

802 & 808 W. DILIDO DRIVE

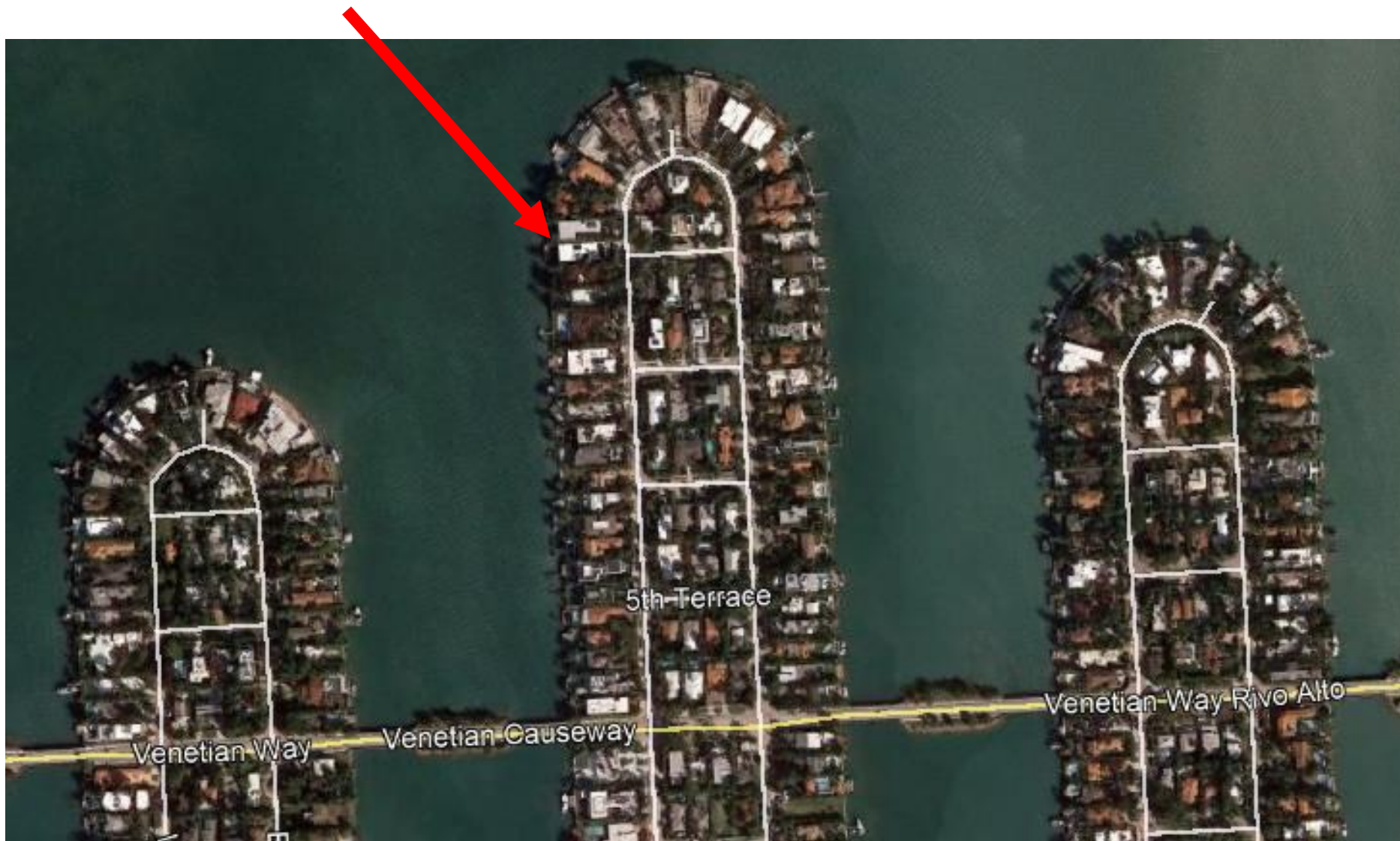
ZBA20-0116 & ZBA20-0113

Board of Adjustment

September 11, 2020



Location of Properties: 802 and 808 W. Dilido Drive



Neighbor Support
ZBA20-0116 and ZBA20-0113
802 West Di Lido Drive & 808 West Di Lido Drive



 SUPPORT

 OUTREACH

Neighbor Support
ZBA20-0116 and ZBA20-0113
802 West Di Lido Drive & 808 West Di Lido Drive

| No. | Property Address | Owner |
|------------|-------------------------|--------------|
|------------|-------------------------|--------------|

SUPPORT

| | | |
|--------------------|------------------------|---|
| 1 | 802 W Di Lido Dr | ILR LLC/ James Knall |
| 2 | 808 W Di Lido Dr | The Happy Sunset Trust/ Emmanuel Sebag |
| 3 | 814 W Di Lido Dr | Ray Langston |
| 4 | 720 W Di Lido Dr | Murray Design & Construction LLC/ Jean-Pierre Murray |
| 5 | 801 W Di Lido Dr | Chad Braver |
| 6 | 520 W Di Lido Dr | Scott London |
| 7 | 508 W Di Lido Dr | Karim Masri |
| 8 | 111 6 Di Lido Ter | Robin & Heidi Bogle |
| 9 | 803 E Di Lido Dr | Arbor Holdings Corp/ Joel Simmonds |
| 10 | 620 E Di Lido Dr | Michael J. Zerolo |
| 11 | 521 E Di Lido Dr | Luis Jose Molla |
| 12 | 441 E Di Lido Dr | Gian Luca Brignone |
| Additional Support | | |
| 13 | 123 W Di Lido Dr | Dina Goldentayer |
| 14 | 308-316 W Rivo Alto Dr | Dora Puig |

OUTREACH

| | | |
|---|------------------|---|
| 1 | 820 W Di Lido Dr | Concorde Investments of Mia LLC / Parkway Holdings Corporation/ Roman, Arnaldo |
| 2 | 726 W Di Lido Dr | Ramin Aleyasin |
| 3 | 725 W Di Lido Dr | Simon A Strong & Vilma Strong |
| 4 | 815 W Di Lido Dr | Simon Nicholls |



802 WEST DILIDO
REAR YARD

802 W. DILIDO DRIVE
WATERFRONT IMPROVEMENT
PROJECT

Miami Beach, Florida
CLIENT:
MR. JAMIE KNALL
802 W. Dilido Drive
Miami Beach, FL 33139

ENVIRONMENTAL CONSULTANT:
OCEAN
CONSULTING, LLC
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:
ADOLFO GONZALEZ P.E.

2050 Coral Way
Suite 502
Miami, FL 33145
Office - 305-415-8782

SEAL / SIGNATURE / DATE

Adolfo Gonzalez
Lic. No. 58620

PERMIT DRAWINGS

| Issue # | Issue Date |
|---------|--------------|
| ① | July 2, 2020 |
| | |
| | |

PROJECT: 20-9840

EXISTING
REAR YARD & DOCK

SCALE : AS SHOWN
SHEET NO.

G-3

**NOTE: NO PROPOSED
CHANGES TO EXISTING
UPLAND CONDITIONS.**

B I S C A Y N E B A Y

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Miami Beach, Florida

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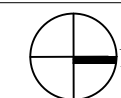
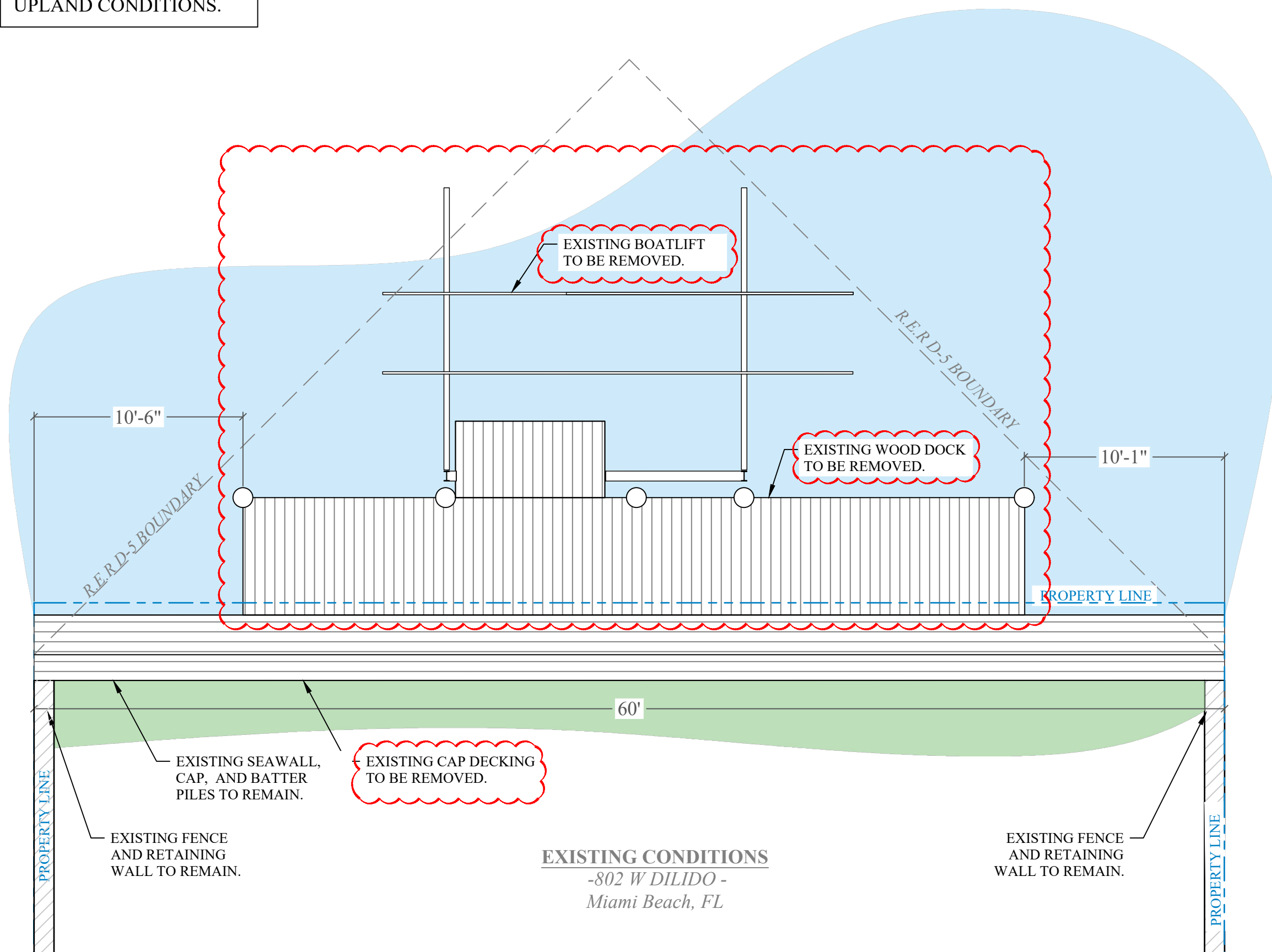
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PROJECT: 20-9840

EXISTING CONDITIONS & DEMOLITION PLAN

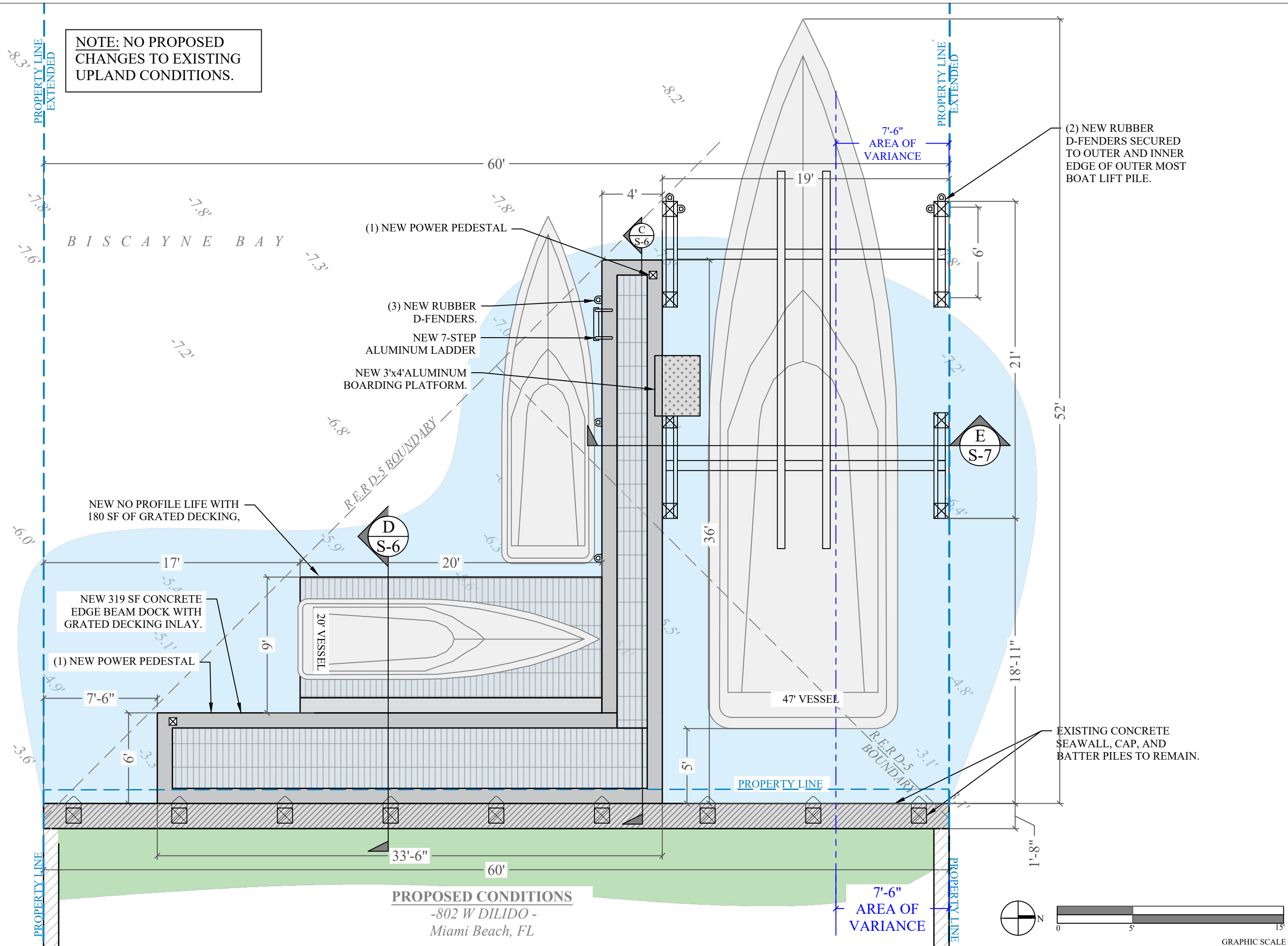
SCALE : AS SHOWN
SHEET NO.

S-2



3/16 INCH = 1 FEET

S-3





808 WEST DILIDO
REAR YARD

808 W. DILIDO DRIVE
WATERFRONT IMPROVEMENT
PROJECT

Miami Beach, Florida
CLIENT:
MR. EMMANUEL SEBAG
808 W. Dilido Drive
Miami Beach, FL 33139

ENVIRONMENTAL CONSULTANT:
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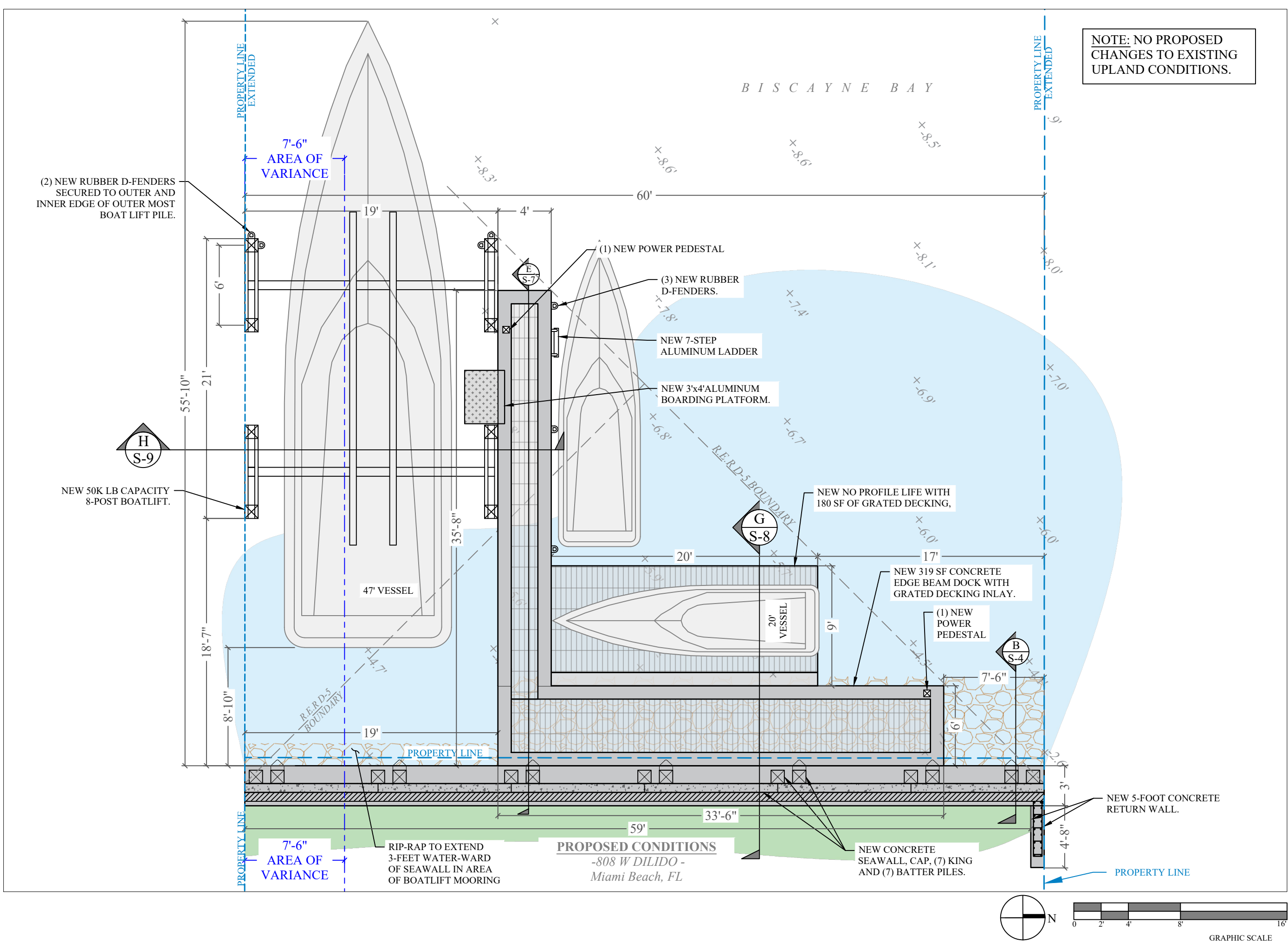
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PROJECT: 20-9840

EXISTING
REAR YARD & DOCK

SCALE : AS SHOWN
SHEET NO.

G-3



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PROJECT: 20-9840

PROPOSED CONDITIONS

SCALE : AS SHOWN
SHEET NO.

S-3

Miami Beach, Florida

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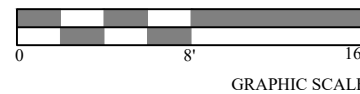
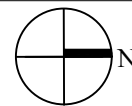
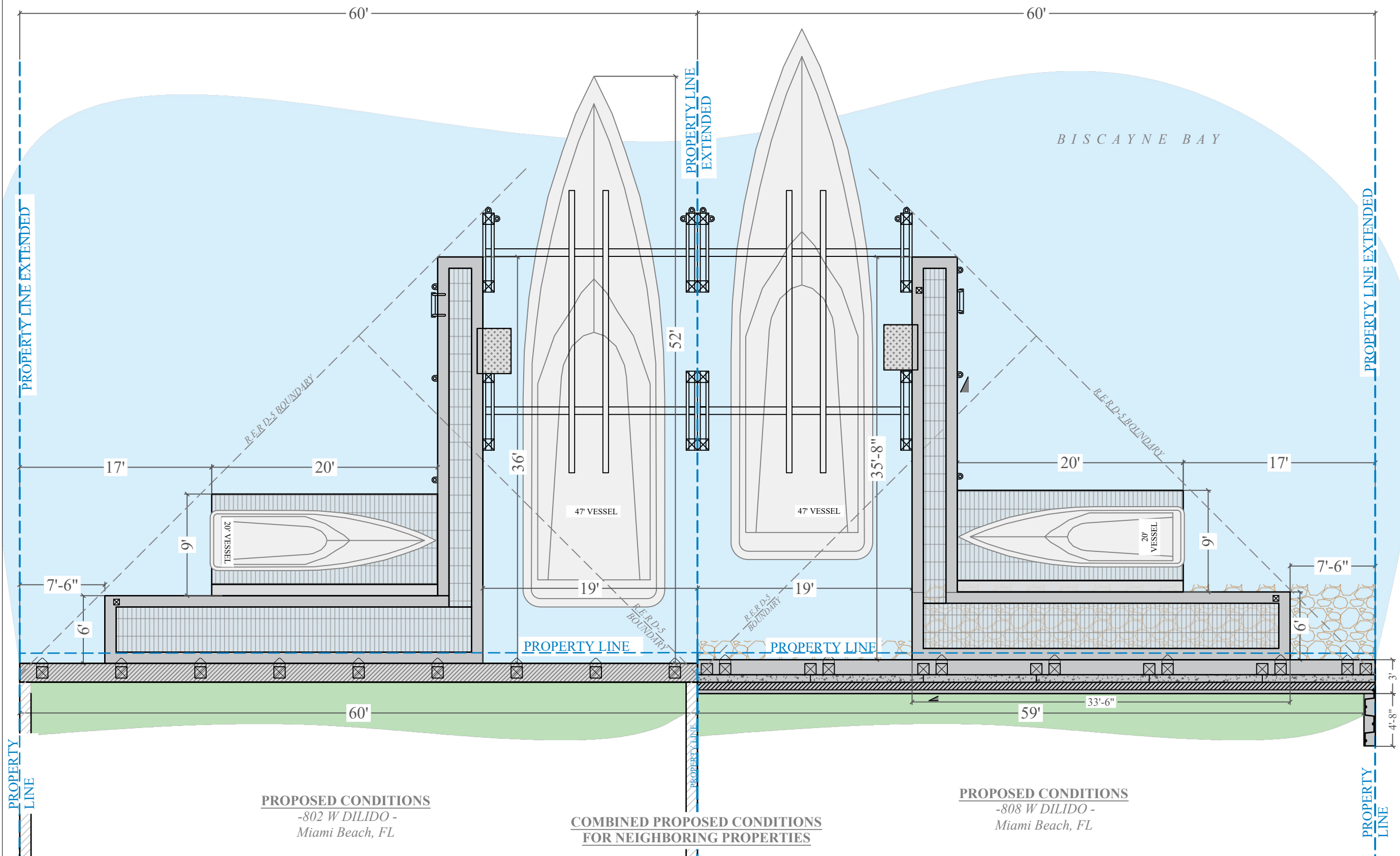
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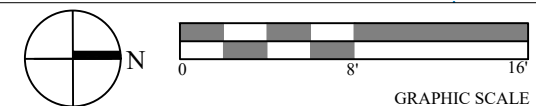
PROJECT: 20-9840

COMBINED PROPOSED
CONDITIONS FOR
NEIGHBORING PROPERTIES

SCALE : AS SHOWN
SHEET NO.

V-2





802 & 808 W. DILIDO DRIVE

ZBA20-0116 & ZBA20-0113

Board of Adjustment

September 11, 2020



OCEAN
CONSULTING

VARIANCE APPLICATION PACKET

802 WEST DI LIDO DRIVE

City of Miami Beach



*Variance application for new dock with
mooring piles in set-back area.*

File No. ZBA20-116

*FINAL SUBMITTAL
JULY 7, 2020*

802 W. DILIDO DRIVE
***WATERFRONT IMPROVEMENT
PROJECT***

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PROJECT: 20-9840

COVER

SCALE : AS SHOWN
SHEET NO.

G-1



PROPERTY AERIAL: 1/2 MILE RADIUS

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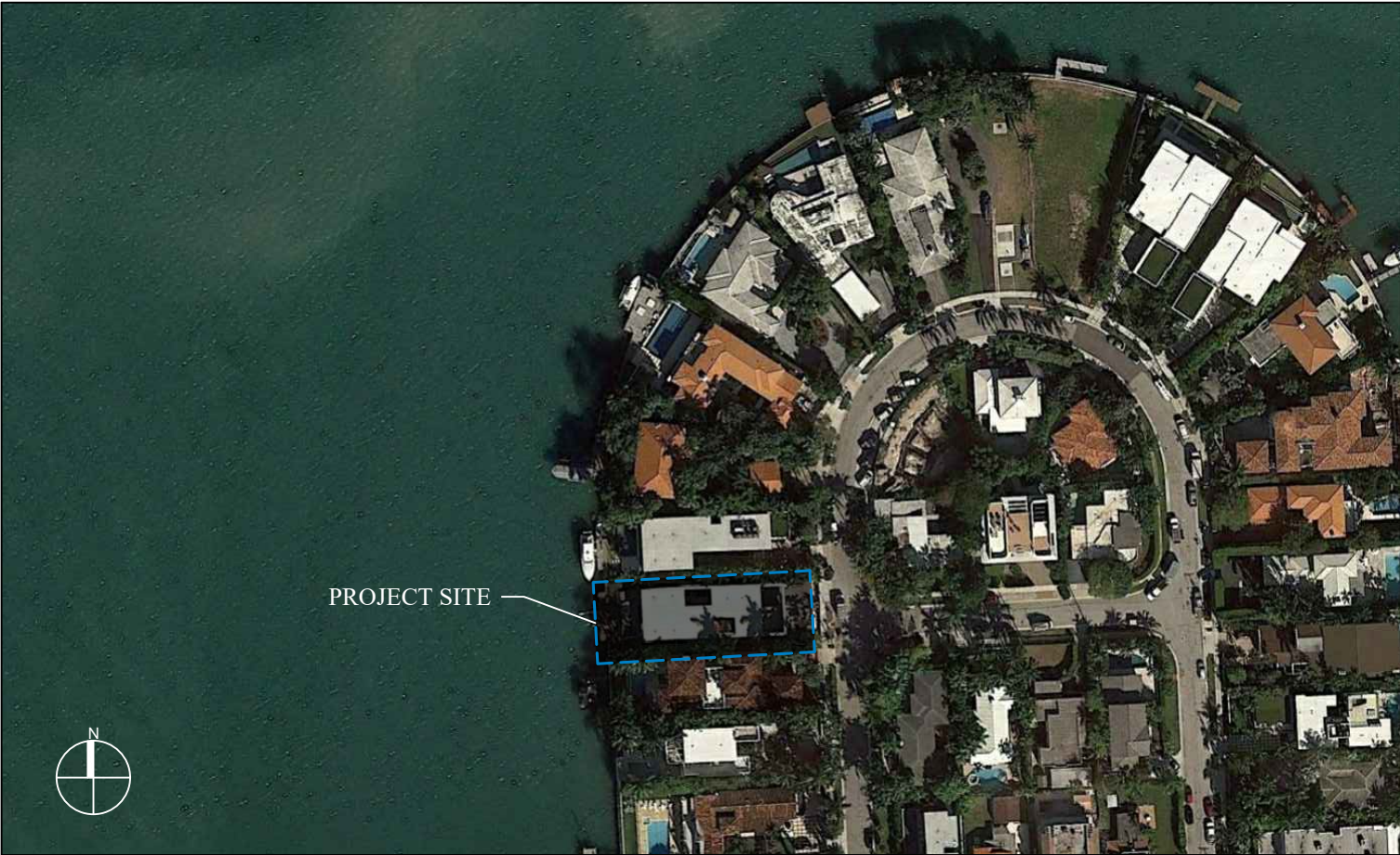
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PROJECT: 20-9840

PROJECT SITE AERIAL

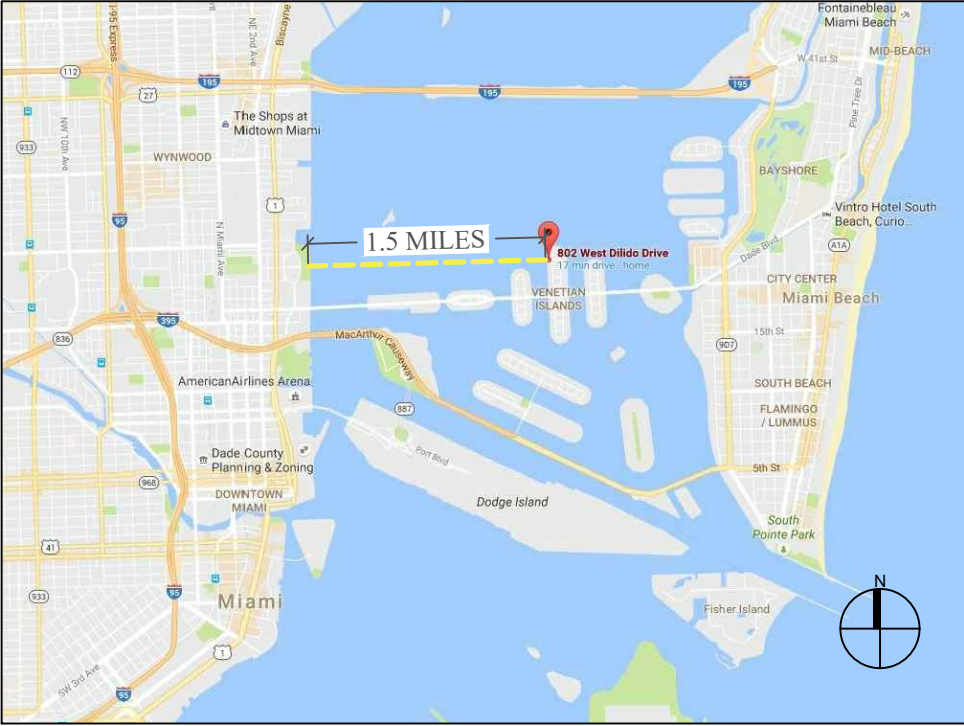
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SHEET NO.

G-2



PROJECT SITE

LOCATION MAP AND LEGAL DESCRIPTION



PROJECT SITE LOCATION:
802 W Dilido
Miami Beach, FL 33139

LATITUDE: 25°47'39.69"N
LONGITUDE: 80° 9'37.07"W

FOLIO No.: 02-3232-011-0480

LEGAL DESCRIPTION:
DI LIDO ISLAND PB 8-36
LOT 21 & 8FT STRIP CONTIG TO SAME
ON BAY BLK 3
LOT SIZE 60.000 X 175
OR 10620-804 1279 1

- GENERAL NOTES:
- ELEVATIONS SHOWN REFER TO THE NATIONAL AMERICAN VERTICAL DATUM (NAVD) OF 1988.
 - ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.
 - IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ENGINEER BEFORE PROCEEDING WITH WORK. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
 - IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE, AND FEDERAL ENVIRONMENTAL PERMITS ISSUED FOR THIS PROJECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.
 - APPLICABLE BUILDING CODE: FLORIDA BUILDING CODE, 2017 EDITION (AND CURRENT ADDENDUMS).
 - APPROVED CONTRACTOR TO DETERMINE THE SUITABILITY OF EXISTING STRUCTURES AND VERIFY ALL DIMENSIONS. THE APPROVED CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCES AND PROCEDURES OF WORK.
 - DO NOT SCALE DRAWINGS FOR DIMENSIONS.
 - CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK.
 - CONTRACTOR TO PROPERLY FENCE AND SECURE AREA WITH BARRICADES.
 - ANY DEVIATION AND/OR SUBSTITUTION FROM THE INFORMATION PROVIDED HEREIN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
 - ALL NEW MATERIALS AND/OR PATCHWORK SHALL BE PROVIDED TO MATCH EXISTING MATERIALS AND/OR ADJOINING WORK WHERE PRACTICAL EXCEPT AS SPECIFICALLY NOTED HEREIN.
 - LICENSED CONTRACTOR SHALL USE ALL POSSIBLE CARE TO PROTECT ALL EXISTING MATERIALS, SURFACES, AND FURNISHINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
 - THE LICENSED CONTRACTOR TO INSTALL AND REMOVE ALL SHORING AND BRACING AS REQUIRED FOR THE PROPER EXECUTION OF THE WORK.
 - ALL NEW WORK AND/OR MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF EACH ADMINISTRATIVE BODY HAVING JURISDICTION IN EACH PERTAINING CIRCUMSTANCE.
 - THE CONTRACTOR WILL EMPLOY AND MAINTAIN ADEQUATE SEDIMENT AND EROSION CONTROL MEASURES TO PROTECT BISCAYNE BAY FROM SEDIMENT AND CONSTRUCTION DEBRIS.

DOCK: LL 60 PSF

BOLTS

- ALL BOLTS SHALL BE 316 STAINLESS STEEL, UNLESS OTHERWISE NOTED.

WOOD

- PRIMARY WOOD FRAMING MEMBERS SHALL BE NUMBER 1 MARINE GRADE PRESSURE TREATED SOUTHERN PINE OR BETTER.
- ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.

CONCRETE

- CONCRETE SHALL CONFORM TO ACI 318 (LATEST ED.) AND SHALL BE REGULAR WEIGHT, SULFATE RESISTANT, WITH A DESIGN STRENGTH OF 5,000 PSI AT 28 DAYS W/ A MAX WATER-CEMENTIOUS MATERIALS RATIO, BY WEIGHT, NORMAL WEIGHT AGGREGATE CONCRETE OF 0.40.
- OWNER SHALL EMPLOY AND PAY FOR TESTING SERVICES FROM AN INDEPENDENT TESTING LABORATORY FOR CONCRETE SAMPLING AND TESTING IN ACCORDANCE W/ ASTM.
- LICENSED CONTRACTOR IS RESPONSIBLE FOR THE ADEQUACY OF FORMS AND SHORING AND FOR SAFE PRACTICE IN THEIR USE AND REMOVAL.
- CONCRETE COVER SHALL BE 3" UNLESS OTHERWISE NOTED ON APPROVED DRAWINGS.
- REINFORCING STEEL SHALL BE IN CONFORMANCE WITH THE LATEST VERSION OF ASTM A615 GRADE 60 SPECIFICATIONS. ALL REINFORCEMENT SHALL BE PLACED IN ACCORDANCE W/ ACI 315 AND ACI MANUAL OF STANDARD PRACTICE.
- SPLICES IN REINFORCING BARS SHALL NOT BE LESS THAN 48 BAR DIAMETERS AND REINFORCING SHALL BE CONTINUOUS AROUND ALL CORNERS AND CHANGES IN DIRECTION. CONTINUITY SHALL BE PROVIDED AT CORNERS OR CHANGES IN DIRECTION BY BENDING THE LONGITUDINAL STEEL AROUND THE CORNER 48 BAR DIAMETERS.

PILE DRIVING NOTES

- PILE DRIVING OPERATIONS SHALL BE OBSERVED BY A SPECIAL INSPECTOR, INCLUDING TEST PILES SUFFICIENT TO DETERMINE THE APPROXIMATE LENGTH REQUIRED TO MEET DESIGN CAPACITY.
- PILES SHALL BE DRIVEN USING AN APPROVED CUSHION BLOCK CONSISTING OF MATERIAL SO ARRANGED SO AS TO PROVIDE THE TRANSMISSION OF THE HAMMER ENERGY.
- PILES SHALL BE DRIVEN TO REQUIRED MINIMUM BEARING CAPACITY OF 15-TON WOOD PILES/ 25-TON CONCRETE PILES.
- PILES SHALL BE DRIVEN WITH A DROP HAMMER OR GRAVITY HAMMER PROVIDED THE HAMMER SHALL WEIGH NO LESS THAN 3,000 POUNDS, AND THE FALL OF THE HAMMER SHALL NOT EXCEED 6 FT.
- PILES SHALL BE DRIVEN WITH A VARIATION OF NOT MORE THAN ¼" PER FOOT FROM THE VERTICAL, OR FROM THE BATTER LINE INDICATED, WITH A MAX VARIATION OF THE HEAD OF THE PILE FROM THE POSITION SHOWN ON THE PLANS OF NOT MORE THAN 3".
- WHERE PILING MUST PENETRATE STRATA OFFERING HIGH RESISTANCE TO DRIVING, THE STRUCTURAL ENGINEER OF RECORD OR SPECIAL INSPECTOR MAY REQUIRE THAT PILES BE SET IN PRE-DRILLED OR PUNCHED HOLES. THE PILES SHALL REACH THEIR FINAL PENETRATION BY DRIVING.

802 W. DILIDO DRIVE
WATERFRONT IMPROVEMENT
PROJECT

Miami Beach, Florida

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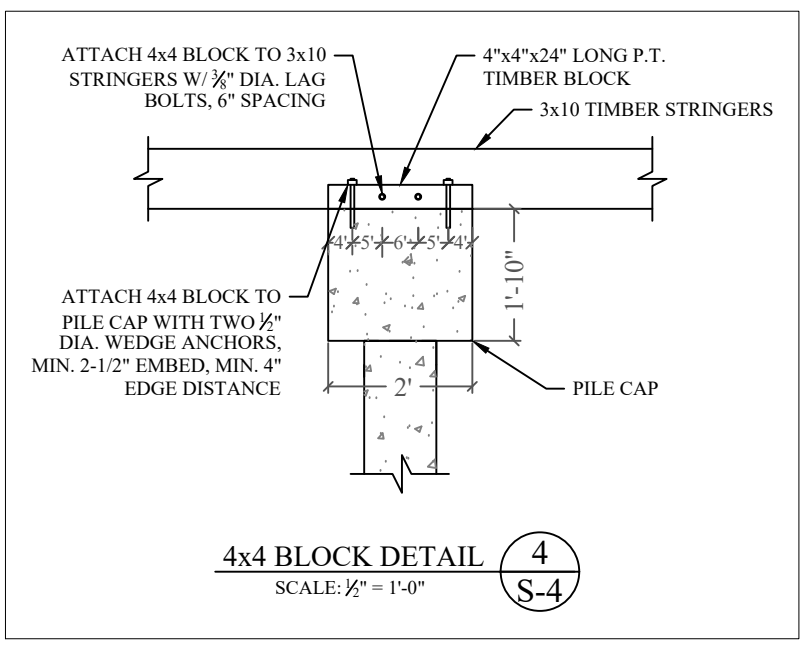
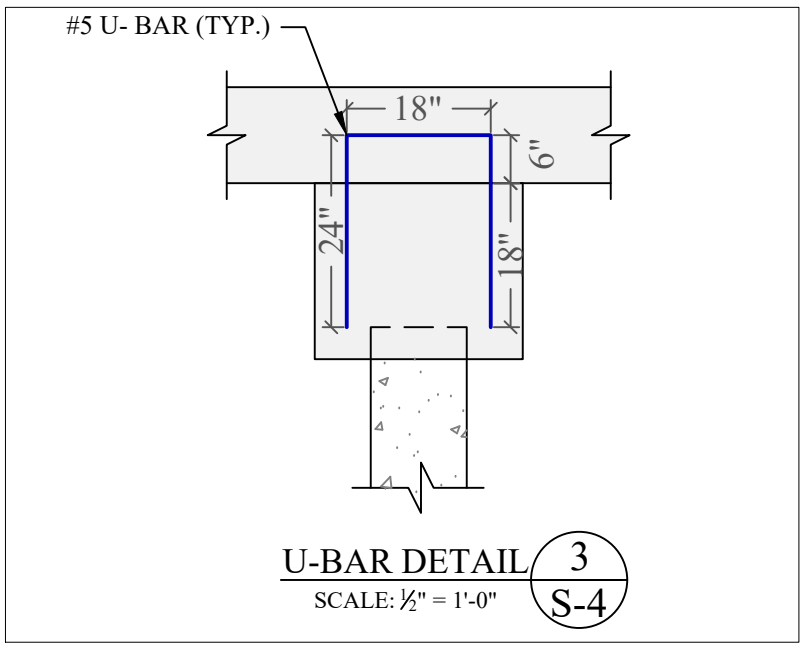
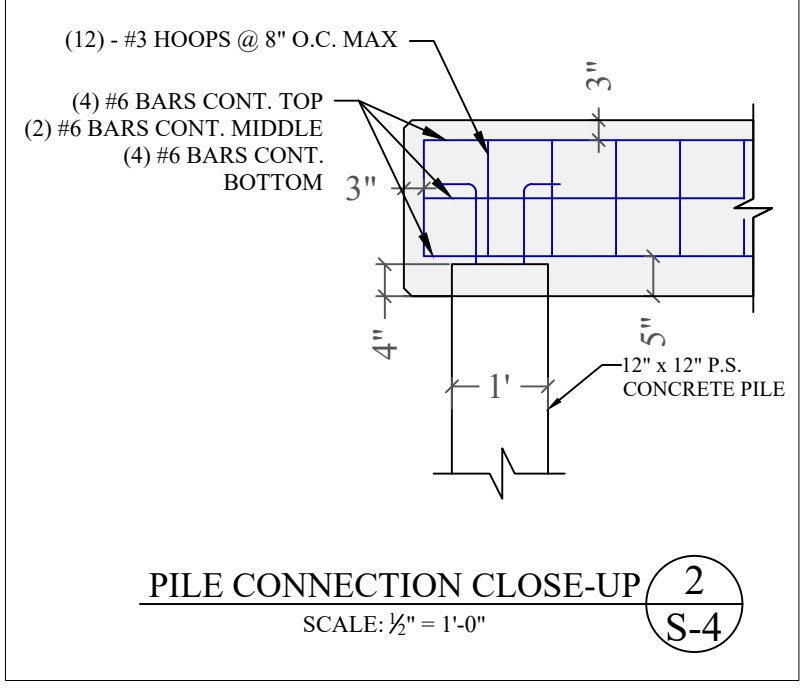
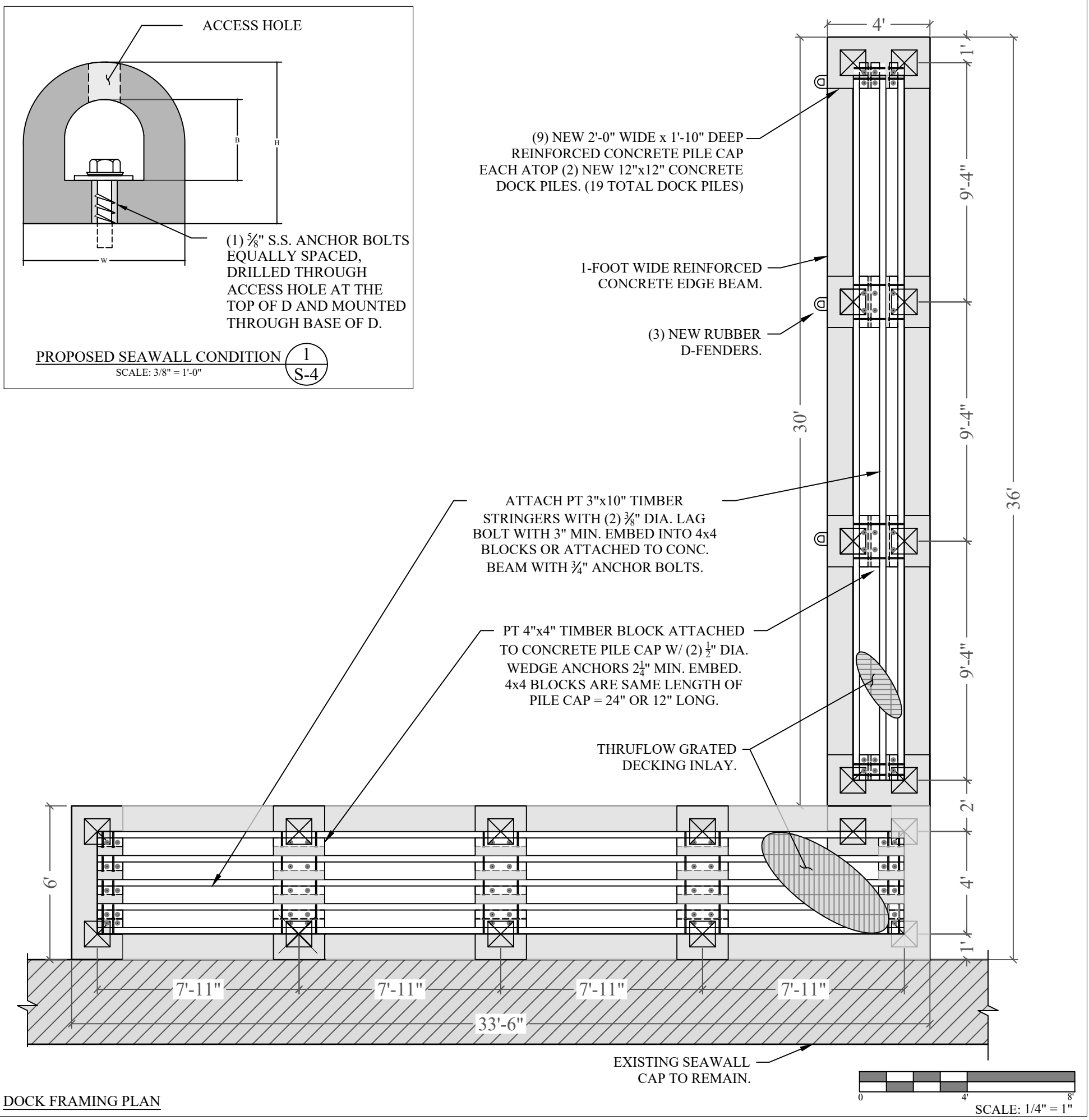
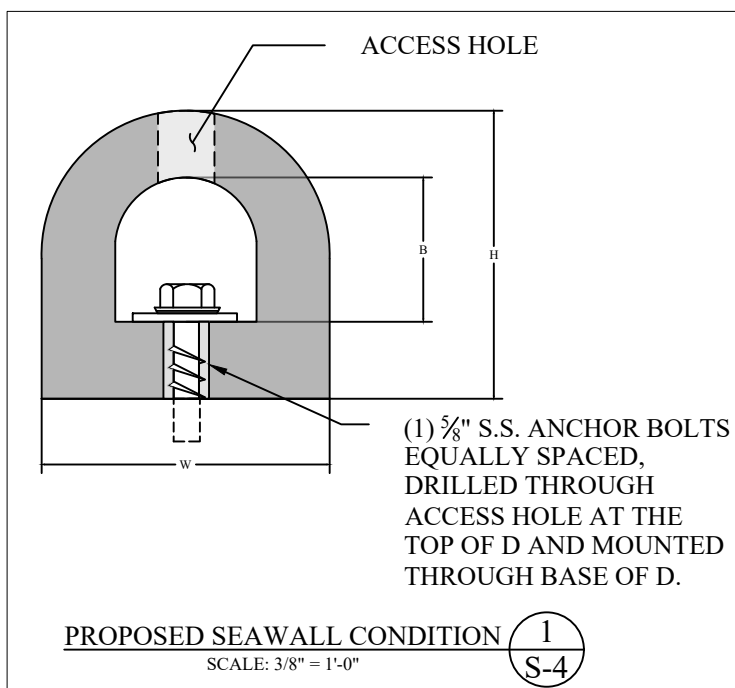
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PROJECT: 20-9840

EXISTING CONDITIONS

SCALE : AS SHOWN
SHEET NO.

S-1



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| | |
| | |
| PROJECT: | 20-9840 |

DOCK FRAMING PLAN &
PILE CAP DETAILS

SCALE : AS SHOWN
SHEET NO.

S-4

**802 W. DILIDO DRIVE
WATERFRONT IMPROVEMENT
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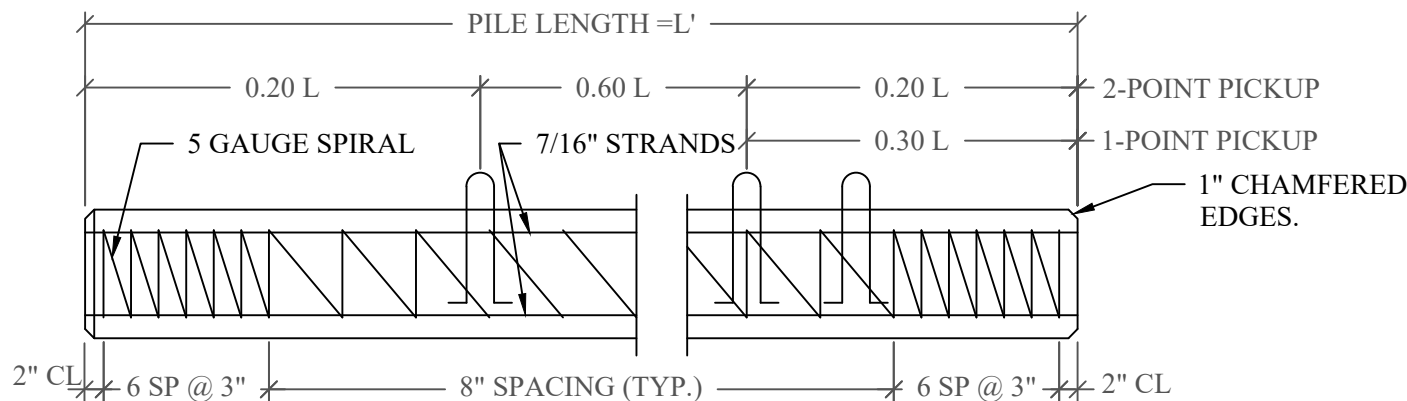
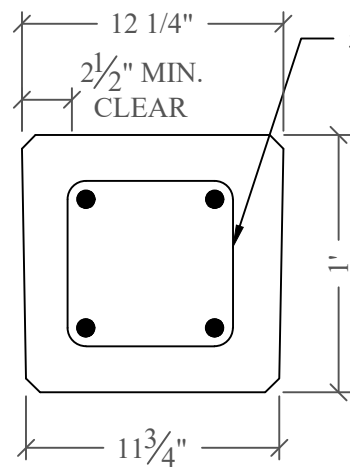
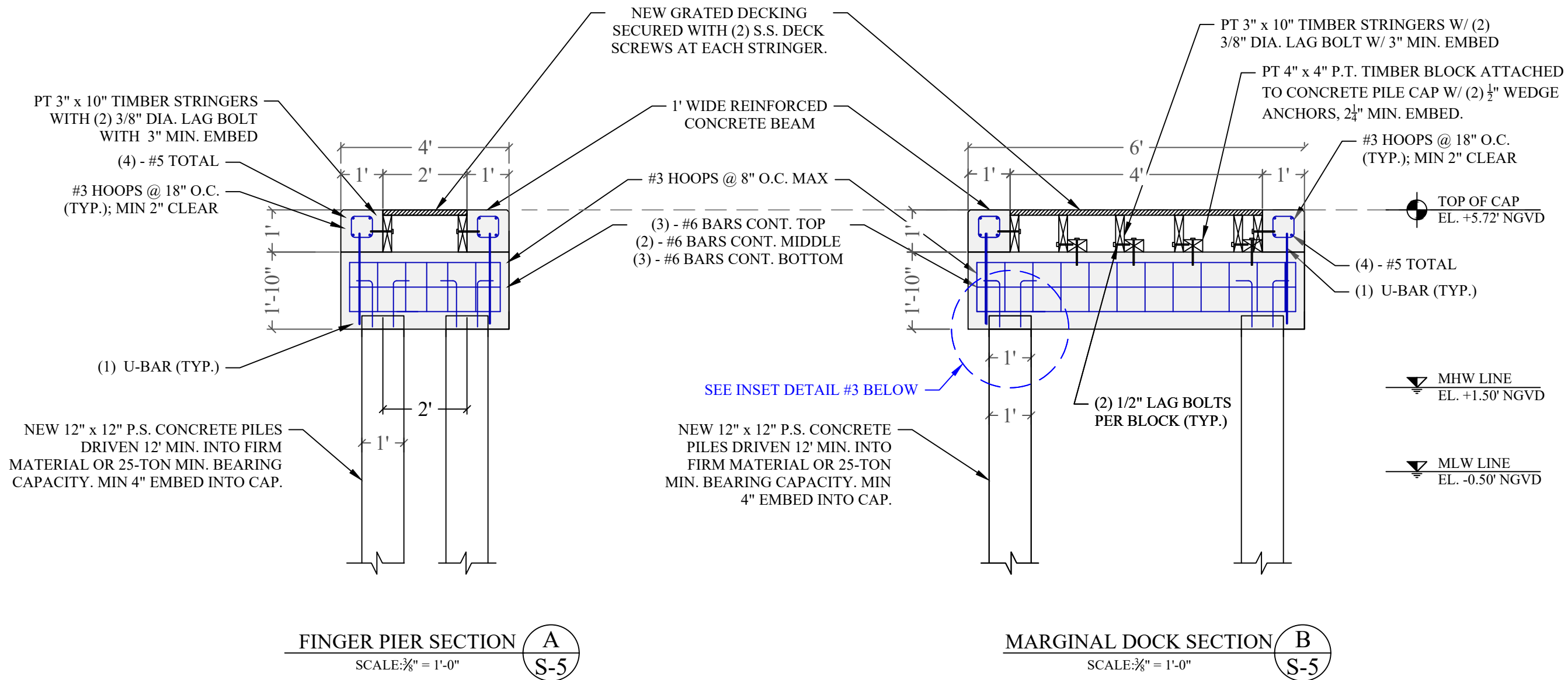
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**PILE CAP REINFORCING
& CONCRETE PILE
DETAIL**

SCALE : AS SHOWN
SHEET NO.

S-5



CONCRETE PILE DETAIL
NOT TO SCALE

5
S-5

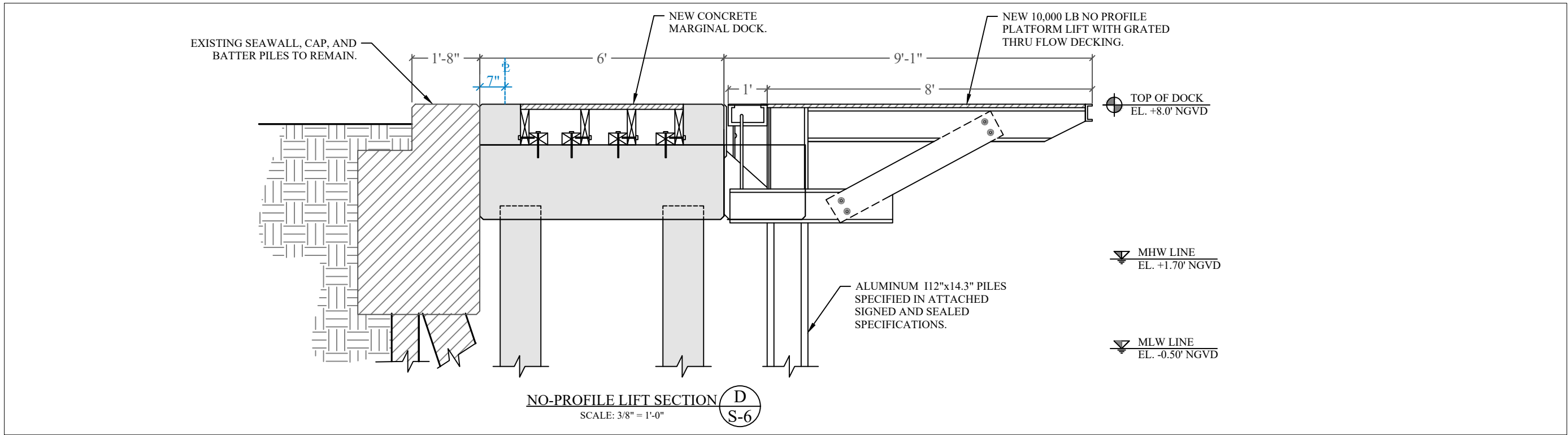
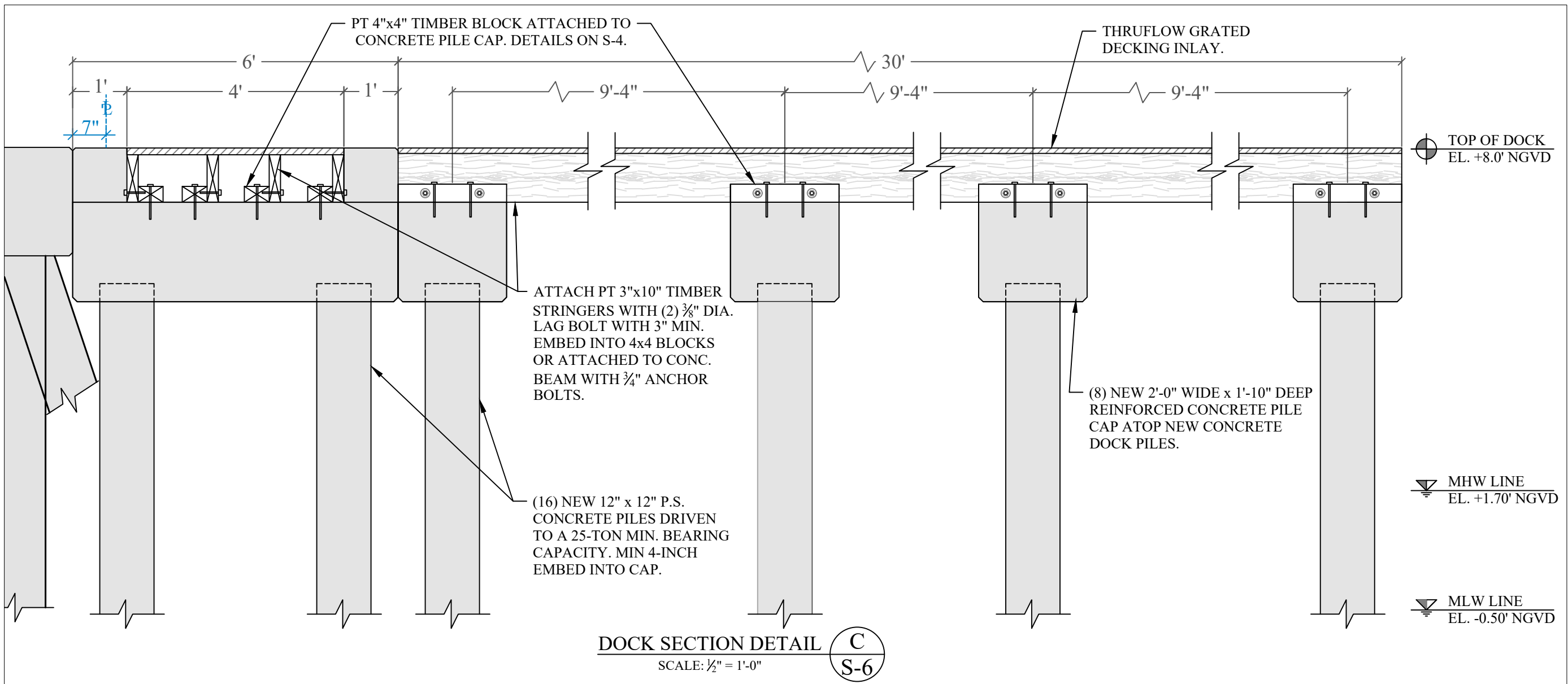
PILE NOTE:

CONCRETE COMPRESIVE STRENGTH:
3000 PSI @ RELEASE
5000 PSI @ DRIVING

STRANDS - USE FOUR 7/16" (270K)
LOW RELAXATION ASTM 416-87 UNCOATED
7-WIRE STRANDS TENSIONED TO 2.33 KIPS EACH

1-POINT PICKUP-MAXIMUM L = 50'
2-POINT PICKUP-MAXIMUM L = 62'

SPIRAL TO BE ASTM A-82 TIGHT
HARD-DRAWN WIRE



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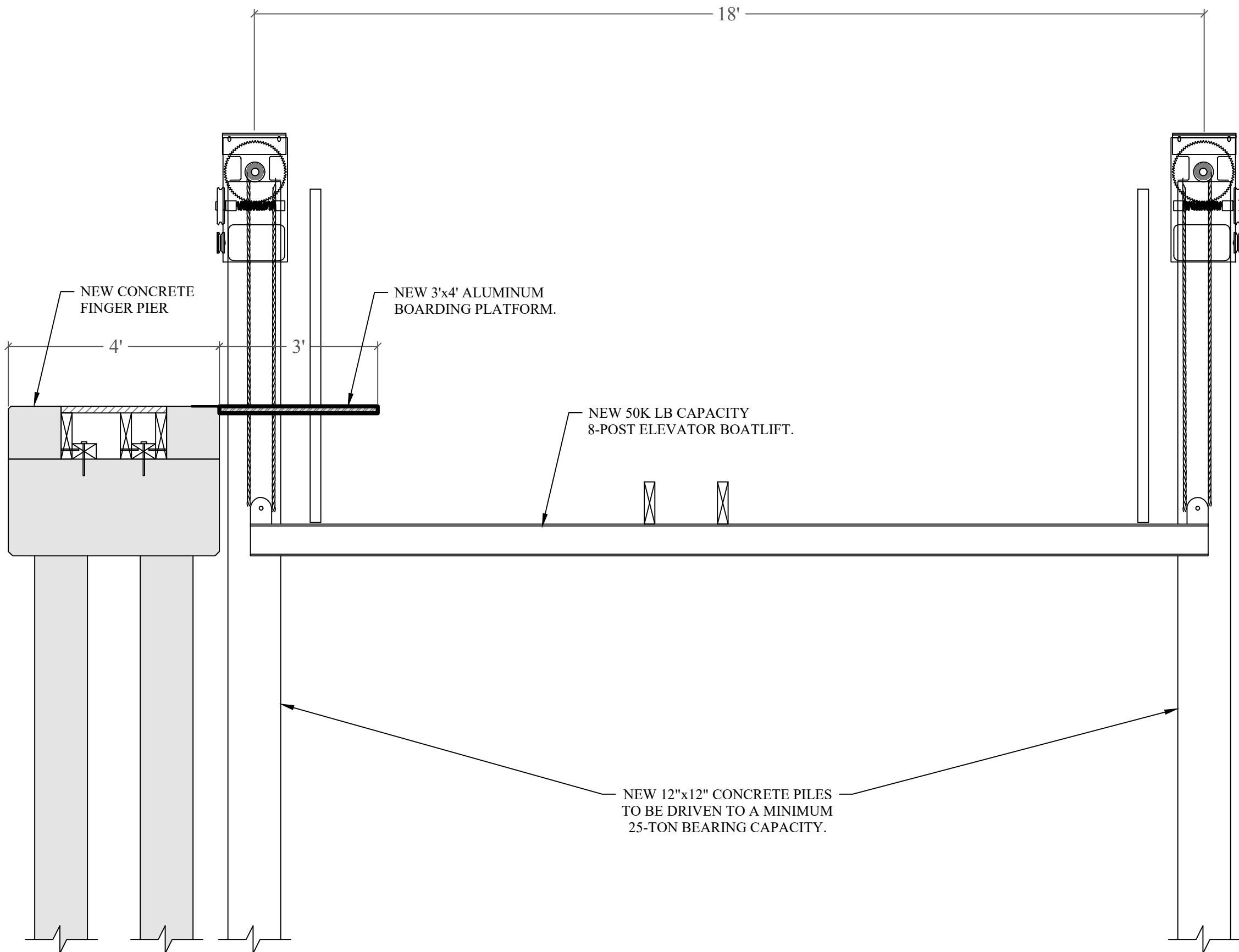
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DOCK & NO PROFILE
LIFT SECTIONS

SCALE : AS SHOWN
SHEET NO.

S-6



TOP OF NEW CAP
EL. +8.0' NGVD

MHW LINE
EL. +1.70' NGVD

MLW LINE
EL. -0.50' NGVD

8-POST BOATLIFT SECTION E
SCALE: 1/2" = 1'-0" S-7

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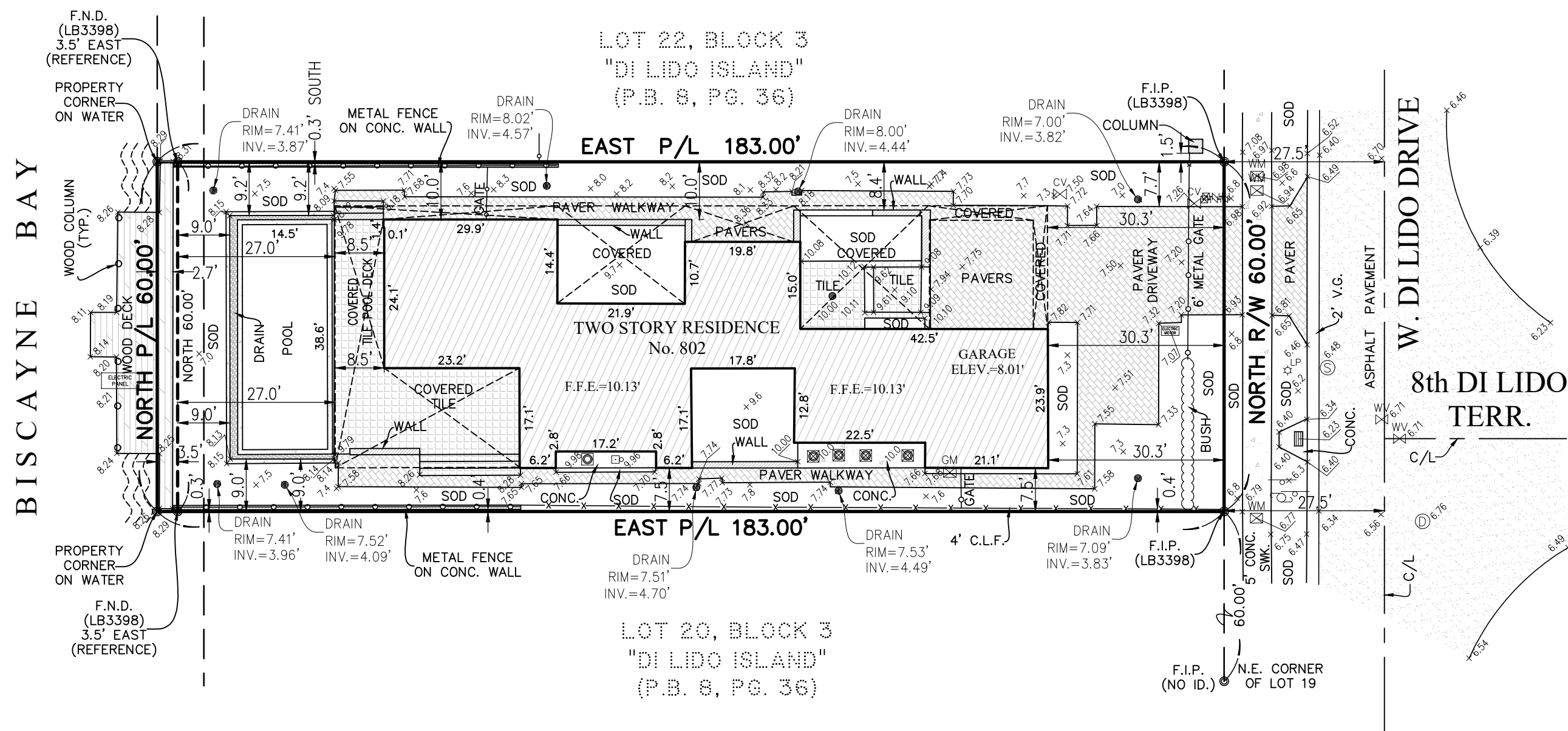
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8-POST BOATLIFT
SECTION

SCALE : AS SHOWN
SHEET NO.

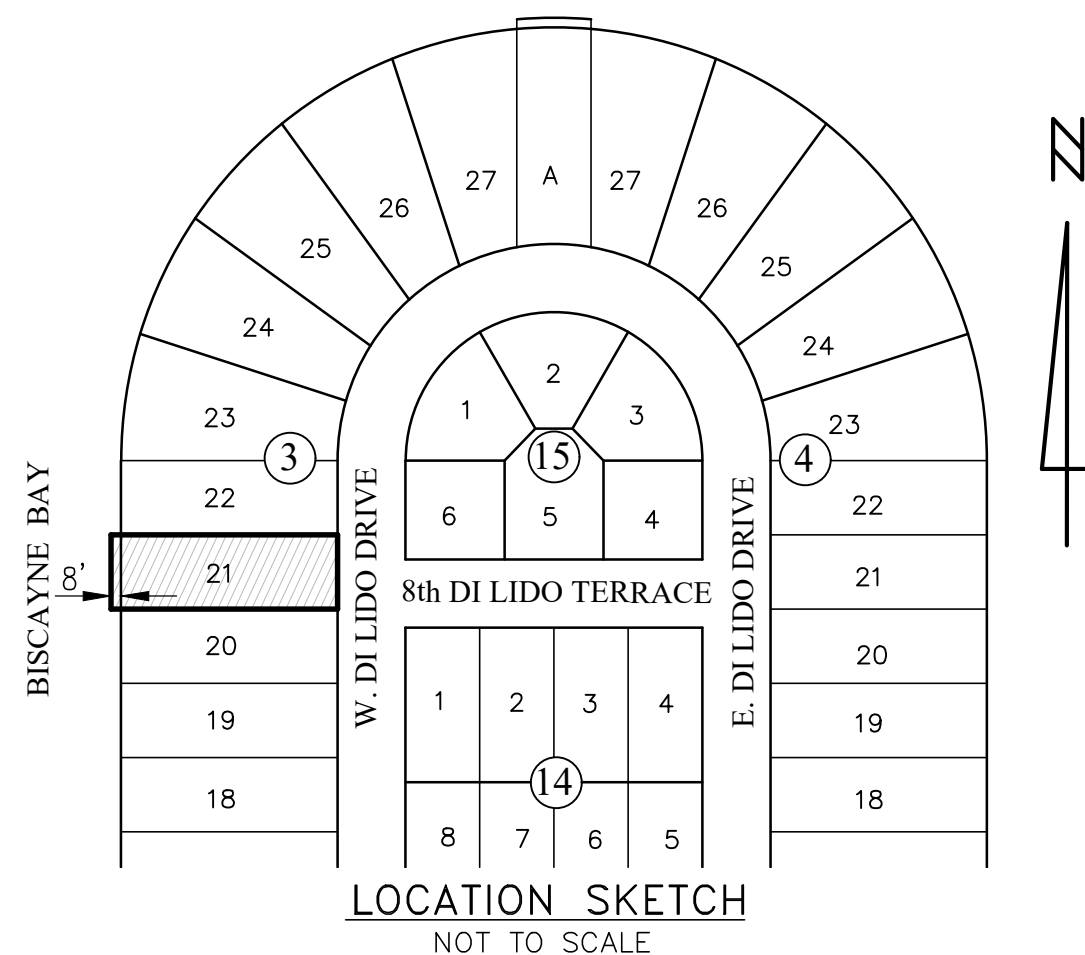
S-7

A diagram showing a horizontal line with a vertical line intersecting it. The vertical line is labeled "ASSUMED" and has a "Z" above it. Below the horizontal line is a graphic scale with markings at 0', 10', 20', and 40'. Below the scale is the text "GRAPHIC SCALE" and "SCALE : 1" = 20'".



| | |
|--------|------------------------------|
| A | Arc Length |
| A/C | Air Conditioner Pad |
| ASPH. | Asphalt |
| B.M. | Benchmark |
| C.B.S. | Concrete Block Structure |
| C.G. | Curb & Gutter |
| CH | Chord Distance |
| C/L | Center Line |
| C.L.F. | Choir Link Fence |
| CONC. | Concrete |
| C.S. | Concrete Slab |
| DWY. | Driveway |
| D.C. | Depressed Curb |
| E.T.P. | Electric Transformer Pad |
| E.O.W. | Edge of Water |
| F.F.E. | Finished Floor Elevation |
| F.I.P. | Found Iron Pipe |
| F.N. | Found Nail |
| F.N.D. | Found Nail & Disc |
| F.R. | Found Rebar |
| I.D. | Identification |
| INV. | Inverts |
| L.F.E. | Lowest Floor Elevation |
| M/L | Monument Line |
| P.B. | Plat Book |
| P.C.P. | Permanent Control Point |
| PG. | Page |
| PL | Planter |
| P/L | Property Line |
| P.O.B. | Point of Beginning |
| P.O.C. | Point of Commencement |
| P.R.M. | Permanent Reference Monument |
| R/W | Right-of-Way Line |
| SWK. | Sidewalk |
| T.B.M. | Temporary Benchmark |
| T.O.B. | Top of Bank |
| V.G. | Valley Gutter |
| W.F. | Wood Fence |
| U.E. | Utility Easement |
| P/S | Parking Spaces |
| (TYP.) | Typical |
| R | Recorded |

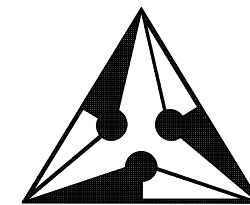
| | | | |
|--|------------------------|--|--------------------------|
| | Diameter | | Parking Meter |
| | Back Flow Preventer | | Unknown Manhole |
| | Concrete Light Pole | | Sewer Valve |
| | Metal Pole | | Mail Box |
| | Guy Wire | | Spot Elevation |
| | Utility Power Pole | | Temporary Benchmark |
| | Fire Hydrant | | Diameter-Height-Spread |
| | Water Meter | | Right-of-Way Lines |
| | Electric Box | | Property Corner |
| | Telephone Box | | Traffic Sign |
| | Sewer Manhole | | Catch Basin |
| | Overhead Utility Lines | | Drainage Manhole |
| | Light Pole | | Wood Fence |
| | Gas Meter | | Metal Fence |
| | Gas Valve | | Irrigation Control Valve |
| | Water Valve | | C.B.S. Wall |
| | Water Manhole | | Clean Out |
| | Telephone Manhole | | Guard Pole |
| | Monitoring Well | | Water Pump |
| | Chain Link Fence | | Air Conditioner |
| | Grease Manhole | | Drain |
| | Valve (Unknown) | | Cable Television |



THESE ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
ORIA JANNET SUAREZ, PSM ON THE DATE ADJACENT TO
THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED
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VERIFIED ON ANY ELECTRONIC COPIES.

Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.



J. Bonfill & Associates, Inc.
REGISTERED LAND SURVEYORS & MAPPERS
Florida Certificate of Authorization LB3398
7100 S.W. 99th Avenue Suite 104
Miami, Florida 33173 (305) 598-8383

BOUNDARY SURVEY
of
802 WEST DI LIDO DRIVE, MIAMI BEACH
MIAMI-DADE COUNTY, FLORIDA 33139
for
420 DEVELOPMENT & DESIGN, LLC

| REVISIONS | BY |
|--------------|------------------|
| | |
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| | |
| | |
| | |
| Project: | 16-0156 /19-0293 |
| Job: | 20-0188 |
| Date: | 06-17-2020 |
| Drawn: | G.P., J.S., C.B. |
| Checked: | J.S. |
| Scale: | AS SHOWN |
| Field Book: | ON FILE |
| SHEET 1 OF 1 | |

VARIANCE APPLICATION PACKET

808 WEST DI LIDO DRIVE

City of Miami Beach



*Variance application for new dock with
mooring piles in set-back area.*

File No. ZBA20-113

*FINAL SUBMITTAL
JULY 7, 2020*

808 W. DILIDO DRIVE WATERFRONT IMPROVEMENT PROJECT

Miami Beach, Florida

CLIENT:
MR. EMMANUEL SEBAG
808 W. Dilido Drive
Miami Beach, FL 33139

ENVIRONMENTAL CONSULTANT:
**OCEAN
CONSULTING, LLC**
340 Minorca Avenue, Suite 7
Coral Gables, Florida 33134
Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:
ADOLFO GONZALEZ P.E.

2050 Coral Way
Suite 502
Miami, FL 33145
Office - 305-415-8782

SEAL / SIGNATURE / DATE

Adolfo Gonzalez
Lic. No. 58620

PERMIT DRAWINGS

| Issue # | Issue Date |
|----------------|-------------------|
| ① | July 2, 2020 |
| | |
| | |
| | |

PROJECT: 20-9840

COVER PAGE

SCALE : AS SHOWN
SHEET NO.

G-1



PROPERTY AERIAL: 1/2 MILE RADIUS

808 W. DILIDO DRIVE
WATERFRONT IMPROVEMENT
PROJECT

Miami Beach, Florida
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PERMIT DRAWINGS

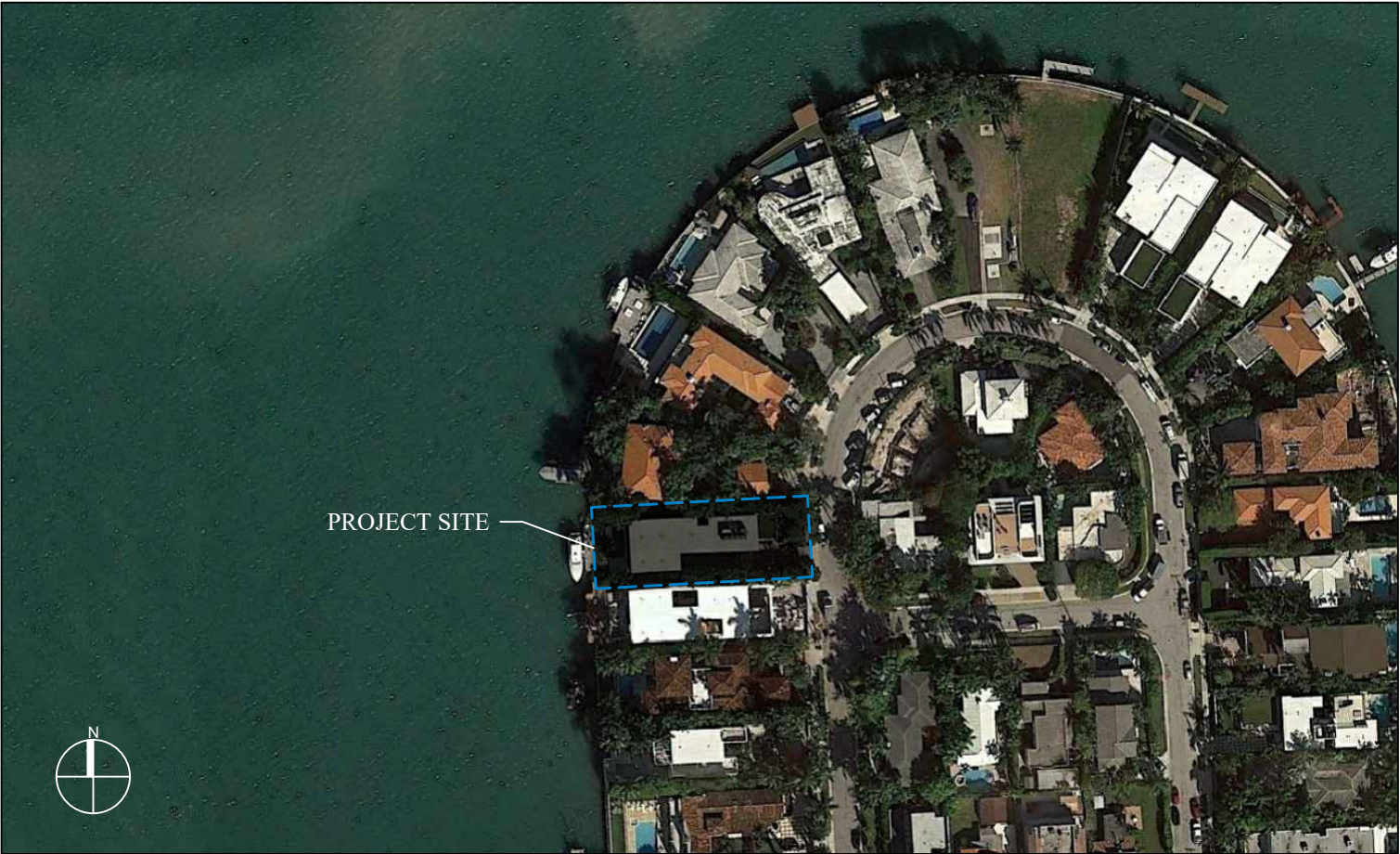
| Issue # | Issue Date |
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| ① | July 2, 2020 |

PROJECT: 20-9840

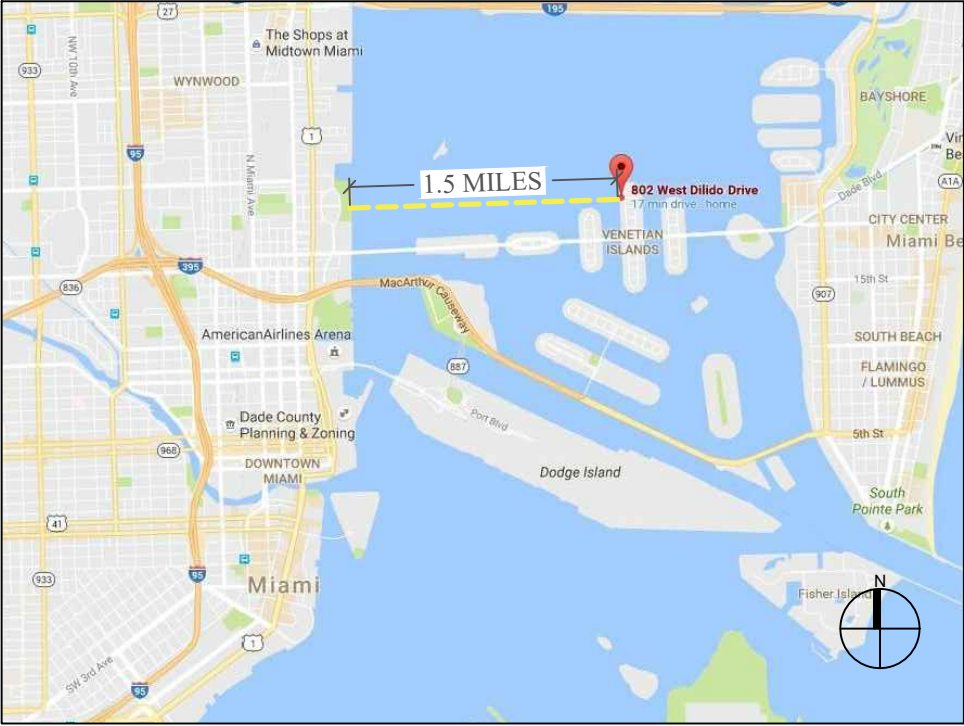
PROJECT SITE AERIAL

SCALE : AS SHOWN
SHEET NO.

G-2



LOCATION MAP AND LEGAL DESCRIPTION



PROJECT SITE LOCATION:
808 W Dilido
Miami Beach, FL 33139

LATITUDE: 25°47'40.19"N
LONGITUDE: 80° 9'37.10"W

FOLIO No.: 02-3232-011-0490
LEGAL DESCRIPTION:
DI LIDO ISLAND PB 8-36
LOT 22 & 8FT STRIP CONTIG TO SAME
ON BAY BLK 3
LOT SIZE 60.000 X 175
OR 25063-0576 10 2006 1
COC 26454-1836 06 2008 4

- GENERAL NOTES:
- ELEVATIONS SHOWN REFER TO THE NATIONAL AMERICAN VERTICAL DATUM (NAVD) OF 1988.
 - ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.
 - IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ENGINEER BEFORE PROCEEDING WITH WORK. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
 - IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE, AND FEDERAL ENVIRONMENTAL PERMITS ISSUED FOR THIS PROJECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.
 - APPLICABLE BUILDING CODE: FLORIDA BUILDING CODE, 2017 EDITION (AND CURRENT ADDENDUMS).
 - APPROVED CONTRACTOR TO DETERMINE THE SUITABILITY OF EXISTING STRUCTURES AND VERIFY ALL DIMENSIONS. THE APPROVED CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCES AND PROCEDURES OF WORK.
 - DO NOT SCALE DRAWINGS FOR DIMENSIONS.
 - CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK.
 - CONTRACTOR TO PROPERLY FENCE AND SECURE AREA WITH BARRICADES.
 - ANY DEVIATION AND/OR SUBSTITUTION FROM THE INFORMATION PROVIDED HEREIN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
 - ALL NEW MATERIALS AND/OR PATCHWORK SHALL BE PROVIDED TO MATCH EXISTING MATERIALS AND/OR ADJOINING WORK WHERE PRACTICAL EXCEPT AS SPECIFICALLY NOTED HEREIN.
 - LICENSED CONTRACTOR SHALL USE ALL POSSIBLE CARE TO PROTECT ALL EXISTING MATERIALS, SURFACES, AND FURNISHINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
 - THE LICENSED CONTRACTOR TO INSTALL AND REMOVE ALL SHORING AND BRACING AS REQUIRED FOR THE PROPER EXECUTION OF THE WORK.
 - ALL NEW WORK AND/OR MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF EACH ADMINISTRATIVE BODY HAVING JURISDICTION IN EACH PERTAINING CIRCUMSTANCE.
 - THE CONTRACTOR WILL EMPLOY AND MAINTAIN ADEQUATE SEDIMENT AND EROSION CONTROL MEASURES TO PROTECT BISCAYNE BAY FROM SEDIMENT AND CONSTRUCTION DEBRIS.

DOCK: LL 60 PSF

BOLTS

- ALL BOLTS SHALL BE 316 STAINLESS STEEL, UNLESS OTHERWISE NOTED.

WOOD

- PRIMARY WOOD FRAMING MEMBERS SHALL BE NUMBER 1 MARINE GRADE PRESSURE TREATED SOUTHERN PINE OR BETTER.
- ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.

CONCRETE

- CONCRETE SHALL CONFORM TO ACI 318 (LATEST ED.) AND SHALL BE REGULAR WEIGHT, SULFATE RESISTANT, WITH A DESIGN STRENGTH OF 5,000 PSI AT 28 DAYS W/ A MAX WATER-CEMENTIOUS MATERIALS RATIO, BY WEIGHT, NORMAL WEIGHT AGGREGATE CONCRETE OF 0.40.
- OWNER SHALL EMPLOY AND PAY FOR TESTING SERVICES FROM AN INDEPENDENT TESTING LABORATORY FOR CONCRETE SAMPLING AND TESTING IN ACCORDANCE W/ ASTM.
- LICENSED CONTRACTOR IS RESPONSIBLE FOR THE ADEQUACY OF FORMS AND SHORING AND FOR SAFE PRACTICE IN THEIR USE AND REMOVAL.
- CONCRETE COVER SHALL BE 3" UNLESS OTHERWISE NOTED ON APPROVED DRAWINGS.
- REINFORCING STEEL SHALL BE IN CONFORMANCE WITH THE LATEST VERSION OF ASTM A615 GRADE 60 SPECIFICATIONS. ALL REINFORCEMENT SHALL BE PLACED IN ACCORDANCE W/ ACI 315 AND ACI MANUAL OF STANDARD PRACTICE.
- SPLICES IN REINFORCING BARS SHALL NOT BE LESS THAN 48 BAR DIAMETERS AND REINFORCING SHALL BE CONTINUOUS AROUND ALL CORNERS AND CHANGES IN DIRECTION. CONTINUITY SHALL BE PROVIDED AT CORNERS OR CHANGES IN DIRECTION BY BENDING THE LONGITUDINAL STEEL AROUND THE CORNER 48 BAR DIAMETERS.

PILE DRIVING NOTES

- PILE DRIVING OPERATIONS SHALL BE OBSERVED BY A SPECIAL INSPECTOR, INCLUDING TEST PILES SUFFICIENT TO DETERMINE THE APPROXIMATE LENGTH REQUIRED TO MEET DESIGN CAPACITY.
- PILES SHALL BE DRIVEN USING AN APPROVED CUSHION BLOCK CONSISTING OF MATERIAL SO ARRANGED SO AS TO PROVIDE THE TRANSMISSION OF THE HAMMER ENERGY.
- PILES SHALL BE DRIVEN TO REQUIRED MINIMUM BEARING CAPACITY OF 15-TON WOOD PILES/ 25-TON CONCRETE PILES.
- PILES SHALL BE DRIVEN WITH A DROP HAMMER OR GRAVITY HAMMER PROVIDED THE HAMMER SHALL WEIGH NO LESS THAN 3,000 POUNDS, AND THE FALL OF THE HAMMER SHALL NOT EXCEED 6 FT.
- PILES SHALL BE DRIVEN WITH A VARIATION OF NOT MORE THAN ¼" PER FOOT FROM THE VERTICAL, OR FROM THE BATTER LINE INDICATED, WITH A MAX VARIATION OF THE HEAD OF THE PILE FROM THE POSITION SHOWN ON THE PLANS OF NOT MORE THAN 3".
- WHERE PILING MUST PENETRATE STRATA OFFERING HIGH RESISTANCE TO DRIVING, THE STRUCTURAL ENGINEER OF RECORD OR SPECIAL INSPECTOR MAY REQUIRE THAT PILES BE SET IN PRE-DRILLED OR PUNCHED HOLES. THE PILES SHALL REACH THEIR FINAL PENETRATION BY DRIVING.

808 W. DILIDO DRIVE
WATERFRONT IMPROVEMENT
PROJECT

Miami Beach, Florida
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Miami Beach, FL 33139

ENVIRONMENTAL CONSULTANT:
OCEAN
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Tel: (305) 921-9344
Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:
ADOLFO GONZALEZ P.E.

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Suite 502
Miami, FL 33145
Office - 305-415-8782

SEAL / SIGNATURE / DATE

Adolfo Gonzalez
Lic. No. 58620

PERMIT DRAWINGS

| Issue # | Issue Date |
|---------|--------------|
| ① | July 2, 2020 |

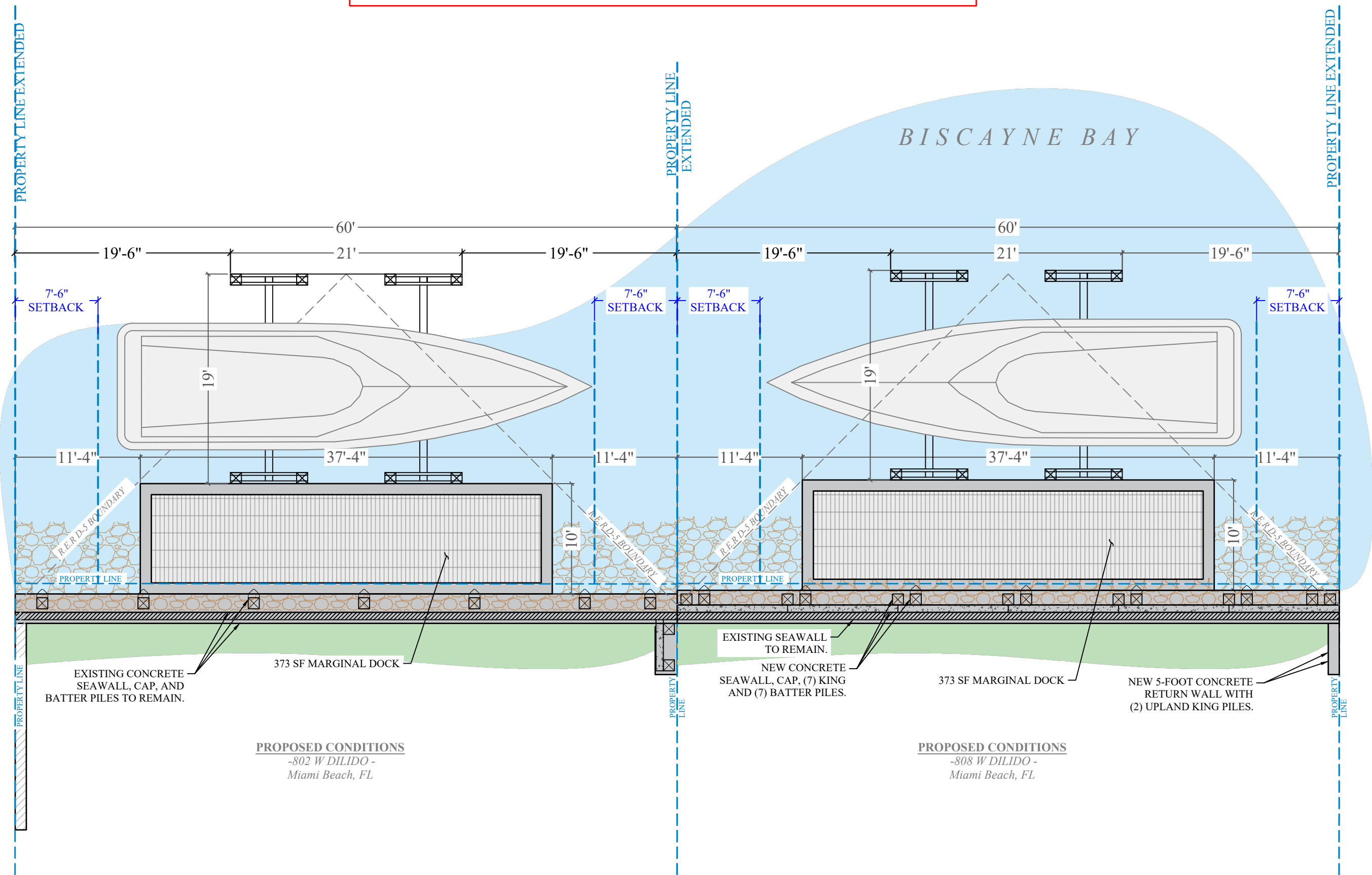
PROJECT: 20-9840

GENERAL NOTES

SCALE : AS SHOWN
SHEET NO.

S-1

VARIANCE SUPPORT PAGE SHOWING PRACTICAL DIFFICULTY
OF DOCKING WITHOUT THE REQUESTED VARIANCE.



808 W. DILIDO DRIVE
WATERFRONT IMPROVEMENT
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Miami Beach, Florida

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Issue # Issue Date
① July 2, 2020

PROJECT: 20-9840

NOT FOR PERMIT:
PRACTICAL DIFFICULTY

SCALE : AS SHOWN
SHEET NO.

V-1



808 W. DILIDO DRIVE
WATERFRONT IMPROVEMENT
PROJECT

Miami Beach, Florida

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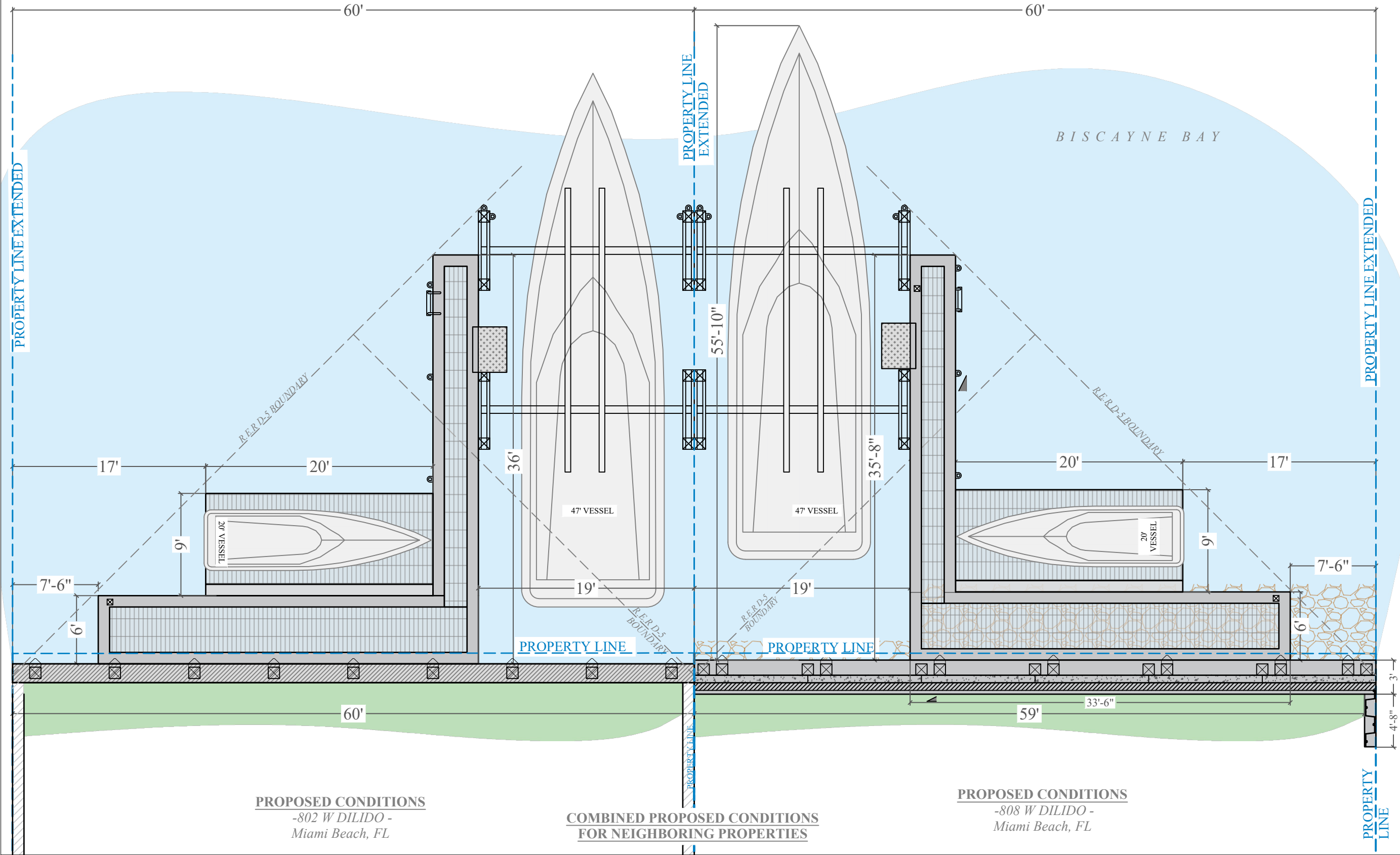
PROJECT: 20-9840

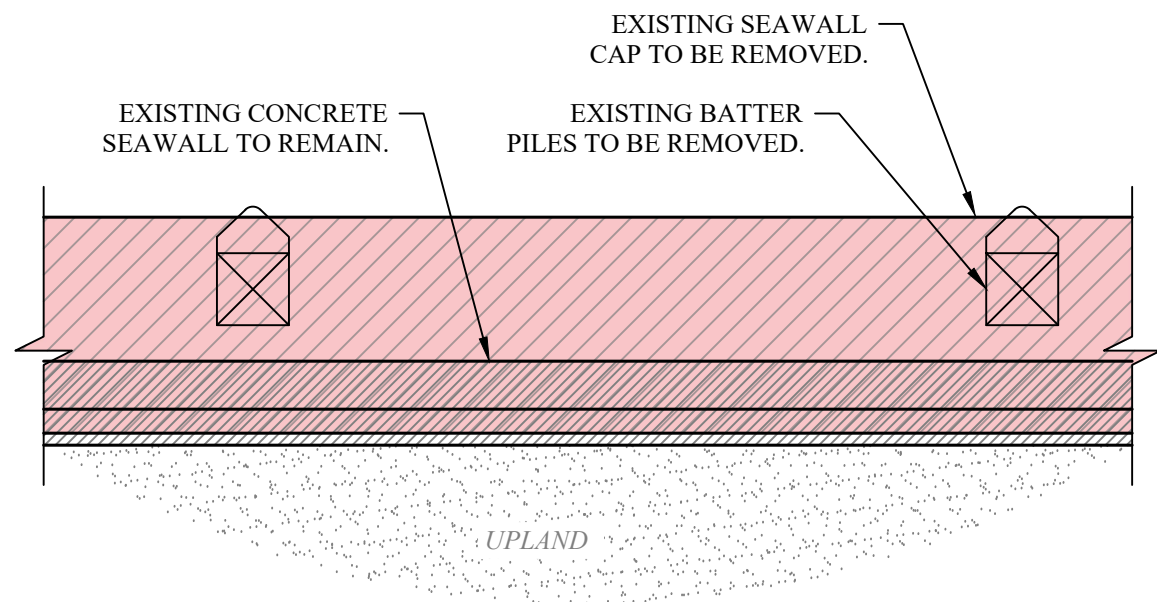
COMBINED PROPOSED
CONDITIONS FOR
NEIGHBORING PROPERTIES

SCALE : AS SHOWN
SHEET NO.

V-2

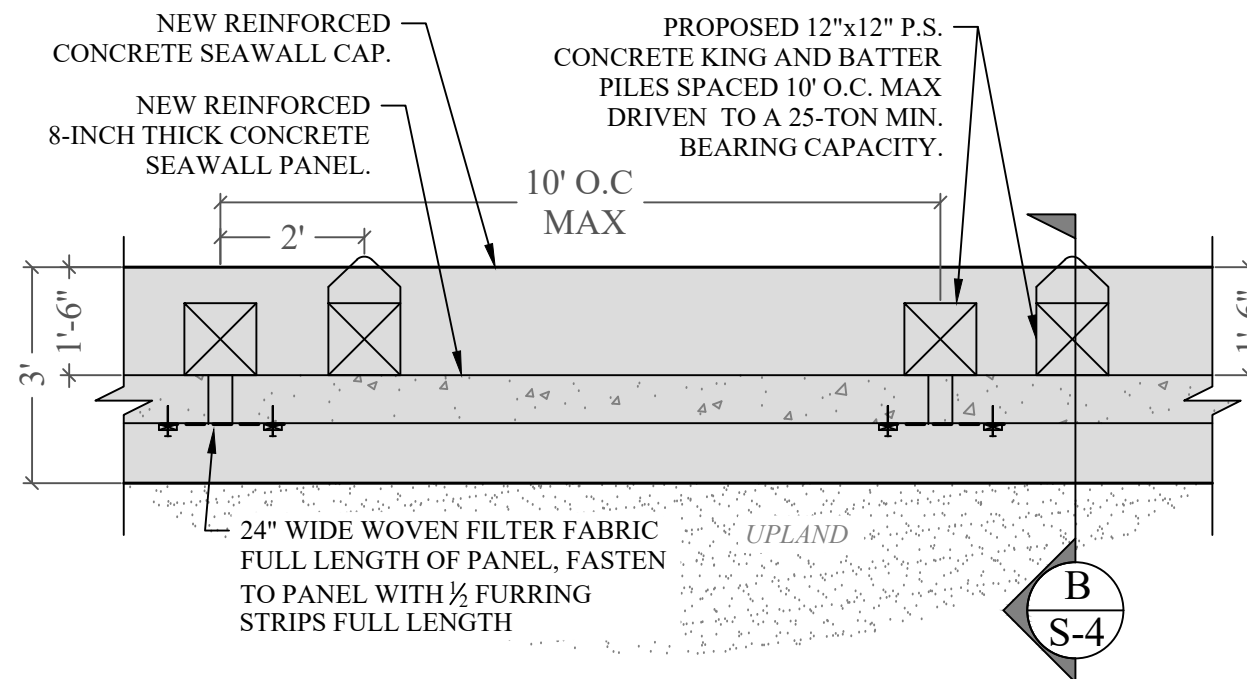
NOTE: NO PROPOSED
CHANGES TO EXISTING
UPLAND CONDITIONS.





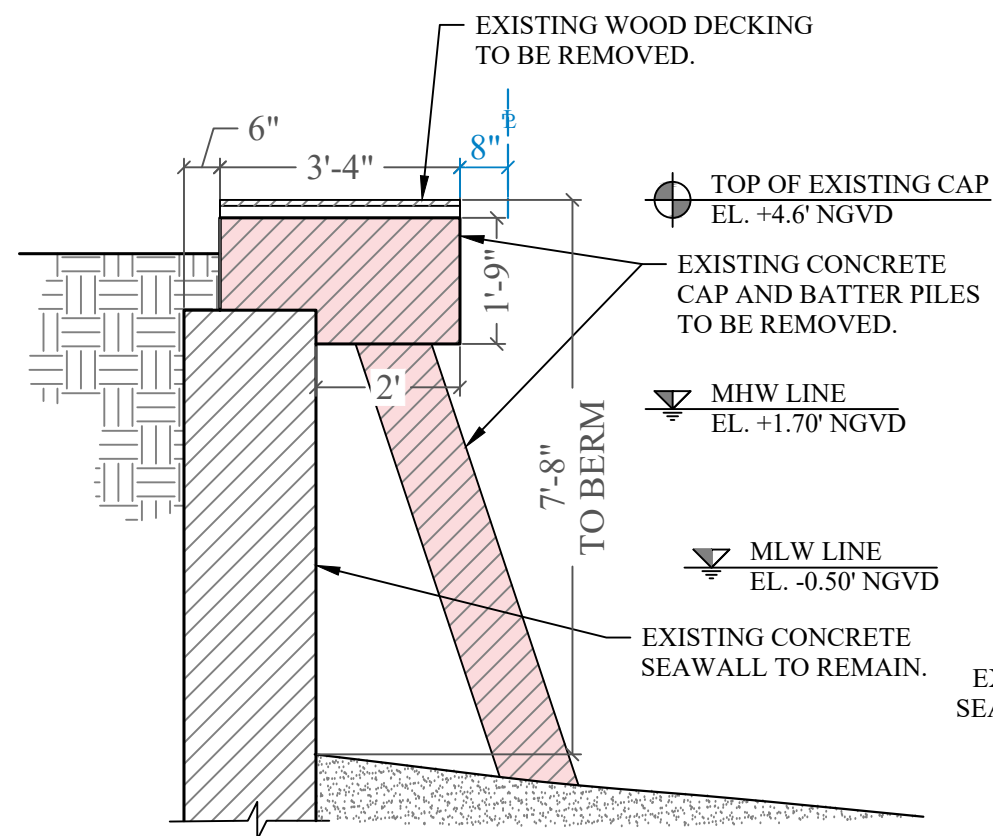
EXISTING SEAWALL CONDITION 1
S-4

SCALE: 3/8" = 1'-0"



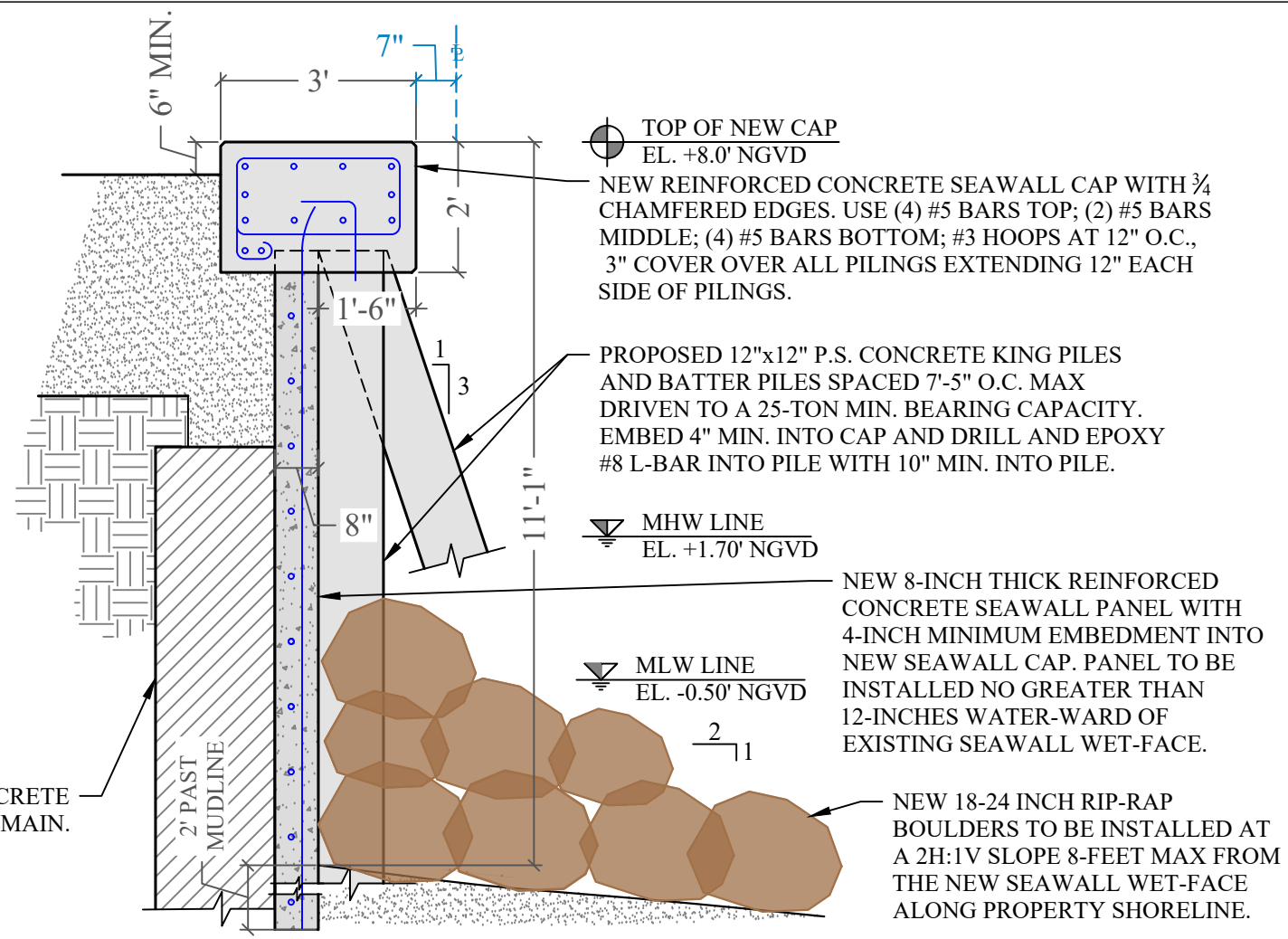
PROPOSED SEAWALL CONDITION 2
S-4

SCALE: 3/8" = 1'-0"



EXISTING SEAWALL CONDITION A
S-4

SCALE: 3/8" = 1'-0"



PROPOSED SEAWALL CONDITION B
S-4

SCALE: 3/8" = 1'-0"

**808 W. DILIDO DRIVE
WATERFRONT IMPROVEMENT
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| ① | July 2, 2020 |

PROJECT: 20-9840

**EXISTING & PROPOSED
SEAWALL SECTIONS**

SCALE : AS SHOWN
SHEET NO.

S-4

**808 W. DILIDO DRIVE
WATERFRONT IMPROVEMENT
PROJECT**

Miami Beach, Florida

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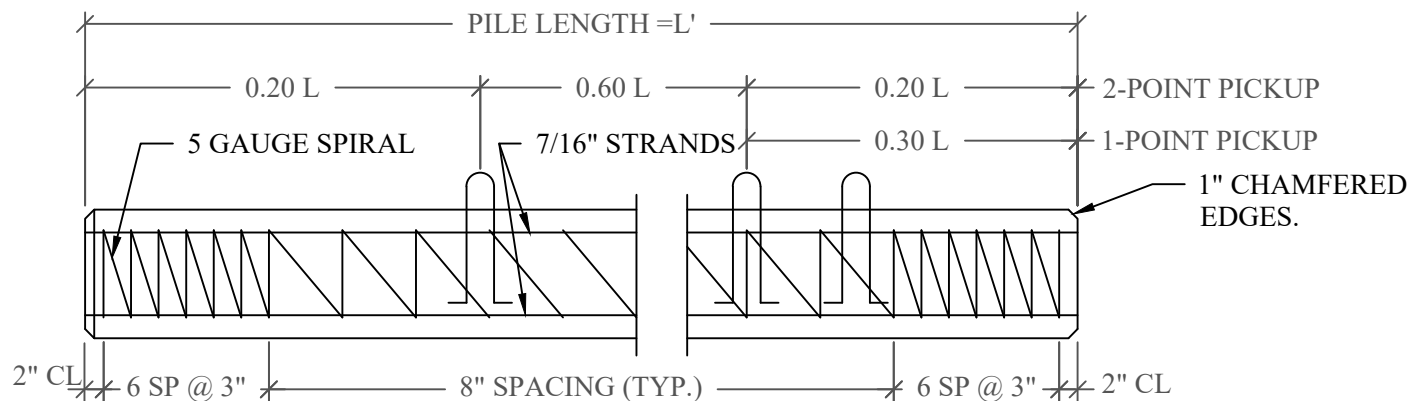
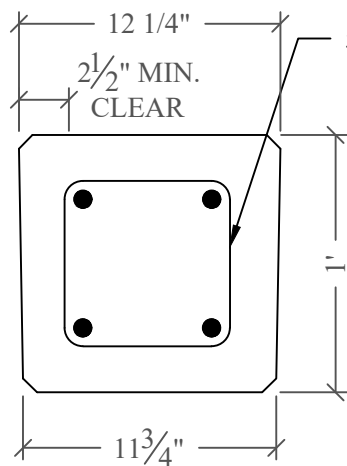
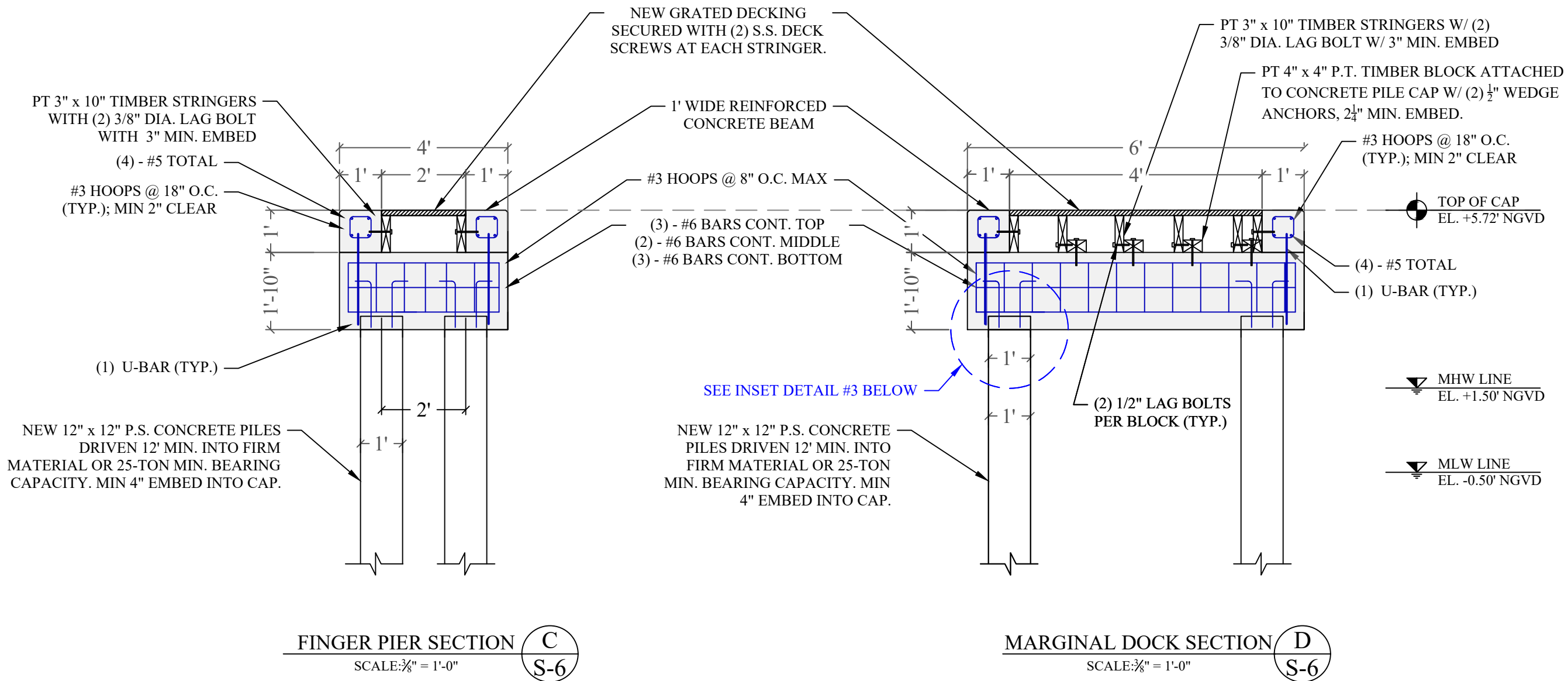
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| ① | July 2, 2020 |

PROJECT: 20-9840

**PILE CAP REINFORCING
& CONCRETE PILE
DETAIL**

SCALE : AS SHOWN
SHEET NO.

S-6



CONCRETE PILE DETAIL
NOT TO SCALE

7
S-6

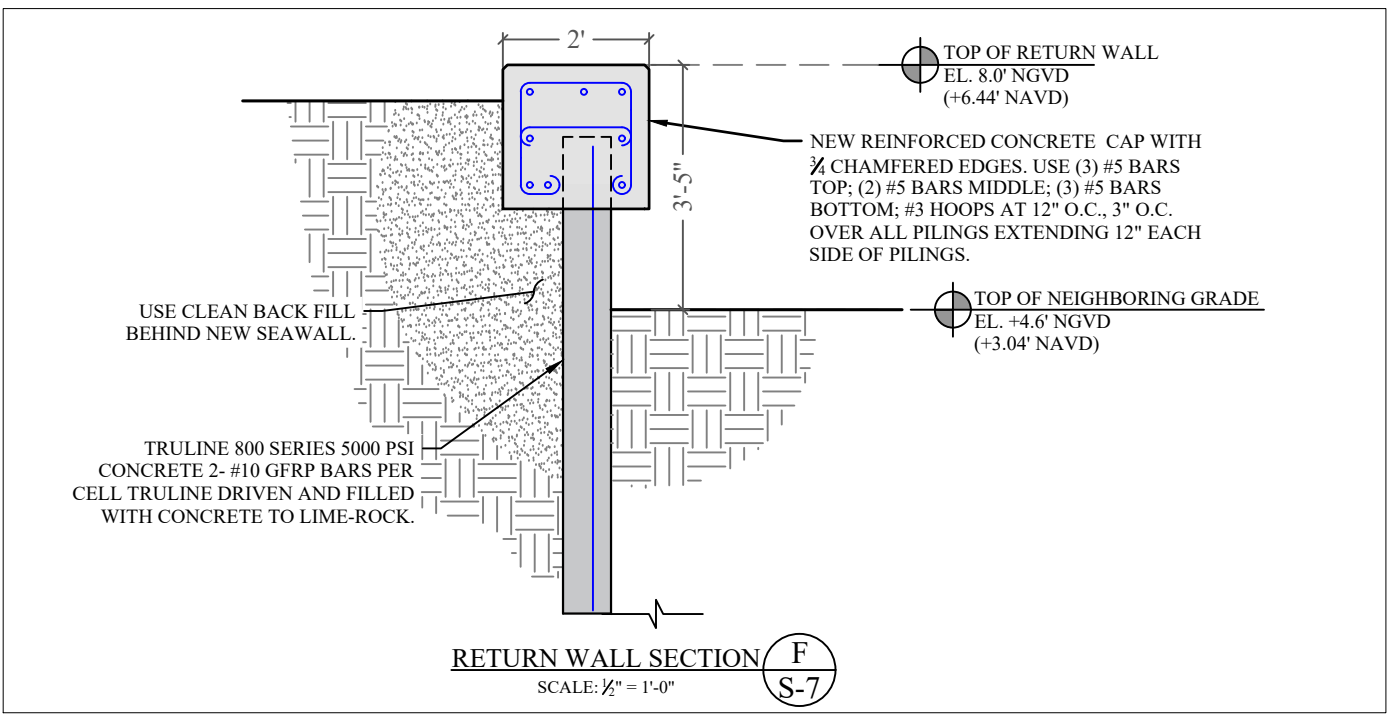
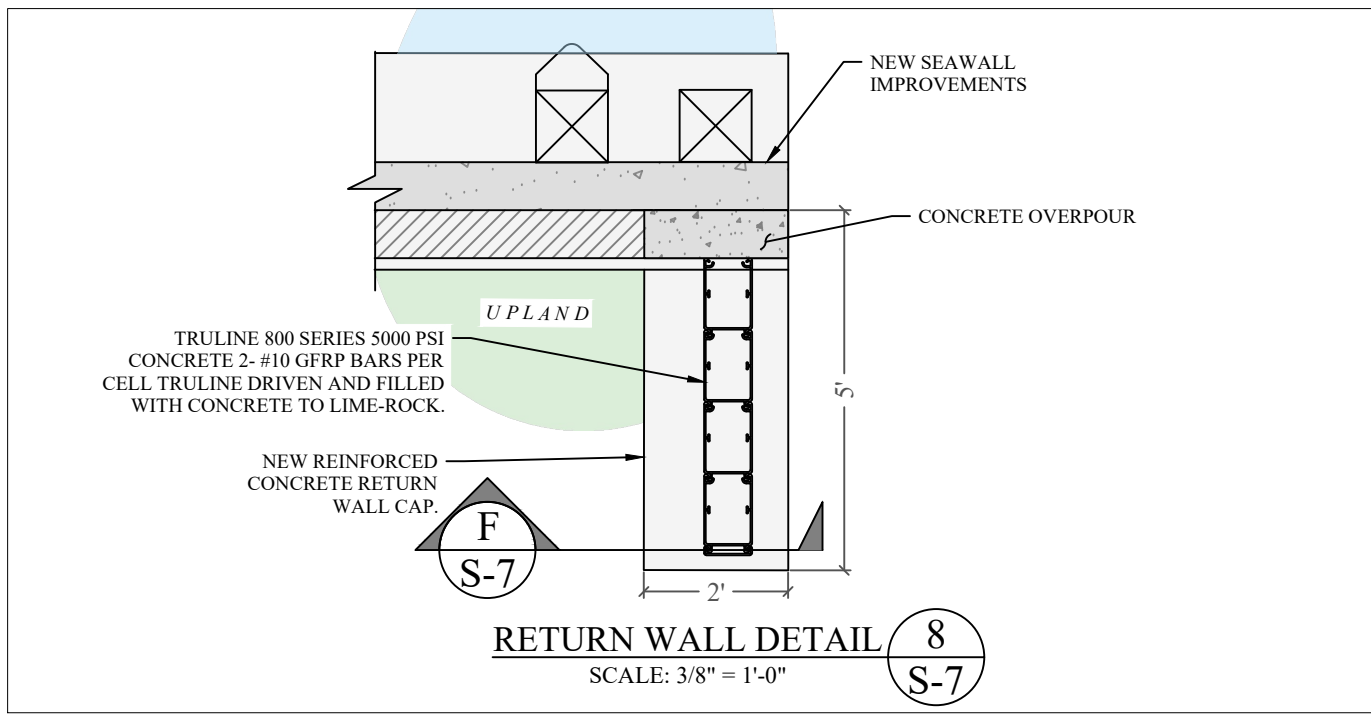
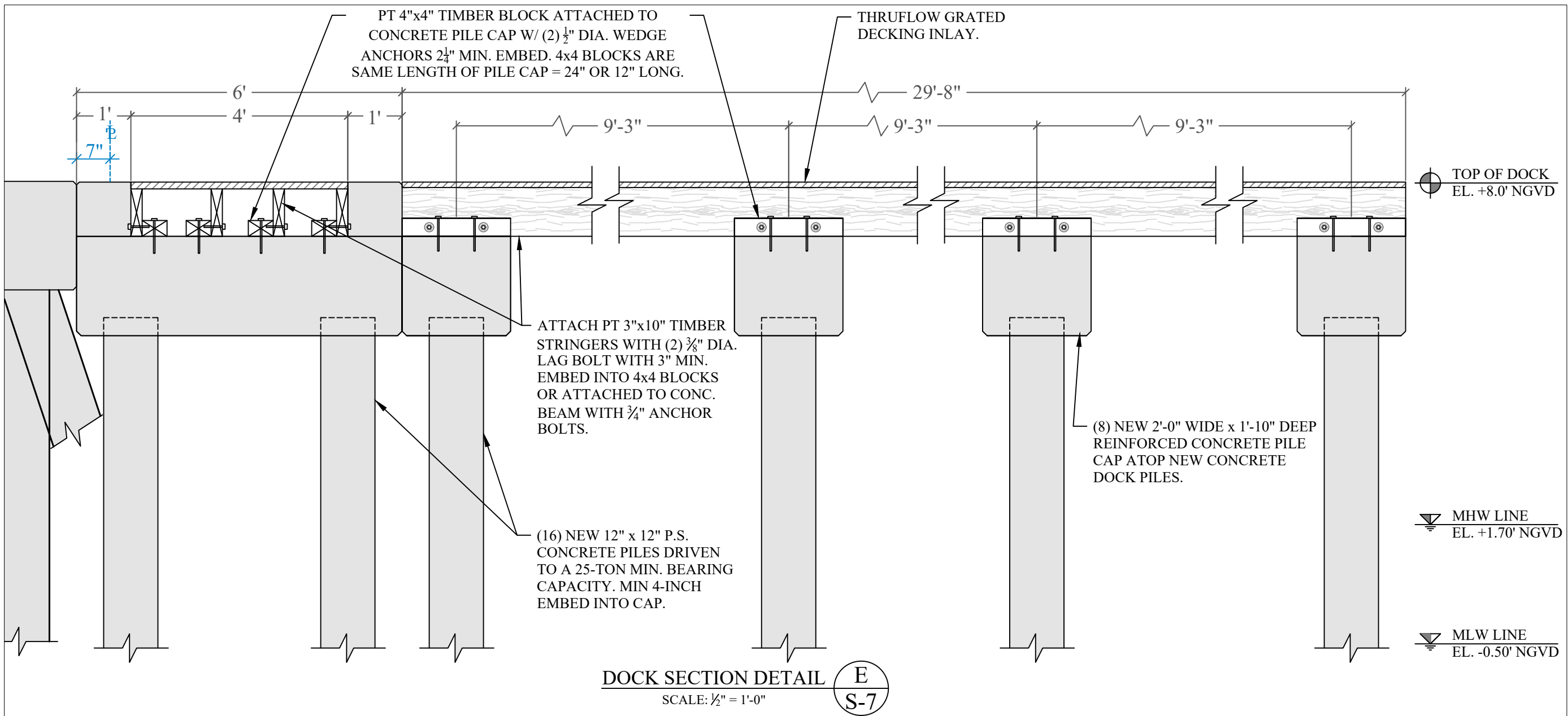
PILE NOTE:

CONCRETE COMPRESSIVE STRENGTH:
3000 PSI @ RELEASE
5000 PSI @ DRIVING

STRANDS - USE FOUR 7/16" (270K)
LOW RELAXATION ASTM 416-87 UNCOATED
7-WIRE STRANDS TENSIONED TO 2.33 KIPS EACH

1-POINT PICKUP-MAXIMUM L = 50'
2-POINT PICKUP-MAXIMUM L = 62'

SPIRAL TO BE ASTM A-82 TIGHT
HARD-DRAWN WIRE



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WATERFRONT IMPROVEMENT PROJECT

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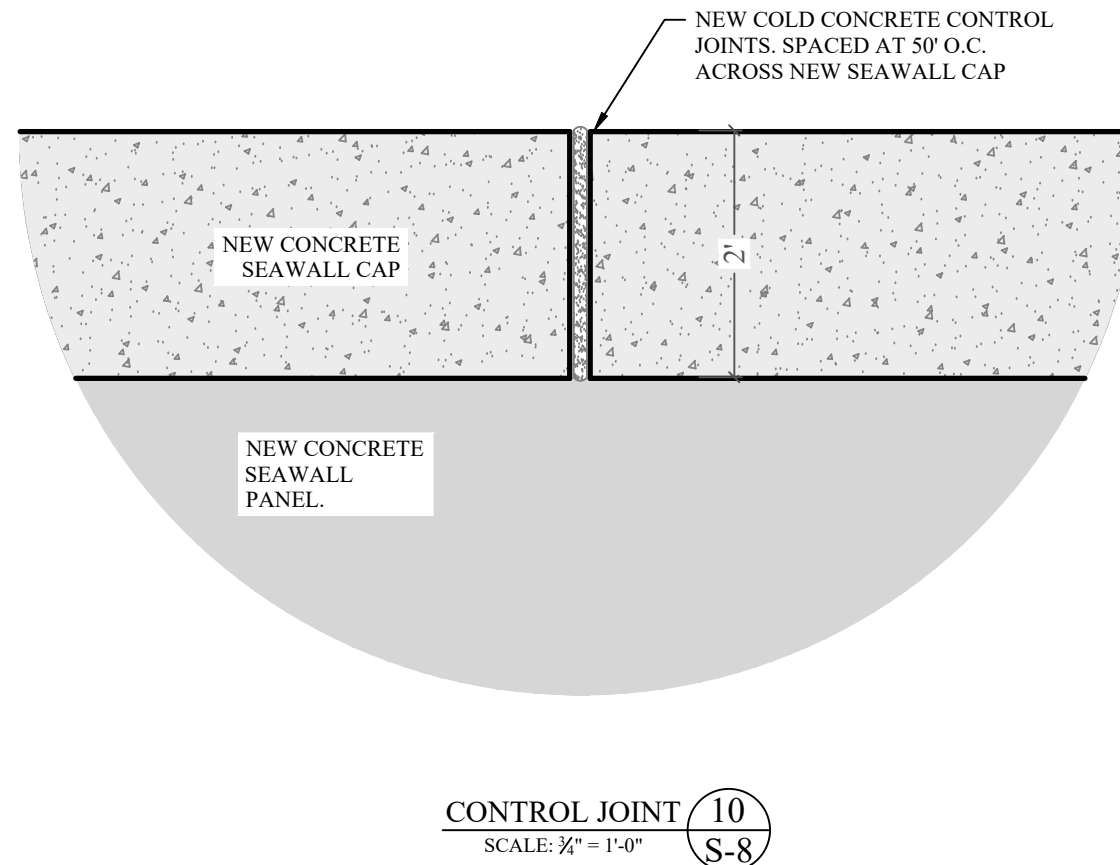
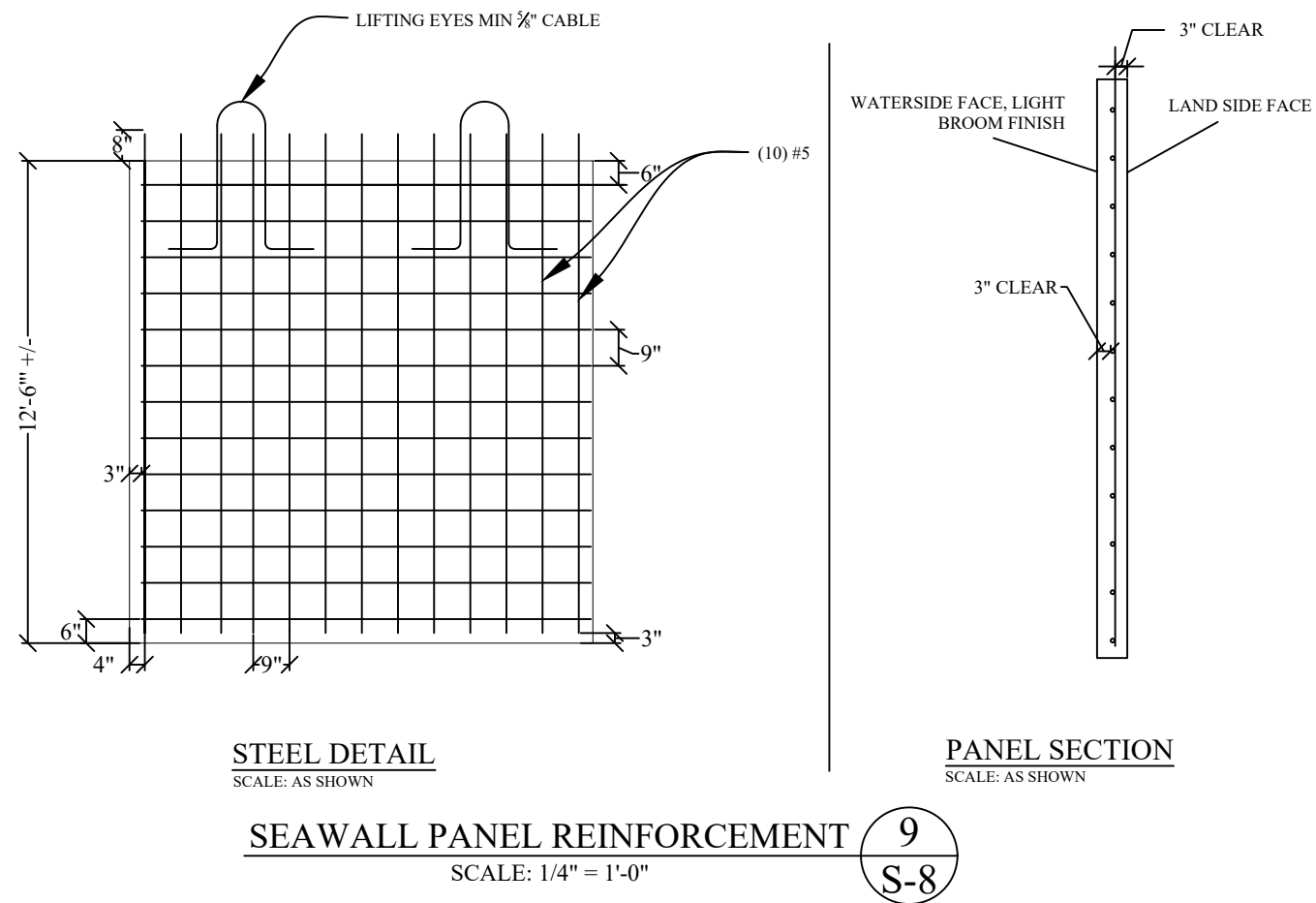
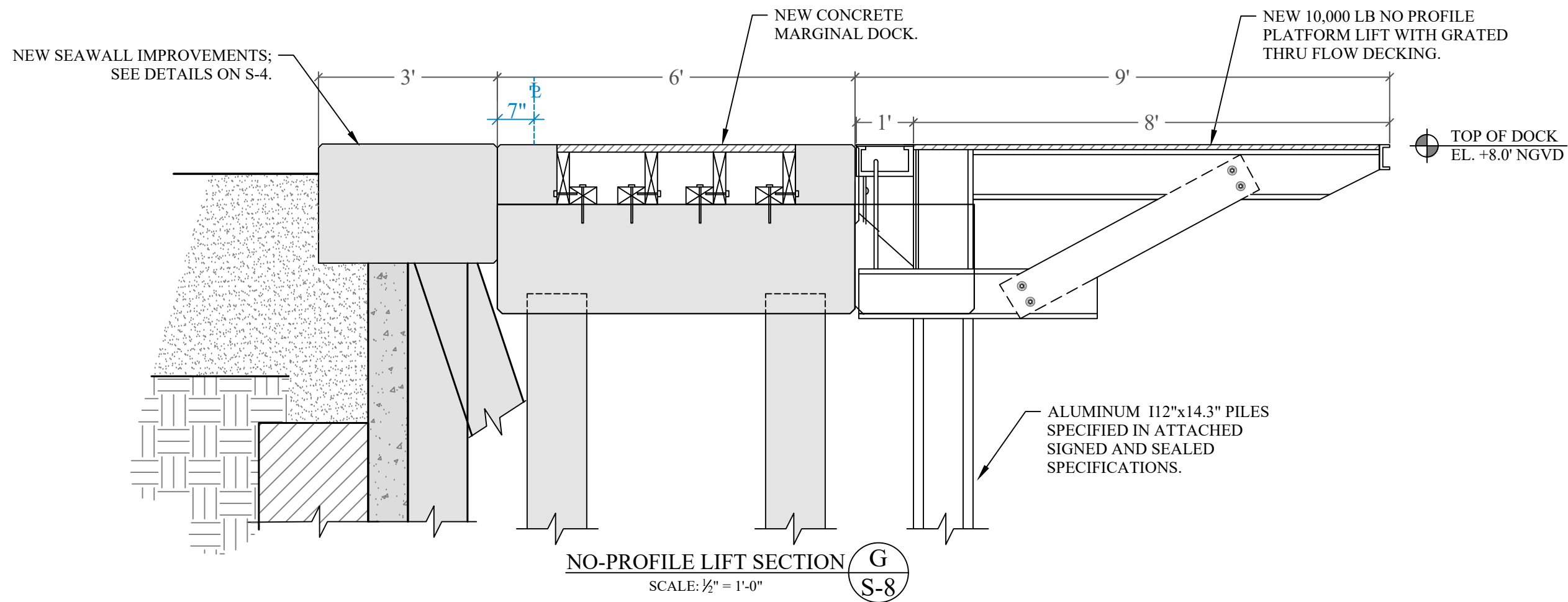
| Issue # | Issue Date |
|---------|--------------|
| ① | July 2, 2020 |
| | |
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| | |

PROJECT: 20-9840

DOCK SECTION & RETURN WALL DETAILS

SCALE : AS SHOWN
SHEET NO.

S-7



808 W. DILIDO DRIVE
WATERFRONT IMPROVEMENT
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Miami Beach, Florida

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PERMIT DRAWINGS

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| ① | July 2, 2020 |

PROJECT: 20-9840

**DOCK SECTION, SHEET
PILE REINFORCEMENT &
CONTROL JOINT DETAIL**
SCALE : AS SHOWN
SHEET NO.

S-8

808 W. DILIDO DRIVE
WATERFRONT IMPROVEMENT
PROJECT

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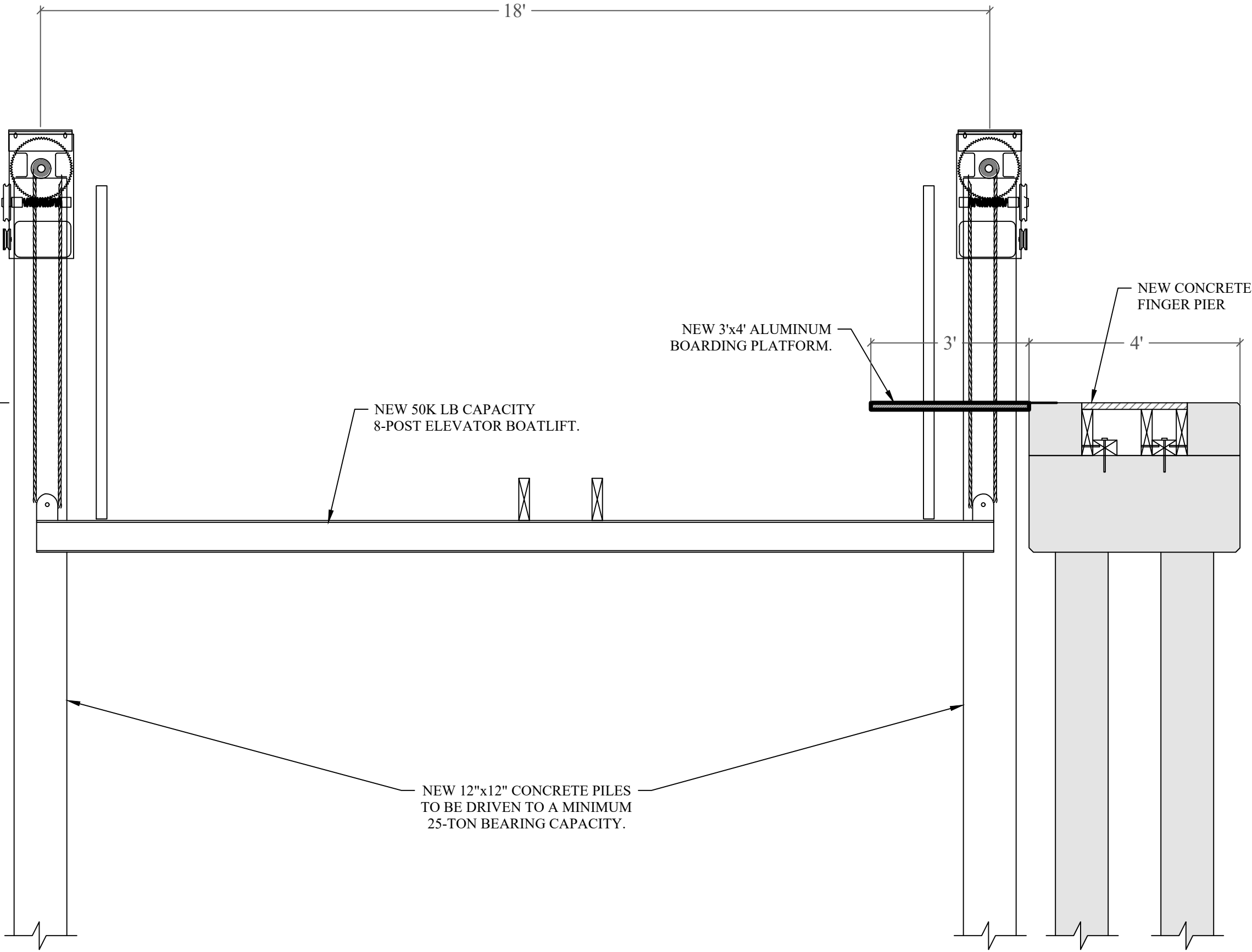
| Issue # | Issue Date |
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| | |
| | |

PROJECT: 20-9840

8-POST BOATLIFT
SECTION

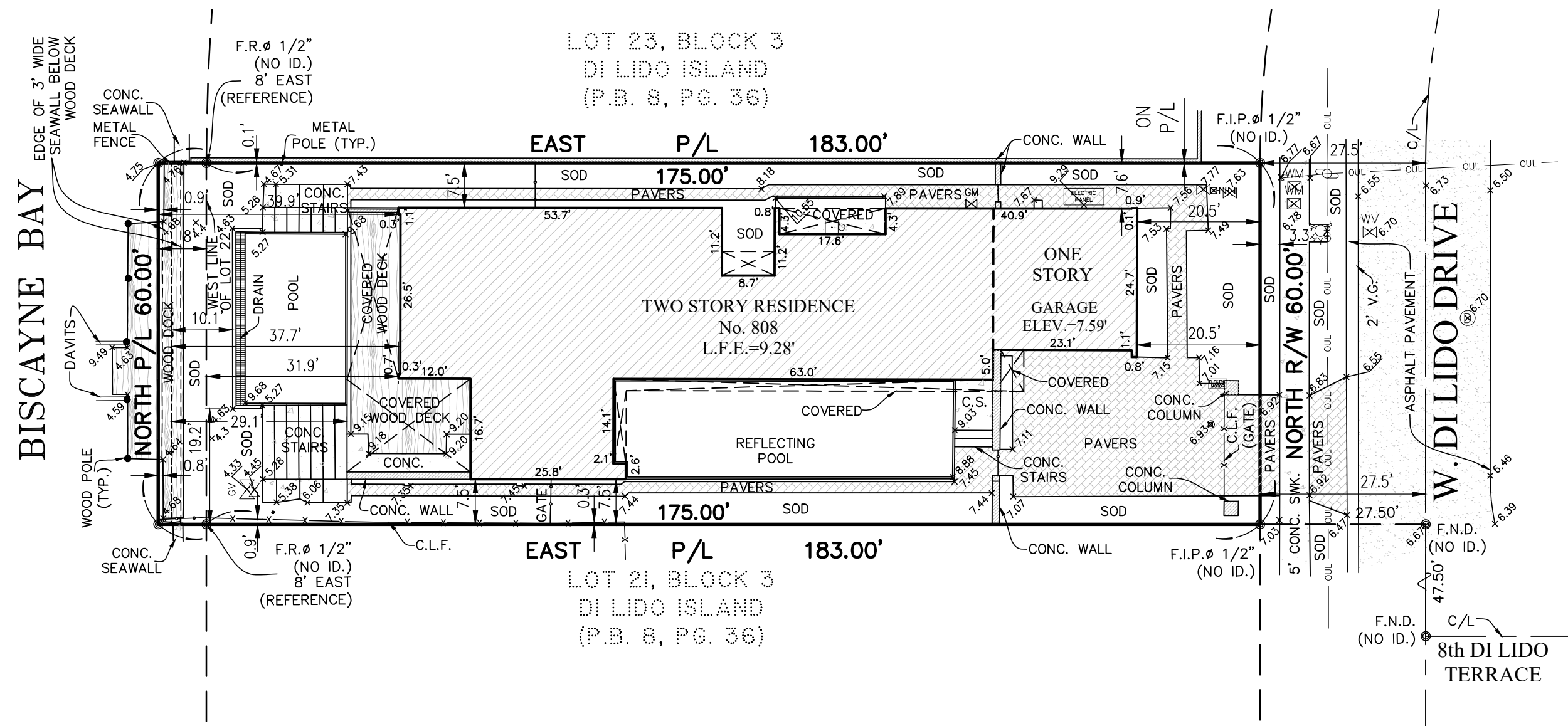
SCALE : AS SHOWN
SHEET NO.

S-9



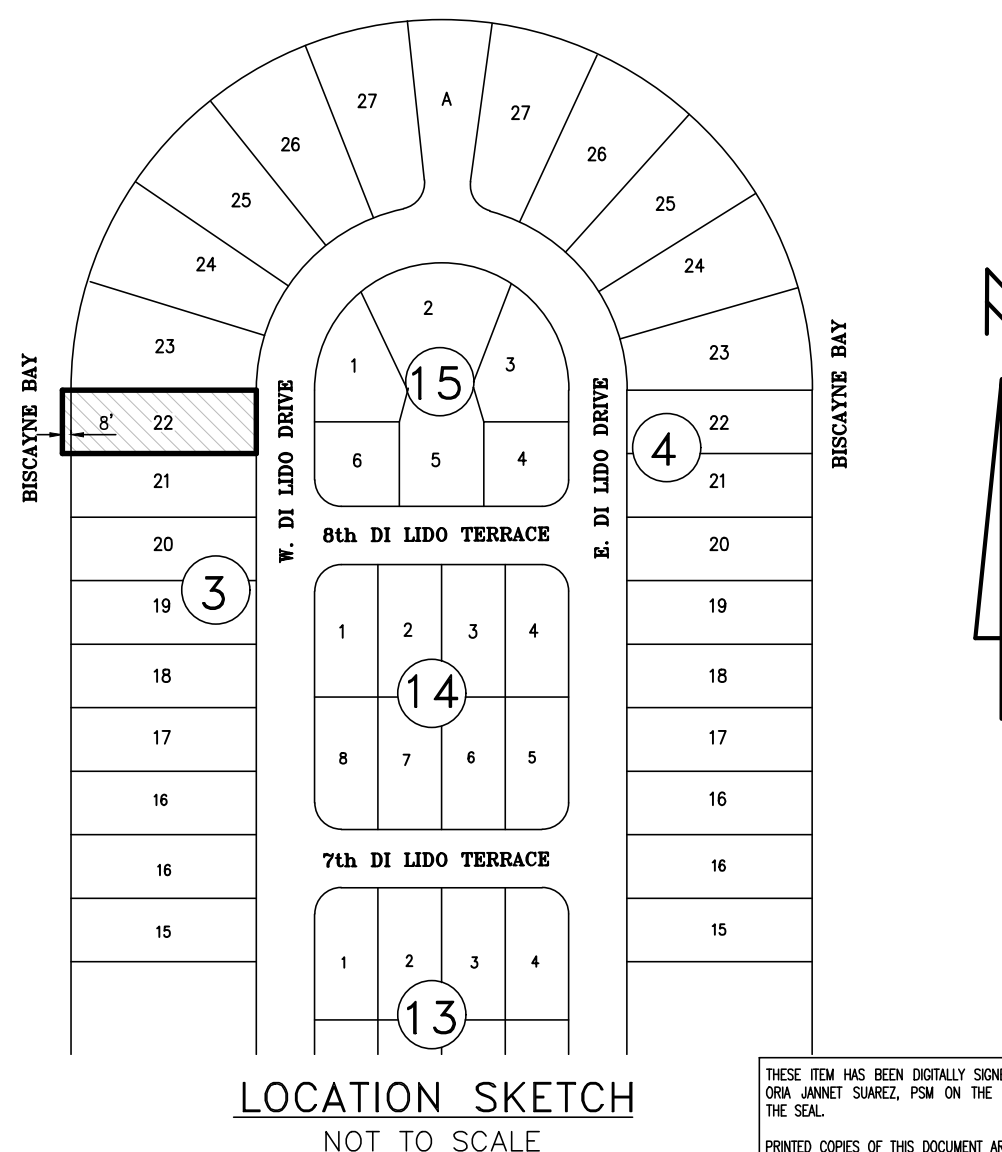
8-POST BOATLIFT SECTION H
SCALE: 1/2" = 1'-0" S-9

of
808 W. DI LIDO DRIVE, MIAMI BEACH,
MIAMI-DADE COUNTY, FLORIDA 33139
for
THE HAPPY SUNSET TRUST



| | |
|--------|------------------------------|
| A | Arc Length |
| A/C | Air Conditioner Pad |
| ASPH. | Asphalt |
| B.M. | Benchmark |
| C.B.S. | Concrete Block Structure |
| C.G. | Curb & Gutter |
| C/L | Center Line |
| C.L.F. | Chain Link Fence |
| CONC. | Concrete |
| C.S. | Concrete Slab |
| DWY. | Driveway |
| E.T.P. | Electric Transformer Pad |
| F.F.E. | Finished Floor Elevation |
| F.I.P. | Found Iron Pipe |
| F.N.D. | Found Nail & Disc |
| F.R. | Found Rebar |
| I.D. | Identification |
| INV. | Inverts |
| L.F.E. | Lowest Floor Elevation |
| M/L | Monument Line |
| (P) | Plat |
| (M) | Measured |
| P.B. | Plat Book |
| P.C.P. | Permanent Control Point |
| PG. | Page |
| PL. | Planter |
| P/L | Property Line |
| P.O.B. | Point of Beginning |
| P.O.C. | Point of Commencement |
| P.R.M. | Permanent Reference Monument |
| R/W | Right-of-Way Line |
| SWK. | Sidewalk |
| T.B.M. | Temporary Benchmark |
| V.G. | Valley Gutter |
| (TYP.) | Typical |
| P/S | Parking Spaces |
| W.F. | Wood Fence |

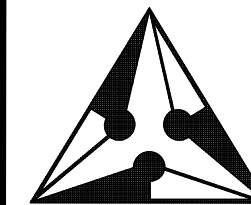
| | | | |
|-------|------------------------|--------------|------------------------|
| ■ CLP | Concrete Light Pole | ⊙ | Unknown Manhole |
| ⚡ MLP | Metal Light Pole | SV | Sewer Valve |
| ↘ | Guy Wire | Ⓜ | Mail Box |
| Ⓢ | Utility Power Pole | Ⓢ x10.00 | Spot Elevation |
| ⚡ | Fire Hydrant | △ | Temporary Benchmark |
| WM | Water Meter | 1.5'–15'–10' | Diameter–Height–Spread |
| E | Electric Box | ----- | Right-of-Way Lines |
| T | Telephone Box | ● | Property Corner |
| Ⓢ | Sewer Manhole | —○— | Traffic Sign |
| —OUL— | Overhead Utility Lines | ▢ | Catch Basin |
| ⚡ LP | Light Pole | Ⓢ | Drainage Manhole |
| GV | Gas Valve | —//—//— | Wood Fence |
| WV | Water Valve | —○—○— | Iron Fence |
| Ⓢ | Water Manhole | ▨ | C.B.S. Wall |
| Ⓢ | Telephone Manhole | Ⓢ | Clean Out |
| MW | Monitoring Well | ● GP | Guard Pole |
| P | Parking Meter | —x—x— | Chain Link Fence |
| GM | Gas Meter | | |



THESE ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
ORIA JANNET SUAREZ, PSM ON THE DATE ADJACENT TO
THE SEAL.

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BOUNDARY SURVEY
of
808 W. DILLIDO DRIVE, MIAMI BEACH,
MIAMI-DADE COUNTY, FLORIDA 33139
for
THE HAPPY SUNSET TRUST

[illegible]