

MIAMIBEACH

PLANNING DEPARTMENT

1700 Convention Center Drive, Miami Beach, Florida 33139; Tel: 305.673.7550; Web: www.miamibeachfl.gov/planning

LAND USE BOARD HEARING APPLICATION

The following application is submitted for review and consideration of the project described herein by the land use board selected below. A separate application must be completed for each board reviewing the proposed project.

Application Information			
FILE NUMBER		Is the property the primary residence & homestead of the applicant/property owner? <input type="checkbox"/> Yes <input type="checkbox"/> No (if "Yes," provide office of the property appraiser summary report)	
Board of Adjustment <input type="checkbox"/> Variance from a provision of the Land Development Regulations <input type="checkbox"/> Appeal of an administrative decision <input type="checkbox"/> Modification of existing Board Order		Design Review Board <input checked="" type="checkbox"/> Design review approval <input type="checkbox"/> Variance <input type="checkbox"/> Modification of existing Board Order	
Planning Board <input type="checkbox"/> Conditional Use Permit <input type="checkbox"/> Lot Split <input type="checkbox"/> Amendment to the Land Development Regulations or Zoning Map <input type="checkbox"/> Amendment to the Comprehensive Plan or Future Land Use Map <input type="checkbox"/> Modification of existing Board Order		Historic Preservation Board <input type="checkbox"/> Certificate of Appropriateness for design <input type="checkbox"/> Certificate of Appropriateness for demolition <input type="checkbox"/> Historic District/Site Designation <input type="checkbox"/> Variance <input type="checkbox"/> Modification of existing Board Order	
<input type="checkbox"/> Other:			
Property Information - Please attach Legal Description as "Exhibit A"			
ADDRESS OF PROPERTY 4354 N MICHIGAN AVE			
FOLIO NUMBER(S) 02-3222-008-0450			
Property Owner Information			
PROPERTY OWNER NAME JORGE MANUEL CAMPODONICO BUSTIOS			
ADDRESS 1200 WEST AVE PH26		CITY MIAMI BEACH	STATE FL
ZIP CODE 33139			
BUSINESS PHONE 7039634438	CELL PHONE	EMAIL ADDRESS JC@CITYLENDINGINC.COM	
Applicant Information (if different than owner)			
APPLICANT NAME GAIA SONZOGNI - GAIAS DESIGN INC.			
ADDRESS 1200 WEST AVE #514		CITY MIAMI BEACH	STATE FL
ZIP CODE 33139			
BUSINESS PHONE 7867778716	CELL PHONE	EMAIL ADDRESS GAIA@GAIASDESIGN.COM	
Summary of Request			
PROVIDE A BRIEF SCOPE OF REQUEST PERMISSION FOR DEMOLITION OF EXISTING SINGLE FAMILY HOME; NEW CONSTRUCTION OF ZERO-EMISSION SUSTAINABLE HOME.			

Project Information			
Is there an existing building(s) on the site?		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
If previous answer is "Yes", is the building architecturally significant per sec. 142-108?		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Does the project include interior or exterior demolition?		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Provide the total floor area of the new construction.			SQ. FT.
Provide the gross floor area of the new construction (including required parking and all usable area).			SQ. FT.
Party responsible for project design			
NAME GAIA SONZOGNI OF GAIA/S DESIGN INC.		<input type="checkbox"/> Architect	<input type="checkbox"/> Contractor
		<input type="checkbox"/> Engineer	<input type="checkbox"/> Tenant
		<input type="checkbox"/> Landscape Architect	<input checked="" type="checkbox"/> Other OWNER'S REP
ADDRESS 1200 WEST AVEN #514		CITY MIAMI BEACH	STATE FL
			ZIPCODE 33139
BUSINESS PHONE 786.777.8716	CELL PHONE	EMAIL ADDRESS GAIA@GAIASDESIGN.COM	
Authorized Representative(s) Information (if applicable)			
NAME		<input type="checkbox"/> Attorney	<input type="checkbox"/> Contact
		<input type="checkbox"/> Agent	<input type="checkbox"/> Other _____
ADDRESS		CITY	STATE
			ZIPCODE
BUSINESS PHONE	CELL PHONE	EMAIL ADDRESS	
NAME		<input type="checkbox"/> Attorney	<input type="checkbox"/> Contact
		<input type="checkbox"/> Agent	<input type="checkbox"/> Other _____
ADDRESS		CITY	STATE
			ZIPCODE
BUSINESS PHONE	CELL PHONE	EMAIL ADDRESS	
NAME		<input type="checkbox"/> Attorney	<input type="checkbox"/> Contact
		<input type="checkbox"/> Agent	<input type="checkbox"/> Other _____
ADDRESS		CITY	STATE
			ZIPCODE
BUSINESS PHONE	CELL PHONE	EMAIL ADDRESS	

Please note the following information:

- A separate disclosure of interest form must be submitted with this application if the applicant or owner is a corporation, partnership, limited partnership or trustee.
- All applicable affidavits must be completed and the property owner must complete and sign the "Power of Attorney" portion of the affidavit if they will not be present at the hearing, or if other persons are speaking on their behalf.
- To request this material in alternate format, sign language interpreter (five-day notice is required), information on access for persons with disabilities, and accommodation to review any document or participate in any City sponsored proceedings, call 305.604.2489 and select (1) for English or (2) for Spanish, then option 6; TTY users may call via 711 (Florida Relay Service).

Please read the following and acknowledge below:

- Applications for any board hearing(s) will not be accepted without payment of the required fees. All checks are to be made payable to the "City of Miami Beach".
- All disclosures must be submitted in CMB Application format and be consistent with CMB Code Sub-part A Section 2-482(c):
 - (c) If the lobbyist represents a corporation, partnership or trust, the chief officer, partner or beneficiary shall also be identified. Without limiting the foregoing, the lobbyist shall also identify all persons holding, directly or indirectly, a five percent or more ownership interest in such corporation, partnership, or trust.
- Public records notice – All documentation submitted for this application is considered a public record subject to Chapter 119 of the Florida Statutes and shall be disclosed upon request.
- In accordance with the requirements of Section 2-482 of the code of the City of Miami Beach, any individual or group that will be compensated to speak or refrain from speaking in favor or against an application being presented before any of the City's land use boards, shall fully disclose, prior to the public hearing, that they have been, or will be compensated. Such parties include: architects, engineers, landscape architects, contractors, or other persons responsible for project design, as well as authorized representatives attorneys or agents and contact persons who are representing or appearing on behalf of a third party; such individuals must register with the City Clerk prior to the hearing.
- In accordance with Section 118-31. – Disclosure Requirement. Each person or entity requesting approval, relief or other action from the Planning Board, Design Review Board, Historic Preservation Board or the Board of Adjustment shall disclose, at the commencement (or continuance) of the public hearing(s), any consideration provided or committed, directly or on its behalf, for an agreement to support or withhold objection to the requested approval, relief or action, excluding from this requirement consideration for legal or design professional service rendered or to be rendered. The disclosure shall: (I) be in writing, (II) indicate to whom the consideration has been provided or committed, (III) generally describe the nature of the consideration, and (IV) be read into the record by the requesting person or entity prior to submission to the secretary/clerk of the respective board. Upon determination by the applicable board that the foregoing disclosure requirement was not timely satisfied by the person or entity requesting approval, relief or other action as provided above, then (I) the application or order, as applicable, shall immediately be deemed null and void without further force or effect, and (II) no application form said person or entity for the subject property shall be reviewed or considered by the applicable board(s) until expiration of a period of one year after the nullification of the application or order. It shall be unlawful to employ any device, scheme or artifice to circumvent the disclosure requirements of this section and such circumvention shall be deemed a violation of the disclosure requirements of this section.
- When the applicable board reaches a decision a final order will be issued stating the board's decision and any conditions imposed therein. The final order will be recorded with the Miami-Dade Clerk of Courts. The original board order shall remain on file with the City of Miami Beach Planning Department. Under no circumstances will a building permit be issued by the City of Miami Beach without a copy of the recorded final order being included and made a part of the plans submitted for a building permit.

The aforementioned is acknowledged by:

 Owner of the subject property Authorized representative



SIGNATURE

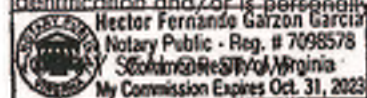
 Jorge Campodonico
PRINT NAME

 07/14/2020
DATE SIGNED

OWNER AFFIDAVIT FOR INDIVIDUAL OWNERSTATE OF VirginiaCOUNTY OF Fairfax

I, JORGE MANUEL CAMPODONICO BUSTIOS, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for remove this notice after the date of the hearing.

Sworn to and subscribed before me this 14TH day of JULY, 2020. The foregoing instrument was acknowledged before me by JORGE M CAMPODONICO who has produced DRIVER'S LICENSE as identification and/or is personally known to me and who did/did not take an oath.

My Commission Expires: 10/31/23

SIGNATURE

NOTARY PUBLIC

PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR CORPORATION, PARTNERSHIP OR LIMITED LIABILITY COMPANY

STATE OF _____

COUNTY OF _____

I, _____, being first duly sworn, depose and certify as follows: (1) I am the _____ (print title) of _____ (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (7) I am responsible for remove this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires: _____

PRINT NAME

POWER OF ATTORNEY AFFIDAVITSTATE OF VirginiaCOUNTY OF Fairfax

I, JORGE MANUEL CAMPODONICO BUSTIOS, being first duly sworn, depose and certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize GAIA SONZOGNI to be my representative before the DESIGN REVIEW Board. (3) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (4) I am responsible for remove this notice after the date of the hearing.

Jorge Campodonico**PRINT NAME (and Title, if applicable)****SIGNATURE**

Sworn to and subscribed before me this 14TH day of JULY 2020. The foregoing instrument was acknowledged before me by JORGE M. CAMPODONICO, who has produced DRIVER LICENSE as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

**NOTARY PUBLIC**My Commission Expires: 10/31/23Hector F. Garzon**PRINT NAME****CONTRACT FOR PURCHASE**

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries or partners. If any of the contact purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individuals(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.

NAME**DATE OF CONTRACT**

NAME, ADDRESS AND OFFICE

% OF STOCK

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

**DISCLOSURE OF INTEREST
CORPORATION, PARTNERSHIP OR LIMITED LIABILITY COMPANY**

If the property that is the subject of the application is owned or leased by a corporation, partnership or limited liability company, list All of the owners, shareholders, partners, managers and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.

NAME OF CORPORATE ENTITY	
NAME AND ADDRESS	% OF OWNERSHIP

NAME OF CORPORATE ENTITY	
NAME AND ADDRESS	% OF OWNERSHIP

If there are additional corporate owners, list such owners, including corporate name and the name, address and percentage of ownership of each additional owner, on a separate page.

DISCLOSURE OF INTEREST
TRUSTEE

If the property that is the subject of the application is owned or leased by a trust, list any and all trustees and beneficiaries of the trust, and the percentage of interest held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.

TRUST NAME	
NAME AND ADDRESS	% INTEREST
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

COMPENSATED LOBBYIST

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

NAME	ADDRESS	PHONE
_____	_____	_____
_____	_____	_____
_____	_____	_____

Additional names can be placed on a separate page attached to this application.

APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) AN APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

STATE OF FLORIDA
 COUNTY OF MIAMI DADE

I, GAIA SONZOGNI

, being first duly sworn, depose and certify as follows: (1) I am the applicant or representative of the applicant. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

 SIGNATURE

Sworn to and subscribed before me this 17 day of JULY, 2020. The foregoing instrument was acknowledged before me by GAIA SONZOGNI, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

 NOTARY PUBLIC

My Commission Expires: 10/17/2023

MARTINA MAIONE
 PRINT NAME



Martina Maione
 Comm # GG923937
 Expires 10/17/2023
 Bonded Thru Karen Notary

BOARD APPLICATION CHECKLIST

A Pre-Application meeting must be scheduled via CAP to obtain a plan case number and for board staff review of all submittals.

Pre-Application meetings for applications that do not require a traffic study are scheduled on a first come-first served basis and must occur no later than five (5) business days prior to CAP First submittal.

Applications requiring a traffic study must meet with the Transportation Department and peer reviewer thirty (30) calendar days prior to the CAP First Submittal deadline to determine the methodology for the traffic impact study and obtain the Transportation Department's checklist. Fifteen (15) days prior to the First submittal the applicant must submit the traffic study via CAP. Seven (7) days prior to First submittal the Transportation Department/Peer Reviewer will provide first round of comments to the applicant. The applicant must address the comments and submit revised traffic study/plans by the CAP First Submittal deadline including a narrative responding to Transportation/Peer Reviewer comments.

Incomplete, or submittals found to be insufficient will not be placed on a Board agenda.

Property address: 4354 Michigan Avenue Board DRB Date: 07/09/2020

ITEM #	ITEM DESCRIPTION	REQUIRED
CAP FIRST SUBMITTAL		
To be uploaded online (CAP) by the applicant before 12:00 pm by First submittal deadline. ALL PLANS MUST BE DIMENSIONED AND LEGIBLE. INCLUDE A GRAPHIC SCALE.		
1	Application Fee and Peer review fees shall be paid after Pre-Application meeting and before the First submittal. It is the applicant's responsibility to make this payment, if an invoice is not generated by the CAP system, the applicant should contact staff prior to first submittal to be invoiced and make payment.	✓
a	Is the property the primary residence & homestead of the applicant/property owner? (If yes, provide office of the Property Appraiser Summary Report).	
2	Copy of signed and dated check list issued at Pre-Application meeting.	✓
3	Completed Board Application, Affidavits & Disclosures of Interest (original signatures).	✓
4	Signed and dated Letter of Intent. Letter must outline application details and identify hardships if Variances are requested. (see also Items # 42,43 and 44).	✓
5	Mailing Labels: Upload property owner's list and copy of original certified letter from provider. See #52 for submittal of Hard copy / originals of these items.	✓
6	Copies of all current or previously active Business Tax Receipts.	✓
7	School Concurrency Application for projects with a net increase in residential units (no SFH). Provide Planning Department - Miami Dade - School Concurrency Application for Transmittal	
8	Survey: Electronic version of original signed & sealed, dated no more than six months from date of application. Survey must provide: lot area, grade per Section 114-1 of the City Code. (If no sidewalk exists, provide the elevation of the crown of the road) and spot elevations.	✓
9	Architectural Plans and Exhibits (must be 11"x 17")	
a	Cover Sheet with bullet point scope of work, clearly labeled "First Submittal" and dated with First Submittal deadline date. Include copies of previous recorded board orders, if applicable.	✓



Property address: 4354 Michigan Avenue

Board: DRB

Date: 07/09/2020

ITEM #	ITEM DESCRIPTION	REQUIRED
b	Copy of the original survey included in plan package. See No. 8 above for survey requirements	✓
c	All Applicable Zoning Information (Use Planning Department zoning data sheet format).	✓
d	Context Location Plan, Min 8.5"X11" Color Aerial 1/2 mile radius, identifying project and showing name of streets. (no Google images)	✓
e	Full legal description of the property if not included in survey (for lengthy legal descriptions, attach as a separate document - label clearly).	✓
f	Existing FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams), if applicable	✓
g	Proposed FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams), if applicable.	✓
h	Site Plan (fully dimensioned with setbacks, existing and proposed, including adjacent right-of-way widths).	✓
i	Current color photographs, dated, Min 4"x 6" of project site and existing structures (no Google images)	✓
j	Current, color photographs, dated, Min 4"x6" of interior space (no Google images)	
k	Current color photographs, dated, Min 4"x 6" of context, corner to corner, across the street and surrounding properties with a key directional plan (no Google images)	✓
l	Existing Conditions Drawings (Floor Plans & Elevations with dimensions). Number of seats, furniture layout if applicable	✓
m	Demolition Plans (Floor Plans & Elevations with dimensions)	✓
n	Proposed Floor Plans and Roof Plan, including mechanical equipment plan and section marks. Plans shall indicate location of all property lines and setbacks.	✓
o	Proposed Elevations, materials & finishes noted (showing grade, base flood elevation, heights in NGVD values and free board if applicable) Side Elevations - Approved and Proposed	✓
p	Proposed Section Drawings	✓
q	Color Renderings (elevations and three dimensional perspective drawings).	✓
10	Landscape Plans and Exhibits (must be 11"x 17")	
a	Landscape Plan - street and onsite - identifying existing, proposed landscape material, lighting, irrigation, raised curbs, tree survey and tree disposition plan, as well as underground and overhead utilities when street trees are required.	✓
b	Hardscape Plan, i.e. paving materials, pattern, etc.	✓
11	Copy of original Building Permit Card, & Microfilm, if available.	✓
12	Copy of previously approved building permits (provide building permit number) and/or Board Orders.	
13	Existing and Proposed detailed topographic survey depicting existing spot grades (NAVD) as well as all underground/overhead utilities and easements/agreements with recording data. See Part 1 / Section 1 / A. Surveying & Mapping Standards and submittal Requirements of the Public Works Manual. http://www.miamibeachfl.gov/publicworks/engineering/engineeringmanual.aspx?id=12920	
14	Vacant/Unoccupied structures or sites shall provide recent photographic evidence that the site and structure are secured and maintained. The applicant shall obtain and post a No Trespassing Sign from the City's Police Dept.	



Property address: 4354 Michigan Avenue Board: DRB Date: 07/09/2020

ITEM #	ITEM DESCRIPTION	REQUIRED
15	Historic Resources Report (This report shall include, but not be limited to, copy of the original Building Permit Card and subsequent modifications, Microfilm records, existing condition analysis, photographic and written description of the history and evolution of the original building on the site, all available historic data including original plans, historic photographs and permit history of the structure and any other related information on the property.	
16	Contextual Elevation Line Drawings, corner to corner, across the street and surrounding properties (dated).	
17	Line of Sight studies.	
18	Structural Analysis of existing building including methodology for shoring and bracing.	
19	Proposed exterior and interior lighting plan, including photometric calculations.	
20	Exploded Axonometric Diagram (showing second floor in relationship to first floor).	✓
21	Neighborhood Context Study. (Planning will provide guidance if necessary for application.)	
22	Required yards open space calculations and shaded diagrams.	✓
23	Required yards section drawings.	✓
24	Variance and/or Waiver Diagram	✓
25	Schematic signage program	
26	Detailed sign(s) with dimensions and elevation drawings showing exact location.	
27	Elevation drawings showing area of building façade for sign calculation (Building ID signs).	
28	Daytime and nighttime renderings for illuminated signs.	
29	Floor Plan Indicating area where alcoholic beverages will be displayed.	
30	Survey showing width of the canal (Dimension shall be certified by a surveyor)	
31	Site Plan showing total projection of structures from seawall, location and dimension of all structures inclusive of dock, mooring piles, boat lift, etc.	
32	DERM recommendation/preliminary approval. Docks or any structures shall have approval stamp from DERM or other regulatory agency before submitting for a variance. A letter from DERM or other agency, explaining specific requirements for the project is recommended.	
33	Technical specifications of the boat lift and/ or boat, ship of vessel to be docked or moored.	
34	Survey shall include spot elevations in rear yard and elevation points on the dune adjacent to the property. Provide highest elevation point on the due within the property. Erosion control line and Bulkhead line shall be indicated if present.	
35	Scaled, signed, sealed and dated specific purpose survey (Alcohol License/Distance Separation) distance shown on survey with a straight line.	
36	Proposed Operational Plan: Include deliveries and trash pickup times, hours of operations, number of employees, security and restaurant menu (if applicable).	
37	Maneuvering plan for loading within the existing/proposed conditions, delivery and garbage trucks size (length and width).	
38	Traffic Study, Site plan(s) : Revised version and narrative addressing first round of comments from Transportation Department and peer review, provide a narrative. (See Transportation Department check list for requirements.)	
39	Sound Study report (Hard copy) with 1 CD.	
40	Site Plan (Identify streets and alleys)	
a	Identify: setbacks _____ Height _____ Drive aisle widths _____ Streets and sidewalks widths _____	

Property address: 4354 Michigan Avenue Board: DRB Date: 07/09/2020

ITEM #	ITEM DESCRIPTION	REQUIRED
b	# parking spaces & dimensions_____ Loading spaces locations & dimensions_____	
c	# of bicycle parking spaces_____	
d	Interior and loading area location & dimensions_____	
e	Street level trash room location and dimensions_____	
f	Delivery route_____ Sanitation operation_____ Valet drop-off & pick-up_____ Valet route in and out_____	
g	Valet route to and from_____ auto-turn analysis for delivery and sanitation vehicles_____	
h	Indicate any backflow preventer and FPL vault if applicable	
i	Indicate location of the area included in the application if applicable	
j	Preliminary on-street loading plan	
41	Floor Plan (dimensioned)	
a	Total floor area	
b	Identify # seats indoors_____ outdoors_____ seating in public right of way_____ Total_____	
c	Occupancy load indoors and outdoors per venue_____ Total when applicable_____	
42	The letter of Intent shall include and respond to all sea level rise and resiliency review criteria per section 133-50 of the City Code.	✓
43	The Letter of Intent for Variances shall include and respond to all review guidelines in the code as follows:	
a	Section 118-53 (d) of the City Code for each Variance.	
44	The Letter of Intent for Planning Board shall include and respond to all review guidelines in the code as follows:	
a	For Conditional Use -Section 118-192 (a)(1)-(7)	
b	CU - NIE and or outdoor Entertainment Establishments - Section 142-1362 (a)(1)-(9)	
c	CU - Mechanical Parking - Section 130-38 (3)(c)(i)(1)-(2) & (4)(a)-(k)	
d	CU - Structures over 50,000 SQ.FT. - Section 118-192 (b) (1)-(11)	
e	CU - Religious Institutions - Section 118-192 (c) (1)-(11)	
f	For Lot Splits - Section 118-321 (B) (1)-(6). Also see application instructions	
	Notes: The applicant is responsible for checking above referenced sections of the Code. If not applicable write N/A	
Other	Waivers: Potential 2nd to 1st story waiver	✓
Other	Potential lot coverage variance	✓
Other		

****ADDITIONAL INFORMATION AS MAY BE REQUIRED AT THE PRE-APPLICATION MEETING**



PROPERTY OWNER

Jorge Manuel Campodonico Bustios
1200 West Ave, PH 26, Miami Beach FL 33139
703.963.4438 _jc@citylendinginc.com

OWNER'S REPRESENTATIVE AND ARCHIECTURAL DESIGNER

Gala Sonzogni / Principal at GAIA/S DESIGN INC.
1200 West Ave, #514, Miami Beach FL 33139
786.777.8716 _gala@gaiasdesign.com

PLANNING DEPARTMENT/DESIGN REVIEW BOARD/CITY LAND USE BOARD

Fernanda Sotelo Chotel / Principal Planner
1700 Convention Center Drive, Miami Beach, FL 33139

SUBJECT: DRB20-0564, 4354 Michigan

August 10th, 2020
Final Submittal

LETTER OF INTENT

We are submitting this letter to outline the details of application DRB20-0564, for the new construction of a single-family residency, at address 4354 N Michigan Ave, Miami Beach FL 33140.

The scope of work includes the demolition of existing 1940 CMU single-family home, the removal of existing hardscape, the remodeling and improvement of the landscape and the new construction of a sustainable, zero-emission, steel-framed, single-family home. Proposed lot coverage, proposed setbacks and unit size comply with the RS-4 Zoning requirements.

The demolition of the existing home will be carried out by a deconstruction company in the first stage, to properly salvage and reuse, as much as possible, the existing features and elements of the 1940 house. Anything that will be identified as reusable and recyclable, will be saved from final demolition, while the rest will be properly disposed of.

Most of the surrounding houses at 4354 N Michigan Ave, are oriented and shaped based on lot shape and way of passage: we want to promote a conscious design, that integrates with the neighborhood architecture and massing *while* taking advantage of the natural environment and climate factors. Shape and orientation of the building are essential and inseparable factors in sustainable architecture, to minimize the amount of energy needed and to maximize the contribute of the natural environment: after analyzing the macro and microclimate of Miami Beach and the surrounding architecture, we reached the conclusion that the small courtyard, with most of the opening facing North, is the best model to achieve our zero-emission goal in this project.

The courtyard is an excellent thermal regulator: high walls cut off the sun, except for around midday, and large areas of the inner surfaces and of the floor are shaded during the day, preventing excessive heating and allowing a pool of cool night-air to be retained, as it is heavier than the surrounding warm air, cooling the surfaces of the envelope and working as resource of cool air for natural indoor ventilation.

The scattered volume of the proposed project also favor the natural flow and circulation of air, while the thin "U" shaped floorplan , with operable impact windows on opposite sides, will allow cross ventilation and natural cooling of the interior of the house. The two loggias, where covered parking space and summer bar are located, being two covered spaces in consequent direction, will create with the East prevalent wind, a Venturi effect, which will amplify the breezes through the spaces and will cool down the overheated East and West facades.

The house will be solar powered with thin film photovoltaic cells mounted on the roof, hurricane proof and completely integrated with the roof design.

The new landscape design maximizes the contribute of plants and trees to the energy efficiency of the house, through shading and wind mitigation: trees and plants have been selected and located to create shades on facades, to improve natural circulation of air and to lower the overall temperature around the house. The proposed landscape also minimizes the need of water and energy to maintain itself, by the use of salt tolerant, highly water-absorbent, native and Florida-friendly plants, and through the installation of a rainwater recycling system. Hardscape will be paved with porous and draining pavement material.

The new house has been designed to be built at two feet over the Flood Base Elevation required (+9.00 Ft NGDV). The new covered parking space is located at +9.00 Ft NGDV and the whole lot will be elevated at +6.56 Ft NGDV. All critical mechanical and electrical systems will be located above base flood elevation and a stormwater retention system will be designed and in place.

Elements that are common of Miami Beach contemporary architecture, such as shading wood elements, Coral Rock tiles on facades and glass opening on double height areas, have been added to the front façade to improve the integration between the existing and the new. While the architectural design of the facades shows a connection with many other contemporary projects in Miami Beach, the structure of the proposed project will be different: light gauge steel systems are a prefab product, in many ways are similar to wood stud framing, but they provide distinct cost, safety, construction time, and environmental impact advantages. Light gauge steel structures are rated to resist to earthquakes and hurricane-strength winds, with a minimum of material. The product is made from 75% recycled steel, it minimalizes onsite waste down to 1%, and it is unaffected by pests or mold. The aesthetic result can be identical to a common concrete blocks house, but with a thickness of the wall system reduced to five-inch thick walls, including insulation, and a carbon footprint highly reduced thanks to the recycled nature of the material and the minimum waste.

The application includes a Design Waiver to waive the 70% Volume Ratio of Second Floor when lot coverage is over 25%; we kindly request for this requirement to be waived, considering that the lot coverage exceeds the 25% only because it has to take into account the part of the courtyard that exceeds the 5% of the lot area. For the reasons explained above and detailed in page DRB 5.0, the Courtyard shape is the optimal shape to achieve energy efficiency and to take advantage of natural elements such as local winds, shades and natural light.

In conclusion, the new construction project is compatible with the zoning requirements and with the city's sea level rise mitigation and resiliency efforts, while also being innovative in terms of construction techniques and sustainability.

Sincerely,

PROPERTY OWNER

Jorge Manuel Campodonico
1200 West Ave, PH 26, Miami Beach FL 33139

OWNER'S REPRESENTATIVE AND DESIGNER

Gaia Sonzogni _ GAIA/S DESIGN INC.
1200 West Ave, #514, Miami Beach FL 33139

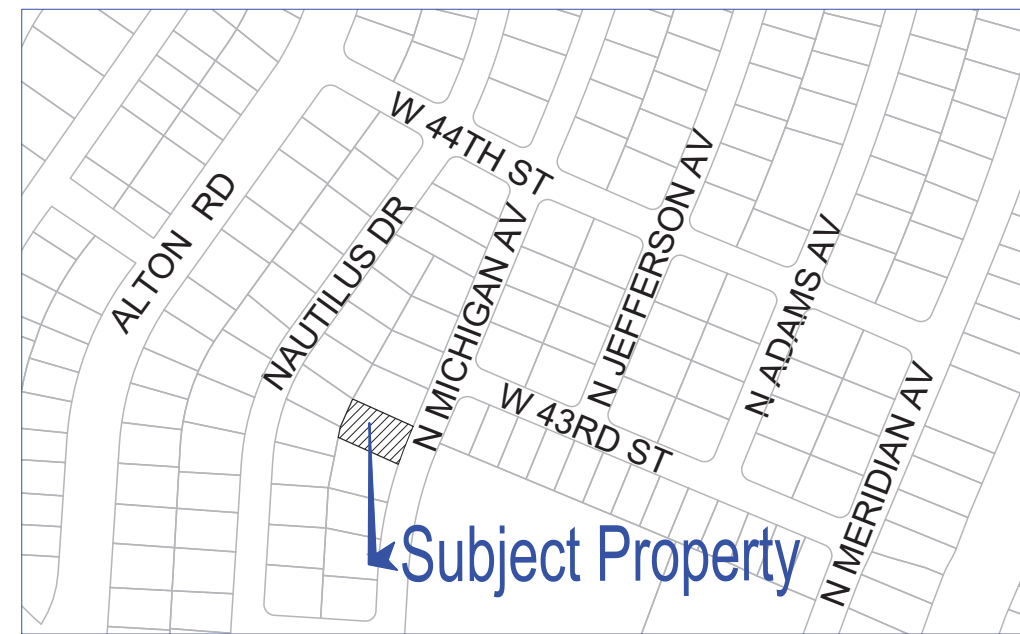




MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY

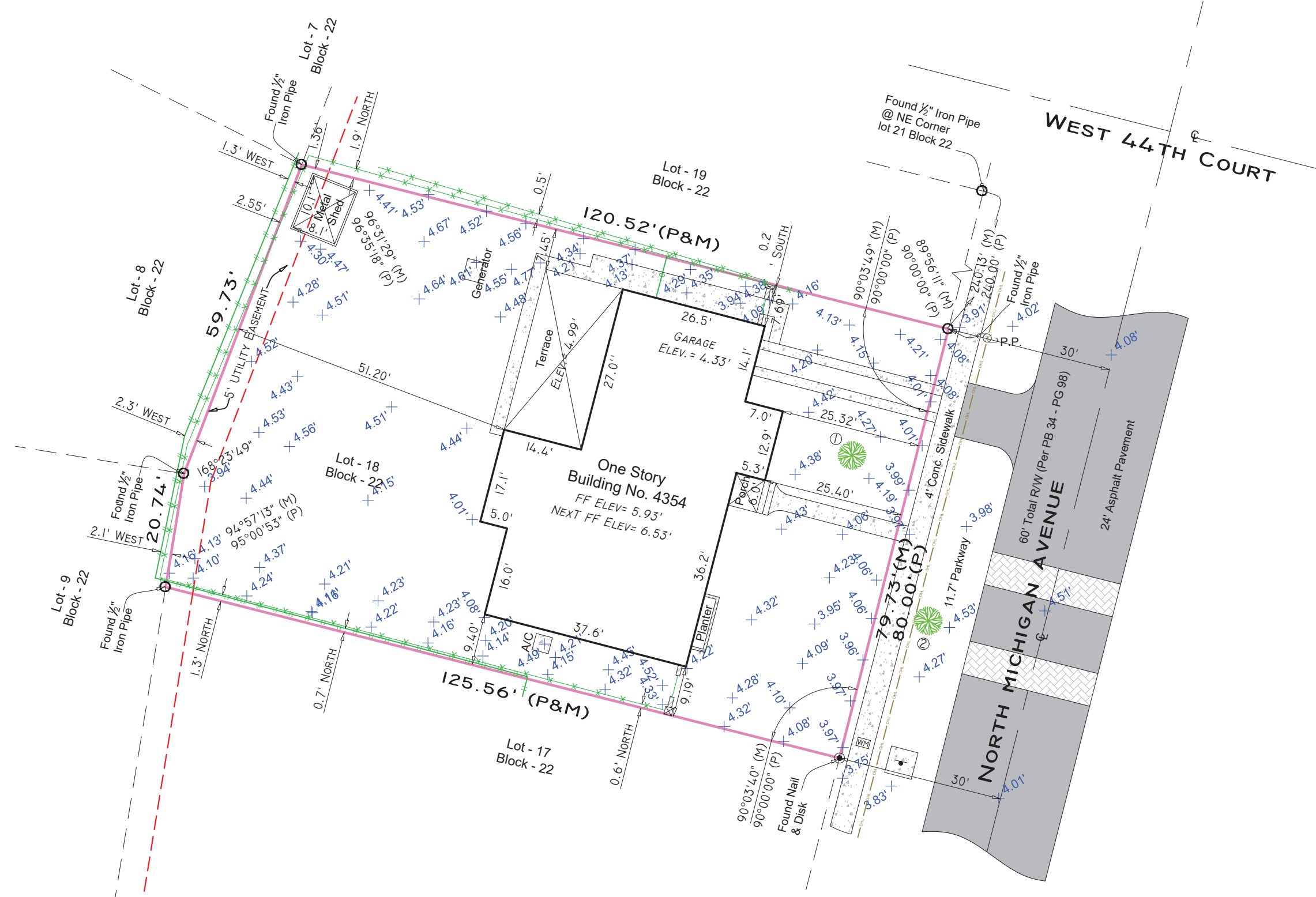


LOCATION MAP NOT TO SCALE



A parcel of land being a portion of Section 22, Township 53 South, Range 42 East, Miami Beach, Miami-Dade County, Florida.

TREE CHART (Dimensions are Approximate)				
Tree #	Common Name	Trunk Diameter at Breast Height (DBH)(in)	Approximate Height (ft)	Approximate Canopy (ft)
1	Avocado	5	22	18
2	Oak	36	50	60



LEGEND & ABBREVIATIONS

- = CONCRETE (CONC.)
- = CONCRETE BLOCK WALL
- = WOOD DECK
- = COVERED AREA
- = ASPHALT
- = TILE
- = PAVERS
- = STONE
- = CHAIN LINK FENCE (CLF)
- = WOOD FENCE (WF)
- = IRON METAL BARS FENCE (IF)
- = OVERHEAD WIRES
- = WATER VALVE (WV)
- = POWER POLE (PP)
- = GUY ANCHOR
- = WATER METER (WM)
- = CONC. LIGHT POLE (LP)
- = WELL
- = STREET SIGN
- = SANITARY MANHOLE
- = DRAINAGE MANHOLE
- = MANHOLE
- = FIRE HYDRANT
- = CABLE BOX (CATV)
- = FPL TRANSFORMER
- = CATCH BASIN OR INLET
- = EXISTING ELEVATION
- = PERMANENT REFERENCE MONUMENT (PRM)
- = PROPERTY CORNER
- = PERMANENT CONTROL POINT (PCP)
- PT = POINT OF TANGENCY
- PC = POINT OF CURVATURE
- PCC = POINT OF COMPOUND CURVE
- PRC = POINT OF REVERSE CURVE
- BM = BENCH MARK
- BR = BEARING REFERENCE
- TBM = TEMPORARY BENCH MARK
- PL = PROPERTY LINE
- CL = CENTER LINE
- ML = MONUMENT LINE
- BL = BASE LINE
- MEAS = FIELD MEASURED
- P = PER PLAT
- PSM = PROFESSIONAL SURVEYOR AND MAPPER
- A/C = AIR CONDITIONER PAD
- ENCR = ENCROACHMENT
- FF ELEV = FINISHED FLOOR ELEVATION
- (XX-XX) = DENOTES PLAT BOOK XX - PAGE XX
- ORB = OFFICIAL RECORD BOOK
- CBS = CONCRETE BLOCK STRUCTURE
- R/W = RIGHT OF WAY
- ELEV = ELEVATION
- SEC = SECTION
- T = TOWNSHIP
- R = RANGE
- CALC = CALCULATED

LEGAL DESCRIPTION:

Lot 18, Block 22, NAUTILUS EXTENSION THIRD, according to the plat thereof, as recorded in Plat Book 34, Page 98, of the Public Records of Dade County, Florida.

SURVEYOR'S REPORT AND GENERAL NOTES

(Not valid without the attached Survey Map)

1. Legal Description has been furnished by the client.
2. References to "Deed", "Record" or "Plat" refer to documents and instruments of record as part of the pertinent information used for this survey work. Measured distances, directions and angles along boundary lines are in consistency with corresponding values from records, unless otherwise shown.
3. These lands are subject to additional restrictions of record that were not furnished to the undersigning registered surveyor. A title search has not been performed by the surveyor.
4. North arrow direction is based on an assumed Meridian. Bearings are based on an assumed meridian on a well-established line, said line is being noted as BR on the Survey Map.
5. Only above ground improvements are shown herein. Foundations, underground features and utilities have not been located.
6. Survey markers found in the field have no identification unless otherwise shown. Any survey marker set by our company is labeled LB 7262 or PSM 6169.
7. Fence ownership has not been determined. Distances from existing fences to boundary lines are approximate. Fence/walls width and conditions must be considered to determine true location. Lands located beyond perimeter fences might or might not be being used by adjoining. Adjoining parcels have not been investigated.
8. This Survey Map is intended to be displayed at the scale shown hereon. Data is expressed in U.S. Survey Foot.
9. This Survey Map is being prepared for the use of the party/parties that it is certified to and does not extend to any unnamed individual, entity or assignee.
10. **FLOODPLAIN INFORMATION:** As scaled from Federal Insurance Rate Map (FIRM) of Community No. 120651(City of Miami Beach), Panel 0309, Suffix L, revised on Sept 11th, 2009, this real property falls in Zone "AE" with Base Flood Elevation 7 feet (NGVD 1929)
11. **HORIZONTAL ACCURACY:** Accuracy obtained thru measurements and calculations meets and exceeds the minimum horizontal feature accuracy for a Suburban area being equal to 1 foot in 7, 500 feet.
12. **VERTICAL CONTROL AND ACCURACY:** The elevations as shown are referred to the National Geodetic Vertical Datum of 1929 (NGVD 1929). The closure in feet, as computed, meets the standard of plus or minus 0.05 feet times the squared root of the loop distance in miles.

Elevation are based on a level loop from and to the following official Bench Marks:
 Bench Mark # 1: Miami-Dade County Public Works Department Bench Mark D-157-R,
 Elevation = 4.93 feet (NGVD 1929).
 Bench Mark # 2: Miami-Dade County Public Works Department Bench Mark D-106,
 Elevation = 73.21feet (NGVD 1929)

Note:
Area Lot is 9967.80'

I HEREBY CERTIFY TO:
Peter Lipsick; Desiree D.

That this Survey conforms to the Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers in applicable provisions of chapter 5J-17, Florida administrative code pursuant to Section 472.027 Florida Statutes.
This Survey is accurate and correct to the best of my knowledge and belief.

Digitally signed
by Odalys C Bello
Date: 2020.08.03
17:59:34 -04'00'

Odalys C. Bello-Iznaga
Professional Surveyor and Mapper LS6169 - State of Florida
Field Work Date: 07/14/2020



Additions and deletions to this Survey Map are prohibited. This Survey Map and Report are not valid without the signature and original raised seal or without the authenticated electronic signature and seal of the undersigning Florida licensed Surveyor and Mapper.

Property Address:
4354 North Michigan Avenue, Miami Beach, Florida 33140
Project No. 20810

BELLO & BELLO LAND SURVEYING
 12230 SW 131 AVENUE • SUITE 201 • MIAMI FL 33186
 Phone: 305.251.9606 • Fax: 305.251.6057 • LB#7262
 e-mail: info@belloland.com • www.bellolandsurveying.com



NEW SINGLE-FAMILY HOME
4354 N Michigan Ave, Miami Beach, FL 33139
AUGUST 10th, 2020 FINAL SUBMITTAL



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 SEAL

DIEGO J. VANDERBIEST
 RLA #6667355

RCTEK ARCHITECTURE LLC
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SEAL

JOHN SACCO AR0004952

New Single Family Home
4354 N MICHIGAN AVE
MIAMI BEACH, FL 33140

SCOPE OF WORK

DEMOLITION : REMOVAL OF EXISTING CMU 1940 HOME

SITE WORK: REMOVAL AND REPLACEMENT OF EXISTING HARDSCAPE; REMODELING OF LANDSCAPE;

NEW CONSTRUCTION: NEW SUSTAINABLE LIGHT GAUGE STEEL FRAME 2-STORY HOME, ZERO EMISSION;

DESIGN WAIVER: WAIVER TO REMOVE THE REQUIRED 70% RATIO OF PHYSICAL VOLUME OF THE SECOND FLOOR COMPARED TO THE GROUND FLOOR, WHEN LOT COVERAGE EXCEEDS 25% OF THE LOT AREA.

INDEX OF DRAWINGS

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- DRB 0.2 EXISTING HOME FRONT PICTURES
- DRB 0.3 EXISTING HOME REAR PICTURES
- DRB 0.4 EXISTING HOME INTERIOR PICTURES
- DRB 0.5 CONTEXTUAL PICTURES
- DRB 0.6 CONTEXTUAL PICTURES AND ELEVATION
- DRB 0.7 CONTEXTUAL PICTURES AND ELEVATION
- DRB 0.8 CONTEXTUAL PICTURES, PLANS AND ELEVATIONS
- DRB 0.9 ORIGINAL SURVEY
- DRB 0.9E ENLARGE ORIGINAL SURVEY

ZONING

- DRB 1.0 ZONING DATA SHEET
- DRB 1.1 PROPOSED LOT COVERAGE SHADED DIAGRAM
- DRB 1.2 PROPOSED YARD OPEN SPACE DIAGRAM
- DRB 1.3 PROPOSED GROUND FLOOR UNIT SIZE
- DRB 1.4 PROPOSED SECOND FLOOR UNIT SIZE
- DRB 1.5 EXPLODED AXONOMETRIC DIAGRAM
- DRB 1.6 DESIGN WAIVER 1.0
- DRB 1.6 DEMOLITION PLAN

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- DRB 2.0 SITE PLAN
- DRB 2.1 FIRST FLOOR PLAN
- DRB 2.2 SECOND FLOOR PLAN
- DRB 2.3 ROOF PLAN

DRB 2.4 GRADING PLAN

- DRB 2.5 ENLARGE SIDE YARD SECTIONS
- DRB 3.0 EXTERIOR ELEVATIONS
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- DRB 3.3 LONGITUDINAL BUILDING SECTIONS
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- DRB 4.1 FRONT SOUTH CORNER RENDERING
- DRB 4.2 COURTYARD RENDERING
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- DRB 5.0 SUSTAINABILITY AND PROJECT INTENT
- DRB 5.1 MATERIAL AND FINISH BOARD
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LANDSCAPE

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- DRB L.2 LANDSCAPE PLAN
- DRB L.3 PLANT BOARD
- DRB L.4 LANDSCAPE DETAILS
- DRB L.5 HARDSCAPE PLAN
- DRB L.6 LANDSCAPE LIGHTING PLAN

FINAL SUBMITTAL
 DATE: 08/10/2020

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COVER SHEET

DRB 0.0



1. CONTEXT LOCATION PLAN
SCALE N.T.S.

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New Single Family Home
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CONTEXT LOCATION
PLAN , AERIAL VIEW

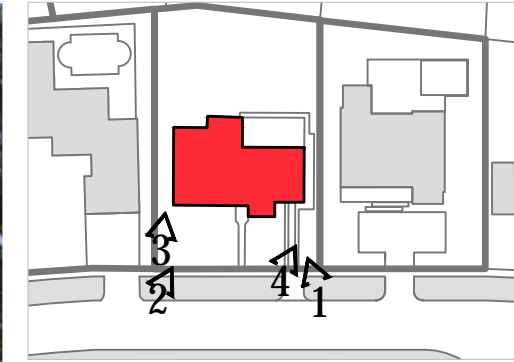
DRB 0.1



**1. FRONT EXISTING HOME
NORTH CORNER**



**2. FRONT EXISTING HOME
SOUTH CORNER**



KEY DIRECTIONAL PLAN



**3. SIDE 1 EXISTING HOME
SOUTH SIDE**



**4. SIDE 2 EXISTING HOME
NORTH CORNER**

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EXISTING HOME
PICTURES FRONT

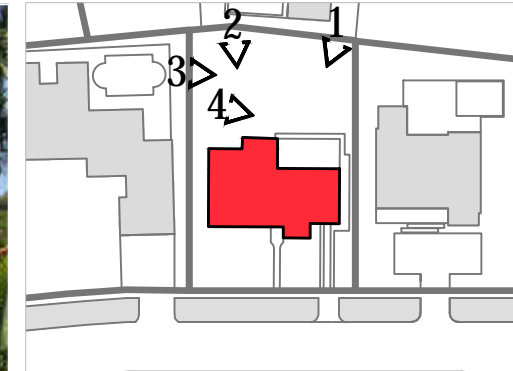
DRB 0.2



1. REAR EXISTING HOME
NORTH WEST CORNER



2. REAR EXISTING HOME



KEY DIRECTIONAL PLAN



3. REAR EXISTING HOME
SOUTH WEST CORNER



4. REAR EXISTING HOME
SOUTH WEST CORNER

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EXISTING HOME
PICTURES
REAR

DRB 0.3



1. EXISTING KITCHEN



2. EXISTING BEDROOM



3. EXISTING FAMILY ROOM



4. EXISTING DINING ROOM



5. EXISTING BATHROOM



6. EXISTING PORCH

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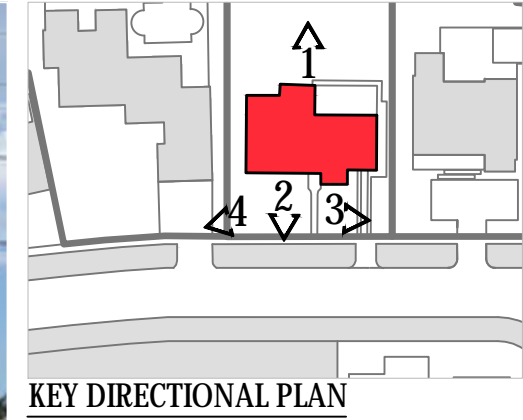
EXISTING HOME
PICTURES
INTERIORS
DRB 0.4



1. WEST VIEW FROM REAR



2. EAST VIEW FROM FRONT



3. NORTH VIEW FROM FRONT



4. SOUTH VIEW FROM FRONT

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CONTEXTUAL
 PICTURES

DRB 0.5



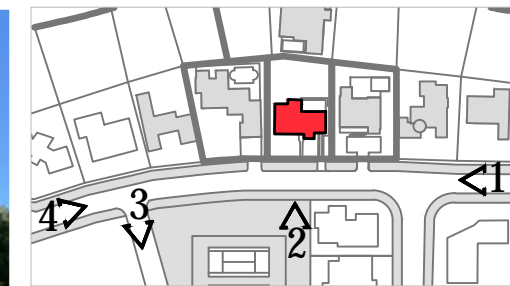
07/15/2020

**1. FROM NORTH TO SOUTH
MICHIGAN AVE**



07/15/2020

2. FROM THE TENNIS COURTS - VIEW OF THE MAJESTIC MAHOGANY TREE



KEY DIRECTIONAL PLAN



07/15/2020

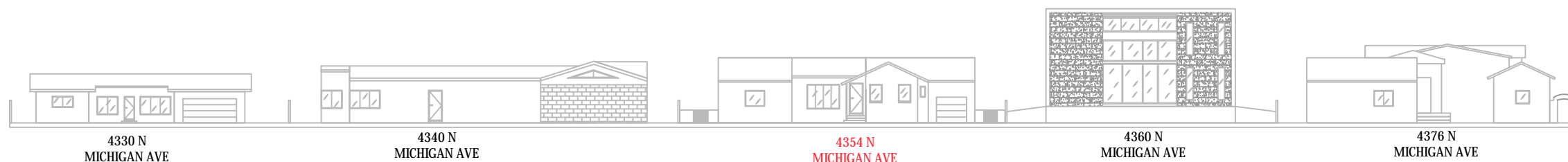
**3. FROM SOUTH TO NORTH
MICHIGAN AVE**



07/15/2020

**4. ENTRANCE TO ADJACENT PARK
AND PARKING LOT**

**5. CONTEXTUAL EAST ELEVATION
EXISTING**



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**New Single Family Home
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MIAMI BEACH, FL 33140**

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CONTEXTUAL
PICTURES
AND ELEVATION
DRB 0.6



07/15/2020

1. 4330 N MICHIGAN AVE



07/15/2020

2. 4340 N MICHIGAN AVE



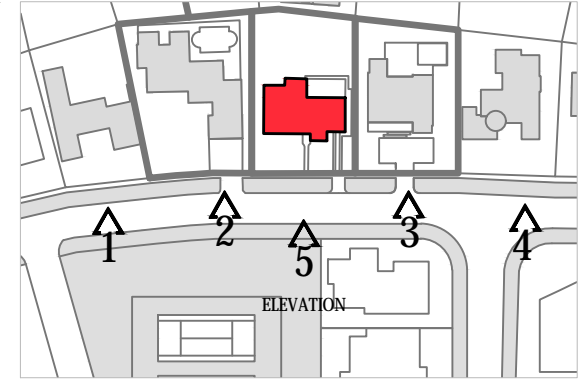
07/15/2020

3. 4360 N MICHIGAN AVE



07/15/2020

4. 4376 N MICHIGAN AVE



KEY DIRECTIONAL PLAN

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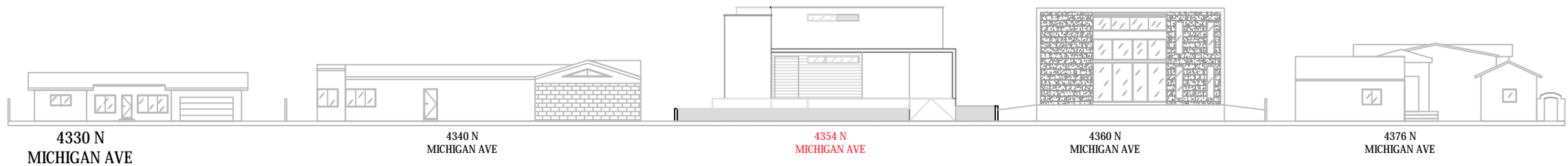
New Single Family Home
4354 N MICHIGAN AVE
MIAMI BEACH, FL 33140

FINAL SUBMITTAL
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CONTEXTUAL
 PICTURES AND
 ELEVATION
DRB 0.7

5. CONTEXTUAL EAST ELEVATION
 PROPOSED





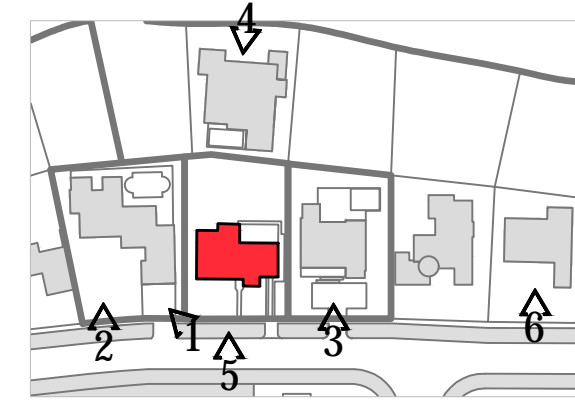
07/15/2020

**1. 4330 N MICHIGAN AVE PARK WAY
PROPERTY TO THE SOUTH SIDE OF PROJECT SUBJECT**



08/05/2020

**2. 4330 N MICHIGAN AVE FACADE
PROPERTY TO THE SOUTH OF PROJECT SUBJECT**



**ELEVATION
KEY DIRECTIONAL PLAN**

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SEAL

JOHN SACCO AR0004952

**New Single Family Home
4354 N MICHIGAN AVE
MIAMI BEACH, FL 33140**



07/15/2020

**3. 4365 N MICHIGAN AVE FACADE
PROPERTY TO THE NORTH SIDE OF PROJECT SUBJECT**



07/15/2020

**4. TWO STORY PROPERTY LOCATED ON THE WEST SIDE OF
PROJECT SUBJECT, FULL 2 STORY ON PROXIMITY OF SETBACK**



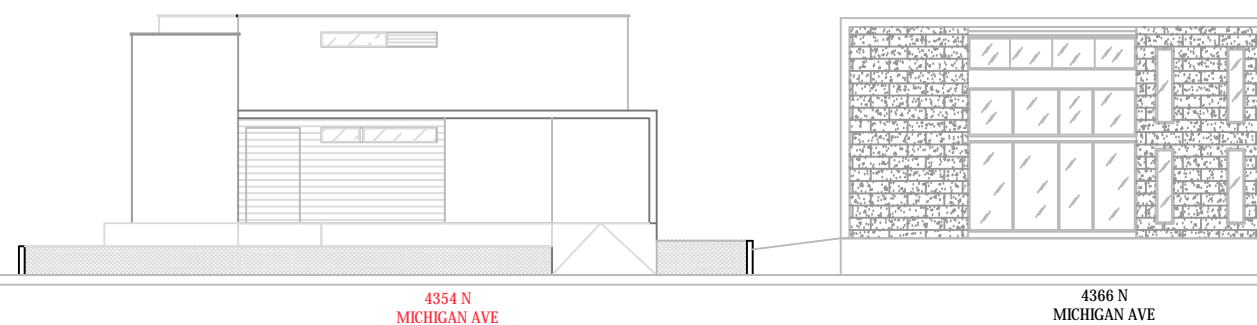
07/15/2020

**6. 4390 N MICHIGAN AVE - HISTORICAL HOME WITH
2 LEVEL "TOWER" VOLUME ON FRONT YARD**



**5. CONTEXTUAL EAST ELEVATION
PROPOSED**

4340 N
MICHIGAN AVE



4354 N
MICHIGAN AVE

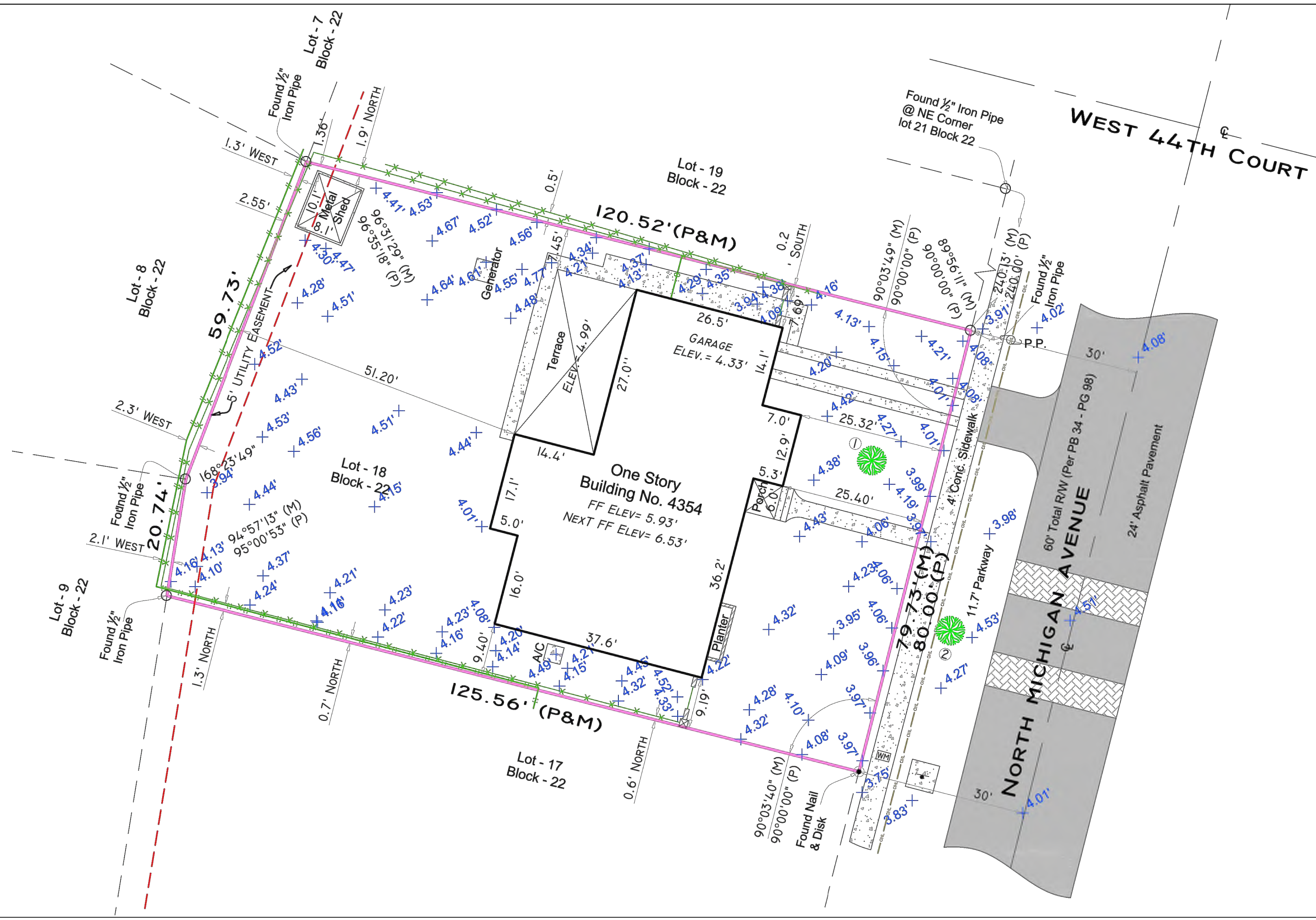
4366 N
MICHIGAN AVE

FINAL SUBMITTAL
DATE: 08/10/2020

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CONTEXTUAL
PICTURES AND
ELEVATION

DRB 0.8



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SEAL

JOHN SACCO AR0004952

New Single Family Home
4354 N MICHIGAN AVE
MIAMI BEACH, FL 33140

FINAL SUBMITTAL
DATE: 08/10/2020

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ENLARGE
SURVEY

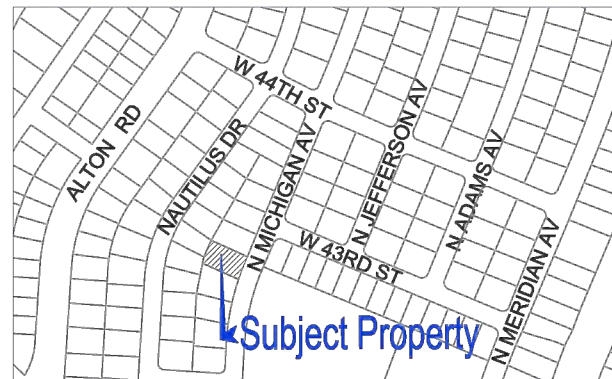
DRB 0.9E

MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY



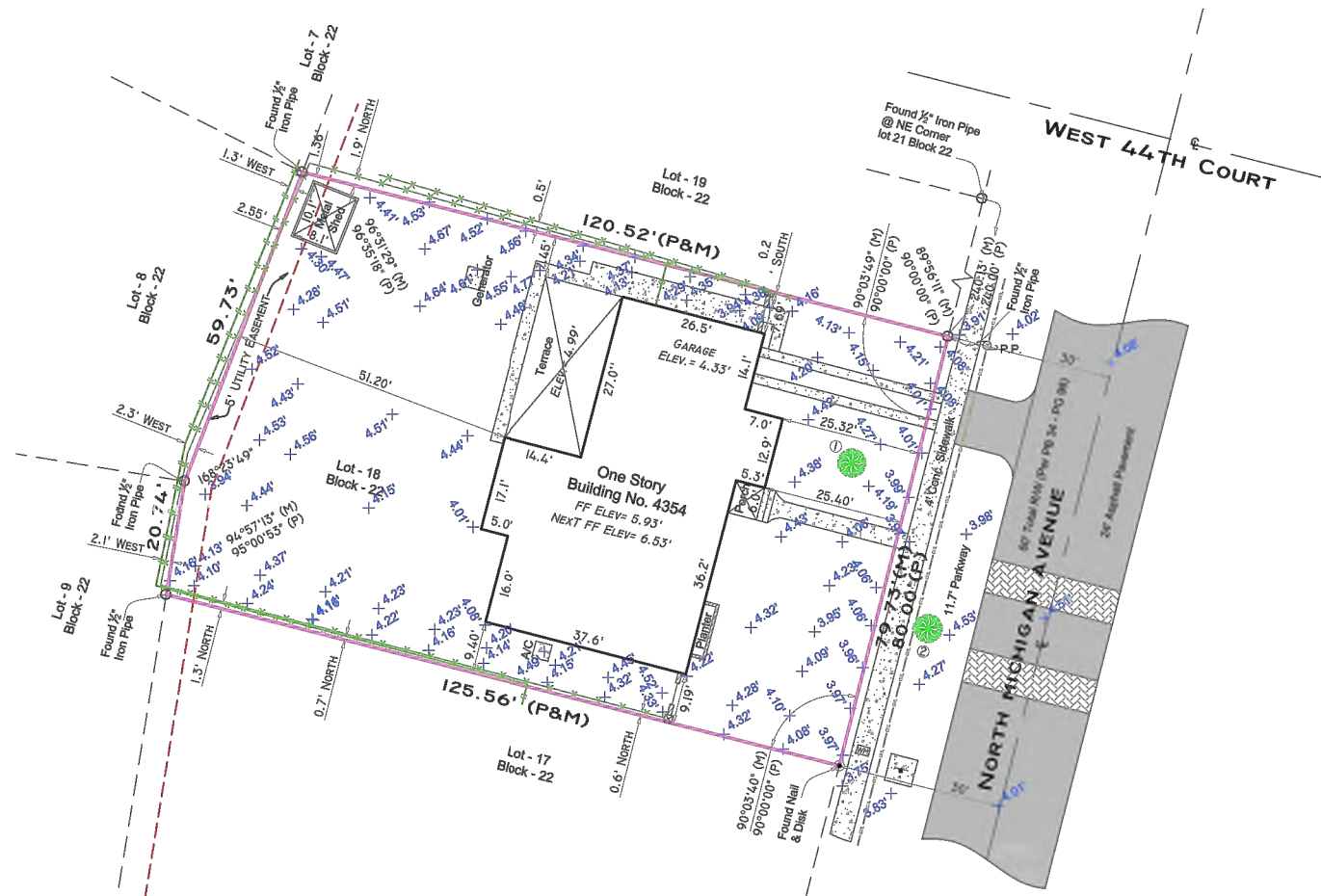
0 10 20
SCALE: 1" = 20'

LOCATION MAP NOT TO SCALE



A parcel of land being a portion of Section 22, Township 53 South, Range 42 East, Miami Beach, Miami-Dade County, Florida.

TREE CHART (Dimensions are Approximate)				
Tree #	Common Name	Trunk Diameter at Breast Height DBH(in)	Approximate Height (ft)	Approximate Canopy (ft)
1	Avocado	5	22	18
2	Oak	36	50	60



LEGEND & ABBREVIATIONS

- = CONCRETE (CONC.)
- = CONCRETE BLOCK WALL
- = WOOD DECK
- = COVERED AREA
- = ASPHALT
- = TILE
- = PAVERS
- = STONE
- = CHAIN LINK FENCE (CLF)
- = WOOD FENCE (WF)
- = IRON METAL BARS FENCE (IF)
- = OVERHEAD WIRES
- = WATER VALVE (WV)
- = POWER POLE (PP)
- = GUY ANCHOR
- = WATER METER (WM)
- = CONC. LIGHT POLE (LP)
- = WELL
- = STREET SIGN
- = SANITARY MANHOLE
- = DRAINAGE MANHOLE
- = MANHOLE
- = FIRE HYDRANT
- = CABLE BOX (CATV)
- = FPL TRANSFORMER
- = CATCH BASIN OR INLET
- = EXISTING ELEVATION
- = PERMANENT REFERENCE MONUMENT (PRM)
- = PROPERTY CORNER
- = PERMANENT CONTROL POINT (PCP)
- PT = POINT OF TANGENCY
- PC = POINT OF CURVATURE
- PCC = POINT OF COMPOUND CURVE
- PRC = POINT OF REVERSE CURVE
- BM = BENCH MARK
- BR = BEARING REFERENCE
- TBM = TEMPORARY BENCH MARK
- PL = PROPERTY LINE
- CL = CENTER LINE
- ML = MONUMENT LINE
- BL = BASE LINE
- MEAS = FIELD MEASURED
- P = PER PLAT
- PSM = PROFESSIONAL SURVEYOR AND MAPPER
- A/C = AIR CONDITIONER PAD
- ENCR = ENCROACHMENT
- FF ELEV = FINISHED FLOOR ELEVATION
- (XX-XX) = DENOTES PLAT BOOK XX - PAGE XX
- ORB = OFFICIAL RECORD BOOK
- CBS = CONCRETE BLOCK STRUCTURE
- R/W = RIGHT OF WAY
- ELEV = ELEVATION
- SEC = SECTION
- T = TOWNSHIP
- R = RANGE
- CALC = CALCULATED

LEGAL DESCRIPTION:
Lot 18, Block 22, NAUTILUS EXTENSION THIRD, according to the plat thereof, as recorded in Plat Book 34, Page 98, of the Public Records of Dade County, Florida.

SURVEYOR'S REPORT AND GENERAL NOTES (Not valid without the attached Survey Map)

- Legal Description has been furnished by the client.
- References to "Deed", "Record" or "Plat" refer to documents and instruments of record as part of the pertinent information used for this survey work. Measured distances, directions and angles along boundary lines are in consistency with corresponding values from records, unless otherwise shown.
- These lands are subject to additional restrictions of record that were not furnished to the undersigned registered surveyor. A title search has not been performed by the surveyor.
- North arrow direction is based on an assumed Meridian. Bearings are based on a well-established line, said line is being noted as BR on the Survey Map.
- Only above ground improvements are shown herein. Foundations, underground features and utilities have not been located.
- Survey markers found in the field have no identification unless otherwise shown. Any survey marker set by our company is labeled LB 7262 or PSM 6169.
- Fence ownership has not been determined. Distances from existing fences to boundary lines are approximate. Fence/walls width and conditions must be considered to determine true location. Lands located beyond perimeter fences might or might not be being used by adjoining. Adjoining parcels have not been investigated.
- This Survey Map is intended to be displayed at the scale shown hereon. Data is expressed in U.S. Survey Foot.
- This Survey Map is being prepared for the use of the party/parties that it is certified to and does not extend to any unnamed individual, entity or assignee.
- FLOODPLAIN INFORMATION:** As scaled from Federal Insurance Rate Map (FIRM) of Community No. 120651(City of Miami Beach), Panel 0309, Suffix L, revised on Sept 11th, 2009, this real property falls in Zone "AE" with Base Flood Elevation 7 feet (NGVD 1929)
- HORIZONTAL ACCURACY:** Accuracy obtained thru measurements and calculations meets and exceeds the minimum horizontal feature accuracy for a Suburban area being equal to 1 foot in 7, 500 feet.
- VERTICAL CONTROL AND ACCURACY:** The elevations as shown are referred to the National Geodetic Vertical Datum of 1929 (NGVD 1929). The closure in feet, as computed, meets the standard of plus or minus 0.05 feet times the squared root of the loop distance in miles. Elevation are based on a level loop from and to the following official Bench Marks:
Bench Mark # 1: Miami-Dade County Public Works Department Bench Mark D-157-R,
Elevation = 4.93 feet (NGVD 1929).
Bench Mark # 2: Miami-Dade County Public Works Department Bench Mark D-106,
Elevation = 73.21feet (NGVD 1929)

Note:
Area Lot is 9967.80'

I HEREBY CERTIFY TO:
Peter Lipsick; Desiree D.
That this Survey conforms to the Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers in applicable provisions of chapter 5J-17, Florida administrative code pursuant to Section 472.027 Florida Statutes. This Survey is accurate and correct to the best of my knowledge and belief.

Digitally signed
by Odalys C Bello
Date: 2020.08.03
17:59:34 -04'00'

Odalys C. Bello-Iznaga
Professional Surveyor and Mapper LS6169 - State of Florida
Field Work Date: 07/14/2020



BELLO & BELLO LAND SURVEYING
12230 SW 131 AVENUE • SUITE 201 • MIAMI FL 33186
Phone: 305.251.9606 • Fax: 305.251.6057 • LB#7262
e-mail: info@belloland.com • www.bellolandsurveying.com



Additional and deletions to this Survey Map are prohibited. This Survey Map and Report are not valid without the signature and original raised seal or without the authenticated electronic signature and seal of the undersigned Florida licensed Surveyor and Mapper.

Property Address:
4354 North Michigan Avenue, Miami Beach, Florida 33140
Project No. 20810

GAIA/S DESIGN
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OWNER
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703.963.4438 jc@citylendinginc.com

LANDSCAPE ARCHITECT
Diego Vanderbiest
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(305) 528-4001
SEAL

RC
SEAL
JOHN SACCO AR0004952

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ORIGINAL SURVEY

DRB 0.9

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	4354 N MICHIGAN AVE		
2	Folio number(s):	02-3222-008-0450		
3	Board and file numbers :	DRB20-0564		
4	Year built:	1940	Zoning District:	RS-4
5	Based Flood Elevation:	8.0	Grade value in NGVD:	3.97
6	Adjusted grade (Flood+Grade/2):	5.985	Free board:	2.0
7	Lot Area:	9,967.80 SF		
8	Lot width:	80'	Lot Depth:	120.52' - 125.56'
9	Max Lot Coverage SF and %:	2,990.34 SF 30%	Proposed Lot Coverage SF and %:	2,748.85 SF /27.57%
10	Existing Lot Coverage SF and %:	2,710.31 SF 27.19%	Lot coverage deducted (garage-storage) SF:	0
11	Front Yard Open Space SF and %:	958.33 SF 59.9%	Rear Yard Open Space SF and %:	1257.54 SF 78.13%
12	Max Unit Size SF and %:	4,983.90 SF 50%	Proposed Unit Size SF and %:	3,933.48 SF /39.46%
13	Existing First Floor Unit Size:	2,710.31 SF 27.88%	Proposed First Floor Unit Size:	2006.5 SF / 20.12%
14	Existing Second Floor Unit Size	0%	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	
15			Proposed Second Floor Unit Size SF and % :	1,926.98 SF / 19.33%
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A

		Required	Existing	Proposed	Deficiencies
17	Height:		10' TO 15'	24'	
18	Setbacks:				
19	Front First level:	30'	25.22'	34.02' TO 37.35'	
20	Front Second level:	30'	N/A	34.02' TO 37.35'	
21	Side 1:	10'	7.72'	10'	
22	Side 2 or (facing street):	10'	9.18'	12.26' TO 14.88'	
23	Rear:	20'	53'	21.08' TO 26.83'	
	Accessory Structure Side 1:	N/A			
24	Accessory Structure Side 2 or (facing street) :	N/A			
25	Accessory Structure Rear:	7.5'	1'	N/A	
26	Sum of Side yard :	20'	16.9'	22.26'	

27	Located within a Local Historic District?	Yes or <input checked="" type="checkbox"/>
28	Designated as an individual Historic Single Family Residence Site?	Yes or <input checked="" type="checkbox"/>
29	Determined to be Architecturally Significant?	Yes or <input checked="" type="checkbox"/>

Notes:
 If not applicable write N/A
 All other data information should be presented like the above format

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 786.777.8716 gaia@gaiadesign.com
 OWNER
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 703.963.4438 jc@citylendinginc.com

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DIEGO J. VANDERBIEST
 RLA #6667355
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SEAL

JOHN SACCO AR0004952

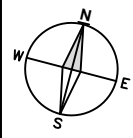
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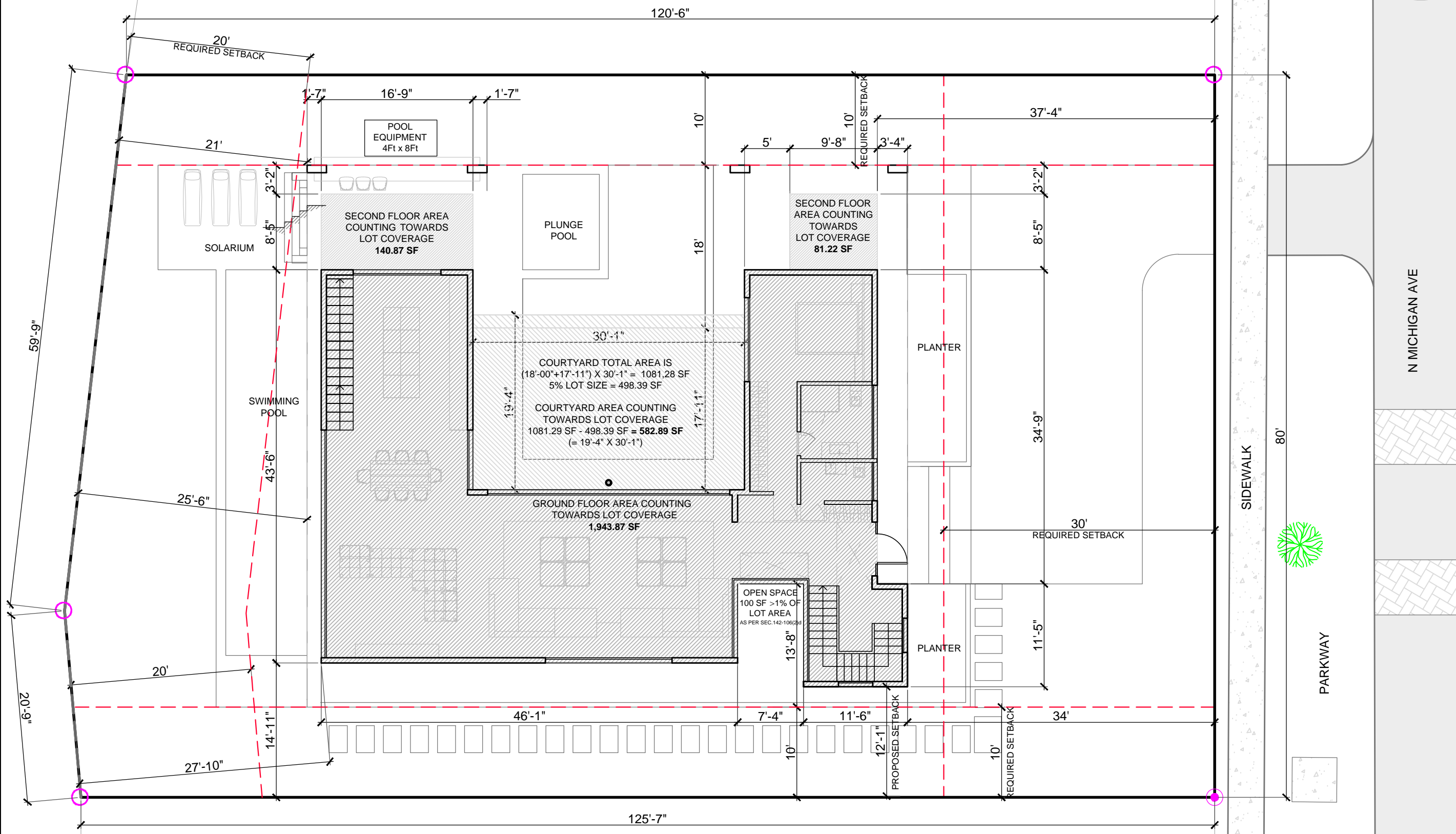
ZONING DATA SHEET

DRB 1.0



- GROUND FLOOR AREA COUNTING TOWARDS LOT COVERAGE
- SECOND FLOOR AREA COUNTING TOWARDS LOT COVERAGE
- COURTYARD AREA COUNTING TOWARDS LOT COVERAGE

LOT COVERAGE CALCULATION
 1,943.87 SF + 140.87 SF + 81.22 SF
 + 582.89 SF = **2,748.85 SF / 27.57%**



1. PROPOSED HOME LOT COVERAGE SHADED DIAGRAM
 SCALE 3/32" = 1'-0"

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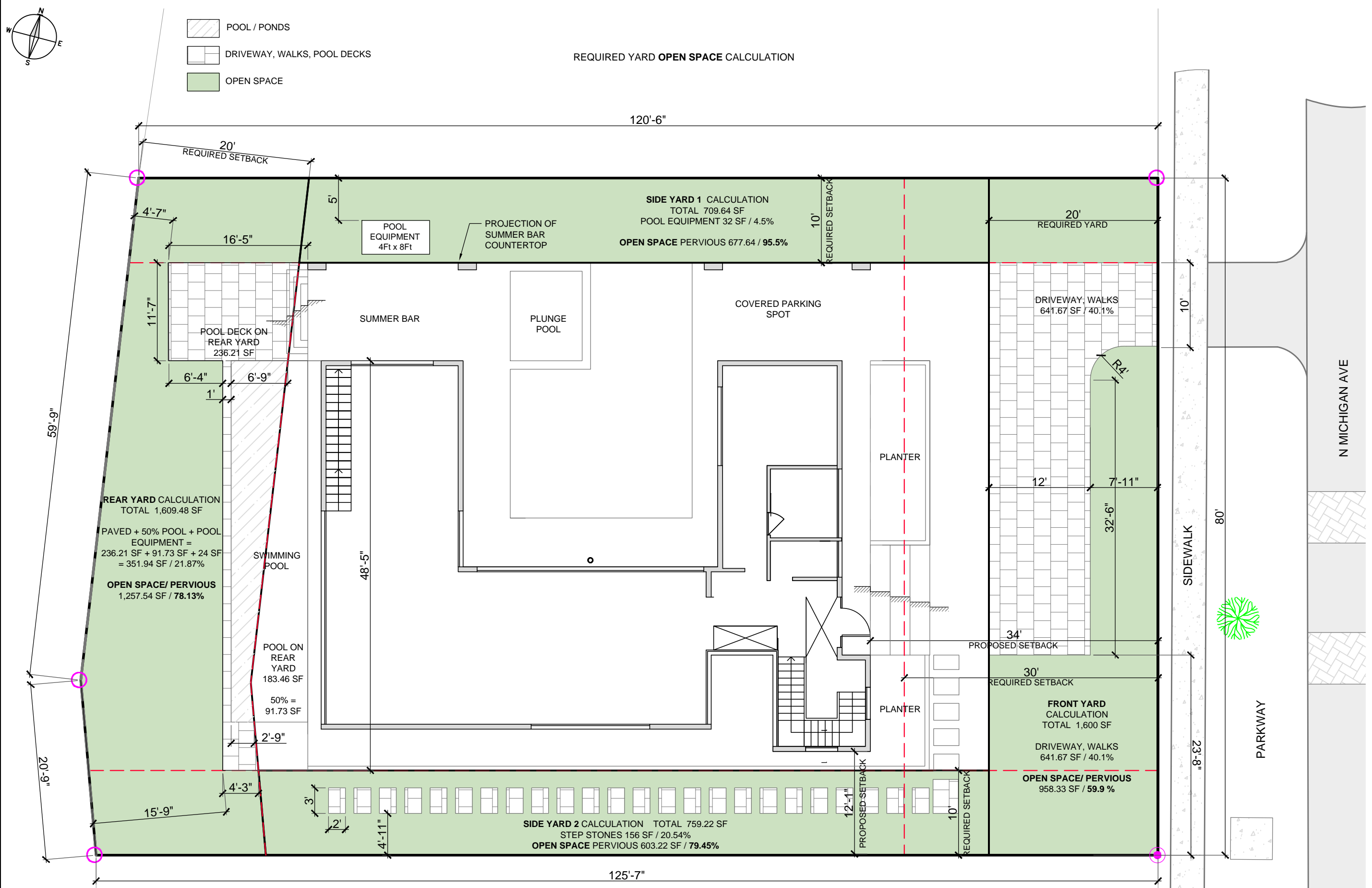
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LOT COVERAGE
 SHADED DIAGRAM

DRB 1.1



1. PROPOSED YARD OPEN SPACE/PERVIOUS AREA SHADED DIAGRAM
 SCALE 3/32" = 1'-0"

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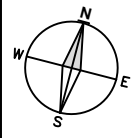
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PROPOSED YARD OPEN SPACE DIAGRAM

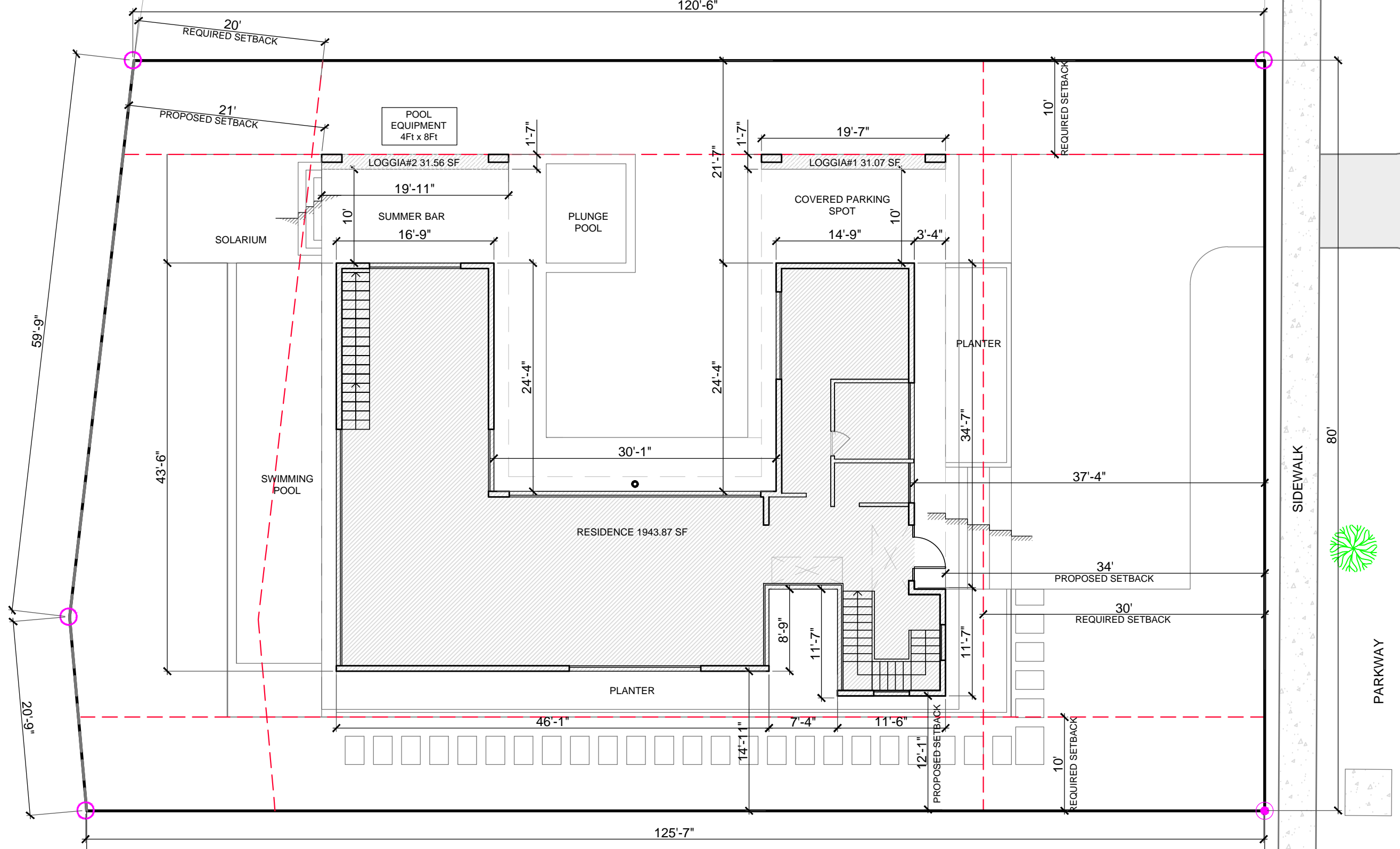
DRB 1.2



 RESIDENCE
 BALCONY, TERRACES, LOGGIAS

**UNIT SIZE CALCULATION
GROUND FLOOR**

RESIDENCE 1943.87 SF +
 LOGGIA#1 31.07 SF +
 LOGGIA#2 31.56 =
2,006.5 SF / 20.12% LOT AREA
 120'-6"



1. PROPOSED HOME GROUND FLOOR UNIT SIZE SHADED DIAGRAM
 SCALE 3/32" = 1'-0"

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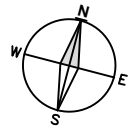
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PROPOSED
 GROUND FLOOR
 UNIT SIZE
DRB 1.3

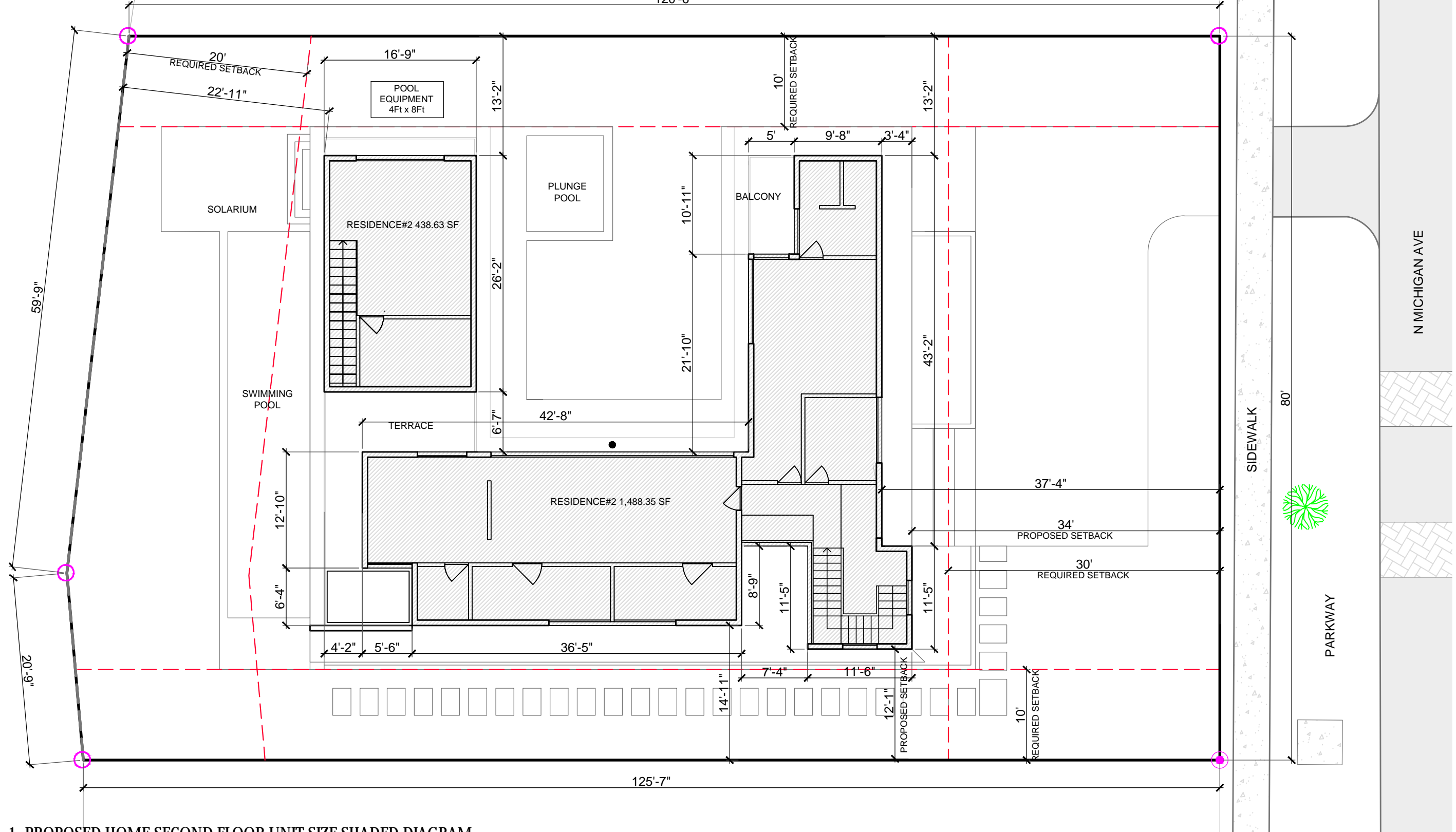


UNIT SIZE CALCULATION SECOND FLOOR

RESIDENCE#1 1488.35 SF +
RESIDENCE#2 438.63 SF =
1,926.98 SF / 19.33% LOT AREA

120'-6"

RESIDENCE



1. PROPOSED HOME SECOND FLOOR UNIT SIZE SHADED DIAGRAM
SCALE 3/32" = 1'-0"

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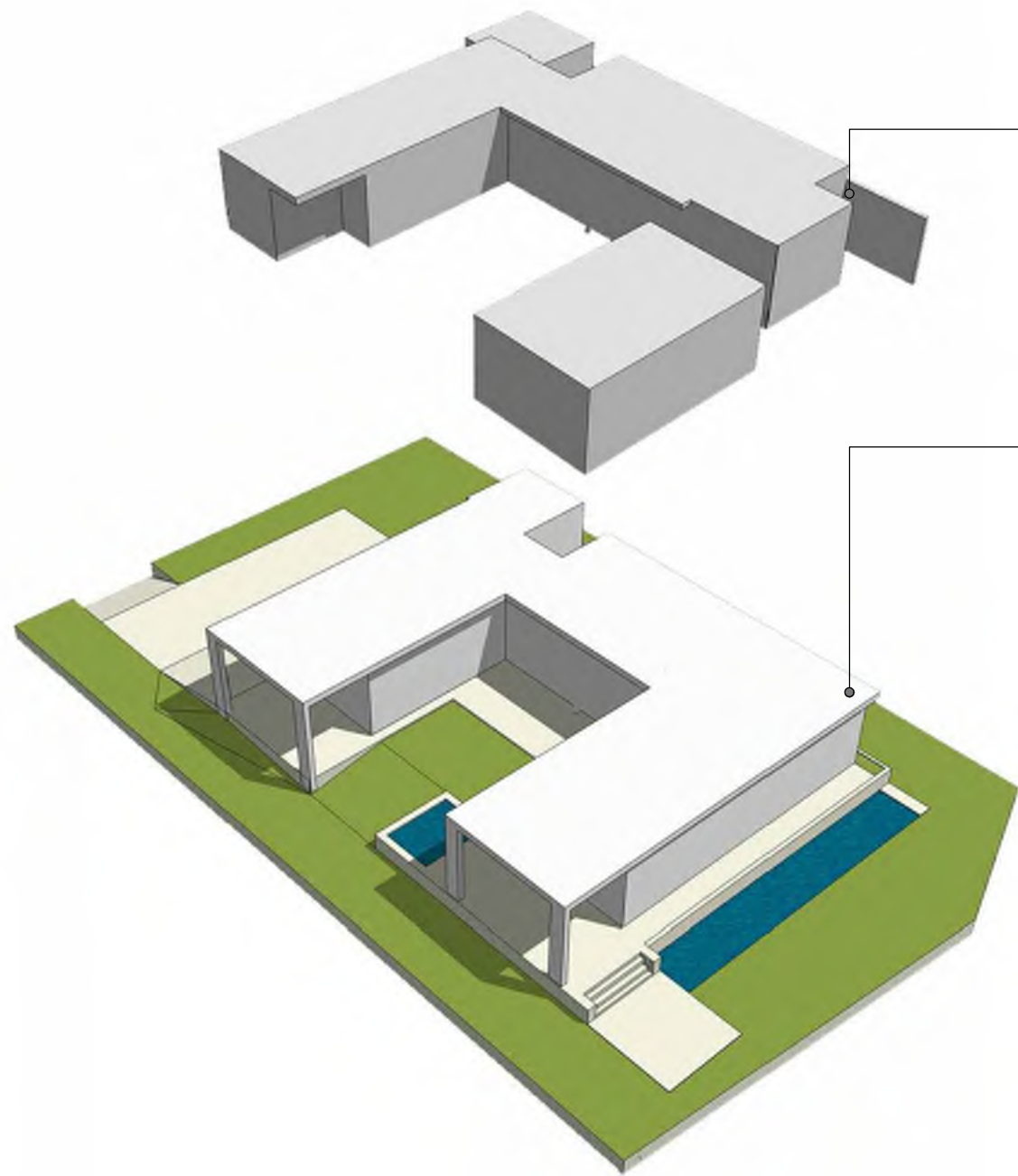
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PROPOSED
SECOND FLOOR
UNIT SIZE

DRB 1.4



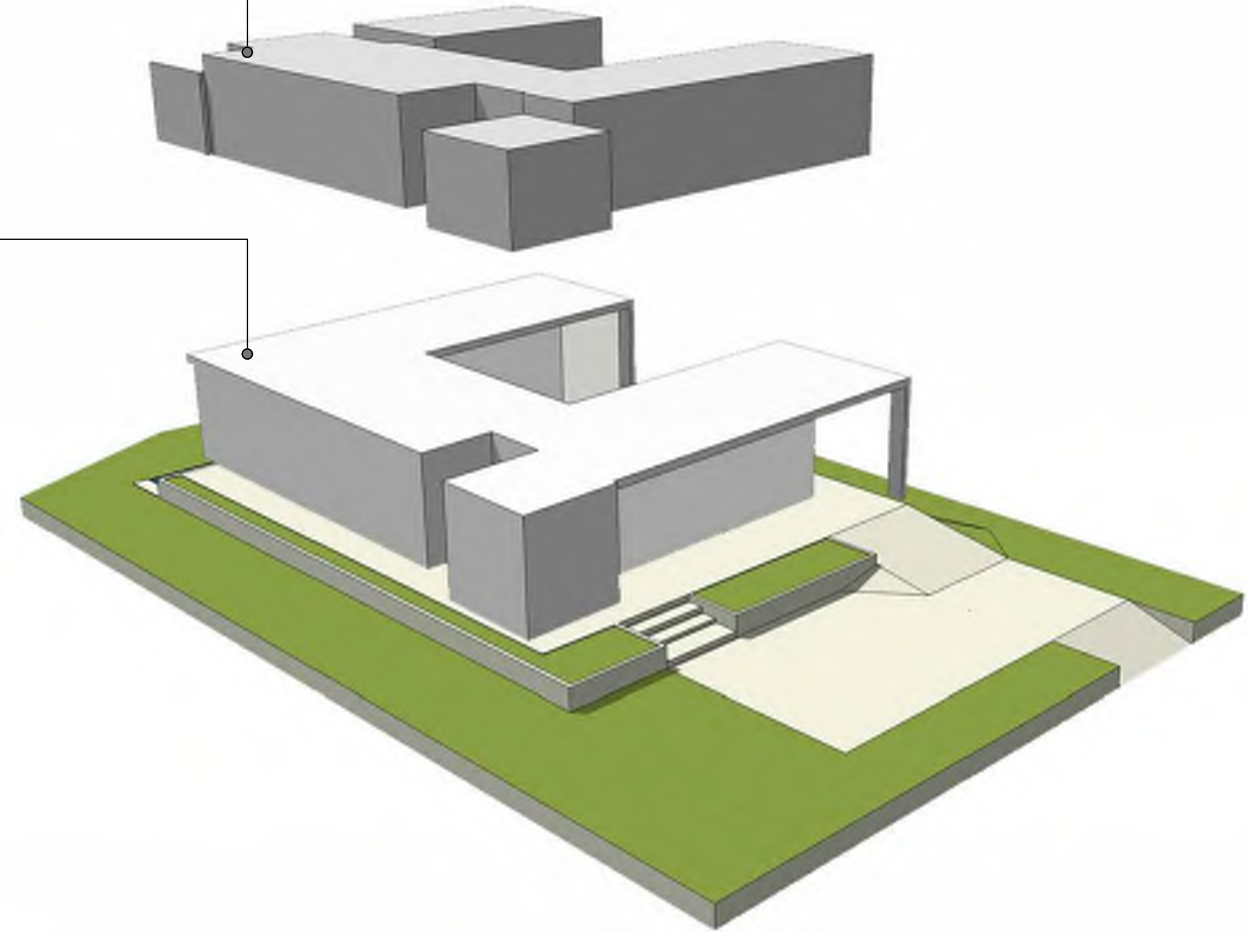
Proposed
Second Floor Unit Size SF
1,926.98 SF
19.33% LOT AREA

Proposed
Ground Floor Unit Size
2,006.5 SF
20.12% LOT AREA

The Unit Size of the
Second Floor accounts for
the 96.03% of the Unit
Size of the Ground Floor.

See DESIGN WAIVER
for Volume of Second
Floor exceeding 70% of
Volume when Lot
Coverage is greater than
25% of Ground Floor
on DRB 6.0

**1. PROPOSED HOME EXPLODED AXONOMETRIC DIAGRAM
FROM NORTH WEST CORNER**



**2. PROPOSED HOME EXPLODED AXONOMETRIC DIAGRAM
FROM SOUTH EAST CORNER**

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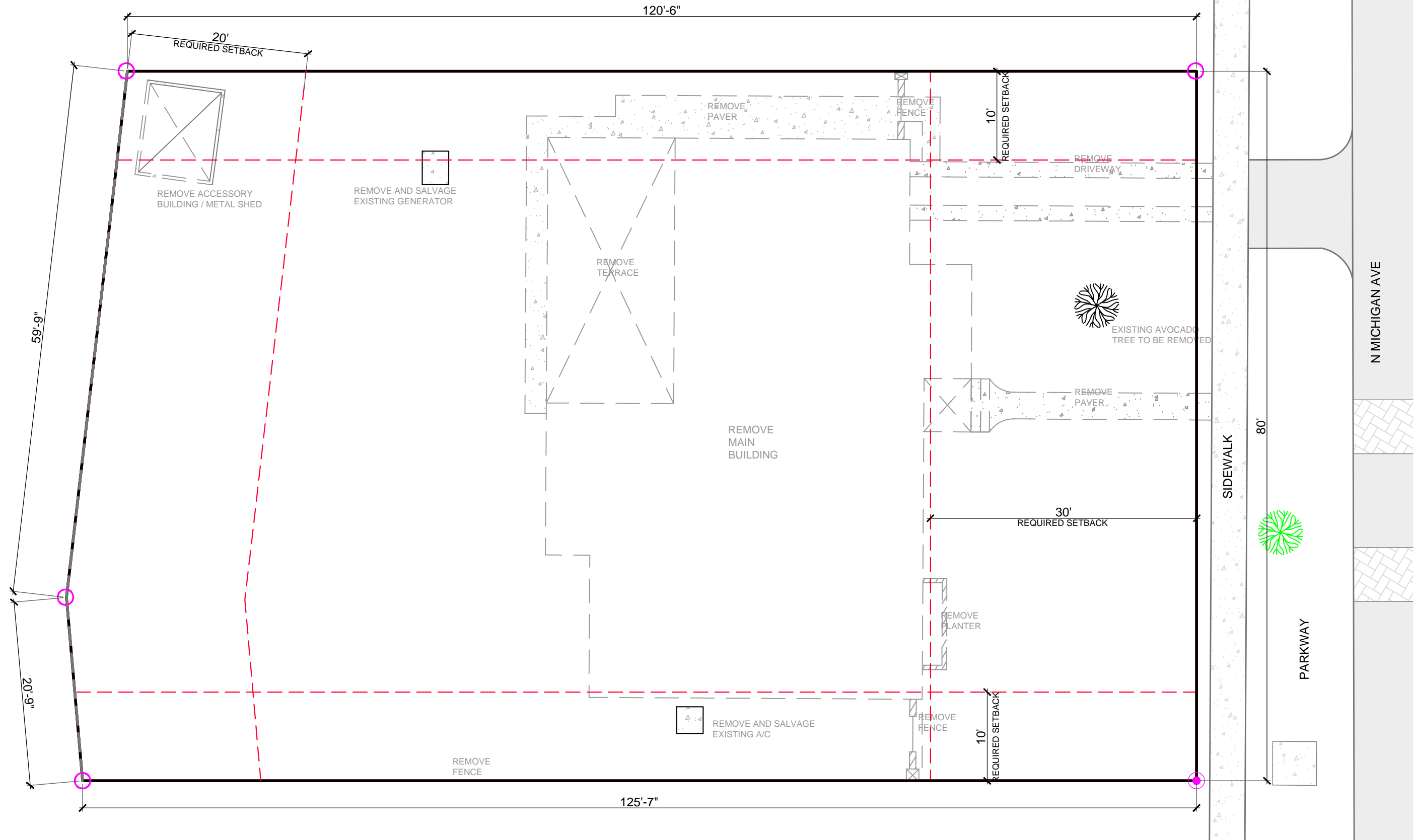
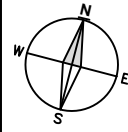
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EXPLODED
AXONOMETRIC
DIAGRAM

DRB 1.5



1. DEMOLITION PLAN
SCALE 3/32" = 1'-0"

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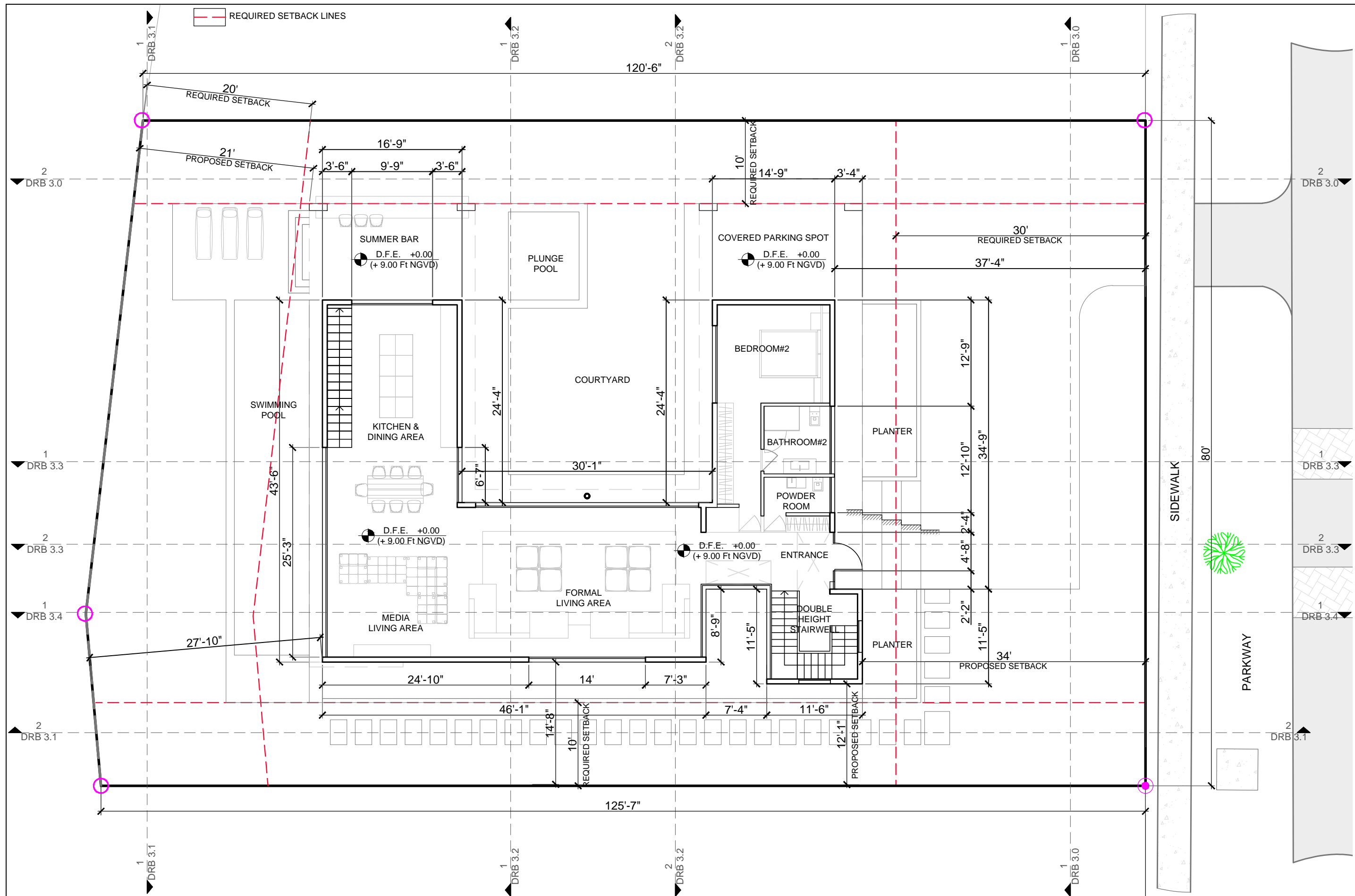
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DEMOLITION PLAN

DRB 1.6



1. PROPOSED GROUND FLOOR PLAN
SCALE 3/32" = 1'-0"

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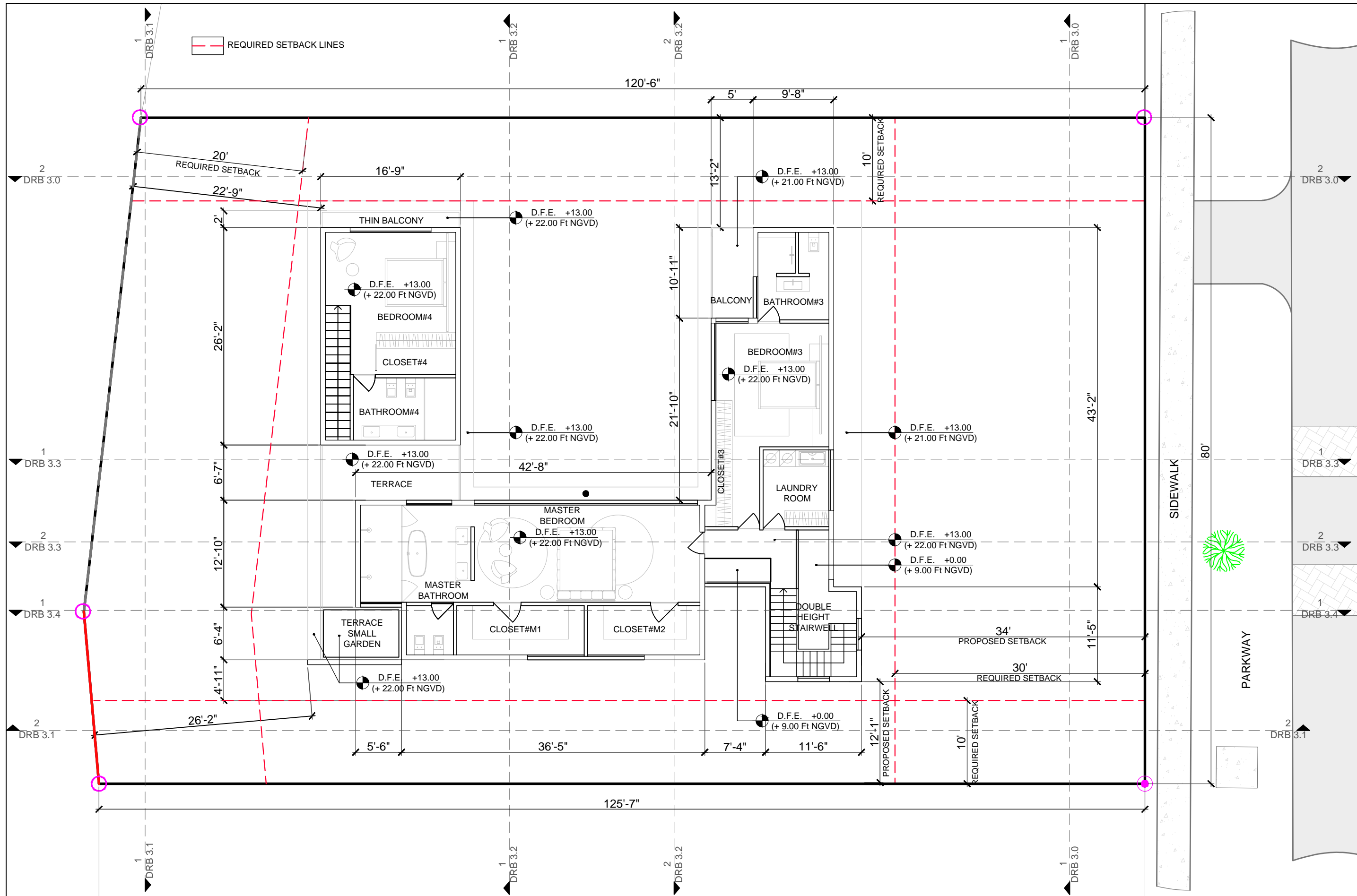
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PROPOSED
GROUND FLOOR
PLAN
DRB 2.1



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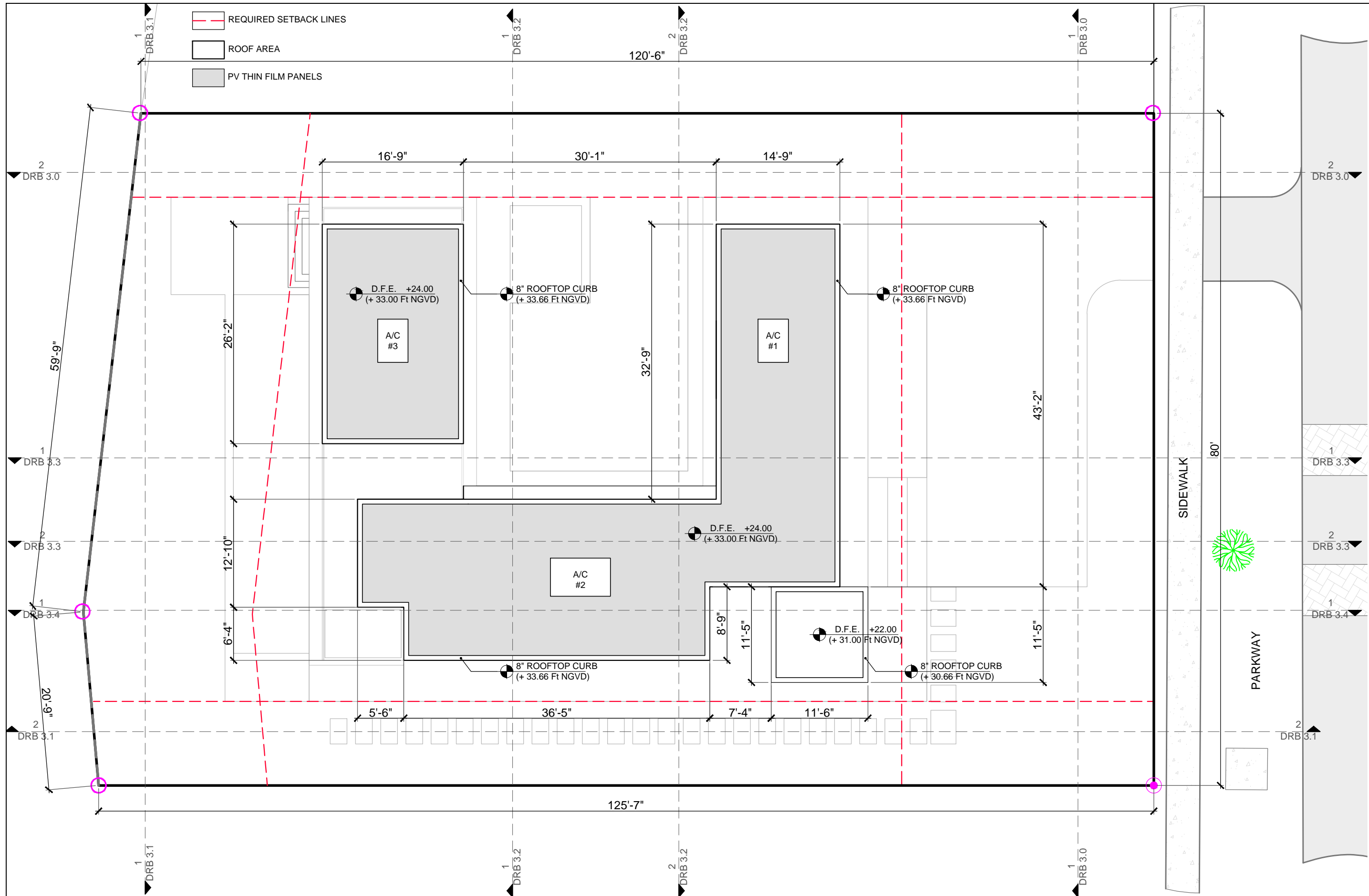
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PROPOSED
 SECOND FLOOR
 PLAN
DRB 2.2

1. PROPOSED SECOND FLOOR PLAN
 SCALE 3/32" = 1'-0"



- REQUIRED SETBACK LINES
- ROOF AREA
- PV THIN FILM PANELS

1. PROPOSED ROOF PLAN
SCALE 3/32" = 1'-0"

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

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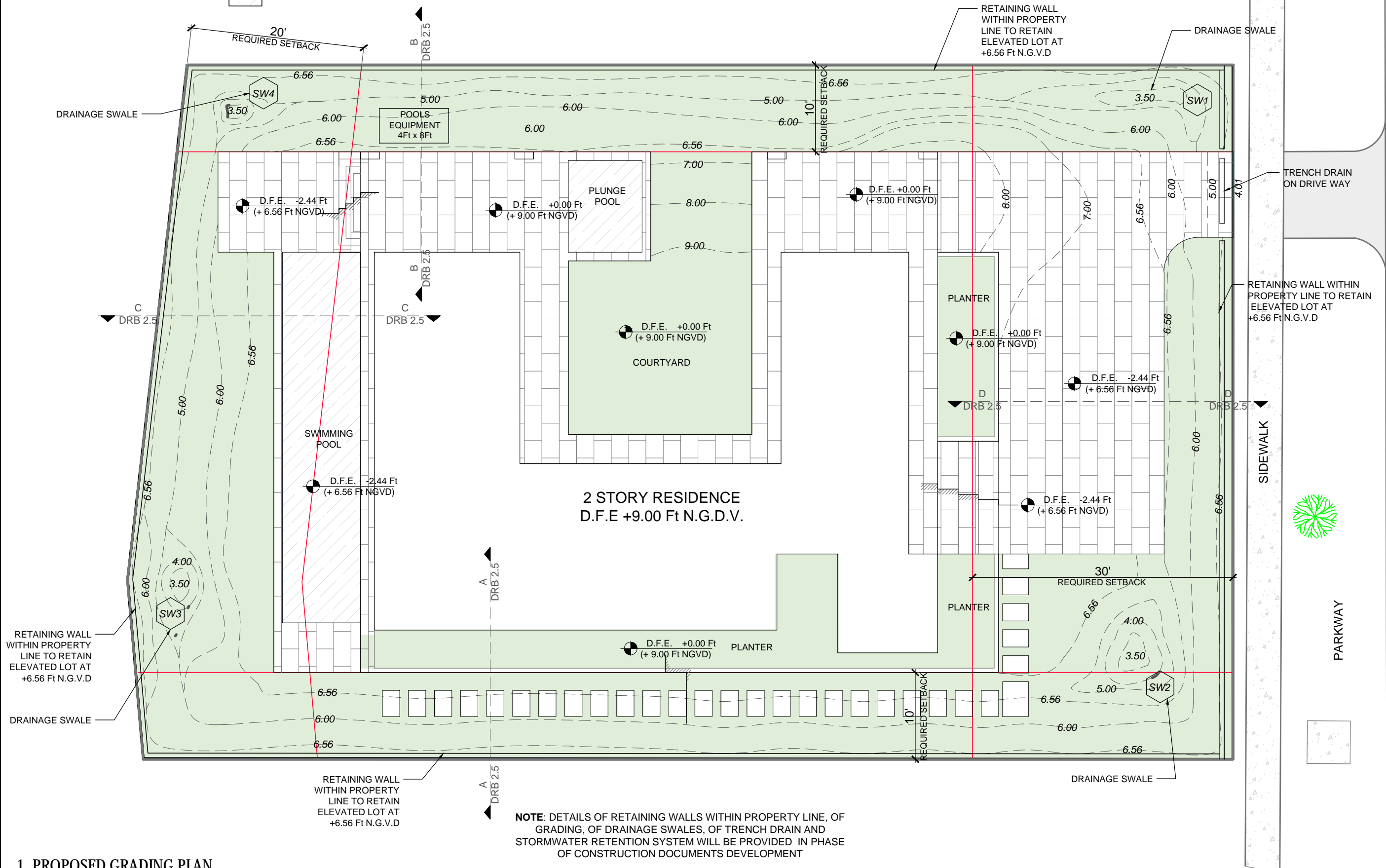
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PROPOSED
ROOF PLAN

DRB 2.3

-  LANDSCAPE
-  PAVERS, DECK, DRIVEWAY
-  POOL



NOTE: DETAILS OF RETAINING WALLS WITHIN PROPERTY LINE, OF GRADING, OF DRAINAGE SWALES, OF TRENCH DRAIN AND STORMWATER RETENTION SYSTEM WILL BE PROVIDED IN PHASE OF CONSTRUCTION DOCUMENTS DEVELOPMENT

1. PROPOSED GRADING PLAN
SCALE 3/32" = 1'-0"

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JOHN SACCO AR0004952

New Single Family Home
4354 N MICHIGAN AVE
MIAMI BEACH, FL 33140

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PROPOSED
GRADING PLAN AND
SIDE YARD SECTIONS
DRB 2.4

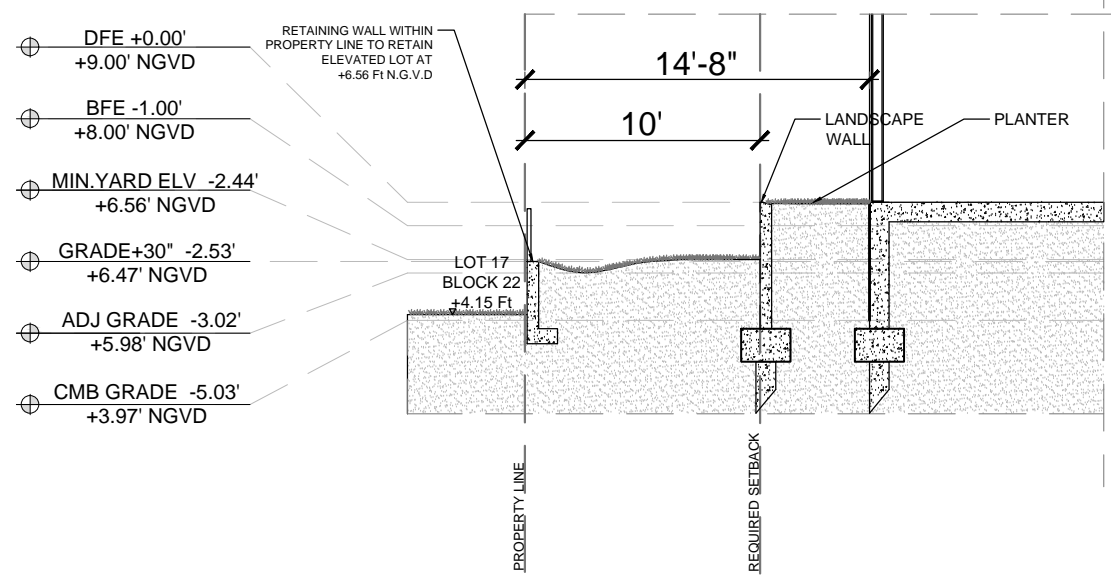


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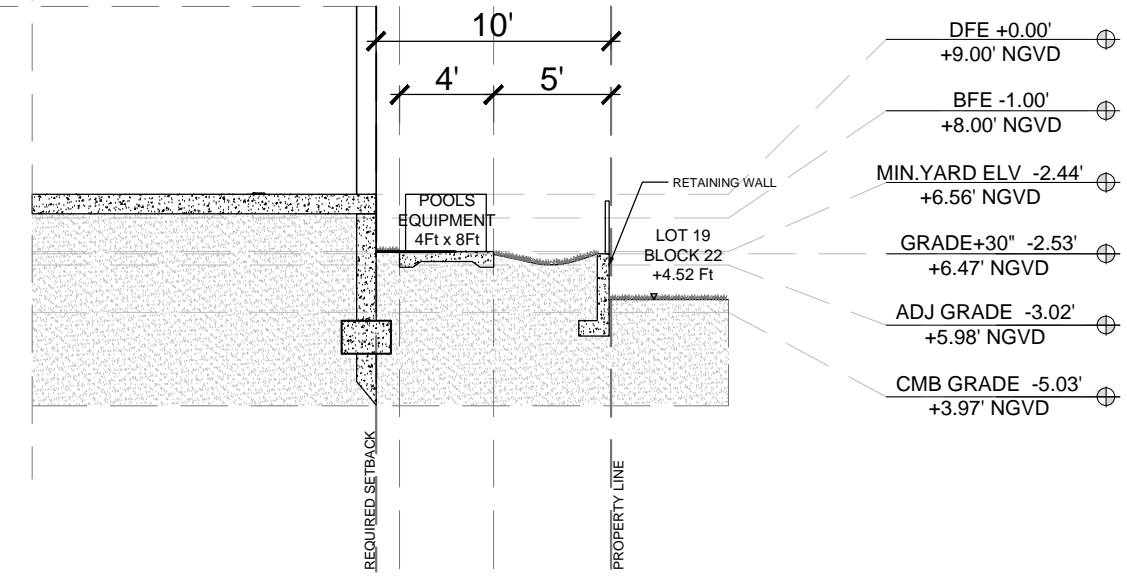
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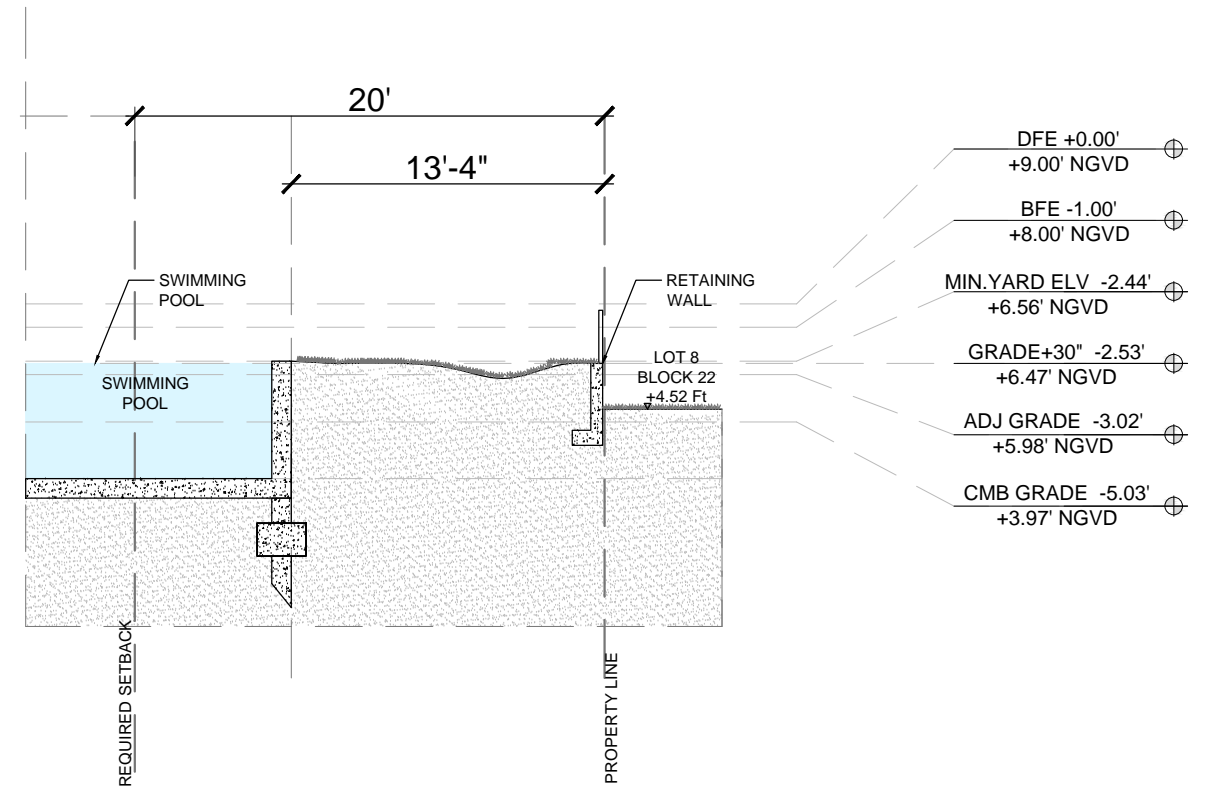
PROPOSED
 ENLARGE SIDE YARD
 SECTIONS
DRB 2.5



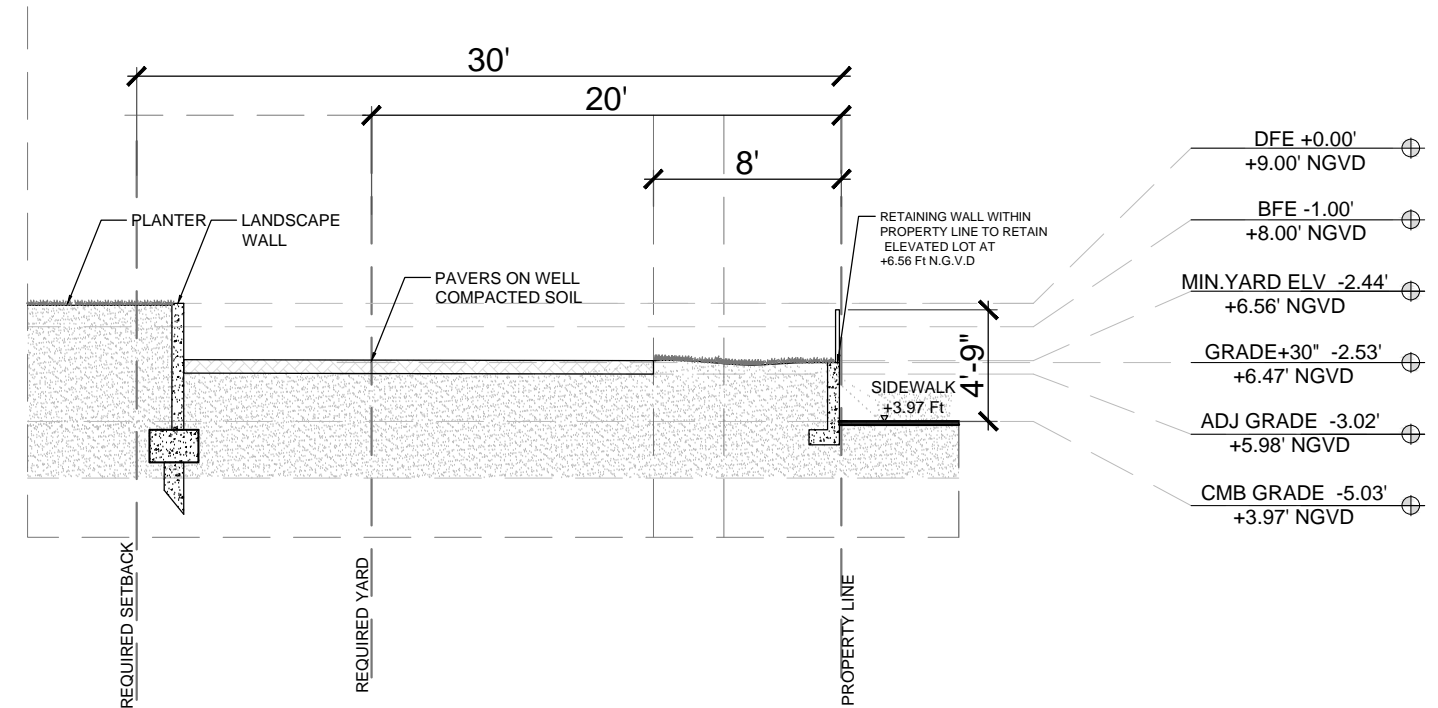
A-A. ENLARGE SIDE 2 YARD SECTION
 SCALE 1/8" = 1'-0"



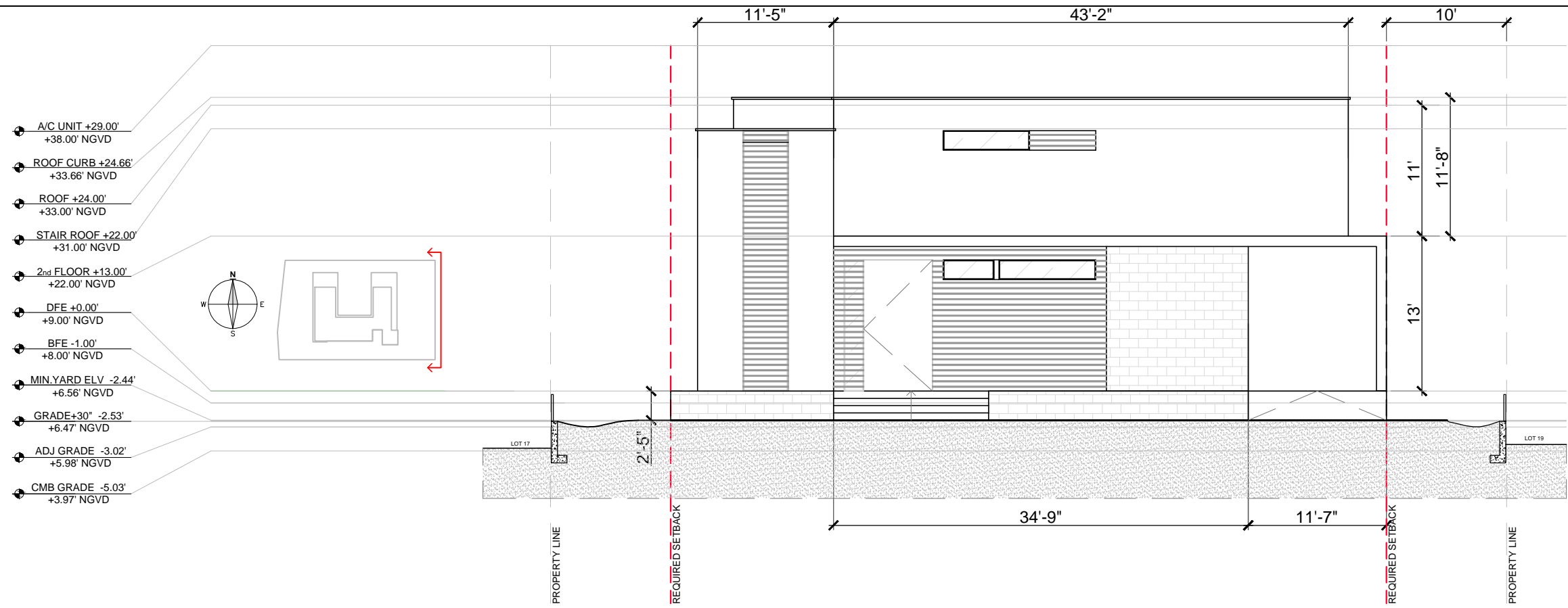
B-B. ENLARGE SIDE 1 YARD SECTION
 SCALE 1/8" = 1'-0"



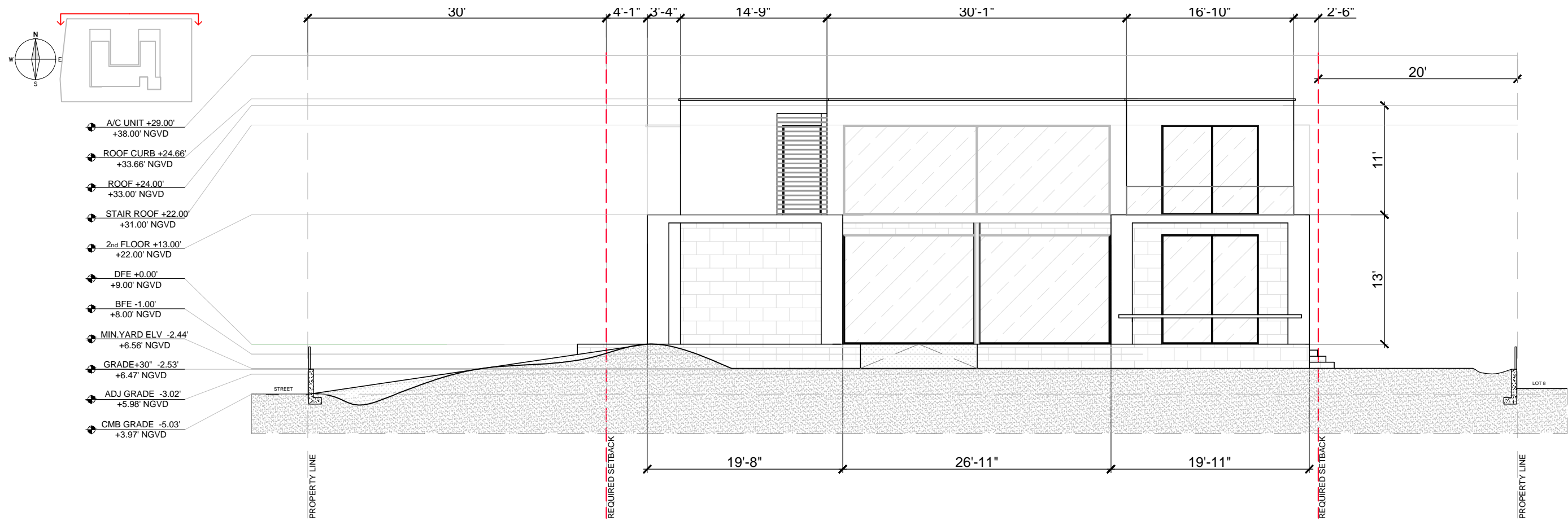
C-C. ENLARGE REAR YARD SECTION
 SCALE 1/8" = 1'-0"



D-D. ENLARGE FRONT YARD SECTION
 SCALE 1/8" = 1'-0"



1. EAST/FRONT ELEVATION
SCALE 3/32" = 1'-0"



2. NORTH / SIDE ELEVATION
SCALE 3/32" = 1'-0"

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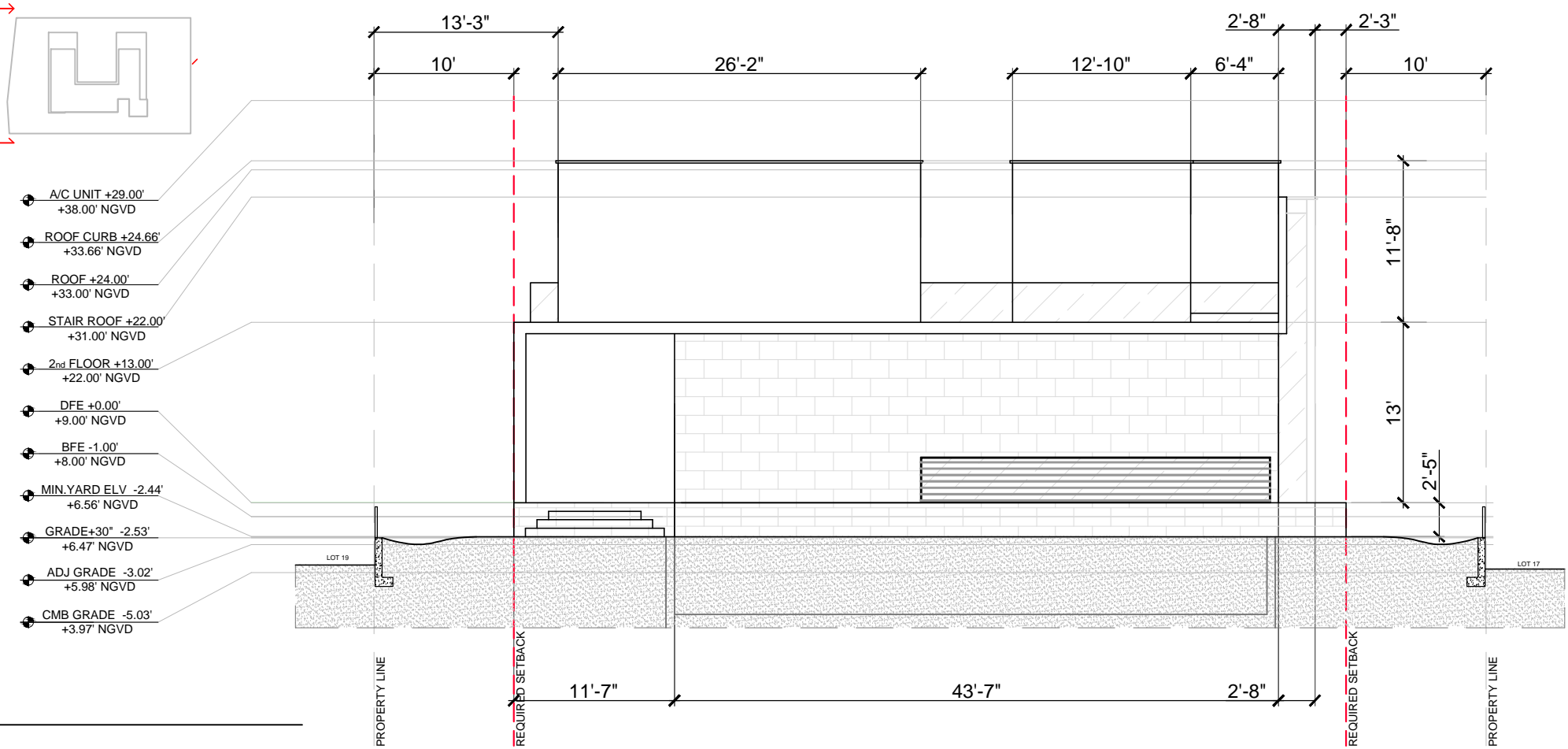
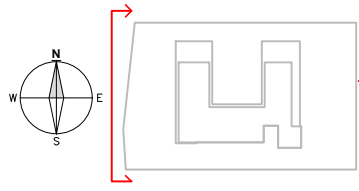
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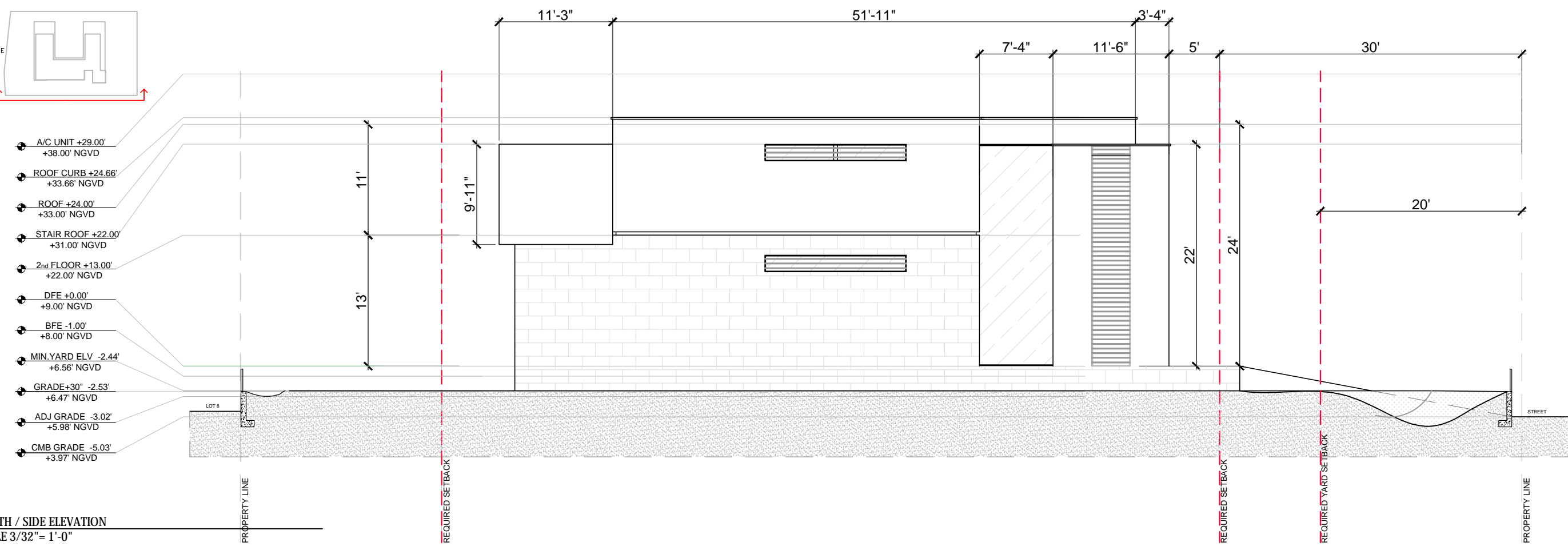
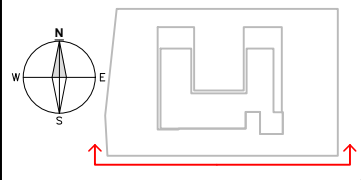
EXTERIOR ELEVATIONS

DRB 3.0



- A/C UNIT +29.00'
+38.00' NGVD
- ROOF CURB +24.66'
+33.66' NGVD
- ROOF +24.00'
+33.00' NGVD
- STAIR ROOF +22.00'
+31.00' NGVD
- 2nd FLOOR +13.00'
+22.00' NGVD
- DFE +0.00'
+9.00' NGVD
- BFE -1.00'
+8.00' NGVD
- MIN. YARD ELV. -2.44'
+6.56' NGVD
- GRADE+30° -2.53'
+6.47' NGVD
- ADJ. GRADE -3.02'
+5.98' NGVD
- CMB GRADE -5.03'
+3.97' NGVD

1. WEST/REAR ELEVATION
SCALE 3/32" = 1'-0"



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+38.00' NGVD
- ROOF CURB +24.66'
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- CMB GRADE -5.03'
+3.97' NGVD

2. SOUTH / SIDE ELEVATION
SCALE 3/32" = 1'-0"

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SEAL

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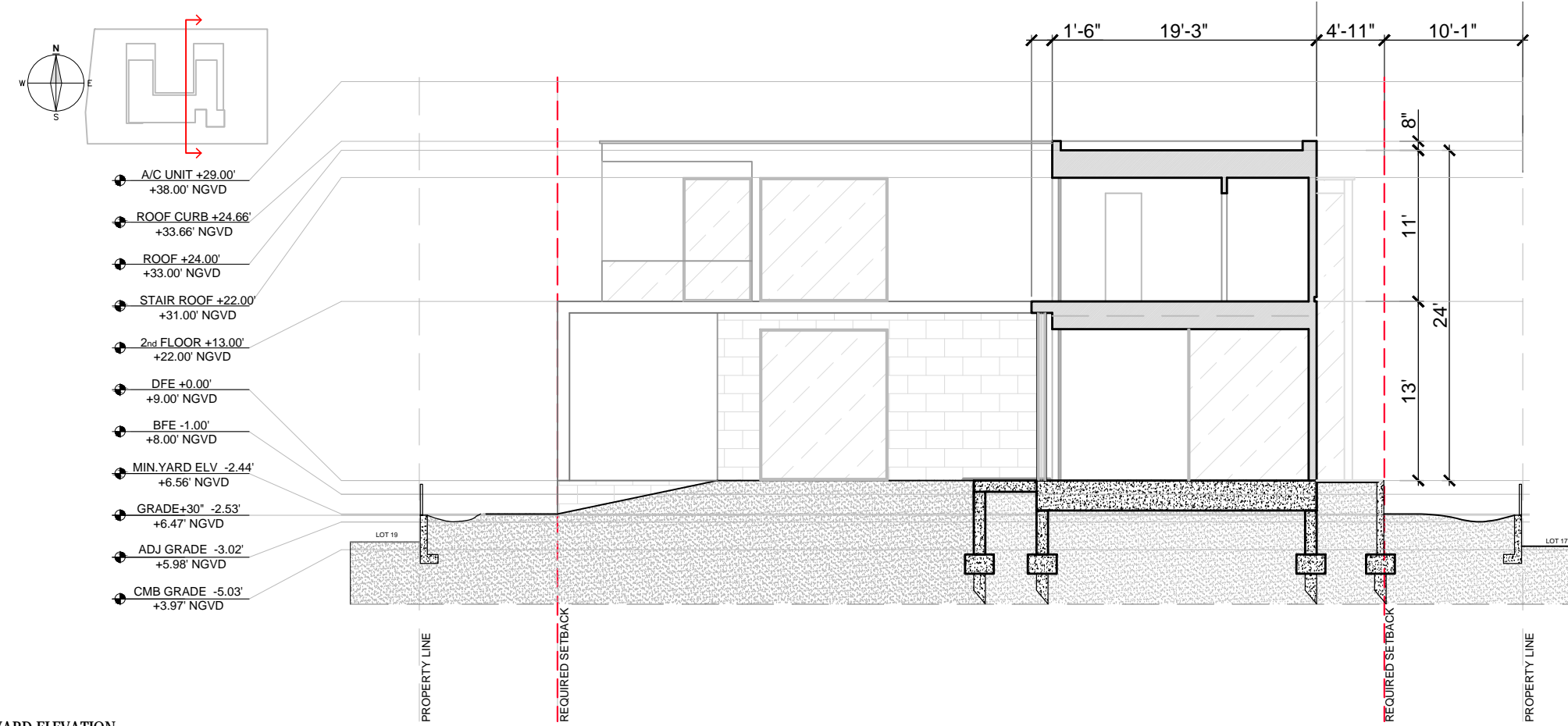
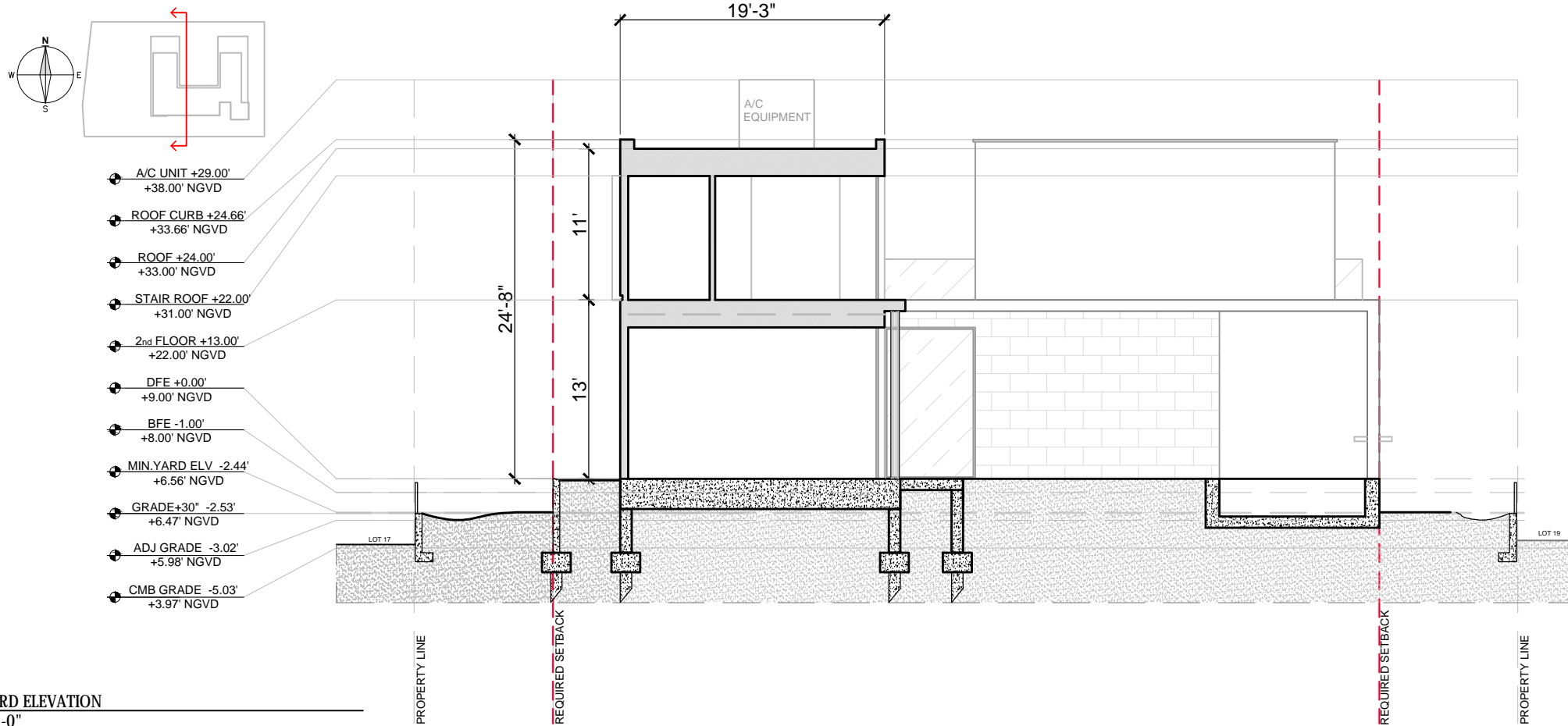
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EXTERIOR
 ELEVATIONS

DRB 3.1



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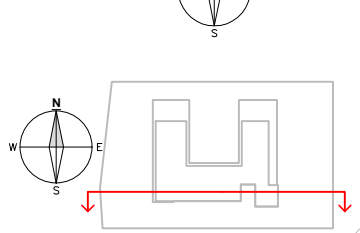
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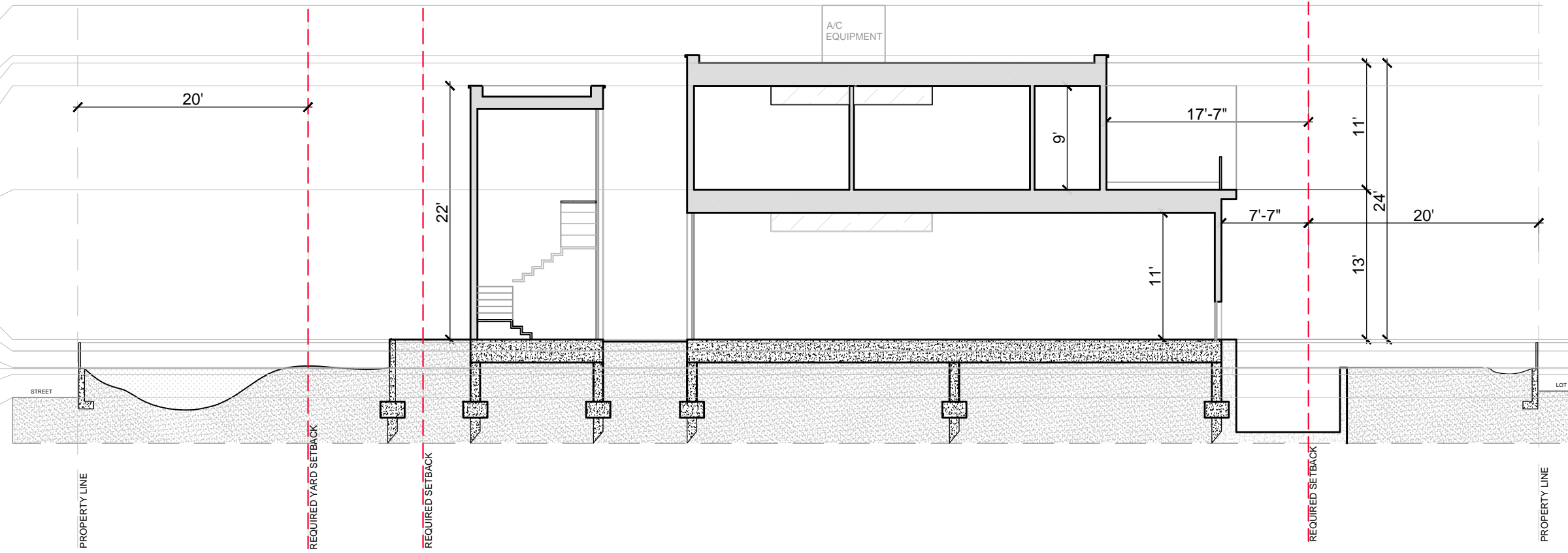
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COURTYARD
ELEVATIONS

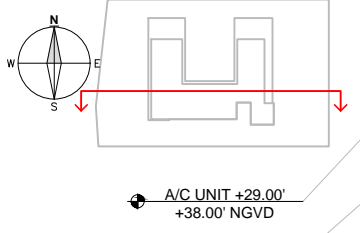
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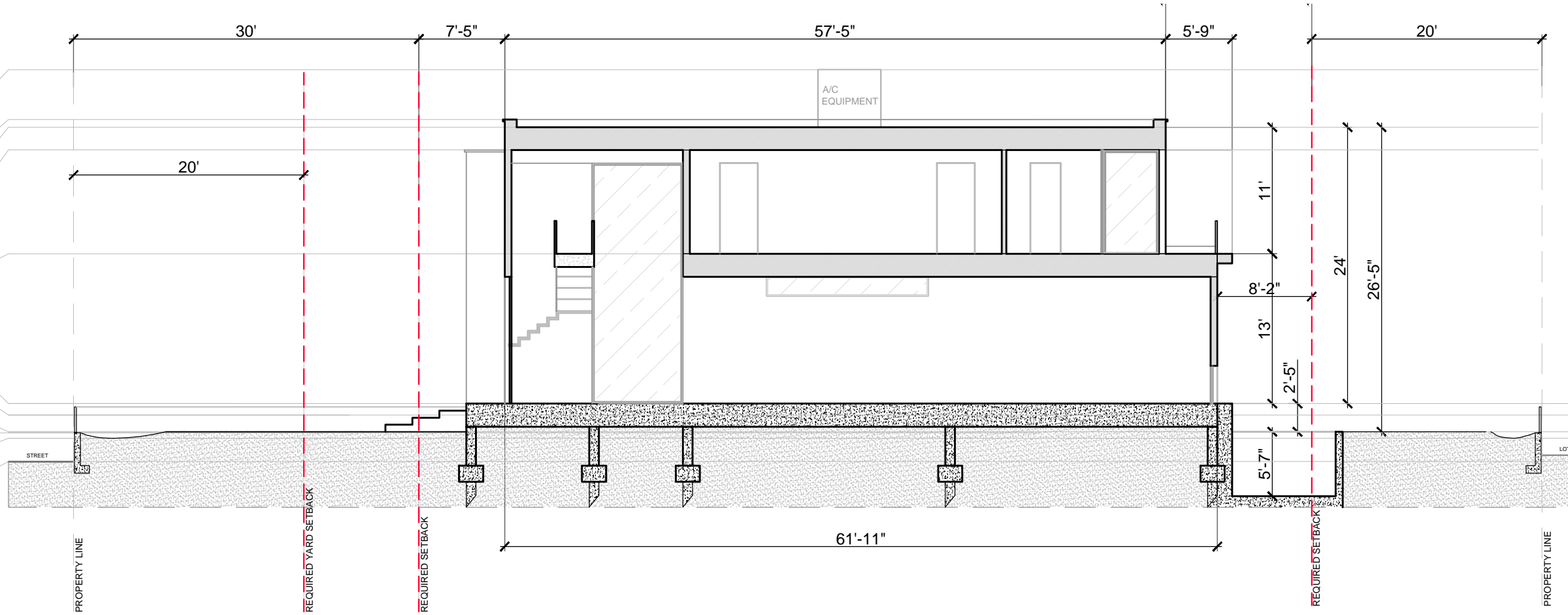
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1. EAST WEST SECTION
SCALE 3/32" = 1'-0"



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2. EAST WEST SECTION
SCALE 3/32" = 1'-0"

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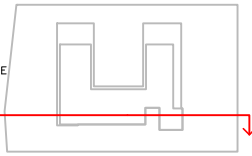
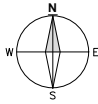
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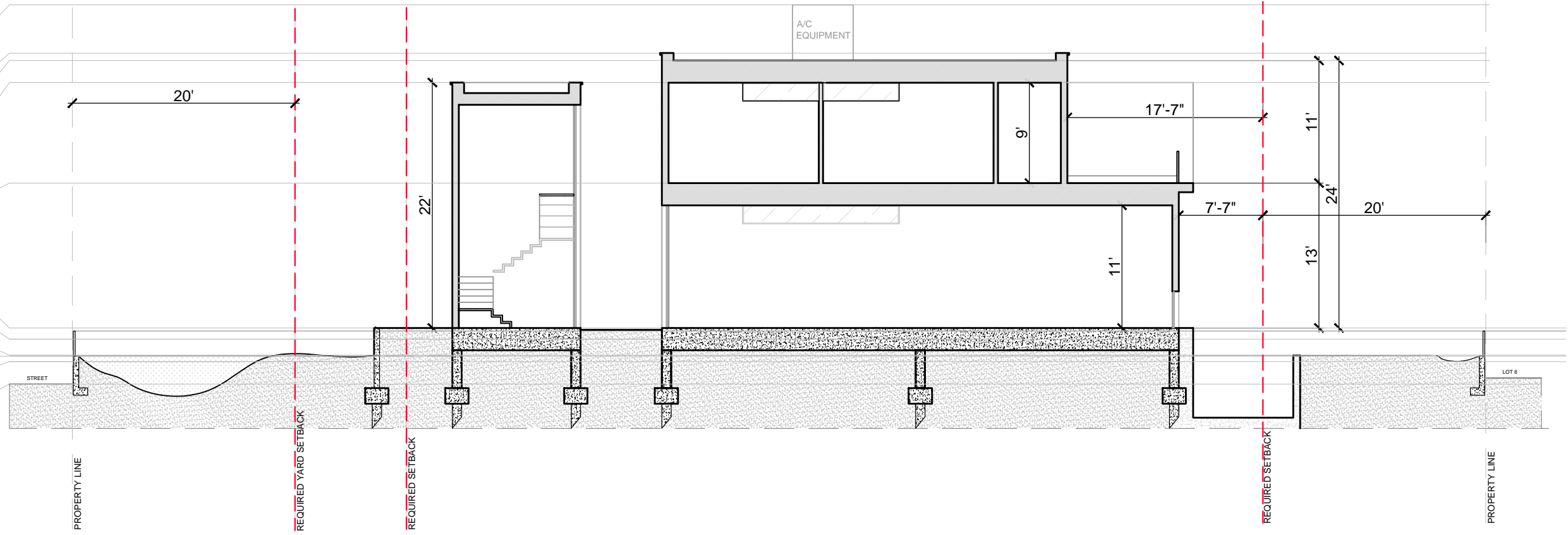
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TRANSVERSAL SECTIONS

DRB 3.3



- A/C UNIT +29.00'
+38.00' NGVD
- ROOF CURB +24.66'
+33.66' NGVD
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TRANSVERSAL SECTIONS

DRB 3.4

FRONT NORTH
CORNER RENDERING



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FRONT NORTH
CORNER RENDERING

DRB 4.0

SOUTH CORNER
FRONT
RENDERING



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SOUTH CORNER
FRONT
RENDERING
DRB 4.1

COURTYARD
RENDERING



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COURTYARD
RENDERING

DRB 4.2

WEST REAR
RENDERING



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WEST REAR
RENDERING

DRB 4.3

SOUTH SIDE
RENDERING

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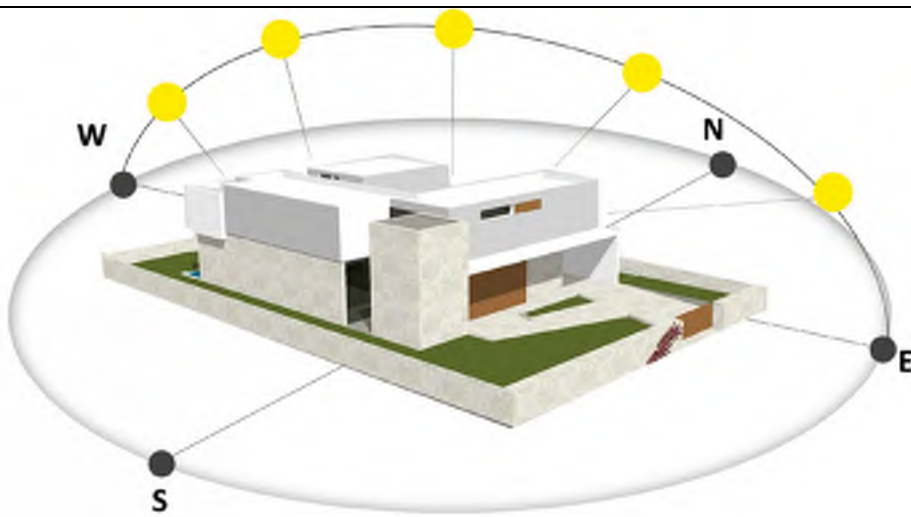
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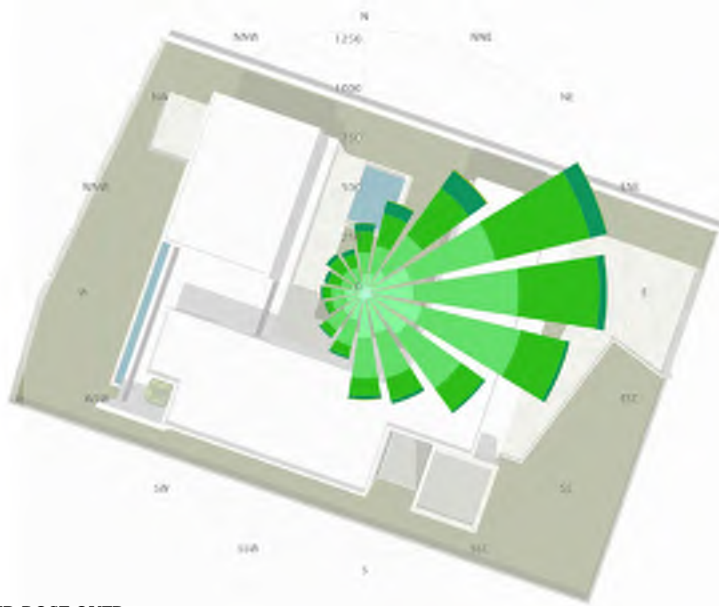
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SOUTH SIDE
RENDERING

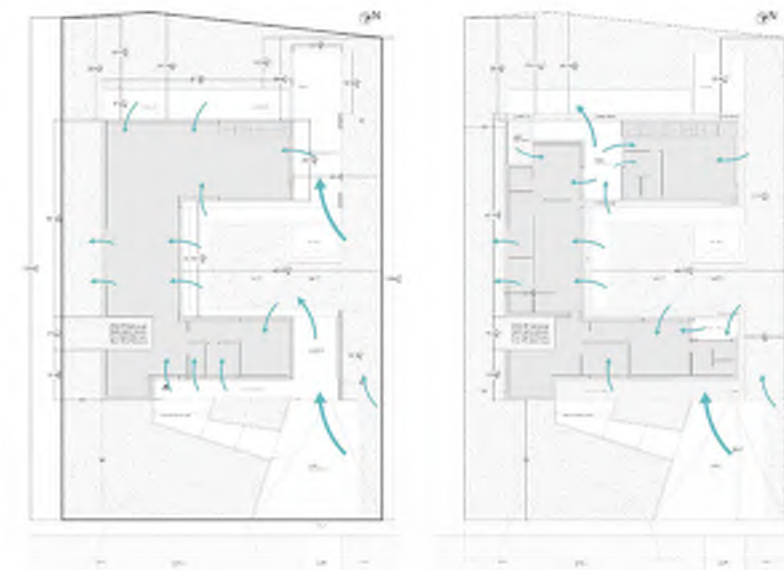
DRB 4.4



1. SUN PATH OVER
4354 N MICHIGAN AVE



2. WIND ROSE OVER
4354 N MICHIGAN AVE



3. CROSS VENTILATION
DIAGRAM

The term "passive design" (or bioclimatic building or green architecture) refers to a building whose architectural features are such that they take advantage of local climatic resources to provide an indoor environment which is as comfortable as possible, thus reducing energy consumption due to the need for mechanical heating or cooling. In passive architecture the means that the architect can use for creating a thermally and visually comfortable indoor environment are: solar radiation, wind, orientation and shape of the building, thermal mass of walls and roof, thermal transmittance and color, opening size and type of glazing.

SHAPE

The capability of a building to store or release heat is related to its volume, to its mass and shape, since losses or gains take place through its surfaces. Thus, the ratio of surface to volume determines the heating rate during the day and the cooling rate during the night: in hot-humid zones like Miami Beach, where the daily temperature swing is small and relative humidity is high, the shape should be as open as possible in order to allow natural ventilation. At the same time, however, sun protection is essential, and all possible measures should be taken to provide it. In hot-humid climates, the building's depth should be limited in order to promote air circulation, and the rooms should be arranged in a row and provided with large openings on the opposite exterior walls. The best solution that takes in consideration all specific elements and environmental aspects of this Miami Beach project, including orientation, shape, natural ventilation, shades, distribution of interior spaces and a well-designed outdoor space is the courtyard. The choice of the courtyard is not only about the use of the outdoor space for its livable square footage, but it is mostly about its function as thermal regulator: in a courtyard a pool of cool night air can be retained, as it is heavier than the surrounding warm air; if the courtyard is small, as in the proposed project, with a width not greater than height, breezes will leave such pools of cool air undisturbed, cooling the surfaces of the envelope and working as resource of cool air for natural indoor ventilation.

ORIENTATION

Building orientation in tropical climates is extremely critical, and the basic rule is minimizing façades facing east and west and take into account local prevailing winds, because of their connection with natural ventilation. The best orientation of a building with respect to the sun is common to all tropical climates, because they spread over a small range of latitudes around the equator (from about + 5° N to - 10° S): in this range the solar path is such that a significant amount of solar energy can fall on east and west-facing façades, where solar protection is difficult.

Therefore the most suitable building orientation and shape is that which is elongated along the east-west axis, in order to maximize the north and south-facing façades, which are easy to protect with small overhangs, and minimize the east and west-facing ones, which are difficult to protect, thus reducing heat gains to a minimum. Thus the choice of locating most opening facing North, providing reflected light and avoiding direct radiations.

While most of the surrounding houses at 4354 N Michigan Ave are oriented and shaped based on lot shape and way of passage, we want to promote a conscious design - that integrates with the neighborhood architecture and massing while taking advantage of the natural environment and climate factors, to promote a new generation of housing development.

Shape and orientation of the building are essential and inseparable factors in sustainable architecture.

NATURAL VENTILATION

Intricately linked to the shape of the building is the distribution of the interior spaces. Layout and spacing are especially important, determining dimensions, proportions, and the relationship between inside and outside, and then, thermal flow, ventilation, daylight and view: looking at 4354 Michigan Ave proposed project, the U shape of the building and the slim body of each space, allow each rooms to have operable openings on opposite sides, which makes cross ventilation possible. With the open air car space and the summer bar - because that area is covered but open on two consequent directions- the main East wind creates a Venturi effect, with amplification of breezes through the space, which, will cool down the overheated East and West facades and if the doors to the kitchen and dining room are open, will draw air from the former through the latter.

The pressure on the East facades originated by strong winds blowing from East, as shown in the Wind Rose over the project, generates anti-pressure on the West facades: given the U shape of the building with north facing courtyard, the shades and the mix of local winds, create a pool of cool air, that favor the cooling of the envelope and the use of open spaces by the user.

Also the volume is scattered in more compact elements that favor the natural flow and circulation of air.

DAYLIGHT

Taking advantage of daylight is essential for sustainable architecture in any climatic conditions, in order to provide visual comfort, reduce the amount of conventional energy used and, at the same time, to diminish thermal gains indoors caused by artificial lighting. The daylight factor expresses the ratio of the illumination level at a point indoors to the illumination outdoors on a horizontal plane, without obstructions. The daylight factor is regulated by set standards and its compliance with these depends on the dimension of the windows, the depth of the room, the shape, location and type of windows and shading devices, the obstruction provided by the context, and the color of the external and internal surfaces. In Miami Beach, since the sky (and not the ground) is the main source of glare, views from the interior spaces directly to the outdoors are suitable: openings should be positioned in such a way that the sky is not directly seen. Overhanging roofs or large verandas can be used for obstructing the direct view of the sky where needed on West, East and South windows. In the proposed project, every room has access to daylight and most of them are oriented to North: North-facing windows provide lighting that is consistent throughout the day, never too harsh or too dull because never direct. Also light-colored interior walls and finishing will be provided, to maximize the reflection of daylight through out each room.

SHADING

In a space, whether it is air-conditioned or not, the goal is to control direct solar radiation to ensure thermal comfort, light and minimization of energy consumption. The ideal sun-shading device will block solar radiation while allowing daylight and breeze to enter the window, and an external view. Horizontal overhangs located above the windows are very effective and should extend beyond the width of the window to shade it properly and where not possible an appropriate shading device must be provided: the choice on this projects are wood laminate louvers, the egg-crate type, which allows a minimum amount of light to be reflected through its surfaces, while blocking solar radiation at different angles.

BUILDING MATERIALS

Building materials play a significant role in sustainable architecture: the choice of materials is crucial from the perspective of both the thermal performance and the environmental impact of the building. While concrete foundations and concrete base are almost mandatory given the location of the project and the necessity to elevate from rising waters, the structure above base flood elevation will be less heavy and more sustainable: light gauge steel frame. Light gauge steel systems are a prefab product and in many ways are similar to wood stud framing but they provide distinct cost, safety, construction time, and environmental impact advantages. Light gauge steel structures are very strong, commonly rated for earthquakes and their ability to resist hurricane-strength winds with a minimum of material. The product is made from 75% recycled steel, it minimalizes onsite waste down to 1%, and is unaffected by pests or mold. The aesthetic result will be identical to a common concrete masonry house, but with a thickness of the wall system reduced to five-inch thick walls, including insulation, and a carbon foot print highly reduced.

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SEAL

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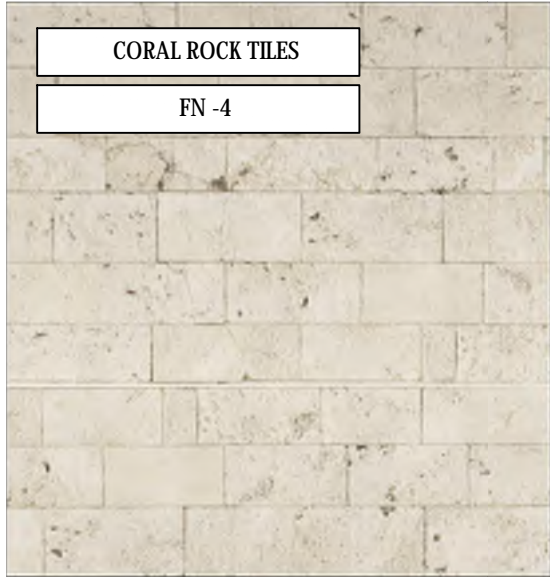
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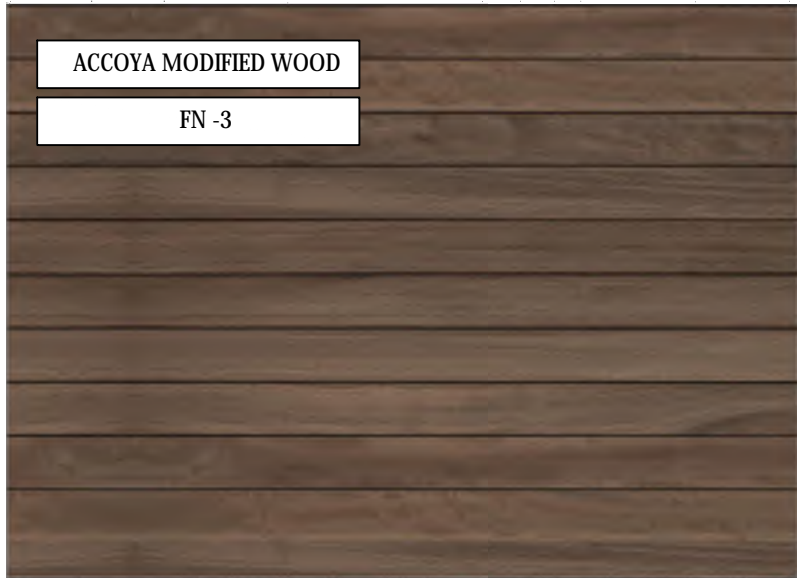
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PROJECT INTENT
AND SUSTAINABILITY

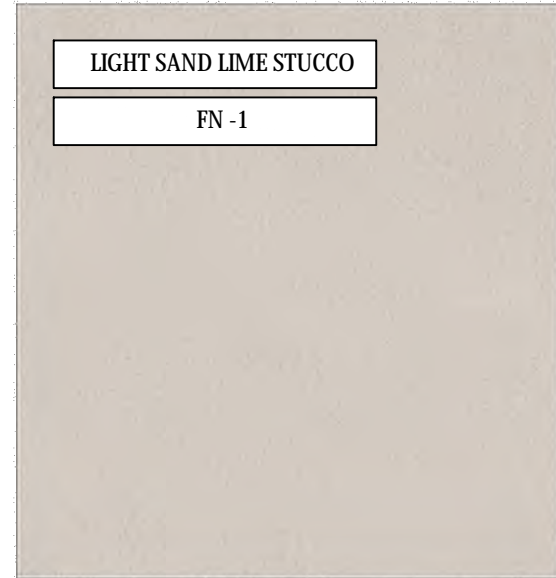
DRB 5.0



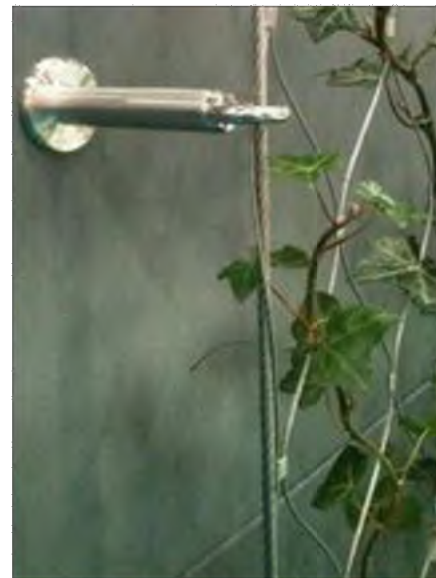
CORAL ROCK TILES
FN -4



ACCOYA MODIFIED WOOD
FN -3



LIGHT SAND LIME STUCCO
FN -1



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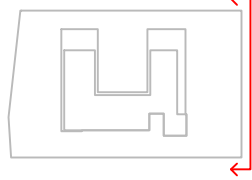
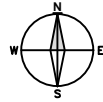
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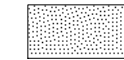

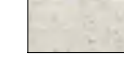

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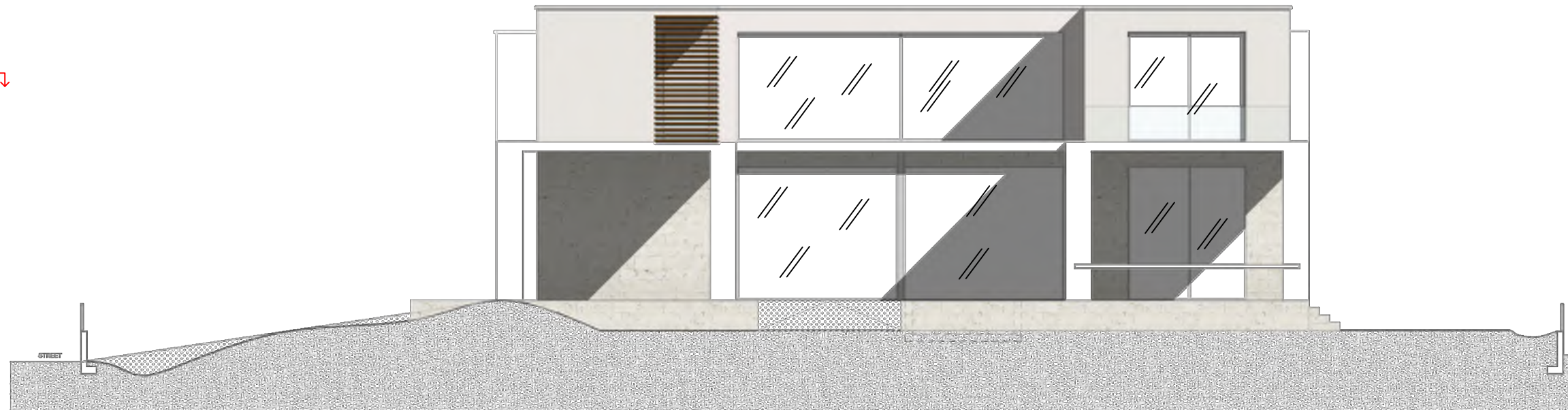
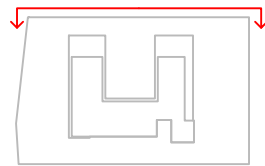
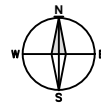
MATERIAL AND FINISH
MOOD BOARD

DRB 5.1



1. EAST ELEVATION WITH FINISH
SCALE N.T.S.

-  FN-1 SAND LIME STUCCO / PAINT
-  FN-1 WHITE LIME STUCCO / PAINT
-  FN-4 CORAL ROCK
-  ACOYA MODIFIED WOOD



2. NORTH ELEVATION WITH FINISH
SCALE N.T.S.

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ELEVATIONS WITH
FINISH

DRB 5.2

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

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ELEVATIONS WITH FINISH

DRB 5.3

-  FN-1 SAND LIME STUCCO / PAINT
-  FN-1 WHITE LIME STUCCO / PAINT
-  FN-4 CORAL ROCK
-  ACOYA MODIFIED WOOD



1. WEST ELEVATION WITH FINISH
SCALE NTS



2. SOUTH ELEVATION WITH FINISH
SCALE NTS

DESIGN WAIVER

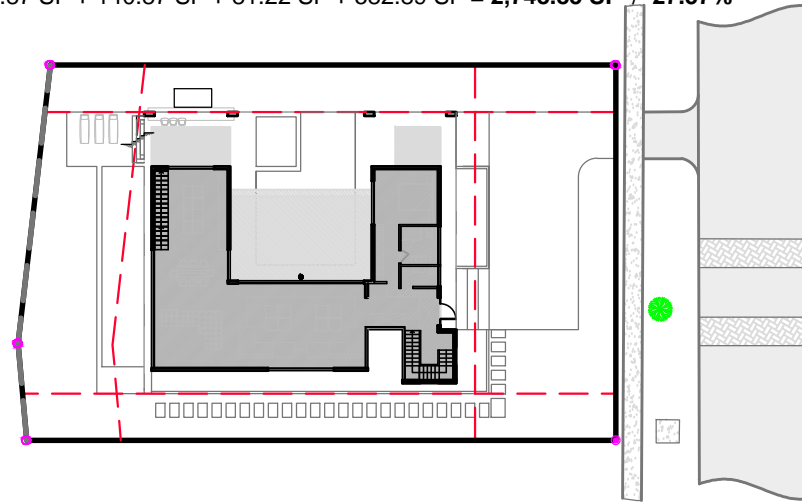
Second Floor Volume exceeding
70 % First Floor Volume

RATIO: 96.03 %

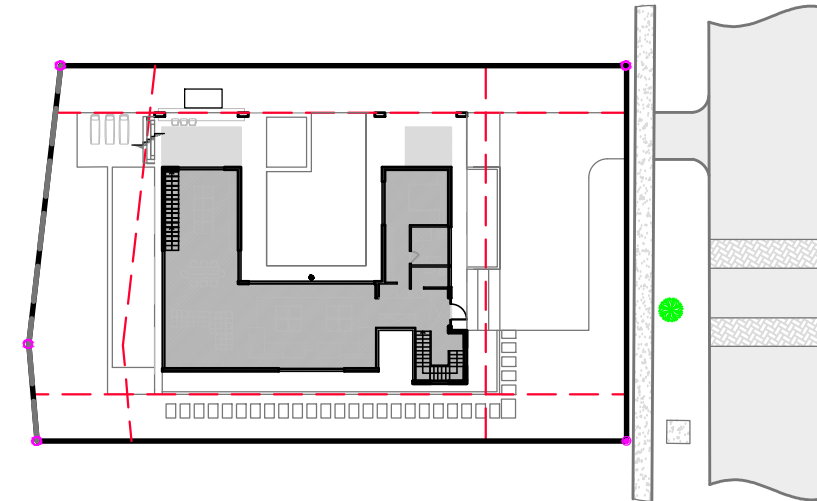
Seeking waiver per Section 142 -
105 (4) (c)

Lot Coverage Calculation without
the open space of the Courtyard
would be 21.72%: as per DRB 5.0,
the Courtyard is an excellent
architectural shape for
sustainability in hot-humid
climate, as it provides shades and
cool air for natural ventilation,
serving as thermal regulator.

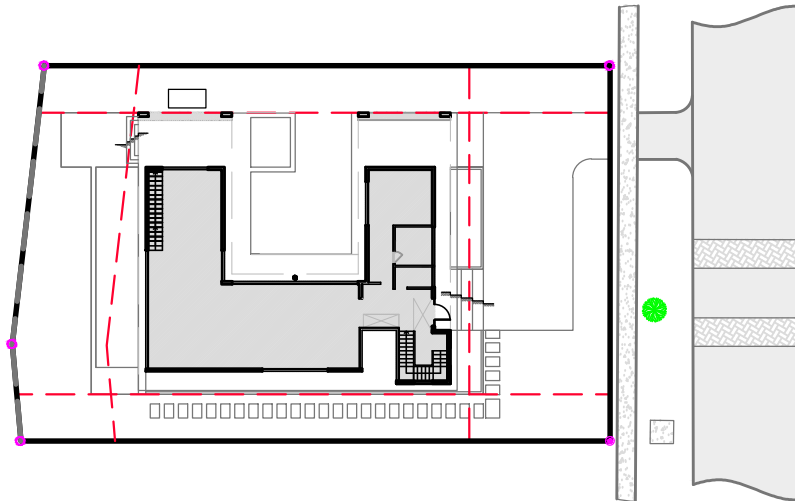
1. LOT COVERAGE CALCULATION PER DRB 1.0
1,943.87 SF + 140.87 SF + 81.22 SF + 582.89 SF = **2,748.85 SF / 27.57%**



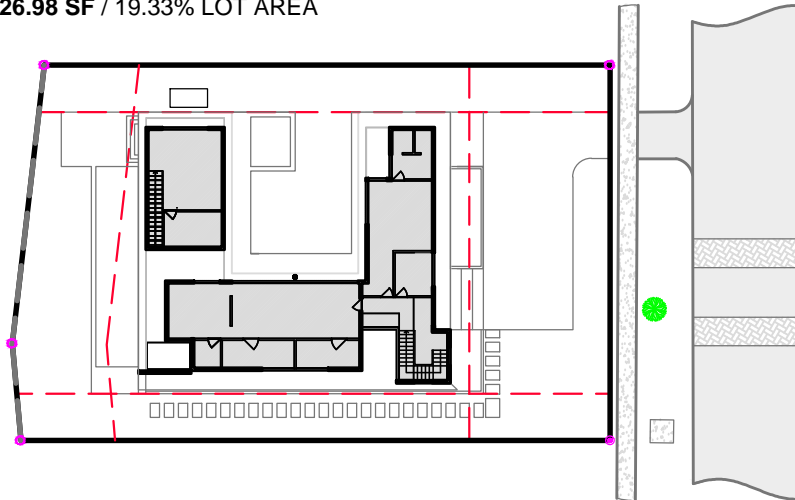
4. LOT COVERAGE CALCULATION WITHOUT OPEN SPACE OF COURTYARD
1,943.87 SF + 140.87 SF + 81.22 SF = **2,748.85 SF / 21.72%**



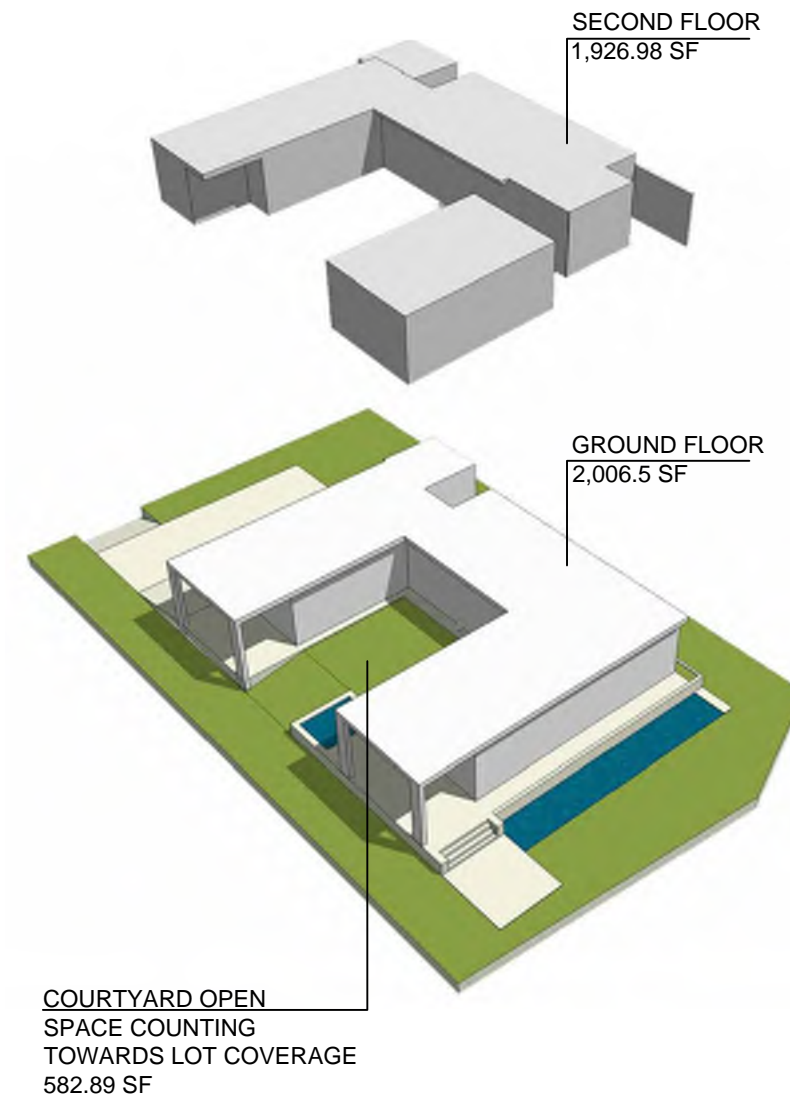
2. UNIT SIZE CALCULATION GROUND FLOOR PER DRB 1.2
RESIDENCE 1943.87 SF + LOGGIA#1 31.07 SF + LOGGIA#2 31.56 =
2,006.5 SF / 20.12% LOT AREA



3. UNIT SIZE CALCULATION SECOND FLOOR PER DRB 1.3
RESIDENCE#1 1488.35 SF + RESIDENCE#2 438.63 SF =
1,926.98 SF / 19.33% LOT AREA



5. EXPLODED AXONOMETRIC DIAGRAM



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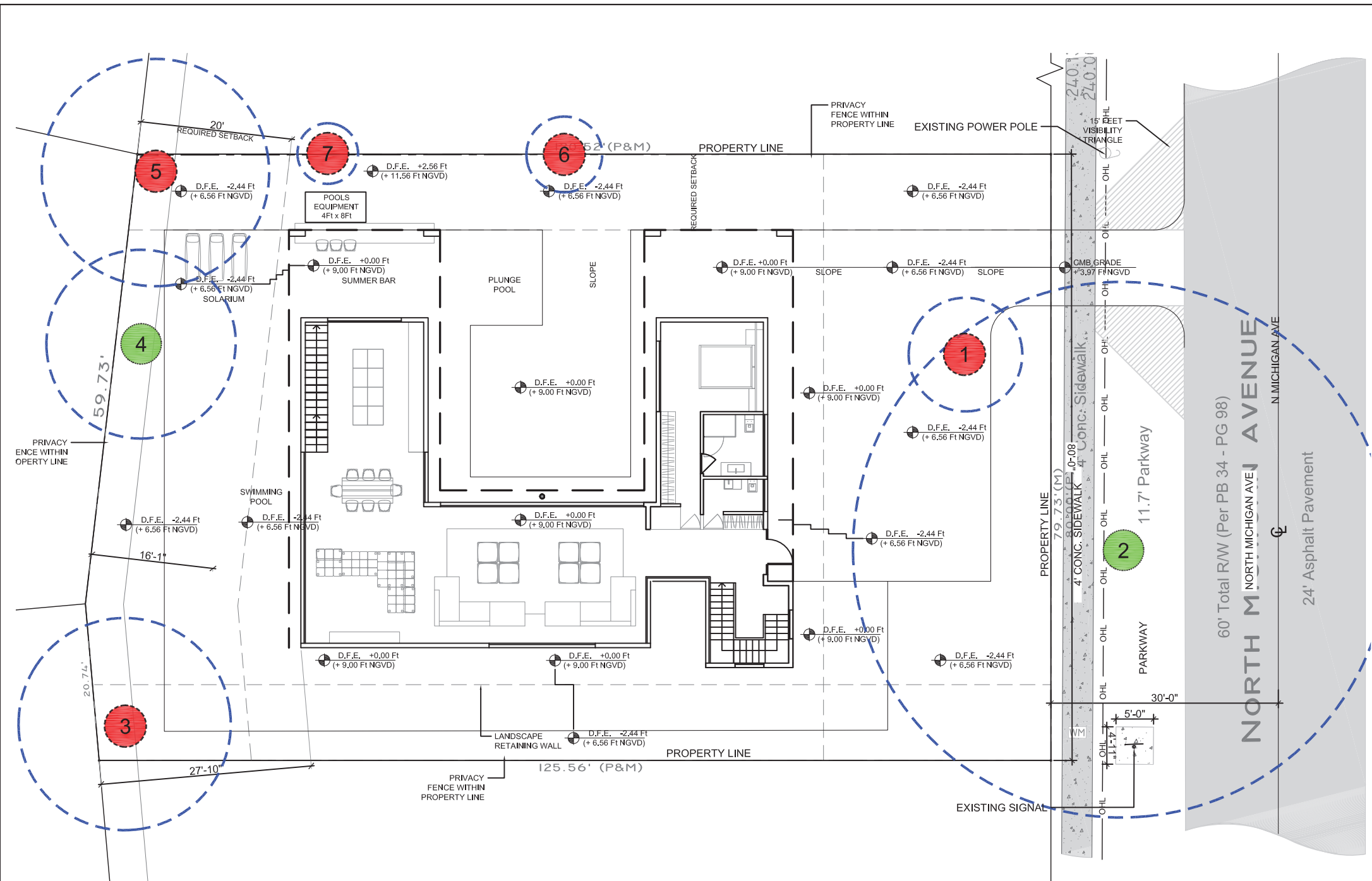
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DESIGN WAIVER

DRB 6.0



TREE MITIGATION CALCULATIONS

TOTAL PALMS REMOVED: 0
 TOTAL DBH INCHES REMOVED: 35.5

Required Mitigation Per Sec. 46-61
 (12) Trees - 12' Ht, 2" DBH, 6' Spread
 or
 (6) Trees - 16' Ht, 4" DBH, 8' Spread

Tree Species Diversity
(2) Required minimum number of species

Provided Mitigation:
 (3) Trees - 12' Ht, 2" DBH, 6' Spread
 and
 (5) Trees - 16' Ht, 4" DBH, 8' Spread

Mitigation shortfall of (0) (2") DBH, trees = (0) to be paid into the City of Miami Beach Tree Preservation Trust Fund.

SEE LANDSCAPE PLANS FOR EXACT SPECIES AND LOCATIONS

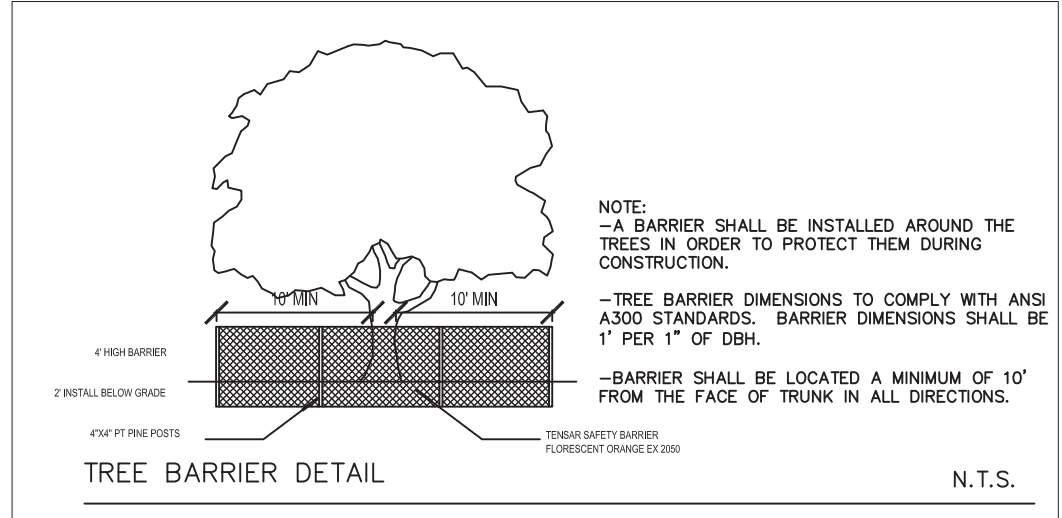
SYMBOL LEGEND

- TREE TO REMAIN
- TREE TO REMOVE
- TREE CANOPY - DIA.

TREE DISPOSITION LEGEND

Trees relocated:	0	Palms removed:	0	Total DBH on-site:	129.5
Trees removed (total):	5	Root pruning:	0	Total removed DBH:	75.5
Prohibited trees removed:	1	Tree Trimming:	0	Total calculated removed DBH:	35.5

Ref. #	Common Name	Scientific Name	DBH (in.)	Height (ft.)	Spread (ft.)	Condition	Status	Prohibitor	Palm	Calc. DBH	Specimen	TPZ (ft.)	Street value
1	Avocado	Persea americana	4.5	18	15	Fair	Remove			4.5			
2	Mahogany Tree	Swietenia mahagoni	38	40	70	Good	Remain				Y		\$28,000
3	Brazilian Pepper	Schinus terebinthifolius	38	25	28	Fair	Remove	Y					
4	Royal Poinciana	Delonix regia	15	30	25	Good	Remain						
5	Strangler Fig	Ficus aurea	28	33	30	Fair	Remove			28	Y		
6	Royal Poinciana	Delonix regia	3	15	10	Fair	Remove			3			
7	Solitaire Palm	Ptychosperma elegans	3	12	8	Good	Remove	Y					



1. TREE DISPOSITION PLAN
 SCALE 1/16" = 1'-0"



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Digitally signed by Diego Vanderbiest
 Date: 2020.08.09 14:14:42 -04'00'

DIGEO J. VANDERBIEST
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RC
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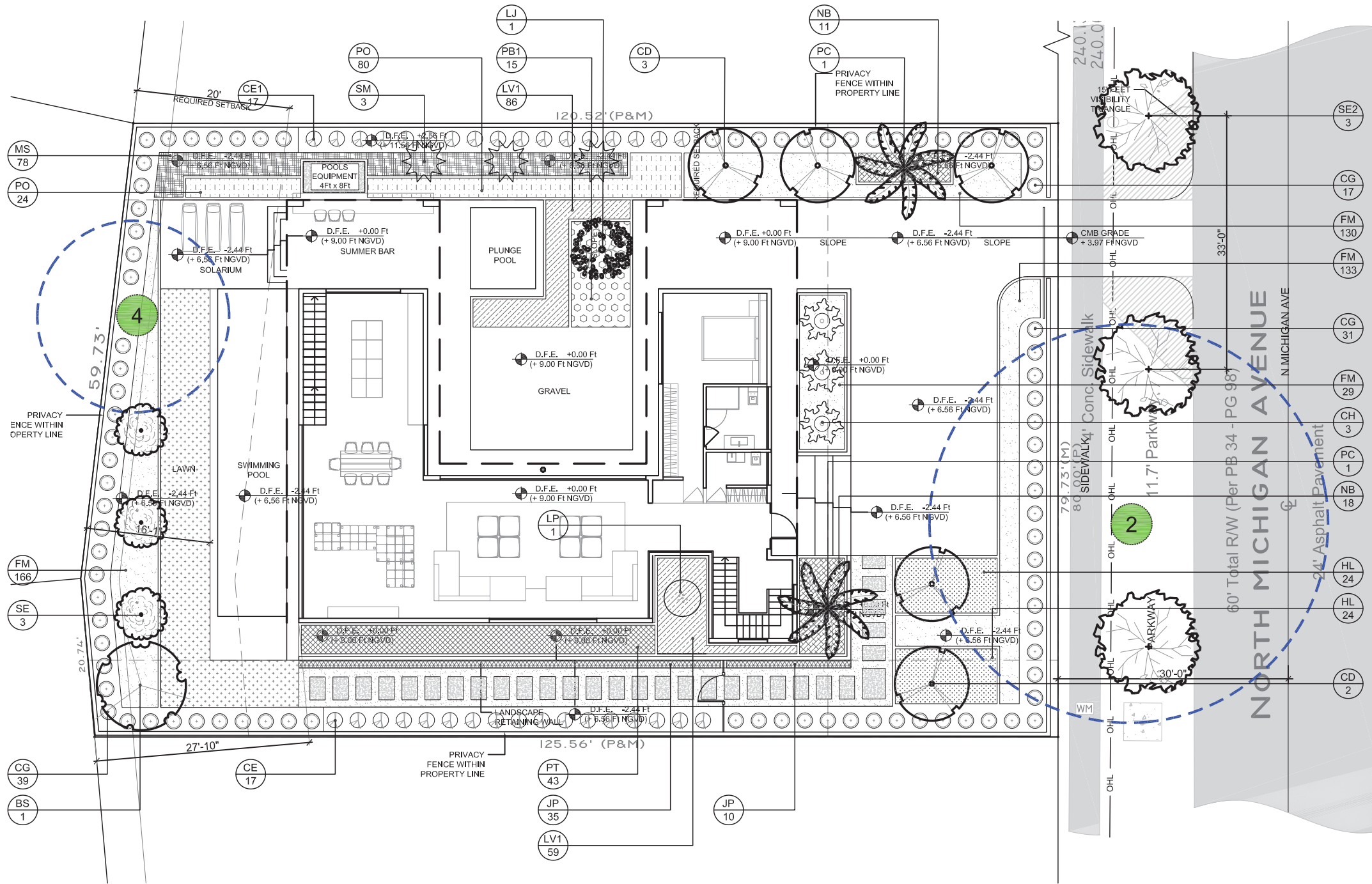
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TREE
 DISPOSITION PLAN

DRB L.1



LANDSCAPE SCHEDULE

TREES					
SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION	NATIVE	WATER NEEDS
CE1	3	*Conocarpus erectus GREEN BUTTWOOD	12' HT. X 6" SPR. 2.5" DBH.	Y	LOW
CD	5	Coccoloba diversiflora PIGEON PLUM	16' HT. X 6" SPR. 4" DBH.	Y	LOW
PC	2	Phoenix canariensis CANARY ISLAND DATE PALM	10' C.T.	N	LOW
SE	3	*Conocarpus erectus 'serotenus' SILVER BUTTWOOD	12' HT. X 6" SPR. 2.5" DBH.	Y	LOW
RS	1	*Bumelia sinuata JUMBO LIMBO	18' HT. X 6" SPR. 4" DBH.	Y	LOW
WM	1	Liquidambar japonicum JAPANESE PRIVET	12' HT. X 8" SPR. MULTI TRUNK	N	MEDIUM

SHRUBS					
SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION	NATIVE	WATER NEEDS
CE1	34	*Conocarpus erectus GREEN BUTTWOOD	36" HT. X 24" SPR. / 36" O.C.	Y	LOW
CG	87	*Clusia guifera SMALL LEAF CLUSIA	36" HT. X 24" SPR. / 36" O.C.	Y	MEDIUM
PT	43	Phytolobum lobata CHINESE CHEESEWOOD	18" HT. X 18" SPR. / 24" O.C.	N	MEDIUM
SM	3	Sabal minor DWARF BLUE-STEM PALMETTO	24" HT. X 18" SPR.	Y	LOW
LP	1	Cyrtocladia randa LIPSTICK PALM	7" HT. DIA HEIGHT	N	MEDIUM

GROUND COVERS					
SYMBOL	QUAN.	PROPOSED MATERIAL	DESCRIPTION	NATIVE	WATER NEEDS
FM	458	Ficus microcarpa 'Green Island' GREEN ISLAND FIGUS	15" HT. X 15" SPR. / 15" O.C.	N	LOW
NB	29	Machonia diversiflora MACHO FERN	24" HT. X 18" SPR. / 24" O.C.	Y	MEDIUM
PO	104	Peperomia obtusifolia BABY RUBBER PLANT	12" HT. X 15" SPR. / 15" O.C.	N	LOW
LV1	145	Liriodendron 'Evergreen Giant' EVERGREEN GIANT LIRIOPE	12" HT. X 12" SPR. / 15" O.C.	N	MEDIUM
JP	45	Judicium chinensis 'Blue Rug' JUNIPER GROUND COVER	3 GAL. FULL	Y	LOW
CH	3	Chamaecyparis humilis EUROPEAN FAN PALM	3 GAL. FULL	Y	LOW
PB1	15	Philodendron 'Berkley' BURLE MARX PHILLODENDRON	24" HT. X 24" SPR. / 36" O.C.	N	MEDIUM
MS	78	Microsorium scolopendrium WART FERN	12" HT. X 12" SPR. / 15" O.C.	N	LOW
HL	48	*Hymenocallis latifolia SPIDER LILY	15" HT. X 12" SPR. / 18" O.C.	Y	LOW
LAWN	423 SF	Stenotaphrum secundatum 'Floratam' ST. AUGUSTINE GRASS	SOLID EVEN SOD		LOW

LANDSCAPE LEGEND

ZONE DISTRICT: RS-4 - CAT 1: Single Family Home and Townhome
 LOT AREA: 9,720 sf OPEN SPACE: 4,860 sf

	REQ.	PROV.
A) Minimum Number Of Required Trees Per Lot, 2 Front Lot - 3 Back Yard	5	5
B) Minimum Number Of Required Street Trees, Maximum average spacing of 20 feet on center	4	4
C) Additional Lot Trees Sec. 126-6 (4) (1 Additional Tree For Each 1,000 sf Above 6,000 sf)	4	4
D) Number of Existing Trees Existing trees required by law to be preserved on site and that meet the requirements of minimum tree size may be counted toward fulfilling the minimum tree requirements	3	3
TOTAL NUMBER OF TREES	10	10
E) Shrubs Required The Minimum Number Shall Be 12 Shrubs Per The Number Of Required Lot And Street Trees	120	172
F) Large Shrubs Required Large shrubs shall be 10% of the required number of shrubs for the specific project	12	73
G) Maximum permitted lawn grass/sod areas = 50%	2,430 sf	620 sf

- Palms shall not count towards the minimum number of required trees
 - No less than 30% of the required trees shall be native species
 - No less than 50% of the required trees shall be low maintenance or drought and salt tolerant species

SYMBOL LEGEND

- # TREE TO REMAIN
- # TREE TO REMOVE
- TREE CANOPY - DIA.

1. PROPOSED LANDSCAPE PLAN
SCALE 1/16" = 1'-0"

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PROPOSED
 LANDSCAPE PLAN

DRB L.2



Conocarpus erectus 'Sericeus'
Silver Buttonwood



Coccoloba diversifolia
Pigeon Plum



Phoenix canariensis
Canary Island Date Palm



Ligustrum japonicum
Japanese Privet



Bursera simaruba
Gumbo Limbo



Cyrstochyris renda
Lipstick Palm



Pittosporum tobira
Japanese Cheesewood



Sabal minor
Dwarf Blue-stem Palmetto



Clusia guttifera
Small Leaf Clusia



Nephrolepis biserrata 'Macho'
Macho Fern



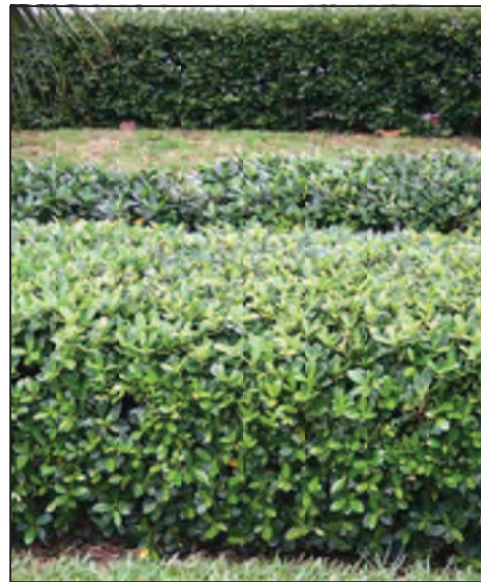
Juniperus chinensis 'Blue Rug'
Chinese Juniper



Hymenocallis latifolia
Spider Lily



Liriope muscari
Lyliturf



Ficus microcarpa 'Green Island'
Ficus 'Green Island'



Philodendron 'Burlie Marx'
Burlie Marx Philodendron

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by Diego Vanderbiest
Date: 2020.08.09 14:15:03 -04'00'

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RLA #6667355

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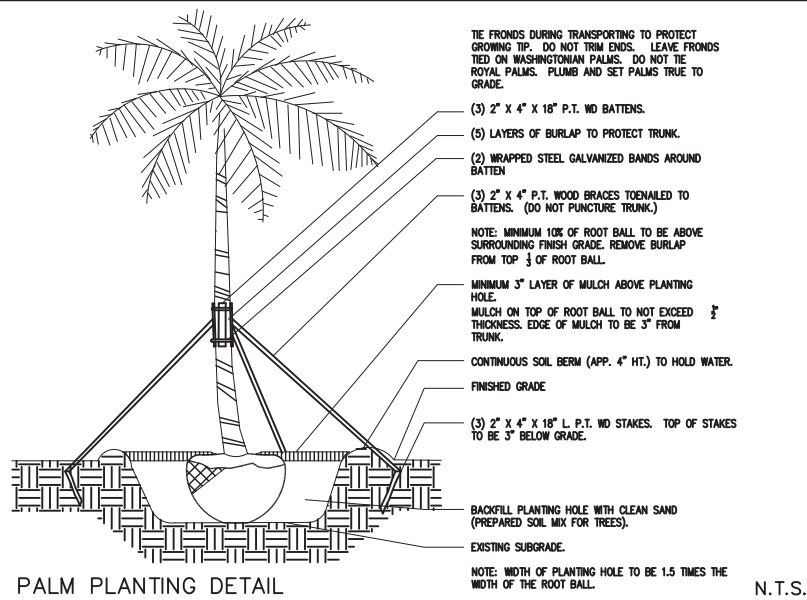
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PLANT BOARD

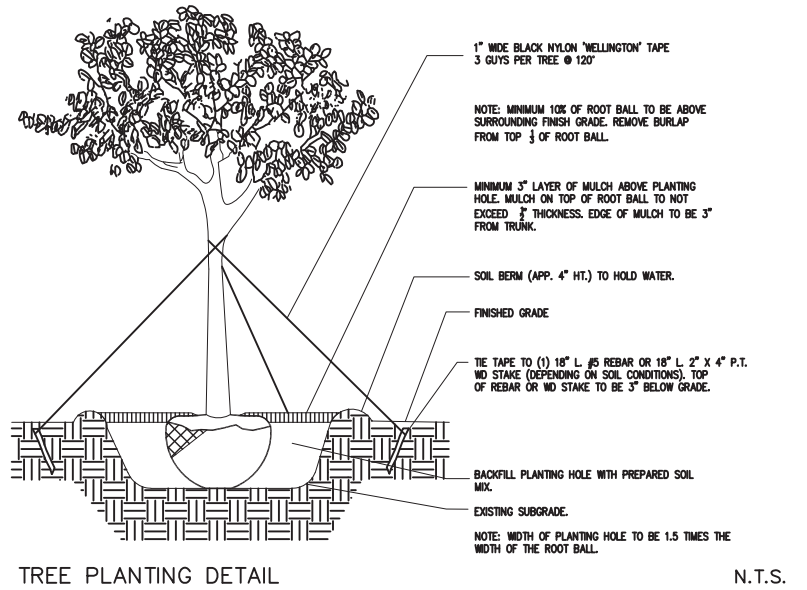
DRB L.3



PALM PLANTING DETAIL

LARGE TREE PLANTING DETAIL SIMILAR

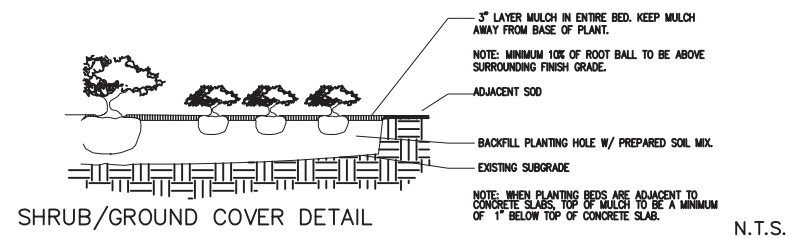
N.T.S.



TREE PLANTING DETAIL

TREES WITH 3\"/>

N.T.S.



SHRUB/GROUND COVER DETAIL

N.T.S.

PLANT NOTES

1. ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS; PARTS I AND II, 2ND EDITION: FEBRUARY 1998, RESPECTIVELY.
2. ALL PLANTING BEDS TO BE TOPPED WITH 3\"/>

ROOT PRUNING SPECIFICATIONS

ALL TREES AND PALMS TO BE RELOCATED MUST BE WATERED DAILY FOR AT LEAST 2-3 DAYS PRIOR TO ANY ROOTS BEING CUT TO ENSURE THAT THEY ARE FULLY HYDRATED. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.

EACH TREE AND PALM MUST THEN BE WATERED EVERY OTHER DAY, NOT RELYING ON RAIN. DURING THE ENTIRE ROOT PRUNING PROCESS EITHER BY A TEMPORARY IRRIGATION SYSTEM OR BY HAND. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH.

TREE AND PALM RELOCATION ACTIVITIES MUST BE SCHEDULED SO THAT REMOVAL AND REPLANTING TAKE PLACE IN THE SAME 24 HOUR PERIOD.

ALL DIGGING IN THE ROOT ZONE DURING THE ROOT PRUNE PROCESS MUST BE DONE BY HAND. PRUNING OF ROOTS MUST BE DONE BY HAND WITH CLEAN, SHARP TOOLS. MACHINERY COULD BE USED ON LARGER TREES AS LONG AS ROOTS ARE FINALIZED BY HAND PRUNING. DO NOT PAINT ROOTS WITH PAINT OR ANY KIND OF SEALANT.

MYCORRHIZA (ROOTS TRANSPLANT OR EQUIVALENT) MUST BE INCORPORATED INTO THE BACKFILL SOIL PRIOR TO BACKFILLING AS PER MANUFACTURERS RECOMMENDATIONS.

AFTER EACH ROOT PRUNE, EACH SECTION OF ROOTBALL THAT IS PRUNED MUST BE WRAPPED WITH A BLACK PLASTIC AND THE TRENCH BACKFILLED WITH ORIGINAL EXCAVATED SOIL. A TREE RING WITH A MINIMUM HEIGHT OF 6\"/>

ONCE THE TREE RING IS CONSTRUCTED AFTER EACH ROOT PRUNE, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE LIBERALLY APPLIED TO THE SURFACE OF THE ROOTBALL AND THOROUGHLY WATERED IN TO ENCOURAGE NEW ROOT GROWTH.

PRIOR TO ANY ROOTS BEING CUT, ALL MAJOR ROOTS MUST BE IDENTIFIED TO DETERMINE THE ROOTBALL DIAMETER BASED ON THE RELATIVE LOCATION AND SIZE OF THE ROOTS.

MINIMUM ROOTBALL DIAMETER CALCULATION BASED ON A FACTOR OF 10 OR ALLOWING A MINIMUM OF 9\"/>

MINIMUM ROOTBALL DEPTH MUST BE 24\"/>

AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR TREES WITH A DBH OF LESS THAN 10\"/>

AS A GENERAL RULE, MINIMUM ROOT PRUNE TIME FOR TREES WITH A DBH OF 10\"/>

MAINTENANCE SPECIFICATIONS

ALL NEW AND RELOCATED TREES AND PALMS MUST BE MAINTAINED FOR ONE YEAR FROM THE DATE OF RELOCATION TO THEIR FINAL LOCATIONS.

WHENEVER POSSIBLE, EACH TREE AND PALM MUST BE WATERED BY A PERMANENT AUTOMATIC IRRIGATION SYSTEM FOLLOWING RELOCATION. EACH WATERING MUST THOROUGHLY SATURATE THE ROOTBALL TO ITS FULL DEPTH; THIS WILL REQUIRE 25-50 GALLONS OF WATER FOR SMALL TREES AND PALMS; DEPENDING ON ROOTBALL SIZE. WHILE LARGE TREES WILL REQUIRE A MINIMUM OF 10 GALLONS PER FOOT OF ROOTBALL DIAMETER. WATERING FREQUENCY MUST BE EVERYDAY FOR THE FIRST TWO WEEKS, EVERY OTHER DAY FOR THE NEXT TREE WEEKS, AND EVERY THIRD DAY FOR THE NEXT 6-8 WEEKS.

WHEN AN AUTOMATIC IRRIGATION SYSTEM IS NOT POSSIBLE, CONTRACTOR IS RESPONSIBLE FOR HAND WATERING RELOCATED TREES AND PALMS THROUGHOUT THE MAINTENANCE PERIOD AND UNTIL FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND/OR CLIENT.

IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE APPLIED TO THE SURFACE OF THE ROOTBALL AT THE RECOMMENDED LABEL RATE AND WATERED IN WITH A DRENCH CONSISTING OF A SYSTEMIC INSECTICIDE AND A CONTACT ROOT ROT FUNGICIDE, FOLLOWING LABEL INSTRUCTIONS, AS INITIAL PREVENTATIVE MAINTENANCE.

EVERY THREE MONTHS THEREAFTER, A HIGH-PHOSPHORUS ROOT STIMULANT MUST BE APPLIED TO THE SURFACE OF THE ROOTBALL AT THE RECOMMENDED LABEL RATE AND WATERED IN WITH A DRENCH CONSISTING OF A SYSTEMIC INSECTICIDE AND A BROAD-SPECTRUM SYSTEMIC FUNGICIDE, FOLLOWING LABEL INSTRUCTIONS, AS CONTINUING PREVENTATIVE MAINTENANCE.

IRRIGATION AND BRACING MUST BE CHECKED AND EACH TREE OR PALM THOROUGHLY INSPECTED FOR SIGNES OF STRESS, DISEASE, OR PEST PROBLEMS ON A MONTHLY BASIS.

SHADE TREES

IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW-RELEASE 15-2-15 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.

FOLIAR FEED FOUR TIMES PER YEAR.

FLOWERING TREES

IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW RELEASE 8-14-15 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.

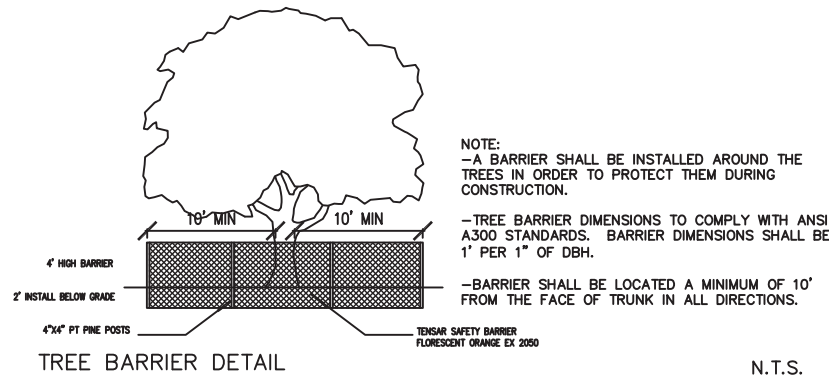
FOLIAR FEED FOUR TIMES PER YEAR.

PALMS

STRING MUST BE REMOVED FROM THE TIED UP LEAVES IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION IF THE PALM WAS ROOT PRUNED OR WITHIN 30-45 DAYS AFTER RELOCATION ON THE OCCASION THE LANDSCAPE ARCHITECT APPROVED RELOCATION WITHOUT ROOT PRUNING DUE TO TIME CONSTRAINTS.

IMMEDIATELY AFTER RELOCATION TO THE FINAL LOCATION AND EVERY THREE MONTHS THEREAFTER, A HIGH-QUALITY, SLOW RELEASE 8-14-12 GRANULAR FERTILIZER MUST BE APPLIED, AT THE RECOMMENDED LABEL RATE, SPREAD EVENLY ACROSS THE SURFACE OF THE ROOTBALL.

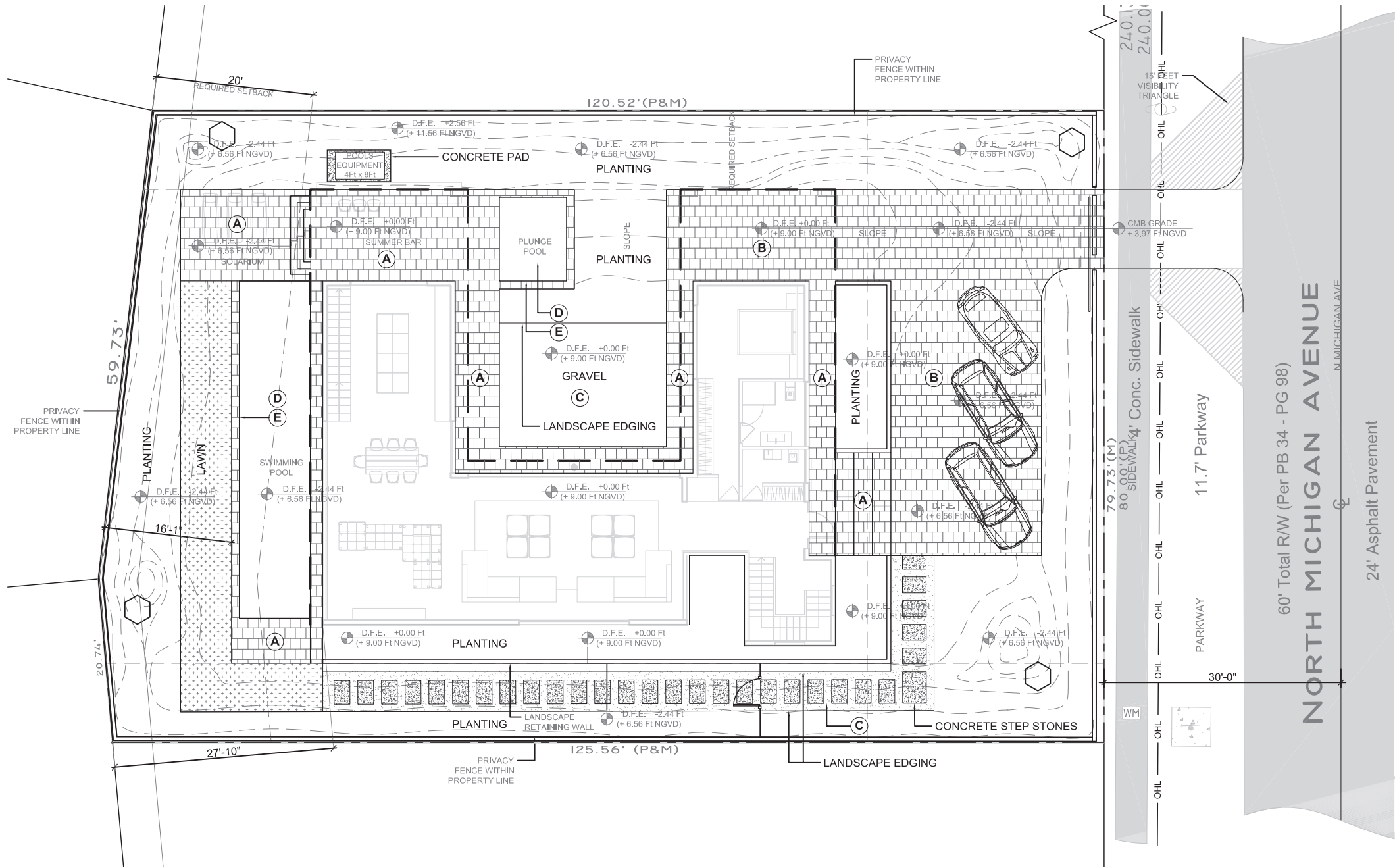
FOLIAR FEED SIX TIMES PER YEAR.



TREE BARRIER DETAIL

N.T.S.

1. PROPOSED HARDSCAPE PLAN
SCALE 1/16" = 1'-0"



MATERIALS SCHEDULE

A	<p>PEDESTRAIN PAVERS MANUFACTURER: BELGARD STYLE: OCEANSIDE COLOR: WHITE SIZE: 12" X 12" X 1-3/16" PATTERN: RUNNING BOND (SEE PLAN)</p>	
B	<p>DRIVEWAY PAVERS MANUFACTURER: BELGARD STYLE: OCEANSIDE COLOR: WHITE SIZE: 12" X 12" X 2-3/8" PATTERN: RUNNING BOND (SEE PLAN)</p>	
C	<p>AGGREGATE / GRAVEL MANUFACTURER: YARDCO STYLE: VIETNAMESE PEBBLE "YELLOW" COLOR: WHITE / YELLOW SIZE: 3/8" PATTERN: N/A</p>	
D	<p>POOL FINISH MANUFACTURER: PEBBLETEC STYLE: PEBBLESHEEN COLOR: BLACK ONYX SIZE: N/A NOTE: INSTALL PER MANUFACTURE'S INSTRUCTIONS</p>	
E	<p>WATER LINE TILE MANUFACTURER: DAL TILE STYLE: POOL TILE COLOR: SUEDE GRAY D182 SIZE: 2" X 1" FINISH: MATTE NOTE: INSTALL PER MANUFACTURE'S INSTRUCTIONS</p>	<p>PATTERN</p>

GAIAS DESIGN

GAIAS DESIGN INC.
786.777.8716 gaia@gaiasdesign.com

OWNER
Jorge M Campodonico
703.963.4438 jc@citylendinginc.com

LANDSCAPE ARCHITECT

Diego Vanderbiest
6200 SW 80 ST
MIAMI, FLORIDA 33143
(305) 528-4001
SEAL

Digitally signed by Diego Vanderbiest
Date: 2020.08.09 14:13:33 -0400'

DIEGO J. VANDERBIEST
RLA #6667355

RC TEK ARCHITECTURE LLC
1395 BRICKELL AVE SUITE 900
MIAMI FL 33131 PH: 305.967.6355



SEAL

JOHN SACCO AR0004952

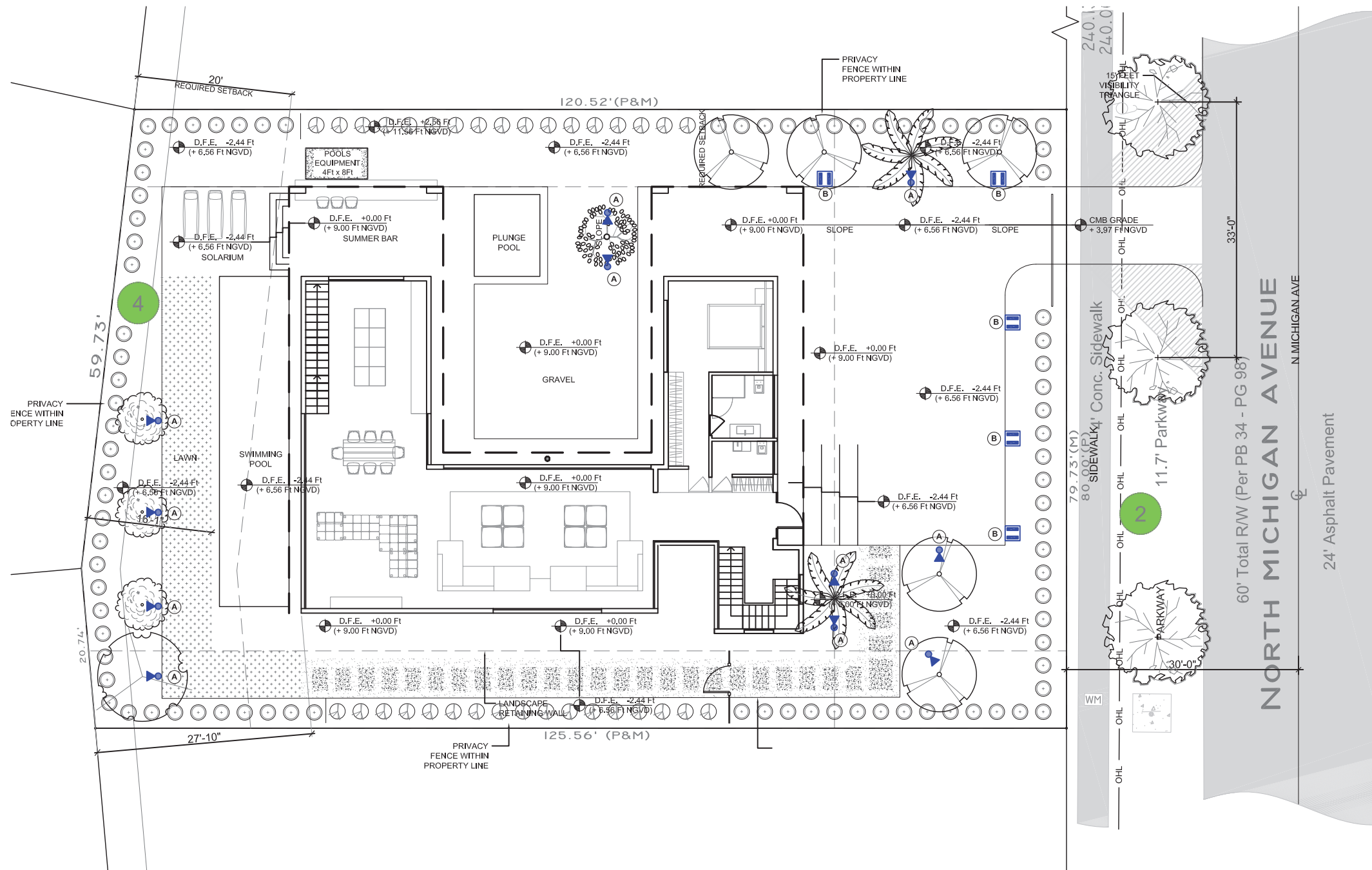
New Single Family Home
4354 N MICHIGAN AVE
MIAMI BEACH, FL 33140

FINAL SUBMITTAL
DATE: 08/10/2020

THESE PLANS ARE FOR DRB REVIEW ONLY. THEY ARE NOT TO BE CONSTRUED AS CONSTRUCTION DOCUMENTS UNTIL ALL BUILDING DEPARTMENTS APPROVAL ARE OBTAINED

PROPOSED
HARDSCAPE PLAN

DRB L.5



A



B

LANDSCAPE LIGHTING FIXTURE SCHEDULE

TYPE	SYMBOL	MANUFACTURER	DESCRIPTION	QTY
A		HK USA Lighting Group	ZXL16i-A-CGSA-120V-6W-LED-3K-BK	11
B		BEGA	84671- 12.3W LED	5

1. PROPOSED LIGHTING PLAN
SCALE 1/16" = 1'-0"



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(305) 528-4001
SEAL

Digitally signed by Diego Vanderbiest
Date: 2020.08.09 14:12:39 -0400'

DIEGO J. VANDERBIEST
RLA #6667355

RC
SEAL

RC TEK ARCHITECTURE LLC
1395 BRICKELL AVE SUITE 900
MIAMI FL 33131 PH: 305.967.6355

JOHN SACCO AR0004952

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LANDSCAPE LIGHTING PLAN

DRB L.6

AFFIDAVIT AUTHORIZING SUBMITTAL OF SCAN PLANS AND CONSTRUCTION DOCUMENTS IN LIEU OF DIGITAL SIGNED AND SEALED SET.

This affidavit is to be used for permit application plan submittals during the Department of Regulatory and Economic Resources' (RER) COVID-19 Emergency Period per Mayor's Emergency Order 14-20.

JOB ADDRESS: 4354 N MICHIGAN AVE

PROJECT NAME: SINGLE FAMILY RESIDENCE

PLAN REFERENCE/JOB IDENTIFICATION NUMBER FROM NUMBER FROM TITLE BLOCK:

4354 N MICHIGAN AVE
MIAMI BEACH

I, (print full name) JOHN SACCO Design Professional of Record with license number # 0004952 with the Firm (Name) PCTEK ARCHITECTURE, hereby

authorize the submittal of scanned plans and construction documents in lieu of a digital signed and sealed set. I affirm that the scanned files submitted for project referenced above are an exact and accurate duplicate of the complete hardcopy set of plans signed and sealed by the undersigned. I understand that I am the custodian of all original records and must make the documents available for inspection upon request of the Building Official or his designee.

I also hereby acknowledge that if there are any discrepancies between the two versions, the review process for said project will be terminated, become null and void, and require re-application under a new permit number. This affidavit will apply and must be submitted throughout the life of the project including initial submittal, re-works, revisions, shop drawings, etc. during this emergency period.

Architect/Engineer of Record Signature & Seal

Designer Professional of Record Signature: _____

Designer Professional of Record Name: John Sacco

Designer Professional of Record Phone: 305 / 967 6355

Design Professional of Record Email: PCTEKDESIGN@GMAIL.COM

STATE OF FLORIDA COUNTY OF MIAMI-DADE

Sworn to and subscribed before me this 9 day of AUGUST, 20 20

by JOHN SACCO

Signature of Notary Public Martina Malone

Print Name MARTINA MALONE



Martina Malone
Comm. #GG923937
Expires: October 17, 2023
Bonded Thru Aaron Notary

Personally known X or Produced Identification (TYPE) _____