802 & 808 W. DILIDO DRIVE

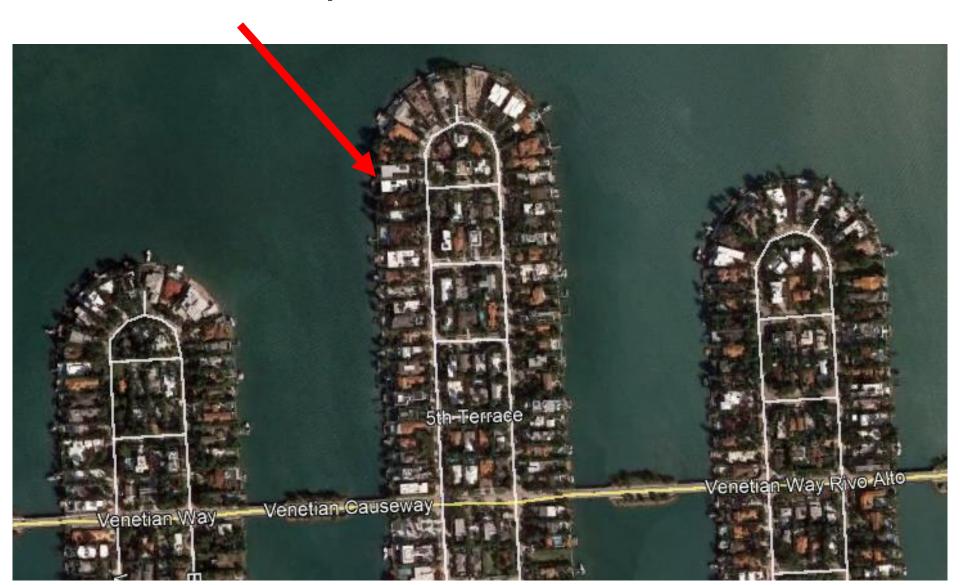
ZBA20-0116 & ZBA20-0113

Board of Adjustment September 11, 2020

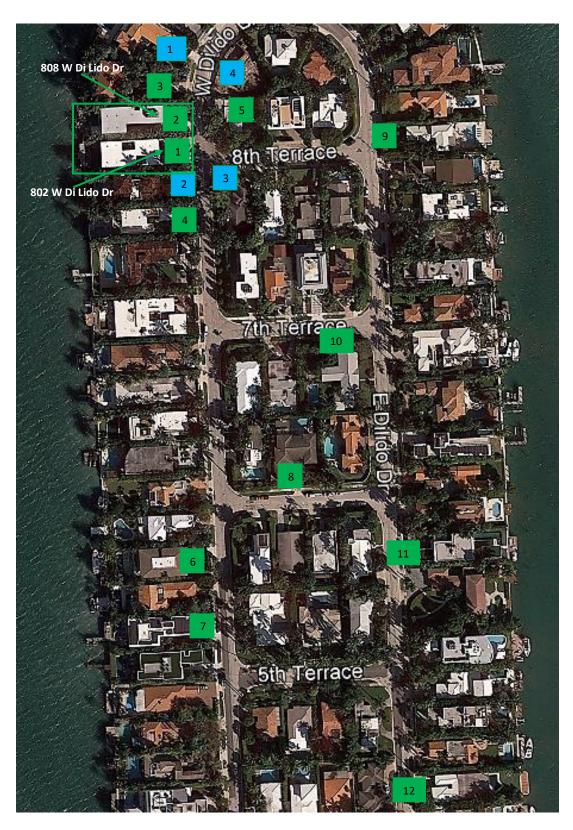


OCEAN Consulting

Location of Properties: 802 and 808 W. Dilido Drive



Neighbor Support ZBA20-0116 and ZBA20-0113 802 West Di Lido Drive & 808 West Di Lido Drive



Neighbor Support ZBA20-0116 and ZBA20-0113 802 West Di Lido Drive & 808 West Di Lido Drive

No.	Property Address	Owner		
SUPPORT				
1	802 W Di Lido Dr	ILR LLC/ James Knall		
2	808 W Di Lido Dr	The Happy Sunset Trust/ Emmanuel Sebag		
3	814 W Di Lido Dr	Ray Langston		
4	720 W Di Lido Dr	Murray Design & Construction LLC/		
		Jean-Pierre Murray		
5	801 W Di Lido Dr	Chad Braver		
6	520 W Di Lido Dr	Scott London		
7	508 W Di Lido Dr	Karim Masri		
8	111 6 Di Lido Ter	Robin & Heidi Bogle		
9	803 E Di Lido Dr	Arbor Holdings Corp/ Joel Simmonds		
10	620 E Di Lido Dr	Michael J. Zerolo		
11	521 E Di Lido Dr	Luis Jose Molla		
12	441 E Di Lido Dr	Gian Luca Brignone		
Additional Support				
13	123 W Di Lido Dr	Dina Goldentayer		
14	308-316 W Rivo Alto Dr	Dora Puig		
OUTREAC	CH			
1	820 W Di Lido Dr	Concorde Investments of Mia LLC /		
		Parkway Holdings Corporation/ Roman, Arnaldo		
2	726 W Di Lido Dr	Ramin Aleyasin		
3	725 W Di Lido Dr	Simon A Strong & Vilma Strong		
4	815 W Di Lido Dr	Simon Nicholls		









802 WEST DILIDO REAR YARD

802 W. DILIDO DRIVE WATERFRONT IMPROVEMENT PROJECT

Miami Beach, Florida

CLIENT:
MR. JAMIE KNALL
802 W. Dilido Drive
Miami Beach, FL 33139

ENVIRONMENTAL CONSULTANT: OCEAN CONSULTING, LLC

340 Minorca Avenue, Suite 7 Coral Gables, Florida 33134 Tel: (305) 921-9344 Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:

ADOLFO GONZALEZ P.E.

2050 Coral Way Suite 502 Miami, FL 33145 Office - 305-415-8782

SEAL / SIGNATURE / DATE

Adolfo Gonzalez Lic. No. 58620

PERMIT DRAWINGS

Issue # Issue Date

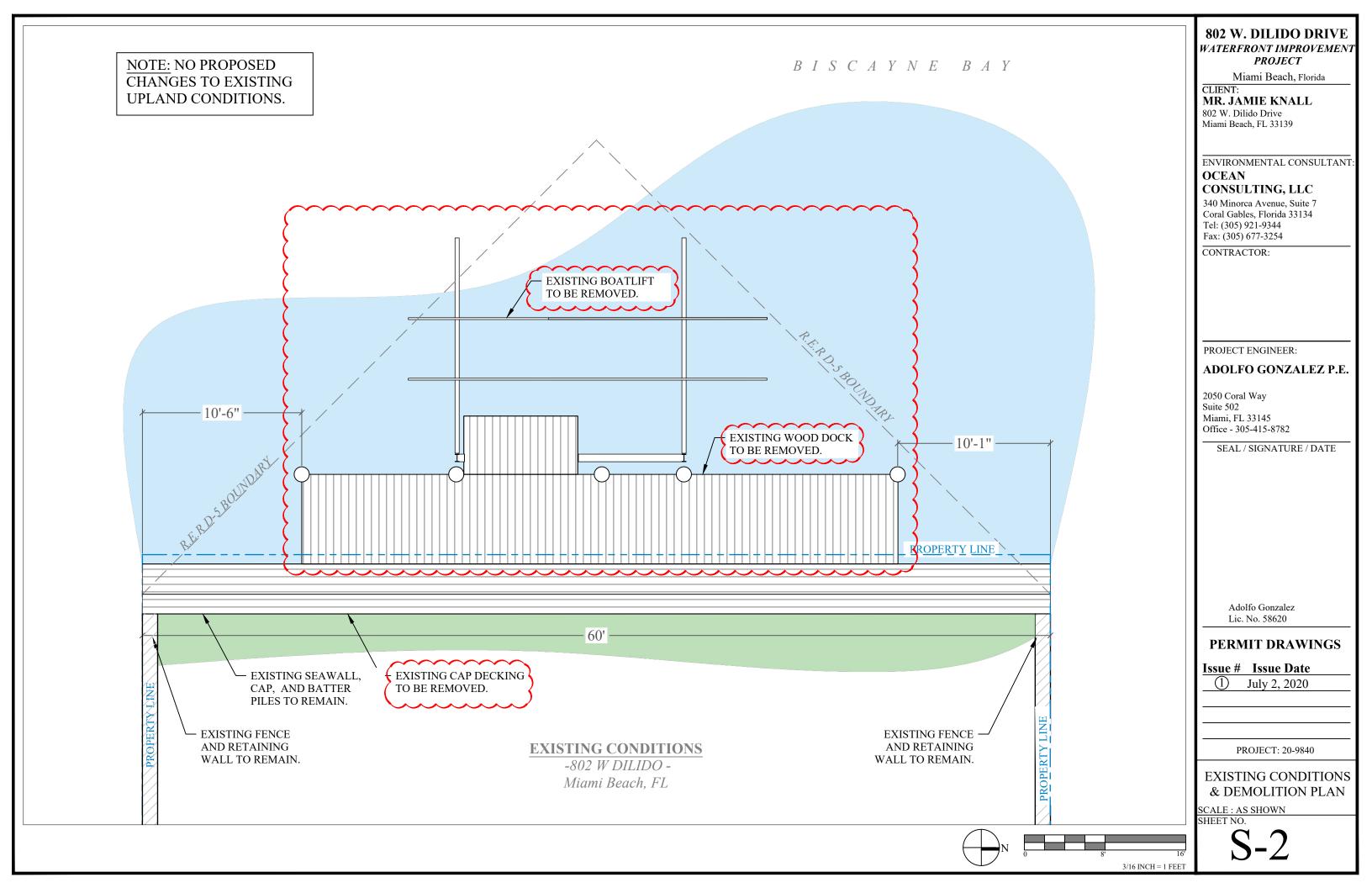
① July 2, 2020

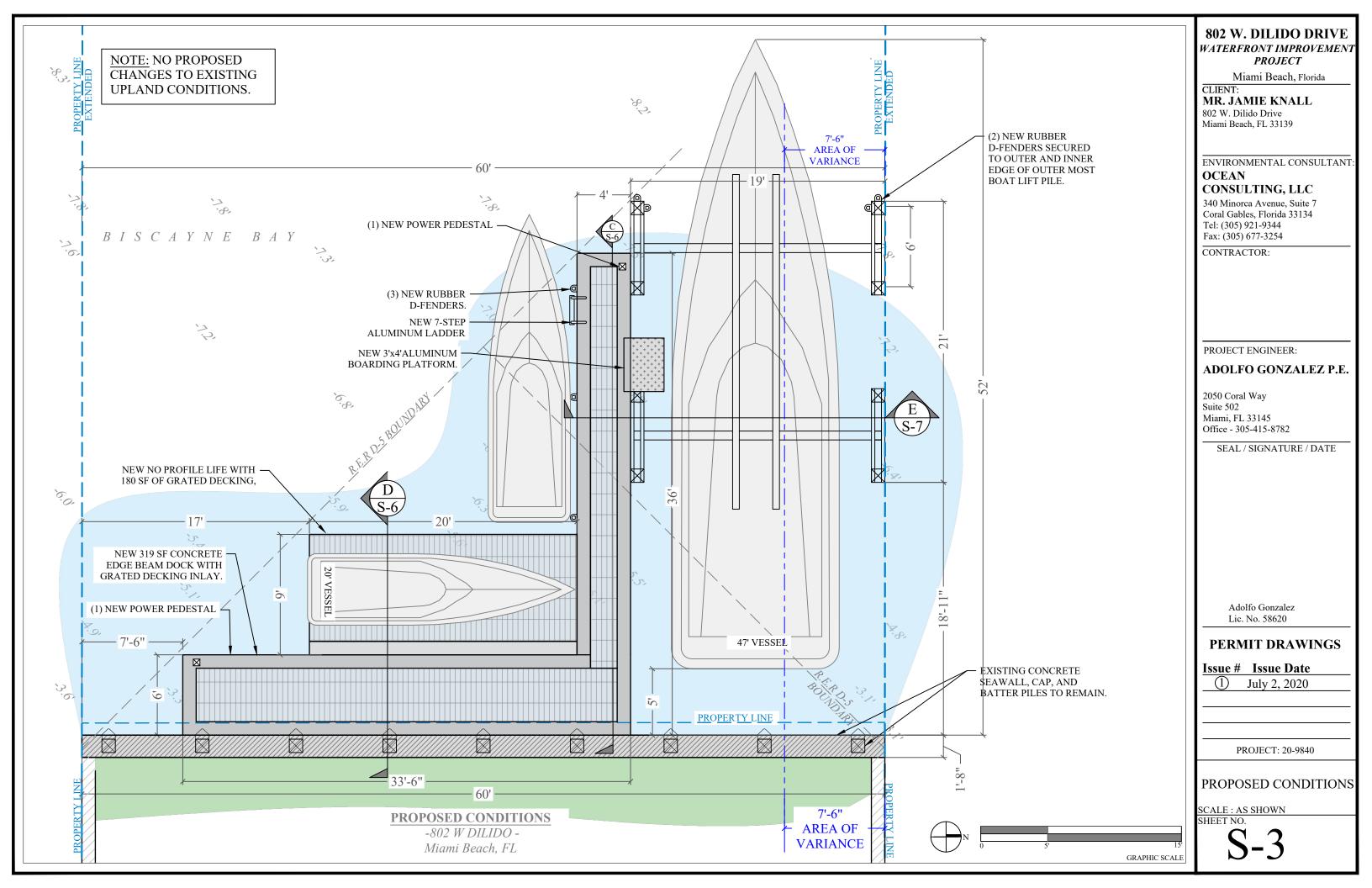
PROJECT: 20-9840

EXISTING REAR YARD & DOCK

SCALE : AS SHOWN SHEET NO.

G-3

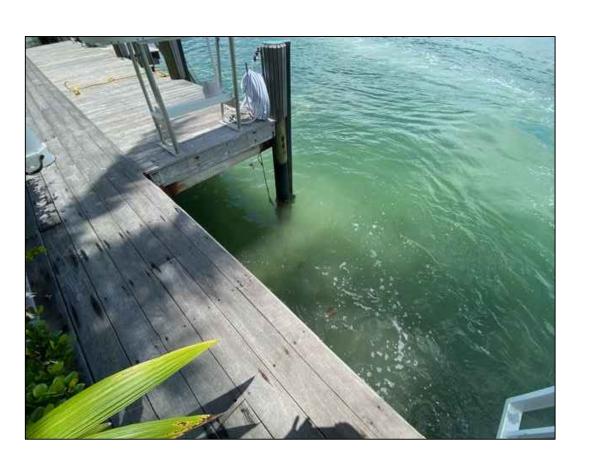












808 WEST DILIDO REAR YARD

808 W. DILIDO DRIVE WATERFRONT IMPROVEMENT PROJECT

Miami Beach, Florida

CLIENT:
MR. EMMANUEL SEBAG
808 W. Dilido Drive
Miami Beach, FL 33139

ENVIRONMENTAL CONSULTANT: OCEAN CONSULTING, LLC

340 Minorca Avenue, Suite 7 Coral Gables, Florida 33134 Tel: (305) 921-9344 Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:

ADOLFO GONZALEZ P.E.

2050 Coral Way Suite 502 Miami, FL 33145 Office - 305-415-8782

SEAL / SIGNATURE / DATE

Adolfo Gonzalez Lic. No. 58620

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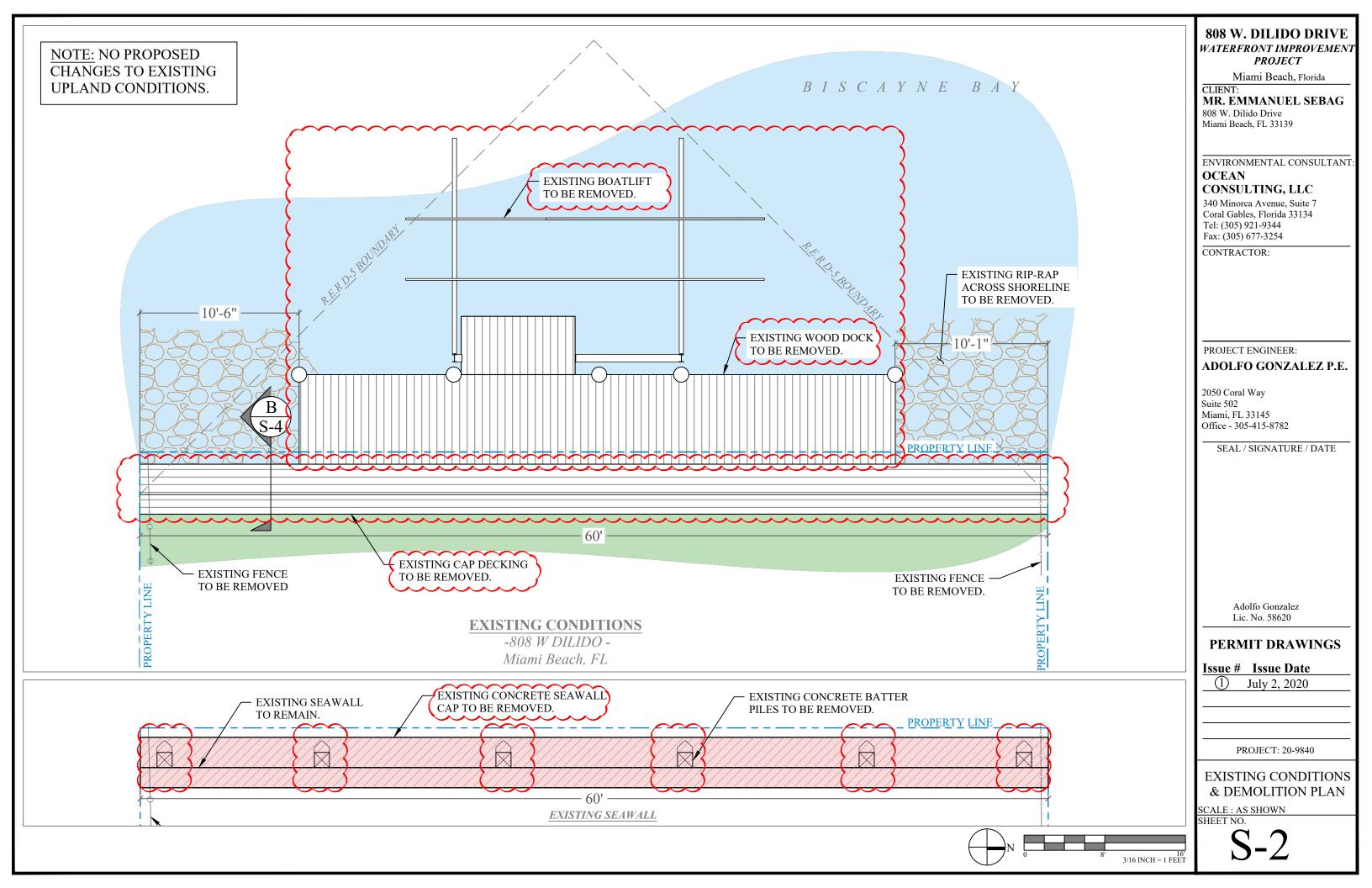
Issue # Issue Date

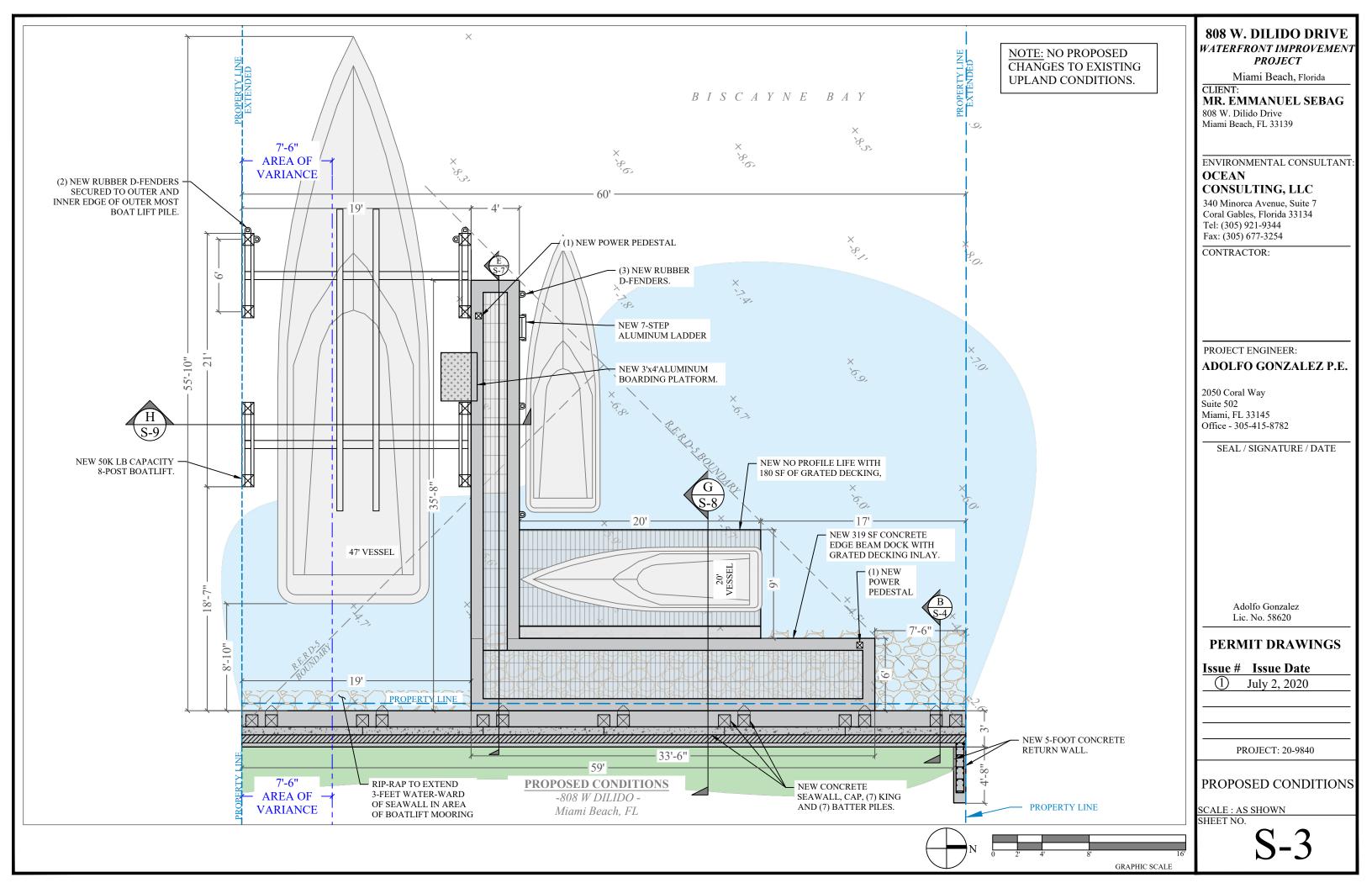
① July 2, 2020

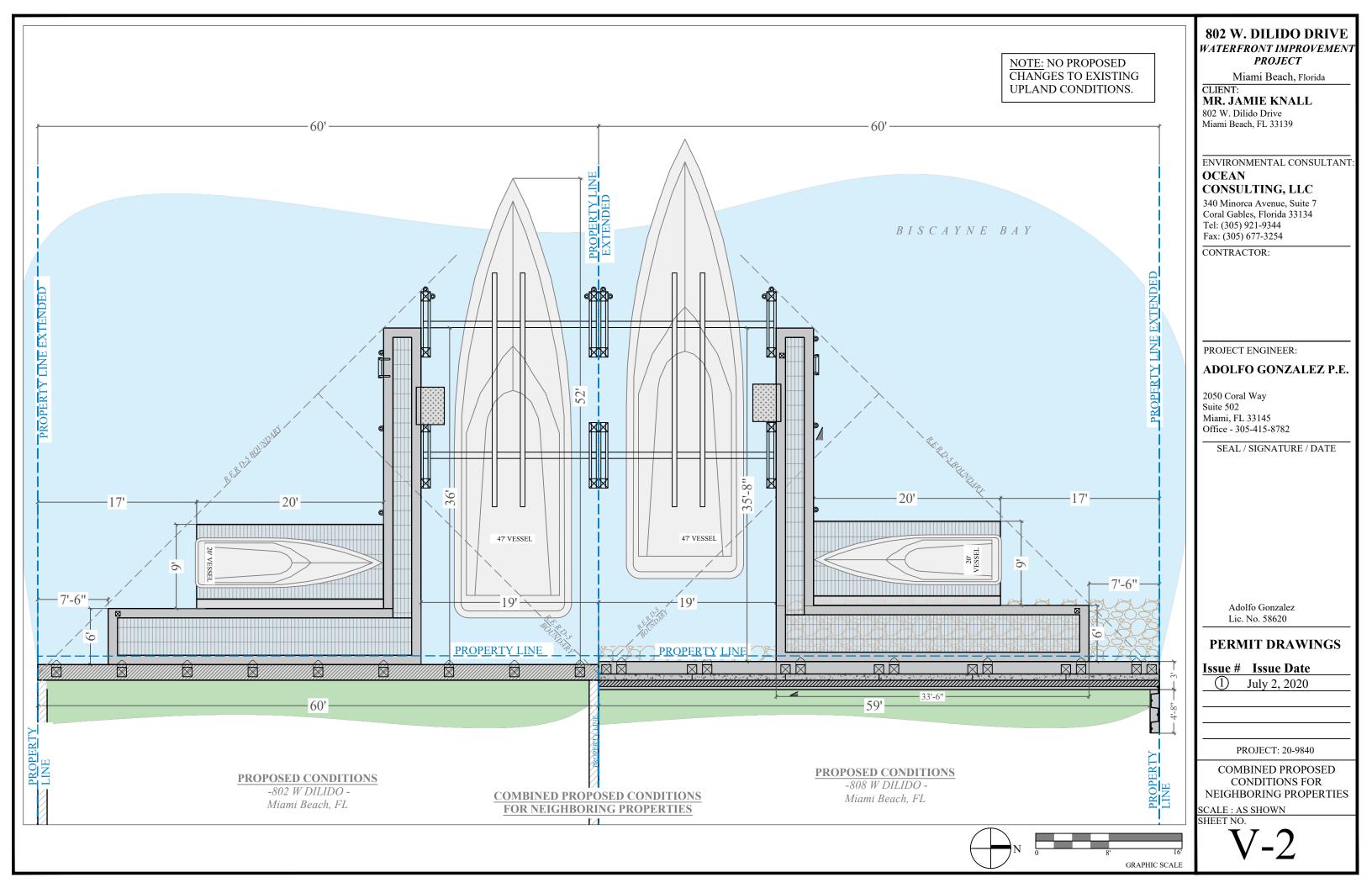
PROJECT: 20-9840

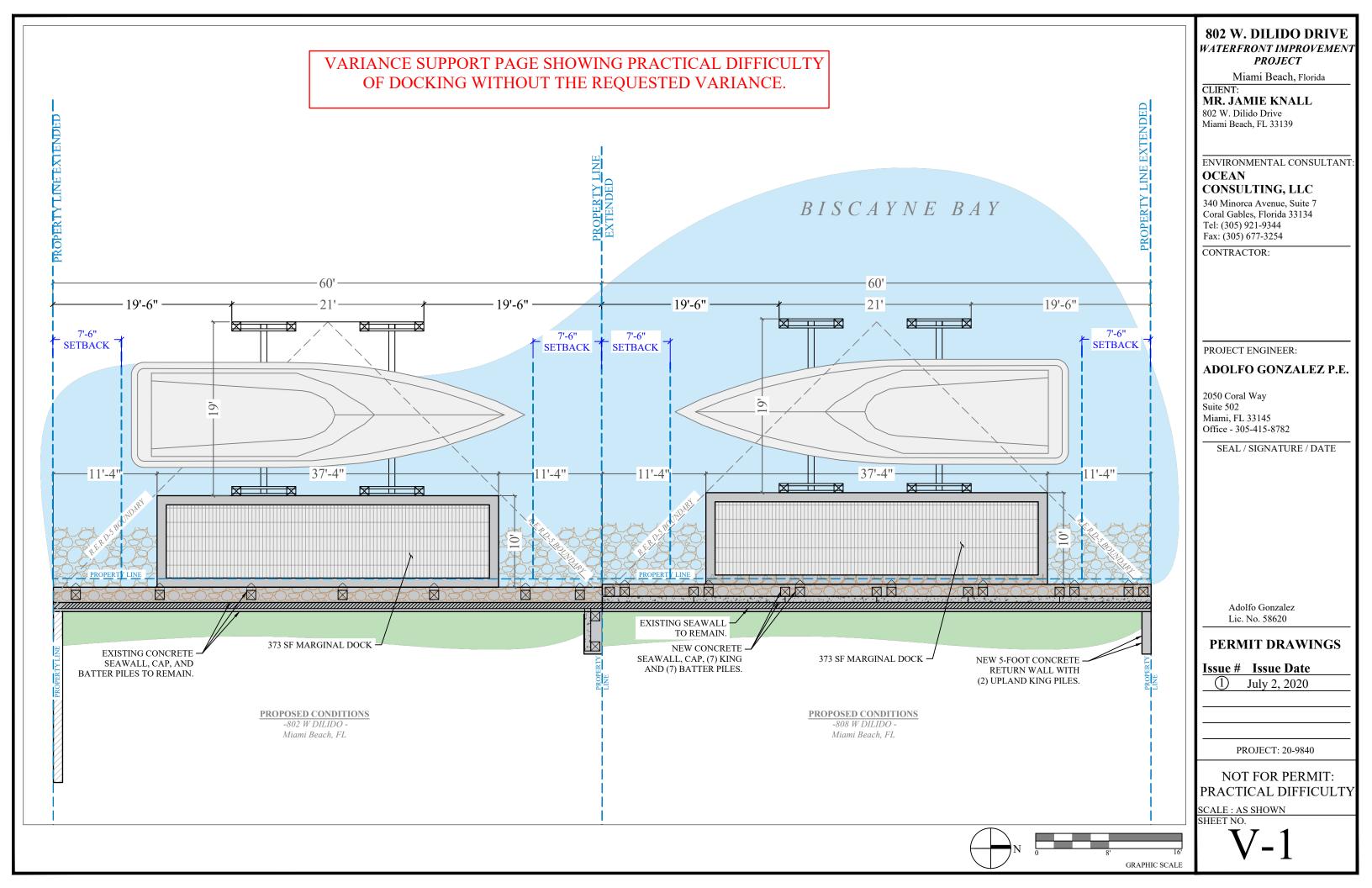
EXISTING REAR YARD & DOCK

SCALE : AS SHOWN SHEET NO.









802 & 808 W. DILIDO DRIVE

ZBA20-0116 & ZBA20-0113

Board of Adjustment September 11, 2020

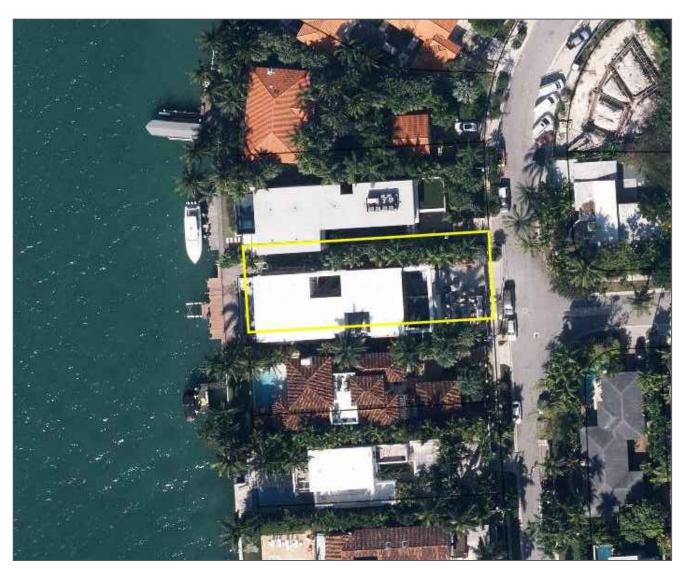


OCEAN Consulting

VARIANCE APPLICATION PACKET

802 WEST DI LIDO DRIVE

City of Miami Beach



Variance application for new dock with mooring piles in set-back area.

File No. ZBA20-116

FINAL SUBMITTAL JULY 7, 2020

802 W. DILIDO DRIVE WATERFRONT IMPROVEMENT PROJECT

Miami Beach, Florida

CLIENT: MR. JAMIE KNALL

802 W. Dilido Drive Miami Beach, FL 33139

ENVIRONMENTAL CONSULTANTS
OCEAN
CONSULTING, LLC

340 Minorca Avenue, Suite 7 Coral Gables, Florida 33134 Tel: (305) 921-9344 Fax: (305) 677-3254

CONTRACTOR:

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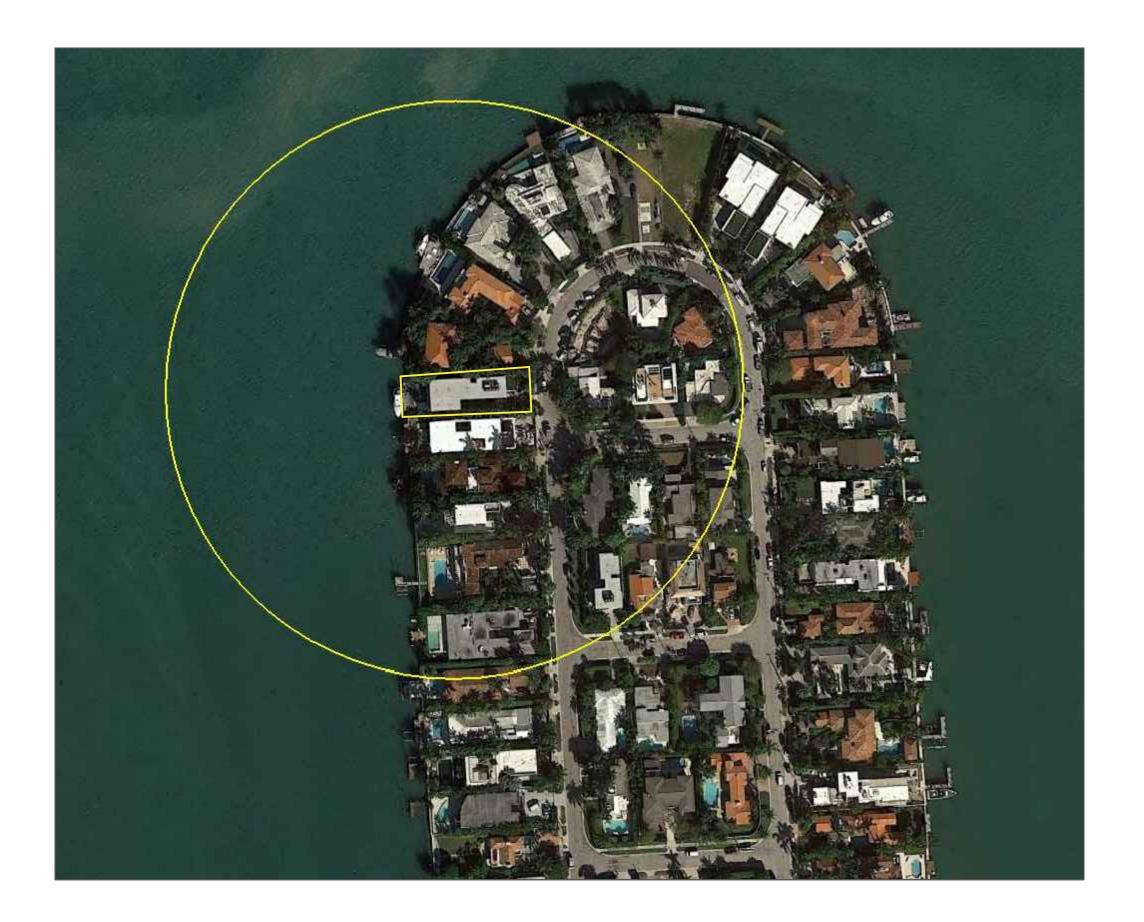
① July 2, 2020

PROJECT: 20-9840

COVER

SCALE : AS SHOWN SHEET NO.

G-1



PROPERTY AERIAL: ½ MILE RADIUS

802 W. DILIDO DRIVE WATERFRONT IMPROVEMENT PROJECT

Miami Beach, Florida

CLIENT:
MR. JAMIE KNALL
802 W. Dilido Drive
Miami Beach, FL 33139

ENVIRONMENTAL CONSULTANT: **OCEAN** CONSULTING, LLC

340 Minorca Avenue, Suite 7 Coral Gables, Florida 33134 Tel: (305) 921-9344 Fax: (305) 677-3254

CONTRACTOR:

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ADOLFO GONZALEZ P.E.

2050 Coral Way Suite 502 Miami, FL 33145 Office - 305-415-8782

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Adolfo Gonzalez Lic. No. 58620

PERMIT DRAWINGS

Issue # Issue Date

① July 2, 2020

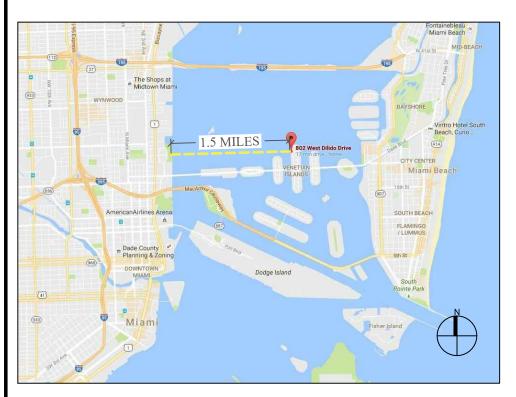
PROJECT: 20-9840

PROJECT SITE AERIAL

SCALE : AS SHOWN SHEET NO.



LOCATION MAP AND LEGAL DESCRIPTION



PROJECT SITE LOCATION:

802 W Dilido Miami Beach, FL 33139

LATITUDE: 25°47'39.69"N **LONGITUDE:** 80° 9'37.07"W

FOLIO No.: 02-3232-011-0480

LEGAL DESCRIPTION:

DI LIDO ISLAND PB 8-36 LOT 21 & 8FT STRIP CONTIG TO SAME ON BAY BLK 3 LOT SIZE 60.000 X 175 OR 10620-804 1279 1

GENERAL NOTES:

- 1. ELEVATIONS SHOWN REFER TO THE NATIONAL AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- 2. ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.
- 3. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ENGINEER BEFORE PROCEEDING WITH WORK. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
- 4. IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE, AND FEDERAL ENVIRONMENTAL PERMITS ISSUED FOR THIS PROJECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.
- 5. APPLICABLE BUILDING CODE: FLORIDA BUILDING CODE, 2017 EDITION (AND CURRENT ADDENDUMS).
- 6. APPROVED CONTRACTOR TO DETERMINE THE SUITABILITY OF EXISTING STRUCTURES AND VERIFY ALL DIMENSIONS. THE APPROVED CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCES AND PROCEDURES OF WORK.
- 7. DO NOT SCALE DRAWINGS FOR DIMENSIONS.
- 3. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK.
- 9. CONTRACTOR TO PROPERLY FENCE AND SECURE AREA WITH BARRICADES.
- 10. ANY DEVIATION AND/OR SUBSTITUTION FROM THE INFORMATION PROVIDED HEREIN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- 11. ALL NEW MATERIALS AND/OR PATCHWORK SHALL BE PROVIDED TO MATCH EXISTING MATERIALS AND/OR ADJOINING WORK WHERE PRACTICAL EXCEPT AS SPECIFICALLY NOTED HEREIN.
- 12. LICENSED CONTRACTOR SHALL USE ALL POSSIBLE CARE TO PROTECT ALL EXISTING MATERIALS, SURFACES, AND FURNISHINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- 13. THE LICENSED CONTRACTOR TO INSTALL AND REMOVE ALL SHORING AND BRACING AS REQUIRED FOR THE PROPER EXECUTION OF THE WORK.
- 14. ALL NEW WORK AND/OR MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF EACH ADMINISTRATIVE BODY HAVING JURISDICTION IN EACH PERTAINING CIRCUMSTANCE.
- 15. THE CONTRACTOR WILL EMPLOY AND MAINTAIN ADEQUATE SEDIMENT AND EROSION CONTROL MEASURES TO PROTECT BISCAYNE BAY FROM SEDIMENT AND CONSTRUCTION DEBRIS.

DOCK: LL 60 PSF

BOLT:

1. ALL BOLTS SHALL BE 316 STAINLESS STEEL, UNLESS OTHERWISE NOTED.

WOOD

- 1. PRIMARY WOOD FRAMING MEMBERS SHALL BE NUMBER 1 MARINE GRADE PRESSURE TREATED SOUTHERN PINE OR BETTER.
- 2. ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.

CONCRETE

- 1. CONCRETE SHALL CONFORM TO ACI 318 (LATEST ED.) AND SHALL BE REGULAR WEIGHT, SULFATE RESISTANT, WITH A DESIGN STRENGTH OF 5,000 PSI AT 28 DAYS W/ A MAX WATER-CEMENTIOUS MATERIALS RATIO, BY WEIGHT, NORMAL WEIGHT AGGREGATE CONCRETE OF 0.40.
- 2. OWNER SHALL EMPLOY AND PAY FOR TESTING SERVICES FROM AN INDEPENDENT TESTING LABORATORY FOR CONCRETE SAMPLING AND TESTING IN ACCORDANCE W/ ASTM.
- 3. LICENSED CONTRACTOR IS RESPONSIBLE FOR THE ADEQUACY OF FORMS AND SHORING AND FOR SAFE PRACTICE IN THEIR USE AND REMOVAL.
- 4. CONCRETE COVER SHALL BE 3" UNLESS OTHERWISE NOTED ON APPROVED DRAWINGS.
- 5. REINFORCING STEEL SHALL BE IN CONFORMANCE WITH THE LATEST VERSION OF ASTM A615 GRADE 60 SPECIFICATIONS. ALL REINFORCEMENT SHALL BE PLACED IN ACCORDANCE W/ ACI 315 AND ACI MANUAL OF STANDARD PRACTICE.
- 6. SPLICES IN REINFORCING BARS SHALL NOT BE LESS THAN 48 BAR DIAMETERS AND REINFORCING SHALL BE CONTINUOUS AROUND ALL CORNERS AND CHANGES IN DIRECTION. CONTINUITY SHALL BE PROVIDED AT CORNERS OR CHANGES IN DIRECTION BY BENDING THE LONGITUDINAL STEEL AROUND THE CORNER 48 BAR DIAMETERS.

PILE DRIVING NOTES

- 1. PILE DRIVING OPERATIONS SHALL BE OBSERVED BY A SPECIAL INSPECTOR, INCLUDING TEST PILES SUFFICIENT TO DETERMINE THE APPROXIMATE LENGTH REQUIRED TO MEET DESIGN CAPACITY.
- 2. PILES SHALL BE DRIVEN USING AN APPROVED CUSHION BLOCK CONSISTING OF MATERIAL SO ARRANGED SO AS TO PROVIDE THE TRANSMISSION OF THE HAMMER ENERGY.
- 3. PILES SHALL BE DRIVEN TO REQUIRED MINIMUM BEARING CAPACITY OF 15-TON WOOD PILES/ 25-TON CONCRETE PILES.
- 4. PILES SHALL BE DRIVEN WITH A DROP HAMMER OR GRAVITY HAMMER PROVIDED THE HAMMER SHALL WEIGH NO LESS THAN 3,000 POUNDS, AND THE FALL OF THE HAMMER SHALL NOT EXCEED 6 FT.
- 5. PILES SHALL BE DRIVEN WITH A VARIATION OF NOT MORE THAN ¼" PER FOOT FROM THE VERTICAL, OR FROM THE BATTER LINE INDICATED, WITH A MAX VARIATION OF THE HEAD OF THE PILE FROM THE POSITION SHOWN ON THE PLANS OF NOT MORE THAN 3".
- 5. WHERE PILING MUST PENETRATE STRATA OFFERING HIGH RESISTANCE TO DRIVING, THE STRUCTURAL ENGINEER OF RECORD OR SPECIAL INSPECTOR MAY REQUIRE THAT PILES BE SET IN PRE-DRILLED OR PUNCHED HOLES. THE PILES SHALL REACH THEIR FINAL PENETRATION BY DRIVING.

802 W. DILIDO DRIVE WATERFRONT IMPROVEMENT PROJECT

Miami Beach, Florida

CLIENT: MR. JAMIE KNALL

802 W. Dilido Drive Miami Beach, FL 33139

ENVIRONMENTAL CONSULTANT: OCEAN

CONSULTING, LLC 340 Minorca Avenue, Suite 7

340 Minorca Avenue, Suite / Coral Gables, Florida 33134 Tel: (305) 921-9344 Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:

ADOLFO GONZALEZ P.E.

2050 Coral Way Suite 502 Miami, FL 33145 Office - 305-415-8782

SEAL / SIGNATURE / DATE

Adolfo Gonzalez Lic. No. 58620

PERMIT DRAWINGS

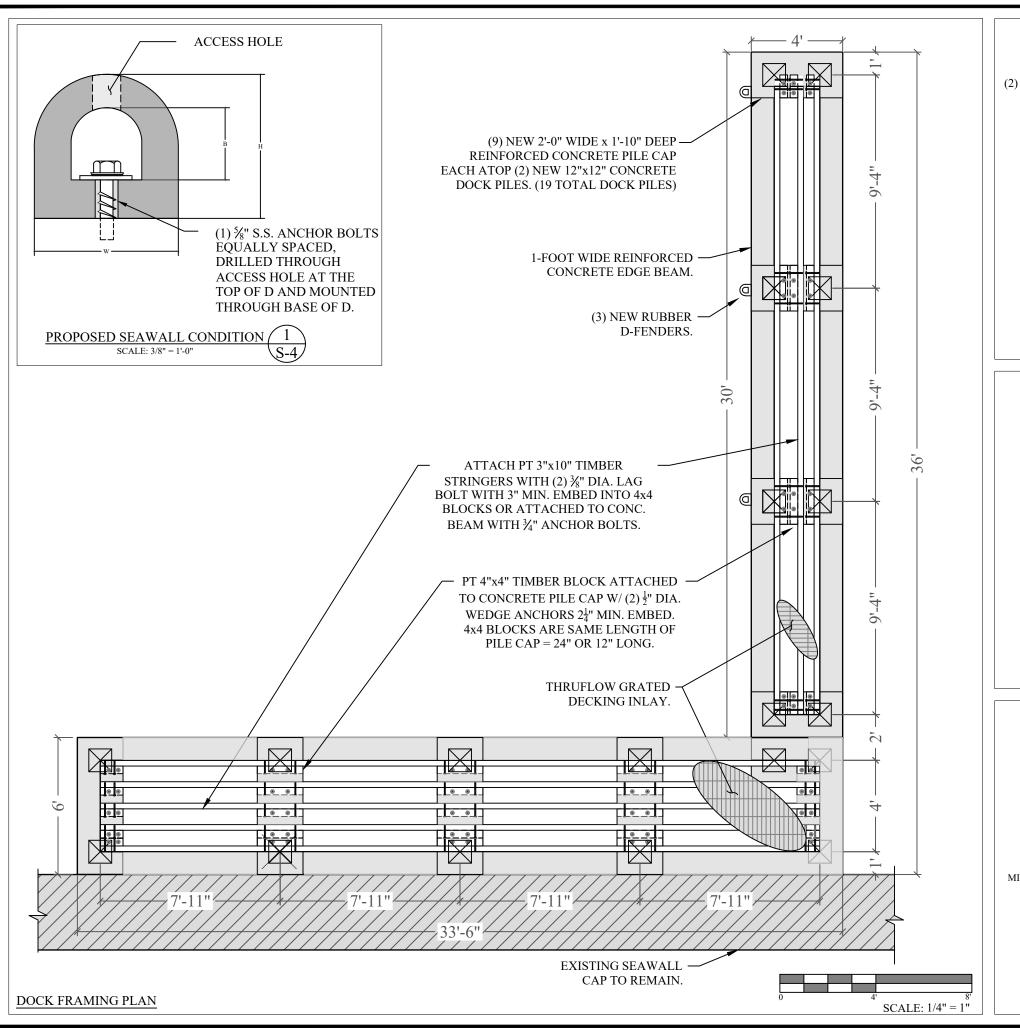
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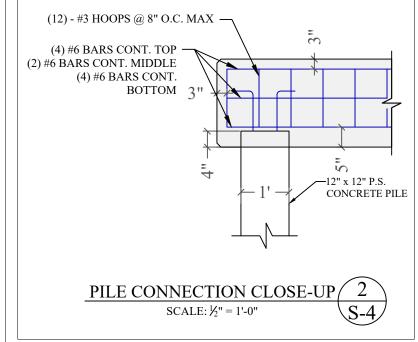
(1) July 2, 2020

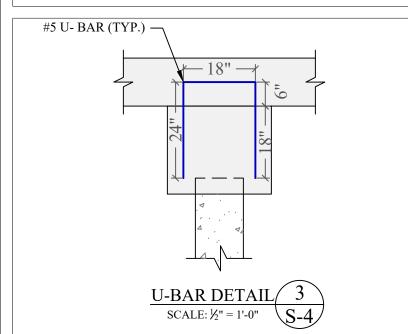
PROJECT: 20-9840

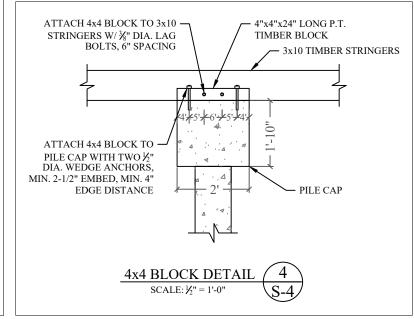
EXISTING CONDITIONS

SCALE : AS SHOWN SHEET NO.









802 W. DILIDO DRIVE WATERFRONT IMPROVEMENT PROJECT

Miami Beach, Florida

CLIENT: MR. JAMIE KNALL

802 W. Dilido Drive Miami Beach, FL 33139

ENVIRONMENTAL CONSULTANT:

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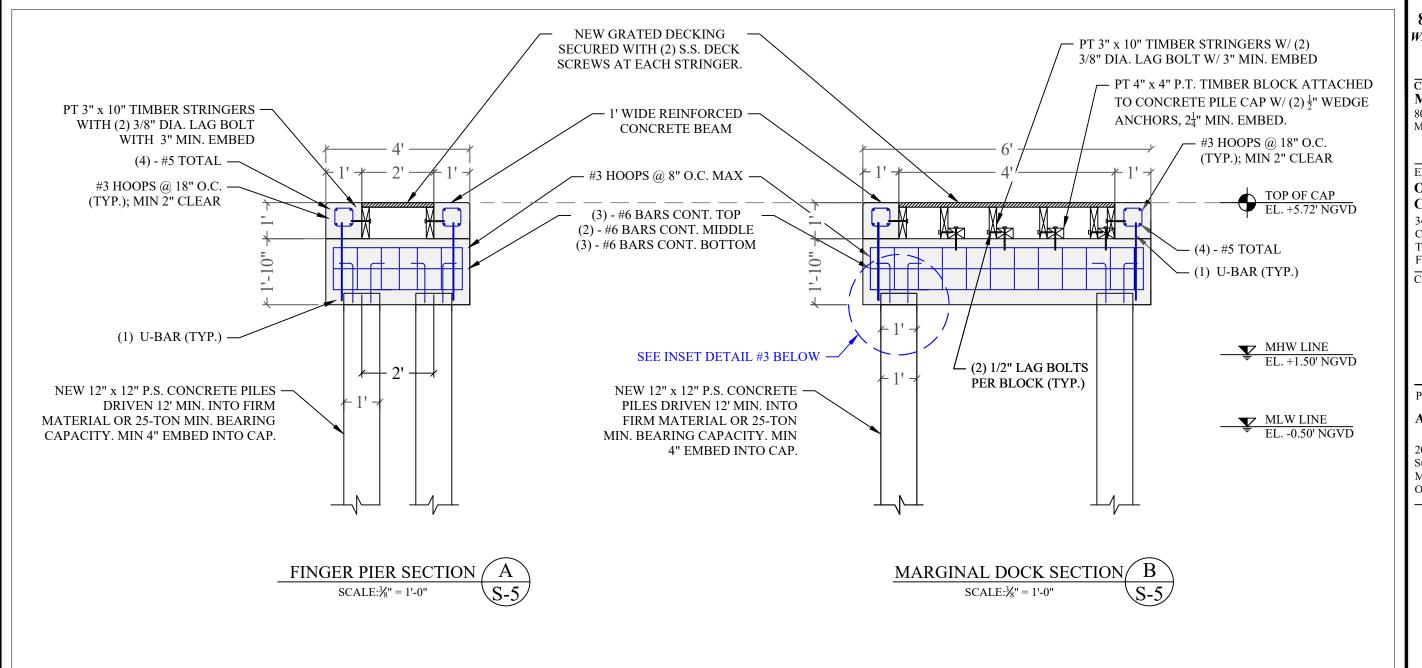
(1) July 2, 2020

PROJECT: 20-9840

DOCK FRAMING PLAN & PILE CAP DETAILS

SCALE : AS SHOWN SHEET NO.

 $S_{-}\Delta$



PILE NOTE: 5 GAUGE SPIRAL $2\frac{1}{2}$ " MIN. CONCRETE COMPRESIVE STRENGTH: PILE LENGTH =L' **CLEAR** 3000 PSI @ RELEASE 5000 PSI @ DRIVING - 0.20 L -· 0.20 L — - 0.60 L -★ 2-POINT PICKUP 0.30 L -- 1-POINT PICKUP STRANDS - USE FOUR 7/16" (270K) **5 GAUGE SPIRAL** ─ 7/16" STRANDS LOW RELAXATION ASTM 416-87 UNCOATED 1" CHAMFERED 7-WIRE STRANDS TENSIONED TO 2.33 KIPS EACH EDGES. 1-POINT PICKUP-MAXIMUM L = 50' 2-POINT PICKUP-MAXIMUM L = 62SPIRAL TO BE ASTM A-82 TIGHT 113/4" HARD-DRAWN WIRE 8" SPACING (TYP.) -CONCRETE PILE DETAIL NOT TO SCALE

802 W. DILIDO DRIVE WATERFRONT IMPROVEMENT PROJECT

Miami Beach, Florida

CLIENT: MR. JAMIE KNALL

802 W. Dilido Drive Miami Beach, FL 33139

ENVIRONMENTAL CONSULTANT: OCEAN

CONSULTING, LLC

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① July 2, 2020

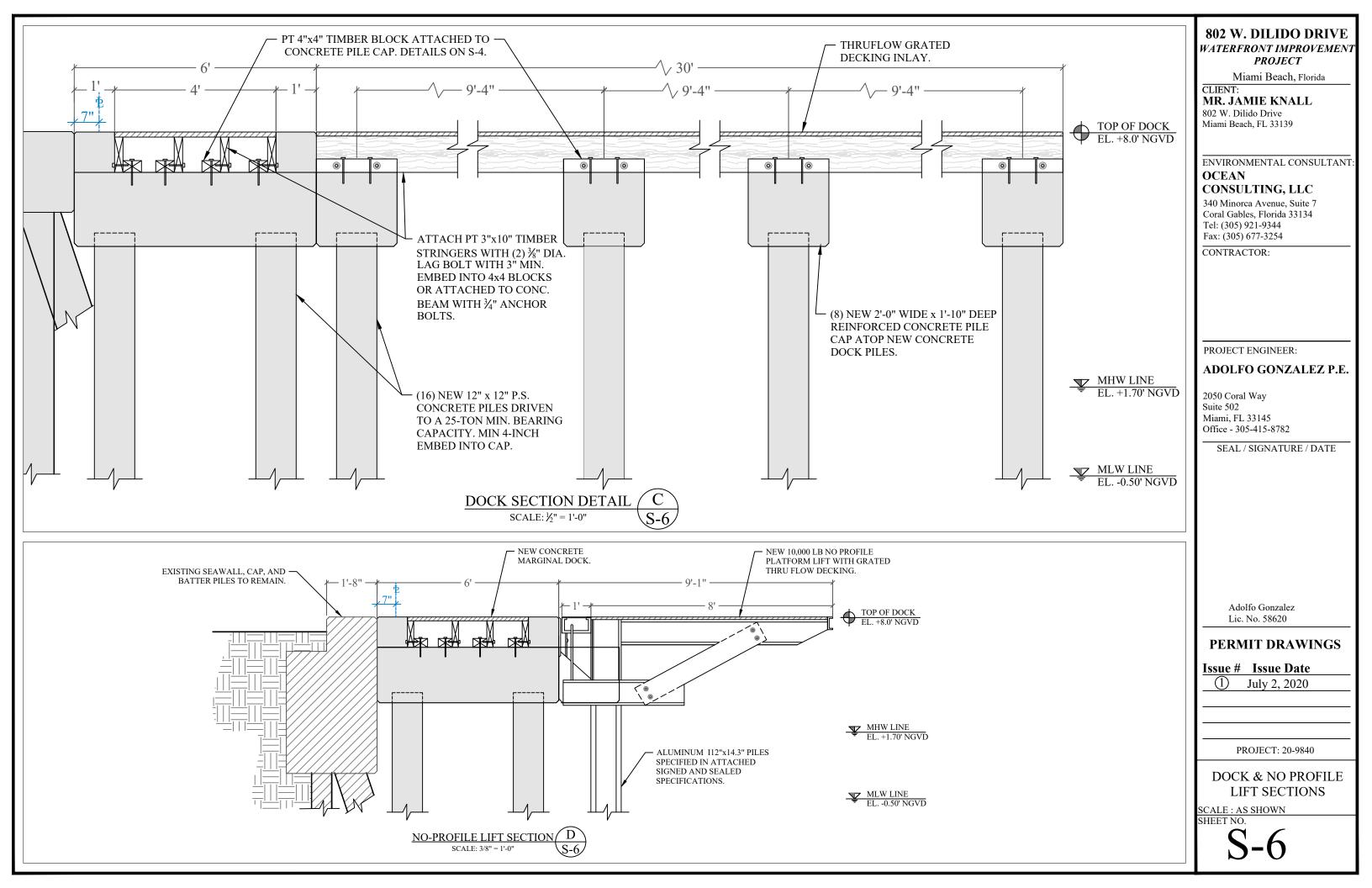
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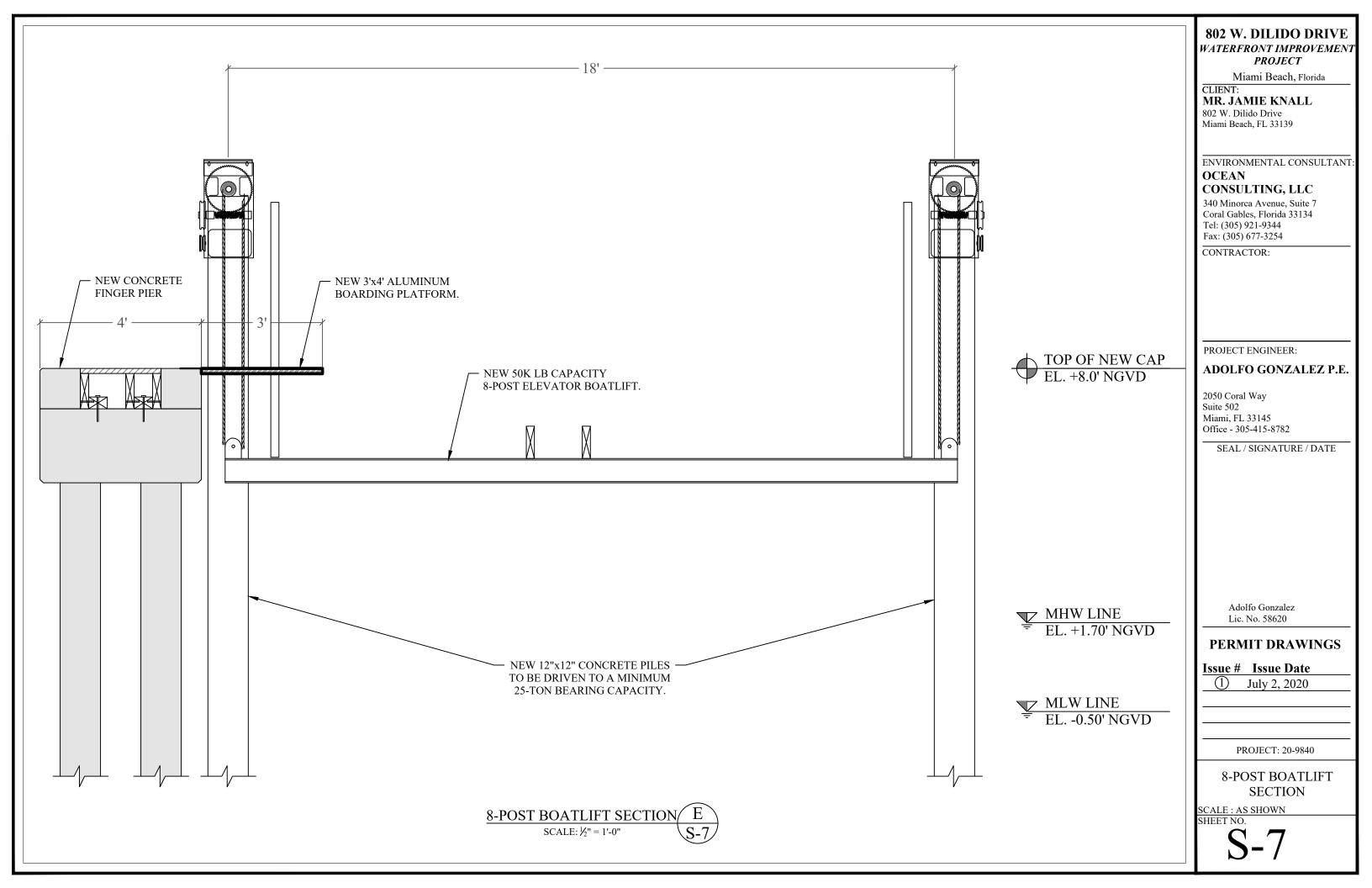
IL E CAR REDIECE

PILE CAP REINFORCING & CONCRETE PILE

DETAIL SCALE : AS SHOWN

SHEET NO.

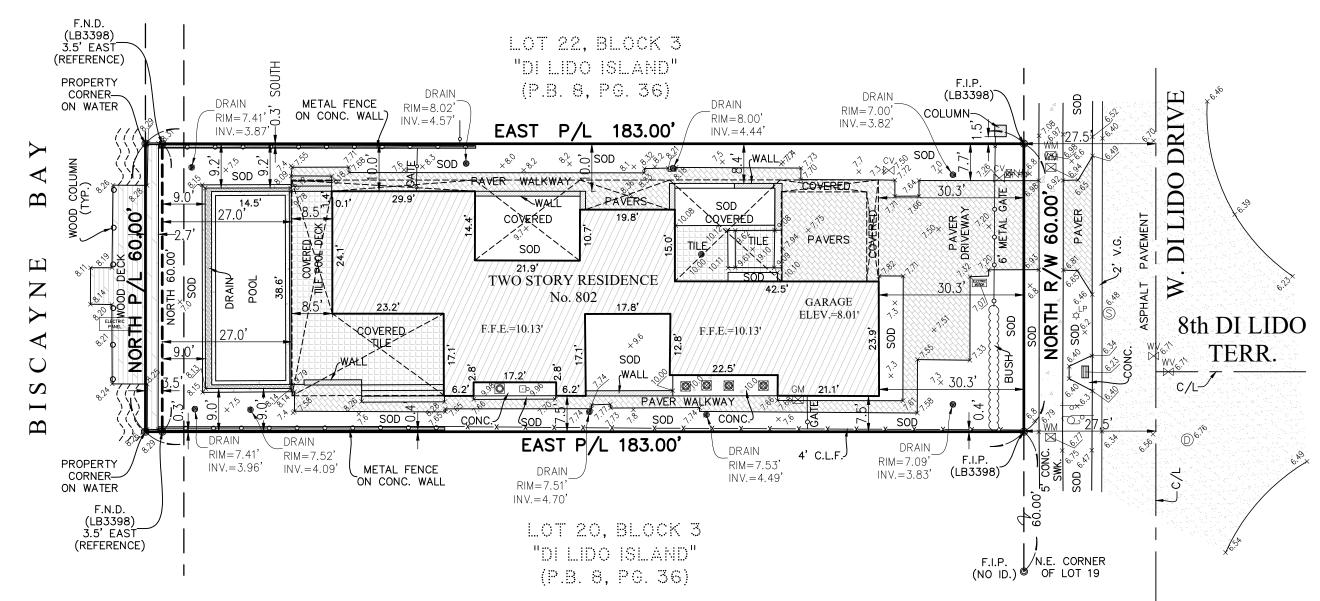




BOUNDARY SURVEY

of 802 WEST DI LIDO DRIVE, MIAMI BEACH MIAMI-DADE COUNTY, FLORIDA 33139 for 420 DEVELOPMENT & DESIGN, LLC

SCALE : 1" = 20'



ABBREVIATIONS

(TYP.)

Typical Recorded

A/C ASPH. B.M.	Air Conditioner Pad Asphalt Benchmark	<u>LEGEND</u>			
C.B.S. C.G.	Concrete Block Structure Curb & Gutter	Ø	Diameter		Parking Meter
CH	Chord Distance	⊠ NN	Back Flow Preventer	_	<u>.</u>
C/L	Center Line	CLP	Duck flow freventer	MH	Unknown Manhole
C.L.F.	Chain Link Fence		Concrete Light Pole	sv ⋈	Sewer Valve
CONC.	Concrete	,MLP ;¢	Matal Cabt Dala	\$	
C.S. DWY.	Concrete Slab	, V	Metal Light Pole	1 00	Mail Box
D.C.	Driveway Depressed Curb		Guy Wire	*10.00	Spot Elevation
E.T.P.	Electric Transformer Pad	P	Utility Power Pole	\wedge	Temporary Benchmark
E.O.W.	Edge of Water	~	- · · · · ·		
F.F.E.	Finished Floor Elevation	₩M	Fire Hydrant	1.5'-15'-10'	Diameter—Height—Spread
F.I.P. F.N.	Found Iron Pipe Found Nail	\boxtimes	Water Meter		Right-of-Way Lines
F.N.D.	Found Nail & Disc	E ⊠	Electric Box	lacktriangle	Property Corner
F.R.	Found Rebar	ŏ.	Tolophono Pov	_	T O:
I.D. INV.	Identification Inverts		Telephone Box	- o -	Traffic Sign
L.F.E.	Lowest Floor Elevation	S	Sewer Manhole		Catch Basin
M/L	Monument Line	OUL	Overhead Utility Lines	(D)	Drainage Manhole
P.B. P.C.P.	Plat Book Permanent Control Point	¢ ^{LP}	Light Pole	•	=
PG.	Page	GM	Light Fole	——// ——	Wood Fence
PL.	Planter	\bowtie	Gas Meter	-0	Metal Fence
P/L P.O.B.	Property Line Point of Beginning	GV ⊠	Gas Valve	icv M	Irrigation Control Valve
P.O.C.	Point of Commencement	WV	Water Value		5
P.R.M.	Permanent Reference Monument	\bowtie	Water Valve	777777	C.B.S. Wall
R/W	Right-of-Way Line	(W)	Water Manhole		Clean Out
SWK.	Sidewalk	_	Talaahana Mambala	GP	
T.B.M. T.O.B.	Temporary Benchmark Top of Bank	① MAW	Telephone Manhole	ě	Guard Pole
V.G.	Valley Gutter	™	Monitoring Well	⊡o	Water Pump
W.F.	Wood Fence	xx	Chain Link Fence		Air Conditioner
U.E. P/S	Utility Easement	©	Grease Manhole		Drain
r/3	Parking Spaces	- N4	Value (Haliasia)	CATV	

Valve (Unknown)

Cable Television

 \boxtimes

27 27 25 24 24 23 23 22 22 6 21 21 8th DI LIDO TERRACE 20 20 DI 3 4 щ 19 19 18 18 6 5 LOCATION SKETCH NOT TO SCALE

THESE ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ORIA JANNET SUAREZ, PSM ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SURVEYOR'S NOTES:

1. Field Survey was completed on: June 17th, 2020.

2. LEGAL DESCRIPTION:

Lot 21, Block 3, of DILIDO ISLAND SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 8, at Page 36, of the Public Records of Miami—Dade County, Florida, and also an eight (8) foot strip of land contiguous to the Westerly Boundary line of Lot 21, Block 3, of DILIDO ISLAND SUBDIVISION, as recorded in Plat Book 8, Page 36, lying between the Westerly extensions of the Northerly boundary line and the Southerly boundary line of said Lot 21, Block 3, together with all common law and statutory riparian rights, including water privileges adjacent and belonging thereto.

Containing 10,980 Square feet or 0.25 Acres, more or less, by calculation.

3. SOURCES OF DATA:

AS TO HORIZONTAL CONTROL:

North Arrow and Bearings refer to an assumed value of North along the East line of the Subject Property, Miami—Dade County, Florida. Said line is considered well—established and monumented.

AS TO VERTICAL CONTROL:

By scaled determination the subject property lies in Flood Zone AE, Base Flood Elev.=9 feet, as per Federal Emergency Management Agency (FEMA) Community—Panel Number 120651, Map No. 12086C0316, Suffix L, Revised Date: 09—11—2009.

An accurate Zone determination should be made by the preparer of the map, the Federal Emergency Management Agency, or the Local Government Agency having jurisdiction over such matters prior to any judgments being made from the Zone as noted. The referenced Federal Emergency Management Agency Map states in the notes to the user that "this map is for insurance purposes only".

Elevations are referred to the National Geodetic Vertical Datum 1929 (NGVD29).

Benchmark used: Miami-Dade County Benchmark D-171, Elevation=7.71' (NGVD29) Location: Venetian Causeway & Di Lido Island.

4. ACCURACY:

The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement.

5. LIMITATIONS:

Since no other information other than what is cited in the Sources of Data was furnished, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map or contained within this Report that may be found in the Public Records of Miami—Dade County, or the records of any other public and private entities as their jurisdictions may appear. The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear in public records. No excavation or determination was made as to how the Subject Property is served by utilities. No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon. This notice is required by the "Standards of Practice for Land Surveying in the State of Florida," pursuant to Rule 5J—17 of the Florida Administrative Code.

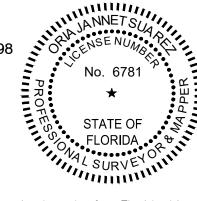
Notice is hereby given that Sunshine State One Call of Florida, Inc. must be contacted at 1-800-432-4770 at least 48 hours in advance of any construction, excavation or demolition activity within, upon, abutting or adjacent to the Subject Property. This Notice is given in compliance with the "Underground Facility Damage Prevention and Safety Act," pursuant to Chapter 556.101-111 of the Florida Statutes.

CERTIFY TO:

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY: That the Boundary Survey of the above described property is true and correct to the best of my knowledge and belief as recently surveyed under my direction. Further, there are no above ground encroachments unless shown. This survey meets the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers, in Chapter 5J-17, Florida Administrative Code, pursuant to section 472.027 Florida Statutes. Examination of the abstract of title will have to be made to determine recorded instruments, if any, affecting the property. Location and identification of utilities adjacent to the property were not secured as such information was not requested. Ownership is subject to opinion of title.

J. BONFILL & ASSOCIATES, INC. Florida Certificate of Authorization No. LB 3398



ORIA JANNET SUAREZ
PROFESSIONAL SURVEYOR AND MAPPER No. 6781
STATE OF FLORIDA

Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.



J. Bonfill & Associates, Inc.
REGISTERED LAND SURVEYORS & MAPPERS
Florida Certificate of Authorization LB3398
7100 S.W. 99th Avenue Suite 104
Miami, Florida 33173 (305) 598-8383

BOUNDARY SURVEY
of
802 WEST DI LIDO DRIVE, MIAMI BEACH
MIAMI-DADE COUNTY, FLORIDA 33139

420 DEVELOPMEN

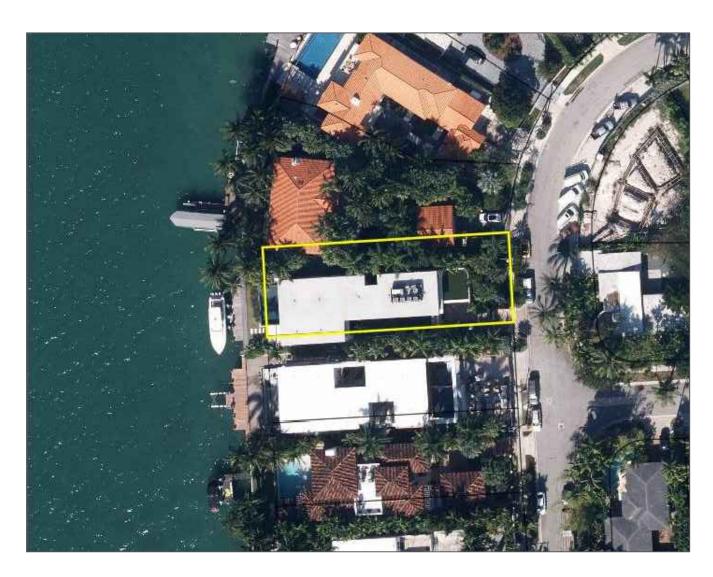
REVISI	BY			
Project:	16-0156	5/19-0293		
Job:	20-0188			
Date:	06-17-2020			
Drawn:	G.P., J.S., C.B.			
Checked:	J.S.			
Scale:	AS SHOWN			
Field Book: ON FILE				

SHEET 1 OF 1

VARIANCE APPLICATION PACKET

808 WEST DI LIDO DRIVE

City of Miami Beach



Variance application for new dock with mooring piles in set-back area.

File No. ZBA20-113

FINAL SUBMITTAL JULY 7, 2020

808 W. DILIDO DRIVE **WATERFRONT IMPROVEMENT PROJECT**

Miami Beach, Florida

MR. EMMANUEL SEBAG 808 W. Dilido Drive Miami Beach, FL 33139

ENVIRONMENTAL CONSULTANT: **OCEAN** CONSULTING, LLC

340 Minorca Avenue, Suite 7 Coral Gables, Florida 33134 Tel: (305) 921-9344 Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:

ADOLFO GONZALEZ P.E.

2050 Coral Way Suite 502 Miami, FL 33145 Office - 305-415-8782

SEAL / SIGNATURE / DATE

Adolfo Gonzalez Lic. No. 58620

PERMIT DRAWINGS

Issue # Issue Date

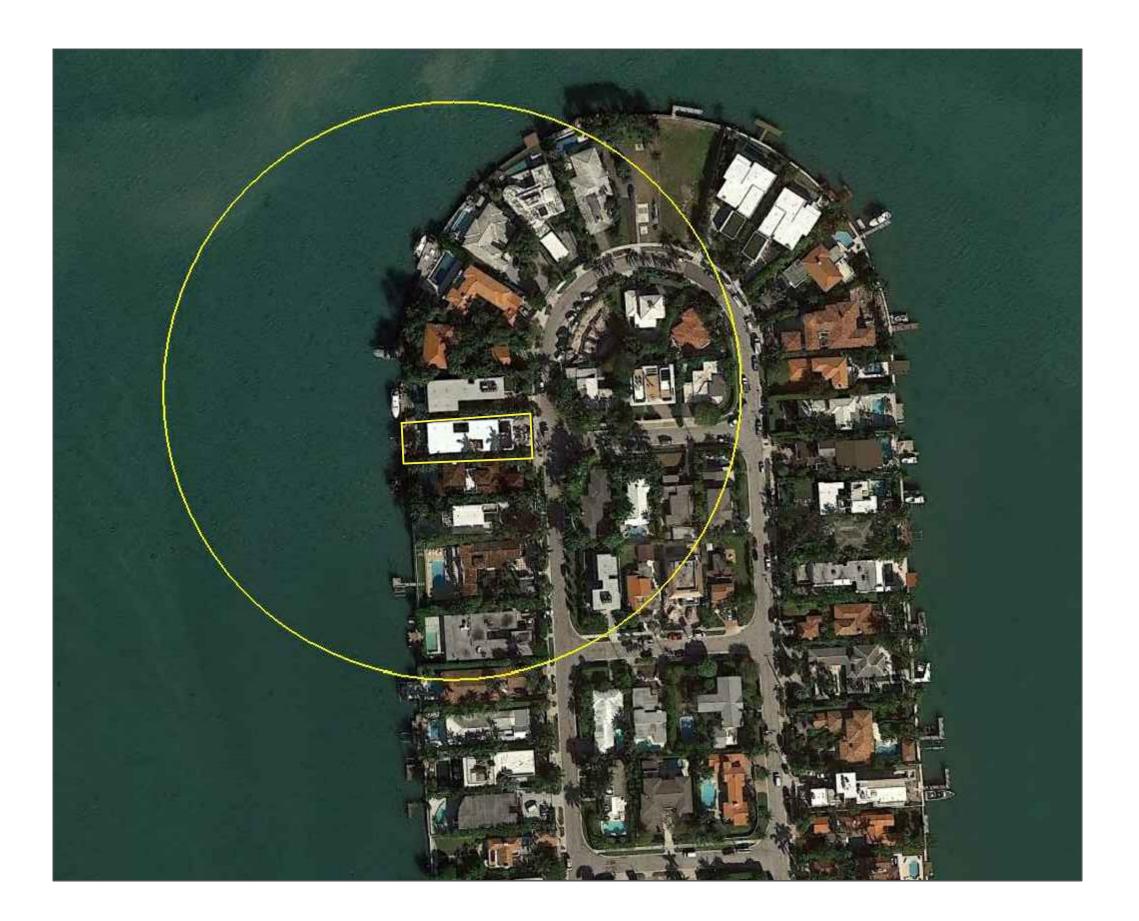
① July 2, 2020

PROJECT: 20-9840

COVER PAGE

SCALE : AS SHOWN SHEET NO.

G-1



PROPERTY AERIAL: ½ MILE RADIUS

808 W. DILIDO DRIVE WATERFRONT IMPROVEMENT PROJECT

Miami Beach, Florida

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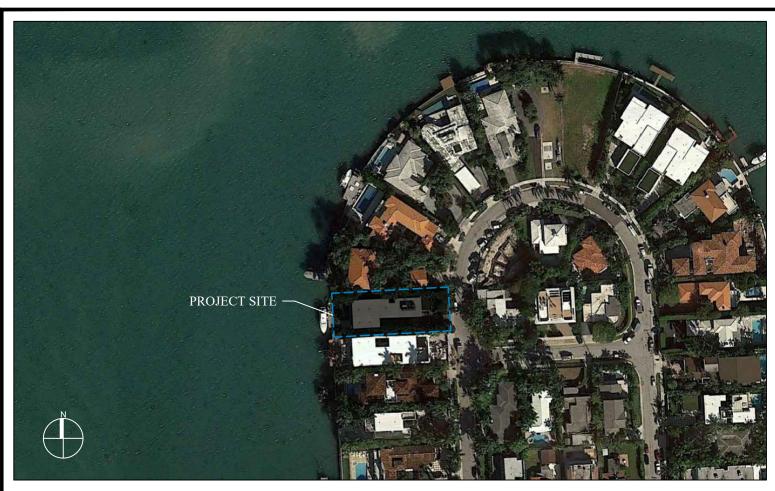
Issue # Issue Date

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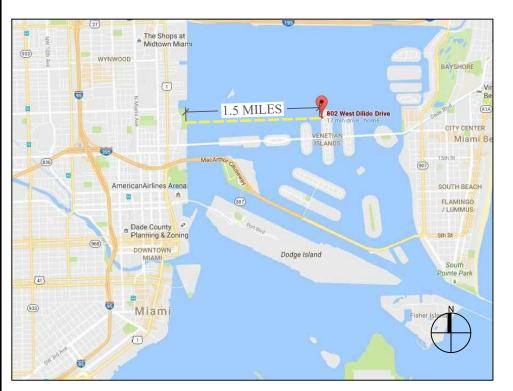
PROJECT: 20-9840

PROJECT SITE AERIAL

SCALE : AS SHOWN SHEET NO.



LOCATION MAP AND LEGAL DESCRIPTION



PROJECT SITE LOCATION:

808 W Dilido Miami Beach, FL 33139

LATITUDE: 25°47'40.19"N **LONGITUDE:** 80° 9'37.10"W

FOLIO No.: 02-3232-011-0490

LEGAL DESCRIPTION:

DI LIDO ISLAND PB 8-36

LOT 22 & 8FT STRIP CONTIG TO SAME

ON BAY BLK 3

LOT SIZE 60.000 X 175

OR 25063-0576 10 2006 1

COC 26454-1836 06 2008 4

GENERAL NOTES:

- . ELEVATIONS SHOWN REFER TO THE NATIONAL AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- 2. ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.
- 3. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ENGINEER BEFORE PROCEEDING WITH WORK. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
- 4. IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE, AND FEDERAL ENVIRONMENTAL PERMITS ISSUED FOR THIS PROJECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.
- 5. APPLICABLE BUILDING CODE: FLORIDA BUILDING CODE, 2017 EDITION (AND CURRENT ADDENDUMS).
- 6. APPROVED CONTRACTOR TO DETERMINE THE SUITABILITY OF EXISTING STRUCTURES AND VERIFY ALL DIMENSIONS. THE APPROVED CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCES AND PROCEDURES OF WORK.
- 7. DO NOT SCALE DRAWINGS FOR DIMENSIONS.
- 8. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK.
- 9. CONTRACTOR TO PROPERLY FENCE AND SECURE AREA WITH BARRICADES.
- 10. ANY DEVIATION AND/OR SUBSTITUTION FROM THE INFORMATION PROVIDED HEREIN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- 11. ALL NEW MATERIALS AND/OR PATCHWORK SHALL BE PROVIDED TO MATCH EXISTING MATERIALS AND/OR ADJOINING WORK WHERE PRACTICAL EXCEPT AS SPECIFICALLY NOTED HEREIN.
- AND/OR ADJOINING WORK WHERE PRACTICAL EXCEPT AS SPECIFICALLY NOTED HEREIN.

 12. LICENSED CONTRACTOR SHALL USE ALL POSSIBLE CARE TO PROTECT ALL EXISTING MATERIALS, SURFACES, AND FURNISHINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- 13. THE LICENSED CONTRACTOR TO INSTALL AND REMOVE ALL SHORING AND BRACING AS REQUIRED FOR THE PROPER EXECUTION OF THE WORK.
- 14. ALL NEW WORK AND/OR MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF EACH ADMINISTRATIVE BODY HAVING JURISDICTION IN EACH PERTAINING CIRCUMSTANCE.
- 15. THE CONTRACTOR WILL EMPLOY AND MAINTAIN ADEQUATE SEDIMENT AND EROSION CONTROL MEASURES TO PROTECT BISCAYNE BAY FROM SEDIMENT AND CONSTRUCTION DEBRIS.

DOCK: LL 60 PSF

BOLTS

1. ALL BOLTS SHALL BE 316 STAINLESS STEEL, UNLESS OTHERWISE NOTED.

WOOD

- 1. PRIMARY WOOD FRAMING MEMBERS SHALL BE NUMBER 1 MARINE GRADE PRESSURE TREATED SOUTHERN PINE OR BETTER.
- 2. ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.

CONCRETE

- 1. CONCRETE SHALL CONFORM TO ACI 318 (LATEST ED.) AND SHALL BE REGULAR WEIGHT, SULFATE RESISTANT, WITH A DESIGN STRENGTH OF 5,000 PSI AT 28 DAYS W/ A MAX WATER-CEMENTIOUS MATERIALS RATIO, BY WEIGHT, NORMAL WEIGHT AGGREGATE CONCRETE OF 0.40.
- 2. OWNER SHALL EMPLOY AND PAY FOR TESTING SERVICES FROM AN INDEPENDENT TESTING LABORATORY FOR CONCRETE SAMPLING AND TESTING IN ACCORDANCE W/ ASTM.
- 3. LICENSED CONTRACTOR IS RESPONSIBLE FOR THE ADEQUACY OF FORMS AND SHORING AND FOR SAFE PRACTICE IN THEIR USE AND REMOVAL.
- 4. CONCRETE COVER SHALL BE 3" UNLESS OTHERWISE NOTED ON APPROVED DRAWINGS.
- REINFORCING STEEL SHALL BE IN CONFORMANCE WITH THE LATEST VERSION OF ASTM A615 GRADE 60 SPECIFICATIONS. ALL REINFORCEMENT SHALL BE PLACED IN ACCORDANCE W/ ACI 315 AND ACI MANUAL OF STANDARD PRACTICE.
- SPLICES IN REINFORCING BARS SHALL NOT BE LESS THAN 48 BAR DIAMETERS AND REINFORCING SHALL BE CONTINUOUS AROUND ALL CORNERS AND CHANGES IN DIRECTION. CONTINUITY SHALL BE PROVIDED AT CORNERS OR CHANGES IN DIRECTION BY BENDING THE LONGITUDINAL STEEL AROUND THE CORNER 48 BAR DIAMETERS.

PILE DRIVING NOTES

- 1. PILE DRIVING OPERATIONS SHALL BE OBSERVED BY A SPECIAL INSPECTOR, INCLUDING TEST PILES SUFFICIENT TO DETERMINE THE APPROXIMATE LENGTH REQUIRED TO MEET DESIGN CAPACITY.
- 2. PILES SHALL BE DRIVEN USING AN APPROVED CUSHION BLOCK CONSISTING OF MATERIAL SO ARRANGED SO AS TO PROVIDE THE TRANSMISSION OF THE HAMMER ENERGY.
- 3. PILES SHALL BE DRIVEN TO REQUIRED MINIMUM BEARING CAPACITY OF 15-TON WOOD PILES/ 25-TON CONCRETE PILES.
- 4. PILES SHALL BE DRIVEN WITH A DROP HAMMER OR GRAVITY HAMMER PROVIDED THE HAMMER SHALL WEIGH NO LESS THAN 3,000 POUNDS, AND THE FALL OF THE HAMMER SHALL NOT EXCEED 6 FT.
- 5. PILES SHALL BE DRIVEN WITH A VARIATION OF NOT MORE THAN $\frac{1}{4}$ " PER FOOT FROM THE VERTICAL, OR FROM THE BATTER LINE INDICATED, WITH A MAX VARIATION OF THE HEAD OF THE PILE FROM THE POSITION SHOWN ON THE PLANS OF NOT MORE THAN 3".
- 5. WHERE PILING MUST PENETRATE STRATA OFFERING HIGH RESISTANCE TO DRIVING, THE STRUCTURAL ENGINEER OF RECORD OR SPECIAL INSPECTOR MAY REQUIRE THAT PILES BE SET IN PRE-DRILLED OR PUNCHED HOLES. THE PILES SHALL REACH THEIR FINAL PENETRATION BY DRIVING.

808 W. DILIDO DRIVE WATERFRONT IMPROVEMENT PROJECT

Miami Beach, Florida

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Miami Beach, FL 33139

ENVIRONMENTAL CONSULTANT: OCEAN

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CONSULTING, LLC

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SEAL / SIGNATURE / DATE

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PERMIT DRAWINGS

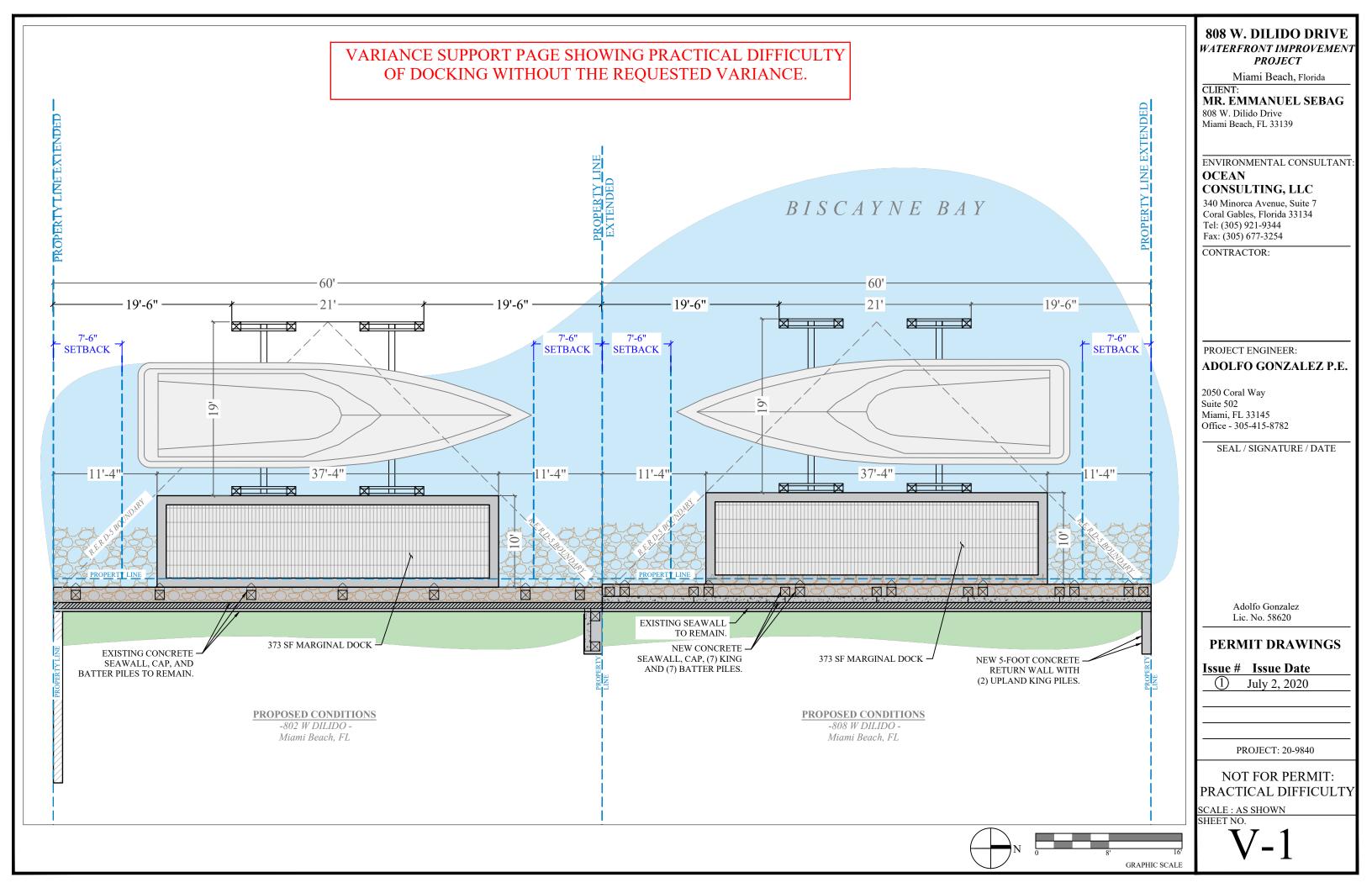
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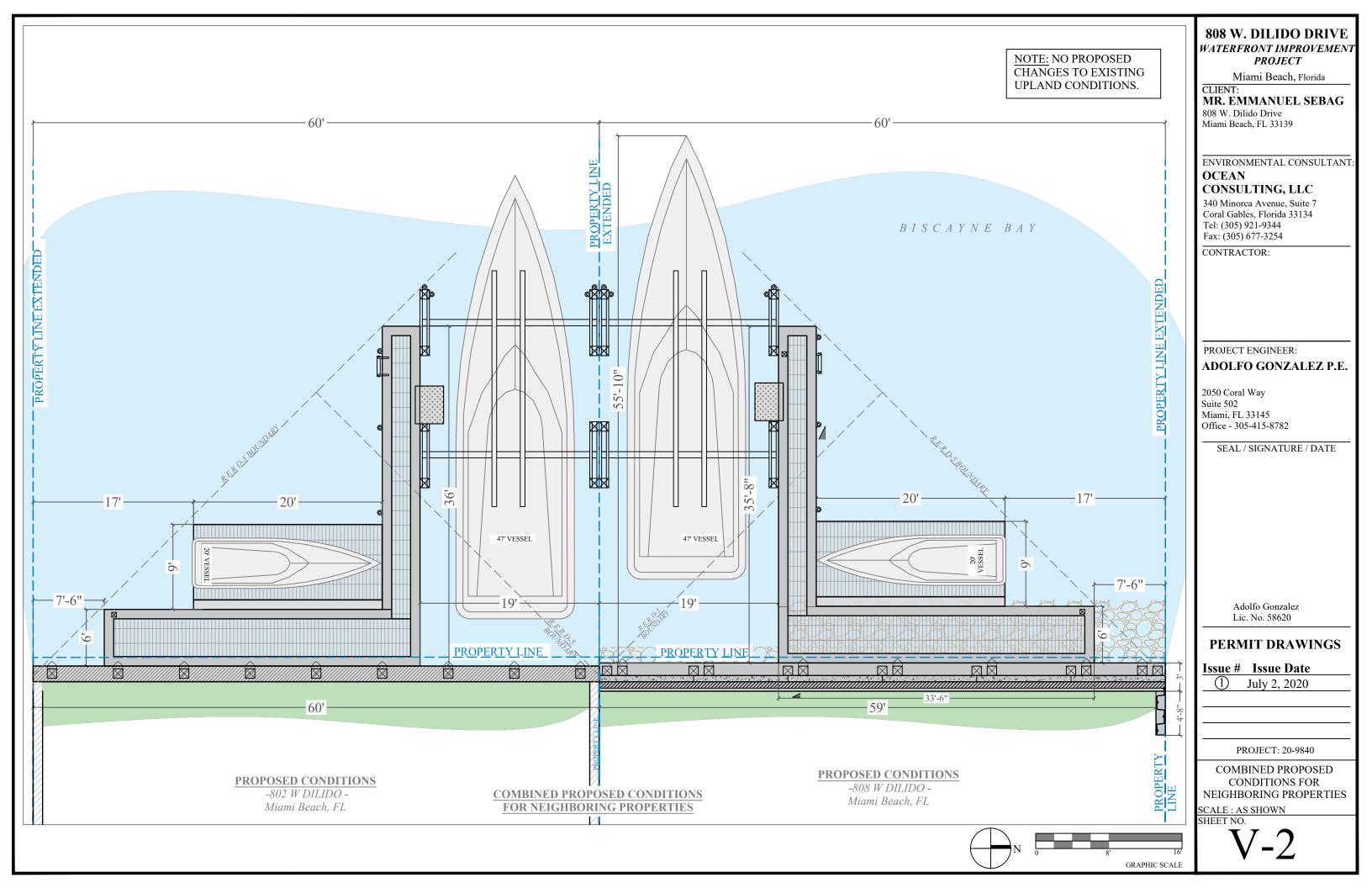
(1) July 2, 2020

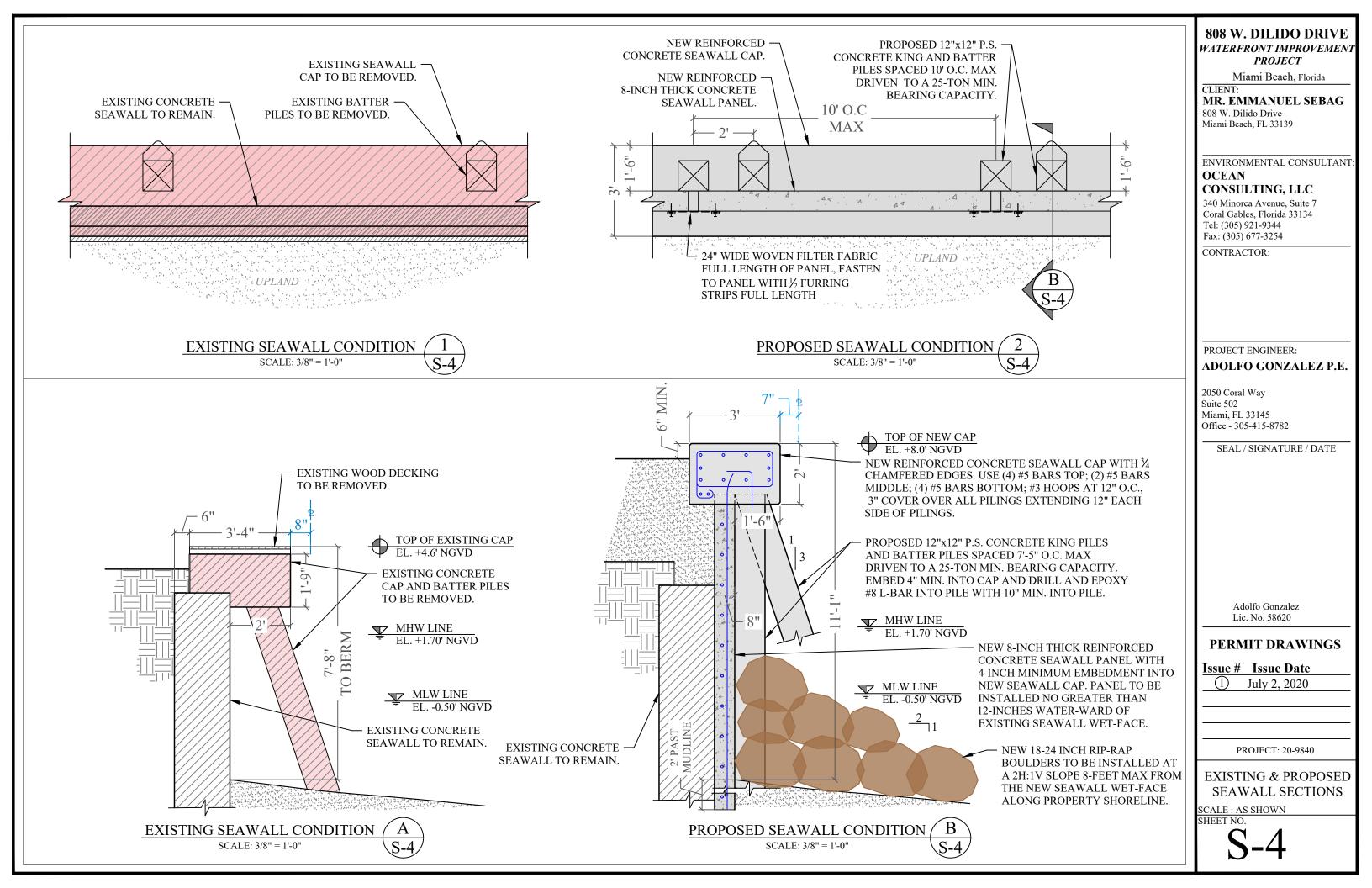
PROJECT: 20-9840

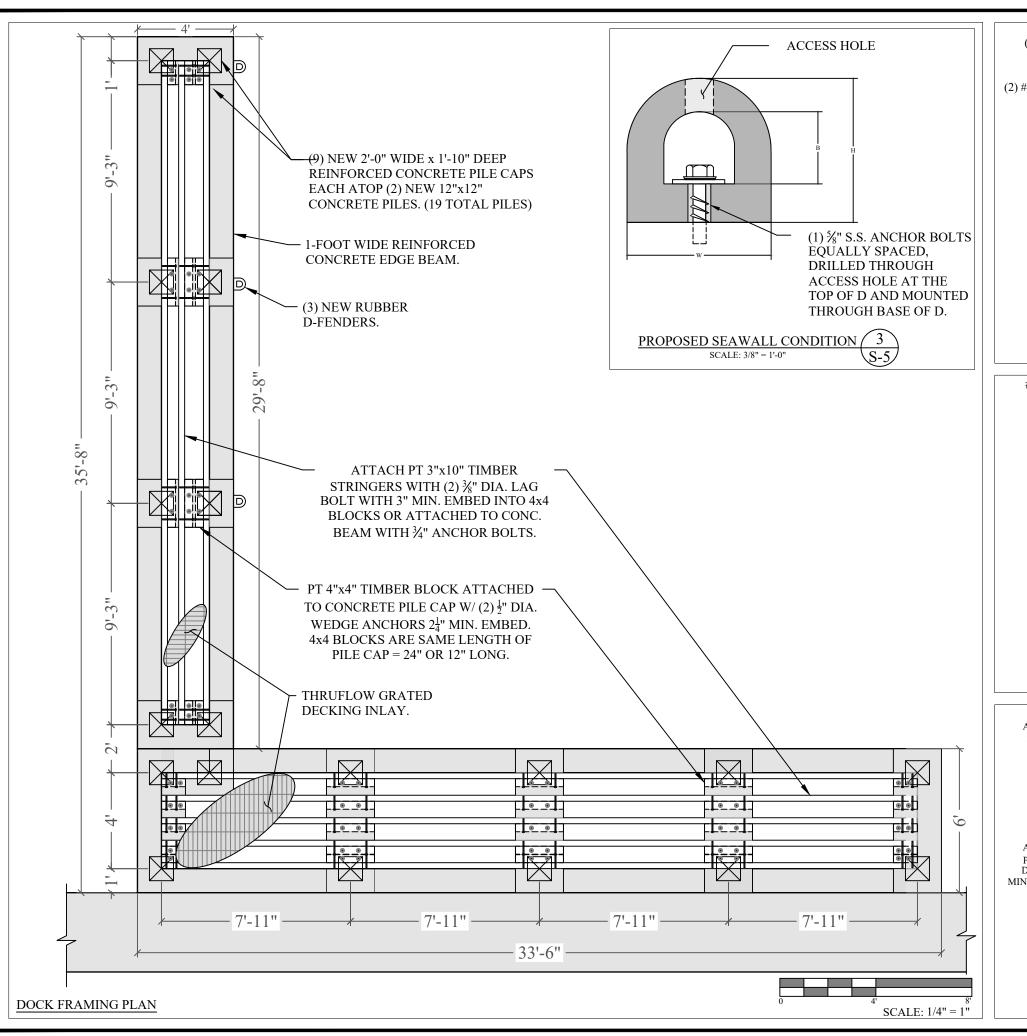
GENERAL NOTES

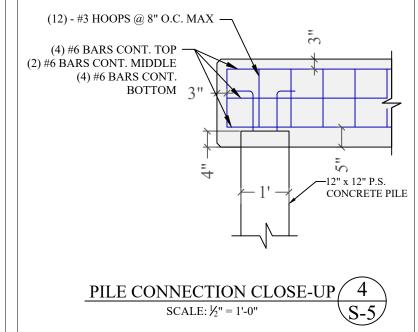
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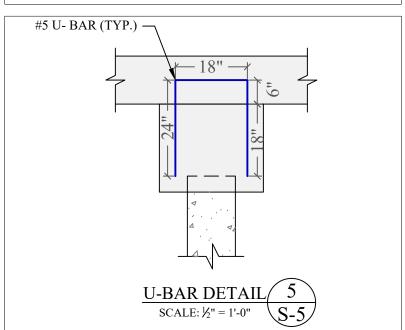


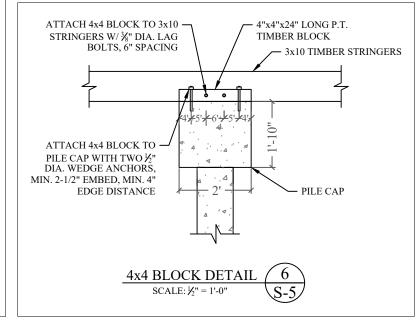












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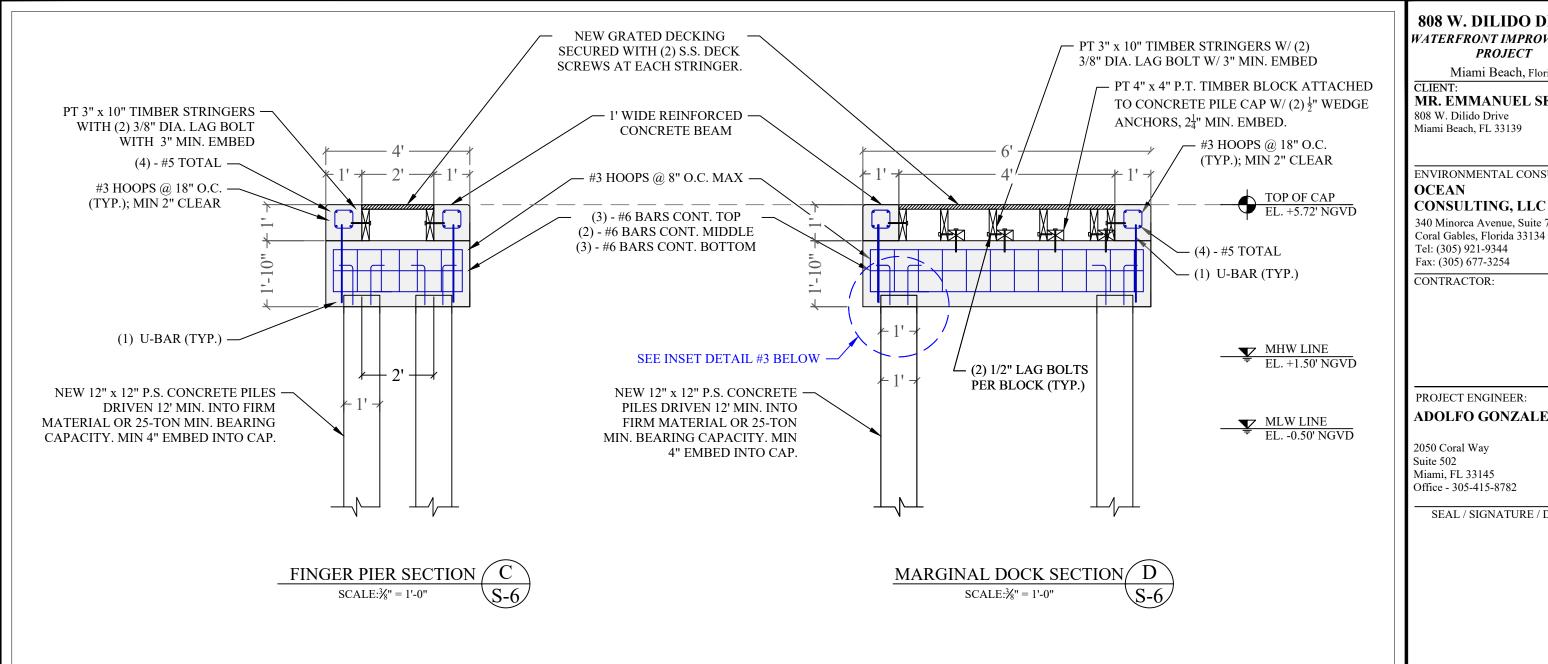
① July 2, 2020

PROJECT: 20-9840

TROJECT. 20-3640

DOCK FRAMING PLAN & PILE CAP DETAILS

SCALE : AS SHOWN SHEET NO.



PILE NOTE: 5 GAUGE SPIRAL $2\frac{1}{2}$ " MIN. CONCRETE COMPRESIVE STRENGTH: PILE LENGTH =L' **CLEAR** 3000 PSI @ RELEASE 5000 PSI @ DRIVING - 0.20 L -· 0.20 L — - 0.60 L -★ 2-POINT PICKUP 0.30 L -- 1-POINT PICKUP STRANDS - USE FOUR 7/16" (270K) **5 GAUGE SPIRAL** ─ 7/16" STRANDS LOW RELAXATION ASTM 416-87 UNCOATED 1" CHAMFERED 7-WIRE STRANDS TENSIONED TO 2.33 KIPS EACH EDGES. 1-POINT PICKUP-MAXIMUM L = 50' 2-POINT PICKUP-MAXIMUM L = 62SPIRAL TO BE ASTM A-82 TIGHT 113/4" HARD-DRAWN WIRE 8" SPACING (TYP.) -CONCRETE PILE DETAIL NOT TO SCALE

808 W. DILIDO DRIVE WATERFRONT IMPROVEMENT **PROJECT**

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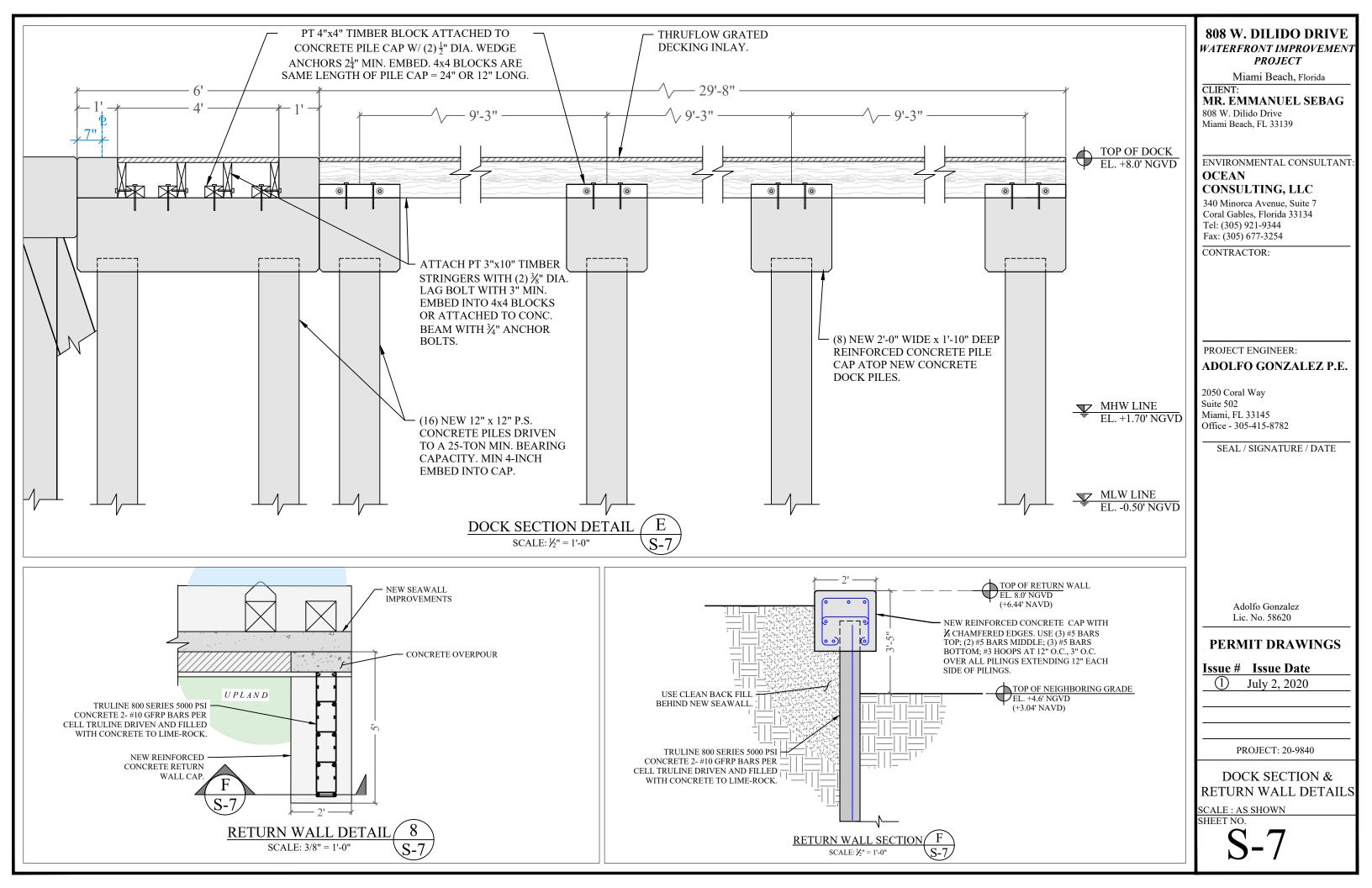
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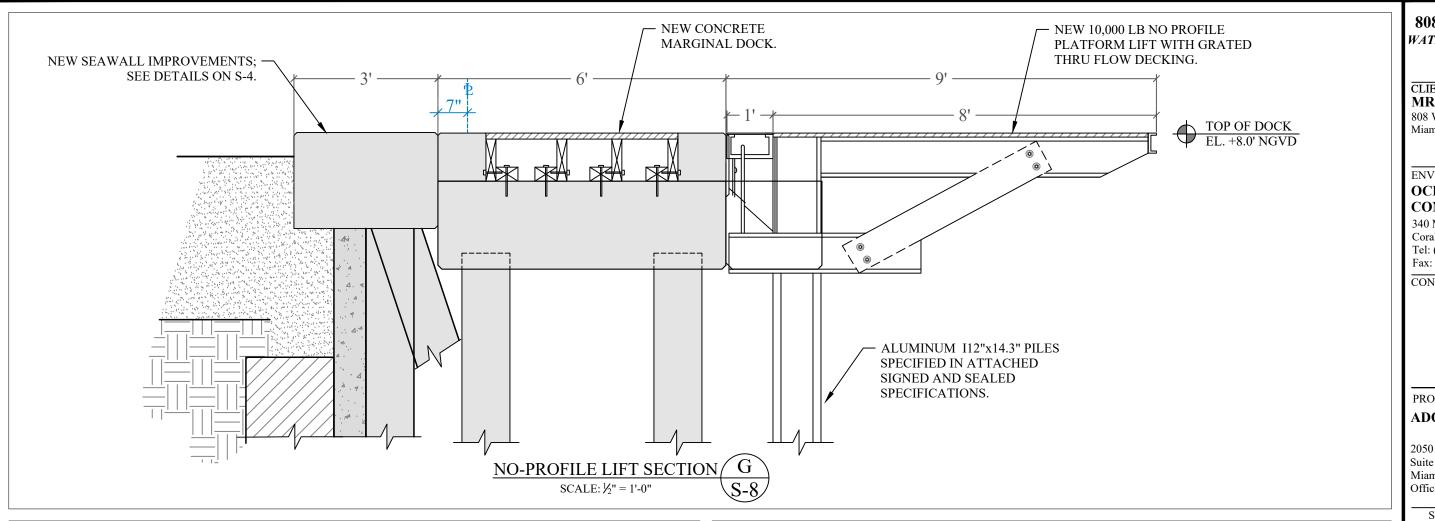
PROJECT: 20-9840

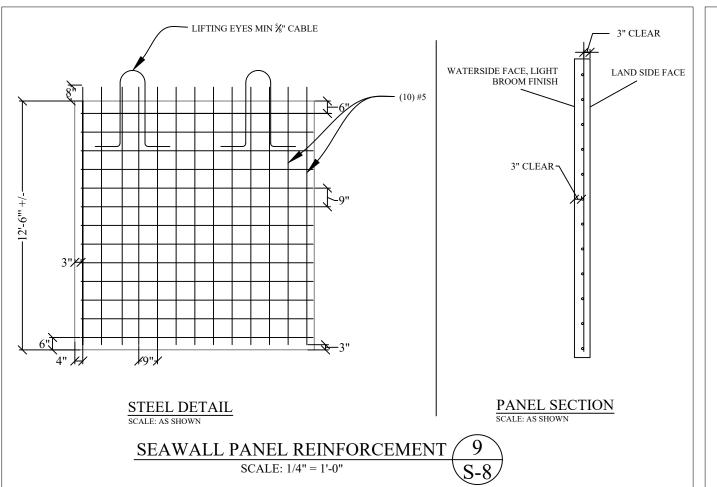
PILE CAP REINFORCING & CONCRETE PILE

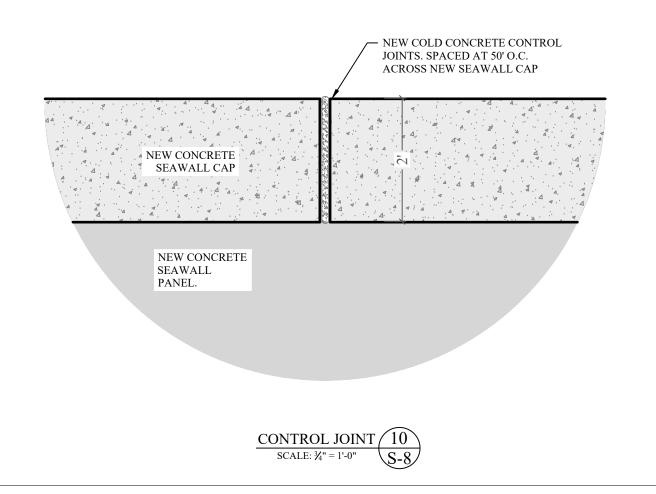
DETAIL SCALE : AS SHOWN

SHEET NO.









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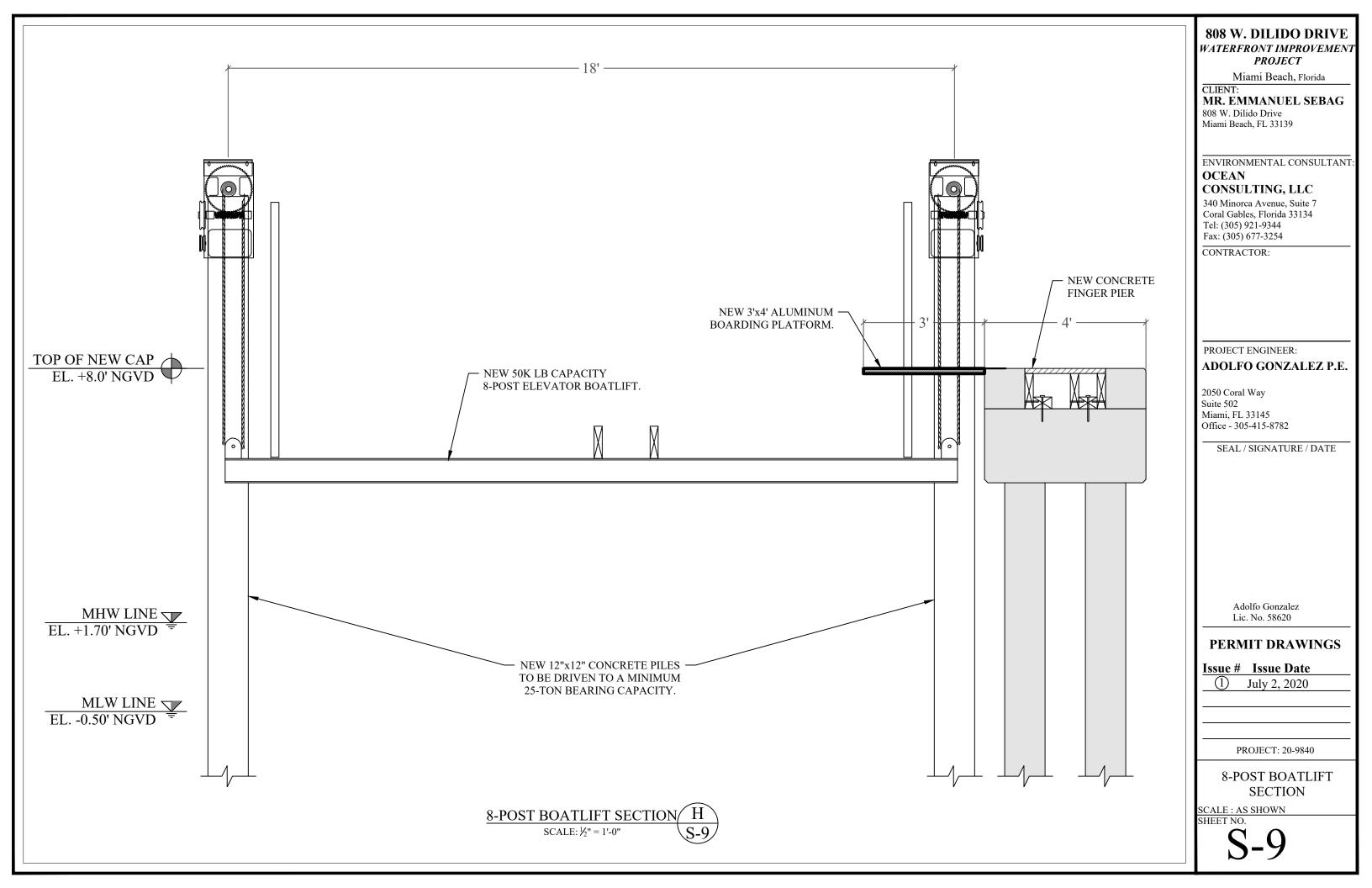
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Issue # Issue Date

(1) July 2, 2020

PROJECT: 20-9840

DOCK SECTION, SHEET PILE REINFORCEMENT & CONTROL JOINT DETAIL SCALE: AS SHOWN SHEET NO.



REVISIONS 12-0272 20-0189 06-17-2020 Drawn: G.P., J.S., C.B.

Checked: J.S.

SHEET 1 OF 1

Scale:

AS SHOWN

Field Book: ON FILE

1. Field Survey was completed on: June 17th, 2020.

2. LEGAL DESCRIPTION:

SURVEYOR'S NOTES:

Lot 22, Block 3, "DI LIDO ISLAND", according to the Plat thereof, recorded in Plat Book 8, Page 36, of the Public Records of Miami-Dade County, Florida, and an eight foot strip in Biscayne Bay, lying West of and adjacent to the West line of said Lot.

Lot 22: containing 10,500 Square Feet or 0.24 Acres more or less by calculations.

Eight foot strip in Biscayne Bay containing 480 Square Feet or 0.01 Acres more or less by calculations.

The above Legal Description provided by client.

3. SOURCES OF DATA:

AS TO HORIZONTAL CONTROL:

North Arrow and Bearings refer to an assumed value of North along the East property line of the Subject property, Miami-Dade County, Florida. This line is considered well-established and monumented.

AS TO VERTICAL CONTROL:

By scaled determination the subject property lies in Flood Zone AE, Base Flood Elev. 9 feet, as per Federal Emergency Management Agency (FEMA) Community—Panel Number 120651, Map No. 12086C0316, Suffix L, Firm Index Date: 09-11-2009, Firm Panel Effective/Revised Date: 09-11-2009.

An accurate Zone determination should be made by the preparer of the map, the Federal Emergency Management Agency, or the Local Government Agency having jurisdiction over such matters prior to any judaments being made from the Zone as noted. The referenced Federal Emergency Management Agency Map states in the notes to the user that "this map is for insurance purposes only".

The vertical control element of this survey was derived from the National Geodetic Vertical Datum, (N.G.V.D. 1929.)

Benchmark used: Miami-Dade Benchmark: D-171, Elevation=7.71 Location: Venetian Causeway & Di Lido Island.

4. ACCURACY:

DRIVE

LIDO

D

F.N.D.

(NO ID.)

8th DI LIDO

TERRACE

60.

The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement

5. LIMITATIONS:

The above Legal Description provided by client.

Since no other information other than what is cited in the Sources of Data was furnished, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map or contained within this Report that may be found in the Public Records of Miami-Dade County, or the records of any other public and private entities as their jurisdictions may appear. The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear in public records. No excavation or determination was made as to how the Subject Property is served by utilities. No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

This notice is required by the "Standards of Practice for Land Surveying in the State of Florida." pursuant to Rule 5J-17 of the Florida Administrative Code.

CERTIFY TO:

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY: That the Boundary Survey of the above described property is true and correct to the best of my knowledge and belief as recently surveyed under my direction. Further, there are no above ground encroachments unless shown. This survey meets the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers, in Chapter 5J-17, Florida Administrative Code, pursuant to section 472.027 Florida Statutes. Examination of the abstract of title will have to be made to determine recorded instruments, if any, affecting the property. Location and identification of utilities adjacent to the property were not secured as such information was not requested. Ownership is subject to opinion of

JANNETSUA SAR JANNETSUA CENSENUMBER

No. 6781

J. BONFILL & ASSOCIATES, INC. Florida Certificate of Authorization No. LB 3398

ORIA JANNET SUAREZ PROFESSIONAL SURVEYOR AND MAPPER No. 6781 STATE OF FLORIDA

Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

GRAPHIC SCALE SCALE : 1" = 20'

EDGE OF 3' WIDE SEAWALL BELOW WOOD DECK F.R.ø 1/2" (NO ID.) 8' EAST (REFERENCE) SEAWALL METAL POLE (TYP.)

NE

ABBREVIATIONS

BISC,

Air Conditioner Pad A/C C.B.S. Concrete Block Structure

C.G. Curb & Gutter Center Line Chain Link Fence CONC. Concrete C.S. Concrete Slab Driveway E.T.P. Electric Transformer Pad Ф Finished Floor Elevation F.F.E. X F.I.P. Found Iron Pipe Found Nail & Disc F.N.D. Found Rebar F.R. I.D. Identification INV. Inverts $\dot{\boxtimes}$

Lowest Floor Elevation L.F.E. M/L Monument Line (P) Plat (M) Measured P.B. Plat Book P.C.P. Permanent Control Point PG. Page PL.

--OUL-P/L Property Line P.O.B. Point of Beginning P.O.C. Point of Commencement **(W)** P.R.M. Permanent Reference Monument R/W Right-of-Way Line SWK. Sidewalk Temporary Benchmark T.B.M. V.G. Valley Gutter

(TYP.)

P/S

W.F.

Typical

Parking Spaces

Wood Fence

Concrete Light Pole Metal Light Pole Guy Wire Utility Power Pole Fire Hydrant Water Meter

-CONC. WALL

F.R.ø 1/2"

(REFERENCE)

SOD

EAST

LEGEND

SV ⊠

Sewer Valve

Spot Elevation

Temporary Benchmark

Right-of-Way Lines

Property Corner

Drainage Manhole

Traffic Sign

Catch Basin

C.B.S. Wall

Clean Out

Guard Pole

Mail Box

1.5'-15'-10' Diameter-Height-Spread Electric Box

Telephone Box Sewer Manhole Overhead Utility

Light Pole Gas Valve

WV

 \bowtie

— // — // Wood Fence → Iron Fence Water Valve

Water Manhole Telephone Manhole

Monitoring Well

Parking Meter Gas Meter

—x—x— Chain Link Fence

BOUNDARY SURVEY

808 W. DI LIDO DRIVE, MIAMI BEACH,

MIAMI-DADE COUNTY, FLORIDA 33139

for

THE HAPPY SUNSET TRUST

183.00

COVERED-

183.00

& PAVERS GM

್ಯ DOS 🖔

ONE

STORY

GARAGE

ELEV.=7.59'/

CONC.

22

21

20

18

17

15

19 (3)

-CONC. WALL

PAVERS

SOD

COLUMN

27

8th DI LIDO TERRACE

7th DI LIDO TERRACE

LOT 23, BLOCK 3

DI LIDO ISLAND

(P.B. 8, PG. 36)

P/L

TWO STORY RESIDENCE

No. 808

Ł.F.E.=9,28′

REFLECTING

175.00

175.00

P/L

LOT 21, BLOCK 3

DI LIDO ISLAND

(P.B. 8, PG. 36)

EAST

SOD

LOCATION SKETCH NOT TO SCALE

23

20

19

18

17

16

15

. 4

SURVEY

BOUNDARY