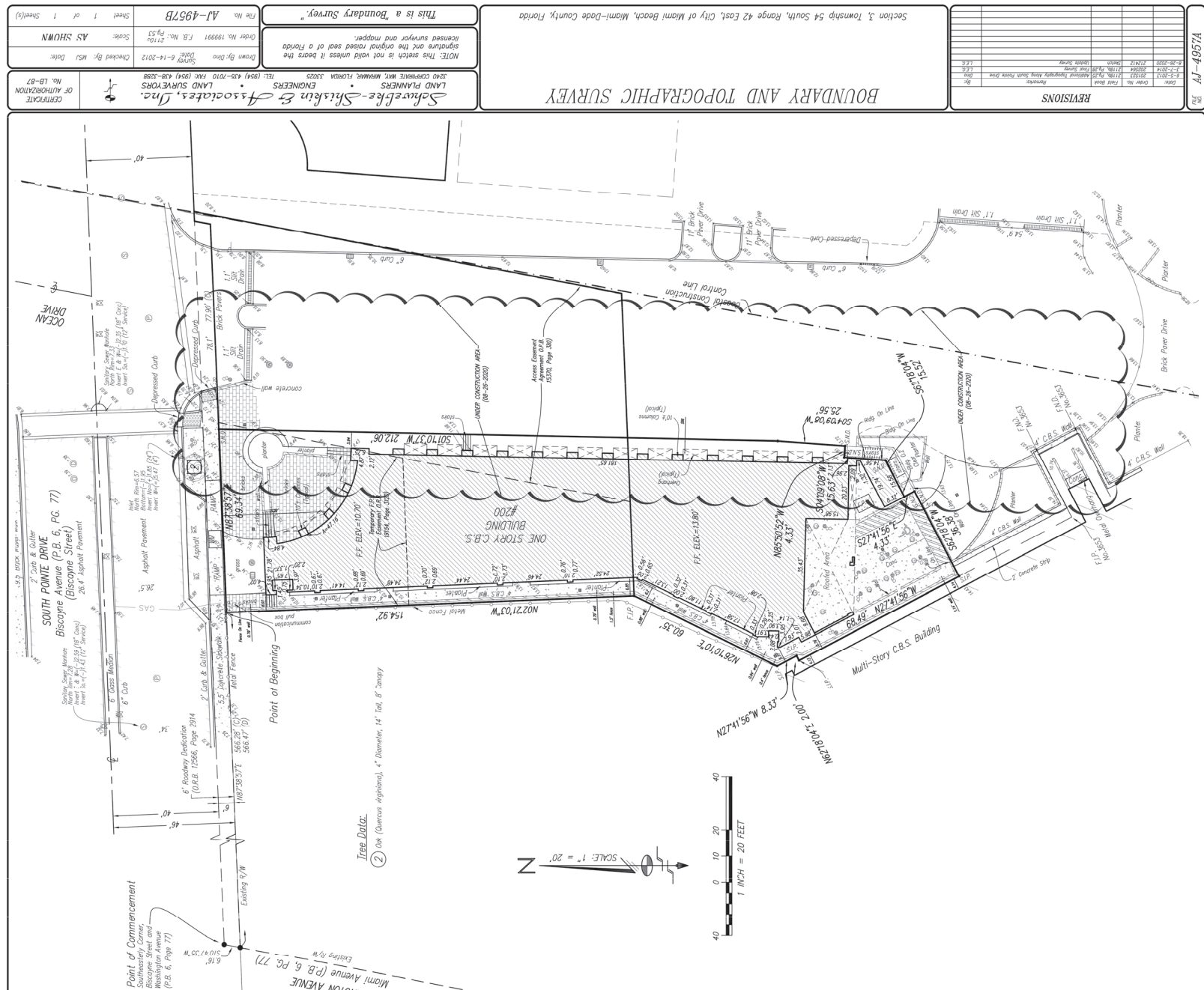


LEGAL DESCRIPTION: Commence (P.O.C.) at the Southeastly corner of Biscayne Street (formerly Biscayne Avenue) and Washington Avenue as said Street and Avenue are shown on the SOUTH BEACH PARK SUBDIVISION...

- SURVEYOR'S NOTES: 1. This sketch represents a "Boundary Survey" with elevations. 2. There are no visible encroachments, other than those shown herein. 3. The elevations shown herein relate to National Geodetic Vertical Datum (N.G.V.D.) of 1929...

SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY THAT THE BOUNDARY AND TOPOGRAPHIC SURVEY OF THE HEREIN DESCRIBED PROPERTY WAS MADE AND CONDUCTED IN ACCORDANCE WITH THE STANDARDS AND PRACTICE REQUIREMENTS AS SET FORTH IN RULES 1A-17.051 AND 3A-17.026 AS ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARK STEVEN JOHNSON, P.S.M. 4775. Mark Steven Johnson, Principal Surveyor No. 4775, State of Florida.



NOTE: This sketch is not valid unless it bears the signature and the original raised seal of a Florida Licensed Professional Surveyor and Mapper.

THIS ITEM HAS BEEN REVIEWED AND SEALED BY JAMES R. WILLIAMS ON THE DATE ADJACENT TO THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE ARCHITECT.

REVISIONS table with columns for No., Description, and Date.

Table with columns for No., Description, and Date, used for tracking revisions to the survey plan.

OCHÉ MIAMI RESTAURANT, 200 SOUTH POINTE DR., MIAMI BEACH, FLORIDA 33139. Includes Florida License No. AR00017881.

PROJECT NO.: 20113, MPR, DESIGNED BY: RC, DRAWN BY: JRW/MBP, CHECKED BY: JRW/MBP, SUBMITTALS: 07.29.2020, PERMIT SET: 08.12.2020.

Section 3, Township 54 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida.

SURVEY PLAN, A1.0, SCALE: N.T.S.



JAMES R. WILLIAMS - ARCHITECT

OCHE MIAMI RESTAURANT

200 SOUTH POINTE DR.
MIAMI BEACH, FLORIDA 33139



THIS ITEM HAS BEEN REVIEWED AND SEALED BY JAMES R. WILLIAMS ON THE DATE ADJACENT TO THE SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED UNLESS THEY ARE VERIFIED ON ANY ELECTRONIC COPIES.

PROJECT NO.: 20113
DESIGNED BY: MPR
DRAWN BY: RC
CHECKED BY: JRW/MPB
SUBMITTALS: 07/29/2020
PERMIT SET: 08/12/2020

REVISIONS:

SITE PLAN

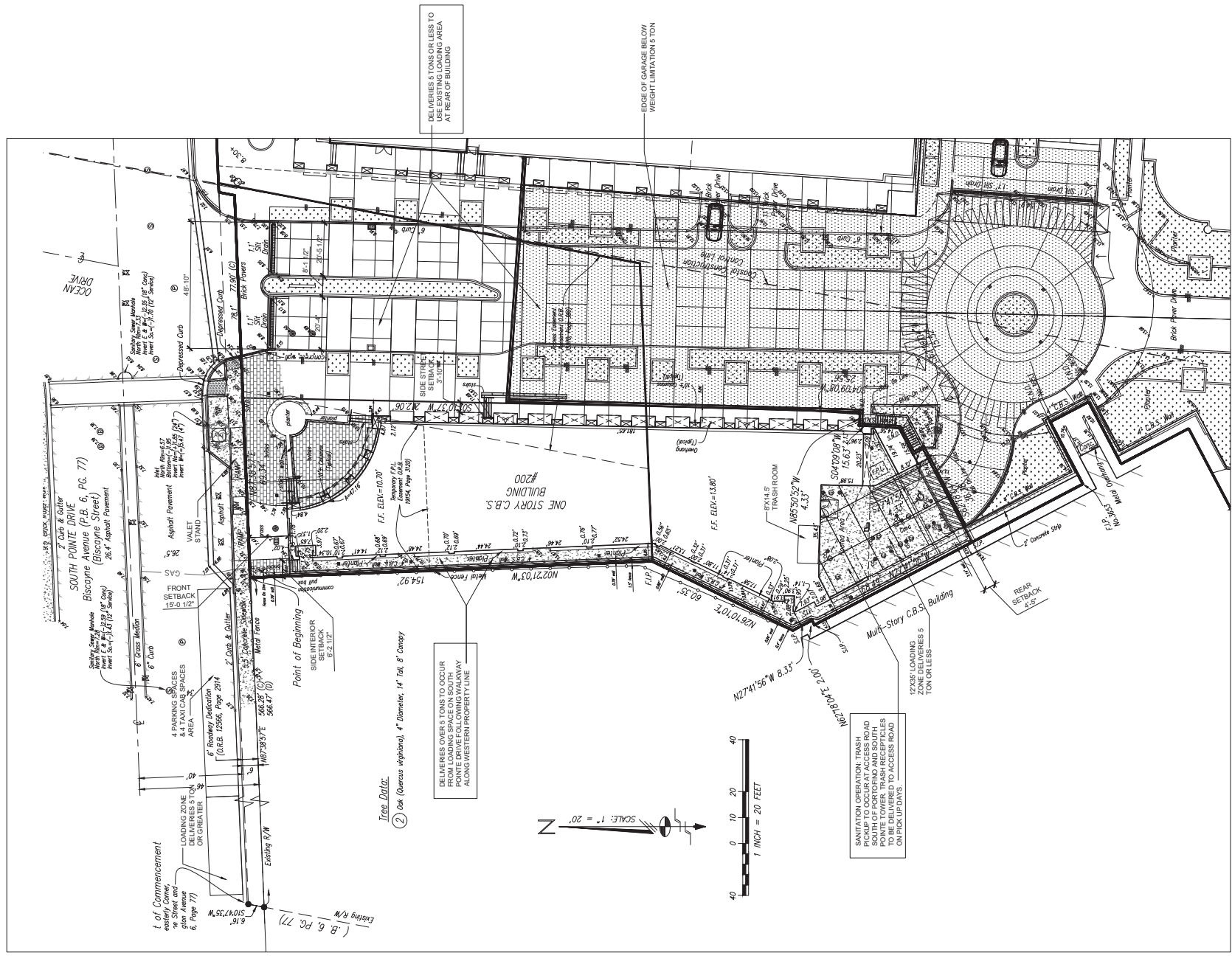
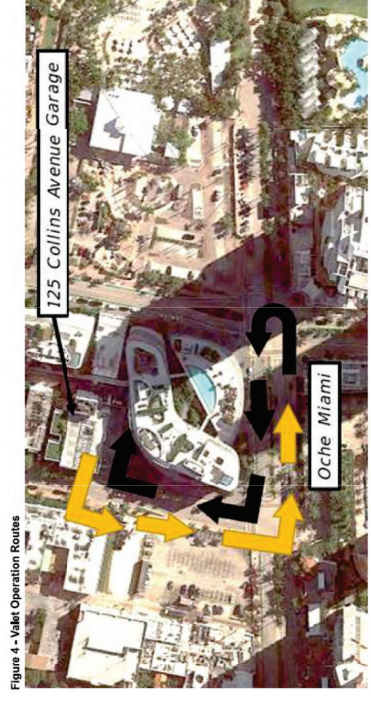
A 2.1

OCCUPANCY LOAD COMPARISON TABLE

FIRST FLOOR	MEZZANINE	ROOF TERRACE	TOTAL OCCUPANTS
OCHE RESTAURANT	399.1	6.4	388.7
CIBO RESTAURANT	286.0	7.0	330.0
			795
			623

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information	Existing	Proposed	Deficiencies
1	Address:	200 SOUTH POINTE DR. MIAMI BEACH, FLORIDA 33139		
2	Board and file numbers:	PB20-0392		
3	Folio number(s):	02-4210-000-0134		
4	Year constructed:	2014	Zoning District: R-PS4	
5	Base Flood Elevation: (Flood-Grade/2):	AE-8.0	Grade value in NGVD: 7.27'	
6	Adjusted grade (Flood-Grade/2):		Lot Area (SF): 17,861 (0.41 acres)	
7	Lot width (FT):	69.34'	Lot Depth (FT): 277.67'	
8	Minimum Unit Size(SF):	N/A	Average Unit Size: N/A	
9	Existing use:	ACCESSORY RESTAURANT (ASSEMBLY- GROUP A2)	Proposed use: ACCESSORY RESTAURANT (ASSEMBLY- GROUP A2)	
10	Height:	Maximum 80'	Existing 43'-3"	Proposed
11	Number of Stories:	8	2	SAME AS EXISTING
12	FAR:	2	1.5	SAME AS EXISTING
13	Gross square footage:	Required 11,933	Existing	SAME AS EXISTING
14	Front Setback:	5'-0"	15'-0-1/2"	SAME AS EXISTING
15	Side / Interior Setback:	7'-6"	6'-2"	SAME AS EXISTING
16	Left Side Setback:	N/A	N/A	SAME AS EXISTING
17	Right Side Setback:	5'-0"	3'-10"	SAME AS EXISTING
18	Rear Setback:	27'-1"	4'-5"	SAME AS EXISTING
19	Parking District: No. 1	Required	Existing	Proposed
20	Total # of parking spaces:	1 SPACE PER 4 SEATS	0	120 VALET SPACES
21	Type of use:	Required Restaurants, Cafes, Bars, Lounges, Nightclubs	Existing	Proposed RESTAURANT
22	Total # of seats:			395
23	Total # of seats per venue (Provide a separate chart for a breakdown calculation)			N/A
24	Total occupant load:			795
25	Occupant load per venue (Provide a separate chart for a breakdown calculation)			N/A
26	Is this a contributing building?			Yes <input type="radio"/> No <input checked="" type="radio"/>
27	Located within a Local Historic District?			Yes <input type="radio"/> No <input checked="" type="radio"/>





JAMES R. WILLIAMS AIA
 700 CONGRESS AVE.
 BOCA RATON, FLORIDA 33487
 TEL 561 997 1244
 FAX 561 997 8155

JAMES R. WILLIAMS - ARCHITECT

OCHÉ MIAMI RESTAURANT

200 SOUTH POINTE DR.
 MIAMI BEACH, FLORIDA 33139



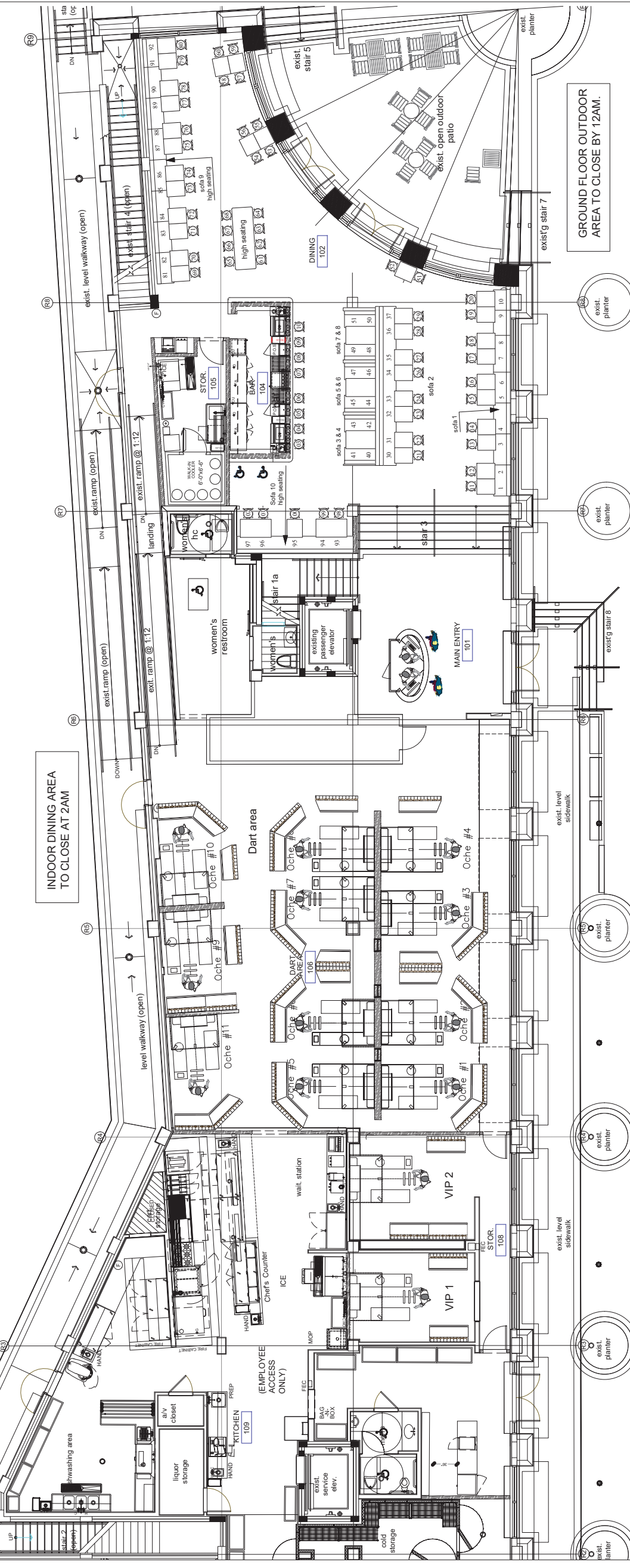
THIS ITEM HAS BEEN REVIEWED AND SEALED BY JAMES R. WILLIAMS ON THE DATE ADJACENT TO THE PROFESSIONAL SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED UNLESS THE ORIGINAL DOCUMENT IS PRESENT. ELECTRONIC COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED UNLESS THE ORIGINAL DOCUMENT IS PRESENT. ELECTRONIC COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED UNLESS THE ORIGINAL DOCUMENT IS PRESENT.

PROJECT NO. 20112
 DESIGNED BY: JRW
 DRAWN BY: RC
 CHECKED BY: JRW/MBP
 SUBMITTALS: 07/29/2020
 PERMIT SET: 08/12/2020

REVISIONS:

PROPOSED FLOOR PLAN - GROUND FLOOR

A 3.1



INDOOR DINING AREA TO CLOSE AT 2AM

GROUND FLOOR OUTDOOR AREA TO CLOSE BY 12AM.

PARKING:
 4 VALET PARKING SPACES
 4-TAXI CAB SPACES
 1 LOADING SPACE
 120 VALET SPACES AVAILABLE AT 125 COLLINS AVE.

SEATING RESTAURANT AREA	SEATING GAMING AREA:
SOFA 1: SEATING HEIGHT 18,1"	ALL SOFAS HAVE SEATING HEIGHT 27,5"
SOFA 2: SEATING HEIGHT 18,1"	OCHE 1: SEATS 5
SOFABOOTHS 3 - 8 SEATING HEIGHT 18,1"	OCHE 2: SEATS 8
SOFA 9: SEATING HEIGHT 31,5"	OCHE 3: SEATS 8
SOFA 10: SEATING HEIGHT 31,5"	OCHE 4: SEATS 3
NUMBER OF SEATS RESTAURANT AREA:	+ DISABELT SPACE OCHE 5: SEATS 5
RESTAURANT 102	OCHE 6: SEATS 8
BAR 8	VIP 1: SEATS 6
TOTAL 110	VIP 2 SEATS 9
	OCHE 7: SEATS 8
	TOTAL : 89



JAMES R. WILLIAMS - ARCHITECT FRI
 OCHE MIAMI RESTAURANT
 200 SOUTH POINTE DR.
 MIAMI BEACH, FLORIDA 33139



THIS ITEM HAS BEEN REVIEWED AND SEALED BY JAMES R. WILLIAMS ON THE DATE ADJACENT TO THE SIGNATURE. THIS SEALING IS CONSIDERED SIGNED AND SEALED DOCUMENT ARE NOT VALID UNLESS THE ORIGINAL DOCUMENT IS VERIFIED ON ANY ELECTRONIC COPIES.

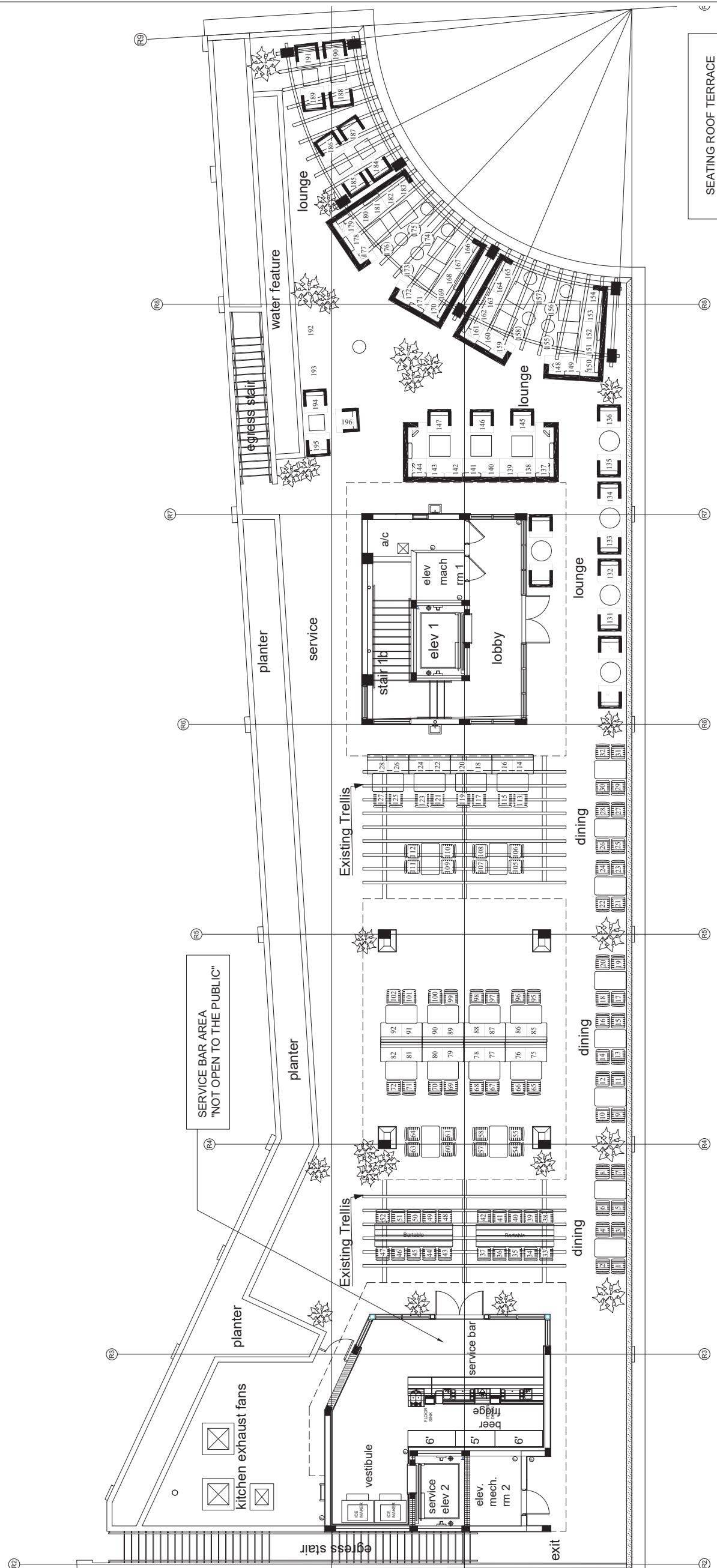
PRINTED COPIES OF THIS DOCUMENT ARE NOT VALID UNLESS THE ORIGINAL DOCUMENT IS VERIFIED ON ANY ELECTRONIC COPIES.

PROJECT NO. 20112
 DESIGNED BY: MPR
 DRAWN BY: RC
 CHECKED BY: JRW/MPR
 SUBMITTALS: 07/29/2020
 PERMIT SET: 08/12/2020

REVISIONS:

TERRACE FLOOR PLAN

A 3.3

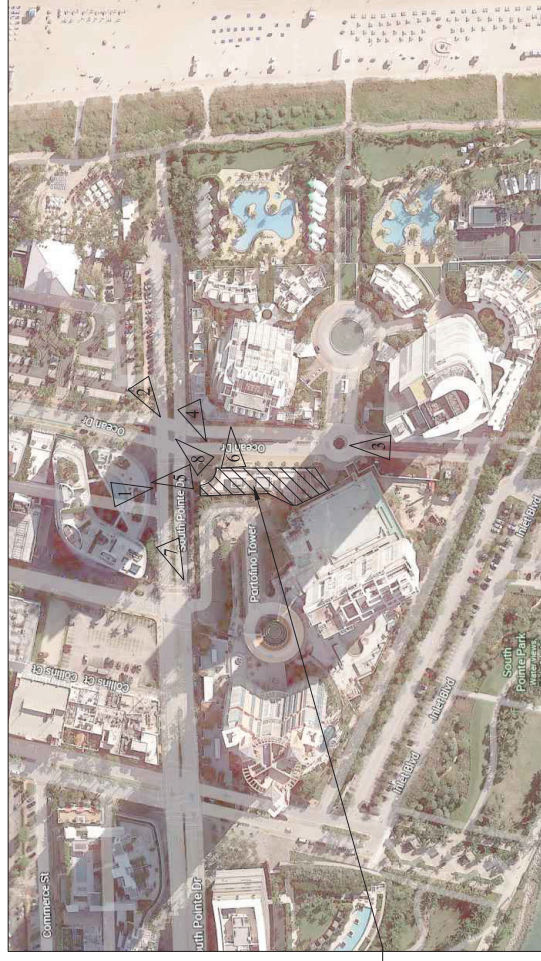


SEATING ROOF TERRACE	
DINING	1 - 128
LOUNGE	129- 196
TOTAL	196

"CONGREGATION OF STANDING PATRONS PROHIBITED. NO MORE THAN 250 PERSONS PERMITTED."

ROOF TERRACE DINING TO CLOSE BY 8PM

Planning Board Final Submittal September 21, 2020 - File No. PB 20-0392



PROJECT SITE

5 PHOTO LOCATION MAP
SCALE: N.T.S.



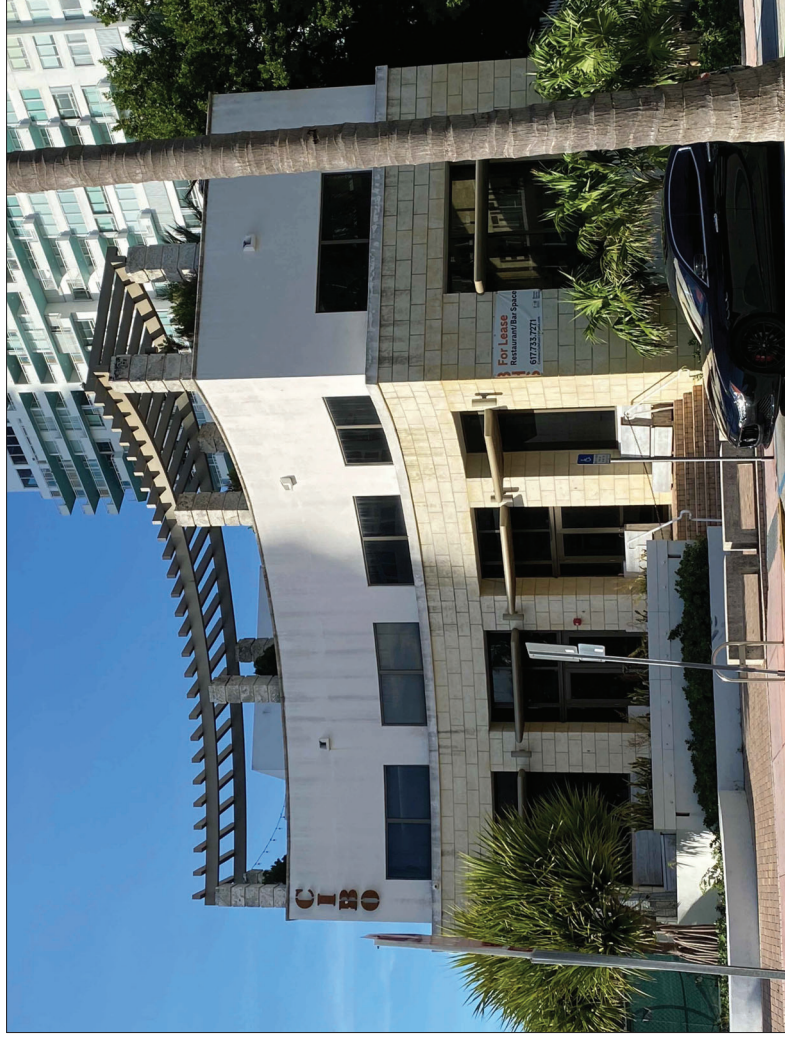
4 VIEW FROM CORNER OF SOUTH POINTE DRIVE AND OCEAN DRIVE
SCALE: N.T.S.



3 VIEW FROM OCEAN DRIVE/CONTINUUM DRIVEWAY
SCALE: N.T.S.



2 VIEW FROM OPPOSITE CORNER FACING SOUTHWEST
SCALE: N.T.S.



1 VIEW FROM SOUTH POINTE DRIVE FACING SOUTH
SCALE: N.T.S.



JAMES R. WILLIAMS AIA
7000 CONGRESS AVE.
BOCA RATON, FLORIDA 33487
TEL 561 997 1244
FAX 561 997 8675

JAMES R. WILLIAMS - ARCHITECT FRI

OCHE MIAMI RESTAURANT

200 SOUTH POINTE DR.
MIAMI BEACH, FLORIDA 33139

FLORIDA LICENSE #A2002278



THIS ITEM HAS BEEN REVIEWED AND SEALED BY JAMES R. WILLIAMS ON THE DATE ADJACENT TO THE SIGNATURE. THIS IS A TRUE AND CORRECT COPY OF THE AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED UNLESS THE ORIGINAL DOCUMENT CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PROJECT NO. 20112
DESIGNED BY: MPR
DRAWN BY: RC
CHECKED BY: JRW/MPB
SUBMITTALS: 07/29/2020
PERMIT SET: 08/12/2020

REVISIONS:

EXISTING
PHOTOS

A7.1



8 NIKKI BEACH/PIER PARK TO NORTHEAST
SCALE: N.T.S.



6 CONTINUUM ON SOUTH BEACH CONDOMINIUM TO EAST
SCALE: N.T.S.



7 PORTOFINO/SOUTH POINTE TOWER CONDOMINIUM TO WEST
SCALE: N.T.S.



5 ONE OCEAN CONDOMINIUM TO NORTH
SCALE: N.T.S.



JAMES R. WILLIAMS AIA
7000 CONGRESS AVE.
BOCA RATON, FLORIDA 33487
TEL 561.997.1244
FAX 561.997.8745

JAMES R. WILLIAMS - A600171961

OCHE MIAMI RESTAURANT

200 SOUTH POINTE DR.
MIAMI BEACH, FLORIDA 33139



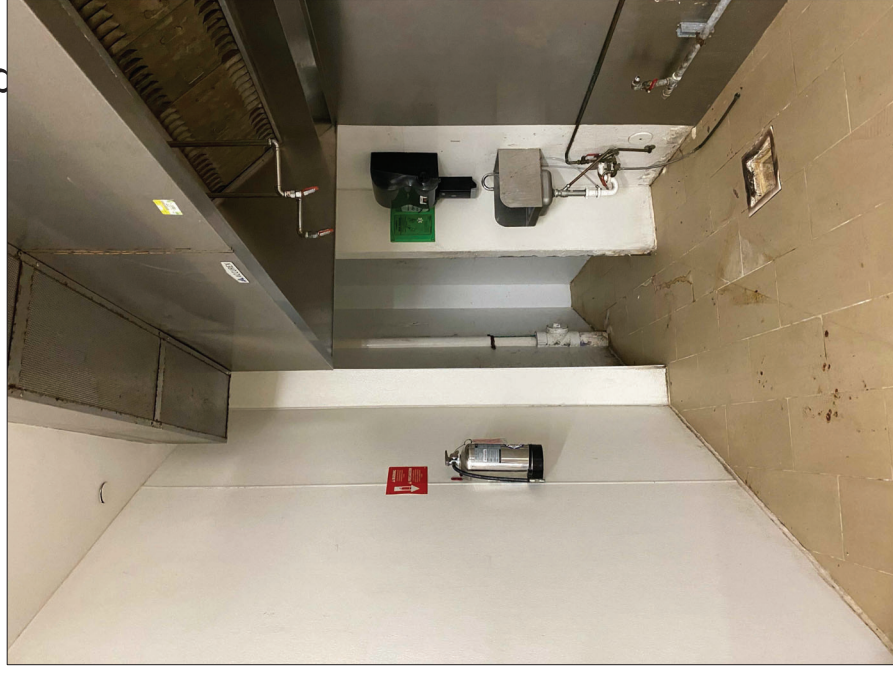
THIS ITEM HAS BEEN
DESIGNED, DRAWN,
SEALING, CHECKED AND
ON THE DATE ADJACENT TO THE
AUTHENTICATION CODE.
PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED
UNLESS THEY ARE VERIFIED BY AN
AUTHENTICATED USER. ANY
CODE MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

PROJECT NO. 20112
DESIGNED BY: NPR
DRAWN BY: RC
CHECKED BY: JRW/MPB
SUBMITTALS: 07/29/2020
DATE SET: 08/12/2020
PERMIT SET:

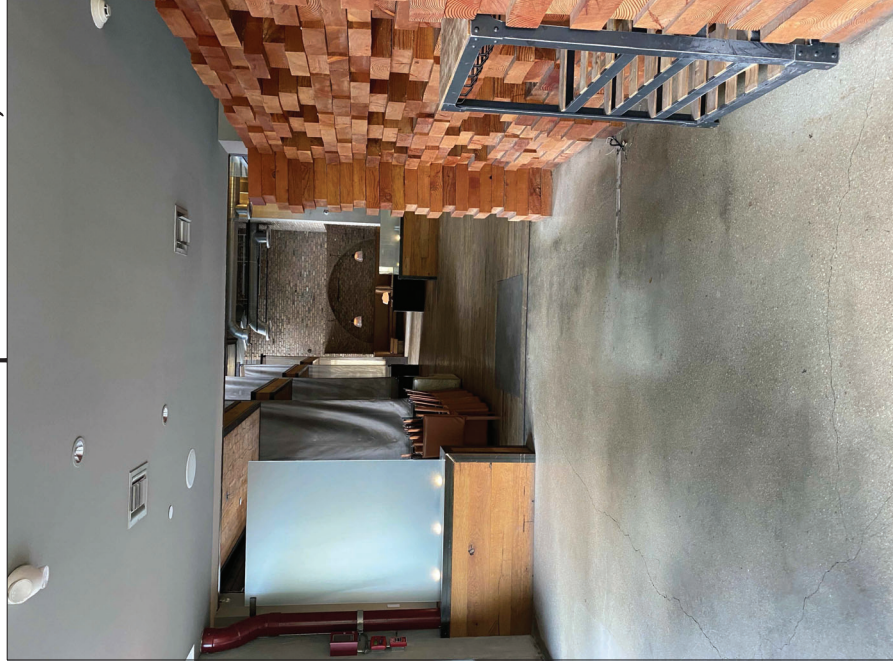
REVISIONS:

EXISTING
PHOTOS

A7.2



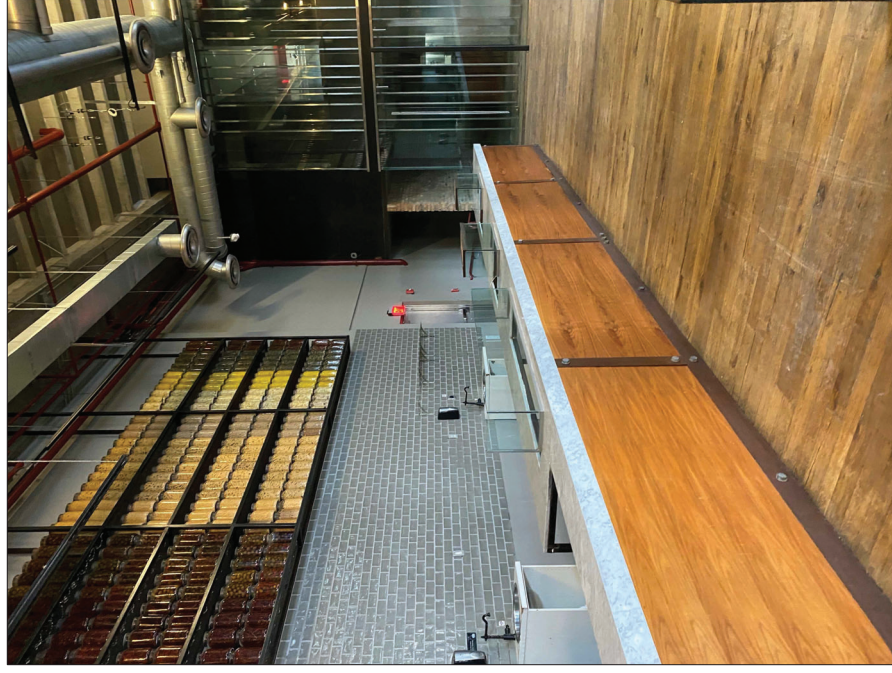
6 KITCHEN EQUIPMENT AREA
SCALE: N.T.S.



4 ENTRANCE / HOSTESS AREA
SCALE: N.T.S.



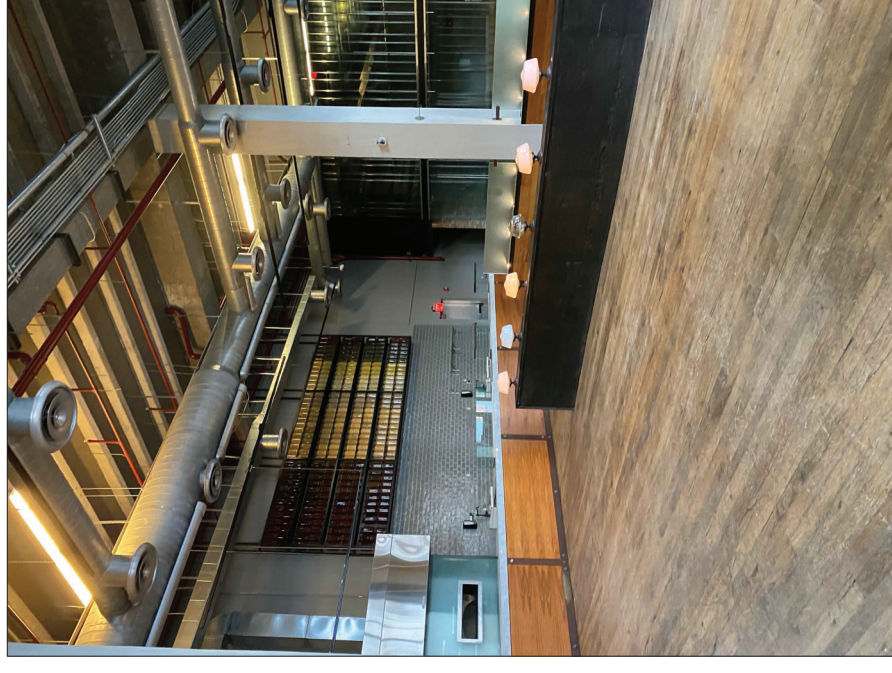
2 NORTH DINING AREA
SCALE: N.T.S.



5 OPEN KITCHEN
SCALE: N.T.S.



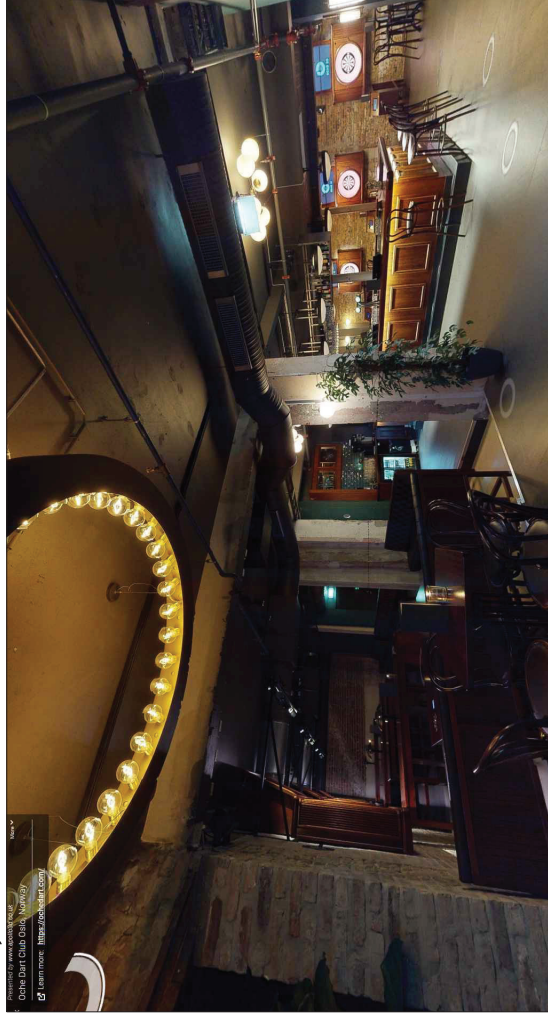
3 BAR AND NORTH DINING AREA
SCALE: N.T.S.



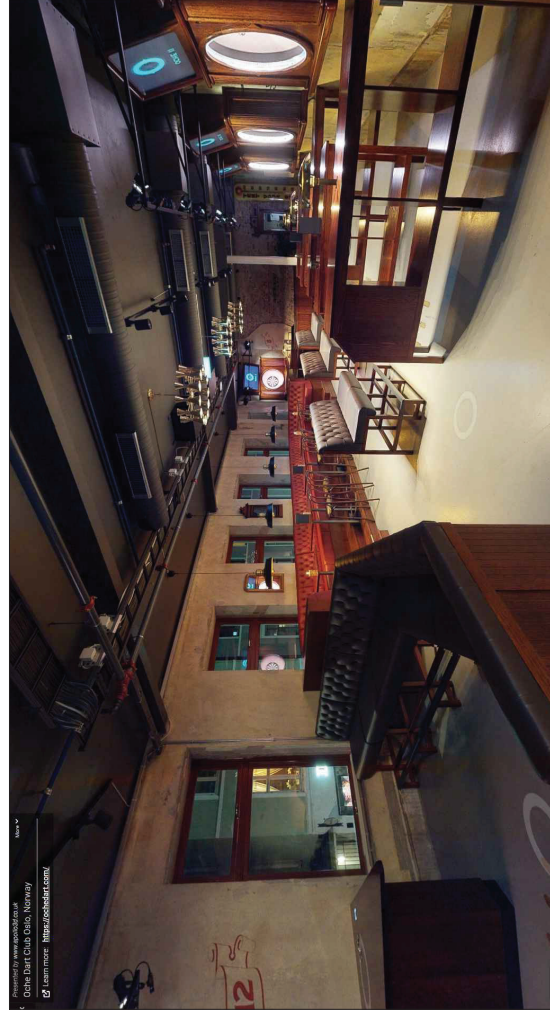
1 SOUTH DINING AREA AND OPEN KITCHEN
SCALE: N.T.S.

Planning Board Final Submittal September 21, 2020 - File No. PB 20-0392

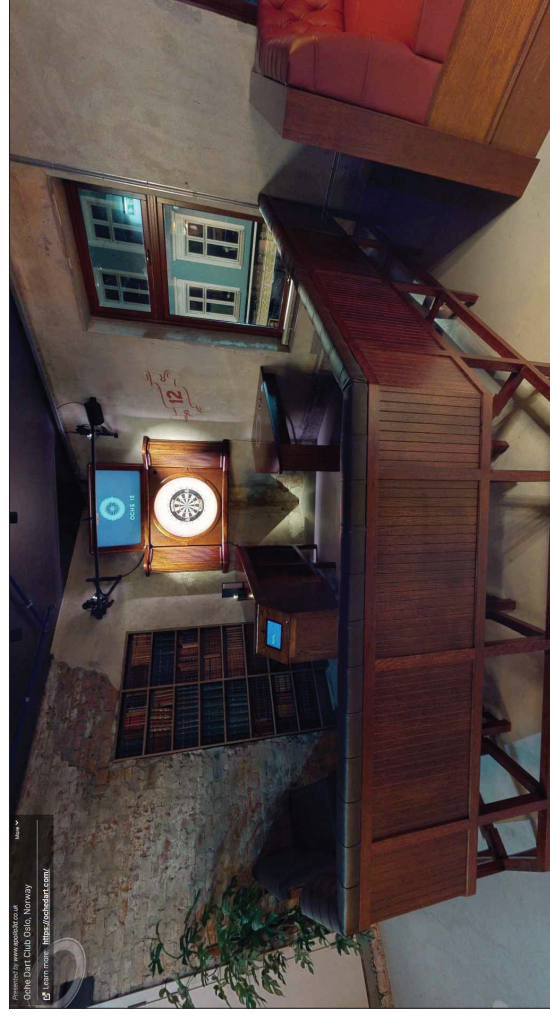
NOTE: PHOTOS ARE EXISTING CONDITIONS OF OCHE'S OSLO, NORWAY LOCATION, SHOWN HERE AS A REPRESENTATION OF PROPOSED FINISHES AND CONDITIONS.



3 OCHE DART STATIONS & BAR
SCALE: N.T.S.



5 OCHE STATIONS & HIGH TOP DINING SEATING
SCALE: N.T.S.



2 OCHE DART STATION
SCALE: N.T.S.



4 BAR
SCALE: N.T.S.



1 OCHE DART STATION - SIDE BY SIDE
SCALE: N.T.S.



JAMES R. WILLIAMS AIA
7000 CONGRESS AVE.
BOCA RATON, FLORIDA 33487
TEL 561 997 1244
FAX 561 997 8155

OCHE MIAMI RESTAURANT
200 SOUTH POINTE DR.
MIAMI BEACH, FLORIDA 33139

JAMES R. WILLIAMS - ARCHITECT FRI



THIS ITEM HAS BEEN REVIEWED AND SEALED ON THE DATE ADJACENT TO THE SIGNATURE OF THE ARCHITECT. AUTHENTICATION CODE: 202112
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED UNLESS THE ORIGINAL DOCUMENT AND THIS CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PROJECT NO. 202112
DESIGNED BY: MPR
DRAWN BY: RC
CHECKED BY: JRW/MPB
SUBMITTALS: 07/29/2020
DATE SET: 08/12/2020
PERMIT SET:

REVISIONS:

PROPOSED
CONDITIONS

A7.4