

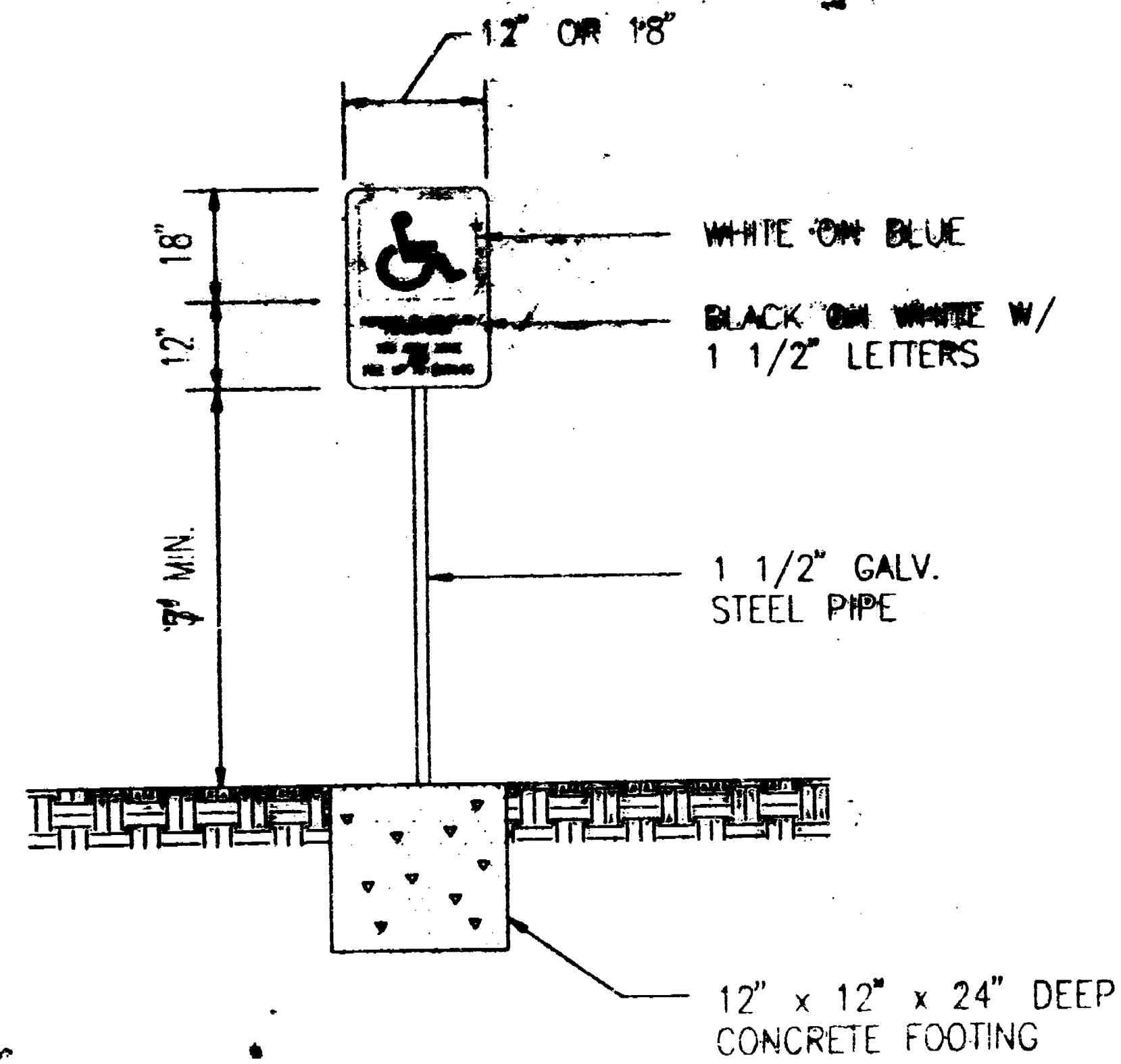
PERMIT NUMBER

B9601207

ADDRESS

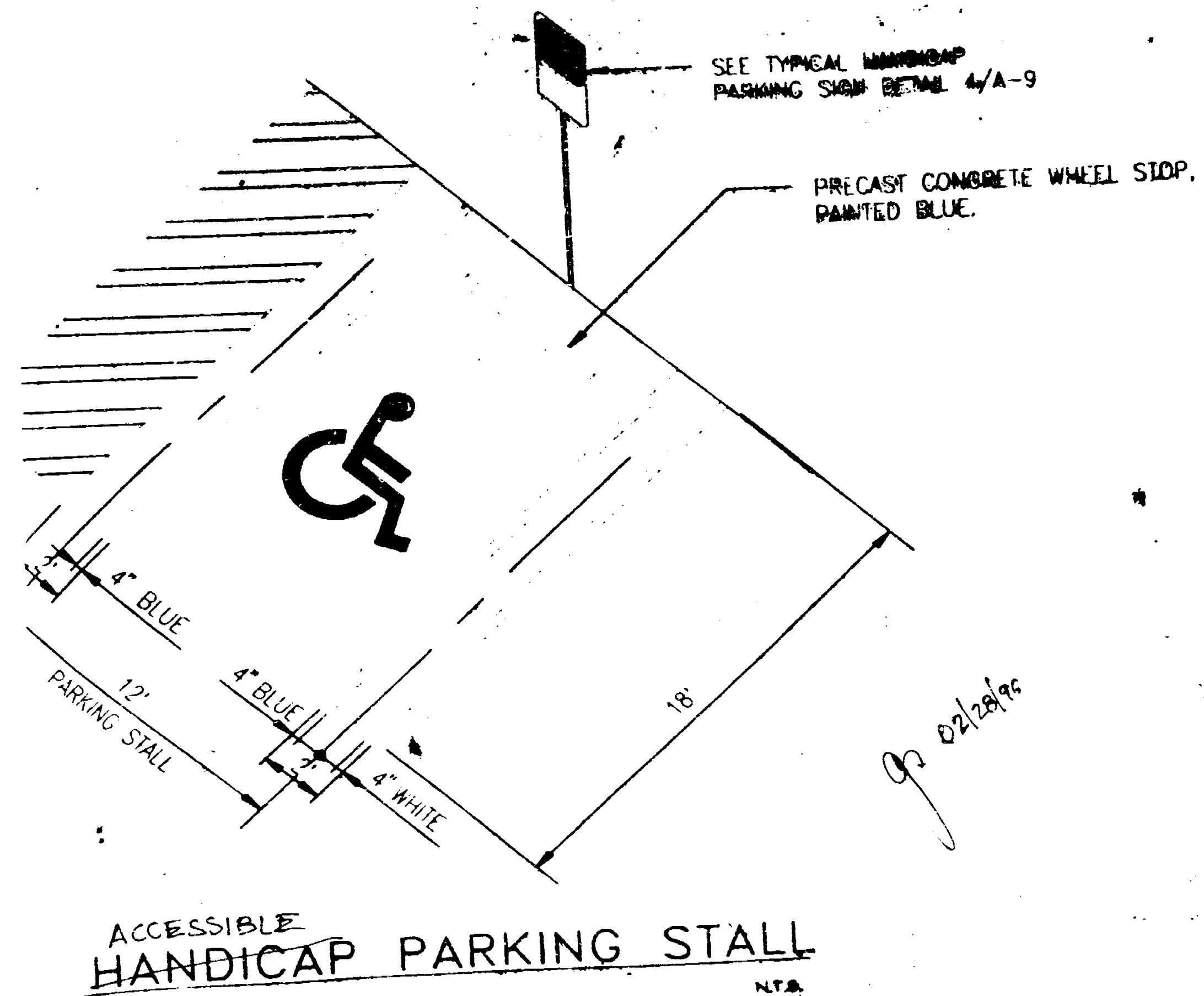
43

43



ACCESSIBLE
TYPICAL HANDICAP
④ PARKING SIGN DETAIL

02/28/96



1500 BAY ROAD - MORTON TOWERS
Landscape Review, Parking Lot 2/15/96

1. The swale area on the exterior of the wall shall be planted with Mahogany trees, staggered with those proposed on the interior of the wall. The trees planted outside of the wall shall be the same size as those proposed for the interior planting (no less than eight trees).
2. The proposed size of the Mahogany tree at 8'-10' is inadequate at this preliminary planting time. The size of the tree, in order to establish a more substantial canopy cover, shall be increased to 12'-14'.
3. Proposed trees for the proposed parking lot shall be increased in number by 5.
4. Wheel stops shall be affixed.
5. An irrigation system shall be included for 100% coverage and shall include a rain sensor that will shut the system off in the event of rain.
6. Individual car bays shall be painted.

June
2/29/96

- 1 - The perimeter wall along all of 14th Street and all of Bay Road (beyond the limits of the variance request) shall be repaired and repainted in a manner determined acceptable by the Planning.
- 2 - The landscaping plan showed on page 2 of 2, indicates existing and new trees, and the notes on page 1 explains what is new.
- 3 - The parking space shall be concrete wheels stops.
- 4 - The existing globe light shall be replaced by security lights, and the lights shall be shielded to avoid direct light beyond the property line.
- 5 - The parking are has appropriate drainage, and was approved by the Public Works Department.

DO
NOT
REMOVE

43

OFF REC 16870-2869

95R308426 1995 AUG 03 09:25

BEFORE THE BOARD OF ADJUSTMENT
OF MIAMI BEACH, FLORIDA

IN RE:

The application of
MORTON TOWERS
1500 BAY ROAD
LOT 6 LESS SOUTH 1 FT., AND ALL OF LOT 7
BLOCK 43; ALTON BEACH BAYFRONT SUB.
PB 4/125

MEETING DATE: JULY 7, 1995
FILE NO. 2453

ORDER

The applicant, Morton Towers, filed an "After The Fact" application with the Planning, Design and Historic Preservation Division for variances in order to retain 52 additional parking spaces converted from two tennis courts:

1. Applicant wishes to waive 15'-0" of the minimum required 20'-0" front yard setback for parking in a residential district in order to retain the above described parking lot 5'-0" from the front property line facing Bay Road.
2. Applicant wishes to waive 53'-8" of the minimum required 60'-0" side yard setback for parking in order to retain the above described parking lot 6'-4" from the side property line facing 14th Street.

Notice of the request for variance was given as required by law and mailed to owners of property within a distance of 375 feet of the exterior limits of the property on which application was made. The Board finds that the property in question is located in the RM-3 Zoning District. The Board further finds:

That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;

That the special conditions and circumstances do not result from the action of the applicant;

That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;

continued . . .

43

OFF. 16870-2870
REC.

File No. 2453
Morton Towers
1500 Bay Road

That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;

That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

IT IS THEREFORE ORDERED, by the Board, that the variances as requested and set forth above be APPROVED with the following conditions to which the applicant has agreed:

1. The perimeter wall along all of 14th Street and all of Bay Road (beyond the limits of the variance request) shall be repaired and repainted in a manner determined acceptable by the Planning, Design and Historic Preservation Division and maintained in a good condition.
2. The landscape plan for the parking area shall be revised to clearly indicate existing trees. ✓
The new mahogany trees shall be (no less than 12'-14' in height at planting) and increased in number to the extent necessary to be planted twenty feet, on center from each other and pre-existing trees.
3. All parking spaces shall have concrete wheel stops. ✓
4. The existing globe lights shall be replaced with more appropriate security lighting, of a design and location to be approved by staff; the new lighting shall be shielded so as not to cast direct light beyond the property line.
5. The parking area shall have appropriate drainage, to be approved by the Public Works Department.
6. The project shall be completed within three (3) months of this hearing, including compliance with all of the above conditions.

continued . . .

OFF. 16870-2871
REC.

File No. 2453
Morton Towers
1500 Bay Road

PROVIDED, the applicant shall build in accordance with the plans submitted as part of this file and as approved by the Zoning Board of Adjustment with any applicable modifications. The applicant shall take all necessary steps to have a building permit issued by the Building Department within a period of six (6) months from the date of hearing (July 7, 1995), unless the Board specifies a more restrictive time limitation, otherwise this Order shall become null and void, unless the issuance of such permit is stayed by an appeal to the appropriate court. This Order does not constitute a permit, but upon presentation of this Order to the Planning, Design and Historic Preservation Division, a permit shall be approved and processed in accordance and pursuant to the ordinances of the City of Miami Beach.

Dated this 26 day of July, 1995.

BOARD OF ADJUSTMENT OF
THE CITY OF MIAMI BEACH,
FLORIDA

BY: Jeffrey Bercow
JEFFREY BERCOV
CHAIRMAN

STATE OF FLORIDA)
)SS
COUNTY OF DADE)

The foregoing instrument was acknowledged before me this
26 day of July, 1995 by Jeffrey Bercow
who is personally known to me or who has produced
_____ as identification and who did/did not take an
oath.

Laurel Mansure
NOTARY PUBLIC (signature)

My commission expires _____

Approved As To Form:
Planning, Design and Historic Preservation Division
Legal Department

DJG/ah
C:\WPZBA\FINALORD\2453.ORD

NOTARY PUBLIC
STATE OF FLORIDA
(type, print or stamp name)
LAUREL M. MANSURE
COMMISSION NO. CC-374891
MY COMMISSION EXPIRES
MAY 22, 1998

RECORDED IN OFFICIAL RECORDS BOOK
OF DADE COUNTY, FLORIDA
BOOKED VERIFIED
HARVEY RUVIN,
Clerk of Circuit & County
Courts



August 9, 1995

Miami Beach Zoning Board
of Adjustment
Attn: April Hirsh - Secretary
City Hall
1700 Convention Ctr. Dr.
Miami Beach, Fl. 33139

Re: Zoning Board of Adjustment
File # 2453
Morton Towers
1500 Bay Road
Miami Beach, Florida 33139

Dear Ms. Hirsch:

As requested by your letter dated July 28, 1995, enclosed please find the original Order of the Zoning Board of Adjustment entered in the matter regarding the above-referenced file number. I have provided to the City Attorney's office on August 3, 1995, a copy of the Order which was recorded in the public records of Dade County, Florida.

Very truly yours,

MORTON TOWERS

A handwritten signature in dark ink, appearing to read "Glenn Sommer".

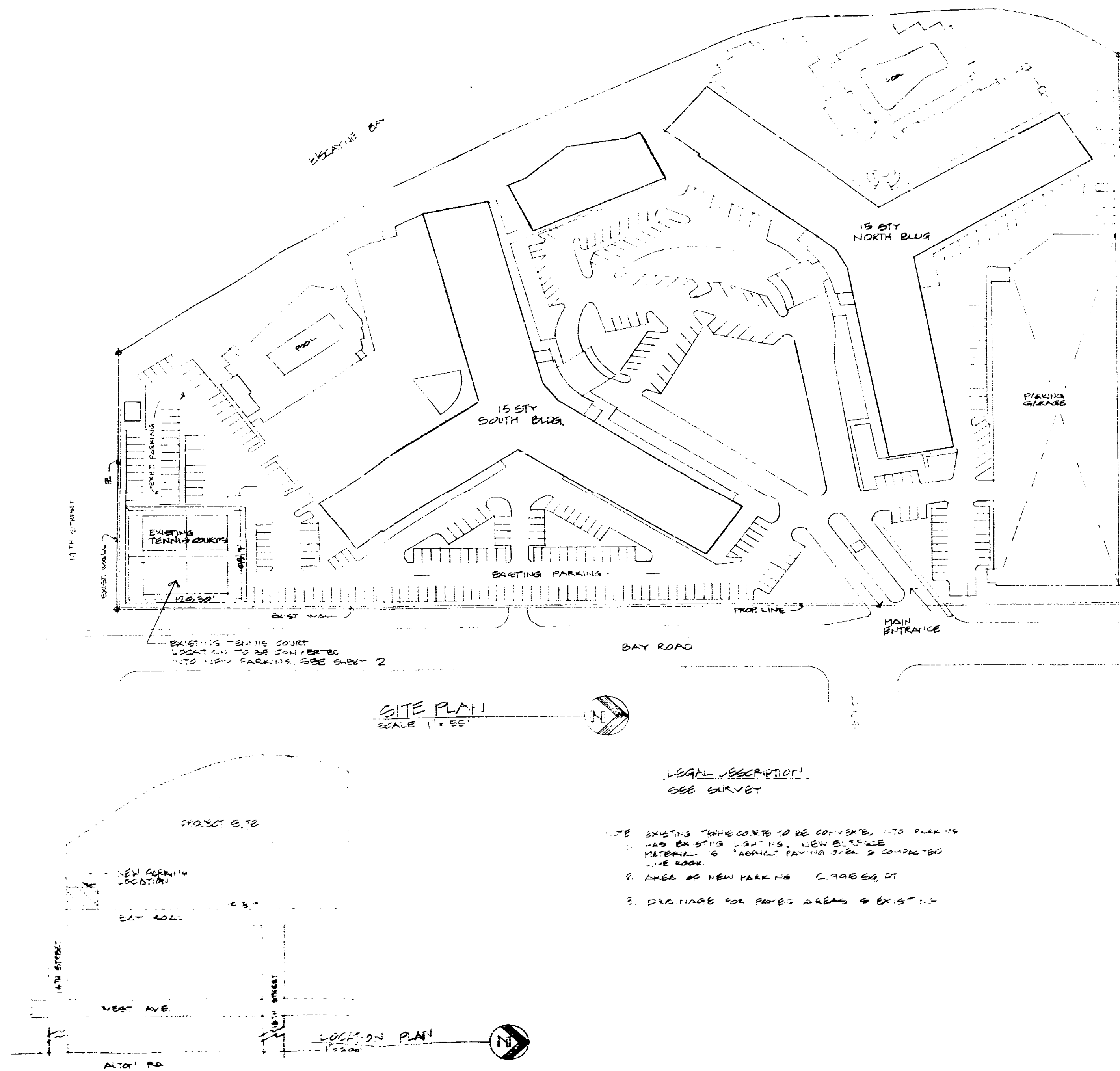
Glenn Sommer
House Counsel

GS/jf

RECEIVED
95 AUG 11 PM 2:08
PLANNING AND ZONING

Fifteen Hundred Bay Road • Miami Beach, Florida 33139
Executive Offices Leasing Offices
05/672-6405 Fax: 305/672-7813 305/672-4461 Fax: 305/672-8513

43



PERMIT COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

MECHANICAL:	12/22/96
FIRE PREVENTION:	12/22/96
ENGINEERING:	12/22/96
PUBLIC WORKS:	12/22/96
STRUCTURAL:	12/22/96
ACCESSIBILITY:	12/22/96

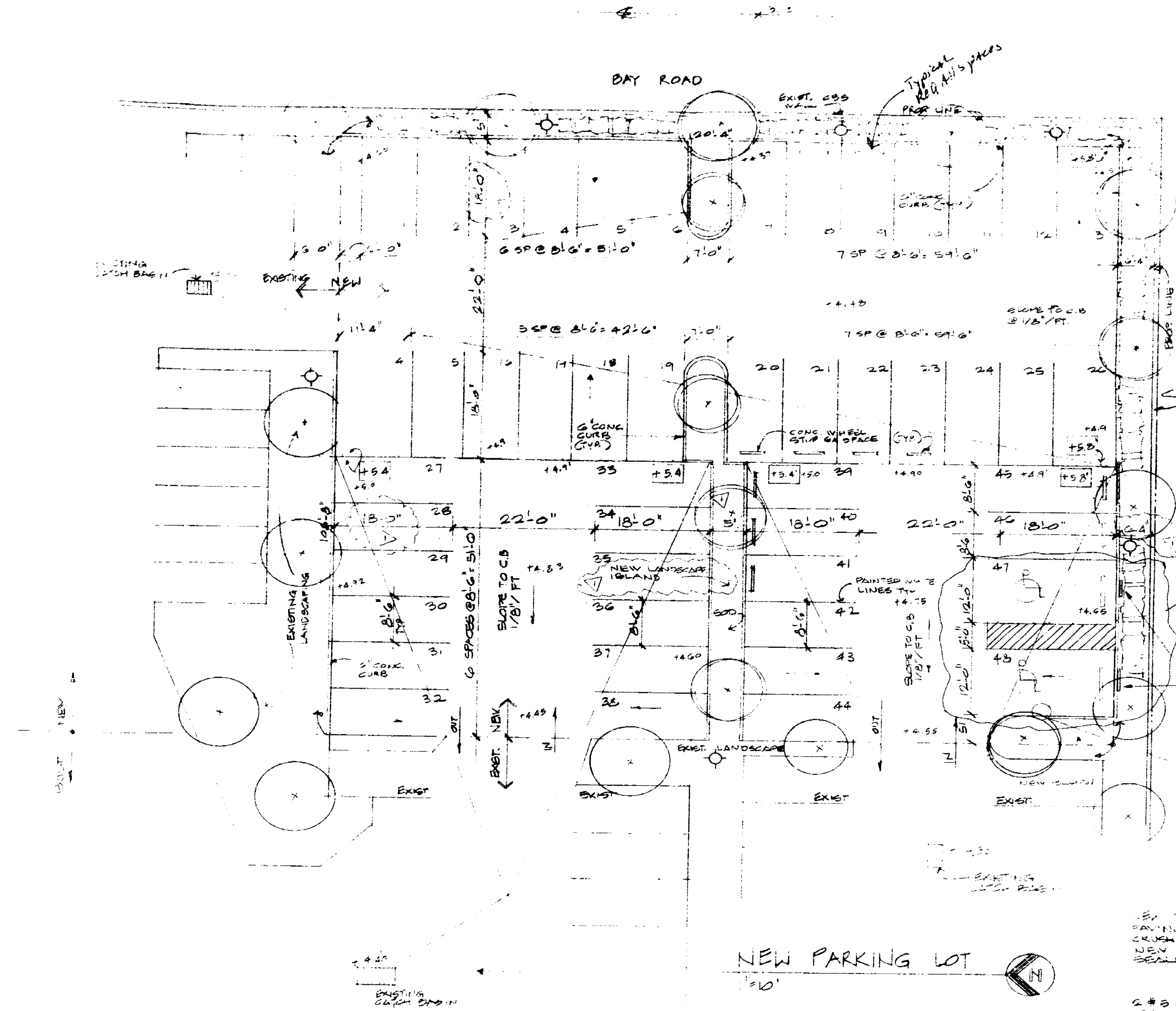
NEW PARKING LOT CONVERSION

CONSULT

SEAL

1

1/1/97
R. 1/1/97



LEGEND OF SYMBOLS

+4.3 = EXISTING H.S. ELEVATION
 +3.4 = H.S. (H.S. ELEVATION)
 ○ = EXIST. PILE LIGHT
 ○ = EXISTING PILE LIGHT 5'-20"

NEW SHED TREE
 EXISTING PILE LIGHT
 EXISTING PILE LIGHT (H.S. ELEVATION) 30'-40"

NOTE:
 1. EXISTING TENNIS COURT SURFACE TO REMAIN
 2. EXISTING TENNIS COURT SURFACE TO REMAIN
 3. EXISTING TENNIS COURT SURFACE TO REMAIN

TOTAL PARKING AREA 2,435 SQ. FT.
 45 SPACES
 2 HANDICAP SPACES

- NOTE:**
1. PROVIDE CONCRETE CURB AND SPACES
 2. EXISTING TENNIS COURT DRAINAGE TO EXISTING CATCH BASIN. NEW PARKING AREA WILL HAVE SAME DRAINAGE.
 3. EXISTING TENNIS COURT SURFACE TO REMAIN. NEW PARKING AS SHOWN.
- EXISTING 5' HIGH MASONRY WALL
 4' H.S. OF ASPHALT PAVED DRIVEWAY

OFFICE COPY
 CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

SUBMITTER:	
DESIGNER:	
ENGINEER:	
ELECTRICAL:	
MECHANICAL:	
FIRE PREVENTION:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ACCESSIBILITY:	01/02/28/96

MAXIMUM SLOPE OF 2%
 ALL DIRECTIONS

ACCESSIBLE
 HANDBICAPPED SIGN, MOUNT ON STEEL POST
 54" ABOVE GRADE

4' x 4' x 4' SIGN
 2' x 2' x 2' SIGN
 2' x 2' x 2' SIGN

PROPOSED LINE OF PARKING
 PRECAST CONG. CAR STOP Typ. 10' x 10' x 10'

NEW ASPHALT PAVING ON CONG. CRUSHED ROCK, REPAIR NEW ASPHALT SEALER
 2" x 3" STEEL RODS
 6' LONG

PRECAST CONG. CAR STOP
 10' x 10' x 10'

Signature
 01/02/28/96

B9601207

CERTIFICATE OF AUTHENTICITY
END

THIS IS TO CERTIFY THAT THE MICROPHOTOGRAPHIC IMAGES APPEARING ON THIS
ROLL OF MICROFILM ENDING WITH: 110

B 96 01 207

ARE ACCURATE REPRODUCTIONS OF THE RECORDS OF: _____

City of MIAMI BEACH

AND WERE MICROFILMED IN THE REGULAR COURSE OF BUSINESS PURSUANT TO
ESTABLISHED ROUTINE MICROFILM DEPOT POLICY FOR SYSTEMS UTILIZATION AND/
OR FOR THE MAINTENANCE AND PRESERVATION OF SUCH RECORDS THROUGH THE
STORAGE OF SUCH MICROFILMS IN PROTECTED LOCATIONS.

IT IS FURTHER CERTIFIED THAT THE PHOTOGRAPHIC PROCESSES USED FOR MICRO-
FILMING OF THE ABOVE RECORDS WERE ACCOMPLISHED IN A MANNER AND ON
MICROFILM WHICH MEETS THE RECOMMENDED REQUIREMENTS OF THE NATIONAL
BUREAU OF STANDARDS FOR PERMANENT MICROPHOTOGRAPHIC REPRODUCTIONS.

1/28/98
Date Microfilmed

Francisco Pava
Camera Operator

Job Ticket Number

[Signature]
Authorized Signature

Final City Council approval granted on 8/5/59 for 14 story Apt building containing 1,270 apts. Parking space to be provided for 395 cars for cars on this permit. TOTAL spaces to be provided for all proposed apts to be 694. (Spot Survey - T.J.F. - 5/8/62)

O.K. Sap-Approved by Council on Jan. 20, 1960, for 14-story bldg containing 1036 apartments, 100 hotel rooms, ersstein? Foundation permit issued in accord. with par. 1.02.02.07 of Bldg Code as to partial plans submitted. 14-story bldg made up of 2 Y-shaped & connected structure. This permit for south wing only.

Owner Morton Towers (Flamingo Building Corp.) (SOUTH WING) Permit No. 61257 Cost \$4,000,000.00

Lot 7 Block 43 Subdivision Alton Beach Bay Address 1500 Bay Road 3232-07-003

General Contractor Robert L. Turchin, Inc. 8077 Bond No. 6689 598 Unit

Architect Melvin Grossman Engineer Oboler & Clarke (Guard House)

Zoning Regulations: Use BAA Area 8 Lot Size 400 x 1100 Irreg.

Building Size: Front 64' Depth 600' Height 150' (Total 598 apts.) Stories 14

Certificate of Occupancy No. Partial #3797 Feb. 23, 1961 Use APT. HOTEL 157 Effys; 28-1 Brm, 2 1/2 Baths; 229-1 Brm, 1 Bath; 170-2 Brm, 2 Baths; 14-3 Brm, 3 Baths.

Type of Construction CBS I Foundation Concrete Piling Roof Flat Date Feb. 18, 1960

PLUMBING Contractor #42529 Markowitz Bros. Sewer Connection 1 Date Aug. 15, 1960

Addition to Permit #42529 is Permit #42572- Sept. 20, 1960 Temporary Water Closet

Water Closets 400 Swimming Pool Traps Down Spouts 5

Lavatories 400 Steam or Hot Water Boilers Wells

Bath Tubs 360 SILL COCKS- 4

Showers 15 ROUGH APPROVAL O.K. Rothman 12/19.60 (So. Wing)

Urinals 2 FINAL APPROVAL O.K. Rothman 2/23/61 (So. Wing)

Sinks 300

Dish Washing Machine 100 GAS Contractor Date

Laundry Trays 16 Gas Ranges Gas Frylators

Laundry Washing Machines 30 Gas Water Heaters 2 Gas Pressing Machine

Drinking Fountains Gas Space Heaters Gas Vents for Stove

Floor Drains 16 Gas Refrigerators

Grease Traps Gas Steam Tables

Safe Wastes Gas Broilers GAS Rough APPROVAL

AIR CONDITIONING Contractor #64212 Markowitz Bros: 2-500 ton systems - \$300,000 - 2/10/61 O.K. Plaag 2/23/61 Wing) SO.

SEPTIC TANK Contractor OK Plaag 2/28/61

OIL BURNER Contractor 2

SPRINKLER Contractor

ELECTRICAL Contractor Max Belinc. #55961 Date 10/26/60 B & W Elec.

Switches 3750 Ranges 600 Temporary Service #1 (#54899) 3/17/60, & #55040-4/25/60 OK 5/2/60

OUTLETS Lights 4000 Irons 600 Neon Transformers 1 (#55961)

Receptacles 5000 Refrigerators 600 Sign Outlets

T.V. antenna 1 Fans 75 Meter Change

2(500 HP) 2(75) 5(6-10) ----- Motors 700(0-1)8(2-5) Centers of Distributions 610

HEATERS Water Appliances 104 Service equip. 3

Space T.V.outlets 700 Violations

FIXTURES 4000 Electrical Contractor Date

FINAL APPROVAL

By FIDLER

Date 2-22-61 (South Wing)

Fidler

55108 Max Belin: Partial Permit - May 11, 1960 (#55233 Max Belin: Partial- 6/6/60

Building Permits:

#00718-Geor. L. Simonds Co.-Repair Boiler Stack-\$3365.00-3-15-72

#00724-George L. Simonds Co.-Repair Trash Chute-\$1700.00-3-16-72

#Premise Permit#85939 dated 11-3-72, 598 units-11-3-72

Premise Permit 09664- fee \$150-8-31-76

#12194-S de Blasio dba S & S Improvments-Asphalt base for Tennis Court-\$6000-10-13-77

#23858 5/3/83 Se-Go Ind/Security Windows install 3 awning type windows \$441.

#25343 5/18/84 Airduct Inc demo of non-bearing walls and carpet \$1,100.

#MO6791 6/27/84 Chanin Air Inc - duct work only install 26 ceiling grills: note all supply and return ducts will be equipt with fire dampers valuation \$6,000.

Plumbing Permits:

#11062 Edwin H. Green Inc. 1 Swimming Pool Piping Re-do 2/10/69

#57728-Pro Plumbing- 2 risers-10-8-79

CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED

DATE	PROCESS	DESCRIPTION	WORK	CUMULATIVE	APPRAISED BLDG.		BUILDING
ISSUED	NO.	OF WORK	COST	WORK COST	VALUE BEFORE REMODEL	%	PERMIT NO.
7/13/89		EXT. PRSSR CLEAN/PAINT, N Bldg 693 units	#815.60				B5891699 JSE

1500 Bay Rd

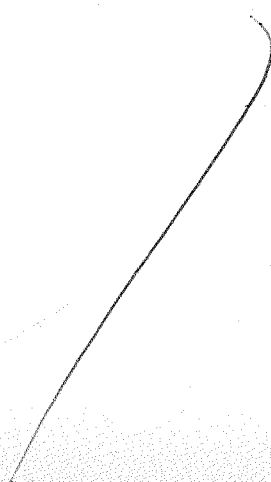
BUILDING PERMITS: #M9645 - Icee Corp. - 1-2 A/C central, duct work only - 12-23-87 Apt. 274
#M9672 - Acme Chute Co. - Chute Repairs - 1-5-88
#M8801383 - Alltmeper, Inc. - 1 A/C central - 8-31-88
#BS891699 - EDDY'S PAINTING & WTRPRFNG - EXT.PRSSR CLEAN/
PAINT-n BLDG 693 UNITS - 7-13-89 \$815.00
#BM891112 - A&B A/C - 29000 BTU A/C wind - 8-22-89
#BM890047 - J&T A/C - 1-29000 BTU A/C wind - 10-18-89

PLUMBING PERMITS: #64974 - 1 Bath Tub, 1 lavatory, 1 sinkc residence, 1 water closet - 1-14-88

ELECTRICAL PERMITS: #E8800034 - Borges Electrical Contractors - New smoke detectors installation-
10-7-88
#E8800335 - Borges Electrical - Smoke detector - 12-14-88
#E8800347 - Alltem Inc. - 12-19-88 - New central A/C unit

"60016 1/26/82 Rusty Plumbing - water pipe repair

Electrical Permits:



Building Permits:

- #62708 Westinghouse Electric Corp: Install 4 passenger elevators (automatic) 250' per minute, 15 HP motor, capacity 2500#, install 1 servive elevator (automatic) 200' per minute, 20 HP motor, capacity 3500#- \$165,000- Aug. 16, 1960
- #63445 Markowitz Bros: Install 1 fuel oil tank 1000 gal & 500 gal diesel oil tank both underground, Fire Dept #3976 on 10/27/60- \$1,000 - Nov. 2, 1960
- #63762 Acme Septic Co., Inc: Install underground drainage for parking area- Architect-Bailey Breedlove-\$13,000-11/30/60
- #63910 Robert L. Turchin: Connecting building to connect with existing building & future building - 2 stories - 216' front, 74' depth, 25' height - Mel Grossman, Architect - Oboler & Clark, Engineer - Conc. Piles - Accessory use as coffee shop and lounge on 2nd floor, stores on 1st floor - \$80,000.00 - Dec. 16, 1960 WC 2/18/63 LWL
- ~~#64212 Markowitz Plumbing & Heating Co: Install~~ #64407 (Heavy Construction) Inc: Remodel present dock - \$12,000- 3/15/61
Transferred To Little River Marine Construction Co.
- #64567 Miami Elevator: Install automatic elevator 2500#, 15 HP motor (passenger), this is in the 2-story connecting wing - \$8500 - April 10, 1961
- #64594 Brandon Air Conditioning Corp.: 2 3-ton cooling coils for dental office - \$600. - April 13, 1961 OK Plaag 4/28/61
City Council denied interpretation of Zoning ordinance to allow liquor license for this building as hotel with 100 or more guest rooms on May 3, 1961
- #67049 Claude Southern Corp.: 1.5 x 3', 4.5 sq. ft. - horizontal projecting sign - POLICE - STOP - \$125.00 - 4/5/62
- ZONING BOARD OF ADJUSTMENT ON: MARCH 15, 1963, DENIED REQUEST FOR OPERATION OF "TAKE OUT" SHOP IN CONJUNCTION WITH, BUT LOCATED IN SPACES OTHER THAN, THE EXISTING RESTAURANT FACILITY IN THIS BLDG.**
- ON NOVEMBER 1, 1963 ZONING BD. OF ADJUSTMENT DENIED VARIANCE TO PERMIT OPERATION OF TV & RADIO REPAIR SHOP IN BASEMENT AREA. FILE #242.**
- #14288 - American Davits Corp. - repair 20 timber dock and 20 timber mooring pile in the South dock facility - \$4,360. - 12/5/78
- #21334 12/11/81 Carruth Roofing - reroof \$300,000.

Plumbing Permits:

#42643 Markowitz Bros: 2 steam boilers - 11/2/60

- #42721 Markowitz Bros: 2 - Sewers, 12"-4", 7 water closets, 6 lavatories, 4 showers - Dec. 15, 1960
- #42745 Markowitz Bros: 2 gas boilers, 1 gas incinerator - Jan. 3, 1961
- #42812 M. S. Plbg: 5 lavatories, 3 dental chairs - Feb. 24, 1961 OK ROTHMAN 5/18/61
- #42820 Economy Plbg: 2 water closets, 2 lavatories, 1 gas line - March 8, 1961
- #42839 Economy Plbg: 4 temp. water closets, 1 water closet, 1 lavatory - 3/27/61 OK ROTHMAN 5/18/61
- #43530 Gunn Plbg. : 1- Lavatories, set; 1 shower 11/2/62 (Morton Towers Beauty Shop) OK Jenks 11/13/62
- #47062 Edwin M. Green Inc. 1 swimming pool piping re-do 2/10/69
- #56173-Rusty Plumbing- repairs to water piping-6-8-78 NORTH WING
- #57477-Pro Plumbing- repipe \$15- 1 riser-7-23-79
- #57553-Pro Plumbing- repipe riser-8-15-79

Electrical Permits:

- #55305 Max Belin: 4 light outlets, 4 fixtures, 1 center of distrib - 6/17/60 (Fla Power & Light) OK 7/5/60 Fidler
- #56151 Lyon Elec: 1 Temp. Service - Dec. 12, 1960 OK 1/3/61 Fidler
- #56223 Max Belin: 1 Temp. Service - Dec. 29, 1960 OK 1/3/61 Fidler
- #56342 Max Belin: 200 receptacles, 50 light outlets, 50 fixtures - 2-9-61
- #56355 Max Belin: 3 switch outlets, 6 receptacles, 10 light outlets, 10 fixtures- 2/16/61
- #56450 Jones Elec: 2 Telephone Booths - March 17, 1961
- #56552 Angler Elec: 10 switch outlets, 20 receptacles, 12 light outlets, 12 fixtures, 6 appliance outlets, 2 motors (1HP), 1 radio intercom - April 10, 1961 OK Fidler 6/22/61
- #64020 M. B. Electrical Exhib. Serv.: 32 fixtures; 2 motors, 2-5 hp; 2 cent. of dist. - 10/13/66

CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED

DATE	PROCESS	DESCRIPTION	WORK	CUMULATIVE	APPRAISED BLDG.			BUILDING
ISSUED	NO.	OF WORK	COST	WORK COST	VALUE BEFORE REMODEL	%	COMMENTS	PERMIT NO.
6-12-89		REPLACE 400 EXT DOORS (PERM. PEAD. 800 MORE)	\$25,000.00					SB89145

BUILDING PERMITS: #SB891443 - Francisco Duques - 6-12-89 - Replace 400 ext. doors (Perm. Pend.
800 More) - \$25,000.00

502 PARADING SPACES PROVIDED AS REQUIRED. FOR BOTH NORTH AND SOUTH WINGS - SOUTH WING SHOWN ON PERMIT #61257
TOTAL APARTMENTS FOR BOTH WINGS ARE 1291 APARTMENTS.

Owner MORTON TOWERS CO. (NORTH WING)

Permit No. 64529

Cost \$4,000,000.

OK BLDG.
Saperstein
3/27/62

Lot 7 Block 43 Subdivision ALTON BEACH BAY

Address 1500 Bay Road

General Contractor Robert L. Turchin, Inc.

Bond No.

3233-07-003

Architect Melvin Grossman

Engineer Oboler & Clark

Zoning Regulations: Use BAA

Area 8

Lot Size 400 x 1100 Irreg.

Building Size: Front 64'

Depth 600'

Height 150'

Stories 14

Certificate of Occupancy No. Temp. #3844 dated 11/27/61

Use APT. 270 Eff. 228 1BR, 1Bath; 151 2BRm, 2Bath

Type of Construction CBS I Temp. #3848 dated 12/5/61

(Total Units - 693) 44 1-Bdrm, 1 1/2 Bath

Foundation Conc. Piles

Root Flat

Date APRIL 5, 1961

PLUMBING Contractor Dade Plumbing Co. #42880

Sewer Connection - 1, 8"

Date May 11, 1961

Temporary Water Closet

Water Closets 833

Lavatories 834

Bath Tubs 684

Showers 149

Urinals 2

Sinks 679

Slop Sink: 1

Dish Washing Machine

Laundry Trays 13

Laundry Washing Machines

Drinking Fountains

Floor Drains 16

Grease Traps

Safe Wastes

AIR CONDITIONING Contractor #64956 - Imec of Fla., Inc. - \$165,000. - 550 tons air cond. system, north & central bldg.

SEPTIC TANK Contractor

OIL BURNER Contractor 1

SPRINKLER Contractor

Sill Cocks - 6

Swimming Pool Traps

Steam or Hot Water Boilers 2

ROUGH APPROVAL

FINAL APPROVAL OK ROTHMAN 3/26/62

GAS Contractor

Gas Ranges

Gas Water Heaters

Gas Space Heaters

Gas Refrigerators

Gas Steam Tables

Gas Boilers

GAS Rough APPROVAL

GAS FINAL APPROVAL

Date

Gas Frylators

Gas Pressing Machine

Gas Vents for Stove

Down Spouts 4

Wells

#3227
=

ELECTRICAL Contractor #56759 Max Belin Date May 23, 1961

OUTLETS Switches 4275 Ranges 679 Temporary Service

Lights 4337 Irons 679 Neon Transformers

Receptacles 6210 Refrigerators 679 Sign Outlets

Fans Meter Change

Motors 700, 0-1 h.p. Centers of Distributions 725

HEATERS Water Appliances 4, 2-5 h.p. Service Equip. - 1

Space 11, 6-10 hp Violations

2, 11-25 hp

AL APPROVAL

Scarborough

3/27/62

11-15-61 City Council approved grant of liquor license to Morton Towers. Spot Survey - T.J.F. - 5/8/62

Building Permits:

Premise Permit #85938 dated 11-3-1972, 693 units, \$150-11-3-72

#88970-Atlantic Building-Interior alterations-\$5000-12-19-75

#08647-Acolite Sign-Pole Sign-\$200-2-23-76 Washington Federal

#08648-Acolite Sign-Flat Wall Sign-\$100-2-23-76-Washington Federal

#09664-Premise Permit-fee \$150-8-31-76

#13651-Owner-Repair boat dock, railings and dock-\$3000-8-3-78

#13686-Owner-Repairing, plastering and tile walls-\$5000-8-11-78

#13741-American Davits Corp.-Repair 64 timber dock piles and 9timbers morring pile on the north dock facility-\$7950-8-22-73

#15466-James M. Anderson, Inc.-Repair walkway along seawall-\$5500-809-79

#17389-Acolite Sign-Washington Savings-Sign-\$300-1-17-80

#17388-Acolite Sign-Washington Savings- Signs-\$300-1-17-80

~~#M05620xxx2/1/82xxxRustyxxPlumbingxx~~

#31338 - 11-18-87 - Rebuild Construction - Fire Damaged - \$35,000.00 C

BUILDING PERMITS CONTINUED: #25898 9/13/84 Claude Maint add 2'x6' s/f panel to exist pylon 12 sq.ft. \$250.
#MO8180 6/16/86 Sam L. Hamilton Inc - air cond wind, l e est val \$3,250. exact replace
#29688 1/12/87 owner remove old fence and install a masonry wall 5 t hi same location \$4,700.
#29794 2/5/87 owner interior painting and plastering super market \$200.

ELECTRICAL PERMITS: #79871 11/21/84 GHC Elect - replace starter for exhaust fans gen
#79955 1/8/85 GHC Elect - 10 recept, replacement of old outlets on dock
#81242 7/28/86 Holbrook Elec - 250 hp motor

PLUMBING PERMITS #61884 12/13/84 Peoples Gas - 1 meter set gas

#55330-Greens Pool Service- 1 filter replacement pool-10-11-776

#56155-Greens Pools- 1 water supply to swimming pool-6-8-78

Electrical Permits: #56557 Max Belin: 1 Sub-Feeder - Apr. 11, 1961

#56558 Max Belin: 1 Sub-Feeder - April 11, 1961

#56682 Max Berlin on Morton Towers Rental Office: 6 switch outlets, 7 receptacles, 6 light outlets, 21 fixtures, 1 center of distribution, 1 service equipment, 1 motor 2-5 HP; 5/5/61

#57894 Claude Southern: 8 light outlets - 2/9/62 (Bldg. Permit #66805)

#58026 Tri-City Elec. Co., Inc.: 7 fixtures - 3/22/62 OK Scarborough 4/2/62

#58043 Tri-City Elec. Co., Inc.: 10 light outlets; 10 fixtures - 3/28/62 OK Scarborough 4/2/62

#58096 Astor Elec: violation - 4/10/62 OK SCARBOROUGH 4/10/62

#58235 Ben's Elec.: 8 fixtures - 5/23/62 OK Scarborough 6/9/62

#58354 Ben's Elec.: 2 fixtures - 6/18/62 OK Scarborough 6/15/62

#59635 Ben's Elec: 2 appliance outlets-5/23/63

#62078 Acolite Sign Co.: 2 Neon Transformers - 3/15/65

#67520 Miami Beach Elec Ex Service: 6 light outlets, 6 fixtures 11/19/69

#67719 - Holbert Elect. - 1120 15th St. - 1 motors 2-5 HP 2/20/70

#72368- Levitz Electric- Fire Protectin System 2 central system 252 outlets-6-27-75

ALTERATIONS OR REPAIRS

Building Permits: #65131 Westinghouse Elec Corp: 4 passenger elevators, capacity 2500# - 15 hp motors; 1 freight elevator, 2500# - 15 hp motor - \$185,000.00 - June 15, 1961

#66407 R. L. Turchin: 80' x 36' concrete pool on piling - State Board of Health Approval Serial #SP 1-303, 9/8/61 - \$35,000. - 11/21/61 (Melvin Grossman, Architect; John K. Sasnett, Engineer) WC 2/18/63 LWL

#66597 Morton Feit Refrigeration: Install kitchen refrigeration machines - \$3600. - 12/28/61 OK Plaag 1/12/62

#66805 Claude Southern: Roof sign, plastic face, internally illuminated "Morton Towers" - (on guard house) - \$700, 2/9/62

#68332 Little River Marine Construction Co: Replace existing dock - 5,960.00 10/29/62

ON JUNE 14, 1963, ZONING BD. OF ADJUSTMENT DENIED PUBLIC HEARING FOR VARIANCE TO PERMIT OPERATION OF TV & RADIO REPAIR SHOP IN BASEMENT AREA, NOT VISIBLE FROM PUBLIC WAY & NOT ADVERTISED TO EXTERIOR OF BLDG. (211)

#73703 Acolite Neon Sign Co.: 6 x 10 roof sign MORTON TOWERS - \$500 - 3/15/65

#80467 Atlantic Foundations Inc. Repair 50' of Sea Wall as per plan \$5500.00 6/13/68 *OK by HAN 10/25/67*

#22031 4/16/82 Signs of All Kinds - erect sign and change of copy \$1,000.

#23855 5/3/83 Se-Go Ind/Security Windows install 2 sliding glass doors 15th fl remove old install \$850.

#MO6264 7/1/83 Airko Air Cond - exact changeout \$8,000 replace of primary air unit 47 tons no heat

#MO6810 7/5/84 Commercial Installers mech ventilation,

#91321 7/16/84 Turchin Bros - partitions, ceiling, bathrooms, lighting, (exist diningroom) \$78,000.

#25623 7/18/84 Hydro Clean Inc - exterior painting white only \$3,700.

PLUMBING PERMITS

#61661 7/25/84 Right Way Plumb - 1 rgh, 1 set dishwasher, 2 rgh, 2 set floor drain, 6 rgh, 6 set lavatory
2 rgh, 2 set sink pot/3 comp, 1 rgh, 1 set sink slop, 2 rgh, 2 set urinal, 6 rgh, 6 set water closet
14 indirect wastes, 4 gas range

ELECTRICAL PERMITS

#78298 11/29/82 Ocean Elect - 1 switch outlet, 1 motor 0-1 hp

#79629 8/7/84 - Bennett Elec Serv - 18 switch outlets, 101 light outlets, 35 receptacles, 12 appliance outlets, 1 water heater, 7 comm. outlets, 185 fixtures, 100 A service amp's \$204.75

#79702 9/13/84 Claude Maint 2 sign tubes

#79720 9/21/84 GHC Elect - 220 fixtures,

Electrical Permits:

#72844-Branam Electric- 5 switch outlets; 10 light outlets; 25 receptacles; 80 fixtures-1-12-76

#72928-Acolite Sign- 3 lamps-Washington Federal-2-23-76

#82578 - Florida Protective Lines Inc. - 977 Smoke Detectors - 11-16-87

#82610 - Cayamas Electric - 5 Switch outlets, 5 light outlets, 9 receptacles, 1 service size in amp's 100A, 2 appliance outlets, 1 range top, 1 oven, 1 water heater, 1 A/C - 11-23-87

COASTAL CONTROL ZONE

CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED

DATE	PROCESS	DESCRIPTION	WORK	CUMULATIVE	APPRAISED BLDG.			BUILDING
ISSUED	NO.	OF WORK	COST	WORK COST	VALUE BEFORE REMODEL	%	COMMENTS	PERMIT NO.
1-12-87		NEW MASONRY WALL	\$4700	\$4700				29688
2-5-87		PAINT and plaster ext.	200	4900				29794.
11-18-87		FIRE DAMAGED	\$35,000.00					31338

Owner Y. M. & Y. W. H. A.
COMMUNITY CENTER

8075

Permit No. 25197

Cost \$60,000.-

Lot 6

Block 43

Subdivision Alton Beach Bay
Front

Address 1536 Bay Road

General Contractor King Dansky

Architect A. Herbert Mathes

Bond No. Priority #40-20-5

Engineer Approved City Council: May 21/47

Zoning Regulations: Use RE

Area 8

Lot Size 227 x 624

Building Size: Front 49

Depth 176'8

Height 18

Stories 1

Certificate of Occupancy No.

Use

Type of Construction #1 c/b/s

Foundation concrete piling

Roof concrete slab

Date August 19/47

PLUMBING Contractor #25492 - C. Ray Martin
#26157 - C. Ray Martin

Sewer Connection 1

Date Aug. 19/47

Temporary Water Closet 2

Water Closets 10

Lavatories 7

Bath Tubs

Showers 2-outside stalls

Urinals 3

Sinks 1 (kitchen); 2 (slop)

Dish Washing Machine

Laundry Trays

Laundry Washing Machines

Drinking Fountains 2

Floor Drains

Grease Traps

Safe Wastes

AIR CONDITIONING Contractor

SEPTIC TANK Contractor 1- 400 gals.

OIL BURNER Contractor

SPRINKLER Contractor

Swimming Pool Traps

Steam or Hot Water Boilers

Down Spouts

Wells

ROUGH APPROVAL

FINAL APPROVAL

GAS Contractor

Gas Ranges

Gas Water Heaters

Gas Space Heaters

Gas Refrigerators

Gas Steam Tables

Gas Broilers

Gas Stoves: 1

Gas Heaters: 1 (water)

GAS TURNED ON, APPROVED: O'NEIL, MARCH 19/48

Date

Gas Frylators

Gas Pressing Machine

Gas Vents for Stove

GAS Rough APPROVAL

GAS FINAL APPROVAL

ELECTRICAL Contractor #25783, Astro; #25319, Astor Date 2/3/48; 11/25/47

OUTLETS Switches 44

Lights 72-6

Receptacles 36

Ranges

Irons

Refrigerators 1

Fans

Motors

Appliances

Temporary Service

Neon Transformers

Sign Outlets

Meter Change

Centers of Distributions 3

Service

Violations

HEATERS Water
Space

FIXTURES 80, 12

Electrical Contractor

Date

FINAL APPROVAL

By

Date

Alterations or Repairs Over

ALTERATIONS & ADDITIONS

#31390 - addition, of screened playroom - M. Ungaro, architect; Robert Turchen, contr.,
8x12x8 - 1 story, spread footing, foundation, gravel, roof - \$600.-

Building Permits:

Nov. 14/49

- #56426 - Giller & Fryd: 20'6 x 127'4 addition along north side of present building, 14' high,
7 additional school rooms, approval of City Council, June 4/58 - \$10,000.00 - June 11/58 -
Gilbert Fein, arch., Morton Fellman, Engineer, concrete piles, cbs II, flat roof 8/9/62
- #67428 - Miami Air Conditioning; 1 -15/ton pkg. unit a/c system (used) - \$3000.00 - 6/12/62 OK, PLAAG
- #73899 - Kwart Sheet Metal Works: exhaust fan, duct, & hood - \$600.- 4/19/65, OK, PLAAG, 4/21/65
- #80715 - J & M Engineering - demolish 140' of cbs on N.E. corner of property, \$600.- 7/25/68

#14247-Keyes-For Sale ign-11-27-78

Plumbing Permits:

Electrical Permits:

- #25069 - Astor Electric; 12 light outlets, partial
- #27842 - Astor Electric; 1 switch outlet, 1 light outlet; 5 receptacles; 11/7/48
- #53166 - Jonesey Electric - 6 switch outlets, 11 receptacles, 10 light outlets, 14 fixtures, 1 center of
distribution, 1 service equipment, January 5/59
- #58558 - Gates Electric - 1 service equipment, 1 motor, 0-1 hp; 1 motor, 2-5 hp; 1 motor, 11-25 hp;
7/30/62 - OK, FIDDER - 10/19/62

BUILDING PERMITS: #92467 - 3-18-88 - Caribe Const. and Paving - Repave existing paving area, fill area with gravel stones to allow more clean parking spaces - \$12,500.00
#SB880096 - 10-24-88 - Owner - Repair coral rock fence - \$580.00 *OK*

CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED	
1960	100
1961	100
1962	100
1963	100
1964	100
1965	100
1966	100
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1968	100
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