

BEFORE THE CITY COMMISSION
CITY OF MIAMI BEACH, FLORIDA

CASE NO.:

[DRB File Nos. DRB19-0392, 22889]

IN RE: **PALAU SUNSET HARBOR**

_____ /

**APPENDIX TO RESPONSE OF AARON AND ERICA
NAHMAD TO INITIAL BRIEF OF SUNSET ISLANDS 3
AND 4 PROPERTY OWNERS, INC. AND TERRY
BIENSTOCK**

Exhibit

TAB

Nahmad Terrace Plans

A

Petitions in Support

B

Letter of Support

C

A



SCOPE OF WORK:
 ROOF TOP IMPROVEMENTS TO UNIT PH4 INCLUDING:
 NEW STAIR, STAIR ENCLOSURE & BULKHEAD,
 PERGOLAS, WET BAR, ISLAND, DUMB WAITER,
 DECORATIVE FLOWER ART WATER FEATURE,
 WOODEN DECK, FIBERGLASS PLANTERS, NATIVE
 PLANTS, LANDSCAPE LIGHTING, SYNTHETIC GRASS
 AND HURRICANE STORAGE NETS.

MODIFICATION OF ASSOCIATED CONDITIONS IN
 DRB ORDER 22889 (CONDITION NOS. B.4.c. AND
 B.13.b.vi FOR ALLOWING ROOF TOP IMPROVEMENTS
 AND OUTDOOR COOKING, RESPECTIVELY).

THE NAHMAD RESIDENCE ROOF TERRACE DESIGN REVIEW BOARD PRESENTATION FINAL SUBMITTAL 05/06/2019



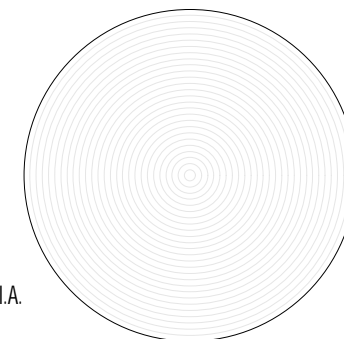
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THE NAHMAD RESIDENCE ROOF TERRACE
 PALAU SUNSET HARBOR 1201 20TH STREET PH4, MIAMI BEACH FL 33139
 Final DRB Submittal May 6th, 2019

SIGN & SEAL



PEDRO G. SUAREZ, A.I.A.
 AR-13718 / ID-4763

COVER SHEET

A-0.0

DRAWING INDEX

LANDSCAPE:

- L-1.0 PLANTING PLAN
- L-2.0 PLANTING PALETTE
- L-3.0 PLANTING DETAILS
- L-4.0 LIGHTING PLAN

ARCHITECTURAL:

- A-0.0 COVER SHEET
- A-0.1 DRAWING INDEX
- A-0.2 LOCATION MAP
- A-0.3 BOUNDARY SURVEY
- A-0.4 ZONING DATA
- A-0.5 EXISTING SITE CONDITIONS
- A-0.6 EXISTING SITE CONDITIONS
- A-0.7 EXISTING SITE CONDITIONS
- A-0.8 BUILDING SECTION & SIGHT LINES

- A-1.0 EXISTING & DEMO ROOF TERRACE PLAN
- A-1.1 PROPOSED ROOF TERRACE PLAN
- A-1.2 PH4 INTERIOR FLOOR PLAN
- A-1.03 ORIGINAL FAR DRAWINGS
- A-1.4 PROPOSED FAR DRAWING

- A3.06 ORIGINAL PERMIT ROOF PLAN
- A4.0 ORIGINAL PERMIT ELEVATIONS
- A4.1 ORIGINAL PERMIT ELEVATIONS

- A-2.0 ROOF TERRACE COMPREHENSIVE ELEVATIONS
- A-2.1 ROOF TERRACE SOUTH ELEVATION - A
- A-2.2 ROOF TERRACE SOUTH ELEVATION - B
- A-2.3 KITCHEN - SOUTH ELEVATION - C
- A-2.4 ROOF TERRACE EAST ELEVATION - A
- A-2.5 ROOF TERRACE EAST ELEVATION - B
- A-2.6 ROOF TERRACE NORTH ELEVATION - A
- A-2.7 ROOF TERRACE NORTH ELEVATION - B
- A-2.8 ROOF TERRACE WEST ELEVATION

- A-3.0 PROPOSED MATERIAL PALETTE

- A-4.0 a RENDERED PLAN
- A-4.0b RENDERED PLAN + SCHEDULE OF NEW ELEMENTS
- A-4.1 RENDERING LOOKING SOUTH
- A-4.2 RENDERING LOOKING EAST



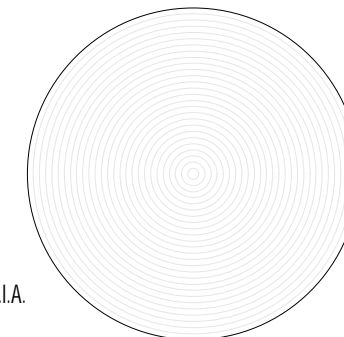
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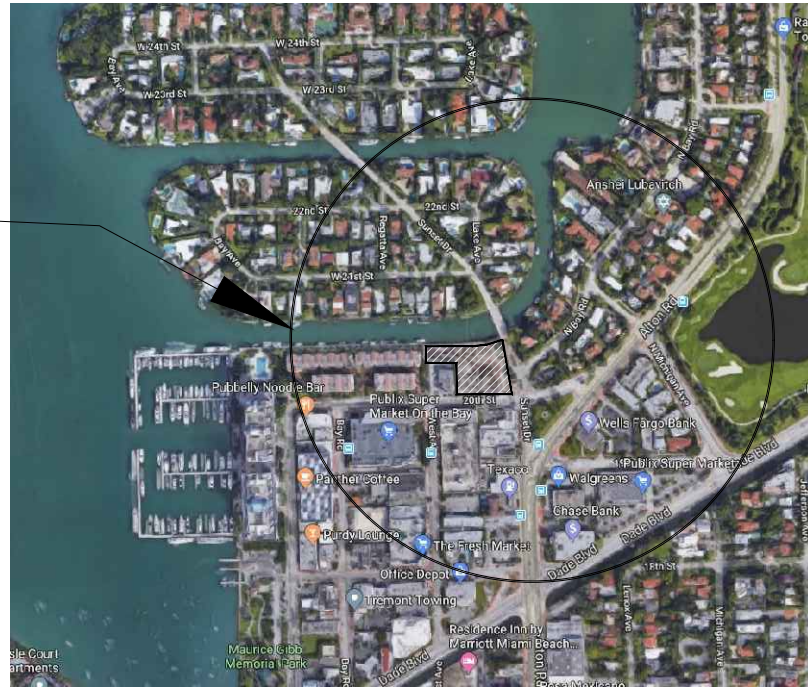


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DRAWING INDEX

A - 0.1

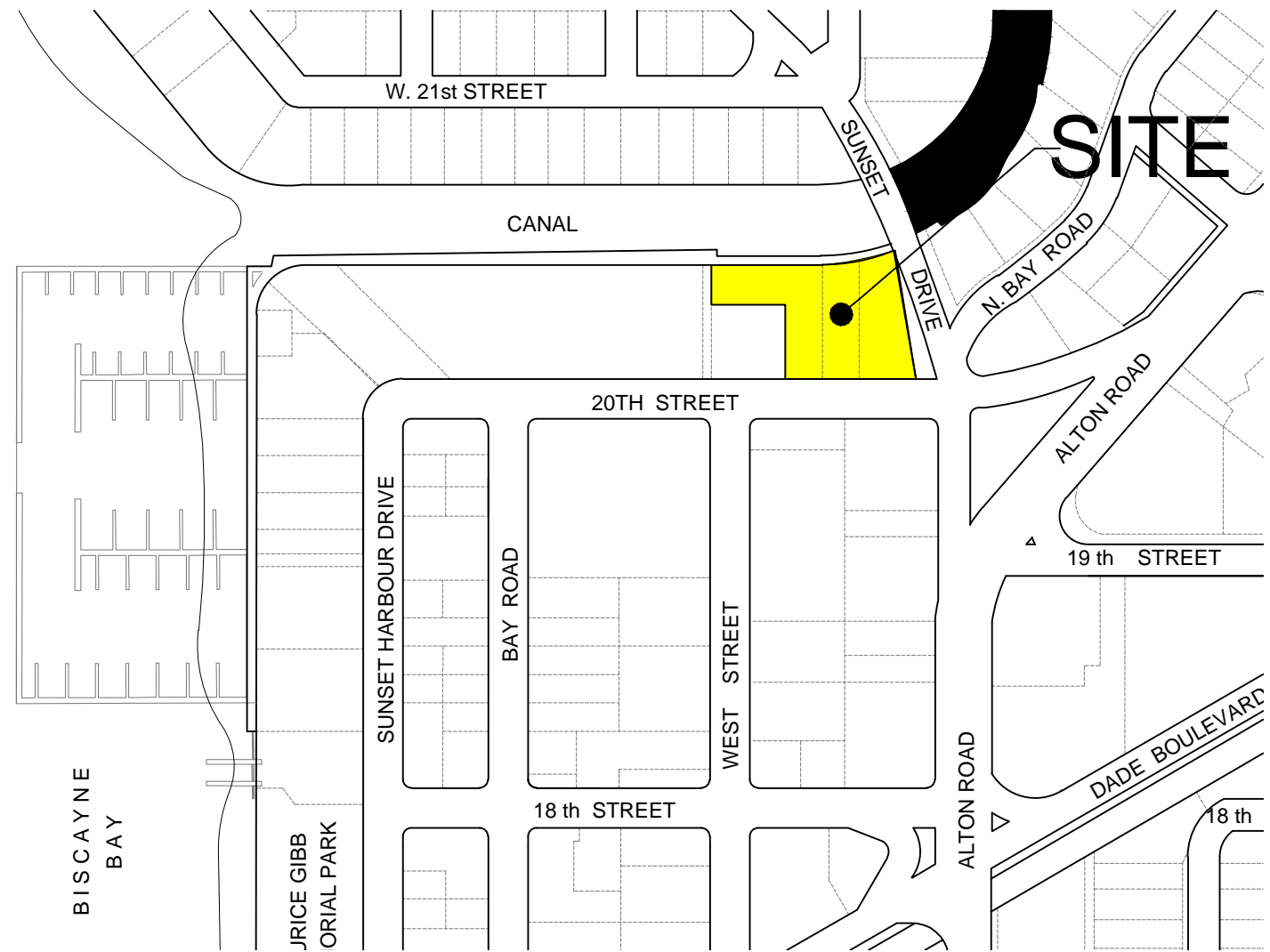
1/2 MILE RADIUS



AERIAL VIEW



SITE



LOCATION MAP



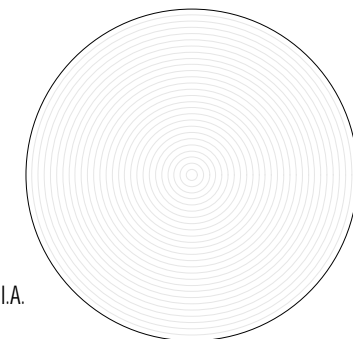
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LOCATION MAP
N.T.S.

A - 0.2

MIAMI BEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY – COMMERCIAL – ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	1201 20 Street, PH4, Miami Beach, FL 33139		
2	Board and file numbers:	DRB19-0392		
3	Folio number(s):	02-3234-242-0390 (PH4) & 02-3234-242-0001 (Condominium)		
4	Year constructed:	2016	Zoning District:	CD-2
5	Base Flood Elevation:	8'	Grade value in NGVD:	3.8'
6	Adjusted grade (Flood+Grade/2):	5.9'	Lot Area:	54,765 SF
7	Lot width:		Lot Depth:	
8	Minimum Unit Size:		Average Unit Size:	
9	Existing use:	Retail & Condominium	Proposed use:	Same, no change
		Maximum	Existing	Proposed
10	Height:	50'	50'	50'
11	Number of Stories:		5	5
12	FAR:			
12A	Allowable Floor Area:	109,530 SF	108,994 SF	109,100 SF
13	Gross square footage:			
14	Square Footage by Hotel use:		N/A	N/A
14A	Square Footage by Restaurant / Lounge Accessory use:		N/A	N/A
15	Number of units Residential:		45	45
16	Number of units Hotel:		N/A	N/A
17	Number of seats:		N/A	N/A
18	Occupancy load:		N/A	N/A
		Required	Existing	Proposed
	Setbacks			
	Subterranean:			
19	Front Setback:	0'-0"	0'-0"	N/A
20	Side Setback:	0'-0"	0'-0"	N/A
21	Side Setback:	10'-0"	26'-1"	N/A
22	Side Setback facing street:	N/A	N/A	N/A
23	Rear Setback:	0'-0"	20'-11"	N/A
	At Grade Parking:			
24	Front Setback:	N/A	N/A	N/A
25	Side Setback:	N/A	N/A	N/A
26	Side Setback:	N/A	N/A	N/A
27	Side Setback facing street:	N/A	N/A	N/A
28	Rear Setback:	N/A	N/A	N/A
	Pedestal:			
29	Front Setback:	20'-0"	20'-0"	N/A
30	Side Interior Setback:	26'-1"	26'-1"	N/A
31	Side Interior Setback:	26'-1"	27'-9"	N/A
32	Side Setback facing street:	20'-0"	20'-0"	N/A

33	Rear Setback:	20'-0"	29'-7"		
	Tower:				
34	Front Setback:	N/A	N/A	N/A	
35	Side Setback:	N/A	N/A	N/A	

ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:		N/A	N/A	
37	Side Setback facing street:		N/A	N/A	
38	Rear Setback:		N/A	N/A	

ITEM #	Parking	Required	Existing	Proposed	Deficiencies
39	Parking District:				
40	Total # of parking spaces:	84	135	N/A	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)				
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)				
43	Parking Space Dimensions:				
44	Parking Space configuration (450,600,900,Parallel)				
45	ADA Spaces				
46	Tandem Spaces				
47	Drive aisle width				
48	Valet drop off and pick up				
49	Loading zones and Trash collection areas				
50	Racks				

ITEM #	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use:		N/A	N/A	
52	Total # of seats:		N/A	N/A	
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)		N/A	N/A	
54	Total occupant load:		N/A	N/A	
55	Occupant load per venue (Provide a separate chart for a breakdown calculation)		N/A	N/A	

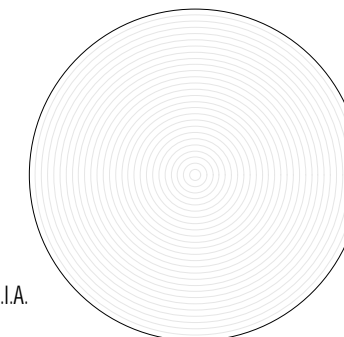
56	Is this a contributing building?	No
57	Located within a Local Historic District?	No



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THE NAHMAD RESIDENCE ROOF TERRACE
PALAU SUNSET HARBOR 1201 20TH STREET PH4, MIAMI BEACH FL 33139
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SIGN & SEAL



PEDRO G. SUAREZ, A.I.A.
AR-13718 / ID-4763

ZONING DATA

A - 0.4



THE PALAU SOUTH-EAST EXTERIOR (EXISTING IMAGE)



THE PALAU NORTH-WEST EXTERIOR (EXISTING IMAGE)



THE PALAU HIDDEN GARDEN (EXISTING IMAGE)



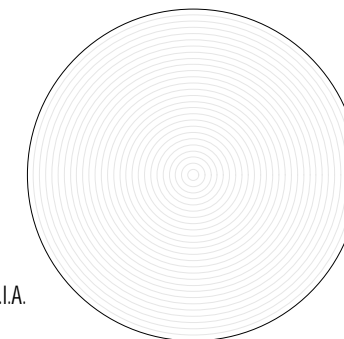
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EXISTING SITE CONTEXT

A - 0.5

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EXTENT OF PROJECT SITE



THE PALAU NORTH - EAST ELEVATION



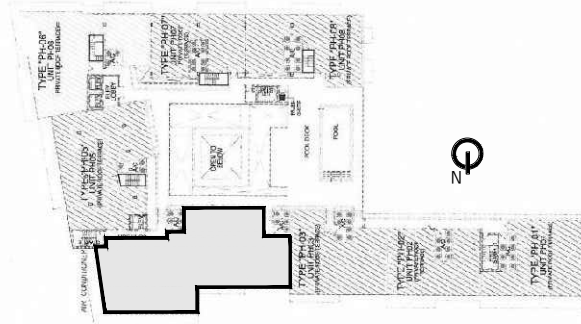
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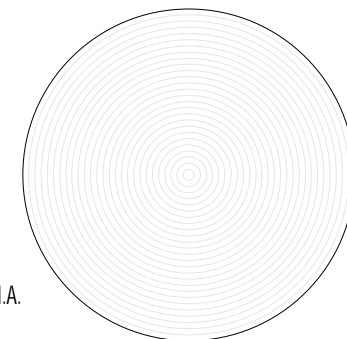
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KEY PLAN



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EXISTING
SITE CONDITIONS

A - 0.6



1. ROOF LOOKING EAST



3. ROOF LOOKING NORTH-EAST



2. ROOF LOOKING WEST



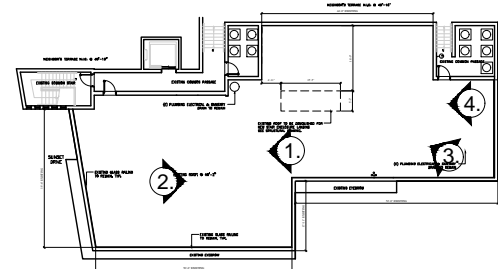
4. ROOF LOOKING NORTH-EAST



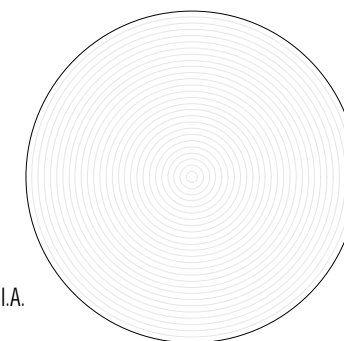
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PHOTO KEY PLAN



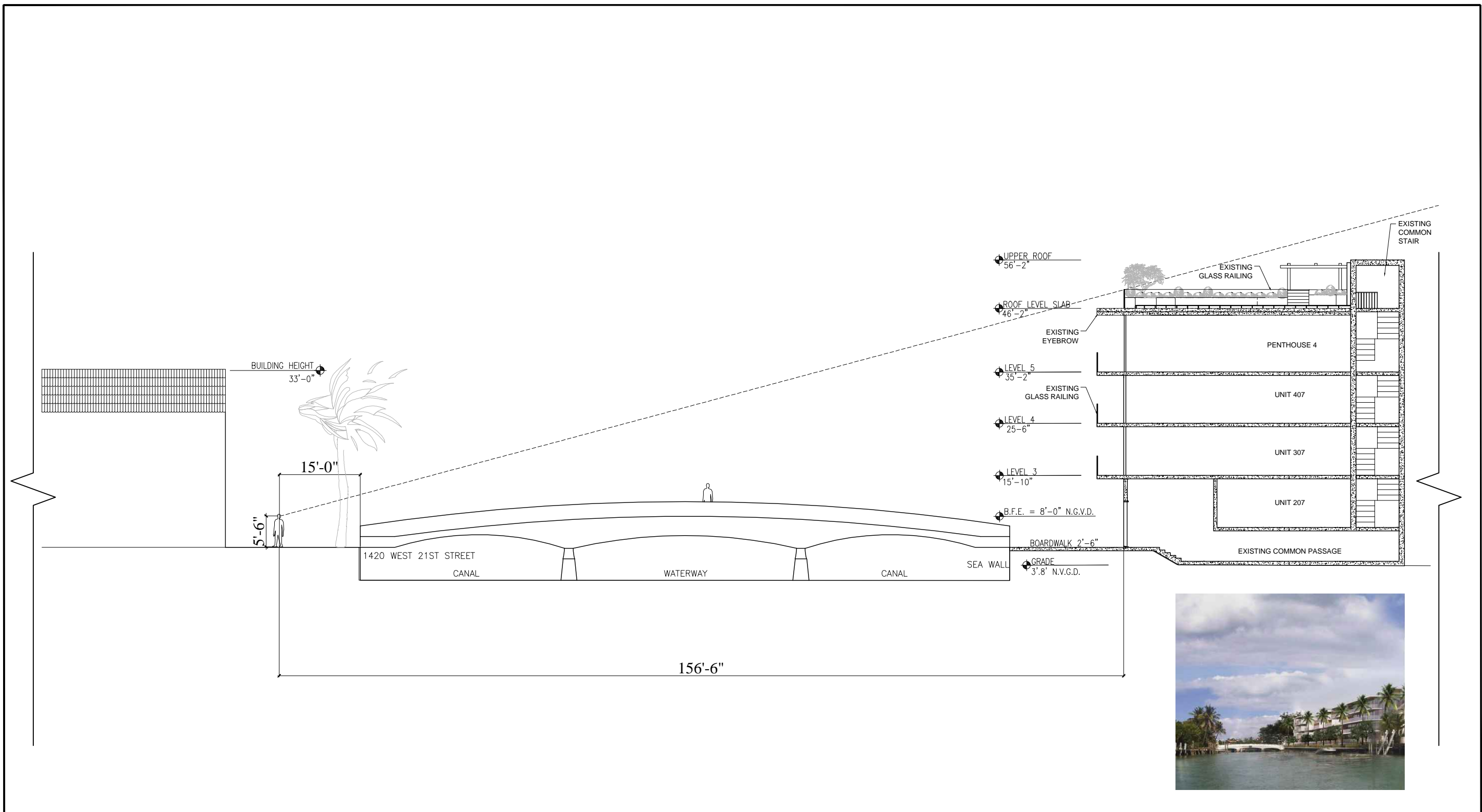
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EXISTING
 SITE PHOTOS

A - 0.7

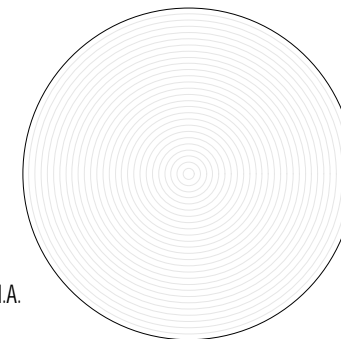


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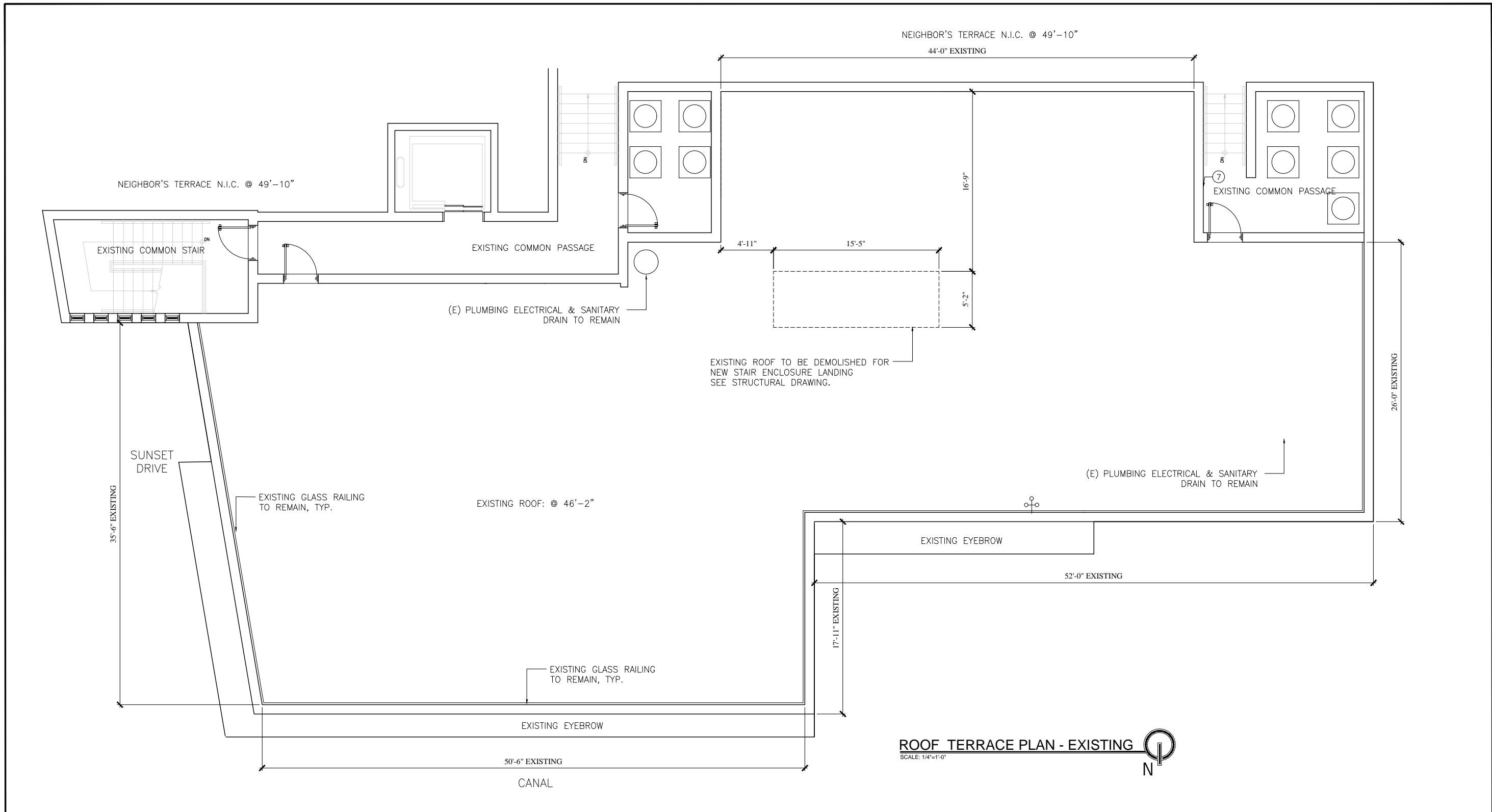
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BUILDING SECTION
 AND LINE OF SIGHT
 1/8" = 1'-0"

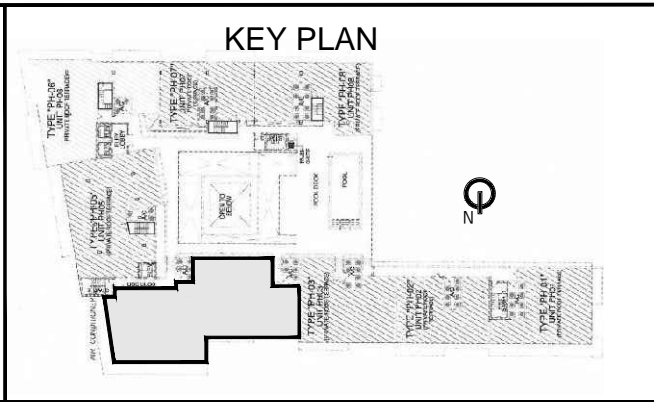
A - 0.8



ROOF TERRACE PLAN - EXISTING
 SCALE: 1/4" = 1'-0"

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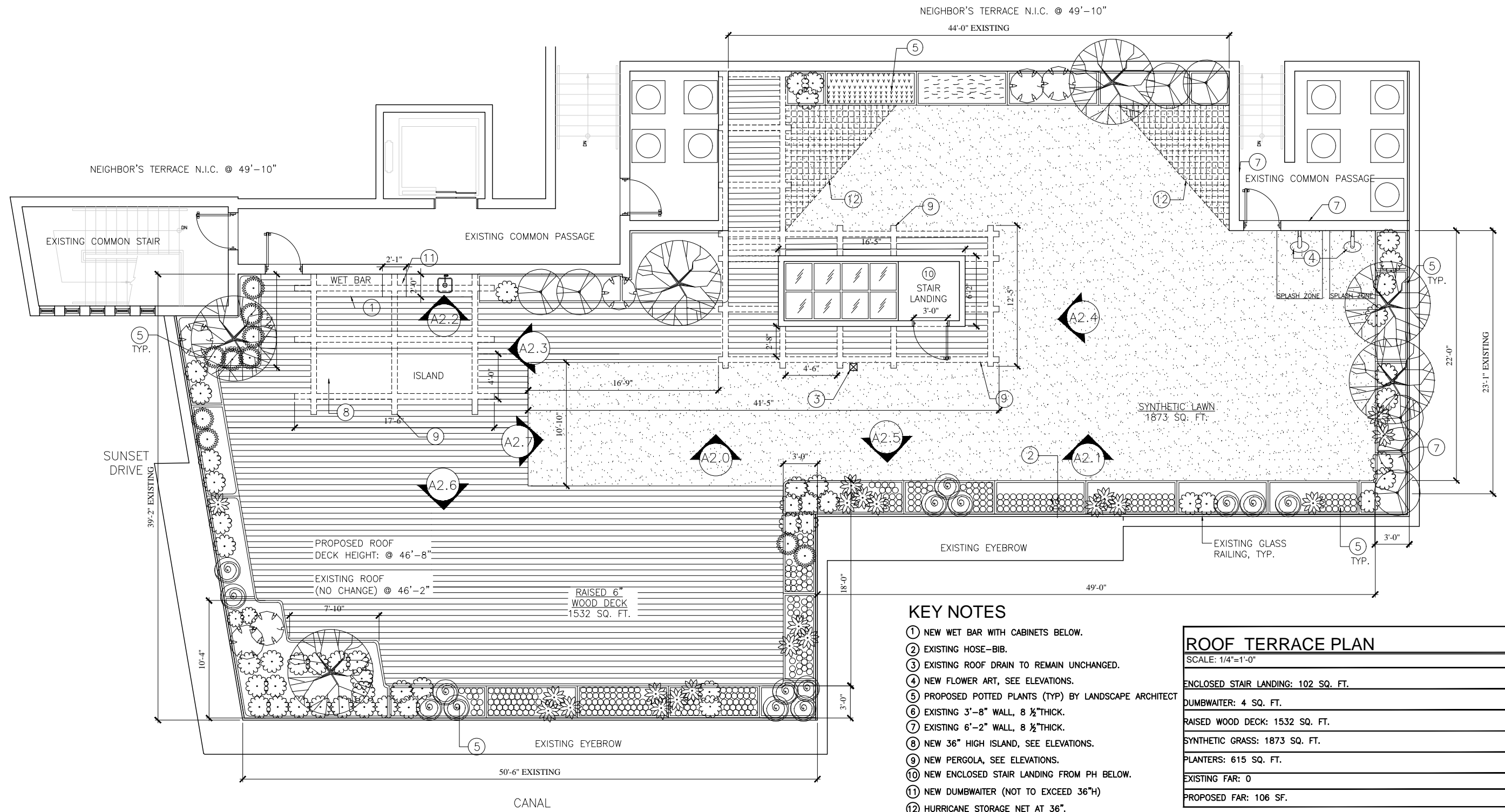


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EXISTING CONDITIONS & DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"

A-1.0



KEY NOTES

- ① NEW WET BAR WITH CABINETS BELOW.
- ② EXISTING HOSE-BIB.
- ③ EXISTING ROOF DRAIN TO REMAIN UNCHANGED.
- ④ NEW FLOWER ART, SEE ELEVATIONS.
- ⑤ PROPOSED POTTED PLANTS (TYP) BY LANDSCAPE ARCHITECT
- ⑥ EXISTING 3'-8" WALL, 8 1/2" THICK.
- ⑦ EXISTING 6'-2" WALL, 8 1/2" THICK.
- ⑧ NEW 36" HIGH ISLAND, SEE ELEVATIONS.
- ⑨ NEW PERGOLA, SEE ELEVATIONS.
- ⑩ NEW ENCLOSED STAIR LANDING FROM PH BELOW.
- ⑪ NEW DUMBWAITER (NOT TO EXCEED 36"H)
- ⑫ HURRICANE STORAGE NET AT 36".

ROOF TERRACE PLAN

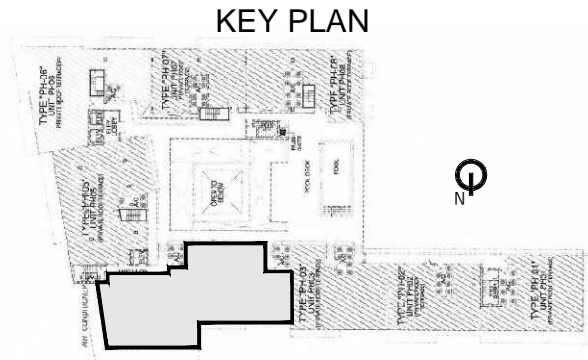
SCALE: 1/4"=1'-0"

ENCLOSED STAIR LANDING: 102 SQ. FT.
DUMBWAITER: 4 SQ. FT.
RAISED WOOD DECK: 1532 SQ. FT.
SYNTHETIC GRASS: 1873 SQ. FT.
PLANTERS: 615 SQ. FT.
EXISTING FAR: 0
PROPOSED FAR: 106 SF.

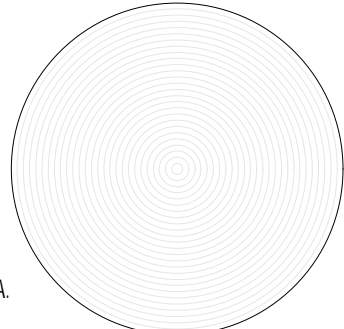


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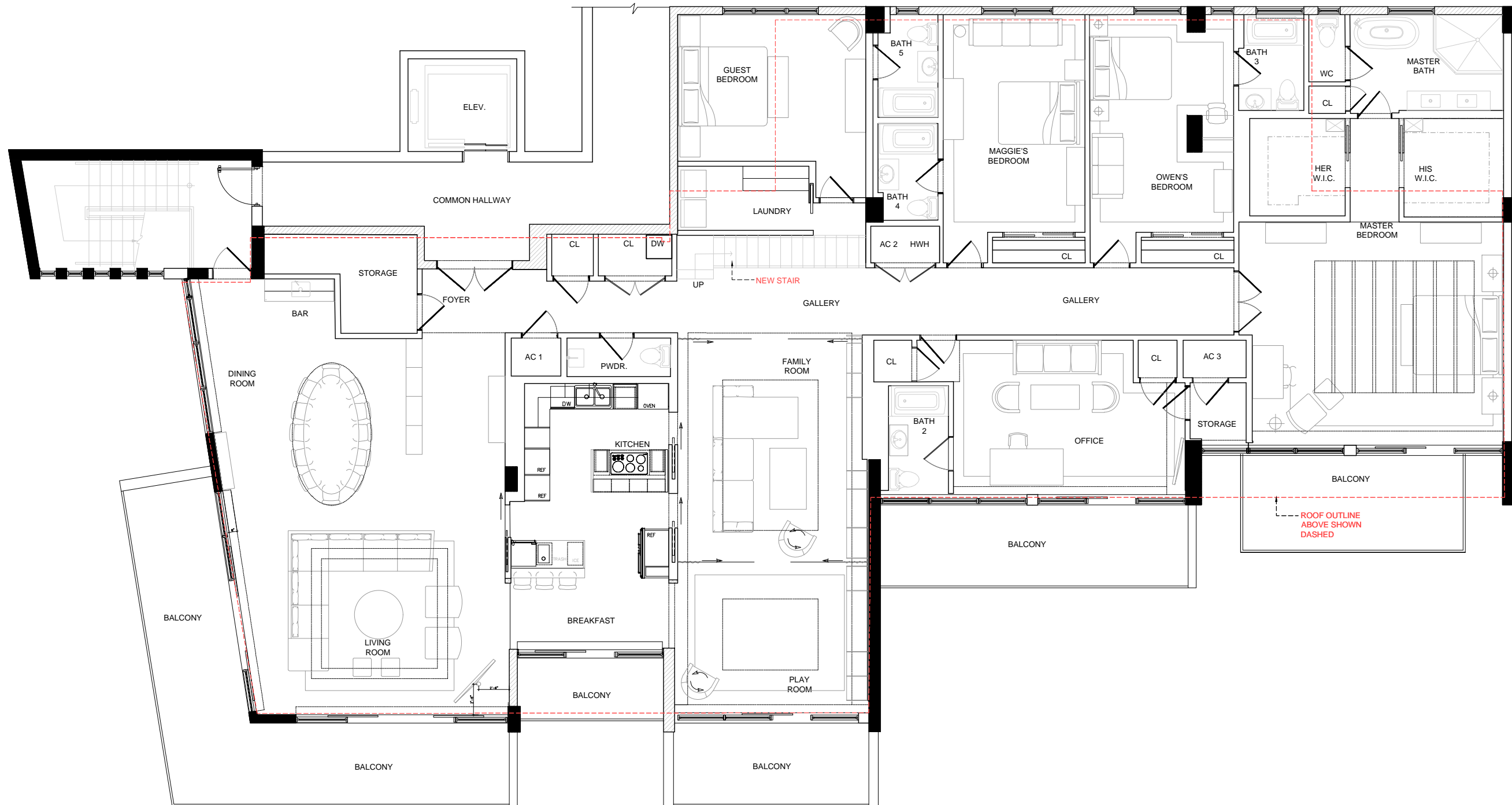


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PROPOSED PLAN
 SCALE: 1/4" = 1'-0"

A-1.1



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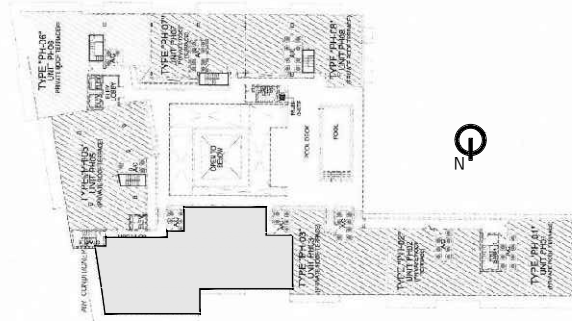
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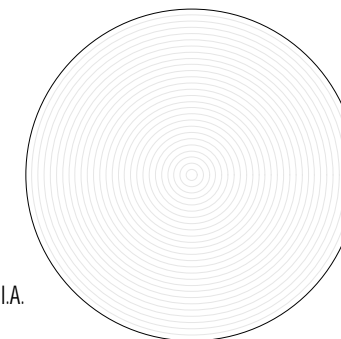
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KEY PLAN



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 AR-13718 / ID-4763



PH4 INTERIOR PLAN
 SCALE: 1/4" = 1'-0"

A-1.2

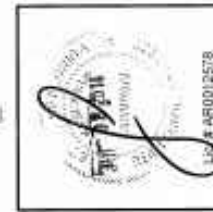
REVISIONS / SUBMISSIONS	
▲ BUILDING DEPT	10/23/13
▲ BUILDING DEPT	03/13/14
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1165

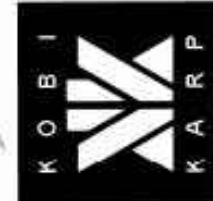
PALAU AT SUNSET HARBOUR
1201, 1225, 1237, 2074 STREET
MIAMI BEACH, FLORIDA

F.A.R. CALCULATIONS

S.H.C.

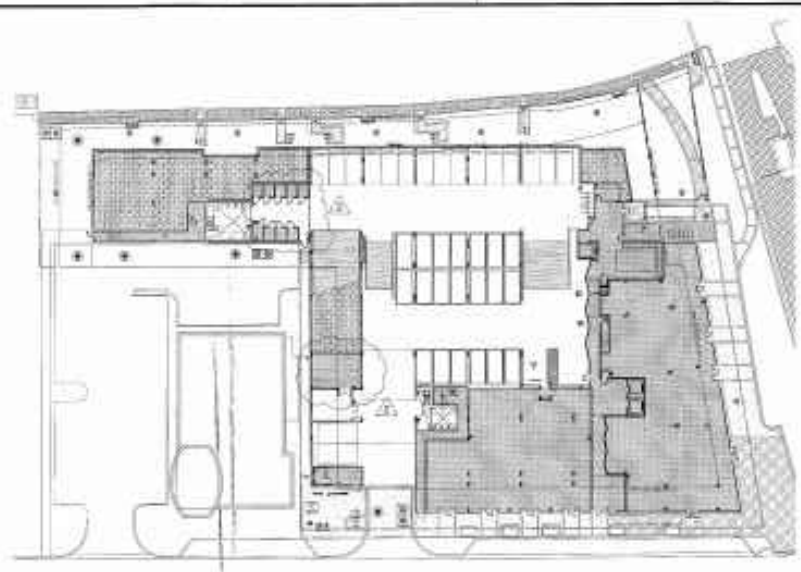


ARCHITECTURE
INTERIOR DESIGN
PLANNING
AIA ASID NCARB
2018 Building Consultant
Miami Beach, FL 33139
P. 305.532.9999
WWW.KOBIKARP.COM

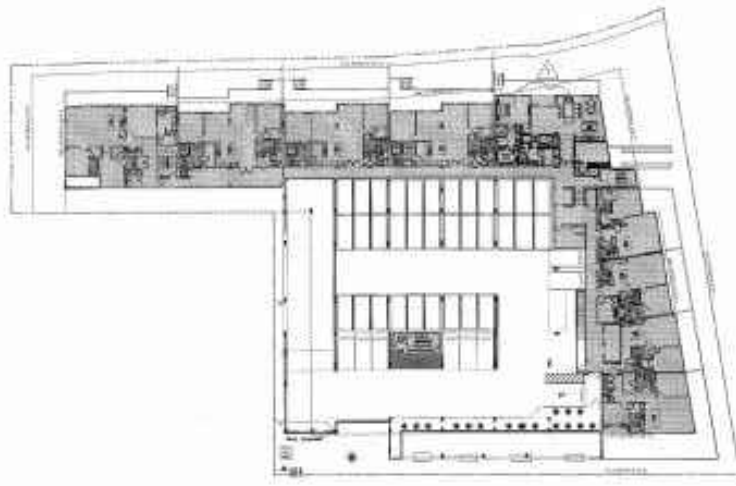


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CHECKED BY:
DATE: 07/1

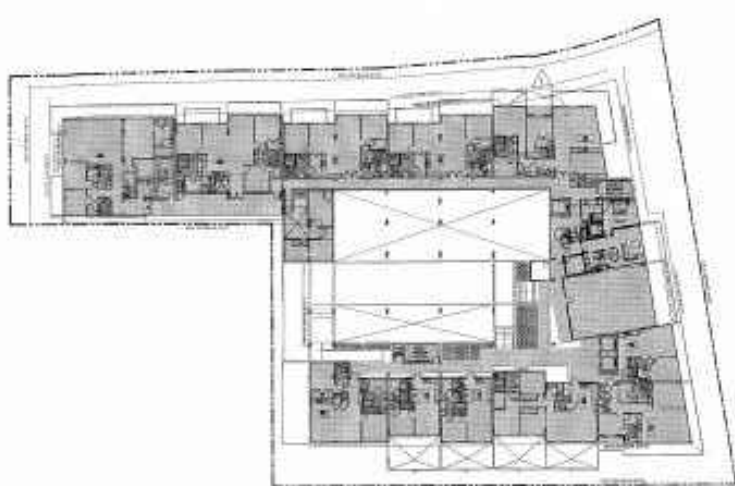
A1.03



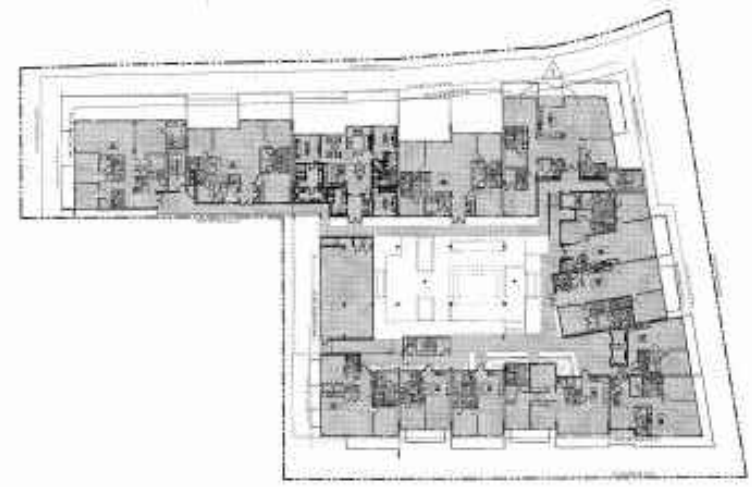
GROUND LEVEL
N.T.S.



LEVEL 2
N.T.S.



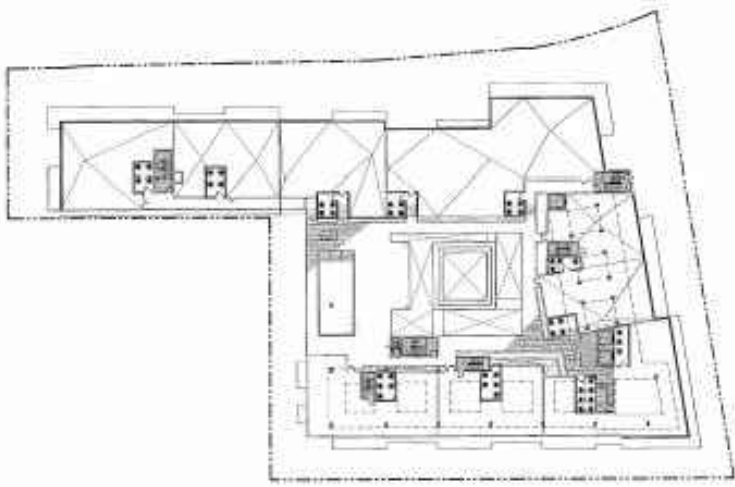
LEVEL 3
N.T.S.



LEVEL 4
N.T.S.



LEVEL 5
N.T.S.



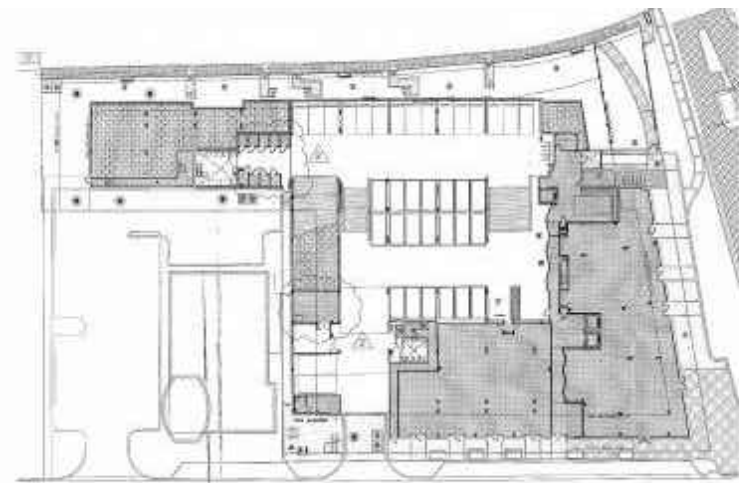
ROOF LEVEL
N.T.S.

FLOOR AREA CALCULATIONS	
SHADED AREAS DENOTE SQUARE FOOTAGE INCLUDED IN F.A.R.	
FLOOR:	F.A.R.
LEVEL 1 - GROUND FLOOR PLAN	15,321 - SF
LEVEL 2	16,758 - SF
LEVEL 3	24,807 - SF
LEVEL 4	25,187 - SF
LEVEL 5	24,884 - SF
LEVEL 6 - ROOF	2,037 - SF
TOTAL FLOOR AREA	108,994 - SF

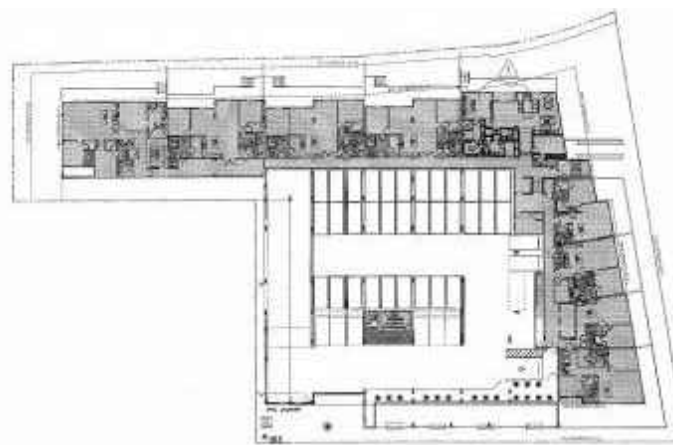
SOURCE: SHEET A1.03
FROM APPROVED BUILDING
PERMIT B1304944

FLOOR AREA CALCULATIONS	
SHADED AREAS DENOTES SQUARE FOOTAGE INCLUDED IN F.A.R.	
FLOOR:	F.A.R.
LEVEL 1 - GROUND FLOOR PLAN	15,321 - SF
LEVEL 2	16,758 - SF
LEVEL 3	24,807 - SF
LEVEL 4	25,187 - SF
LEVEL 5	24,884 - SF
LEVEL 6 - ROOF	2,037 - SF
TOTAL FLOOR AREA	108,994 - SF

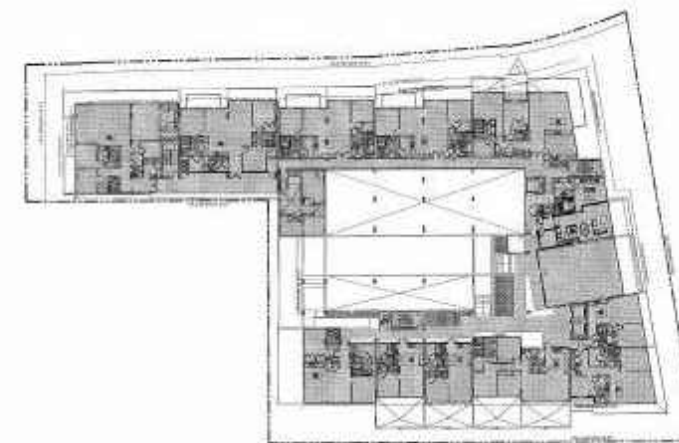
F.A.R. STUDY



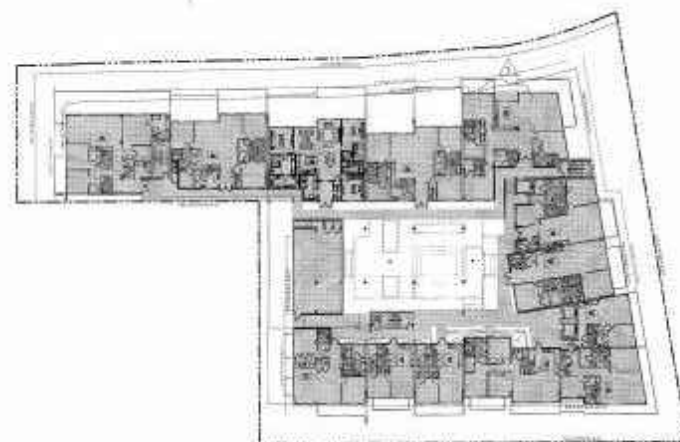
GROUND LEVEL
N.T.S.



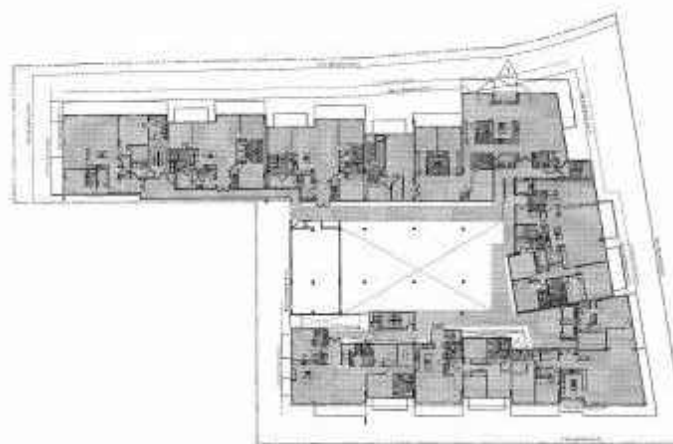
LEVEL 2
N.T.S.



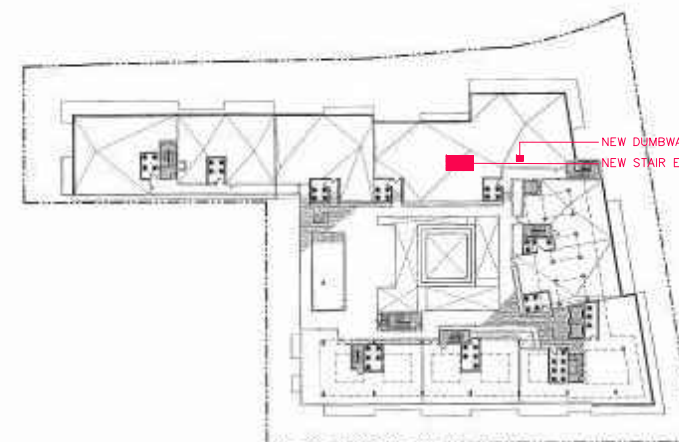
LEVEL 3
N.T.S.



LEVEL 4
N.T.S.



LEVEL 5
N.T.S.



ROOF LEVEL
N.T.S.

FLOOR AREA CALCULATIONS:

SHADED AREA DENOTES SQ. FOOTAGE IN PROPOSED F.A.R.

FLOOR:	F.A.R.:	LOT AREA:	TOTAL ALLOWABLE F.A.R.:	EXISTING F.A.R.:	PROPOSED F.A.R.:	REMAINING F.A.R.:
LEVEL 1 - GROUND FLOOR PLAN	15,321 SF	54,765 SF	109,530 SF	108,994 SF	109,100 SF	430 SF
LEVEL 2	16,758 SF					
LEVEL 3	24,807 SF					
LEVEL 4	25,187 SF					
LEVEL 5	24,884 SF					
LEVEL 6 - ROOF	2,139 SF					

TOTAL FLOOR AREA: 109,096 SF

SOURCE: SHEET A1.03
FROM APPROVED BUILDING
BUILDING PERMIT B1304944



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THE NAHMAD RESIDENCE ROOF TERRACE
PALAU SUNSET HARBOR 1201 20TH STREET PH4, MIAMI BEACH FL 33139
Final DRB Submittal May 6th, 2019

PROPOSED FAR
DRAWING
1/4" = 1'-0"

A-1.4

46'-2"

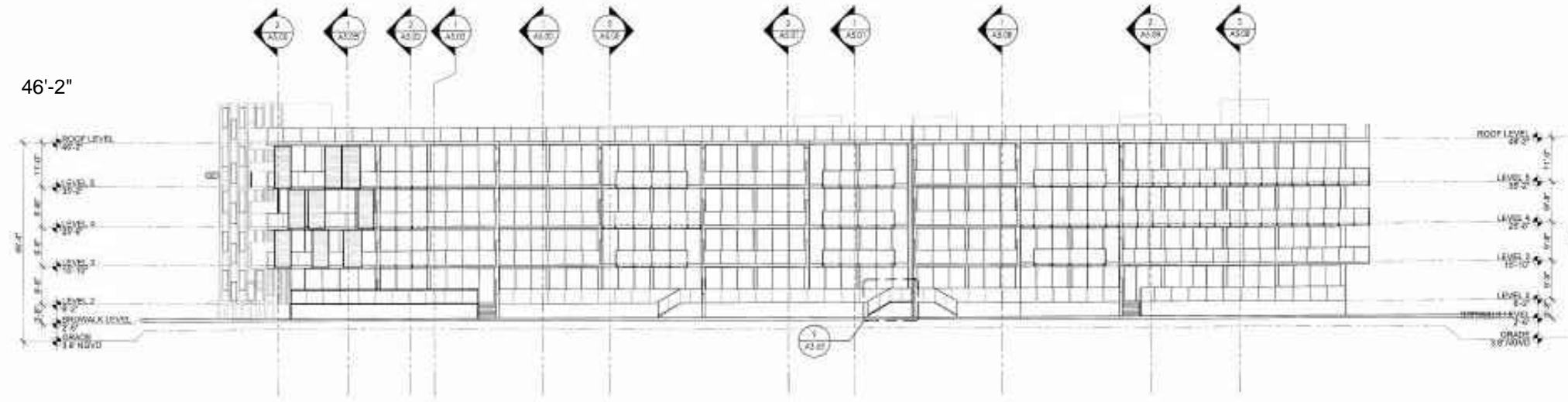


TABLE TAKE MAXIMUM AREA OF EXTERIOR WALL OPENINGS

CLASSIFICATION OF OPENING	FIRE SEPARATION DISTANCE (FT)						
	0 TO 3	GREATER THAN 3 TO 5	GREATER THAN 5 TO 10	GREATER THAN 10 TO 15	GREATER THAN 15 TO 20	GREATER THAN 20 TO 25	GREATER THAN 25
UNPROTECTED	NOT PERMITTED	NOT PERMITTED	10%	15%	25%	45%	NO LIMIT
PROTECTED	NOT PERMITTED	10%	20%	40%	75%	NO LIMIT	NO LIMIT

NOTE: ALL OPENINGS BELOW GRADE WILL BE PROTECTED BY FLOOD BARRIERS

NORTH ELEVATION
1/16" = 1'-0"

1

REVISIONS / SUBMISSIONS

1	BUILDING OPT.	3/10/14
2		
3		
4		
5		
6		
7		
8		
9		
10		

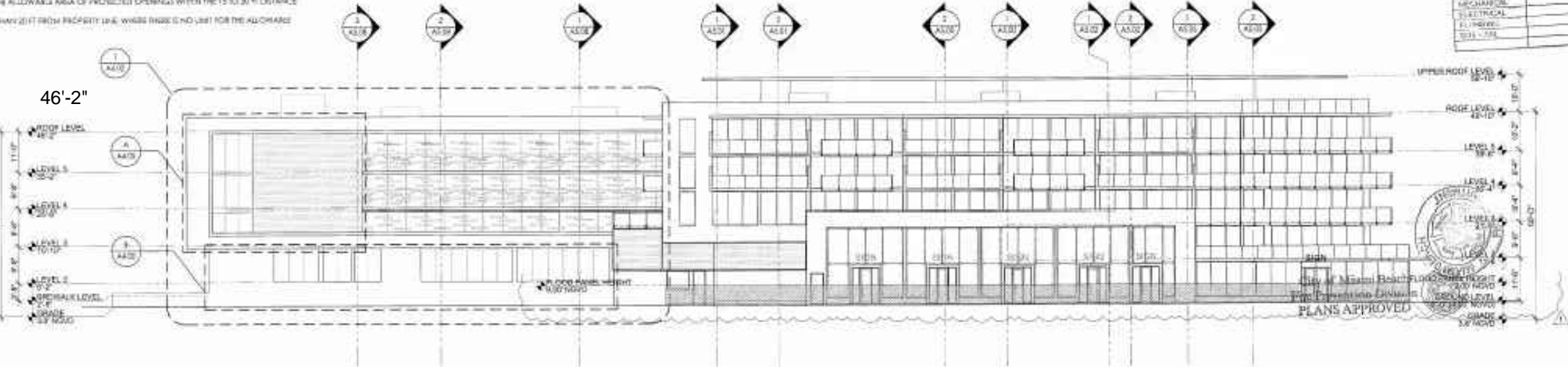
1165

PALAU AT SUNSET HARBOUR
1301 - 1325 1337 20TH STREET
MIAMI BEACH, FLORIDA

ELEVATION
NORTH AND SOUTH

- A = AREA OF PROTECTED MASONRY OPENINGS
 - B = ALLOWABLE AREA OF MASONRY OPENINGS
- A 8'-3" FROM PROPERTY LINE
 $\frac{A}{B} = \frac{2495}{11,326} = 14\% < 14.8\%$
 ALLOWABLE PROTECTED OPENING WITHIN 3 TO 5 FT. = 10%
- B 12'-0" FROM PROPERTY LINE
 $\frac{A}{B} = \frac{8027}{11,384} = 41\% < 41.1\%$
 ALLOWABLE PROTECTED OPENING WITHIN 10 TO 15 FT. = 40%

NOTE: IDENTIFIED AREA ABOVE IS THE ALLOWABLE AREA OF PROTECTED OPENINGS WITHIN THE 15 TO 30 FT DISTANCE FROM THE PROPERTY LINE. NON IDENTIFIED AREA IS OPENING WITHIN 15 TO 30 FT FROM PROPERTY LINE, WHICH THERE IS NO LIMIT FOR THE ALLOWABLE PROTECTED OPENING.



46'-2"

MTCI

DISCIPLINE	REVIEWER INITIALS	DATE RECEIVED
BUILDING		7/7/14
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
PLUMBING		
OTHER		

MAY 0 1 2014

Professional Engineer Seal

LIC. # A48072578

ARCHITECTURE
INTERIOR DESIGN
PLANNING

ANA ASID NCARB
2011 Registered Architect
Miami Beach, FL 33139
P. 305.532.2186
WWW.KOBIKARP.COM



SOURCE: SHEET A-4.0
FROM APPROVED BUILDING
PERMIT B1304944

SOUTH ELEVATION
1/16" = 1'-0"

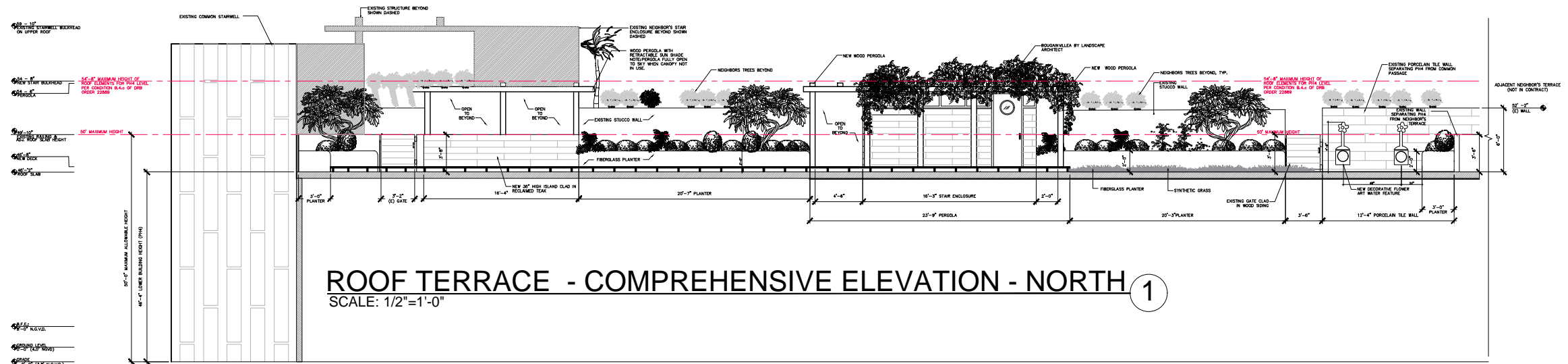
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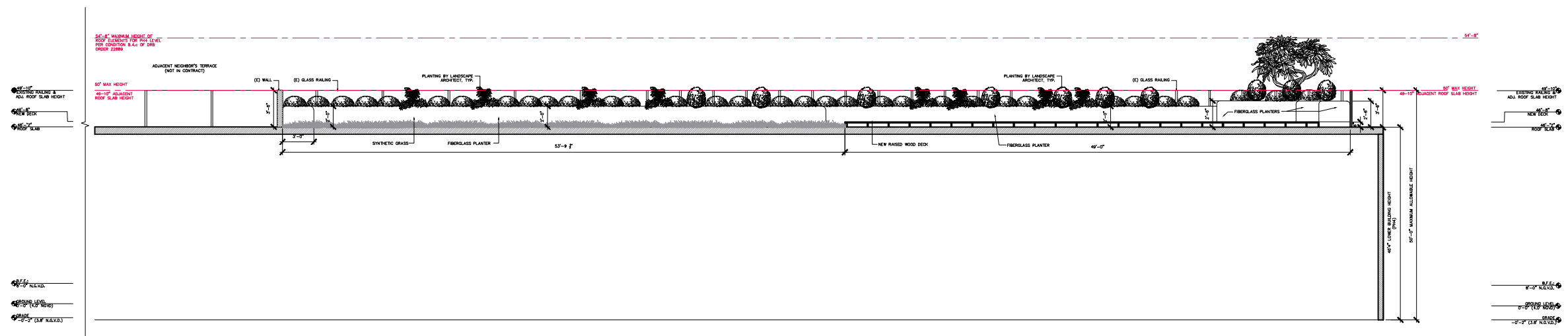
CHECKED BY: _____

DATE: 2013

A4.00



ROOF TERRACE - COMPREHENSIVE ELEVATION - NORTH ①
SCALE: 1/2"=1'-0"

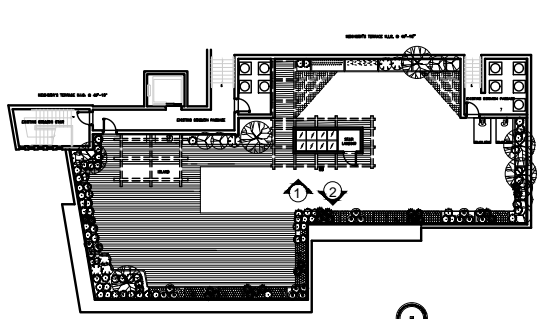


ROOF TERRACE - COMPREHENSIVE ELEVATION - SOUTH ②
SCALE: 1/2"=1'-0"



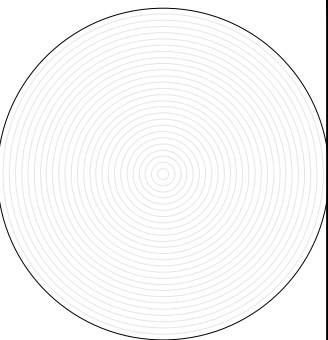
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1201 20TH STREET PH4, MIAMI BEACH FL 33139
Final DRB Submittal May 6th, 2019



KEY PLAN

SIGN & SEAL

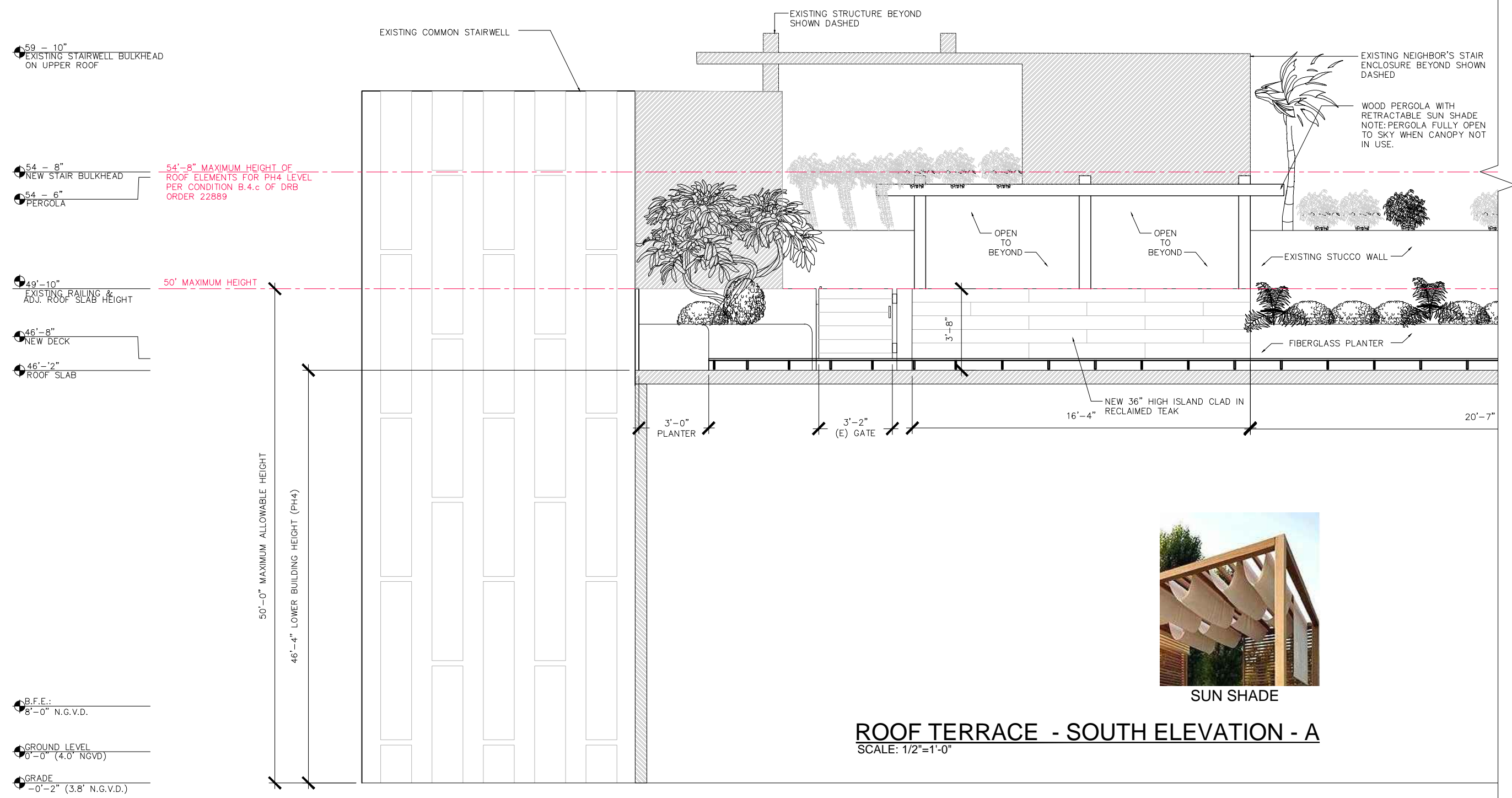


PEDRO G. SUAREZ, A.I.A.
AR-13718 / ID-4763

COMPREHENSIVE ELEVATIONS NORTH & SOUTH

SCALE: 3/16" = 1'-0"

A - 2.0



59'-10"
EXISTING STAIRWELL BULKHEAD
ON UPPER ROOF

54'-8"
NEW STAIR BULKHEAD
54'-6"
PERGOLA

49'-10"
EXISTING RAILING &
ADJ. ROOF SLAB HEIGHT

46'-8"
NEW DECK
46'-2"
ROOF SLAB

54'-8" MAXIMUM HEIGHT OF
ROOF ELEMENTS FOR PH4 LEVEL
PER CONDITION B.4.c OF DRB
ORDER 22889

50' MAXIMUM HEIGHT

50'-0" MAXIMUM ALLOWABLE HEIGHT
46'-4" LOWER BUILDING HEIGHT (PH4)

B.F.E.:
8'-0" N.G.V.D.

GROUND LEVEL
0'-0" (4.0' NGVD)

GRADE
-0'-2" (3.8' N.G.V.D.)

ROOF TERRACE - SOUTH ELEVATION - A
SCALE: 1/2"=1'-0"

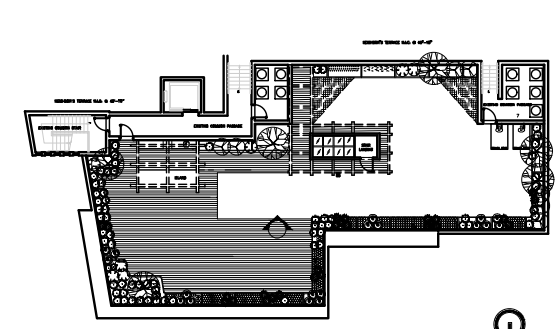


SUN SHADE



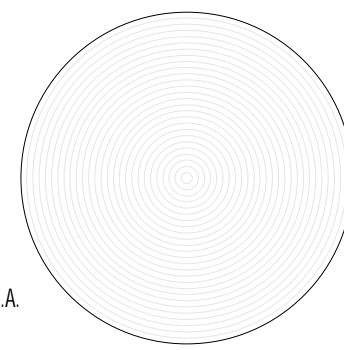
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KEY PLAN

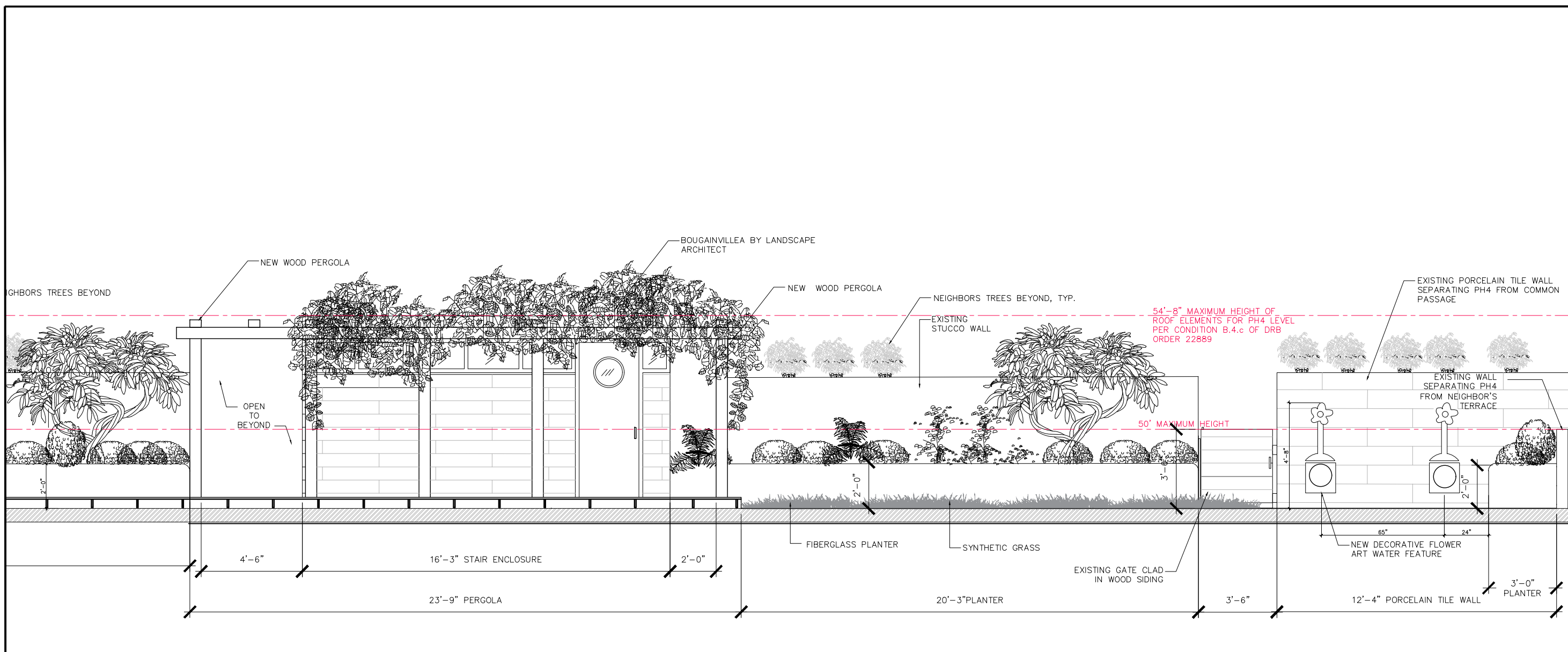
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AR-13718 / ID-4763

SOUTH ELEVATION - A
SCALE: 1/2" = 1'-0"

A - 2.1

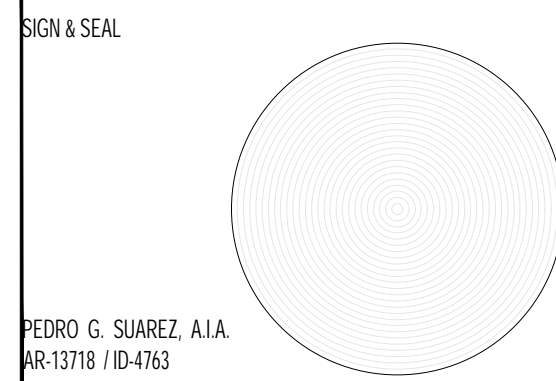
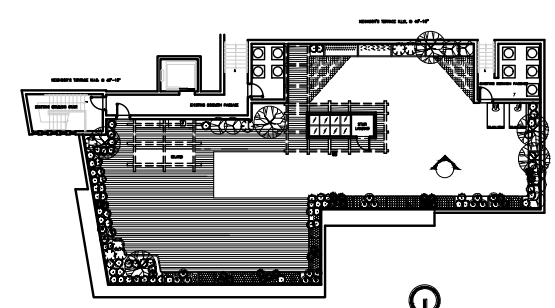


ROOF TERRACE - SOUTH ELEVATION - B
 SCALE: 1/2"=1'-0"



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Final DRB Submittal May 6th, 2019



SOUTH ELEVATION - B
 SCALE: 1/2" = 1'-0"

A - 2.2

59'-10"
EXISTING STAIRWELL BULKHEAD
ON UPPER ROOF

54'-8"
NEW STAIR BULKHEAD
54'-6"
PERGOLA

49'-10"
EXISTING RAILING &
ADJ. ROOF SLAB HEIGHT

46'-8"
NEW DECK

46'-2"
ROOF SLAB

B.F.E.:
8'-0" N.G.V.D.

GROUND LEVEL
0'-0" (4.0' NGVD)

GRADE
-0'-2" (3.8' N.G.V.D.)

54'-8" MAXIMUM HEIGHT OF
ROOF ELEMENTS FOR PH4 LEVEL
PER CONDITION B.4.c OF DRB
ORDER 22889

50' MAXIMUM HEIGHT

50'-0" MAXIMUM ALLOWABLE HEIGHT

46'-4" LOWER BUILDING HEIGHT (PH4)

EXISTING COMMON STAIRWELL

EXISTING STRUCTURE BEYOND
SHOWN DASHED

EXISTING NEIGHBOR'S STAIR
ENCLOSURE BEYOND SHOWN
DASHED

(N) WALL IN RECLAIMED TEAK
SIDING

EXISTING STUCCO WALL

EXISTING WALL BEYOND

3'-0"
PLANTER

EXISTING GATE
CLAD IN WD. SIDING

CABINETS

DUMB
WAITER

CABINETS

2'-1"

14'-10"
WET BAR

FIBERGLASS PLANTER

6'-0"



DUMB WAITER

ROOF TERRACE - SOUTH ELEVATION - C

SCALE: 1/2"=1'-0"

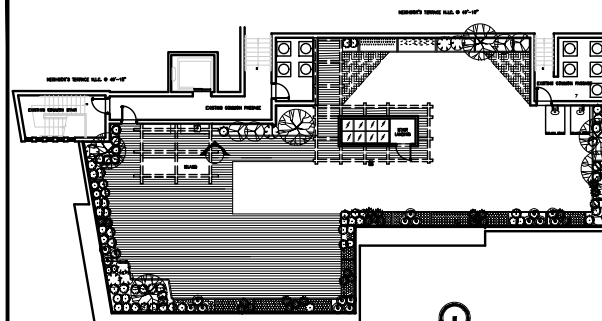


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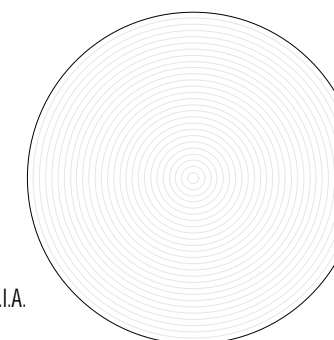


KEY PLAN



1:20

SIGN & SEAL



PEDRO G. SUAREZ, A.I.A.
AR-13718 / ID-4763

SOUTH ELEVATION - C
SCALE: 1/2" = 1'-0"

A - 2.3

59'-10"
EXISTING STAIRWELL BULKHEAD
ON UPPER ROOF

54'-6"
PERGOLA

49'-10"
EXISTING RAILING &
ADJ. ROOF SLAB HEIGHT

46'-8"
NEW DECK

46'-2"
ROOF SLAB

B.F.E.:
8'-0" N.G.V.D.

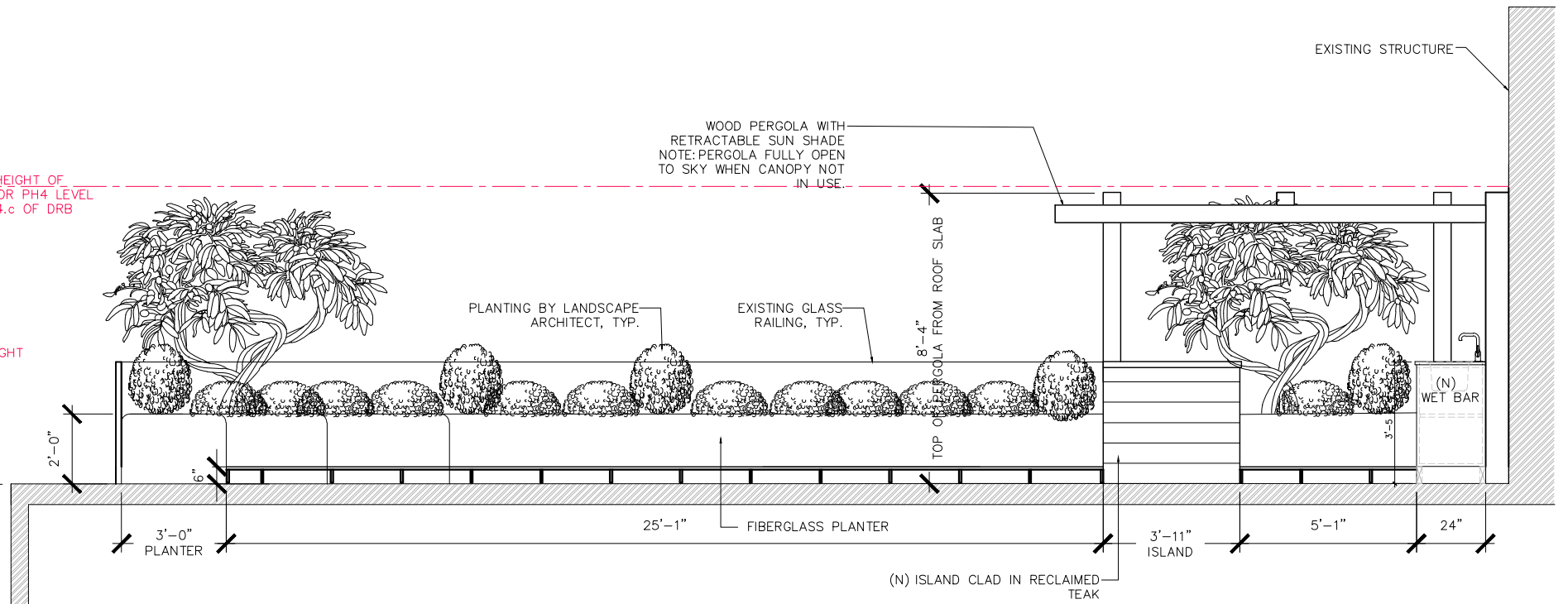
GROUND LEVEL
0'-0" (4.0' NGVD)

GRADE
-0'-2" (3.8' N.G.V.D.)

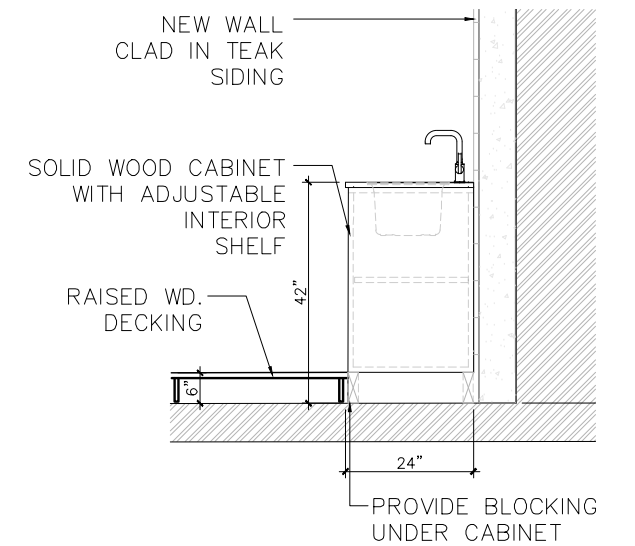
54'-8" MAXIMUM HEIGHT OF
ROOF ELEMENTS FOR PH4 LEVEL
PER CONDITION B.4.c OF DRB
ORDER 22889

50' MAXIMUM HEIGHT

50'-0" MAXIMUM ALLOWABLE HEIGHT
46'-4" LOWER BUILDING HEIGHT (PH4)



ROOF TERRACE - EAST ELEVATION - A 1
SCALE: 1/2"=1'-0"



ENLARGED SECTION AT WET BAR 2
SCALE: 1/2"=1'-0"



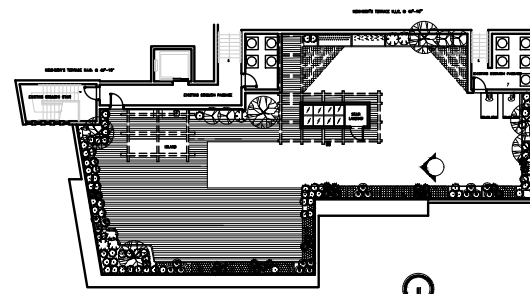
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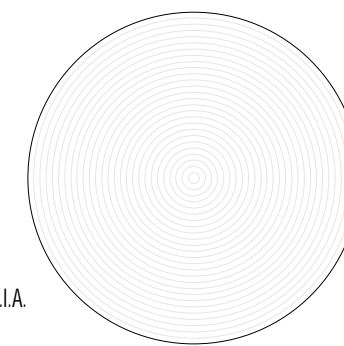
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THE NAHMAD RESIDENCE ROOF TERRACE
PALAU SUNSET HARBOR
1201 20TH STREET PH4, MIAMI BEACH FL 33139
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KEY PLAN
1:20

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EAST ELEVATION - A
SCALE: 1/2" = 1'-0"

A - 2.4

59'-10"
EXISTING STAIRWELL BULKHEAD
ON UPPER ROOF

54'-8"
NEW STAIR BULKHEAD
54'-6"
PERGOLA

49'-10"
EXISTING RAILING &
ADJ. ROOF SLAB HEIGHT
46'-8"
NEW DECK
46'-2"
ROOF SLAB

B.F.E.:
8'-0" N.G.V.D.

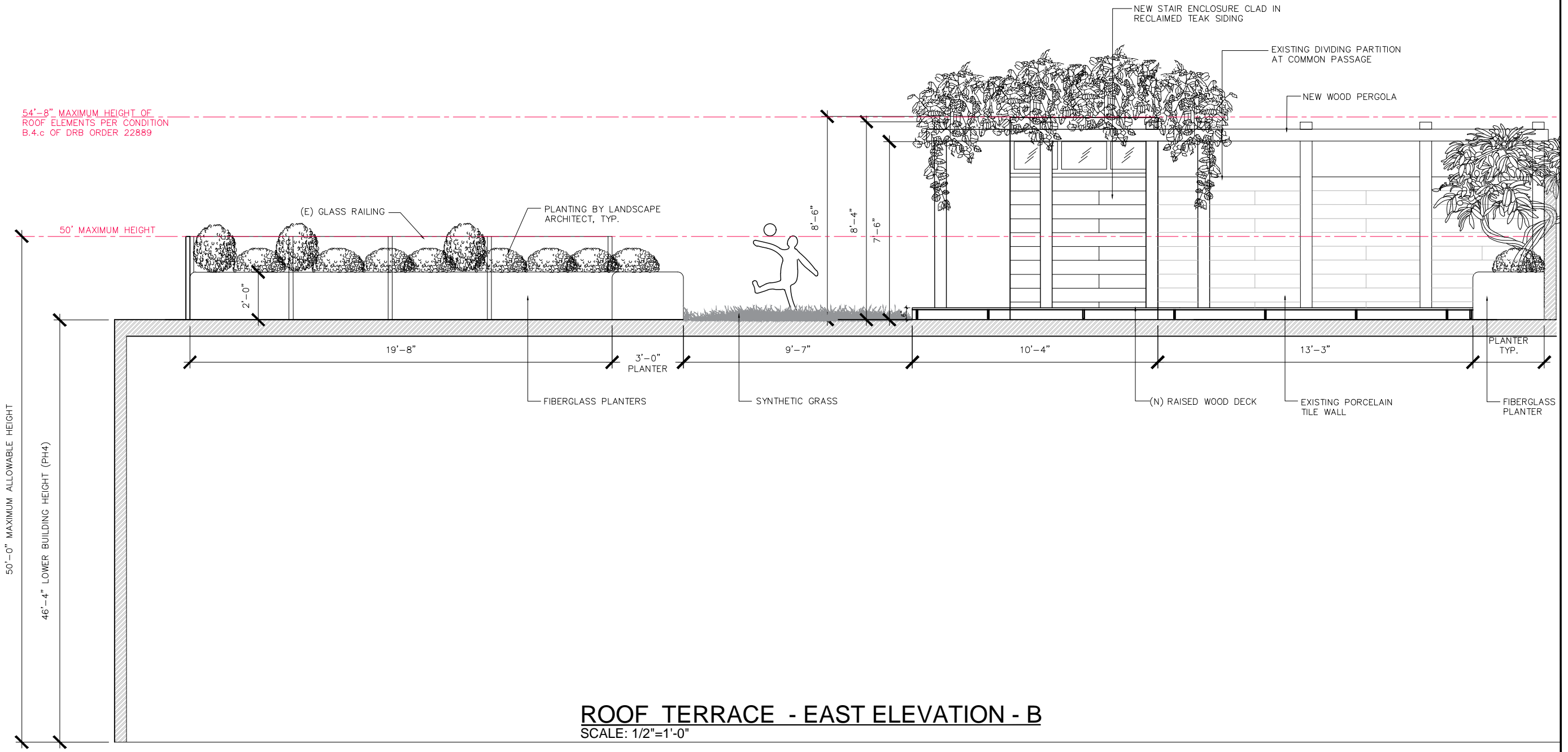
GROUND LEVEL
0'-0" (4.0' NGVD)

GRADE
-0'-2" (3.8' N.G.V.D.)

54'-8" MAXIMUM HEIGHT OF
ROOF ELEMENTS PER CONDITION
B.4.c OF DRB ORDER 22889

50' MAXIMUM HEIGHT

50'-0" MAXIMUM ALLOWABLE HEIGHT
46'-4" LOWER BUILDING HEIGHT (PH4)

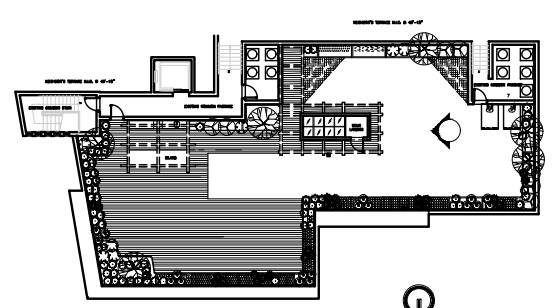


ROOF TERRACE - EAST ELEVATION - B
SCALE: 1/2"=1'-0"



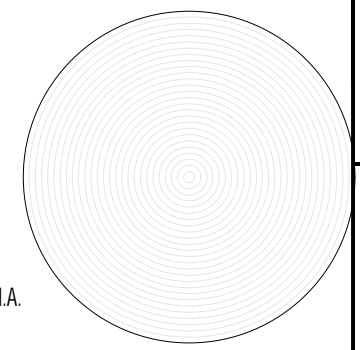
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PALAU SUNSET HARBOR 1201 20TH STREET
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KEY PLAN
1:20

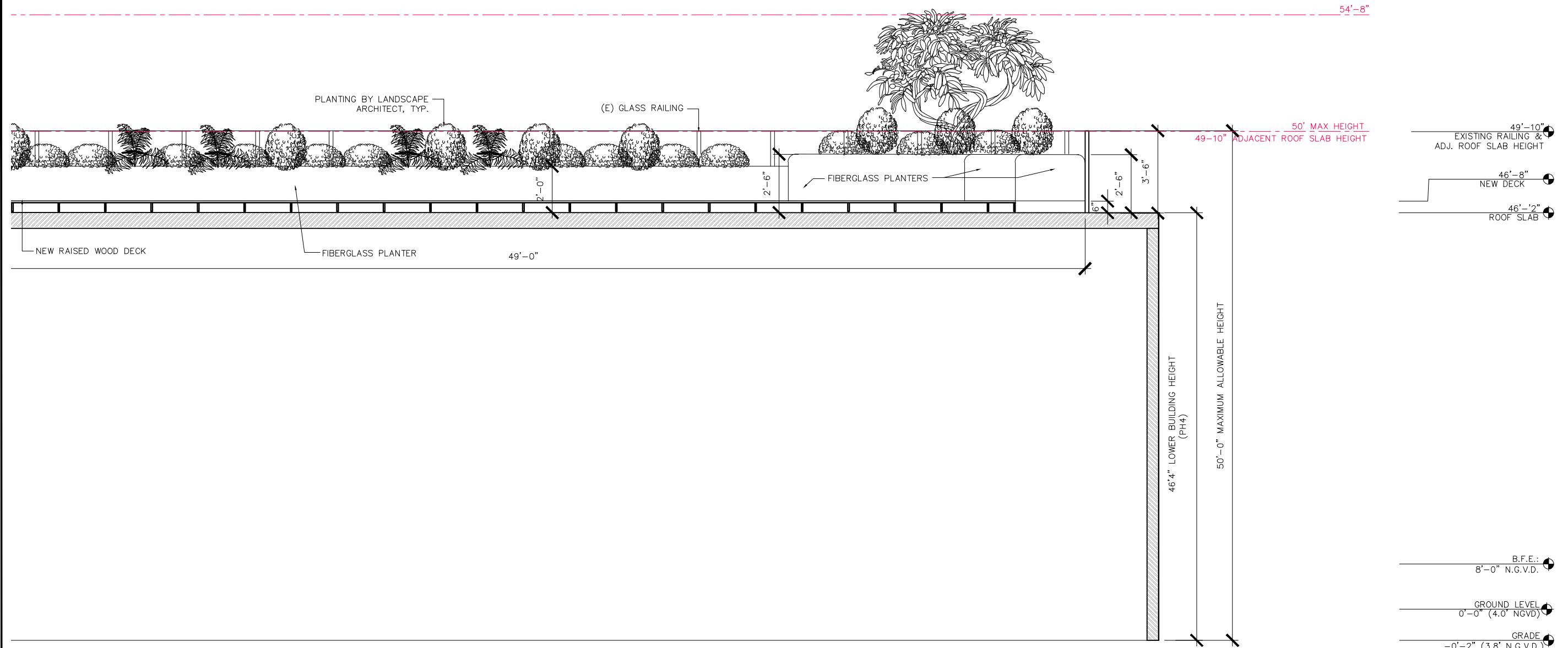
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AR-13718 / ID-4763

EAST ELEVATION - B
SCALE: 1/2" = 1'-0"

A - 2.5



ROOF TERRACE - NORTH ELEVATION - A
 SCALE: 1/2"=1'-0"

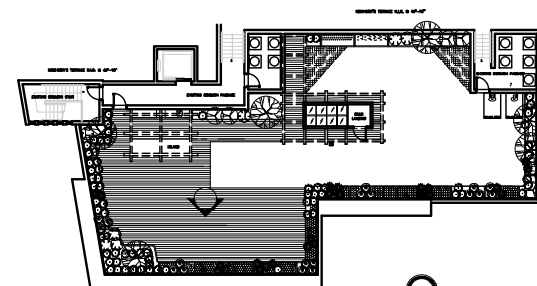


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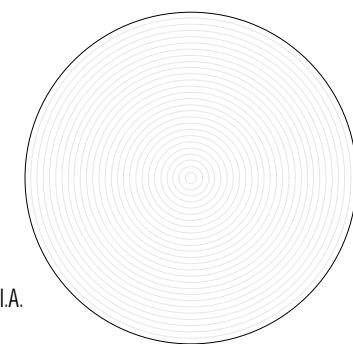
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KEY PLAN
 1:20

SIGN & SEAL



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NORTH ELEVATION A
 SCALE: 1/2" = 1'-0"

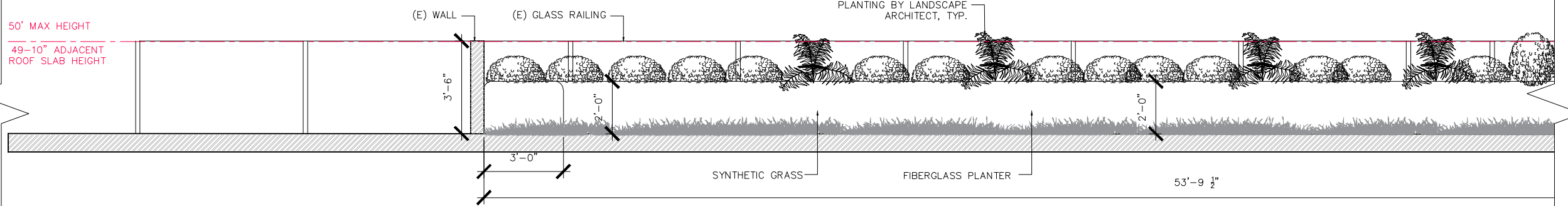
A - 2.6

54'-8" MAXIMUM HEIGHT OF ROOF ELEMENTS FOR PH4 LEVEL PER CONDITION B.4.c OF DRB ORDER 22889

ADJACENT NEIGHBOR'S TERRACE (NOT IN CONTRACT)

50' MAX HEIGHT
49'-10" ADJACENT ROOF SLAB HEIGHT

- 49'-10" EXISTING RAILING & ADJ. ROOF SLAB HEIGHT
- 46'-8" NEW DECK
- 46'-2" ROOF SLAB



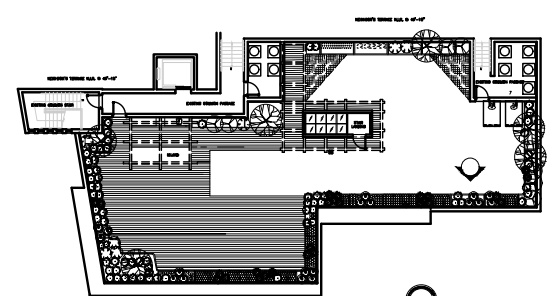
- B.F.E.: 8'-0" N.G.V.D.
- GROUND LEVEL 0'-0" (4.0' NGVD)
- GRADE -0'-2" (3.8' N.G.V.D.)

ROOF TERRACE - NORTH ELEVATION - B
SCALE: 1/2"=1'-0"



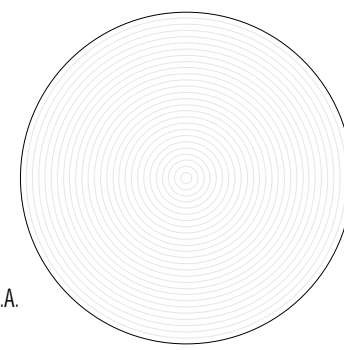
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KEY PLAN
1:20

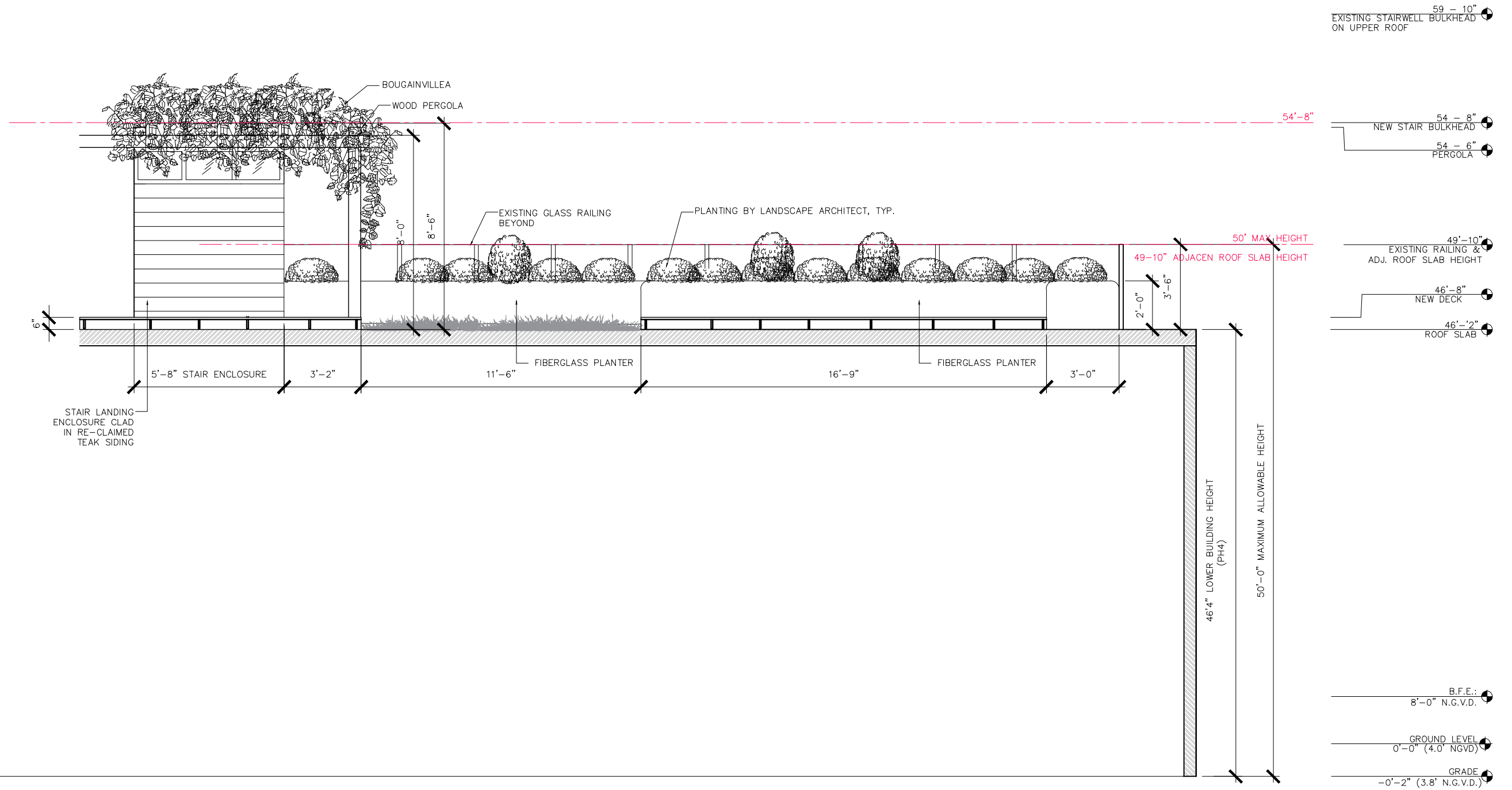
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PEDRO G. SUAREZ, A.I.A.
AR-13718 / ID-4763

NORTH ELEVATION - B
SCALE: 1/2" = 1'-0"

A - 2.7

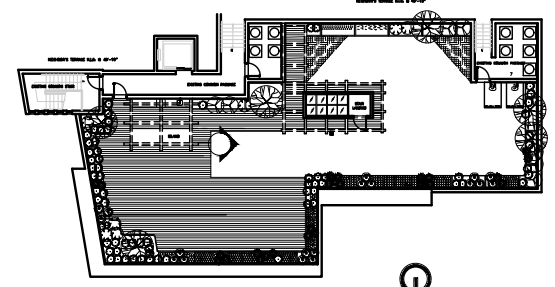


ROOF TERRACE - WEST ELEVATION
SCALE: 1/2"=1'-0"



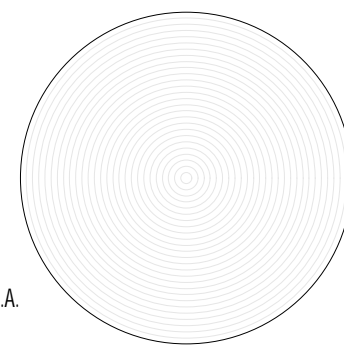
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KEY PLAN
N.T.S.

SIGN & SEAL



PEDRO G. SUAREZ, A.I.A.
AR-13718 / ID-4763

WEST ELEVATION
SCALE: 1/2" = 1'-0"

A - 2.8



EXISTING PORCELAIN
TILE WALLS



SYNTHETIC GRASS



RECLAIMED TEAK SIDING
(WALLS & ISLAND)



EXISTING STUCCO
WALLS



WOOD DECK



FIBERGLASS
(PLANTERS)



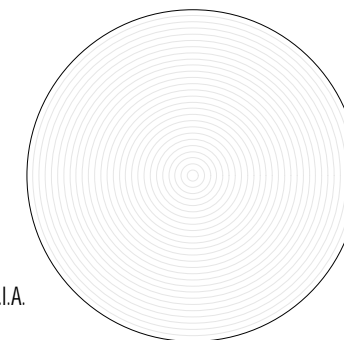
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SIGN & SEAL



PEDRO G. SUAREZ, A.I.A.
AR-13718 / ID-4763

MATERIAL PALLET

A - 3.0



RENDERED PLAN



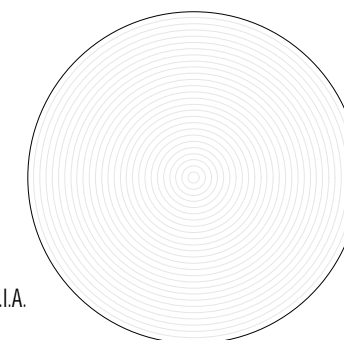
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THE NAHMAD RESIDENCE ROOF TERRACE
PALAU SUNSET HARBOR 1201 20TH STREET PH4, MIAMI BEACH FL 33139
Final DRB Submittal May 6th, 2019

SIGN & SEAL



PEDRO G. SUAREZ, A.I.A.
AR-13718 / ID-4763

RENDERED PLAN

A - 4.0A



NEW PROPOSED ELEMENTS

- 1. NEW STAIR ENCLOSURE
- 2. NEW PERGOLAS
- 3. NEW WET BAR
- 4. NEW ISLAND
- 5. NEW DUMB WAITER
- 6. NEW FLOWER ART WATER FEATURE
- 7. NEW WOODEN DECK
- 8. NEW FIBERGLASS PLANTERS
- 9. NEW NATIVE PLANTS & LANDSCAPE LIGHTING
- 10. NEW SYNTHETIC GRASS
- 11. NEW HURRICANE STORAGE NETS

RENDERED PLAN



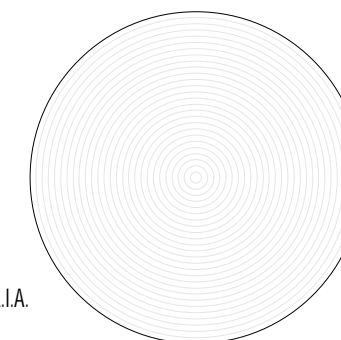
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RENDERED PLAN
+
KEY SCHEDULE

A - 4.0B



RENDERING LOOKING SOUTH



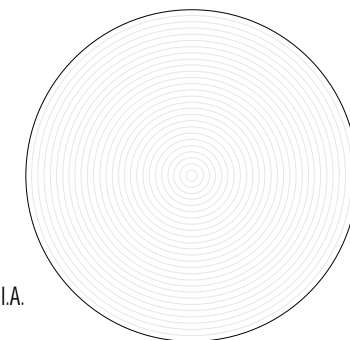
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AR-13718 / ID-4763

RENDERING

A - 4.1



RENDERING LOOKING EAST



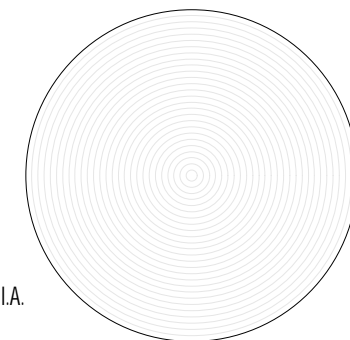
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PEDRO G. SUAREZ, A.I.A.
 AR-13718 / ID-4763

RENDERING

A - 4.2



RENDERED PLAN



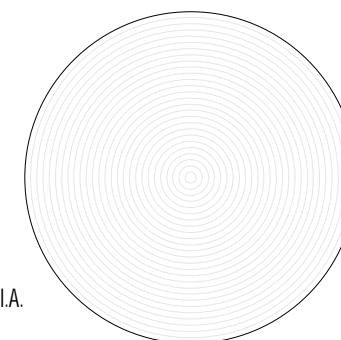
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Final DRB Submittal May 6th, 2019

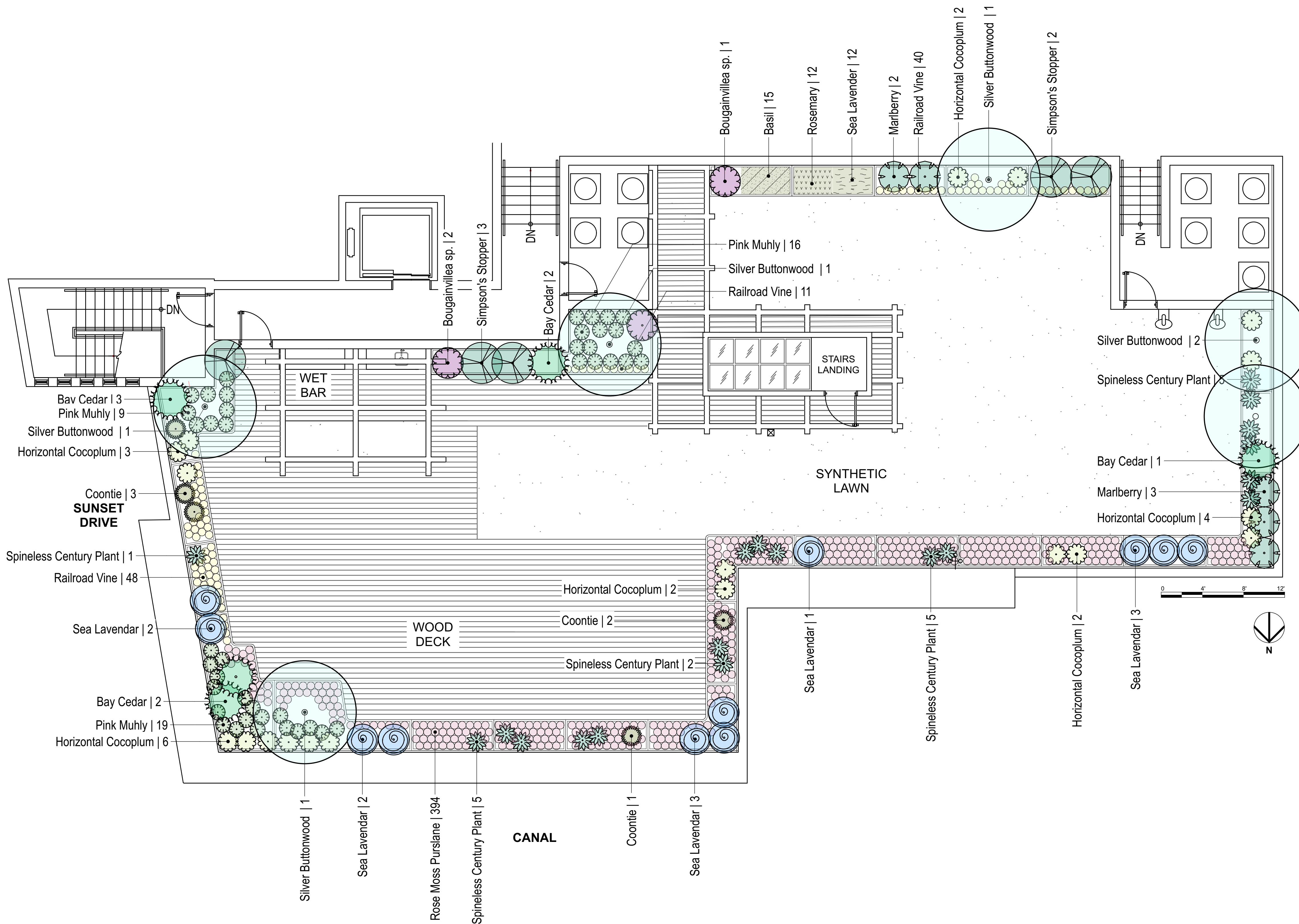
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PEDRO G. SUAREZ, A.I.A.
AR-13718 / ID-4763

RENDERED PLAN

A - 4.0A



Tree Schedule								
Symbol	Qty	Botanical Name	Common Name	Size	Height	Sprd.	Native	
	6	Conocarpus erectus var. sericeus	Silver Buttonwood	25g; multi-trunk	10'	8'	Y	
Shrub Schedule								
Symbol	Qty	Botanical Name	Common Name	Size	Height	Spr.	Native	
	3	Bougainvillea sp.	Bougainvillea sp.	25g	6'	36"	N	
	5	Ardisia escallonioides	Marlberry	15g	48"	24"	Y	
	5	Myrcianthes fragrans	Simpson's Stopper	25g	6'	4'	Y	
	5	Suriana maritima	Bay Cedar	15g	48"	36"	Y	
	5	Zamia pumila	Coontie	7g	24"	14"	Y	
	11	Argusia gnaphalodes	Sea Lavendar	7g	30"	36"	Y	
	19	Agave attenuata	Spineless Century Plant	5g	18"	24"	N	
	19	Chrysobalanus icaco 'Horizontal'	Horizontal Cocoplum	3g	18"	24"	Y	
	43	Muhlenbergia capillaris	Pink Muhly	3g	18"	18"	Y	
	93	Ipomea pes-caprae	Railroad Vine	1g	6"	9"	Y	
	394	Portulaca grandiflora	Rose Moss Purslane	1g	6"	9"	Y	
Herbs Schedule								
Symbol	Qty	Botanical Name	Common Name	Size	Height	Spr.	Spac. (in)	Native
	12	Thymus vulgaris	Sea Lavender	1g	24"	24"	12	N
	12	Rosmarinus officinalis	Rosemary	1g	12"	12"	16	N
	15	Ocimum basilicum	Basil	1g	12"	12"	12	N



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THE NAHMAD RESIDENCE ROOF TERRACE PALAU SUNSET HARBOR 1201 20TH STREET, PH4, MIAMI BEACH FL 33139

PLANTING PLAN

L-1.0

SMALL TREES



SILVER BUTTONWOOD



SIMPSON'S STOPPER

ACCENT PLANTS



CENTURY PLANT



SEA LAVENDAR



MOSS ROSE PURSLANE

SMALL SHRUBS / GROUND COVERS



RAILROAD VINE



COONTIE



HORIZONTAL COCOPLUM



PINK MUHLY

VINES / LARGE SHRUBS



BOUGAINVILLEA VINE



MARLBERRY



BAY CEDAR

HERBS



ROSEMARY



BASIL



THYME



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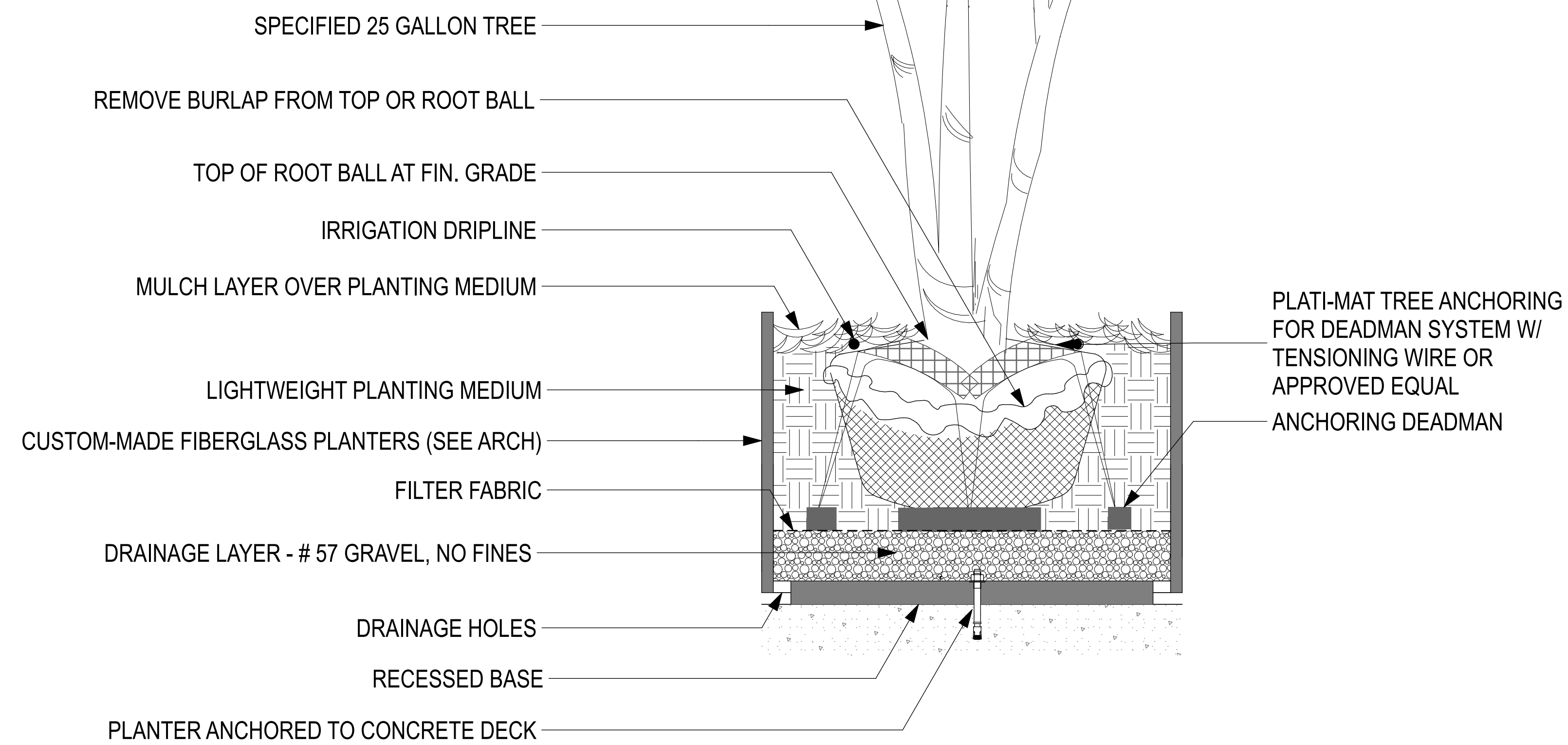
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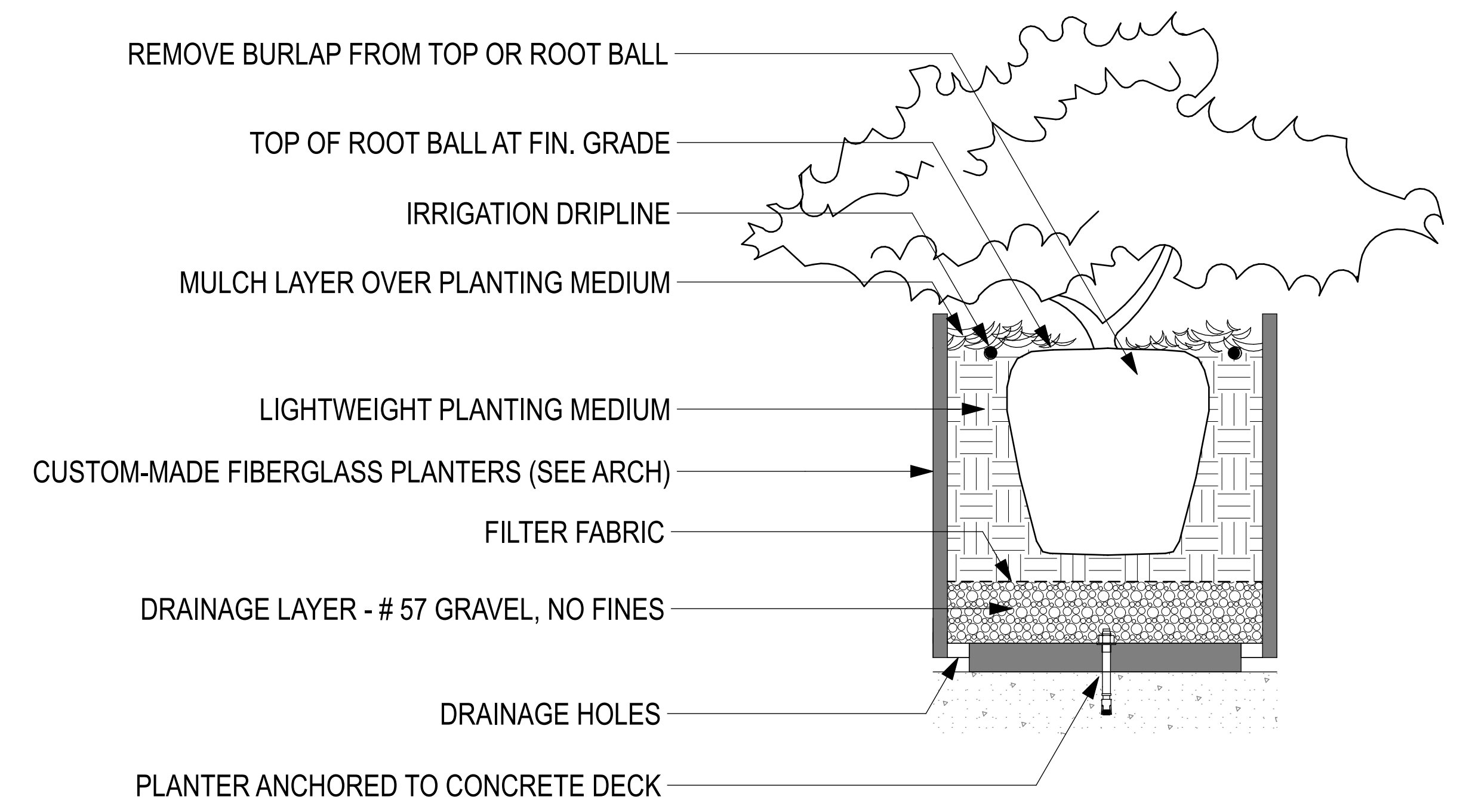
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PALAU SUNSET HARBOR 1201 20TH STREET, PH4, MIAMI BEACH FL 33139

PLANTING PALETTE

L-2.0



1 **SMALL TREE PLANTING DETAIL**
NOT TO SCALE



2 **SHRUB PLANTING DETAIL**
NOT TO SCALE



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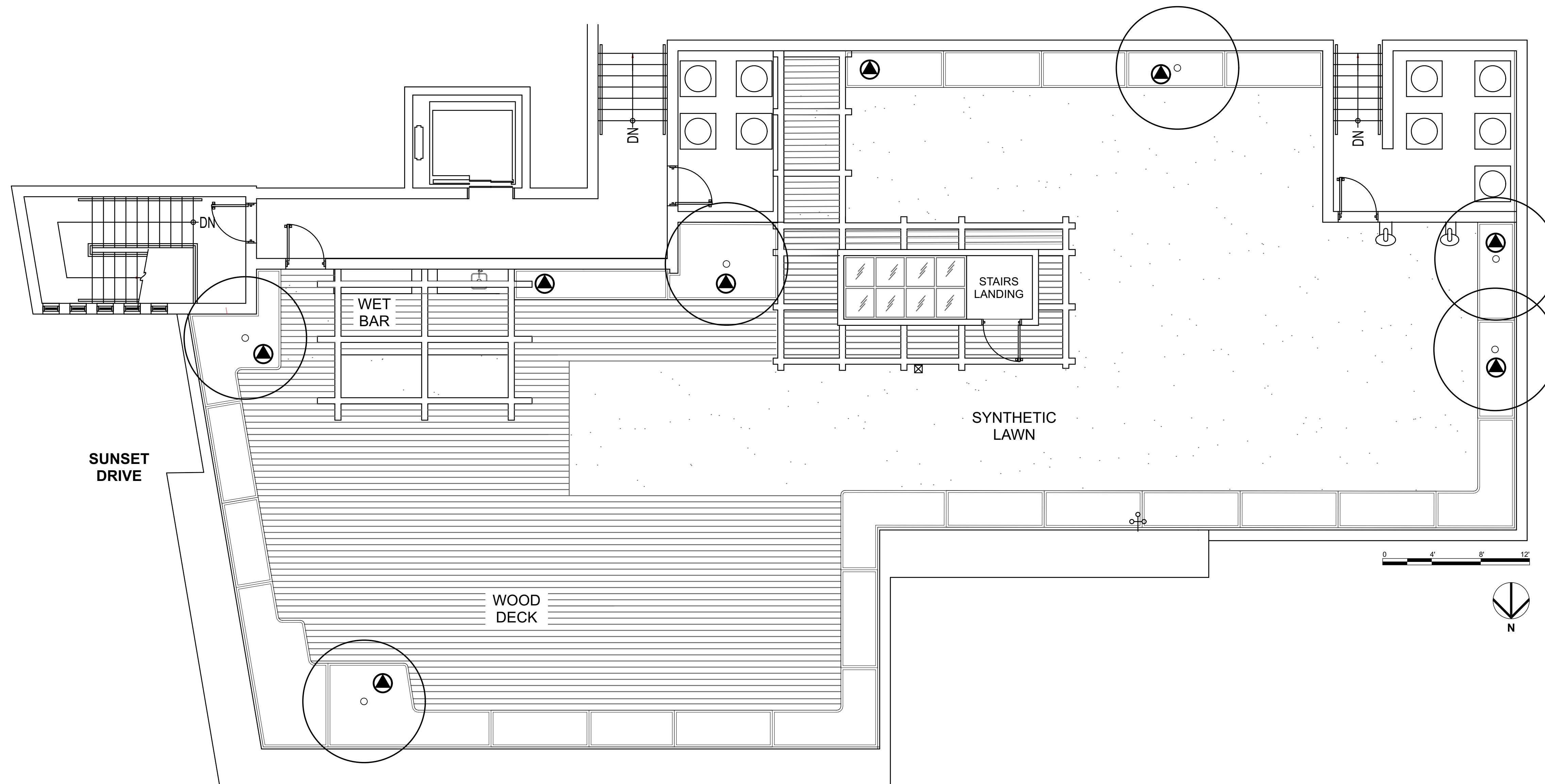


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PLANTING DETAILS

L-3.0



Lighting Schedule			
Symbol	Light Fixture	Specification	Quantity
▲	Spot Light	Garden Light LED: V2 20 6	8

GARDEN LIGHTLED of SE FLORIDA | LED PRODUCTS | SPECIFICATIONS

MODEL: V2 VISIONARY SERIES

APPLICATION:
 • Up light, Showwing, Wall Wash, Silhouettes, Architectural Accents

CONSTRUCTION:
 • 6061 Aluminum - Clear Anodized (SSA Model)
 • 6061 Aluminum - High Performance External (BLK Model)
 • High Performance CDM Solid Brass (BR Model)
 • Tempered Mineral Glass Protective Lens

LED LIFE EXPECTANCY (TM-21 DATA):
 • Greater than 50,000 hours (greater than 20 years at 8 hours per day)

DRIVER SYSTEM:
 • External Driver reduces heat while extending the life of electronic components

INPUT VOLTAGE RANGE:
 • 10.8 to 18 Volts AC or DC

INSTALLATION AND HARDWARE:
 • 1/2"Ø Ørnsel Stake Included
 • All stainless steel hardware

LEAD WIRES:
 • 14/20C Ørnsel Tinned Copper Wire
 • 36 inch length

ELECTRONIC WARRANTY:
 • 25 Years

CERTIFICATIONS:
 • UL1858 Low Voltage Landscape Lighting

POWER CONSUMPTION(AVAILABLE MODELS):
 • See Power Consumption / Model Availability Table (next page)

AVAILABLE FINISHES:
 • CDM Solid Brass (BR) • Black (BLK)
 • Stainless Aluminum (SSA)

ORDERING CODES:
 (CHOOSE 1 ITEM FROM EACH COLUMN BELOW) KLV V2SSA BLK

Model #	Wattage	Optics	Finish	Light Output
V2	10	1 (1x 12°)	BLK	1000K Warm White
	20	2 (1x 24°)	BR	2000K Warm White
	35	4 (1x 40°)	SSA	3000K Neutral White
	6 (1x 60°)		BLK	Blue
			SSA	Green
			BLK	Red

12

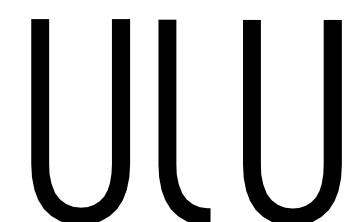


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THE NAHMAD RESIDENCE ROOF TERRACE
 PALAU SUNSET HARBOR 1201 20TH STREET, PH4, MIAMI BEACH FL 33139

LIGHTING PLAN

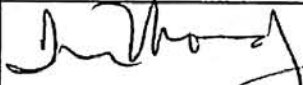
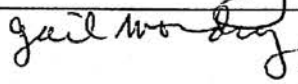
L-4.0

B

Petition in SUPPORT of
File No. DRB19-0392
Modified Conditions for Rooftop Improvements at Palau at 1201 20 Street

I am a nearby owner to the above-referenced property. The Nahmads, owners of Penthouse 4, shared the requests, plans and renderings for the proposed rooftop improvements. The proposals are the perfect fit for a private rooftop terrace in Miami Beach and will beautify the entire building. I understand the requests for modified conditions of the original approval and design review for the rooftop terraces. These changes will allow the owners the same use and enjoyment of rooftops as are allowed throughout the City and will not harm anyone in the area.

Based on the foregoing, I fully SUPPORT the application and ask that the Design Review Board grant the approval of all requests.


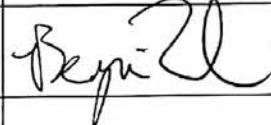
	Print Name	Address	Signature
1	Ira Mondry	Palau # 407	
2	Gail Mondry	Palau # 407	
3			
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12			

**Petition in SUPPORT of
File No. DRB19-0392**

Modified Conditions for Rooftop Improvements at Palau at 1201 20 Street

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Based on the foregoing, I fully SUPPORT the application and ask that the Design Review Board grant the approval of all requests.


	Print Name	Address	Signature
1	Susan London	1201 20th St PHS	
2	Benjamin London	1201 20th St PHS	
3			
4			
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**Petition in SUPPORT of
File No. DRB19-0392**

Modified Conditions for Rooftop Improvements at Palau at 1201 20 Street

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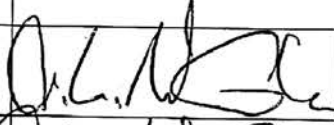

	Print Name	Address	Signature
1	CELIA GRUSS	Palau Bldg 1201 20 th St., Unit #404 Miami Beach, FL 33139	
2			
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Petition in SUPPORT of
File No. DRB19-0392

Modified Conditions for Rooftop Improvements at Palau at 1201 20 Street

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Based on the foregoing, I fully SUPPORT the application and ask that the Design Review Board grant the approval of all requests.

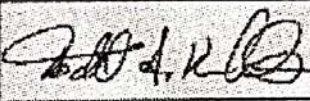
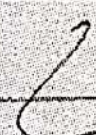
	Print Name	Address	Signature
1	MCCARTNEY MGT TRUST	1201 20 th ST MB UNIT PH 6	
2	— " —	1201 20 th ST. MB UNIT 404	
3			
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Petition in SUPPORT of
File No. DRB19-0392

Modified Conditions for Rooftop Improvements at Palau at 1201 20 Street

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Based on the foregoing, I fully SUPPORT the application and ask that the Design Review Board grant the approval of all requests.

	Print Name	Address	Signature
1	Todd A. Kirchhoefer	Palau Sweet Harbor 1201 20th Street, Unit 310 Miami Beach, FL 33157	
2			
3	<u>Good Luck!</u>		
4			
5			
6			
7			
8			
9			
10			
11			
12			

C

Peter Luria
1800 W 23 Street
Miami Beach, Florida 33140

Design Review Board Members
c/o James Murphy, Chief of Urban Design
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

June 27, 2019

Re: **Letter of Support** for File No. DRB19-0392 – Modified Conditions for Rooftop Improvements at Palau at 1201 20th Street, Miami Beach

Dear Design Review Board Members:

I am a resident and own property located at 1800 W 23 Street on Sunset Island III. I am very familiar with the Palau as I was intimately involved as a Board member of our HOA in all the development hearings through which it ultimately got approved. In fact, I made the original motion at the Feb 22, 2012 Sunset Islands III & IV Board meeting to have our Board oppose the Palau Sunset Harbor Project as it was then currently proposed. Rooftop terraces were never brought up as an issue at that Board meeting.

We were quite pleased with the results of our efforts. The building turned out better, it improved the neighborhood and it increased our property values.

I recently took the time to visit with the Nahmads, the owners of Penthouse 4, to see for myself their rooftop and review their plans. This is what I saw: they mainly face the park directly across the canal. The canal separating Palau and Sunset Island IV is 120ft wide and the roof atop Palau is set back another 30ft from the canal. It's 150ft or half a football field away; the distance from the 50 yard line to the end zone.

The New World Symphony commissioned elaborate sound studies when designing the New World Center. These studies concluded that noise travels up, not down. Palau is 5 stories tall which should alleviate the concern about noise.

Peter Luria
1800 W 23 Street
Miami Beach, Florida 33140

Therefore, the concern that a rooftop garden would unduly impact four (4) single-family residences directly across the canal from Palau much less others two islands away is both unsubstantiated and unreasonable: not for noise, nor for visual.

The concept of rooftop gardens and the conversion of hardscape to green space is vitally important. The City of Miami Beach passed the Sustainable Roofing Ordinance (2017-4102) which will allow, among other things, green roofs to help mitigate the impacts of climate change. I would like to see wider implementation of the ordinance.

“City rooftops are getting a makeover. Instead of concrete, many are now covered by grasses, flowers, and even small trees. Green roofs are not just pretty. They benefit the climate too. Green roofs actually cool cities. By replacing heat-absorbing materials like concrete and tar, green roofs help to lower the temperature of the air around them. And, they act as insulators for buildings, which reduces the energy needed for heating and cooling. Plus, green roofs absorb water, which helps reduce storm run-off. They can create habitat for birds and pollinators. And in some places, they’re even used to grow vegetables.” - » Yale Climate Connections

Click link: [Why rooftop gardens cool cities](#)

I understand the requests for modified conditions of the original approval and design review for the rooftop terraces. These changes do not in any way alter the intent of the original approval. They will allow the owners the same use and enjoyment of a private terrace as are allowed throughout the City including those on the Sunset Islands.

Based on the foregoing, **I support the application but with the requirement that they use natural materials and not artificial grass.**

Sincerely,
Peter Luria