

NEW SINGLE-FAMILY HOME

4354 N Michigan Ave, Miami Beach, FL 33139

AUGUST 10th, 2020 FINAL SUBMITTAL



**GAIA/S
DESIGN**
GAIA/S DESIGN INC.
786.777.8716 gaia@gaiadesign.com
OWNER
Jorge M Campodonico
703.963.4438 jc@citylendinginc.com

LANDSCAPE ARCHITECT
Diego Vanderbiest
6200 SW 80 ST
MIAMI, FLORIDA 33143
(305) 528-4001
SEAL

DIEGO J. VANDERBIEST
RLA #6667355

RCTEK ARCHITECTURE LLC
1395 BRICKELL AVE SUITE 900
MIAMI FL 33131 PH: 305.967.6355



SEAL

JOHN SACCO AR0004952

New Single Family Home
4354 N MICHIGAN AVE
MIAMI BEACH, FL 33140

SCOPE OF WORK

DEMOLITION : REMOVAL OF EXISTING CMU 1940 HOME

SITE WORK: REMOVAL AND REPLACEMENT OF EXISTING HARDSCAPE; REMODELING OF LANDSCAPE;

NEW CONSTRUCTION: NEW SUSTAINABLE LIGHT GAUGE STEEL FRAME 2-STORY HOME, ZERO EMISSION;

DESIGN WAIVER: WAIVER TO REMOVE THE REQUIRED 70% RATIO OF PHYSICAL VOLUME OF THE SECOND FLOOR COMPARED TO THE GROUND FLOOR, WHEN LOT COVERAGE EXCEEDS 25% OF THE LOT AREA.

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DESIGN WAIVER

- DRB 6.0 DESIGN WAIVER

LANDSCAPE

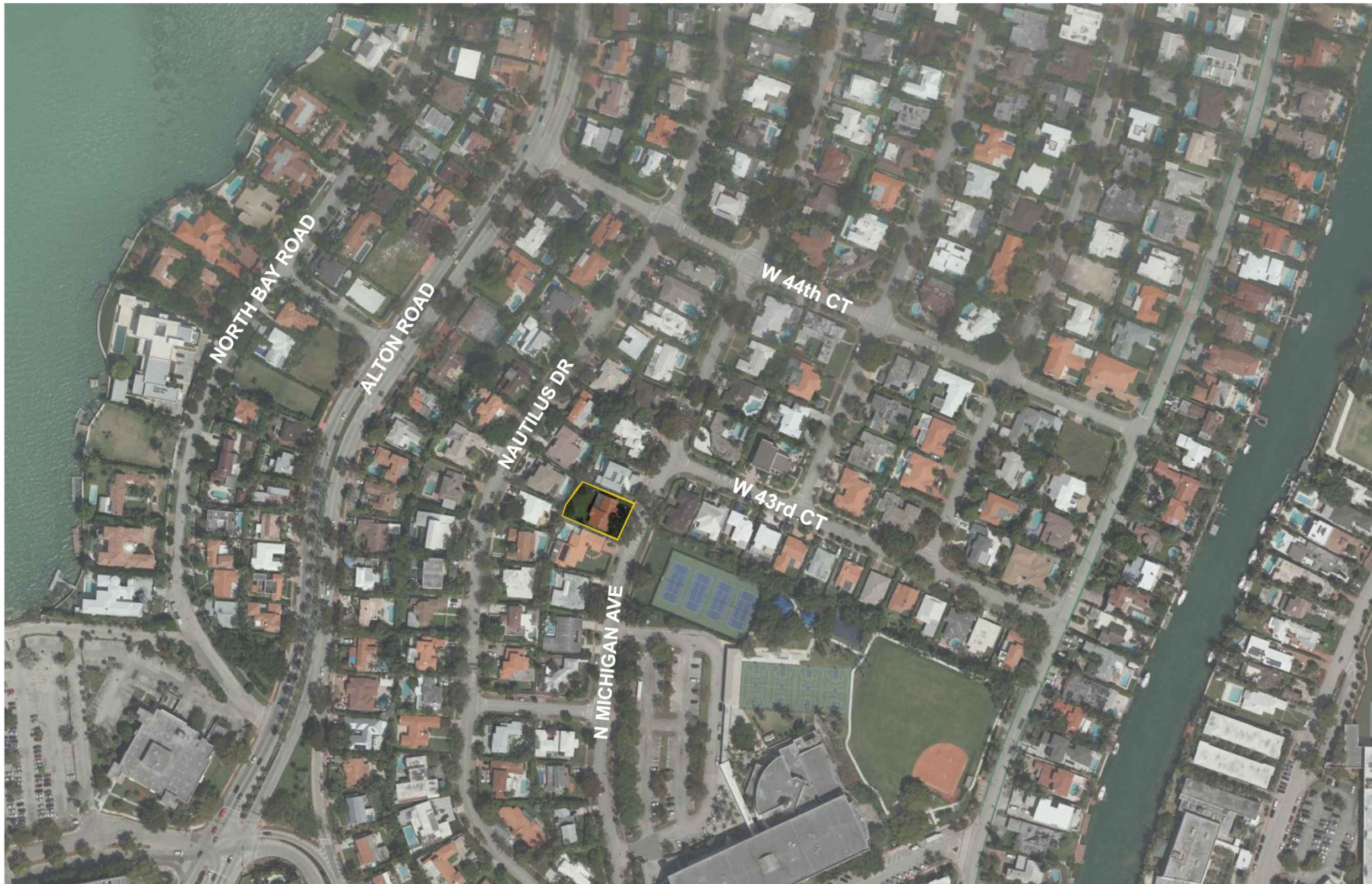
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FINAL SUBMITTAL
DATE: 08/10/2020

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COVER SHEET

DRB 0.0



1. CONTEXT LOCATION PLAN
SCALE N.T.S.

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CONTEXT LOCATION
PLAN, AERIAL VIEW

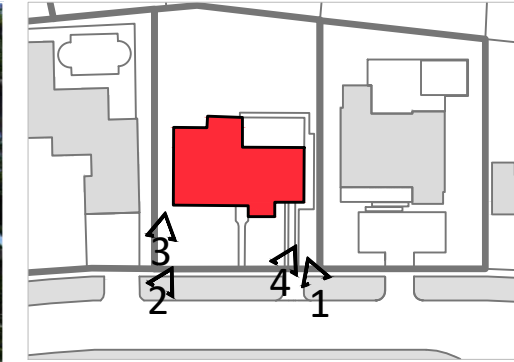
DRB 0.1



1. FRONT EXISTING HOME
NORTH CORNER



2. FRONT EXISTING HOME
SOUTH CORNER



KEY DIRECTIONAL PLAN



3. SIDE 1 EXISTING HOME
SOUTH SIDE



4. SIDE 2 EXISTING HOME
NORTH CORNER

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EXISTING HOME
PICTURES FRONT

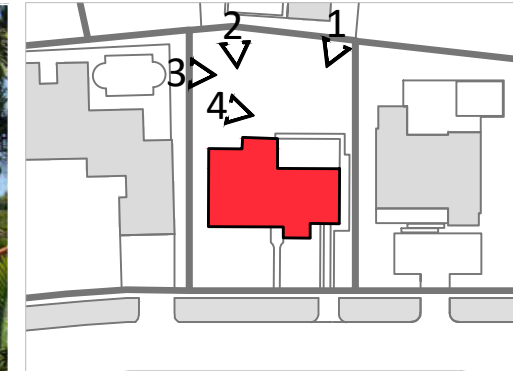
DRB 0.2



1. REAR EXISTING HOME
NORTH WEST CORNER



2. REAR EXISTING HOME



KEY DIRECTIONAL PLAN



3. REAR EXISTING HOME
SOUTH WEST CORNER



4. REAR EXISTING HOME
SOUTH WEST CORNER

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EXISTING HOME
PICTURES
REAR

DRB 0.3



1. EXISTING KITCHEN



2. EXISTING BEDROOM



3. EXISTING FAMILY ROOM



4. EXISTING DINING ROOM



5. EXISTING BATHROOM



6. EXISTING PORCH

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EXISTING HOME
PICTURES
INTERIORS

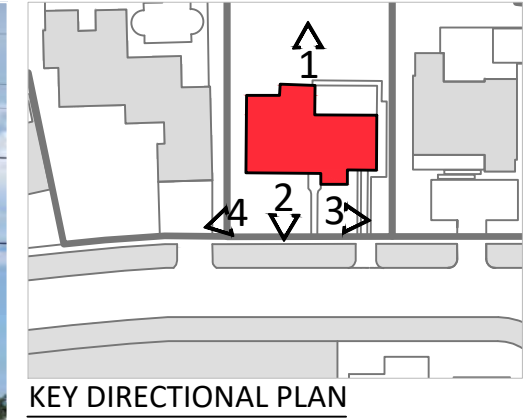
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1. WEST VIEW FROM REAR



2. EAST VIEW FROM FRONT



3. NORTH VIEW FROM FRONT



4. SOUTH VIEW FROM FRONT

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CONTEXTUAL
PICTURES

DRB 0.5



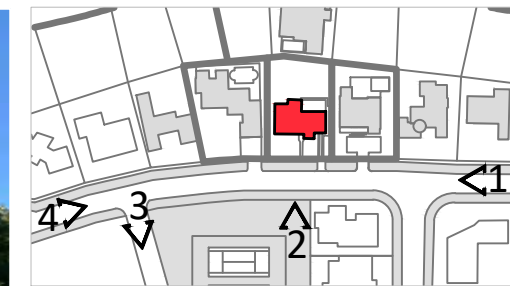
07/15/2020

1. FROM NORTH TO SOUTH
MICHIGAN AVE



07/15/2020

2. FROM THE TENNIS COURTS - VIEW OF THE MAJESTIC MAHOGANY TREE



KEY DIRECTIONAL PLAN



07/15/2020

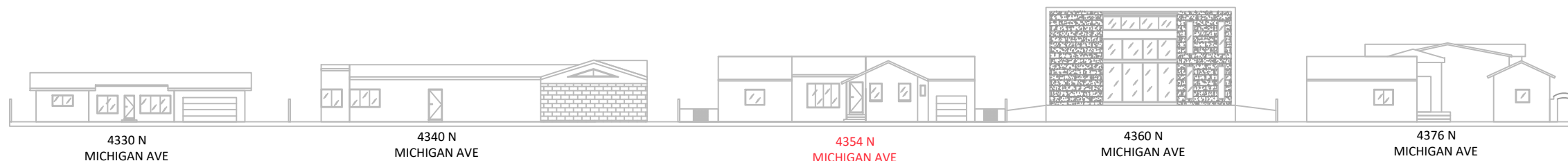
3. FROM SOUTH TO NORTH
MICHIGAN AVE



07/15/2020

4. ENTRANCE TO ADJACENT PARK
AND PARKING LOT

5. CONTEXTUAL EAST ELEVATION
EXISTING



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CONTEXTUAL
PICTURES
AND ELEVATION

DRB 0.6



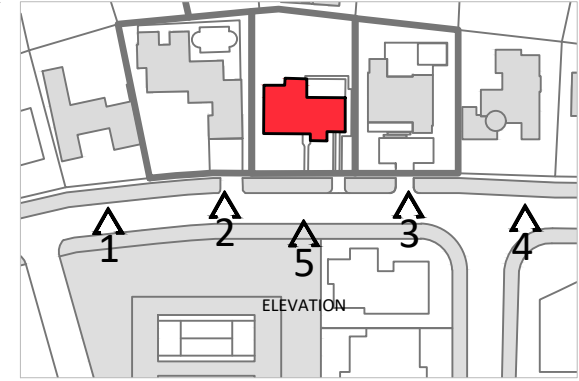
07/15/2020

1. 4330 N MICHIGAN AVE



07/15/2020

2. 4340 N MICHIGAN AVE



KEY DIRECTIONAL PLAN



07/15/2020

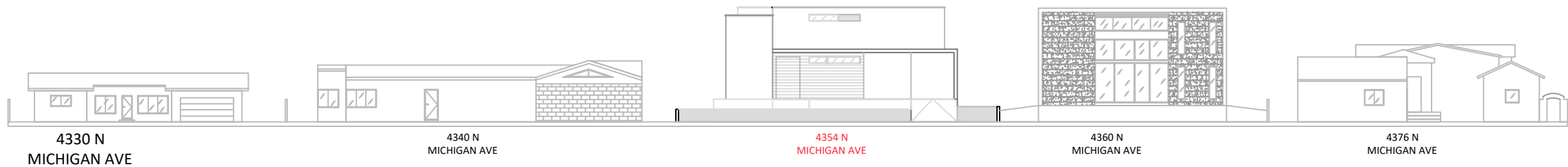
3. 4360 N MICHIGAN AVE



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4. 4376 N MICHIGAN AVE

5. CONTEXTUAL EAST ELEVATION PROPOSED



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CONTEXTUAL PICTURES AND ELEVATION
DRB 0.7



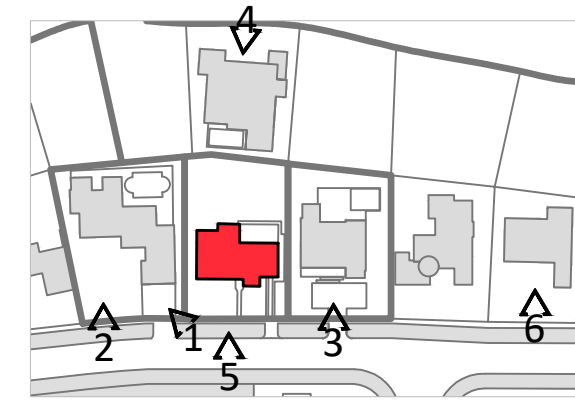
07/15/2020

1. 4330 N MICHIGAN AVE PARK WAY
PROPERTY TO THE SOUTH SIDE OF PROJECT SUBJECT



08/05/2020

2. 4330 N MICHIGAN AVE FACADE
PROPERTY TO THE SOUTH OF PROJECT SUBJECT



ELEVATION
KEY DIRECTIONAL PLAN

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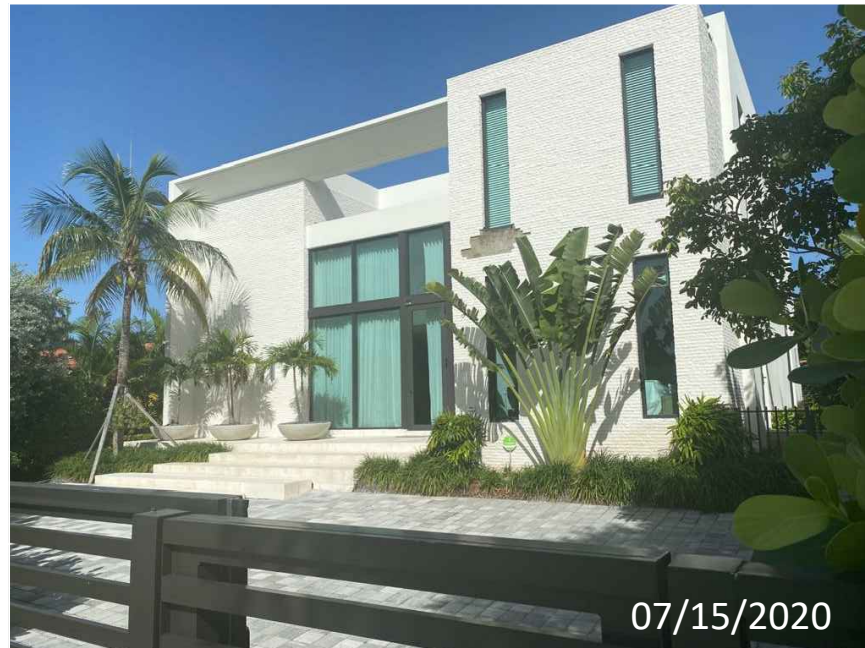
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07/15/2020

3. 4365 N MICHIGAN AVE FACADE
PROPERTY TO THE NORTH SIDE OF PROJECT SUBJECT



07/15/2020

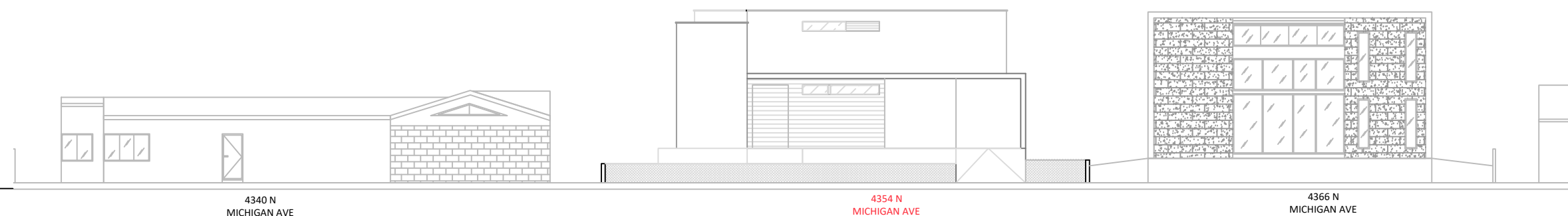
4. TWO STORY PROPERTY LOCATED ON THE WEST SIDE OF
PROJECT SUBJECT, FULL 2 STORY ON PROXIMITY OF SETBACK



07/15/2020

6. 4390 N MICHIGAN AVE - HISTORICAL HOME WITH
2 LEVEL "TOWER" VOLUME ON FRONT YARD

5. CONTEXTUAL EAST ELEVATION
PROPOSED

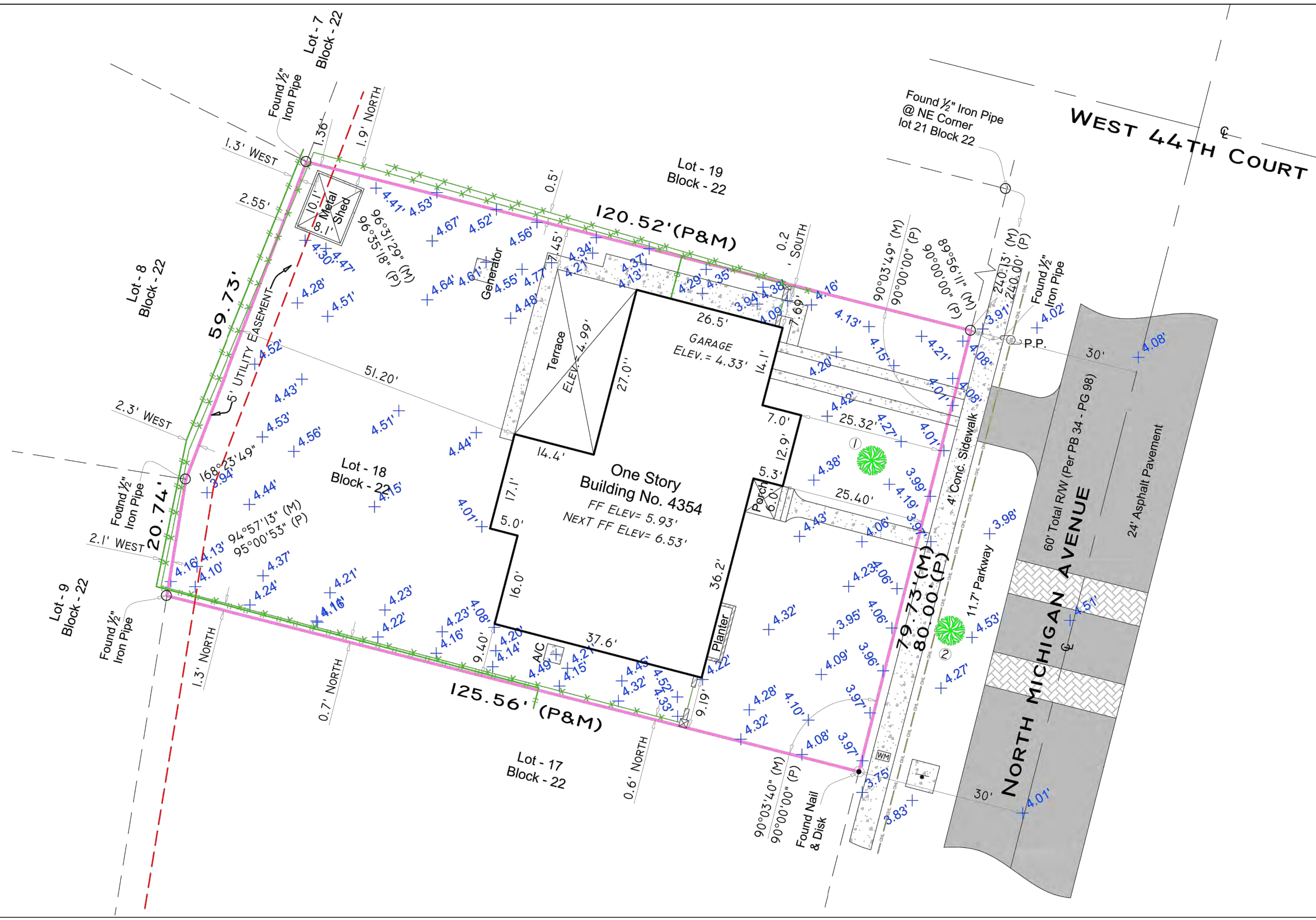


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CONTEXTUAL
PICTURES AND
ELEVATION

DRB 0.8



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ENLARGE
SURVEY

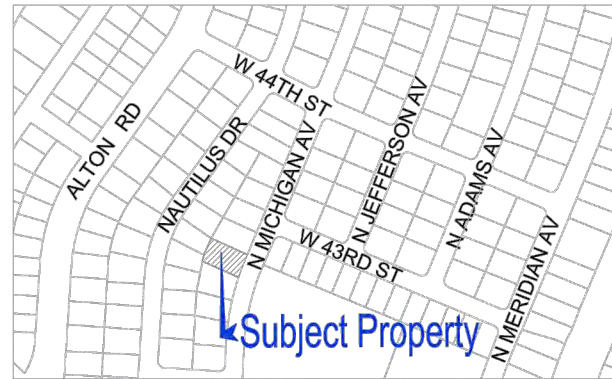
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MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY



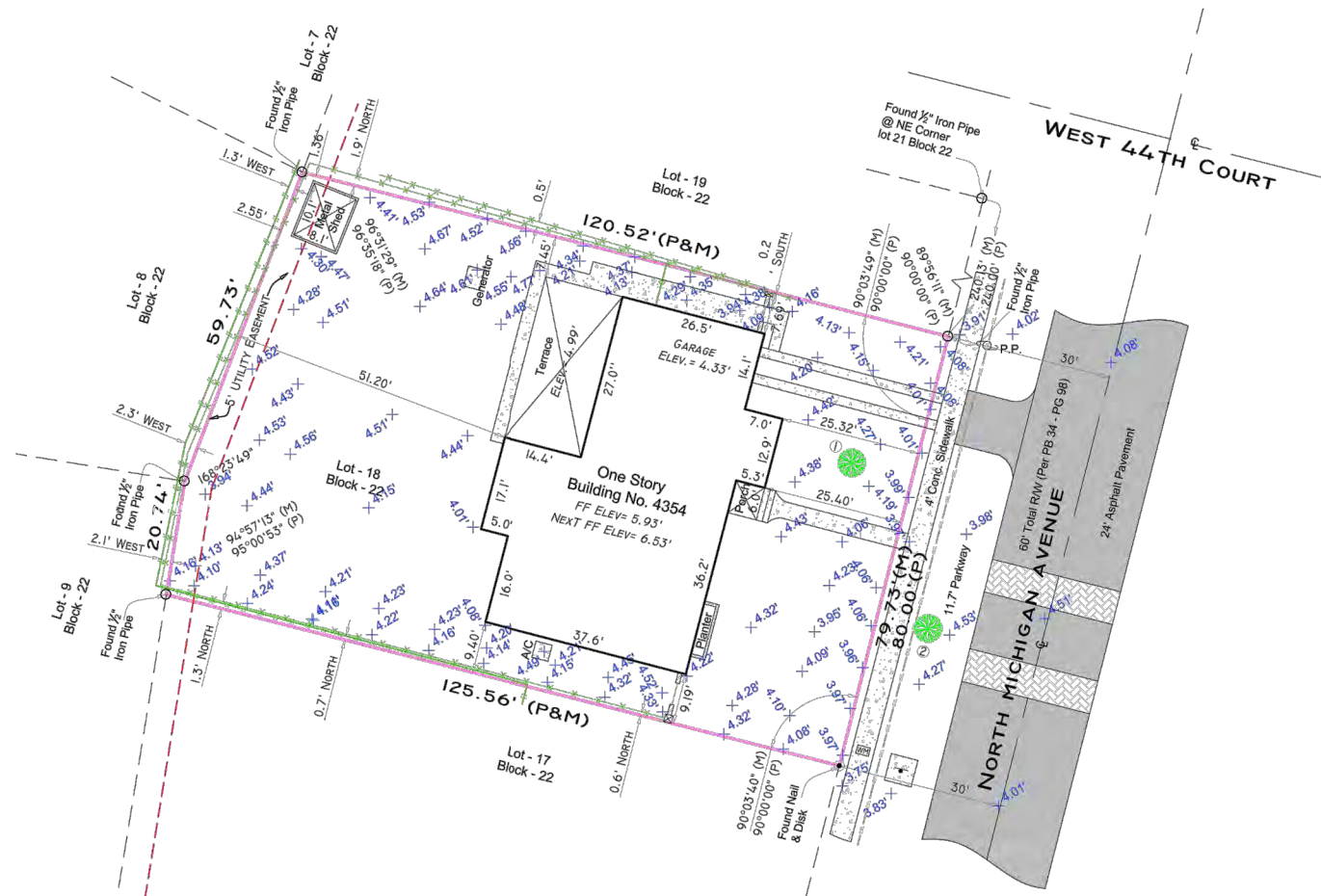
0 10 20
SCALE: 1" = 20'

LOCATION MAP NOT TO SCALE



A parcel of land being a portion of Section 22, Township 53 South, Range 42 East, Miami Beach, Miami-Dade County, Florida.

TREE CHART (Dimensions are Approximate)				
Tree #	Common Name	Trunk Diameter at Breast Height DBH(in)	Approximate Height (ft)	Approximate Canopy (ft)
1	Avocado	5	22	18
2	Oak	36	50	60



LEGEND & ABBREVIATIONS	
[Symbol]	= CONCRETE (CONC.)
[Symbol]	= CONCRETE BLOCK WALL
[Symbol]	= WOOD DECK
[Symbol]	= COVERED AREA
[Symbol]	= ASPHALT
[Symbol]	= TILE
[Symbol]	= PAVERS
[Symbol]	= STONE
[Symbol]	= CHAIN LINK FENCE (CLF)
[Symbol]	= WOOD FENCE (WF)
[Symbol]	= IRON METAL BARS FENCE (IF)
[Symbol]	= OVERHEAD WIRES
[Symbol]	= WATER VALVE (WV)
[Symbol]	= POWER POLE (PP)
[Symbol]	= GUY ANCHOR
[Symbol]	= WATER METER (WM)
[Symbol]	= CONC. LIGHT POLE (LP)
[Symbol]	= WELL
[Symbol]	= STREET SIGN
[Symbol]	= SANITARY MANHOLE
[Symbol]	= DRAINAGE MANHOLE
[Symbol]	= MANHOLE
[Symbol]	= FIRE HYDRANT
[Symbol]	= CABLE BOX (CATV)
[Symbol]	= FPL TRANSFORMER
[Symbol]	= CATCH BASIN OR INLET
[Symbol]	= EXISTING ELEVATION
[Symbol]	= PERMANENT REFERENCE MONUMENT (PRM)
[Symbol]	= PROPERTY CORNER
[Symbol]	= PERMANENT CONTROL POINT (PCP)
PT	= POINT OF TANGENCY
PC	= POINT OF CURVATURE
PCC	= POINT OF COMPOUND CURVE
PRC	= POINT OF REVERSE CURVE
BM	= BENCH MARK
BR	= BEARING REFERENCE
TBM	= TEMPORARY BENCH MARK
PL	= PROPERTY LINE
CL	= CENTER LINE
ML	= MONUMENT LINE
BL	= BASE LINE
MEAS	= FIELD MEASURED
P	= PER PLAT
PSM	= PROFESSIONAL SURVEYOR AND MAPPER
A/C	= AIR CONDITIONER PAD
ENCR	= ENCROACHMENT
FF ELEV	= FINISHED FLOOR ELEVATION
(XX-XX)	= DENOTES PLAT BOOK XX - PAGE XX
ORB	= OFFICIAL RECORD BOOK
CBS	= CONCRETE BLOCK STRUCTURE
R/W	= RIGHT OF WAY
ELEV	= ELEVATION
SEC	= SECTION
T	= TOWNSHIP
R	= RANGE
CALC	= CALCULATED

LEGAL DESCRIPTION:
Lot 18, Block 22, NAUTILUS EXTENSION THIRD, according to the plat thereof, as recorded in Plat Book 34, Page 98, of the Public Records of Dade County, Florida.

SURVEYOR'S REPORT AND GENERAL NOTES (Not valid without the attached Survey Map)

- Legal Description has been furnished by the client.
- References to "Deed", "Record" or "Plat" refer to documents and instruments of record as part of the pertinent information used for this survey work. Measured distances, directions and angles along boundary lines are in consistency with corresponding values from records, unless otherwise shown.
- These lands are subject to additional restrictions of record that were not furnished to the undersigned registered surveyor. A title search has not been performed by the surveyor.
- North arrow direction is based on an assumed Meridian. Bearings are based on a well-established line, said line is being noted as BR on the Survey Map.
- Only above ground improvements are shown herein. Foundations, underground features and utilities have not been located.
- Survey markers found in the field have no identification unless otherwise shown. Any survey marker set by our company is labeled LB 7262 or PSM 6169.
- Fence ownership has not been determined. Distances from existing fences to boundary lines are approximate. Fence/walls width and conditions must be considered to determine true location. Lands located beyond perimeter fences might or might not be being used by adjoining. Adjoining parcels have not been investigated.
- This Survey Map is intended to be displayed at the scale shown hereon. Data is expressed in U.S. Survey Foot.
- This Survey Map is being prepared for the use of the party/parties that it is certified to and does not extend to any unnamed individual, entity or assignee.
- FLOODPLAIN INFORMATION:** As scaled from Federal Insurance Rate Map (FIRM) of Community No. 120651(City of Miami Beach), Panel 0309, Suffix L, revised on Sept 11th, 2009, this real property falls in Zone "AE" with Base Flood Elevation 7 feet (NGVD 1929)
- HORIZONTAL ACCURACY:** Accuracy obtained thru measurements and calculations meets and exceeds the minimum horizontal feature accuracy for a Suburban area being equal to 1 foot in 7, 500 feet.
- VERTICAL CONTROL AND ACCURACY:** The elevations as shown are referred to the National Geodetic Vertical Datum of 1929 (NGVD 1929). The closure in feet, as computed, meets the standard of plus or minus 0.05 feet times the squared root of the loop distance in miles. Elevation are based on a level loop from and to the following official Bench Marks:
Bench Mark # 1: Miami-Dade County Public Works Department Bench Mark D-157-R, Elevation = 4.93 feet (NGVD 1929).
Bench Mark # 2: Miami-Dade County Public Works Department Bench Mark D-106, Elevation = 73.21feet (NGVD 1929)

Note:
Area Lot is 9967.80'

I HEREBY CERTIFY TO:
Peter Lipsick; Desiree D.

That this Survey conforms to the Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers in applicable provisions of chapter 5J-17, Florida administrative code pursuant to Section 472.027 Florida Statutes. This Survey is accurate and correct to the best of my knowledge and belief.



Digitally signed
by Odalys C Bello
Date: 2020.08.03
17:59:34 -04'00'

Odalys C. Bello-Iznaga
Professional Surveyor and Mapper LS6169 - State of Florida
Field Work Date: 07/14/2020

Additions and deletions to this Survey Map are prohibited. This Survey Map and Report are not valid without the signature and original raised seal or without the authenticated electronic signature and seal of the undersigned Florida licensed Surveyor and Mapper.

Property Address:
4354 North Michigan Avenue, Miami Beach, Florida 33140
Project No. 20810

PAGE 1 OF 1



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Phone: 305.251.9606 • Fax: 305.251.6057 • LB#7262
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ORIGINAL
SURVEY

DRB 0.9

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	4354 N MICHIGAN AVE		
2	Folio number(s):	02-3222-008-0450		
3	Board and file numbers :	DRB20-0564		
4	Year built:	1940	Zoning District:	RS-4
5	Based Flood Elevation:	8.0	Grade value in NGVD:	3.97
6	Adjusted grade (Flood+Grade/2):	5.985	Free board:	2.0
7	Lot Area:	9,967.80 SF		
8	Lot width:	80'	Lot Depth:	120.52' - 125.56'
9	Max Lot Coverage SF and %:	2,990.34 SF 30%	Proposed Lot Coverage SF and %:	2,748.85 SF /27.57%
10	Existing Lot Coverage SF and %:	2,710.31 SF 27.19%	Lot coverage deducted (garage-storage) SF:	0
11	Front Yard Open Space SF and %:	958.33 SF 59.9%	Rear Yard Open Space SF and %:	1257.54 SF 78.13%
12	Max Unit Size SF and %:	4,983.90 SF 50%	Proposed Unit Size SF and %:	3,933.48 SF /39.46%
13	Existing First Floor Unit Size:	2,710.31 SF 27.88%	Proposed First Floor Unit Size:	2006.5 SF / 20.12%
14	Existing Second Floor Unit Size	0%	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	
15			Proposed Second Floor Unit Size SF and % :	1,926.98 SF / 19.33%
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A

		Required	Existing	Proposed	Deficiencies
17	Height:		10' TO 15'	24'	
18	Setbacks:				
19	Front First level:	30'	25.22'	34.02' TO 37.35'	
20	Front Second level:	30'	N/A	34.02' TO 37.35'	
21	Side 1:	10'	7.72'	10'	
22	Side 2 or (facing street):	10'	9.18'	12.26' TO 14.88'	
23	Rear:	20'	53'	21.08' TO 26.83'	
	Accessory Structure Side 1:	N/A			
24	Accessory Structure Side 2 or (facing street) :	N/A			
25	Accessory Structure Rear:	7.5'	1'	N/A	
26	Sum of Side yard :	20'	16.9'	22.26'	

27	Located within a Local Historic District?	Yes or <input checked="" type="checkbox"/>
28	Designated as an individual Historic Single Family Residence Site?	Yes or <input checked="" type="checkbox"/>
29	Determined to be Architecturally Significant?	Yes or <input checked="" type="checkbox"/>

Notes:

If not applicable write N/A

All other data information should be presented like the above format

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DESIGN
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786.777.8716 gaia@gaiadesign.com
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(305) 528-4001
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RCKEY ARCHITECTURE LLC
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MIAMI FL 33131 PH: 305.967.6355



SEAL

JOHN SACCO AR0004952

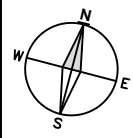
**New Single Family Home
4354 N MICHIGAN AVE
MIAMI BEACH, FL 33140**

FINAL SUBMITTAL
DATE: 08/10/2020

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ZONING DATA SHEET

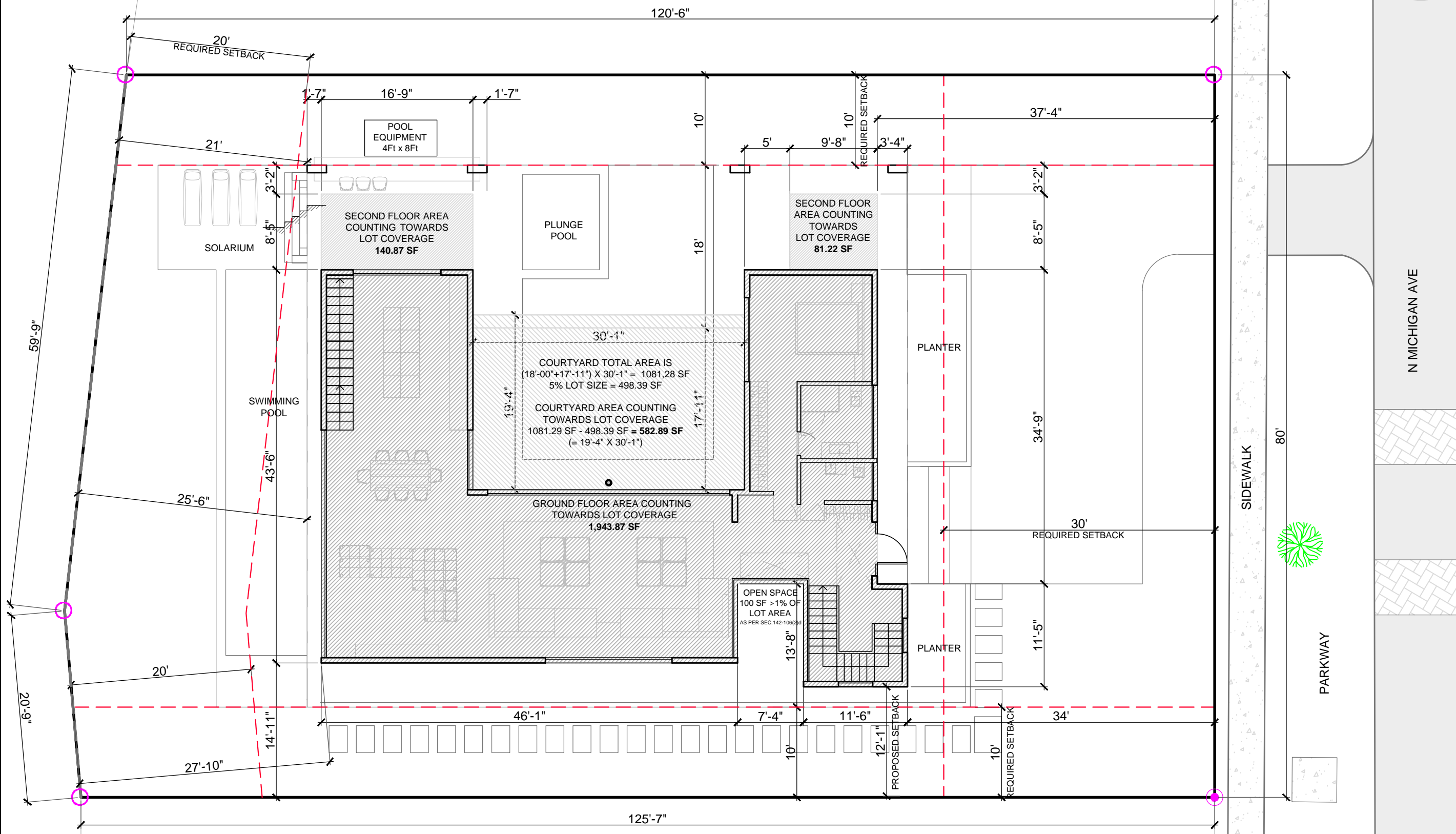
DRB 1.0



- GROUND FLOOR AREA COUNTING TOWARDS LOT COVERAGE
- SECOND FLOOR AREA COUNTING TOWARDS LOT COVERAGE
- COURTYARD AREA COUNTING TOWARDS LOT COVERAGE

LOT COVERAGE CALCULATION

1,943.87 SF + 140.87 SF + 81.22 SF
+ 582.89 SF = **2,748.85 SF / 27.57%**



1. PROPOSED HOME LOT COVERAGE SHADED DIAGRAM
SCALE 3/32" = 1'-0"

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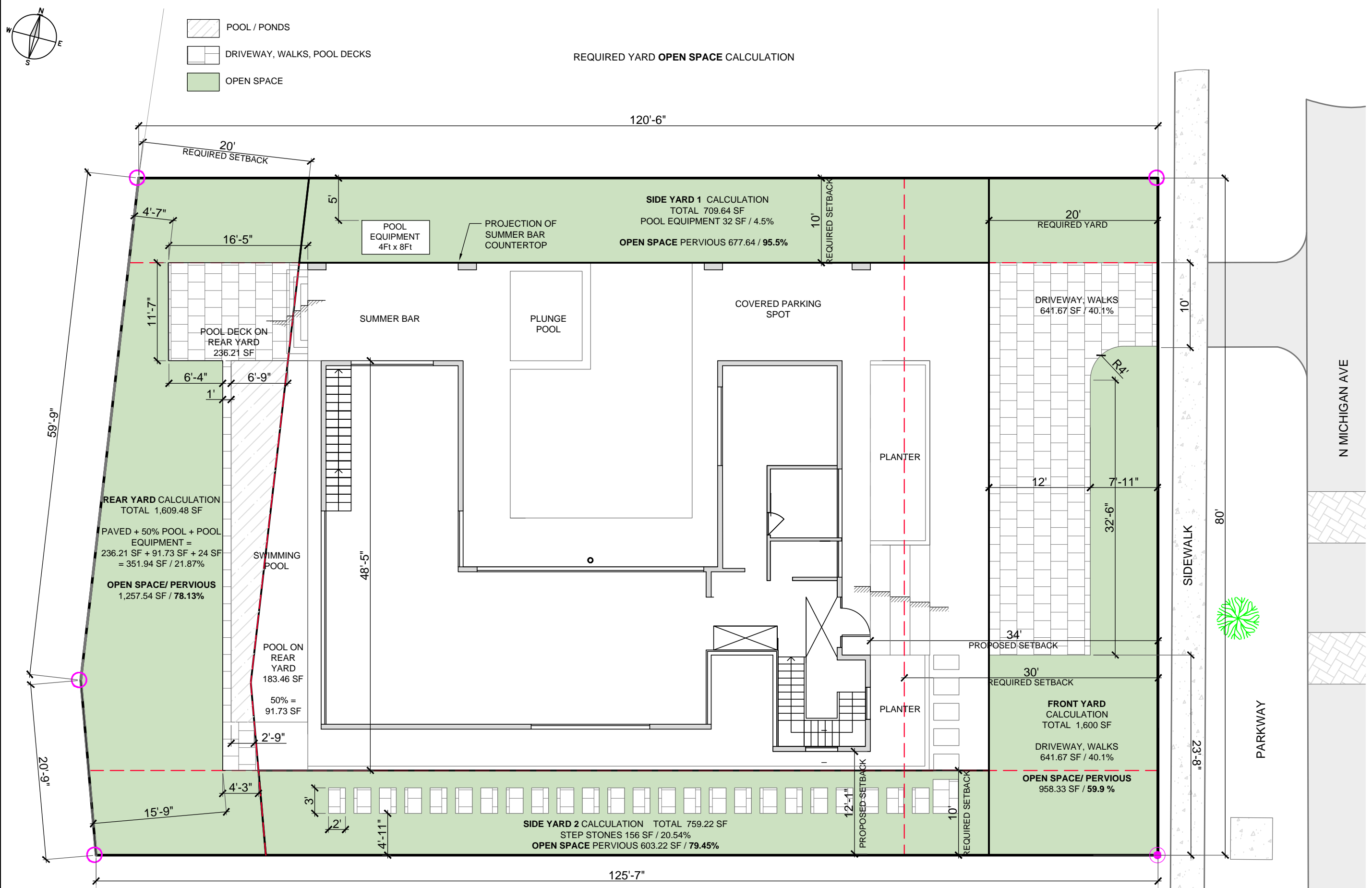
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LOT COVERAGE
SHADED DIAGRAM

DRB 1.1



1. PROPOSED YARD OPEN SPACE/PERVIOUS AREA SHADED DIAGRAM
 SCALE 3/32" = 1'-0"

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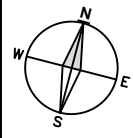
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PROPOSED YARD OPEN SPACE DIAGRAM

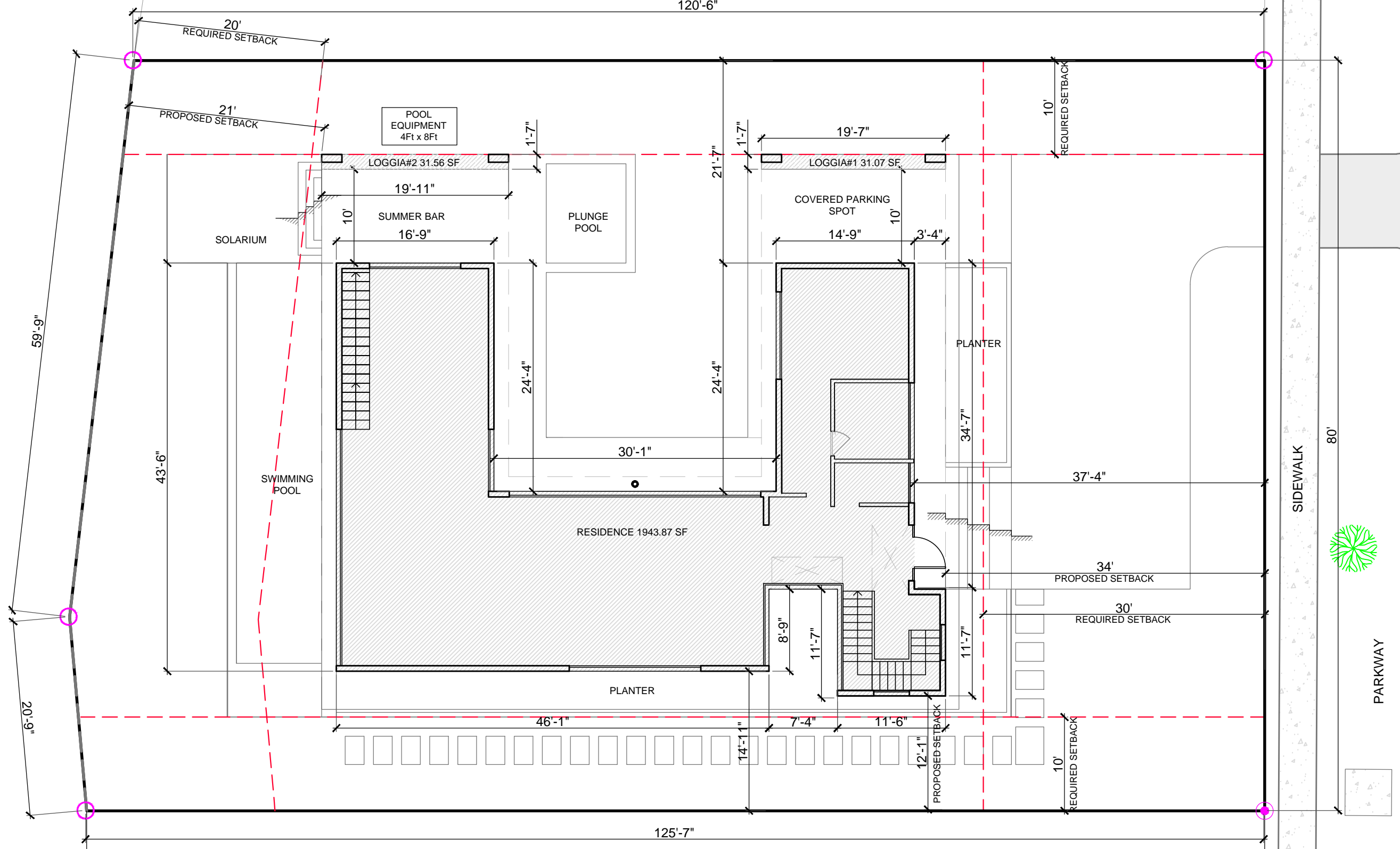
DRB 1.2



 RESIDENCE
 BALCONY, TERRACES, LOGGIAS

**UNIT SIZE CALCULATION
GROUND FLOOR**

RESIDENCE 1943.87 SF +
 LOGGIA#1 31.07 SF +
 LOGGIA#2 31.56 SF =
2,006.5 SF / 20.12% LOT AREA
 120'-6"



1. PROPOSED HOME GROUND FLOOR UNIT SIZE SHADED DIAGRAM
 SCALE 3/32" = 1'-0"

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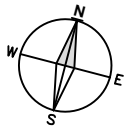
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PROPOSED
 GROUND FLOOR
 UNIT SIZE

DRB 1.3

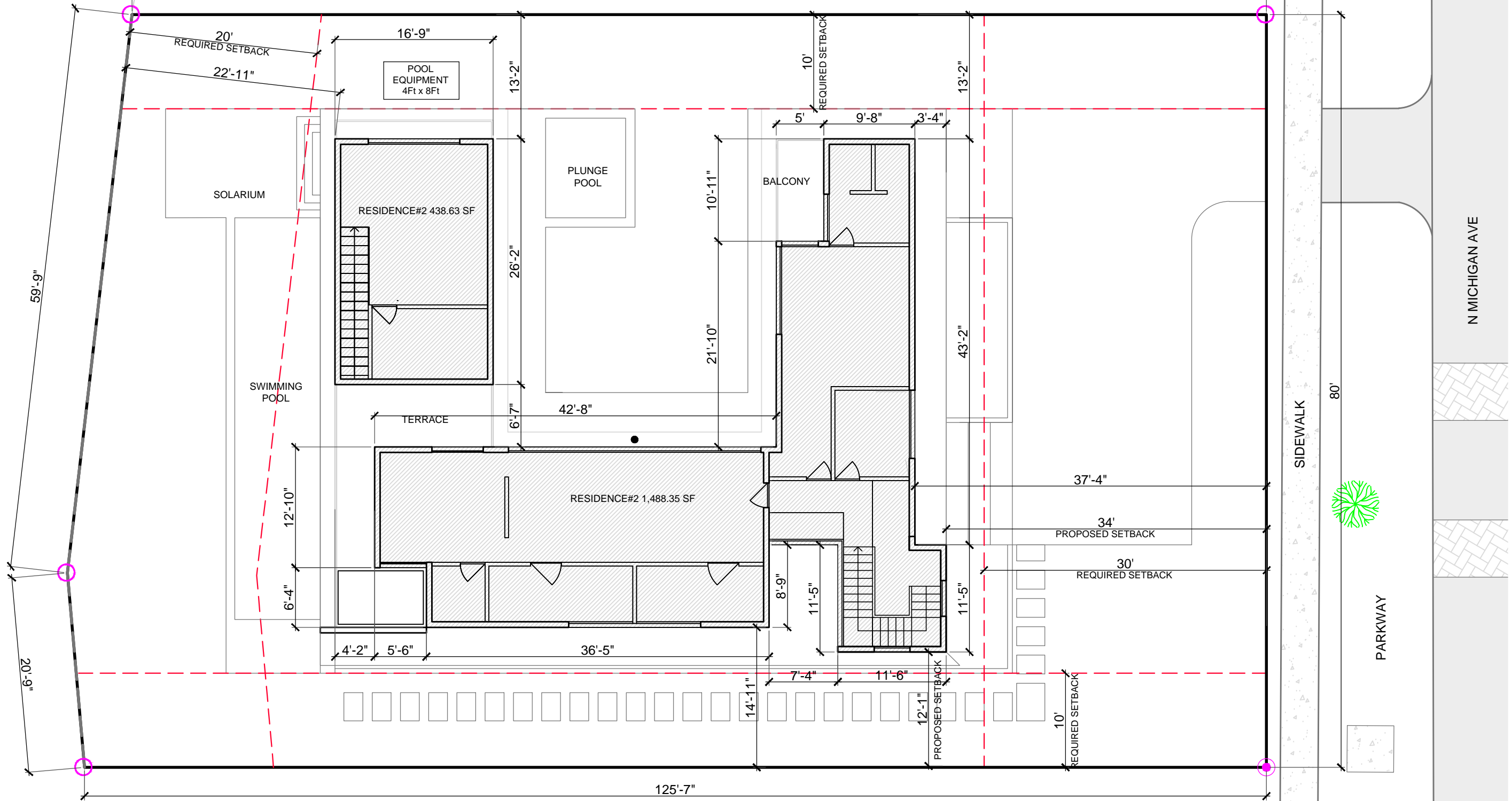


UNIT SIZE CALCULATION SECOND FLOOR

RESIDENCE#1 1488.35 SF +
RESIDENCE#2 438.63 SF =
1,926.98 SF / 19.33% LOT AREA

120'-6"

RESIDENCE



1. PROPOSED HOME SECOND FLOOR UNIT SIZE SHADED DIAGRAM
SCALE 3/32" = 1'-0"

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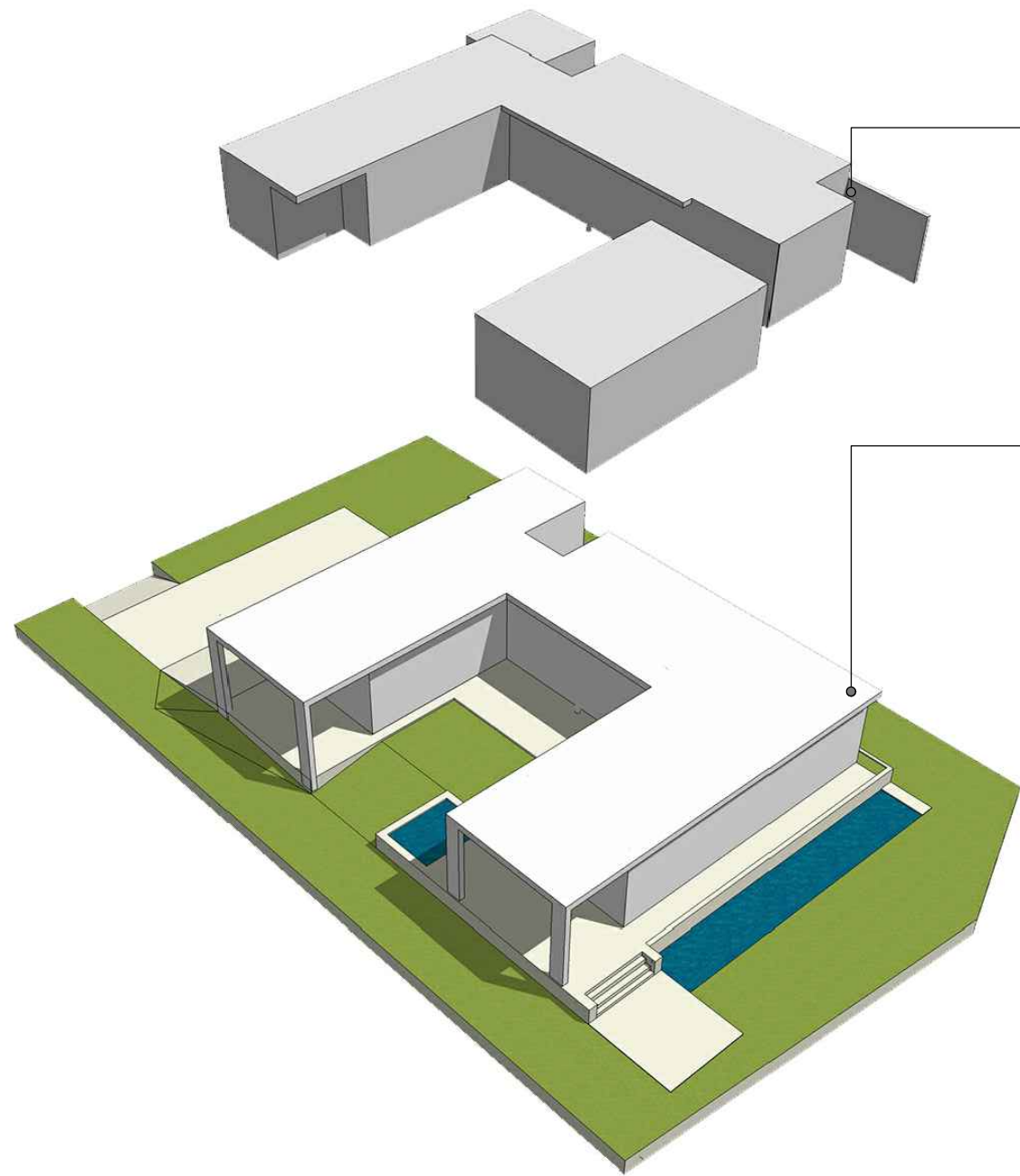
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PROPOSED
SECOND FLOOR
UNIT SIZE

DRB 1.4



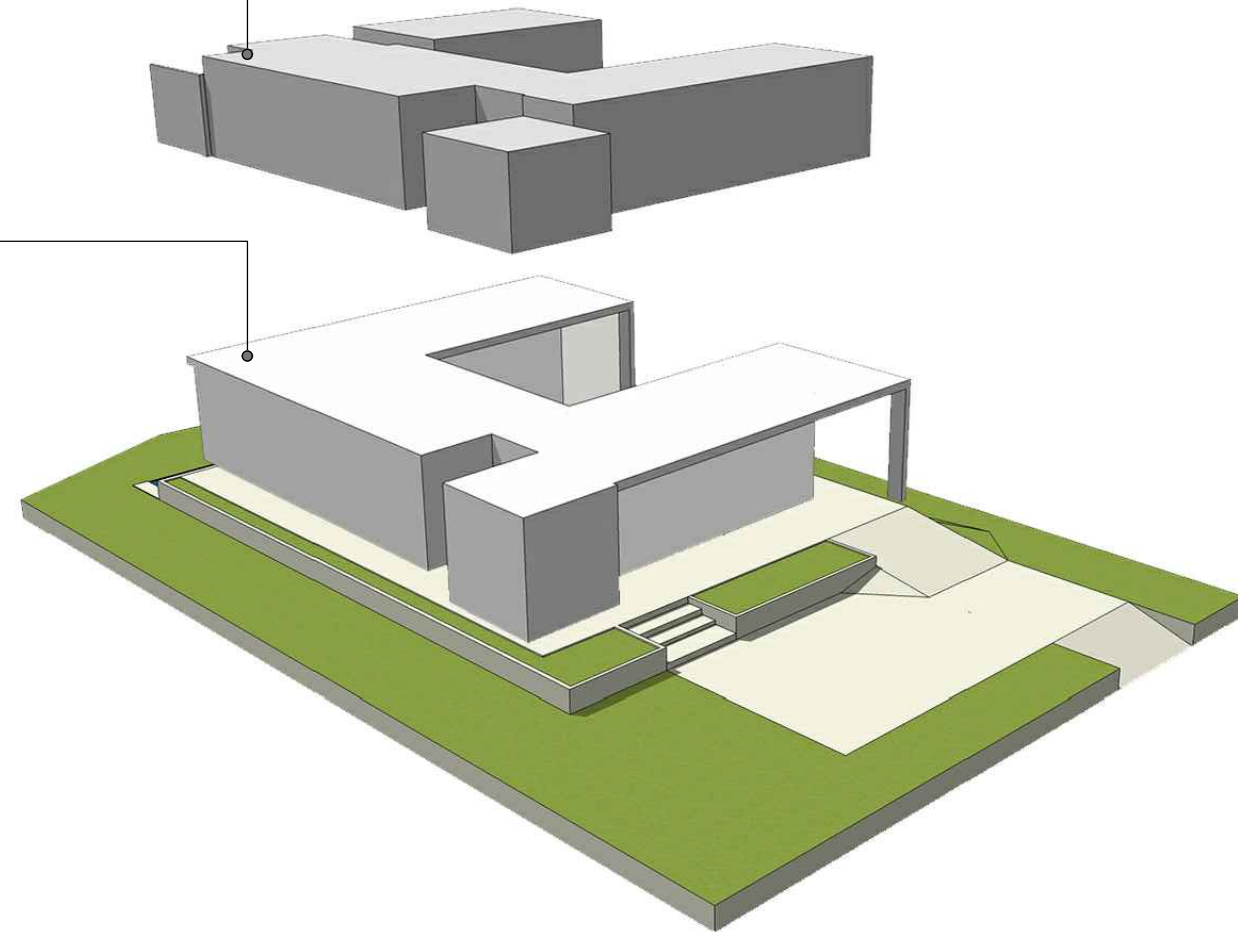
Proposed
Second Floor Unit Size SF
1,926.98 SF
19.33% LOT AREA

Proposed
Ground Floor Unit Size
2,006.5 SF
20.12% LOT AREA

The Unit Size of the
Second Floor accounts for
the 96.03% of the Unit
Size of the Ground Floor.

See DESIGN WAIVER
for Volume of Second
Floor exceeding 70% of
Volume when Lot
Coverage is greater than
25% of Ground Floor
on DRB 6.0

**1. PROPOSED HOME EXPLODED AXONOMETRIC DIAGRAM
FROM NORTH WEST CORNER**



**2. PROPOSED HOME EXPLODED AXONOMETRIC DIAGRAM
FROM SOUTH EAST CORNER**

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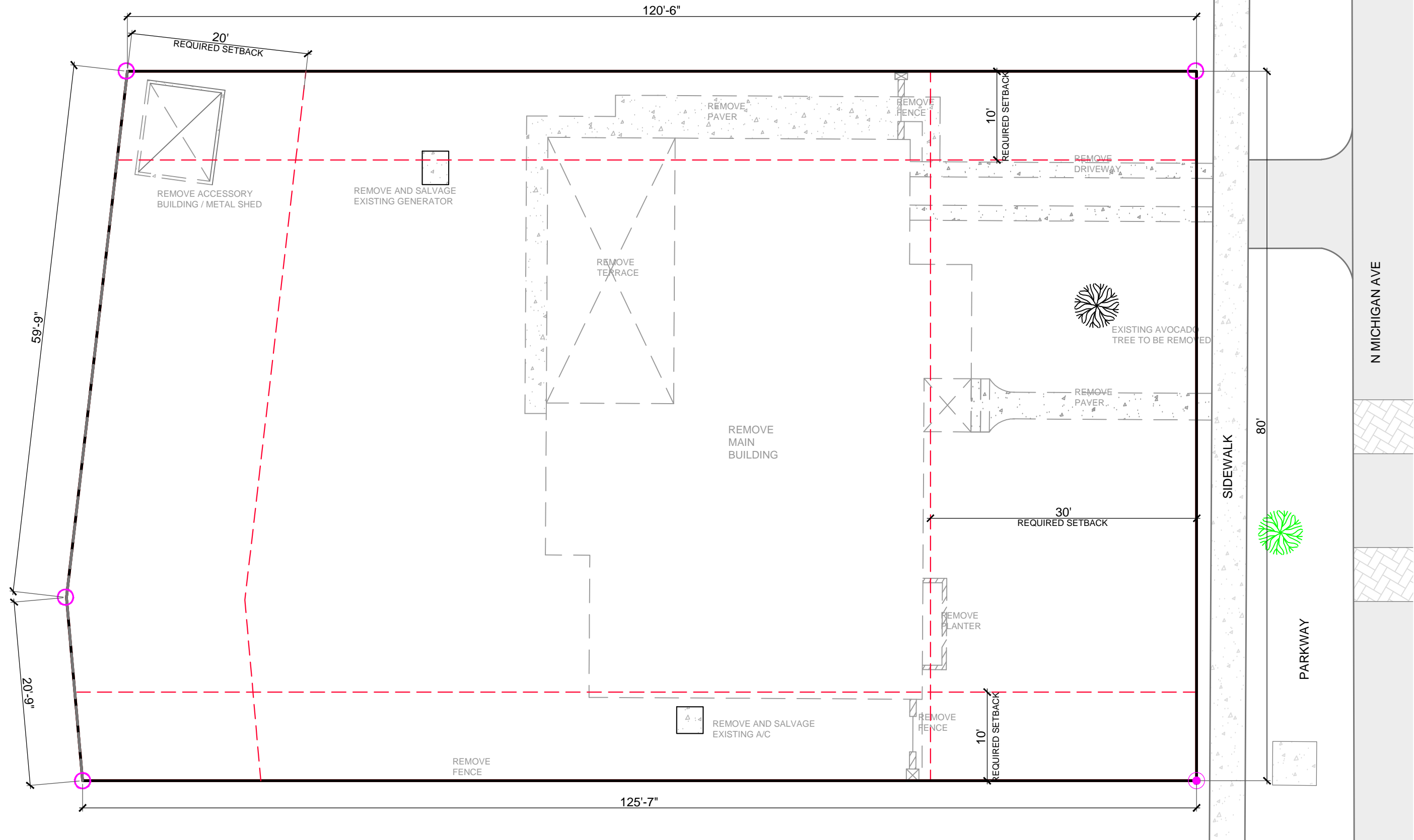
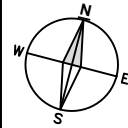
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EXPLODED
AXONOMETRIC
DIAGRAM

DRB 1.5



1. DEMOLITION PLAN
SCALE 3/32" = 1'-0"

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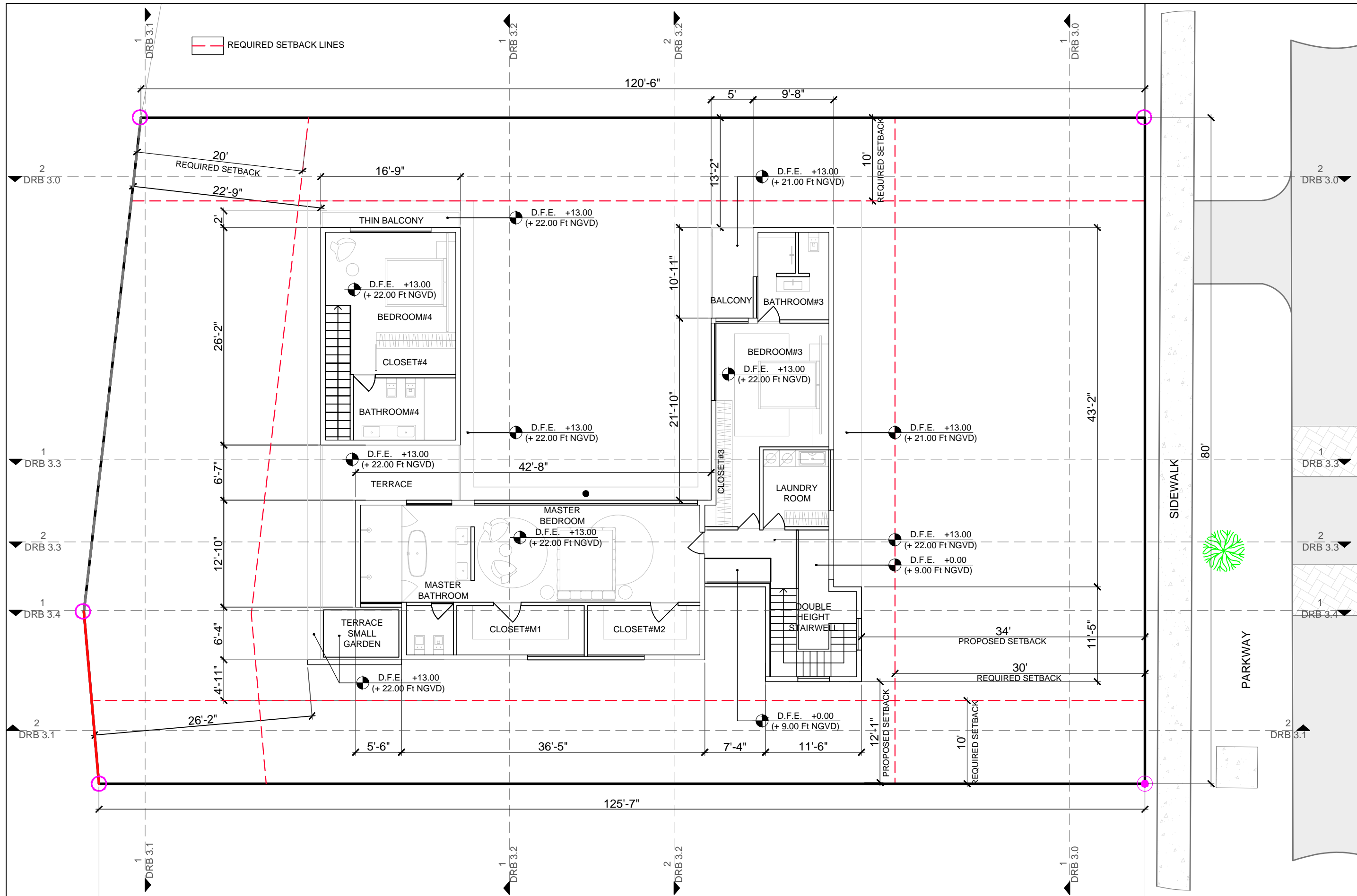
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DEMOLITION PLAN

DRB 1.6



1. PROPOSED SECOND FLOOR PLAN
SCALE 3/32" = 1'-0"

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DRB 3.3, DRB 3.4

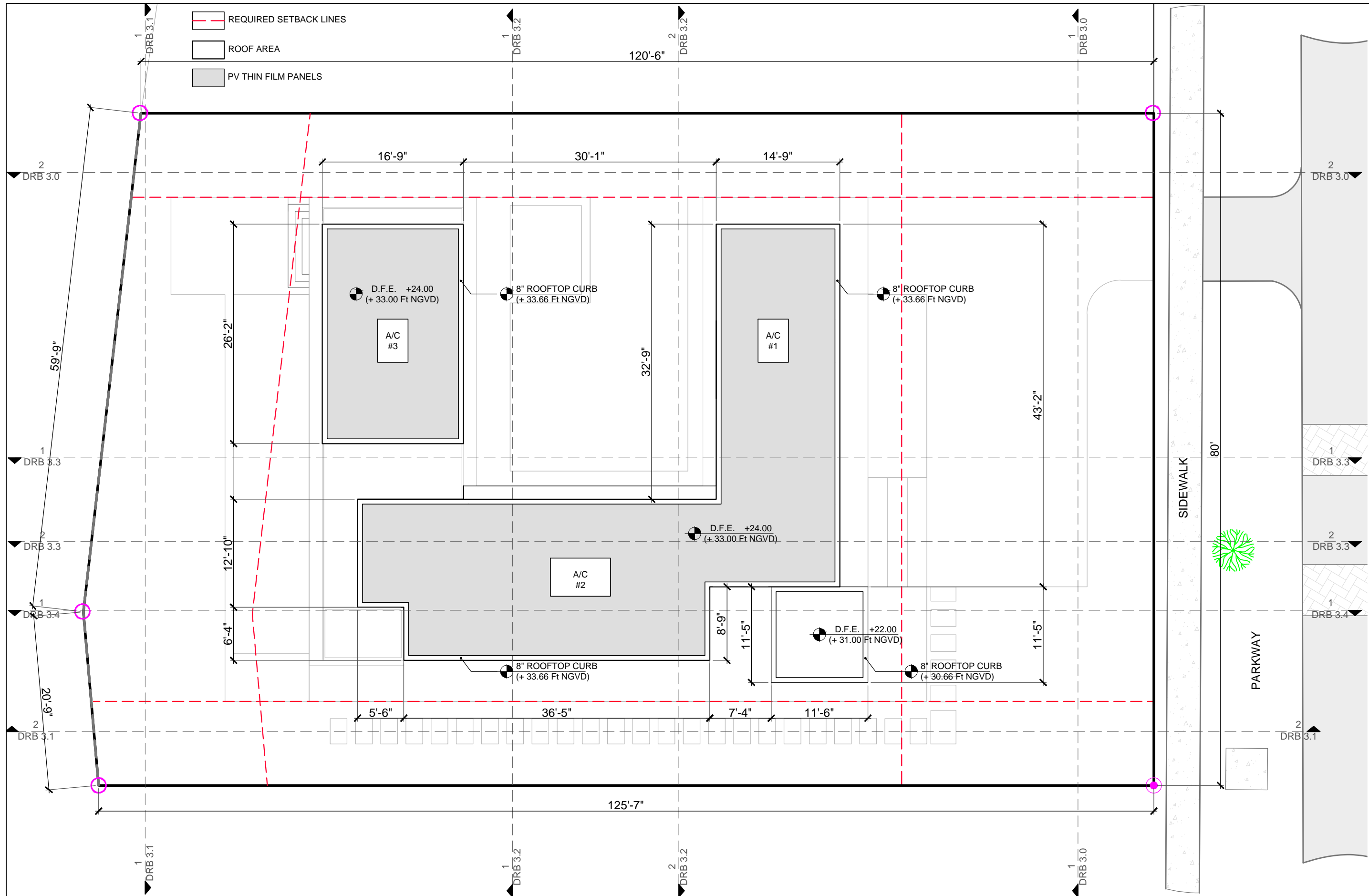
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PROPOSED
SECOND FLOOR
PLAN

DRB 2.2



- REQUIRED SETBACK LINES
- ROOF AREA
- PV THIN FILM PANELS

1. PROPOSED ROOF PLAN
SCALE 3/32" = 1'-0"

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

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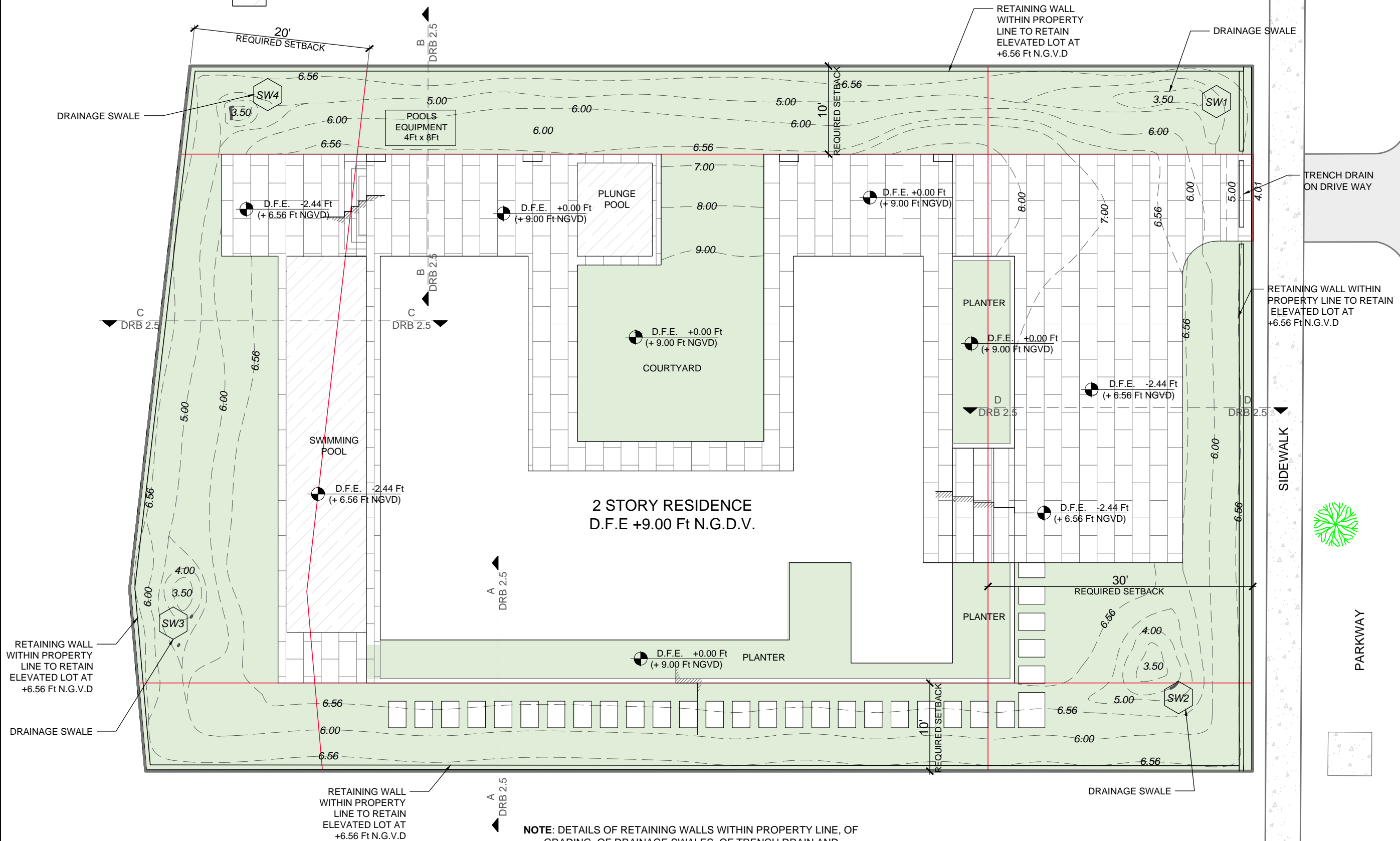
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PROPOSED
ROOF PLAN

DRB 2.3

-  LANDSCAPE
-  PAVERS, DECK, DRIVEWAY
-  POOL



NOTE: DETAILS OF RETAINING WALLS WITHIN PROPERTY LINE, OF GRADING, OF DRAINAGE SWALES, OF TRENCH DRAIN AND STORMWATER RETENTION SYSTEM WILL BE PROVIDED IN PHASE OF CONSTRUCTION DOCUMENTS DEVELOPMENT

1. PROPOSED GRADING PLAN
SCALE 3/32" = 1'-0"

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New Single Family Home
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PROPOSED
GRADING PLAN AND
SIDE YARD SECTIONS

DRB 2.4



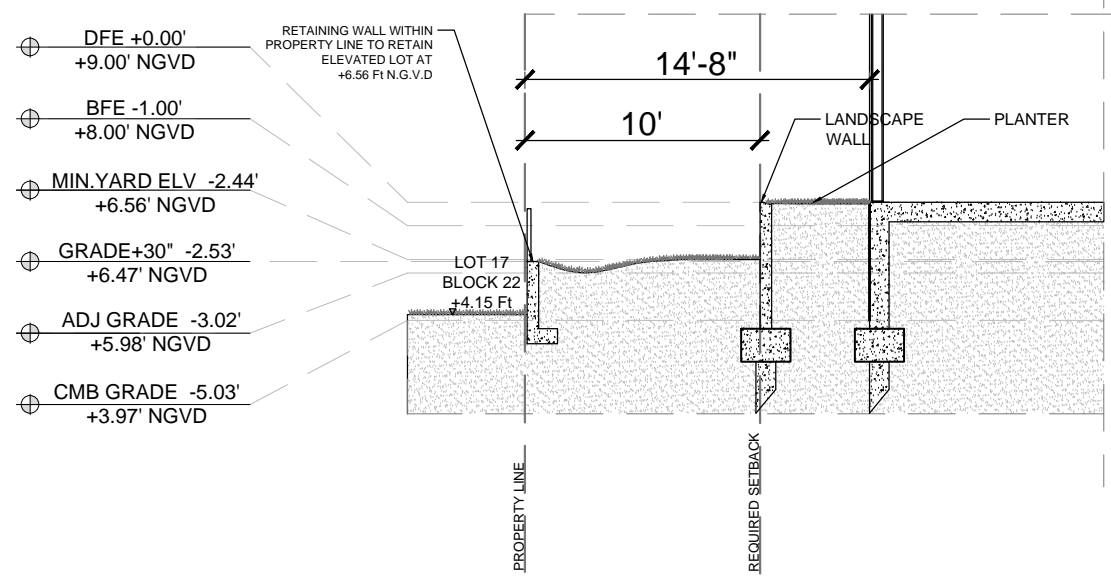
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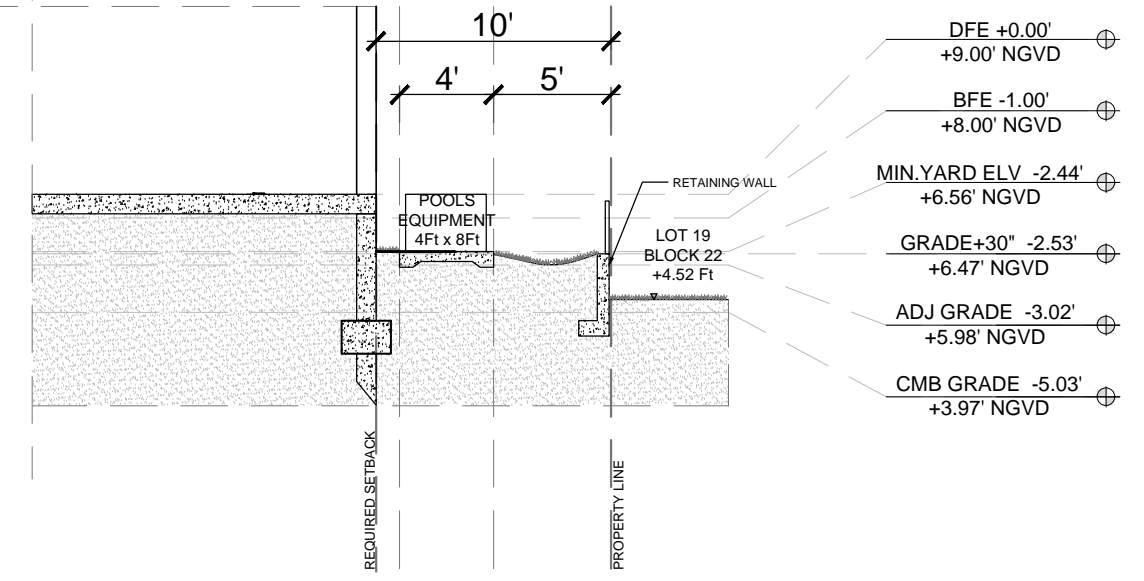
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PROPOSED
ENLARGE SIDE YARD
SECTIONS

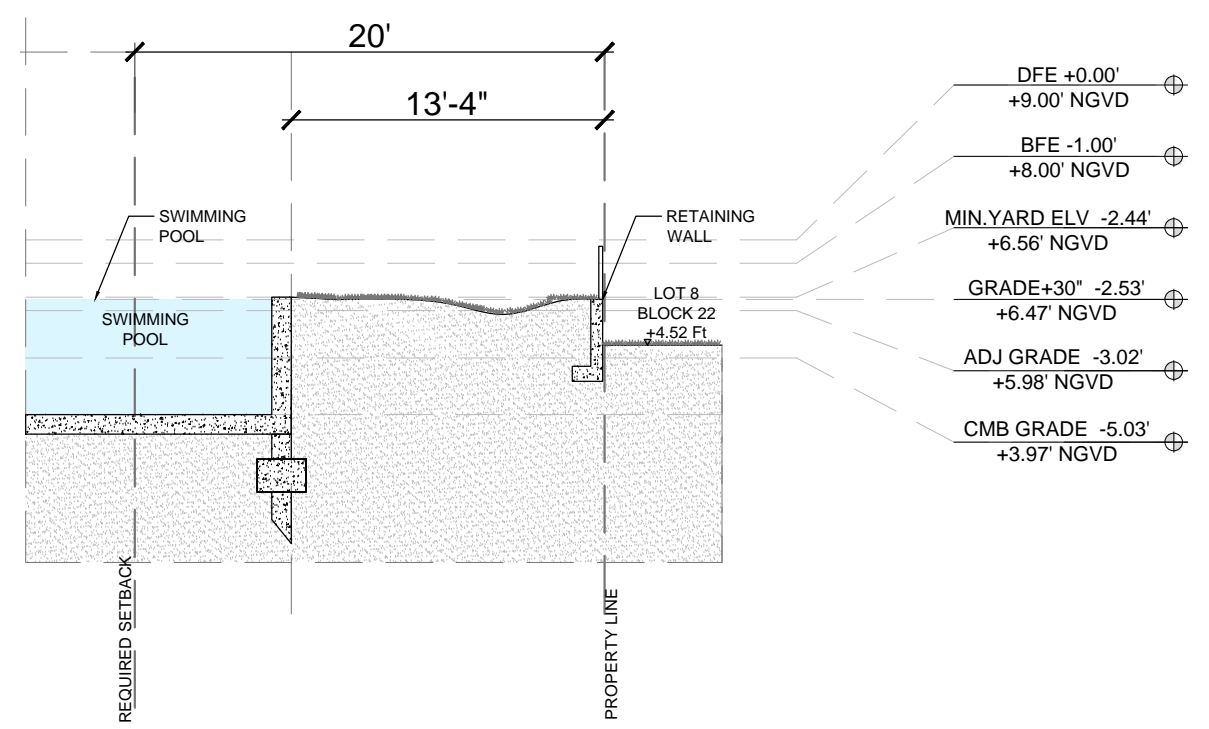
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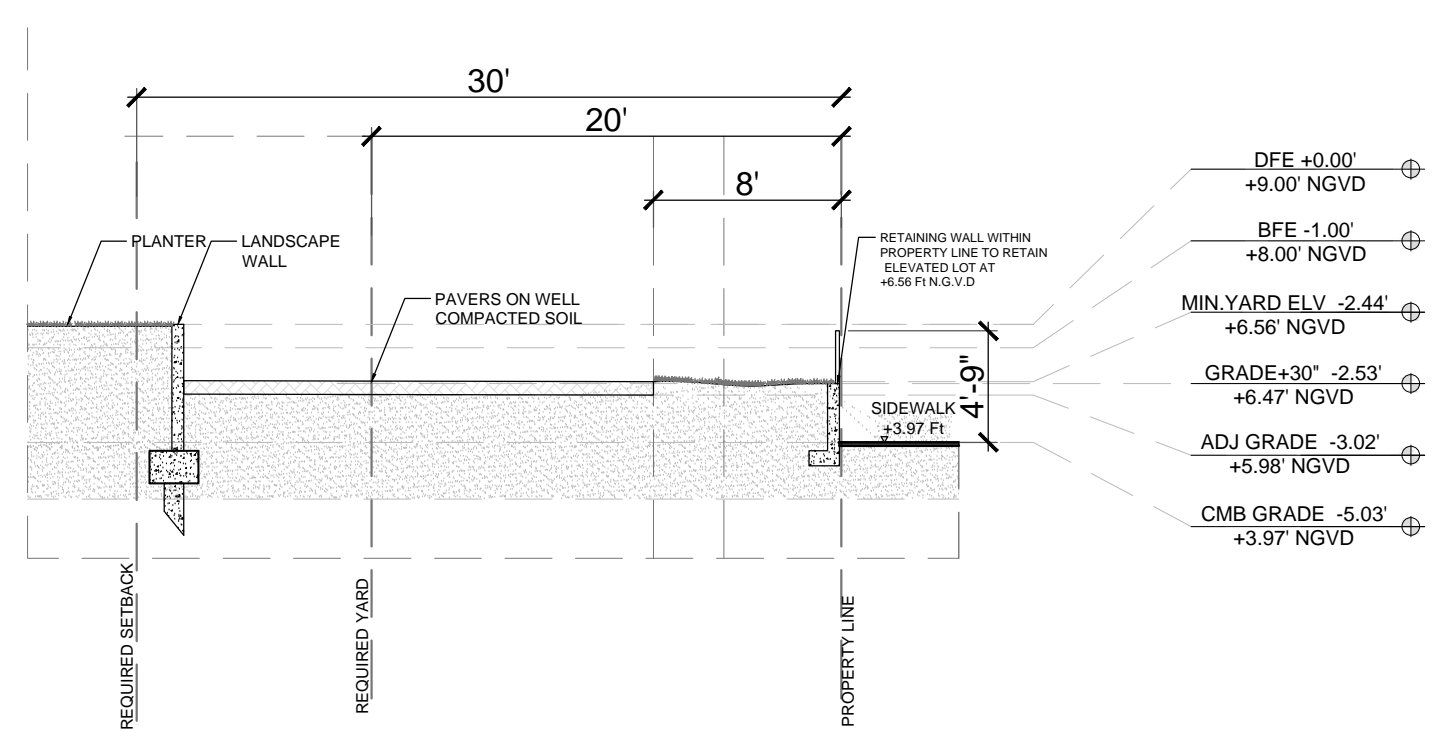
A-A. ENLARGE SIDE 2 YARD SECTION
SCALE 1/8" = 1'-0"



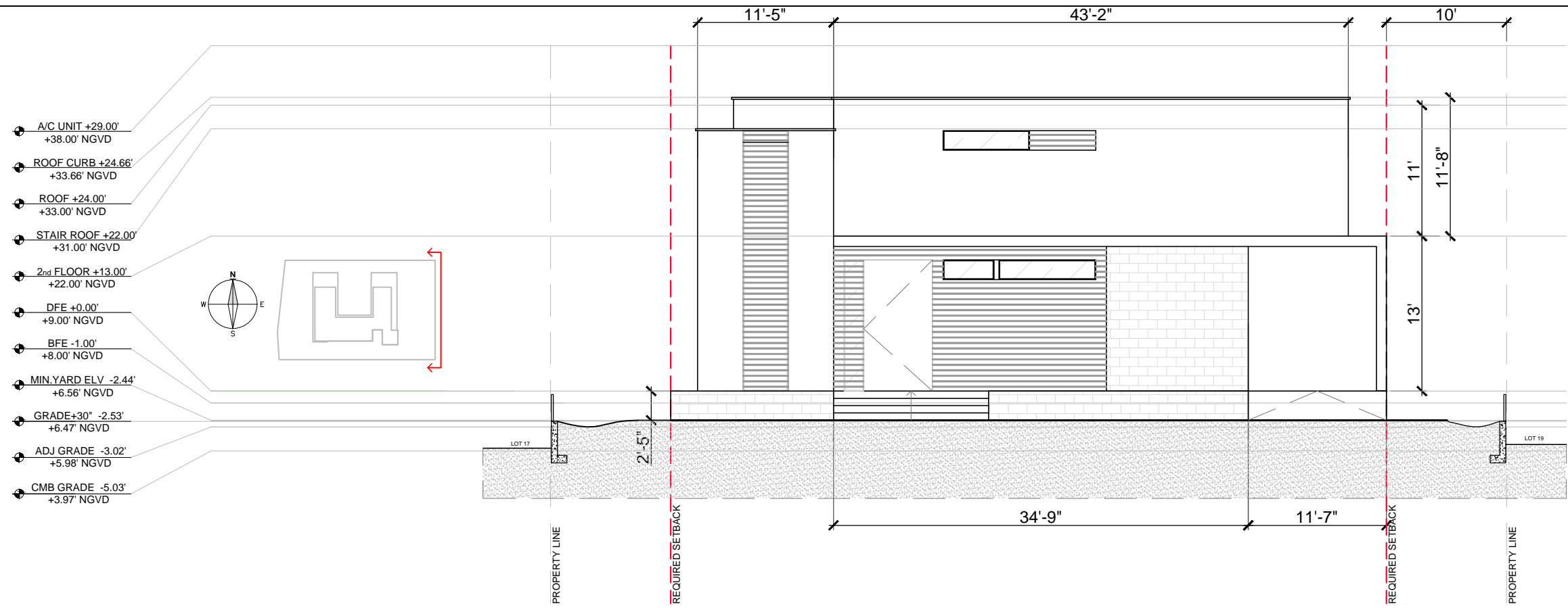
B-B. ENLARGE SIDE 1 YARD SECTION
SCALE 1/8" = 1'-0"



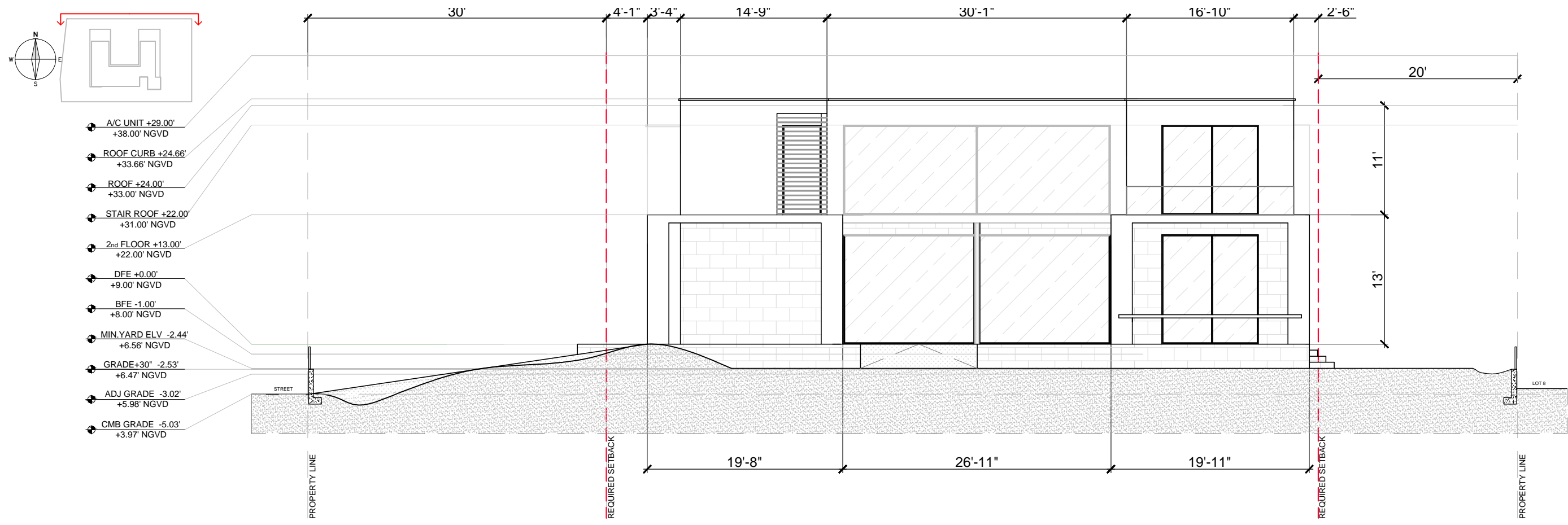
C-C. ENLARGE REAR YARD SECTION
SCALE 1/8" = 1'-0"



D-D. ENLARGE FRONT YARD SECTION
SCALE 1/8" = 1'-0"



1. EAST/FRONT ELEVATION
SCALE 3/32" = 1'-0"



2. NORTH / SIDE ELEVATION
SCALE 3/32" = 1'-0"

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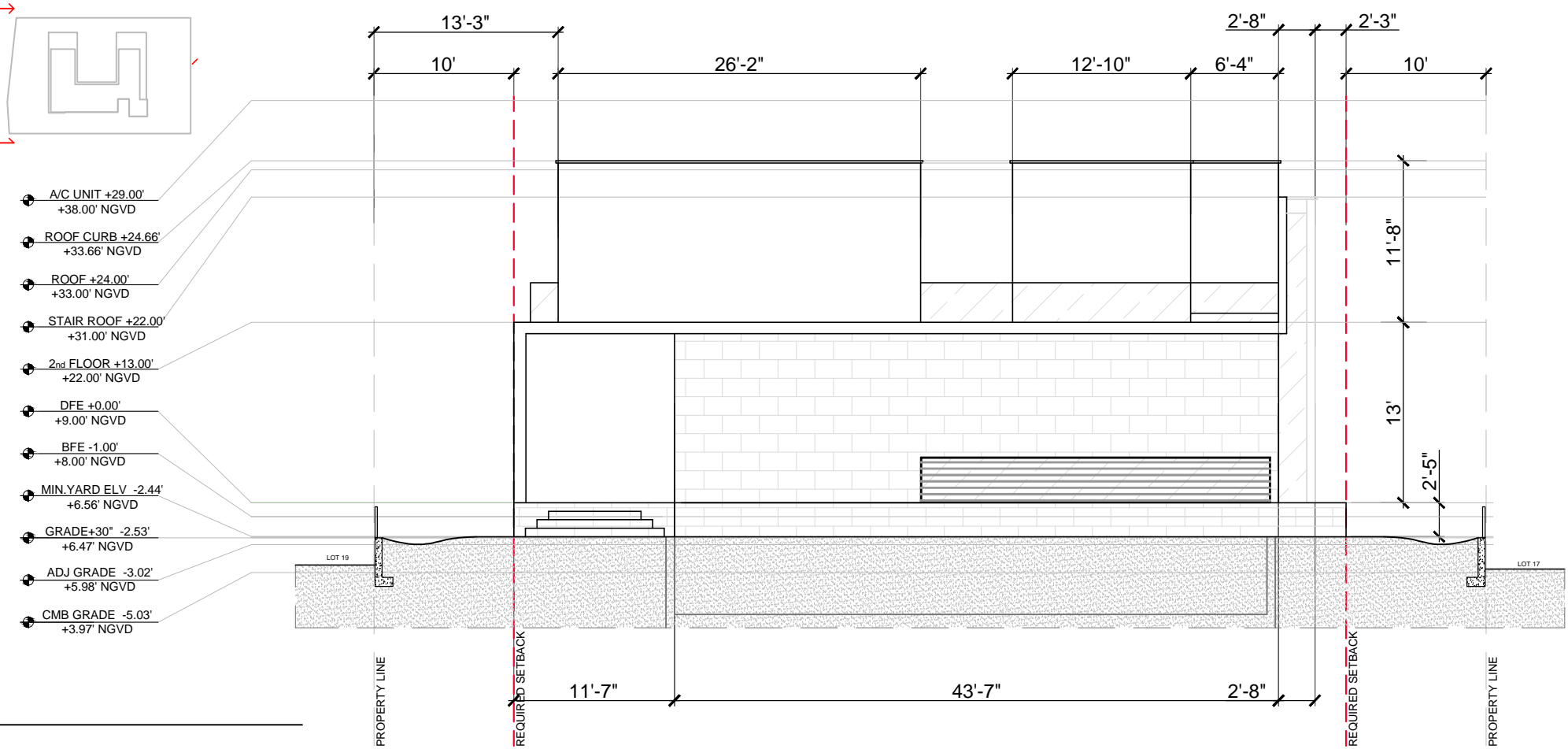
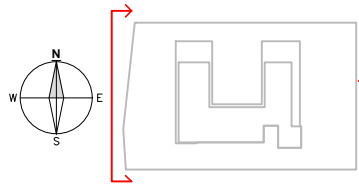
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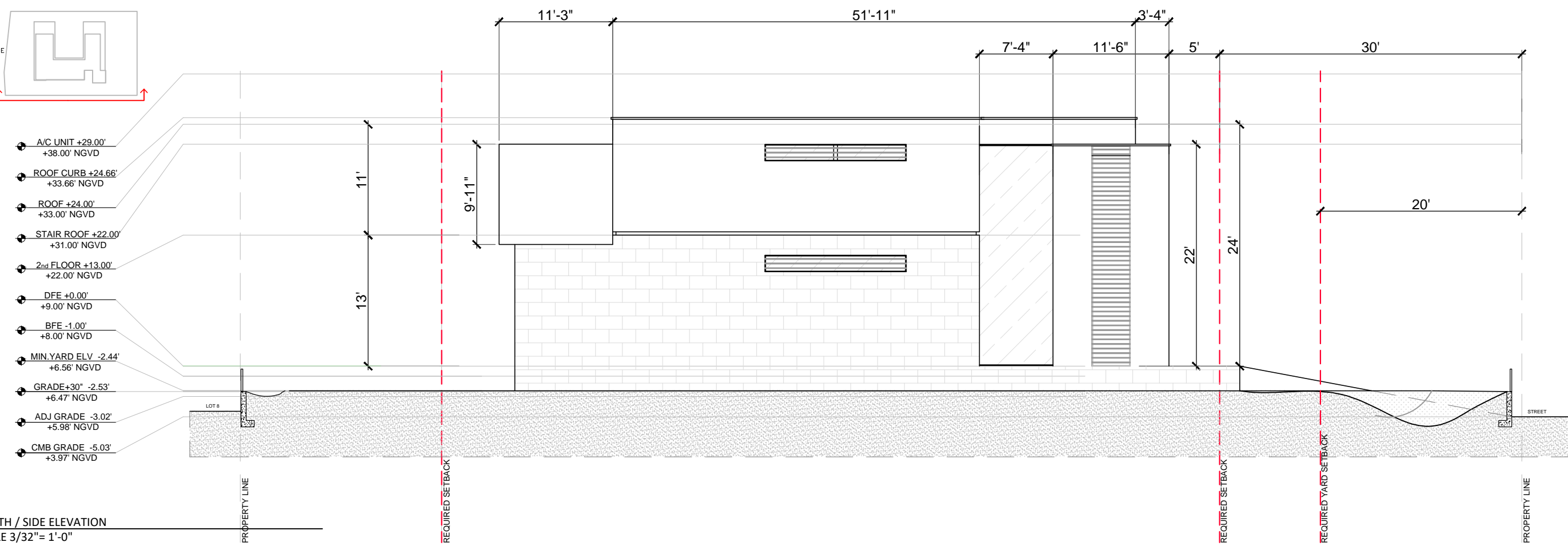
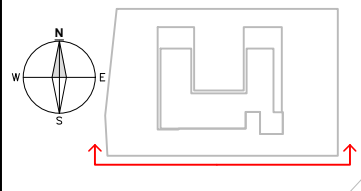
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EXTERIOR ELEVATIONS

DRB 3.0



1. WEST/REAR ELEVATION
SCALE 3/32" = 1'-0"



2. SOUTH / SIDE ELEVATION
SCALE 3/32" = 1'-0"

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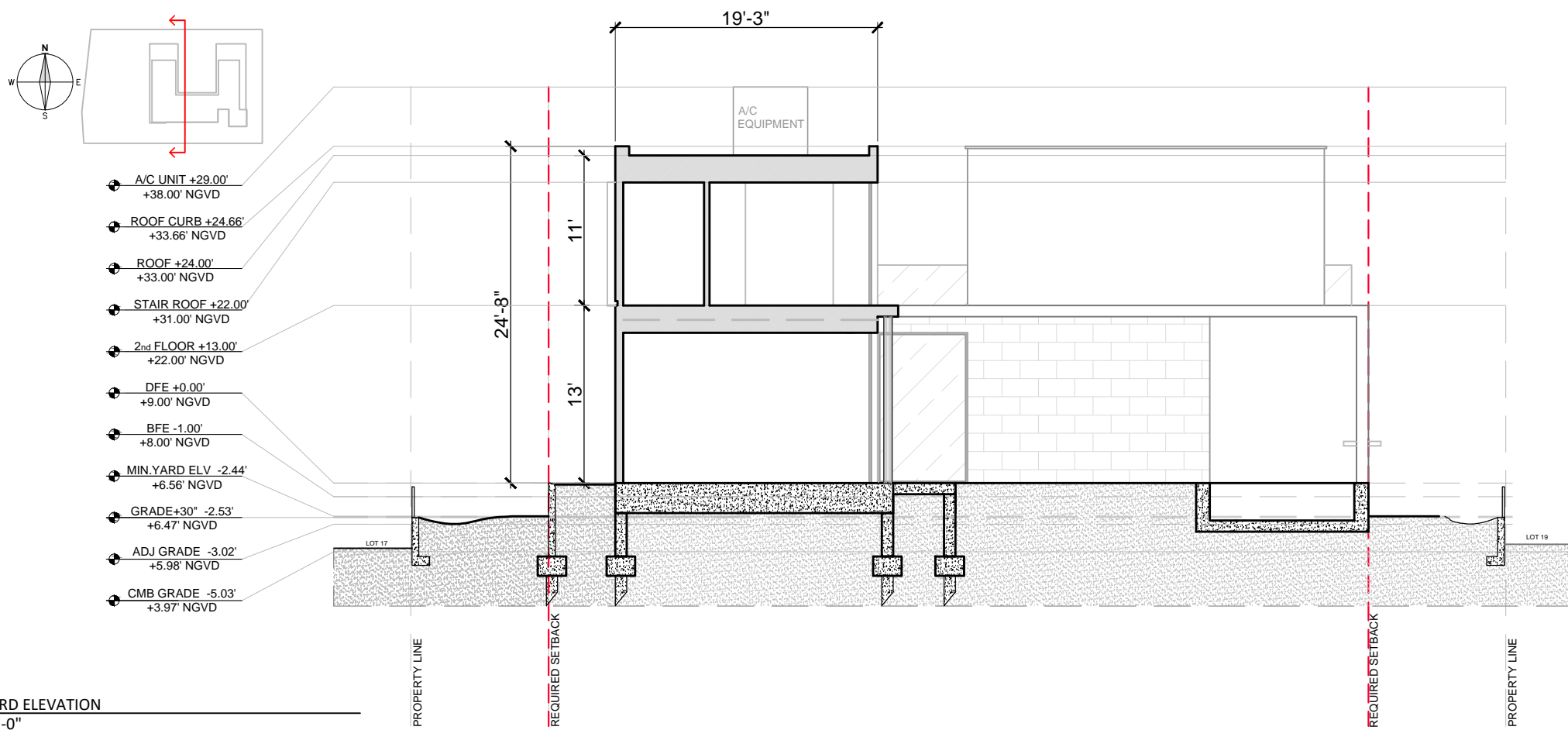
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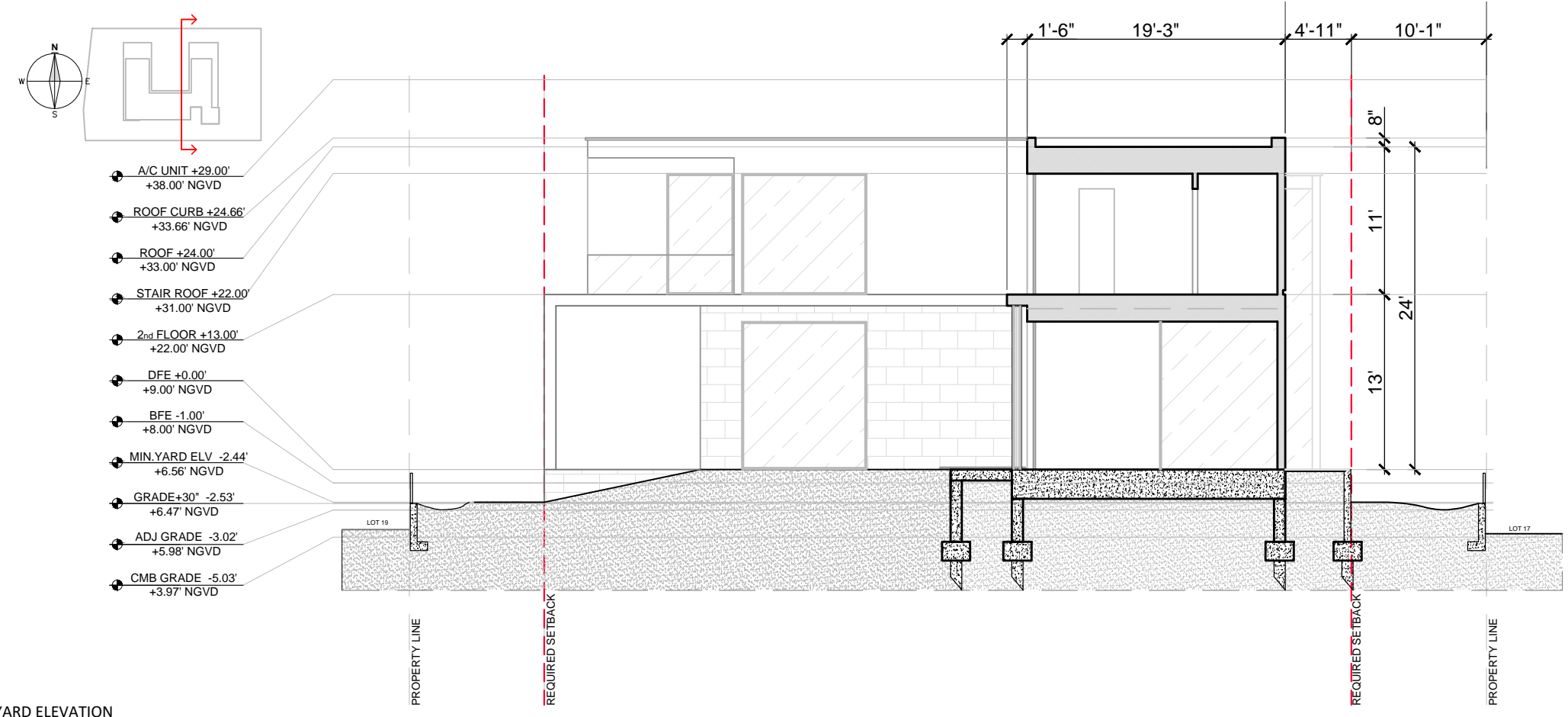
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EXTERIOR
ELEVATIONS

DRB 3.1



1. EAST/COURTYARD ELEVATION
SCALE 3/32"= 1'-0"



2. WEST / COURTYARD ELEVATION
SCALE 3/32"= 1'-0"

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SEAL

JOHN SACCO AR0004952

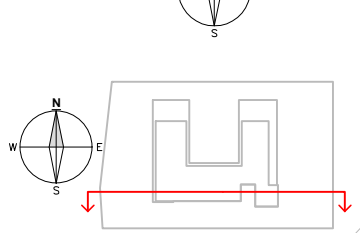
New Single Family Home
4354 N MICHIGAN AVE
MIAMI BEACH, FL 33140

FINAL SUBMITTAL
DATE: 08/10/2020

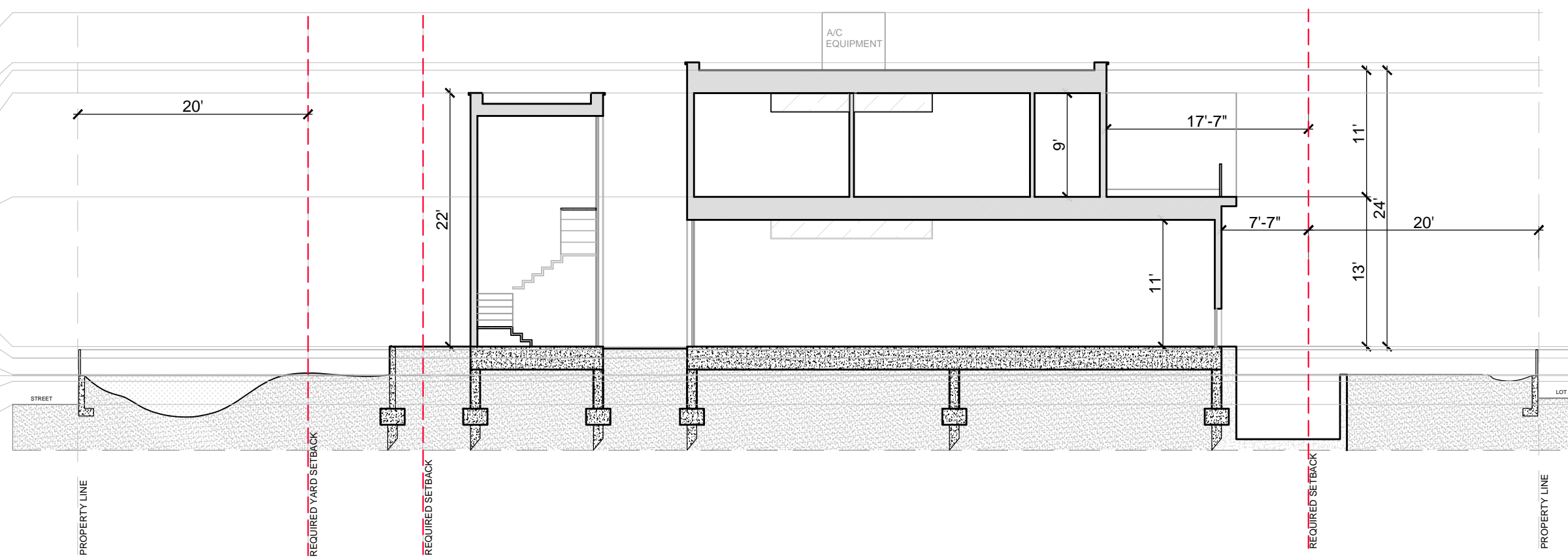
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COURTYARD
ELEVATIONS

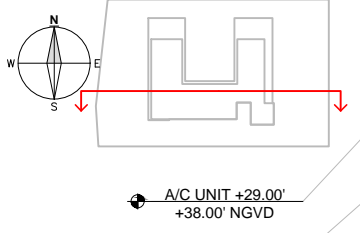
DRB 3.2



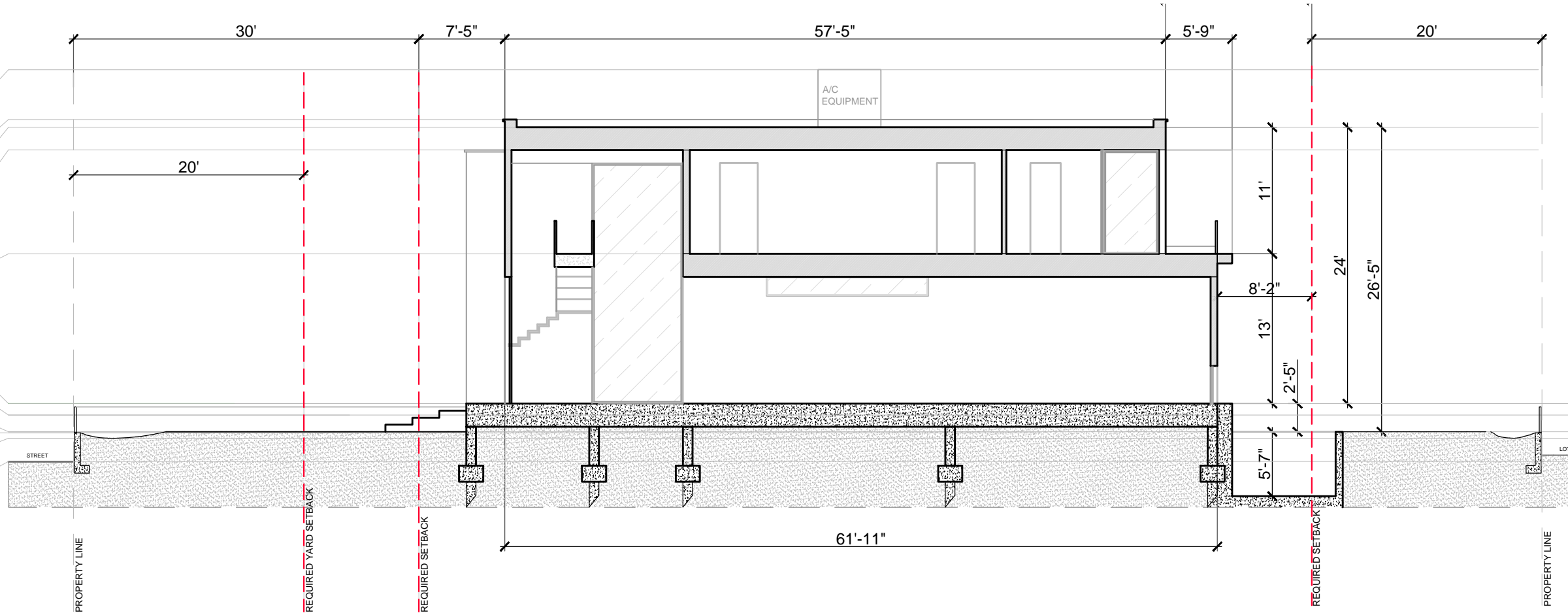
- A/C UNIT +29.00'
+38.00' NGVD
- ROOF CURB +24.66'
+33.66' NGVD
- ROOF +24.00'
+33.00' NGVD
- STAIR ROOF +22.00'
+31.00' NGVD
- 2nd FLOOR +13.00'
+22.00' NGVD
- DFE +0.00'
+9.00' NGVD
- BFE -1.00'
+8.00' NGVD
- MIN. YARD ELV -2.44'
+6.56' NGVD
- GRADE+30" -2.53'
+6.47' NGVD
- ADJ GRADE -3.02'
+5.98' NGVD
- CMB GRADE -5.03'
+3.97' NGVD



1. EAST WEST SECTION
SCALE 3/32" = 1'-0"



- A/C UNIT +29.00'
+38.00' NGVD
- ROOF CURB +24.66'
+33.66' NGVD
- ROOF +24.00'
+33.00' NGVD
- STAIR ROOF +22.00'
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+5.98' NGVD
- CMB GRADE -5.03'
+3.97' NGVD



2. EAST WEST SECTION
SCALE 3/32" = 1'-0"

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RC
SEAL

JOHN SACCO AR0004952

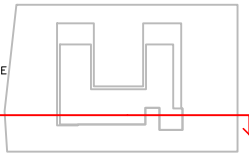
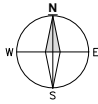
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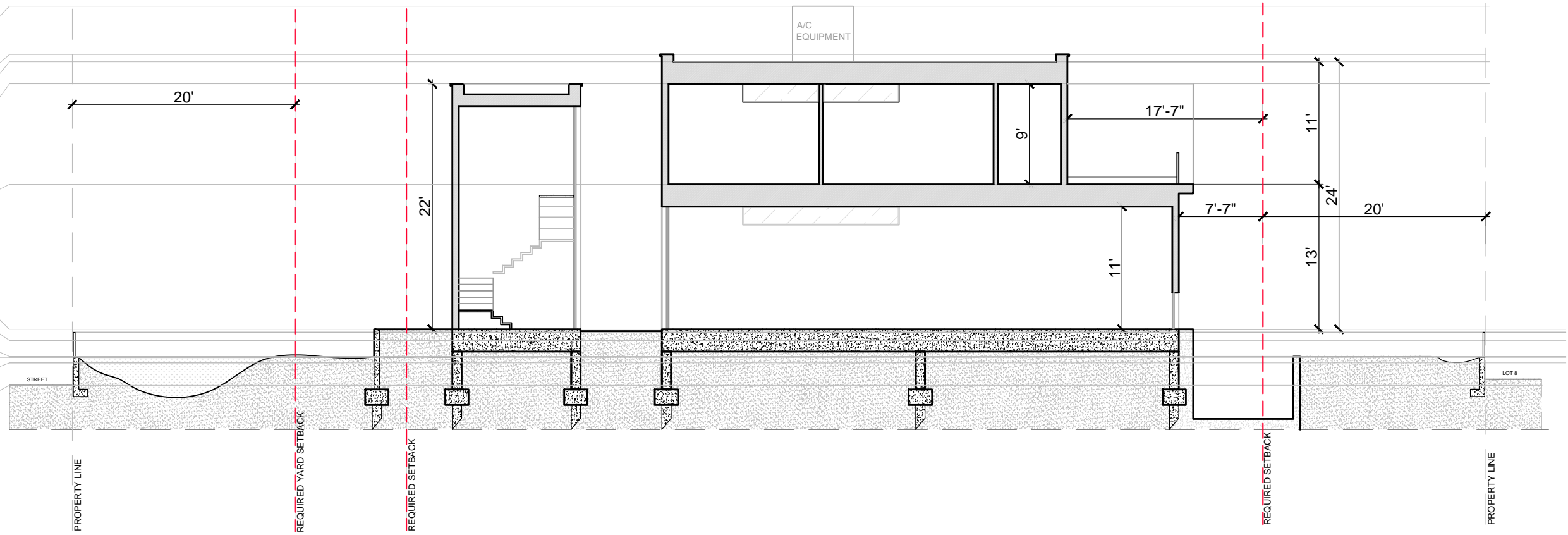
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TRANSVERSAL
SECTIONS

DRB 3.3



- A/C UNIT +29.00'
+38.00' NGVD
- ROOF CURB +24.66'
+33.66' NGVD
- ROOF +24.00'
+33.00' NGVD
- STAIR ROOF +22.00'
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SCALE 3/32" = 1'-0"

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TRANSVERSAL
SECTIONS

DRB 3.4

FRONT NORTH
CORNER RENDERING



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FRONT NORTH
CORNER RENDERING

DRB 4.0

SOUTH CORNER
FRONT
RENDERING



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SOUTH CORNER
FRONT
RENDERING

DRB 4.1

COURTYARD
RENDERING



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COURTYARD
RENDERING

DRB 4.2

WEST REAR
RENDERING



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WEST REAR
RENDERING

DRB 4.3

SOUTH SIDE
RENDERING



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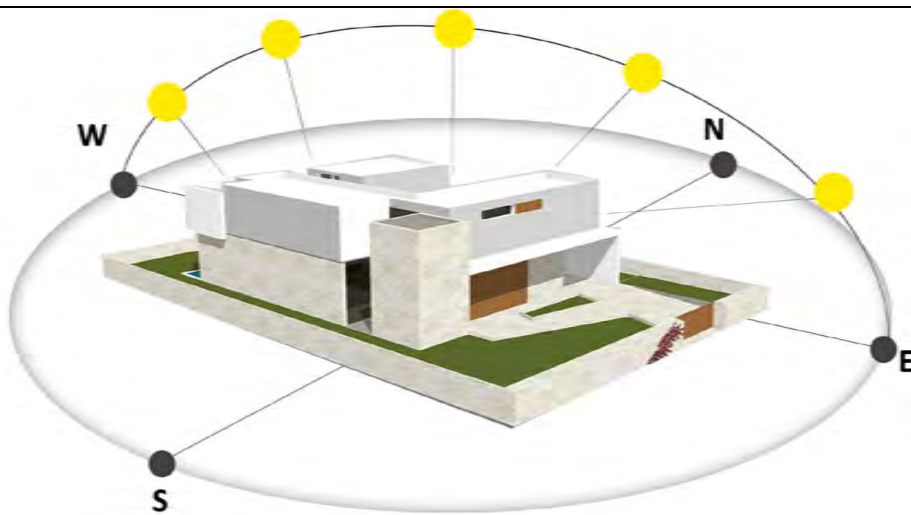
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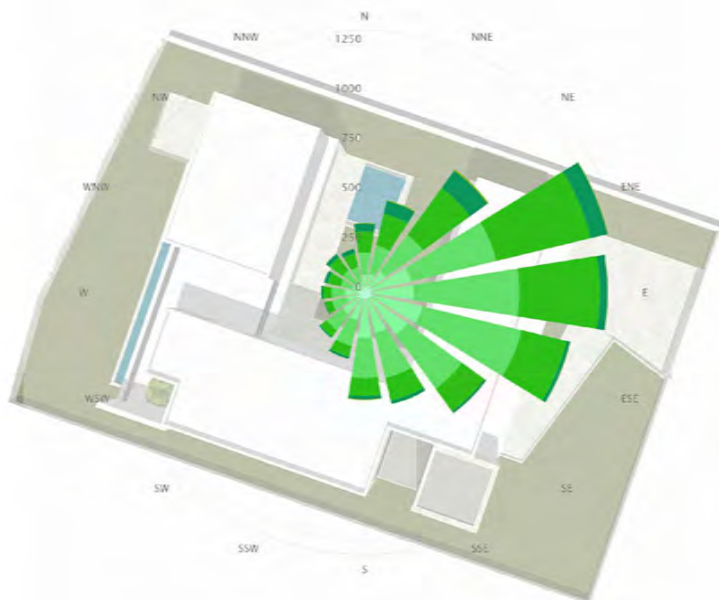
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SOUTH SIDE
RENDERING

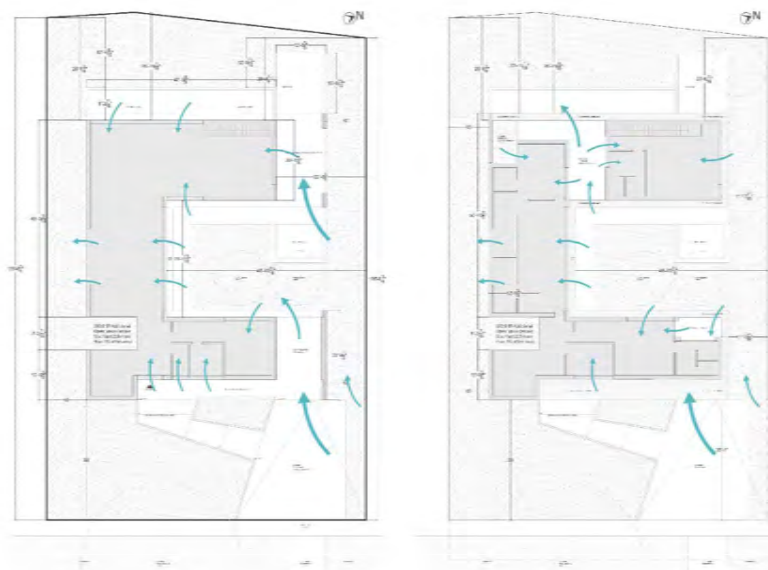
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1. SUN PATH OVER
4354 N MICHIGAN AVE



2. WIND ROSE OVER
4354 N MICHIGAN AVE



3. CROSS VENTILATION
DIAGRAM

The term “**passive design**” (or bioclimatic building or green architecture) refers to a building whose architectural features are such that they take advantage of local climatic resources to provide an indoor environment which is as comfortable as possible, thus reducing energy consumption due to the need for mechanical heating or cooling. In passive architecture the means that the architect can use for creating a thermally and visually comfortable indoor environment are: solar radiation, wind, orientation and shape of the building, thermal mass of walls and roof, thermal transmittance and color, opening size and type of glazing.

SHAPE

The capability of a building to store or release heat is related to its volume, to its mass and shape, since losses or gains take place through its surfaces. Thus, the ratio of surface to volume determines the heating rate during the day and the cooling rate during the night: in hot-humid zones like Miami Beach, where the daily temperature swing is small and relative humidity is high, the shape should be as open as possible in order to allow natural ventilation. At the same time, however, sun protection is essential, and all possible measures should be taken to provide it. In hot-humid climates, the building's depth should be limited in order to promote air circulation, and the rooms should be arranged in a row and provided with large openings on the opposite exterior walls. The best solution that takes in consideration all specific elements and environmental aspects of this Miami Beach project, including orientation, shape, natural ventilation, shades, distribution of interior spaces and a well-designed outdoor space is the **courtyard**. The choice of the courtyard is not only about the use of the outdoor space for its livable square footage, but it is mostly about its function as thermal regulator: in a courtyard a pool of cool night air can be retained, as it is heavier than the surrounding warm air; if the courtyard is small, as in the proposed project, with a width not greater than height, breezes will leave such pools of cool air undisturbed, cooling the surfaces of the envelope and working as resource of cool air for natural indoor ventilation.

ORIENTATION

Building orientation in tropical climates is extremely critical, and the basic rule is minimizing façades facing east and west and take into account local prevailing winds, because of their connection with natural ventilation. The best orientation of a building with respect to the sun is common to all tropical climates, because they spread over a small range of latitudes around the equator (from about + 5° N to - 10° S): in this range the solar path is such that a significant amount of solar energy can fall on east and west-facing façades, where solar protection is difficult.

Therefore the most suitable building orientation and shape is that which is elongated along the east-west axis, in order to maximize the north and south-facing façades, which are easy to protect with small overhangs, and minimize the east and west-facing ones, which are difficult to protect, thus reducing heat gains to a minimum. Thus the choice of locating most opening facing North, providing reflected light and avoiding direct radiations.

While most of the surrounding houses at 4354 N Michigan Ave are oriented and shaped based on lot shape and way of passage, we want to promote a conscious design - that integrates with the neighborhood architecture and massing *while* taking advantage of the natural environment and climate factors, to promote a new generation of housing development.

Shape and orientation of the building are essential and inseparable factors in sustainable architecture.

NATURAL VENTILATION

Intricately linked to the shape of the building is the distribution of the interior spaces. Layout and spacing are especially important, determining dimensions, proportions, and the relationship between inside and outside, and then, thermal flow, ventilation, daylight and view: looking at 4354 Michigan Ave proposed project, the U shape of the building and the slim body of each space, allow each rooms to have operable openings on opposite sides, which makes cross ventilation possible. With the open air car space and the summer bar - because that area is covered but open on two consequent directions- the main East wind creates a Venturi effect, with amplification of breezes through the space, which, will cool down the overheated East and West facades and if the doors to the kitchen and dining room are open, will draw air from the former through the latter.

The pressure on the East facades originated by strong winds blowing from East, as shown in the Wind Rose over the project, generates anti-pressure on the West facades: given the U shape of the building with north facing courtyard, the shades and the mix of local winds, create a pool of cool air, that favor the cooling of the envelope and the use of open spaces by the user.

Also the volume is scattered in more compact elements that favor the natural flow and circulation of air.

DAYLIGHT

Taking advantage of daylight is essential for sustainable architecture in any climatic conditions, in order to provide visual comfort, reduce the amount of conventional energy used and, at the same time, to diminish thermal gains indoors caused by artificial lighting. The daylight factor expresses the ratio of the illumination level at a point indoors to the illumination outdoors on a horizontal plane, without obstructions. The daylight factor is regulated by set standards and its compliance with these depends on the dimension of the windows, the depth of the room, the shape, location and type of windows and shading devices, the obstruction provided by the context, and the color of the external and internal surfaces. In Miami Beach, since the sky (and not the ground) is the main source of glare, views from the interior spaces directly to the outdoors are suitable: openings should be positioned in such a way that the sky is not directly seen. Overhanging roofs or large verandas can be used for obstructing the direct view of the sky where needed on West, East and South windows. In the proposed project, every room has access to daylight and most of them are oriented to North: North-facing windows provide lighting that is consistent throughout the day, never too harsh or too dull because never direct. Also light-colored interior walls and finishing will be provided, to maximize the reflection of daylight through out each room.

SHADING

In a space, whether it is air-conditioned or not, the goal is to control direct solar radiation to ensure thermal comfort, light and minimization of energy consumption. The ideal sun-shading device will block solar radiation while allowing daylight and breeze to enter the window, and an external view. Horizontal overhangs located above the windows are very effective and should extend beyond the width of the window to shade it properly and where not possible an appropriate shading device must be provided: the choice on this projects are wood laminate louvers, the egg-crate type, which allows a minimum amount of light to be reflected through its surfaces, while blocking solar radiation at different angles.

BUILDING MATERIALS

Building materials play a significant role in sustainable architecture: the choice of materials is crucial from the perspective of both the thermal performance and the environmental impact of the building. While concrete foundations and concrete base are almost mandatory given the location of the project and the necessity to elevate from rising waters, the structure above base flood elevation will be less heavy and more sustainable: light gauge steel frame. Light gauge steel systems are a prefab product and in many ways are similar to wood stud framing but they provide distinct cost, safety, construction time, and environmental impact advantages. Light gauge steel structures are very strong, commonly rated for earthquakes and their ability to resist hurricane-strength winds with a minimum of material. The product is made from 75% recycled steel, it minimalizes onsite waste down to 1%, and is unaffected by pests or mold. The aesthetic result will be identical to a common concrete masonry house, but with a thickness of the wall system reduced to five-inch thick walls, including insulation, and a carbon foot print highly reduced.

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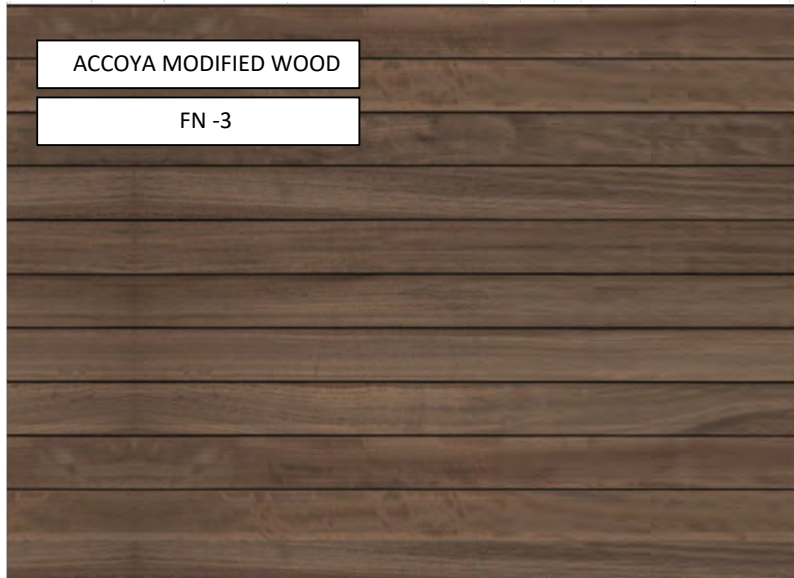
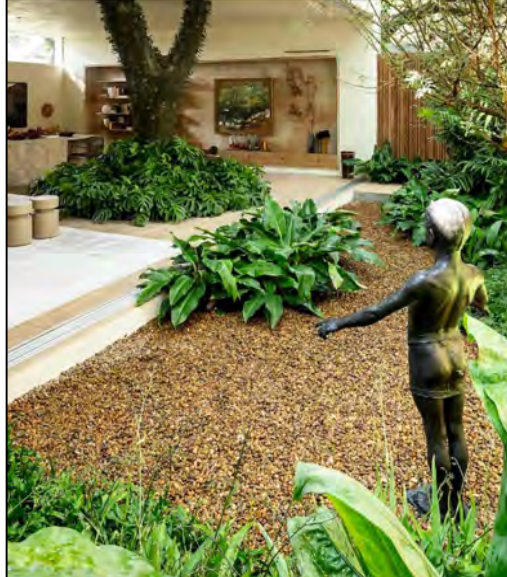
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PROJECT INTENT
AND SUSTAINABILITY

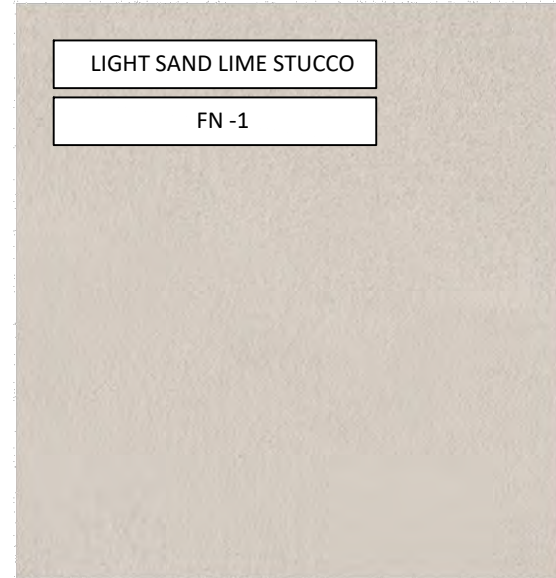
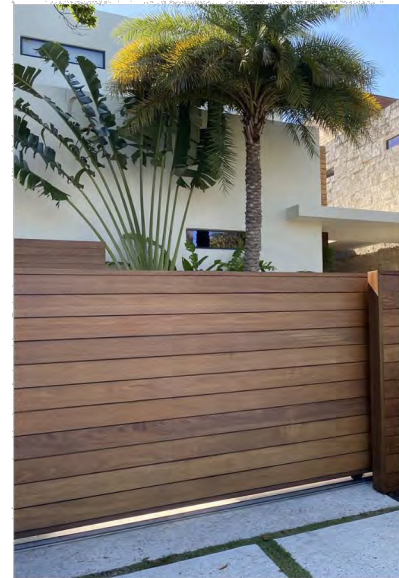
DRB 5.0



CORAL ROCK TILES
FN -4



ACCOYA MODIFIED WOOD
FN -3



LIGHT SAND LIME STUCCO
FN -1



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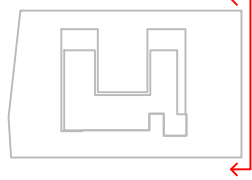
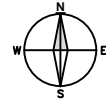
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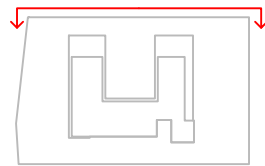
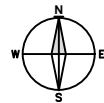
MATERIAL AND FINISH
MOOD BOARD

DRB 5.1



1. EAST ELEVATION WITH FINISH
SCALE N.T.S.

-  FN-1 SAND LIME STUCCO / PAINT
-  FN-1 WHITE LIME STUCCO / PAINT
-  FN-4 CORAL ROCK
-  ACOYA MODIFIED WOOD



2. NORTH ELEVATION WITH FINISH
SCALE N.T.S.

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ELEVATIONS WITH
FINISH

DRB 5.2



SEAL

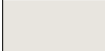

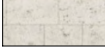
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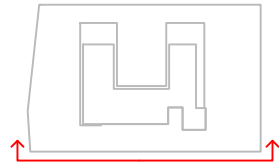
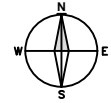
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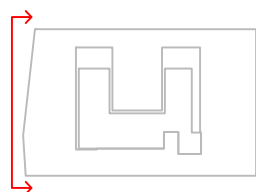
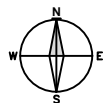
ELEVATIONS WITH
FINISH

DRB 5.3

-  FN-1 SAND LIME STUCCO / PAINT
-  FN-1 WHITE LIME STUCCO / PAINT
-  FN-4 CORAL ROCK
-  ACOYA MODIFIED WOOD



1. WEST ELEVATION WITH FINISH
SCALE NTS



2. SOUTH ELEVATION WITH FINISH
SCALE NTS

DESIGN WAIVER

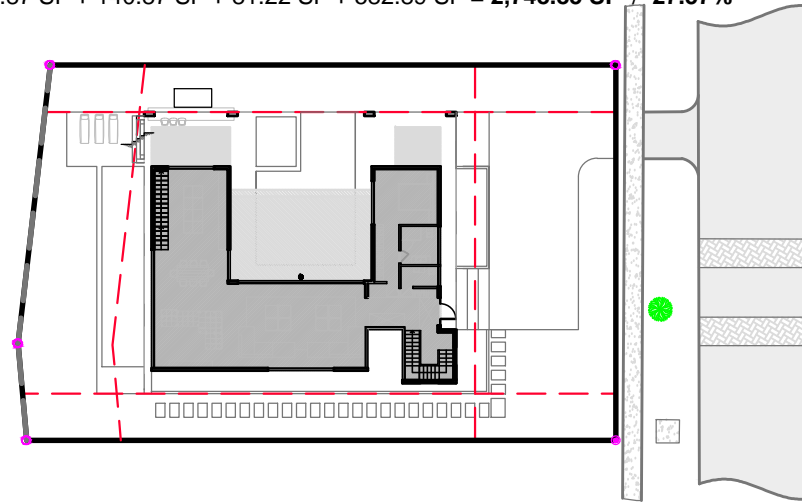
Second Floor Volume exceeding
70 % First Floor Volume

RATIO: 96.03 %

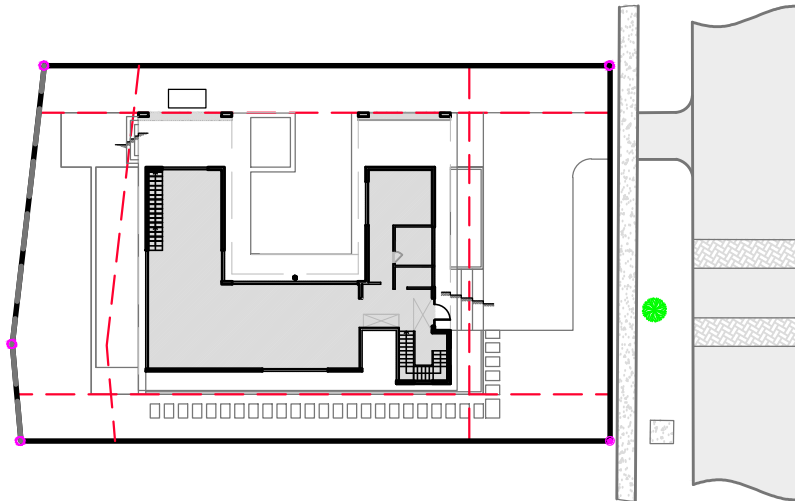
Seeking waiver per Section 142 -
105 (4) (c)

Lot Coverage Calculation without
the open space of the Courtyard
would be 21.72%: as per DRB 5.0,
the Courtyard is an excellent
architectural shape for
sustainability in hot-humid
climate, as it provides shades and
cool air for natural ventilation,
serving as thermal regulator.

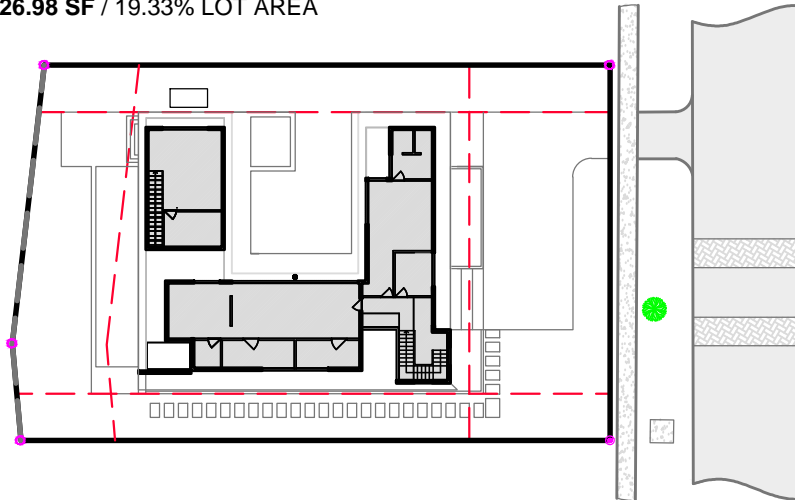
1. LOT COVERAGE CALCULATION PER DRB 1.0
1,943.87 SF + 140.87 SF + 81.22 SF + 582.89 SF = **2,748.85 SF / 27.57%**



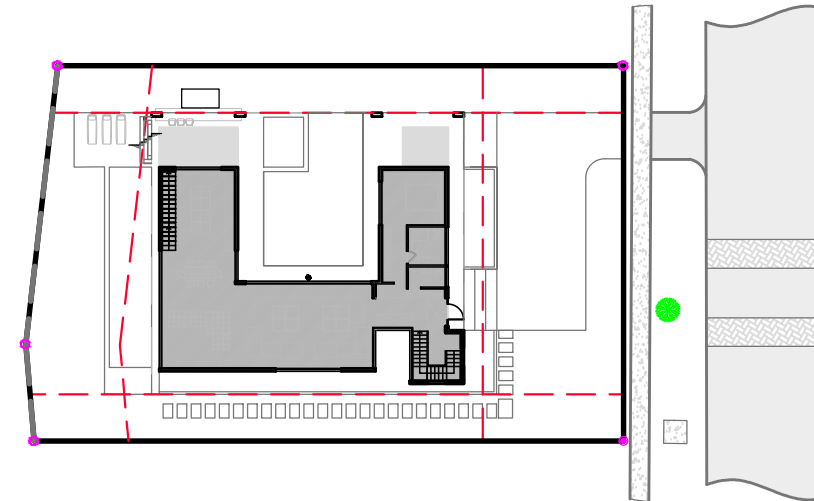
2. UNIT SIZE CALCULATION GROUND FLOOR PER DRB 1.2
RESIDENCE 1943.87 SF + LOGGIA#1 31.07 SF + LOGGIA#2 31.56 =
2,006.5 SF / 20.12% LOT AREA



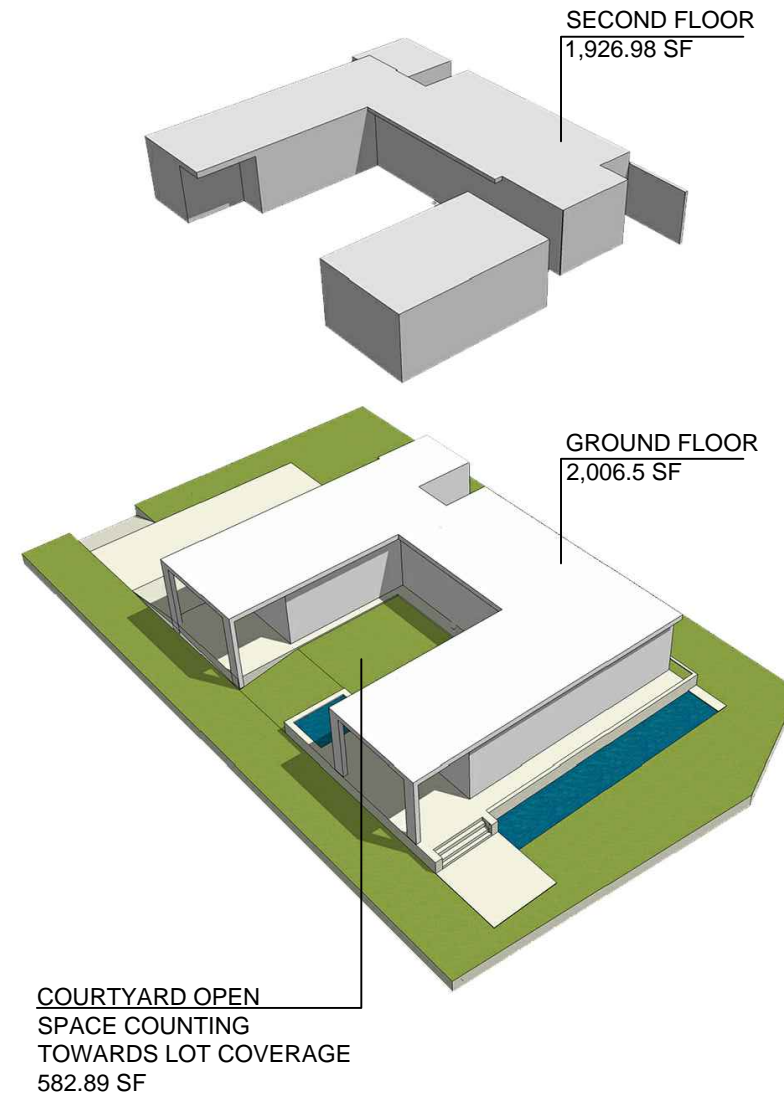
3. UNIT SIZE CALCULATION SECOND FLOOR PER DRB 1.3
RESIDENCE#1 1488.35 SF + RESIDENCE#2 438.63 SF =
1,926.98 SF / 19.33% LOT AREA



4. LOT COVERAGE CALCULATION WITHOUT OPEN SPACE OF COURTYARD
1,943.87 SF + 140.87 SF + 81.22 SF = **2,748.85 SF / 21.72%**



5. EXPLODED AXONOMETRIC DIAGRAM



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DESIGN

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OWNER
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LANDSCAPE ARCHITECT
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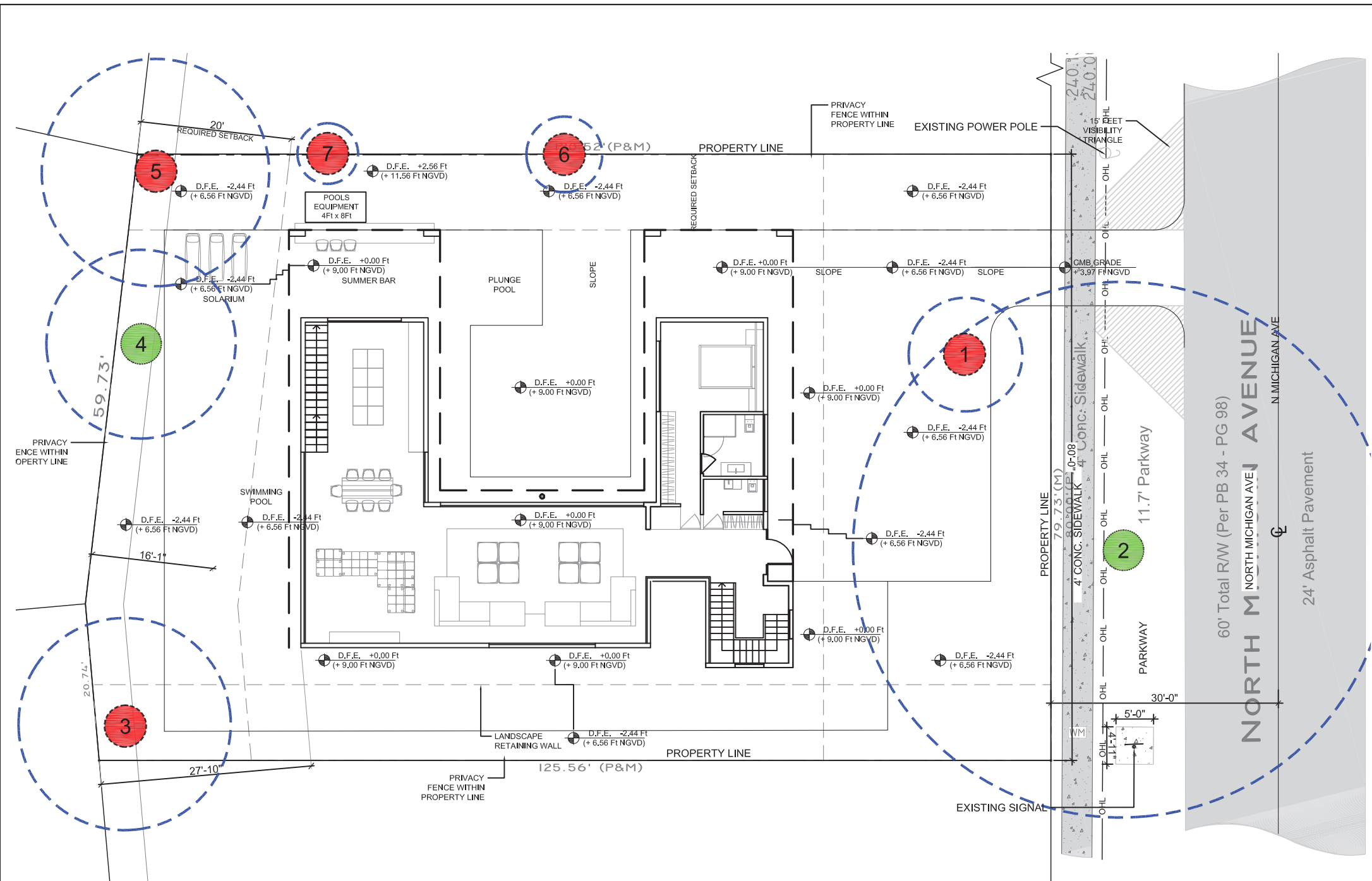
New Single Family Home
4354 N MICHIGAN AVE
MIAMI BEACH, FL 33140

FINAL SUBMITTAL
DATE: 08/10/2020

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DESIGN WAIVER

DRB 6.0



TREE MITIGATION CALCULATIONS

TOTAL PALMS REMOVED: 0
 TOTAL DBH INCHES REMOVED: 35.5

Required Mitigation Per Sec. 46-61
 (12) Trees - 12' Ht, 2" DBH, 6' Spread
 or
 (6) Trees - 16' Ht, 4" DBH, 8' Spread

Tree Species Diversity
(2) Required minimum number of species

Provided Mitigation:
 (3) Trees - 12' Ht, 2" DBH, 6' Spread
 and
 (5) Trees - 16' Ht, 4" DBH, 8' Spread

Mitigation shortfall of (0) (2") DBH, trees = (0) to be paid into the City of Miami Beach Tree Preservation Trust Fund.

SEE LANDSCAPE PLANS FOR EXACT SPECIES AND LOCATIONS

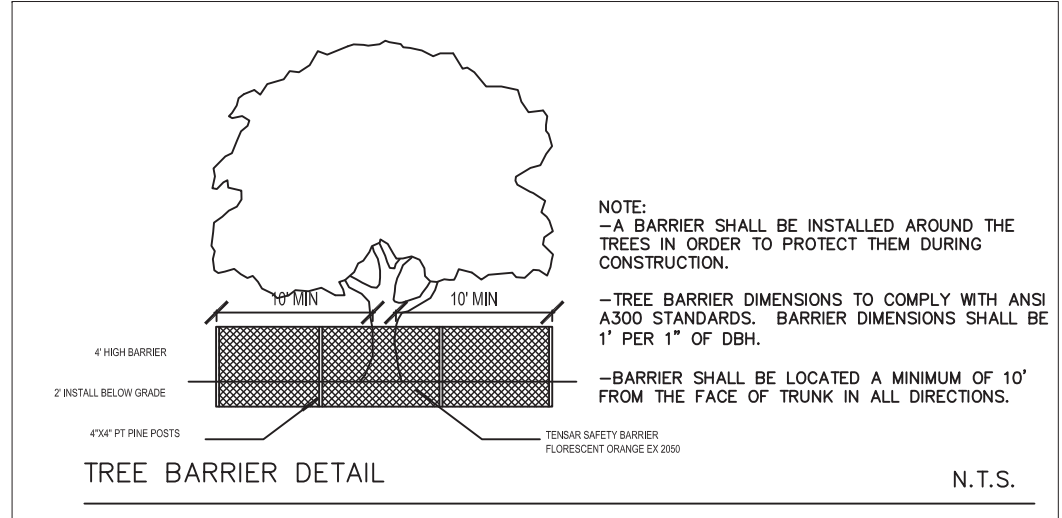
SYMBOL LEGEND

- TREE TO REMAIN
- TREE TO REMOVE
- TREE CANOPY - DIA.

TREE DISPOSITION LEGEND

Trees relocated:	0	Palms removed:	0	Total DBH on-site:	129.5
Trees removed (total):	5	Root pruning:	0	Total removed DBH:	75.5
Prohibited trees removed:	1	Tree Trimming:	0	Total calculated removed DBH:	35.5

Ref. #	Common Name	Scientific Name	DBH (in.)	Height (ft.)	Spread (ft.)	Condition	Status	Prohibited	Palm	Calc. DBH	Spreader	TPZ (ft.)	Plant value
1	Avocado	Persea americana	4.5	18	15	Fair	Remove			4.5			
2	Mahogany Tree	Swietenia mahagoni	38	40	70	Good	Remain				Y		\$28,000
3	Brazilian Pepper	Schinus molle	38	25	28	Fair	Remove	Y					
4	Royal Poinciana	Delonix regia	15	30	25	Good	Remain						
5	Strangler Fig	Ficus aurea	28	33	30	Fair	Remove			28	Y		
6	Royal Poinciana	Delonix regia	3	15	10	Fair	Remove			3			
7	Solitaire Palm	Pythosparma elegans	3	12	8	Good	Remove	Y					



NOTE:
 -A BARRIER SHALL BE INSTALLED AROUND THE TREES IN ORDER TO PROTECT THEM DURING CONSTRUCTION.
 -TREE BARRIER DIMENSIONS TO COMPLY WITH ANSI A300 STANDARDS. BARRIER DIMENSIONS SHALL BE 1' PER 1" OF DBH.
 -BARRIER SHALL BE LOCATED A MINIMUM OF 10' FROM THE FACE OF TRUNK IN ALL DIRECTIONS.

1. TREE DISPOSITION PLAN
 SCALE 1/16" = 1'-0"

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Digitally signed by Diego Vanderbiest
 Date: 2020.08.09 14:14:42 -04'00'

DIGEO J. VANDERBIEST
 RLA #6667355

RC
 JOHN SACCO AR0004952

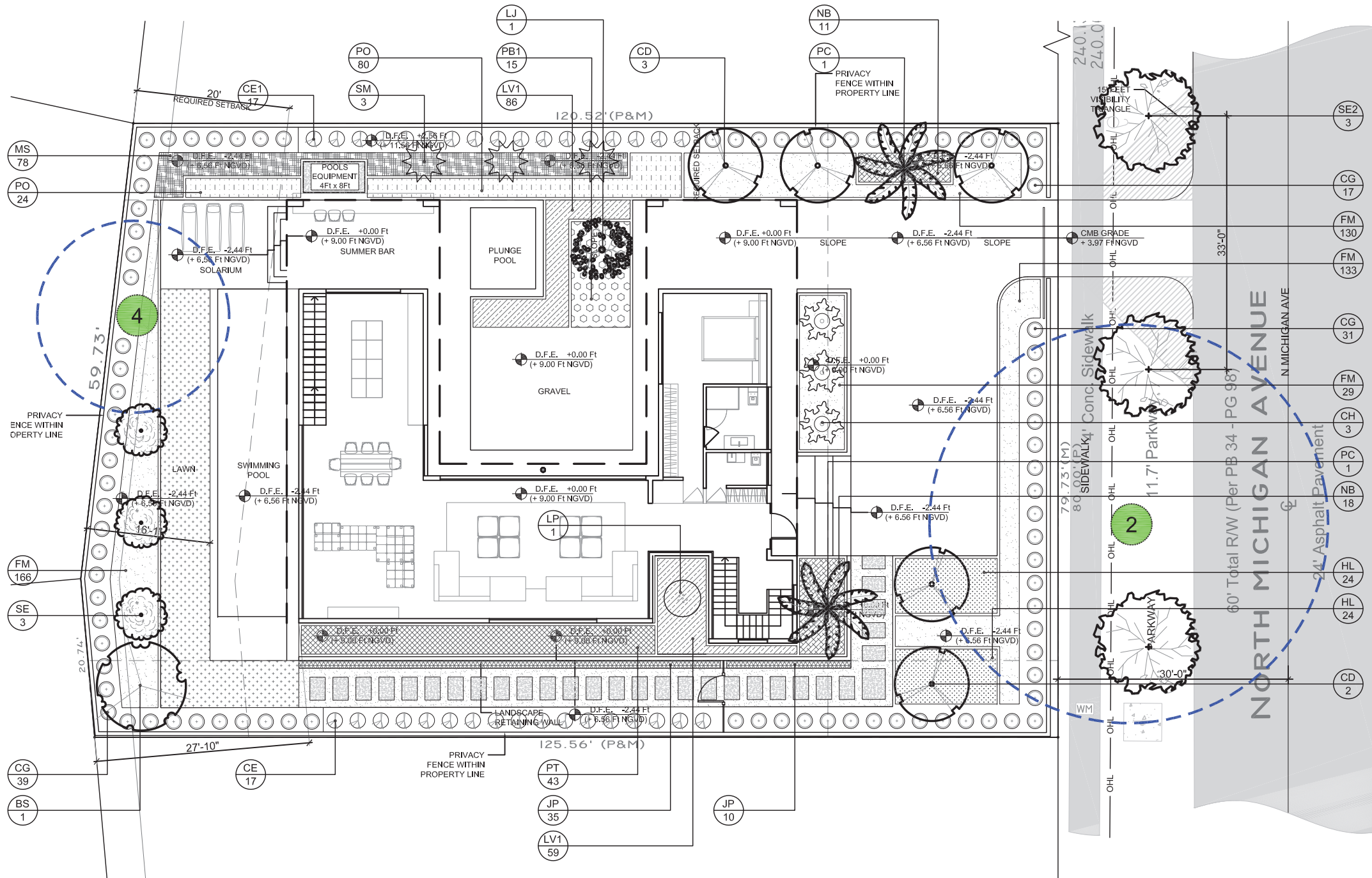
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TREE
 DISPOSITION PLAN

DRB L.1



LANDSCAPE SCHEDULE

TREES					
SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION	NATIVE	WATER NEEDS
CE1	3	*Coccoloba diversiflora GREEN BUTTWOOD	12' HT. X 6" SPR. 2.5" DBH. F.G.	Y	LOW
CD	5	Coccoloba diversiflora PIGEON PLUM	16' HT. X 6" SPR. 4" DBH. F.G.	Y	LOW
PC	2	Phoenix canariensis CANARY ISLAND DATE PALM	10' C.T. F.G.	N	LOW
SE	3	*Coccoloba diversiflora SILVER BUTTWOOD	12' HT. X 6" SPR. 2.5" DBH. F.G.	Y	LOW
RS	1	*Bumelia sinuata JUMBO LIMBO	18' HT. X 6" SPR. 4" DBH. F.G.	Y	LOW
WM	1	Liquidambar japonicum JAPANESE PRIVET	12' HT. X 6" SPR. MULTI TRUNK F.G.	N	MEDIUM

SHRUBS					
SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION	NATIVE	WATER NEEDS
CE1	34	*Coccoloba diversiflora GREEN BUTTWOOD	36" HT. X 24" SPR. / 36" O.C. 7 GAL.	Y	LOW
CG	87	*Clusia guineensis SMALL LEAF CLUSIA	36" HT. X 24" SPR. / 36" O.C. 7 GAL.	Y	MEDIUM
PT	43	Platanus sp. 'Little Leaf' CHINESE CHEESEWOOD	18" HT. X 18" SPR. / 24" O.C. 3 GAL.	N	MEDIUM
SM	3	Sabal minor DWARF BLUE-STEM PALMETTO	24" HT. X 18" SPR. 7 GAL.	Y	LOW
LP	1	Cyrtocarpus rotundifolia LIPSTICK PALM	7" HT. DIA HEIGHT 15 GAL.	N	MEDIUM

GROUND COVERS					
SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION	NATIVE	WATER NEEDS
FM	458	Ficus microcarpa 'Green Island' GREEN ISLAND FIGUS	15" HT. X 15" SPR. / 15" O.C. 3 GAL.	N	LOW
NB	29	Machonia sp. MACHO FERN	24" HT. X 18" SPR. / 24" O.C. 3 GAL. FULL	Y	MEDIUM
PO	104	Peperomia obtusifolia BABY RUBBER PLANT	12" HT. X 15" SPR. / 15" O.C. 1 GAL. FULL	N	LOW
LV1	145	Liriodendron 'Evergreen Giant' EVERGREEN GIANT LIRIOPE	12" HT. X 12" SPR. / 15" O.C. 1 GAL.	N	MEDIUM
JP	45	Judicium chinensis 'Blue Rug' JUNPER GROUND COVER	18" HT. X 18" SPR. / 18" O.C. 3 GAL.	Y	LOW
CH	3	Chamaecyparis humilis EUROPEAN FAN PALM	3" O.A. HT. 7 GAL. FULL	Y	LOW
PB1	15	Philodendron 'Berkley' BURLE MARX PHILLODENDRON	24" HT. X 24" SPR. / 36" O.C. 3 GAL.	N	MEDIUM
MS	78	Microsorium scolopendrium WART FERN	12" HT. X 12" SPR. / 15" O.C. 1 GAL.	N	LOW
HL	48	*Hymenocallis latifolia SPIDER LILY	15" HT. X 12" SPR. / 18" O.C. 3 GAL. FULL	Y	LOW
LAWN	423 SF	Stenotaphrum secundatum 'Floratam' ST. AUGUSTINE GRASS	SOLID EVEN SOD		LOW

LANDSCAPE LEGEND

ZONE DISTRICT: RS-4 - CAT 1: Single Family Home and Townhome
 LOT AREA: 9,720 sf OPEN SPACE: 4,860 sf

	REQ.	PROV.
A) Minimum Number Of Required Trees Per Lot, 2 Front Lot - 3 Back Yard	5	5
B) Minimum Number Of Required Street Trees, Maximum average spacing of 20 feet on center	4	4
C) Additional Lot Trees Sec. 126-6 (4) (1 Additional Tree For Each 1,000 sf Above 6,000 sf)	4	4
D) Number of Existing Trees Existing trees required by law to be preserved on site and that meet the requirements of minimum tree size may be counted toward fulfilling the minimum tree requirements	3	3
TOTAL NUMBER OF TREES	10	10
E) Shrubs Required The Minimum Number Shall Be 12 Shrubs Per The Number Of Required Lot And Street Trees	120	172
F) Large Shrubs Required Large shrubs shall be 10% of the required number of shrubs for the specific project	12	73
G) Maximum permitted lawn grass/sod areas = 50%	2,430 sf	620 sf

- Palms shall not count towards the minimum number of required trees
 - No less than 30% of the required trees shall be native species
 - No less than 50% of the required trees shall be low maintenance or drought and salt tolerant species

SYMBOL LEGEND

- # TREE TO REMAIN
- # TREE TO REMOVE
- TREE CANOPY - DIA.

1. PROPOSED LANDSCAPE PLAN
SCALE 1/16" = 1'-0"

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PROPOSED
LANDSCAPE PLAN

DRB L.2



Conocarpus erectus 'Sericeus'
Silver Buttonwood



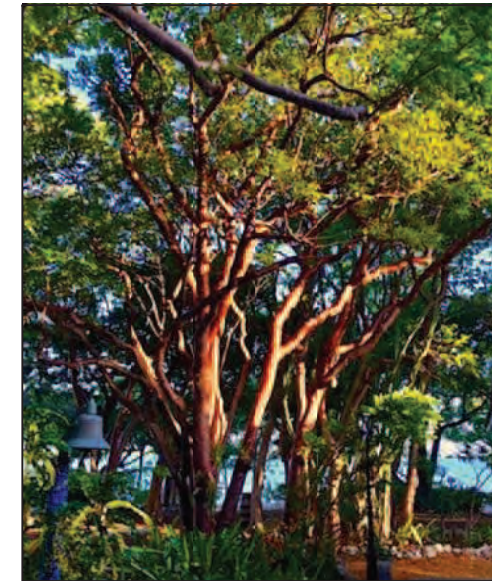
Coccoloba diversifolia
Pigeon Plum



Phoenix canariensis
Canary Island Date Palm



Ligustrum japonicum
Japanese Privet



Bursera simaruba
Gumbo Limbo



Cyrtostachys renda
Lipstick Palm



Pittosporum tobira
Japanese Cheesewood



Sabal minor
Dwarf Blue-stem Palmetto



Clusia guttifera
Small Leaf Clusia



Nephrolepis biserrata 'Macho'
Macho Fern



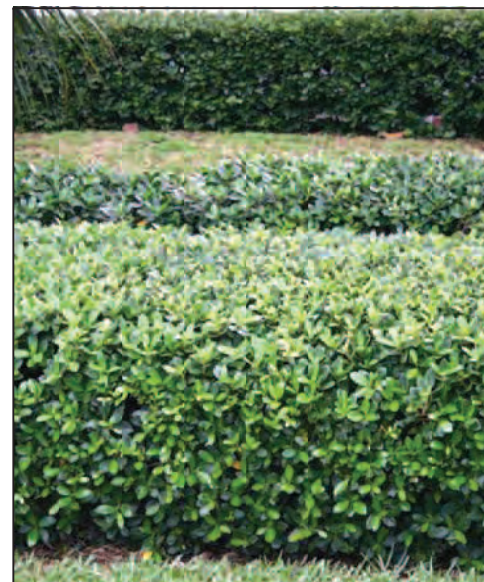
Juniperus chinensis 'Blue Rug'
Chinese Juniper



Hymenocallis latifolia
Spider Lily



Liriope muscari
Lyliturf



Ficus microcarpa 'Green Island'
Ficus 'Green Island'



Philodendron 'Burler Marx'
Burler Marx Philodendron

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DESIGN

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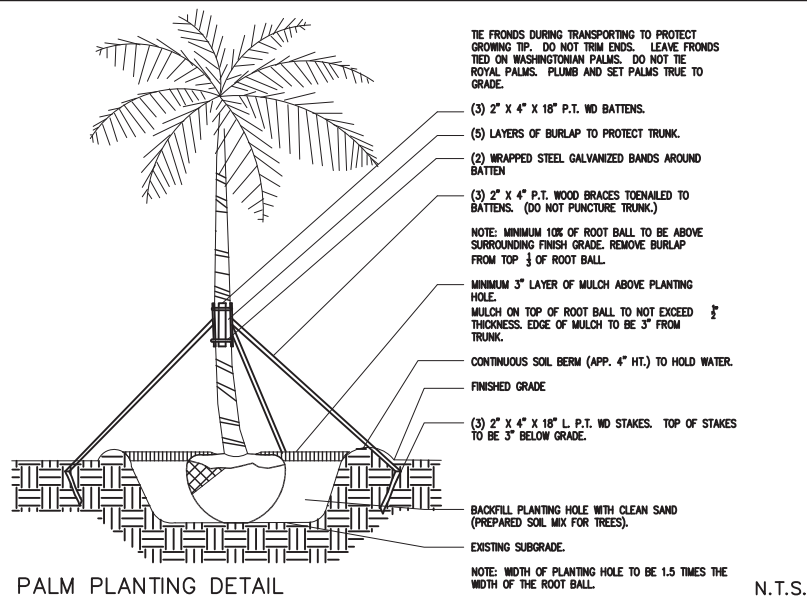
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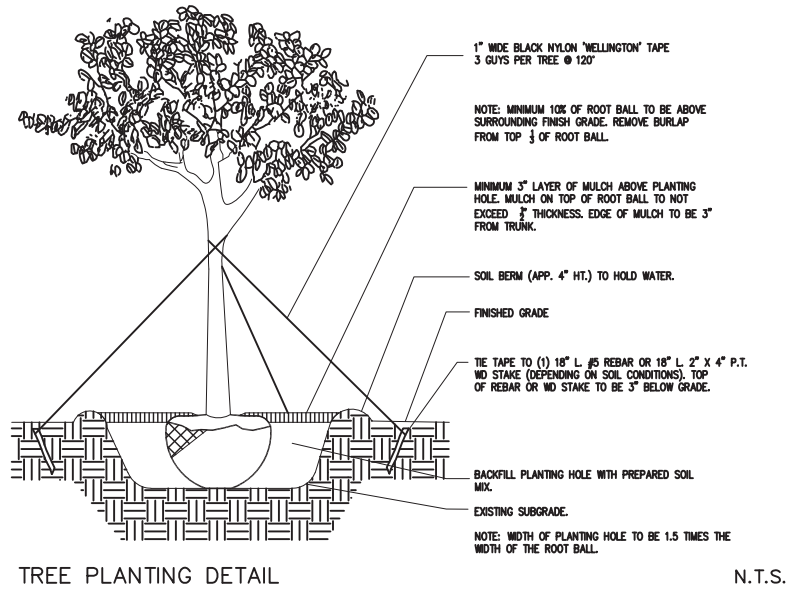
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PLANT BOARD

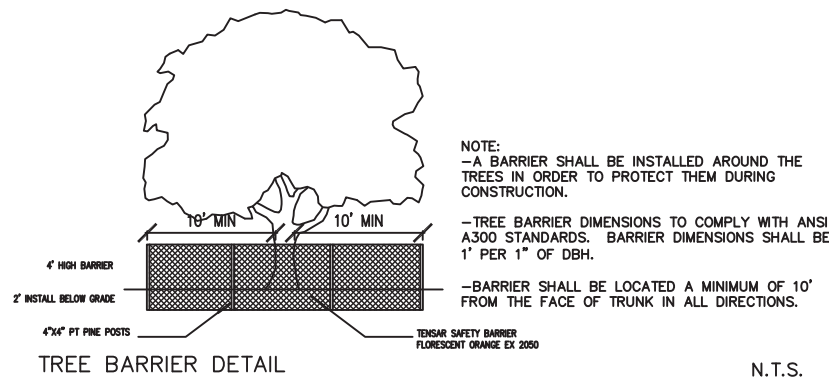
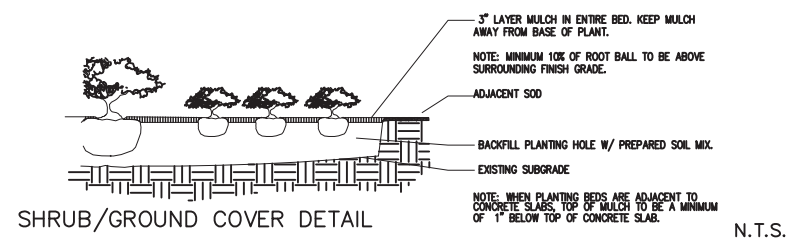
DRB L.3



LARGE TREE PLANTING DETAIL SIMILAR



TREES WITH 3" CALIPER OR LESS



PLANT NOTES

1. ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS; PARTS I AND II, 2ND EDITION: FEBRUARY 1998, RESPECTIVELY.
2. ALL PLANTING BEDS TO BE TOPPED WITH 3" MULCH EXCLUDING TOP OF ROOT BALL (SEE PALM/ TREE PLANTING DETAIL).
3. ALL TREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER, NO NAIL STAKING IN TRUNKS PERMITTED.
4. LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
5. ALL SOD SHALL BE ZOYSIA JAPONICA SOLID SOD, (UNLESS OTHERWISE NOTED) AND LAID WITH ALTERNATING AND ABUTTING JOINTS.
6. ALL PLANTING BEDS TO BE WEED AND GRASS FREE.
7. LANDSCAPE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND PREPARE OWN QUANTITY COUNTS (PRIOR TO BID COST AND COMPARE TO ARCHITECT'S PLANT LIST). LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ATTAINING ACCURATE COUNT OF PLANT MATERIALS SPECIFIED. IN THE EVENT OF DISCREPANCIES, LANDSCAPE CONTRACTORS SHALL BRING TO THE ATTENTION OF LANDSCAPE ARCHITECT. PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST.
8. LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
9. NO CHANGES SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
10. ALL PLANTED AREAS TO RECEIVE 100% COVERAGE BY AN AUTOMATIC IRRIGATION SYSTEM, WITH A MINIMUM OF 50% OVERLAP. RAIN SENSOR TO BE PROVIDED.

ROOT PRUNING SPECIFICATIONS

ALL TREES AND PALMS TO BE RELOCATED MUST BE WATERED DAILY FOR AT LEAST 2-3 DAYS PRIOR TO ANY ROOTS BEING CUT TO ENSURE THAT THEY ARE FULLY HYDRATED. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.

EACH TREE AND PALM MUST THEN BE WATERED EVERY OTHER DAY, NOT RELYING ON RAIN. DURING THE ENTIRE ROOT PRUNING PROCESS EITHER BY A TEMPORARY IRRIGATION SYSTEM OR BY HAND. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.

TREE AND PALM RELOCATION ACTIVITIES MUST BE SCHEDULED SO THAT REMOVAL AND REPLANTING TAKE PLACE IN THE SAME 24 HOUR PERIOD.

ALL DIGGING IN THE ROOT ZONE DURING THE ROOT PRUNE PROCESS MUST BE DONE BY HAND. PRUNING OF ROOTS MUST BE DONE BY HAND WITH CLEAN, SHARP TOOLS. MACHINERY COULD BE USED ON LARGER TREES AS LONG AS ROOTS ARE FINALIZED BY HAND PRUNING. DO NOT PAINT ROOTS WITH PAINT OR ANY KIND OF SEALANT.

MYCORRHIZA (ROOTS TRANSPLANT OR EQUIVALENT) MUST BE INCORPORATED INTO THE BACKFILL SOIL PRIOR TO BACKFILLING AS PER MANUFACTURERS RECOMMENDATIONS.

AFTER EACH ROOT PRUNE, EACH SECTION OF ROOTBALL THAT IS PRUNED MUST BE WRAPPED WITH A BLACK PLASTIC AND THE TRENCH BACKFILLED WITH ORIGINAL EXCAVATED SOIL. A TREE RING WITH A MINIMUM HEIGHT OF 6" MUST BE CONSTRUCTED 6-12" OUTSIDE THE OUTERMOST EDGE OF THE ROOTBALL AND AROUND THE ENTIRE PERIMETER OF THE ROOTBALL TO DIRECT IRRIGATION WATER AND ANY ADDED SUPPLEMENTS DOWN INTO THE ROOTBALL DURING ROOT REGENERATION.

ONCE THE TREE RING IS CONSTRUCTED AFTER EACH ROOT PRUNE, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE LIBERALLY APPLIED TO THE SURFACE OF THE ROOTBALL AND THOROUGHLY WATERED IN TO ENCOURAGE NEW ROOT GROWTH.

PRIOR TO ANY ROOTS BEING CUT, ALL MAJOR ROOTS MUST BE IDENTIFIED TO DETERMINE THE ROOTBALL DIAMETER BASED ON THE RELATIVE LOCATION AND SIZE OF THE ROOTS.

MINIMUM ROOTBALL DIAMETER CALCULATION BASED ON A FACTOR OF 10 OR ALLOWING A MINIMUM OF 9"-12" OF ROOTBALL FOR EVERY 1" OF CALIPER. WHENEVER POSSIBLE, ROOTBALLS MUST BE CIRCULAR IN SHAPE WITH AN EQUAL DISTANCE FROM THE TRUNK TO THE EDGE OF THE ROOTBALL ALL AROUND.

MINIMUM ROOTBALL DEPTH MUST BE 24"-36" FOR ALL TREES TO BE RELOCATED, WITH THE ACTUAL DEPTH TO BE DETERMINED ONLY AFTER A THOROUGH EXAMINATION OF ALL ROOTS DURING THE INITIAL ROOT INSPECTION AND BASED ON THE ABSENCE OF MAJOR ROOTS AT THE BOTTOM OF THE ROOTBALL. ROOTBALLS DEEPER THAN 36" MAY BE REQUIRED FOR LARGE SPECIMEN TREES, DEPENDING ON THE RELATIVE LOCATIONS AND DEPTHS OF THE MAJOR ROOTS AS OBSERVED DURING THE INITIAL ROOT INSPECTION.

AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR TREES WITH A DBH OF LESS THAN 10" IS 12 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, WITH THE SECOND ROOT PRUNE ON ONE OF THE OTHER 2 SIDES DONE A MINIMUM OF 6 WEEKS LATER, AND THIRD ROOT PRUNE ON THE LAST SIDE A MINIMUM OF 3 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNED IS EVIDENT.

AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR TREES WITH A DBH OF 10" OR GREATER IS 24 WEEKS. THE FIRST ROOT PRUNE MUST BE ON TWO OPPOSING SIDES OF THE ROOTBALL, WITH THE SECOND ROOT PRUNE ON ONE OF THE OTHER 2 SIDES DONE A MINIMUM OF 12 WEEKS LATER, AND THIRD ROOT PRUNE ON THE LAST SIDE A MINIMUM OF 6 WEEKS AFTER THAT. THE SECOND AND THIRD ROOT PRUNES MAY ONLY BE DONE WHEN HEALTHY NEW ROOT GROWTH FROM EARLIER ROOT PRUNED IS EVIDENT.

MAINTENANCE SPECIFICATIONS

ALL NEW AND RELOCATED TREES AND PALMS MUST BE MAINTAINED FOR ONE YEAR FROM THE DATE OF RELOCATION TO THEIR FINAL LOCATIONS.

WHENEVER POSSIBLE, EACH TREE AND PALM MUST BE WATERED BY A PERMANENT AUTOMATIC IRRIGATION SYSTEM FOLLOWING RELOCATION. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH; THIS WILL REQUIRE 25-50 GALLONS OF WATER FOR SMALL TREES AND PALMS, DEPENDING ON ROOTBALL SIZE, WHILE LARGE TREES WILL REQUIRE A MINIMUM OF 10 GALLONS PER FOOT OF ROOTBALL DIAMETER. WATERING FREQUENCY MUST BE EVERYDAY FOR THE FIRST TWO WEEKS, EVERY OTHER DAY FOR THE NEXT TREE WEEKS, AND EVERY THIRD DAY FOR THE NEXT 6-8 WEEKS.

WHEN AN AUTOMATIC IRRIGATION SYSTEM IS NOT POSSIBLE, CONTRACTOR IS RESPONSIBLE FOR HAND WATERING RELOCATED TREES AND PALMS THROUGHOUT THE MAINTENANCE PERIOD AND UNTIL FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND/OR CLIENT.

IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE APPLIED TO THE SURFACE OF THE ROOTBALL AT THE RECOMMENDED LABEL RATE AND WATERED IN WITH A DRENCH CONSISTING OF A SYSTEMIC INSECTICIDE AND A CONTACT ROOT ROT FUNGICIDE, FOLLOWING LABEL INSTRUCTIONS, AS INITIAL PREVENTATIVE MAINTENANCE.

EVERY THREE MONTHS THEREAFTER, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE APPLIED TO THE SURFACE OF THE ROOTBALL AT THE RECOMMENDED LABEL RATE AND WATERED IN WITH A DRENCH CONSISTING OF A SYSTEMIC INSECTICIDE AND A BROAD-SPECTRUM SYSTEMIC FUNGICIDE, FOLLOWING LABEL INSTRUCTIONS, AS CONTINUING PREVENTATIVE MAINTENANCE.

IRRIGATION AND BRACING MUST BE CHECKED AND EACH TREE OR PALM THOROUGHLY INSPECTED FOR SIGNES OF STRESS, DISEASE, OR PEST PROBLEMS ON A MONTHLY BASIS.

SHADE TREES

IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW-RELEASE 15-2-15 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.

FOLIAR FEED FOUR TIMES PER YEAR.

FLOWERING TREES

IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW RELEASE 8-14-15 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.

FOLIAR FEED FOUR TIMES PER YEAR.

PALMS

STRING MUST BE REMOVED FROM THE TIED UP LEAVES IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION IF THE PALM WAS ROOT PRUNED OR WITHIN 30-45 DAYS AFTER RELOCATION ON THE OCCASION THE LANDSCAPE ARCHITECT APPROVED RELOCATION WITHOUT ROOT PRUNING DUE TO TIME CONSTRAINTS.

IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW RELEASE 8-14-12 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.

FOLIAR FEED SIX TIMES PER YEAR.



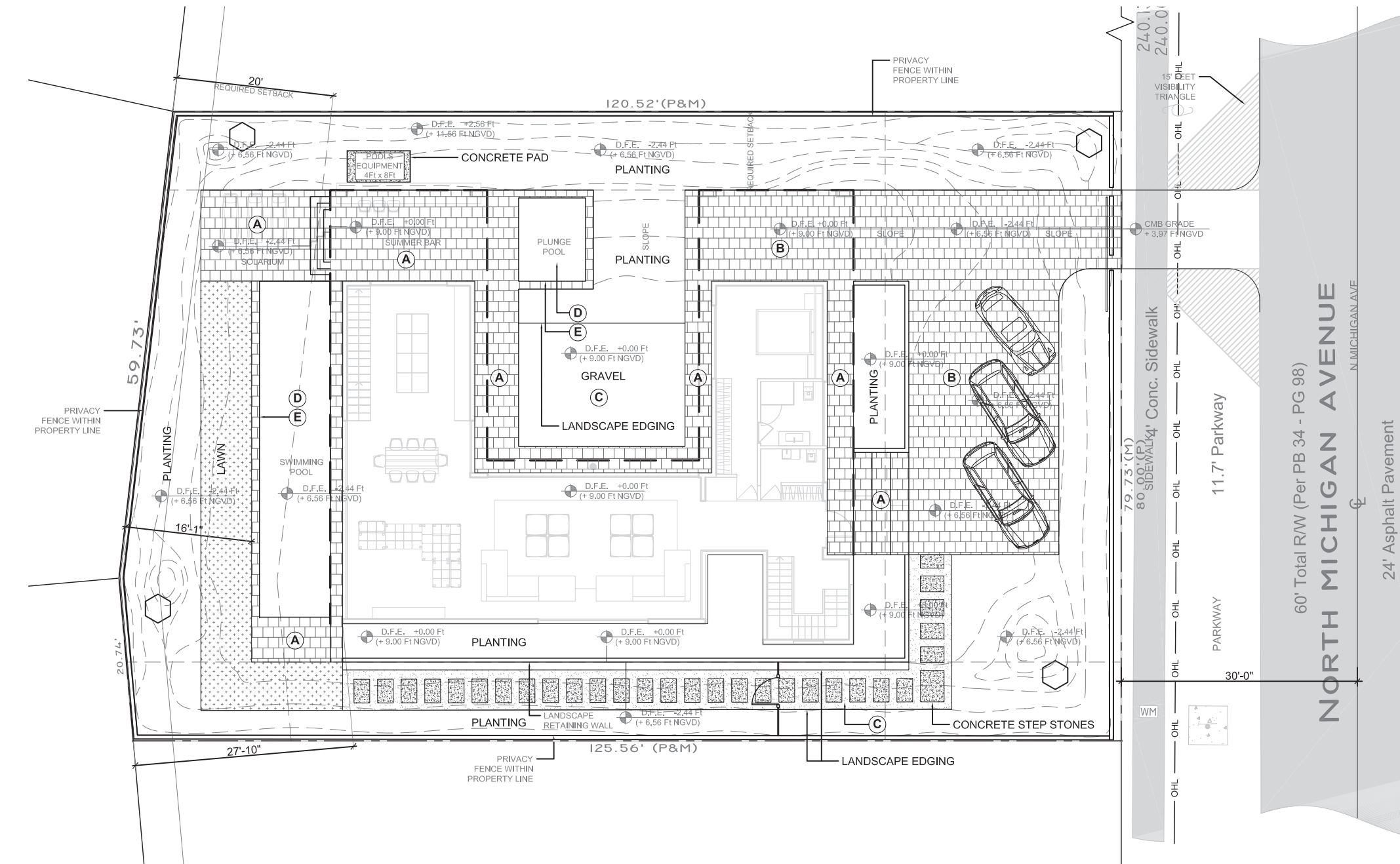
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PLANTING DETAILS

DRB L.4



MATERIALS SCHEDULE

A	<p>PEDESTRAIN PAVERS MANUFACTURER: BELGARD STYLE: OCEANSIDE COLOR: WHITE SIZE: 12" X 12" X 1-3/16" PATTERN: RUNNING BOND (SEE PLAN)</p>	
B	<p>DRIVEWAY PAVERS MANUFACTURER: BELGARD STYLE: OCEANSIDE COLOR: WHITE SIZE: 12" X 12" X 2-3/8" PATTERN: RUNNING BOND (SEE PLAN)</p>	
C	<p>AGGREGATE / GRAVEL MANUFACTURER: YARDCO STYLE: VIETNAMESE PEBBLE "YELLOW" COLOR: WHITE / YELLOW SIZE: 3/8" PATTERN: N/A</p>	
D	<p>POOL FINISH MANUFACTURER: PEBBLETEC STYLE: PEBBLESHEEN COLOR: BLACK ONYX SIZE: N/A NOTE: INSTALL PER MANUFACTURE'S INSTRUCTIONS</p>	
E	<p>WATER LINE TILE MANUFACTURER: DAL TILE STYLE: POOL TILE COLOR: SUEDE GRAY D182 SIZE: 2" X 1" FINISH: MATTE NOTE: INSTALL PER MANUFACTURE'S INSTRUCTIONS</p>	<p>PATTERN</p>

1. PROPOSED HARDSCAPE PLAN
 SCALE 1/16" = 1'-0"



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JOHN SACCO AR0004952

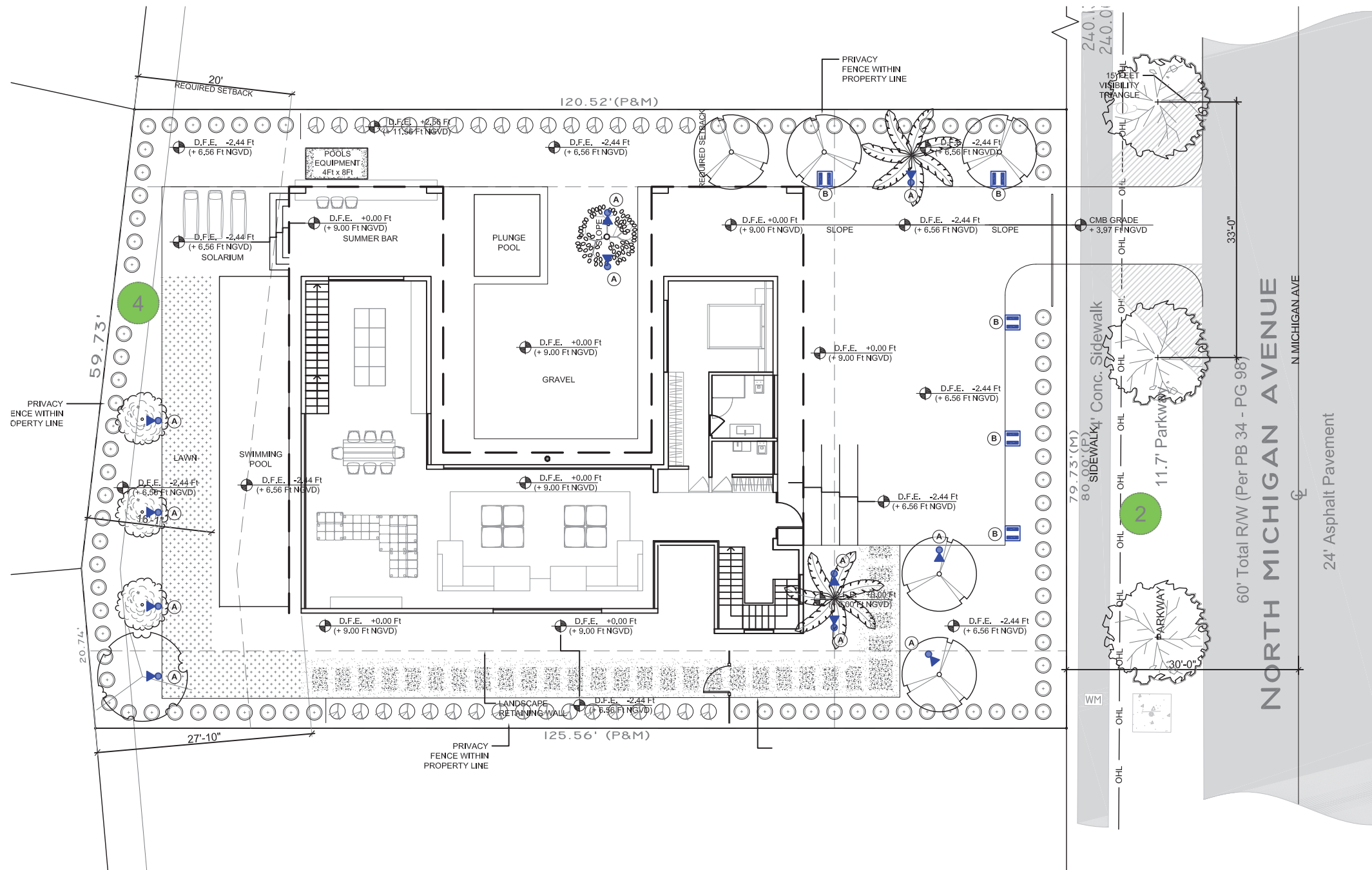
New Single Family Home
4354 N MICHIGAN AVE
MIAMI BEACH, FL 33140

FINAL SUBMITTAL
 DATE: 08/10/2020

THESE PLANS ARE FOR DRB REVIEW ONLY. THEY ARE NOT TO BE CONSTRUED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENTS APPROVAL ARE OBTAINED

PROPOSED
 HARDSCAPE PLAN

DRB L.5



A



B

LANDSCAPE LIGHTING FIXTURE SCHEDULE

TYPE	SYMBOL	MANUFACTURER	DESCRIPTION	QTY
A		HK USA Lighting Group	ZXL16i-A-CGSA-120V-6W-LED-3K-BK	11
B		BEGA	84671- 12.3W LED	5

1. PROPOSED LIGHTING PLAN
SCALE 1/16" = 1'-0"



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Digitally signed by Diego Vanderbiest
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LANDSCAPE LIGHTING PLAN

DRB L.6