6050 N BAY ROAD

6050 N BAY ROAD
MIAMI BEACH, FL 33140
FOLIO #02-3215-003-0140
JULY 09, 2020

DRB20-0572 FINAL SUBMITTAL - AUGUST 10

SCOPE OF WORK: NEW TWO STORY SINGLE FAMILY HOME WITH WAIVERS FOR SIDE ELEVATIONS EXCEEDING 60'LENGH TO MEET OPEN SPACE REQUIREMENT

ARCHITECT

KOBI KARP ARCHITECTURE AND INTERIOR DESIGN, INC

2915 BISCAYNE BLVD. SUITE 200
MIAMI, FLORIDA 33137
TEL: 305.573.1818
FAX:305.573.3766

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c)

Owner:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

STATE OF FLORIDA
KOBI KARP
AR0012578
REGISTERED ARCHITECT
13:33:04'00'

KOBI KARP

6050 N. BAY
FLOOR PLANS

Date:	Sheet No.
Scale:	A1.00
Project:	

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	ZONING INFORMATION				
1	ADDRESS:	6050 N BAY RD			
2	FOLIO NUMBER(S):	02-3215-003-0140			
3	BOARD AND FILE NUMBERS:	N/A			
4	YEAR BUILT:	1951	ZONING DISTRICT:		RS-2 (SINGLE FAMILY)
5	BASE FLOOD ELEVATION:	8'-0" NGVD	FUTURE GRADE VALUE IN NGVD:		N/A
6	GRADE:	3.3' NGVD	AJUSTED GRADE:		6.15 NGVD
7	LOT AREA:	20,104 SF	GROUND FLOOR ELEVATION:		10'-0" NGVD
8	LOT WIDTH:	80'-0"	LOT DEPTH:		254'-2"
9	MAX LOT COVERAGE SF AND % ALLOWED:	6031 SF (30%)	PROPOSED LOT COVERAGE SF AND %:		4901 SF (24.3%)
10	EXISTING LOT COVERAGE AND %:	3915 SF (19.8%)	PROPOSED GARAGE SF:		766 SF (500 SF REDUCTION FOR UNIT SIZE AND LOT COVERAGE)
11	PROPOSED FRONT YARD OPEN SPACE AND %:	1584 SF (66.4%)	PROPOSED REAR YARD OPEN SPACE AND %:		2028 SF (70.6%)
12	MAX UNIT SIZE AND % ALLOWED:	10052 SF (50%)	PROPOSED UNIT SIZE SF AND %:		9200 SF (45.7%)
13	EXISTING FIRST FLOOR UNIT SIZE SF AND %:	N/A	PROPOSED FIRST FLOOR UNIT SIZE %:		4635 SF (23%)
14	EXISITING SECONF FLOOR UNIT SIZE SF AND %:	N/A	PROPOSED SECOND FLOOR UNIT SIZE %:		4298 SF (21.3%)
15		N/A	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND %		N/A
16	EXISTING UNIT SIZE (*ADJUSTED AREA TAKEN FROM MIAMI PROPERTY SEARCH)	3915 SFT	PROPOSED ROOF FLOOR AREA SF AND % (NOTE: MAXIMUN IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):		N/A
		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	28'-0" FLAT ROOFS	N/A	28'-0" FLAT ROOFS	N/A
18	SETBACKS:				
19	FRONT FIRST LEVEL:	20'-0"	N/A	30'-0"	N/A
20	FRONT SECOND LEVEL:	30'-0"	N/A	30'-0"	N/A
21	SIDE 1: NORTH	9'-8"	N/A	10'-0"	N/A
22	SIDE 2: SOUTH	9'-8"	N/A	10'-0"	N/A
23	REAR:	38'-0"	N/A	38'-0"	N/A
24	ACCESSORY STRUCTURE SIDE 1:	7'-6"	N/A	7'-6"	N/A
25	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A	N/A	N/A	N/A
26	ACCESORY STRUCTURE REAR:	N/A	N/A	N/A	N/A
27	SUM OF SIDE YARD:	19'-3 1/2" (25%)	N/A	20'-0"	N/A
28	LOCATED WITHIN A LOCAL HISTORIC DISTRICT:		NO		
29	DESIGNATED AS AN INDICIDUAL SINGLE FAMILY RECIDENCE SITE		NO		
30	DETERMINED TO BE ACHITECTURALLY SIGNIFICANT		NO		

NOTES: IF NOT APPLICABLE WRITE N/A

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c)

Owner:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

STATE OF FLORIDA
KOBI KARP
AR0012578
REGISTERED ARCHITECT

13:33:00'

KOBI KARP

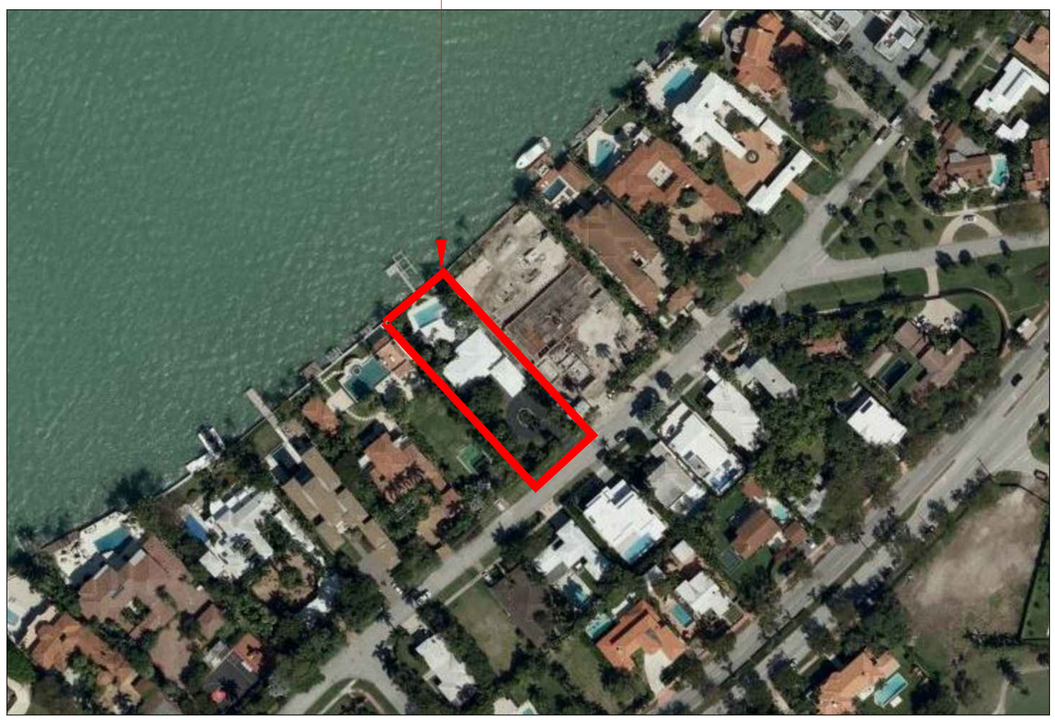
6050 N. BAY
DATA SHEET

Date: 07.20.2020	Sheet No.
Scale:	A0.01
Project: 2025	

1 LOCATION MAP
Scale: N.T.S

PLAN NORTH

SITE



2 LOCATION MAP
Scale: N.T.S

PLAN NORTH

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c)

Owner:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

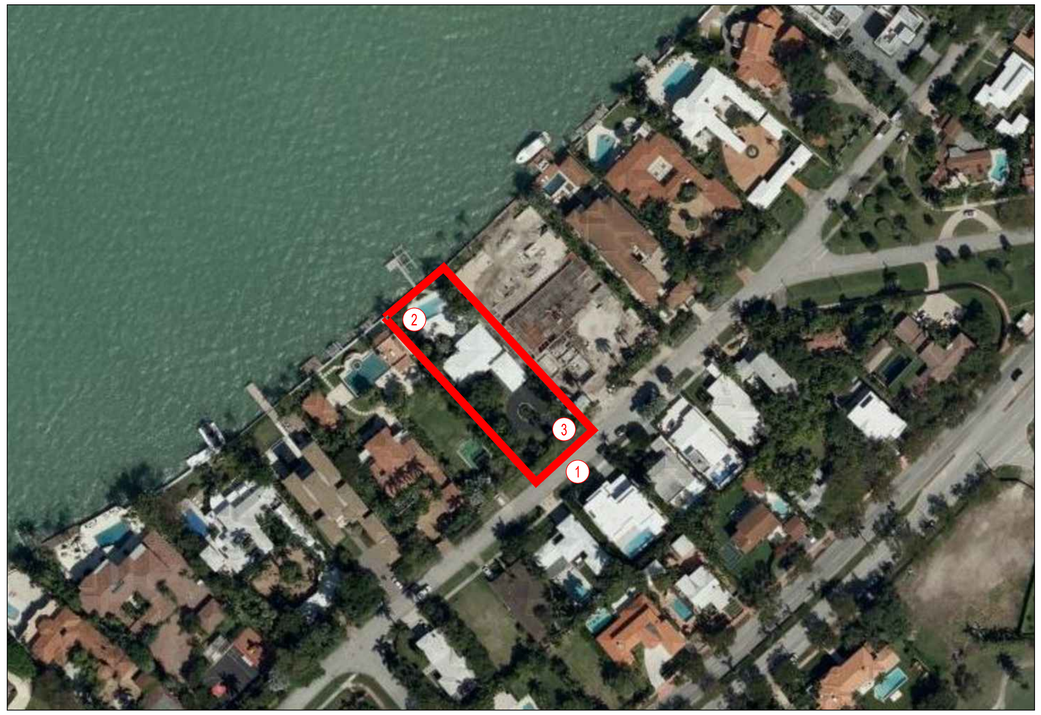
STATE OF FLORIDA
KOBI KARP
AR0012578
REGISTERED ARCHITECT

13 - 1 - 1990

K O B I
K A R P

6050 N. BAY
LOCATION MAP

Date:	Sheet No.
Scale:	A0.02
Project:	



LOCATION MAP
Scale: N.T.S

PLAN NORTH

1 SITE IMAGE 1
Scale: N.T.S

2 SITE IMAGE 2
Scale: N.T.S

3 SITE IMAGE 3
Scale: N.T.S

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c)

Owner:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

STATE OF FLORIDA
KOBI KARP
AR0012578
REGISTERED ARCHITECT

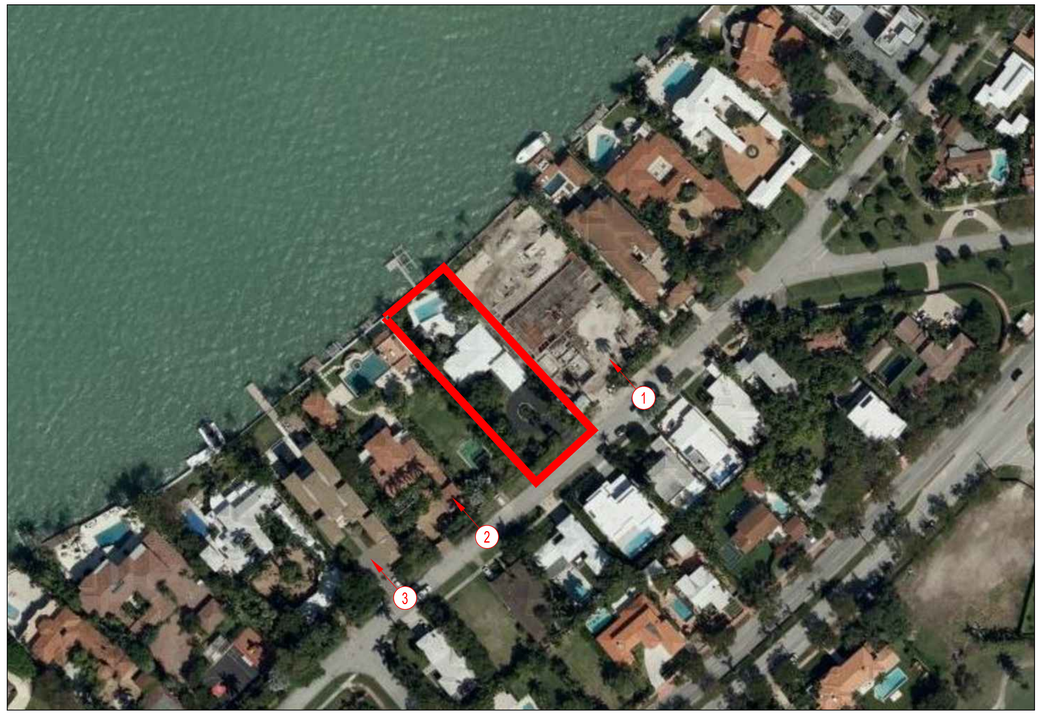
KOBI KARP

13'-00"

6050 N. BAY

CONTEXT IMAGES

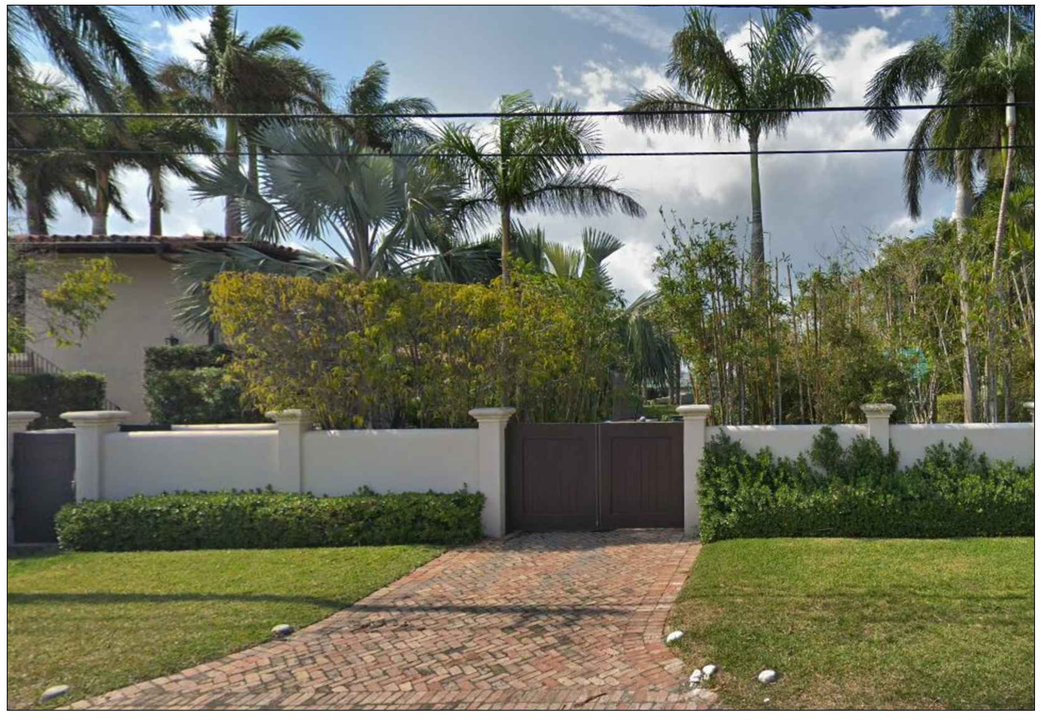
Date:	Sheet No.
Scale:	A0.03
Project:	



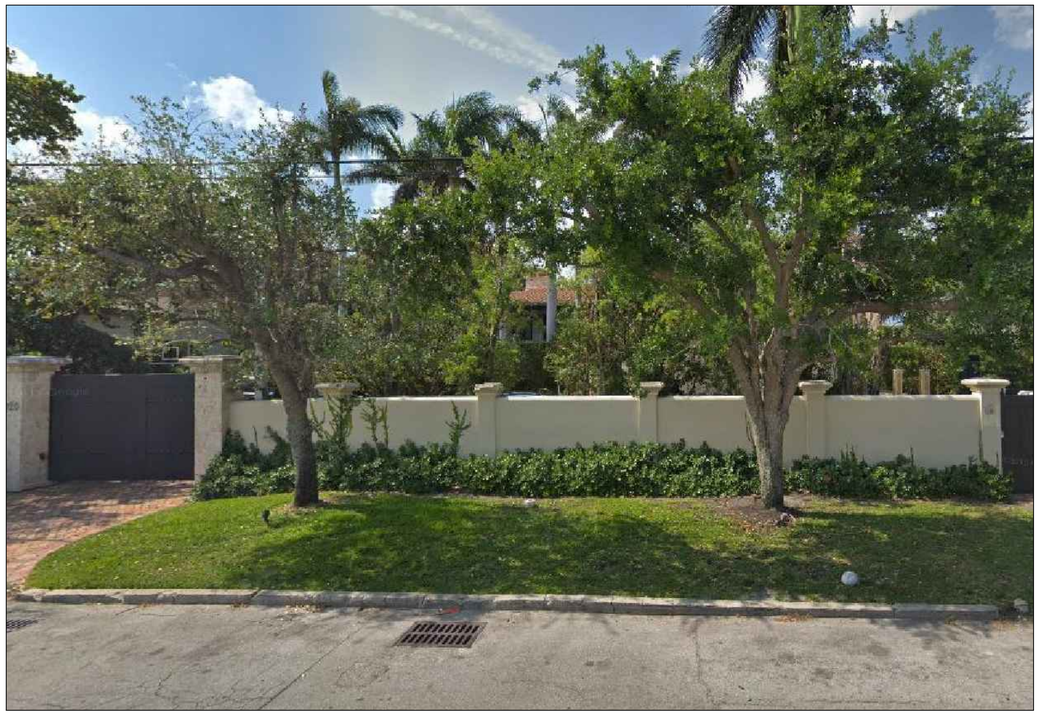
LOCATION MAP
Scale: N.T.S

PLAN NORTH

1 SITE IMAGE 1
Scale: N.T.S



2 SITE IMAGE 2
Scale: N.T.S



3 SITE IMAGE 3
Scale: N.T.S

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c)

Owner:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard. Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

STATE OF FLORIDA
KOBI KARP
AR0012578
REGISTERED ARCHITECT

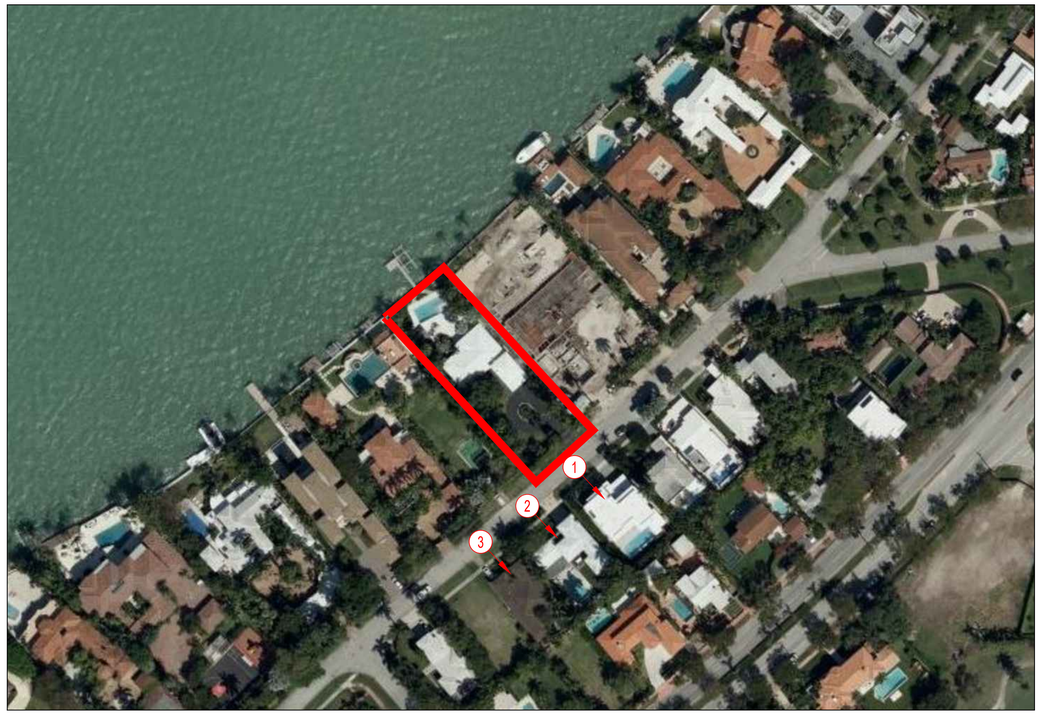
13' 0" 0' 0"

KOBI KARP

6050 N. BAY

CONTEXT IMAGES

Date:	Sheet No.
Scale:	A0.04
Project:	



LOCATION MAP
Scale: N.T.S

PLAN NORTH

1 SITE IMAGE 1
Scale: N.T.S

2 SITE IMAGE 2
Scale: N.T.S

3 SITE IMAGE 3
Scale: N.T.S

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c)

Owner:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

2020.0
STATE OF FLORIDA
KOBI KARP
AR0012578
REGISTERED ARCHITECT
7/00'

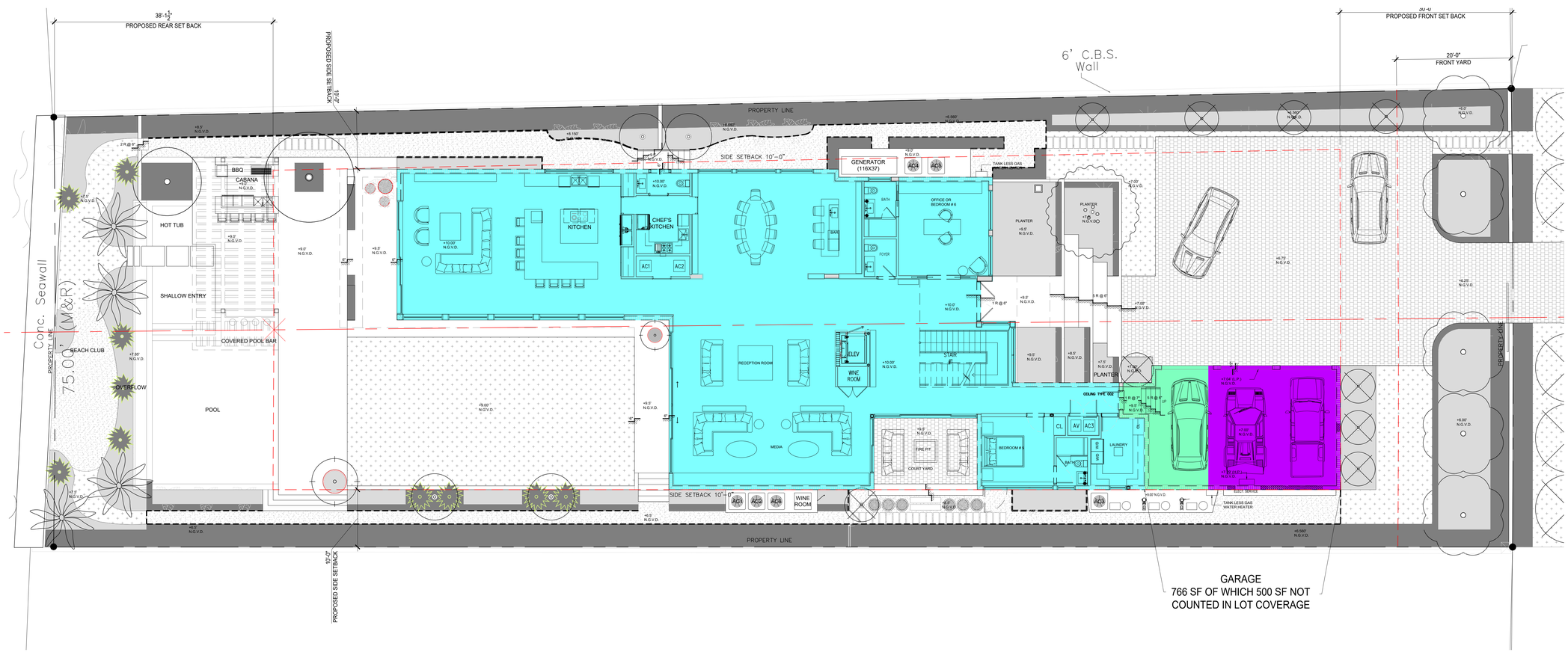
KOBI KARP

6050 N. BAY
CONTEXT IMAGES

Date:	Sheet No.
Scale:	A0.05
Project:	

LOT COVERAGE:

ALLOWED	(30%) 6031 SF
MAIN HOUSE	(23%) 4635 SF
GARAGE PORTION COUNTED IN LOT COVERAGE	266 SF
GARAGE PORTION NOT COUNTED IN LOT COVERAGE	500 SF
TOTAL LOT COVERAGE PROPOSED	(24.3%) 4901 SF



1 LOT COVERAGE
Scale: 1/8" = 1'-0"

PLAN NORTH

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c)

Owner:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

STATE OF FLORIDA
KOBI KARP
AR0012578
REGISTERED ARCHITECT

KOBI KARP

6050 N. BAY
LOT COVERAGE / PERVIOUS

Date:	Sheet No.
Scale:	A0.06
Project:	

PERVIOUS LEGEND:

PERVIOUS

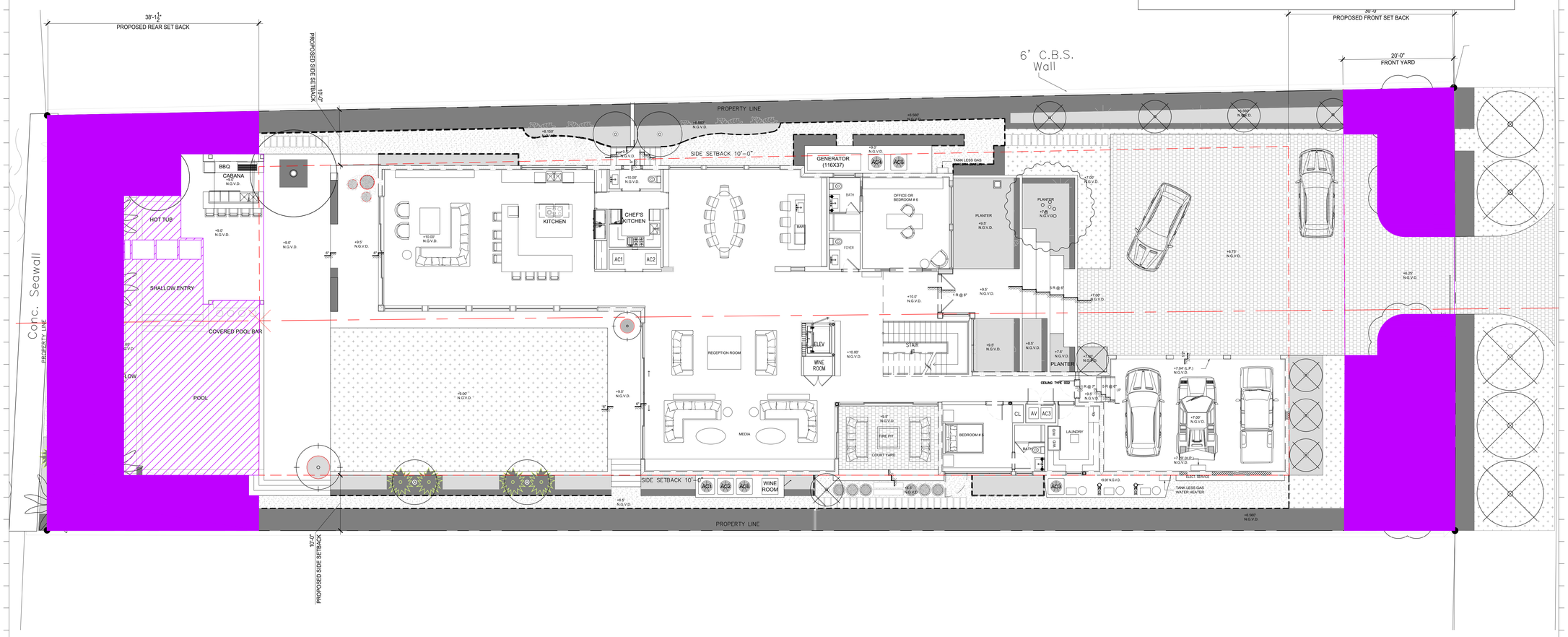
WATER (ONLY 50% IS INCLUDED IN CALCULATION)

FRONT YARD LANDSCAPE CALCULATIONS:

FRONT YARD (20'-0" FRONT YARD SET BACK)	1587 SF
MINIMUM REQUIRED LANDSCAPE AREA IN FRONT YARD (50% PER 142.106 (a)(1)(d) OF ZONING CODE)	574.5 SF
PROVIDED LANDSCAPED AREA IN FRONT YARD	(72.4%) 1149 SF

REAR YARD LANDSCAPE CALCULATIONS:

REAR YARD (38' 1-1/2" SET BACK 15% LOT DEPTH)	2887 SF
MINIMUM REQUIRED LANDSCAPE AREA IN REAR YARD (70% PER 142.106 (a)(3) OF ZONING CODE)	2020 SF
PROVIDED LANDSCAPED AREA IN REAR YARD	1537.7 SF
50% OF POOL AREA (966.7 SF X 50%) =	483.35 SF
TOTAL REAR YARD LANDSCAPE PROVIDED	(70.03%) 2021.05 SF



1 YARD CALCULATIONS

Scale: 1' = 1/8"

PLAN NORTH

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c)

Owner:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

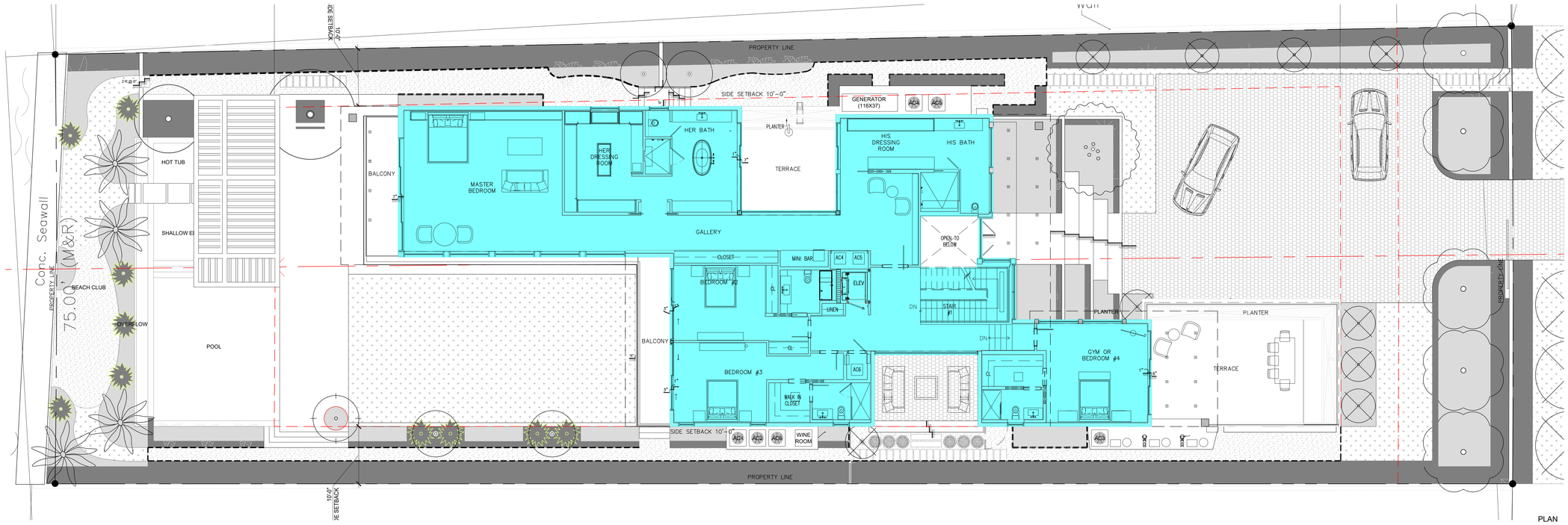
STATE OF FLORIDA
KOBI KARP
AR0012578
REGISTERED ARCHITECT

KOBI KARP

6050 N. BAY

LOT COVERAGE / PERVIOUS

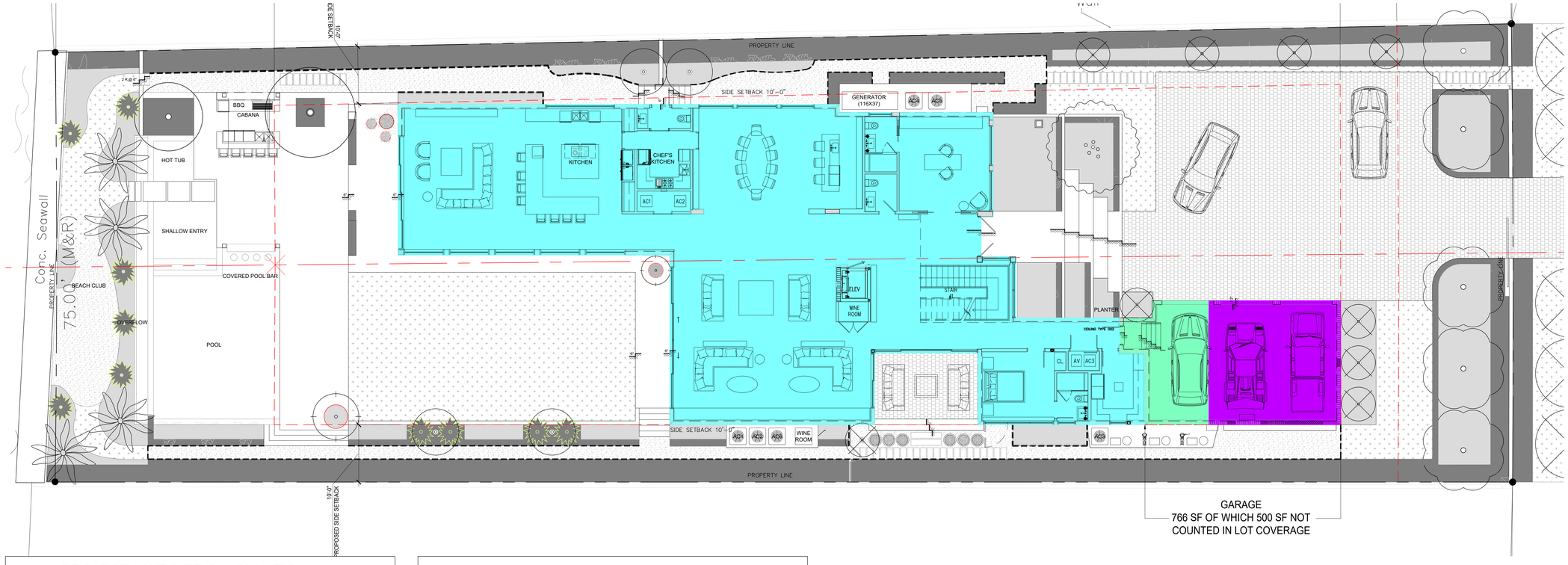
Date:	Sheet No.
Scale:	A0.07
Project:	



2 SECOND FLOOR = 4399 SF

Scale: 1/8" = 1'-0"

PLAN NORTH



1 GROUND FLOOR = 4916 SF

Scale: 1/8" = 1'-0"

PLAN NORTH

PROJECT UNIT SIZE CALCULATION

MAXIMUM ALLOWED (50%)	10052 SF
MAXIMUM PROPOSED	
GROUND FLOOR	4635 SF
GARAGE PORTION COUNTED IN UNIT SIZE	266 SF
SECOND FLOOR	4298 SF
TOTAL	9200 SF

MAIN HOUSE	8933 SF
GARAGE PORTION COUNTED IN LOT COVERAGE	266 SF
GARAGE PORTION NOT COUNTED IN LOT COVERAGE	500 SF

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c)

Owner:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

STATE OF FLORIDA
KOBI KARP
AR0012578
REGISTERED ARCHITECT

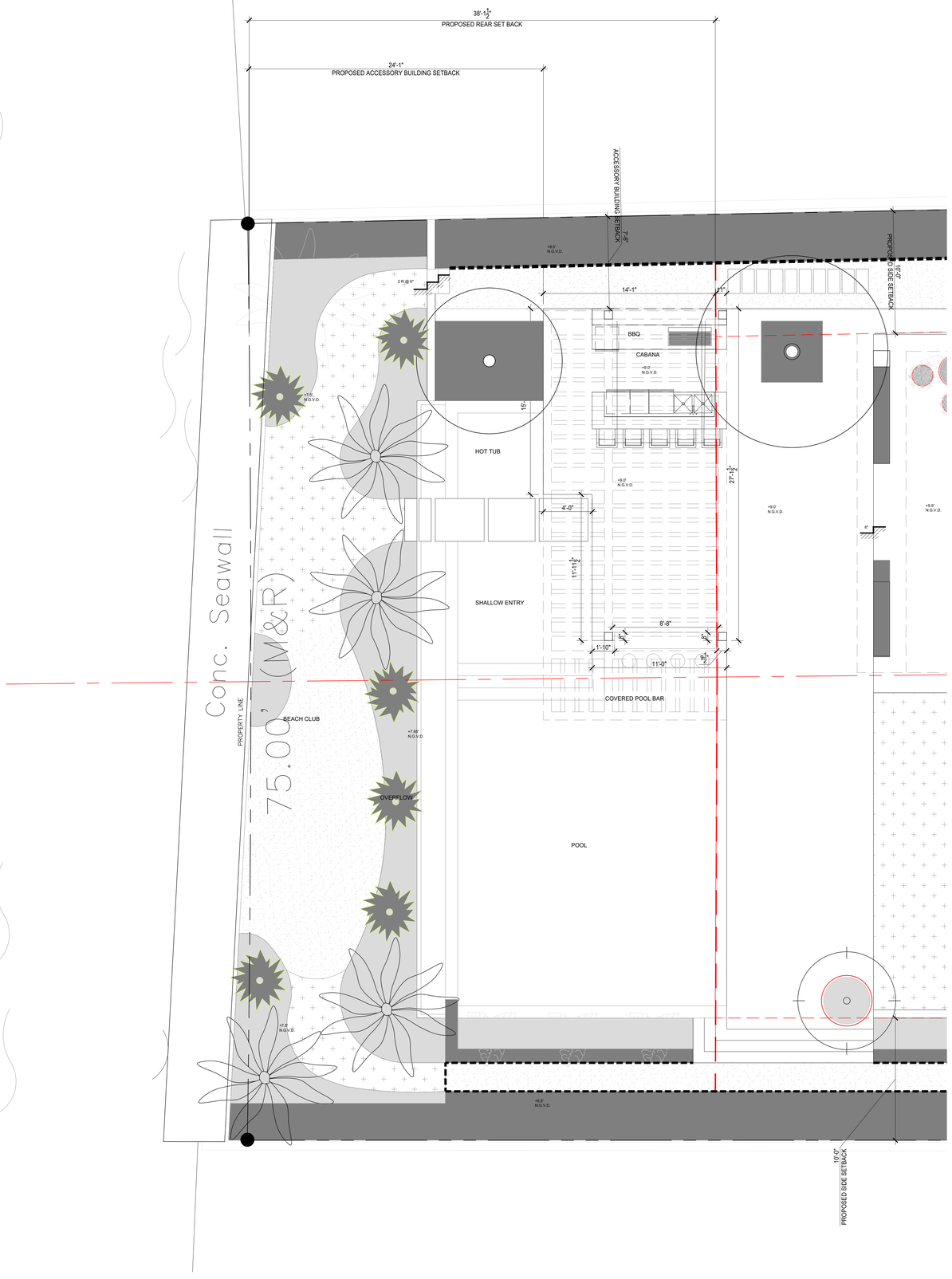
KOBI KARP

13 90'

6050 N. BAY

UNIT SIZE

Date:	Sheet No.
Scale:	A0.08
Project:	

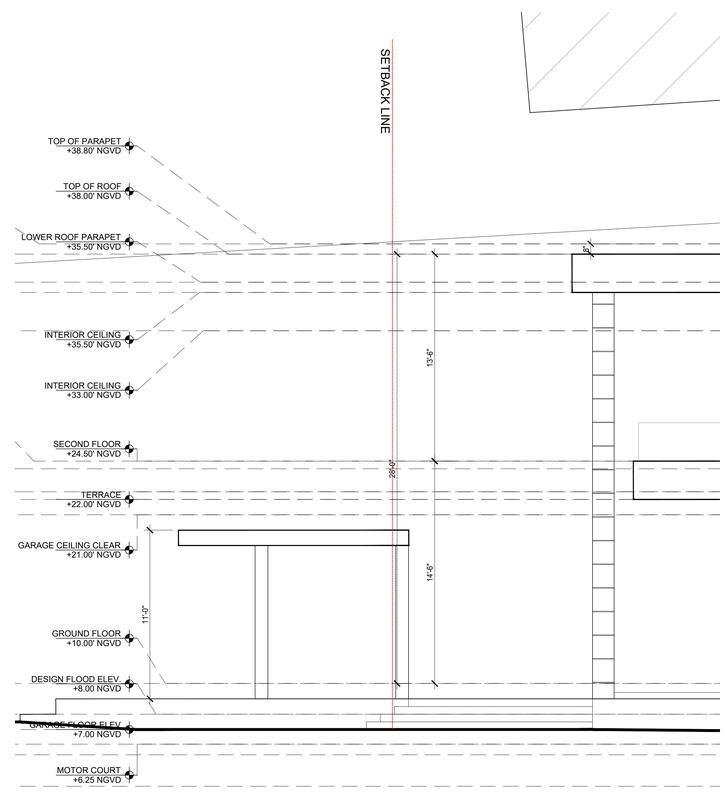


1 REAR YARD CABANA PLAN

Scale: 1" = 1/4"

ACCESSORY BUILDING CALCULATIONS:

REAR YARD (38' 1-1/2" SET BACK 15% LOT DEPTH)	2887 SF
ACCESSORY BUILDING MAX ALLOWED (25% OF REAR YARD PER 142.106 (b)(1) OF ZONING CODE	721.75 SF
PROVIDED ACCESSORY BUILDING	(11.4%) 330.4 SF
ALLOWED HEIGHT 12'-0" ABOVE BASE FLOOD ELEVATION PLUS FREEBOARD OF ONE FOOT	
PROPOSED ACCESSORY BUILDING HEIGHT	11'- 0"



2 CABANA SOUTH ELEVATION

Scale: 1" = 1/4"

PLAN NORTH

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c)

Owner:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

STATE OF FLORIDA
KOBI KARP
AR0012578
REGISTERED ARCHITECT
2020.0
00'

KOBI KARP

6050 N. BAY

CABANA PLAN / ELEVATION

Date:	Sheet No.
Scale:	A0.09
Project:	

© The work product provided by Kobi Karp Architecture and Interior Design, Inc. is the sole property of Kobi Karp Architecture and Interior Design, Inc. The work product may not be used without the expressed written consent of Kobi Karp Architecture and Interior Design, Inc (KKAID)

1 S.E. AXONOMETRIC VIEW (RENDERED)
Scale: N.T.S.

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c)

Owner:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

6050 N. BAY RD.
ELEVATIONS

Date:	Sheet No.
Scale:	A0.10
Project:	

© The work product provided by Kobi Karp Architecture and Interior Design, Inc. is the sole property of Kobi Karp Architecture and Interior Design, Inc. The work product may not be used without the expressed written consent of Kobi Karp Architecture and Interior Design, Inc (KKAID)

1 N.E. AXONOMETRIC VIEW (RENDERED)
Scale: N.T.S.

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c)

Owner:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

STATE OF FLORIDA
KOBI KARP
AR0012578
REGISTERED ARCHITECT
2020.0
00'

KOBI KARP

6050 N. BAY RD.
ELEVATIONS

Date:	Sheet No.
Scale:	A0.11
Project:	

6050 NORTH BAY ROAD - MIAMI BEACH, FL

NW AXONOMETRIC VIEW

© The work product provided by Kobi Karp Architecture and Interior Design, Inc. is the sole property of Kobi Karp Architecture and Interior Design, Inc. The work product may not be used without the expressed written consent of Kobi Karp Architecture and Interior Design, Inc (KKAID)

WWW.KOBIKARP.COM

1 N.W. AXONOMETRIC VIEW (RENDERED)
Scale: N.T.S.

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c)

Owner:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

STATE OF FLORIDA
KOBI KARP
AR0012578
REGISTERED ARCHITECT

KOBI KARP

6050 N. BAY RD.
ELEVATIONS

Date:	Sheet No.
Scale:	A0.12
Project:	

© The work product provided by Kobi Karp Architecture and Interior Design, Inc. is the sole property of Kobi Karp Architecture and Interior Design, Inc. The work product may not be used without the expressed written consent of Kobi Karp Architecture and Interior Design, Inc (KKAID)

1 S.W. AXONOMETRIC VIEW (RENDERED)
Scale: N.T.S.

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBI KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBI KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA. (c)

Owner:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

STATE OF FLORIDA
KOBI KARP
AR0012578
REGISTERED ARCHITECT

13' 0"

KOBI KARP

6050 N. BAY RD.
ELEVATIONS

Date:	Sheet No.
Scale:	A0.13
Project:	