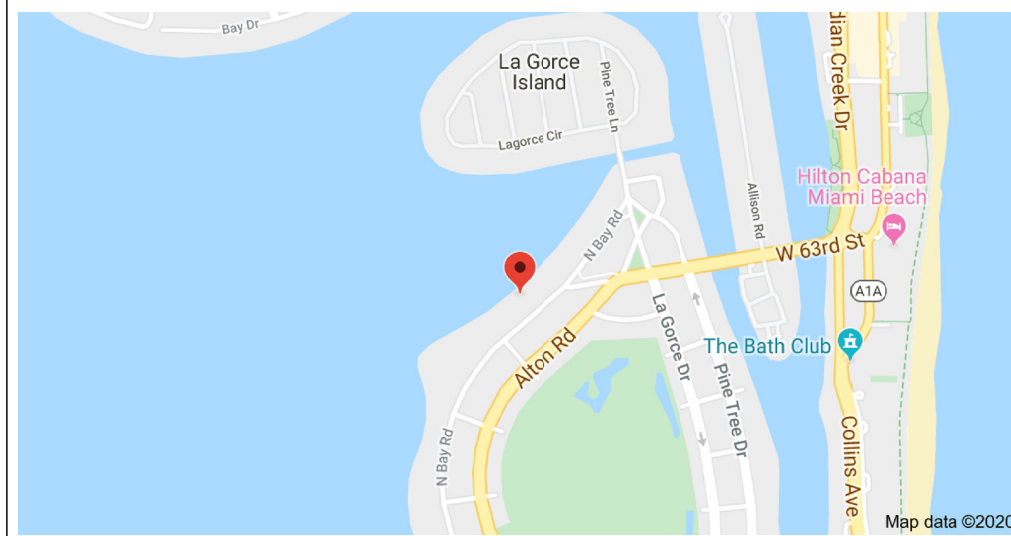


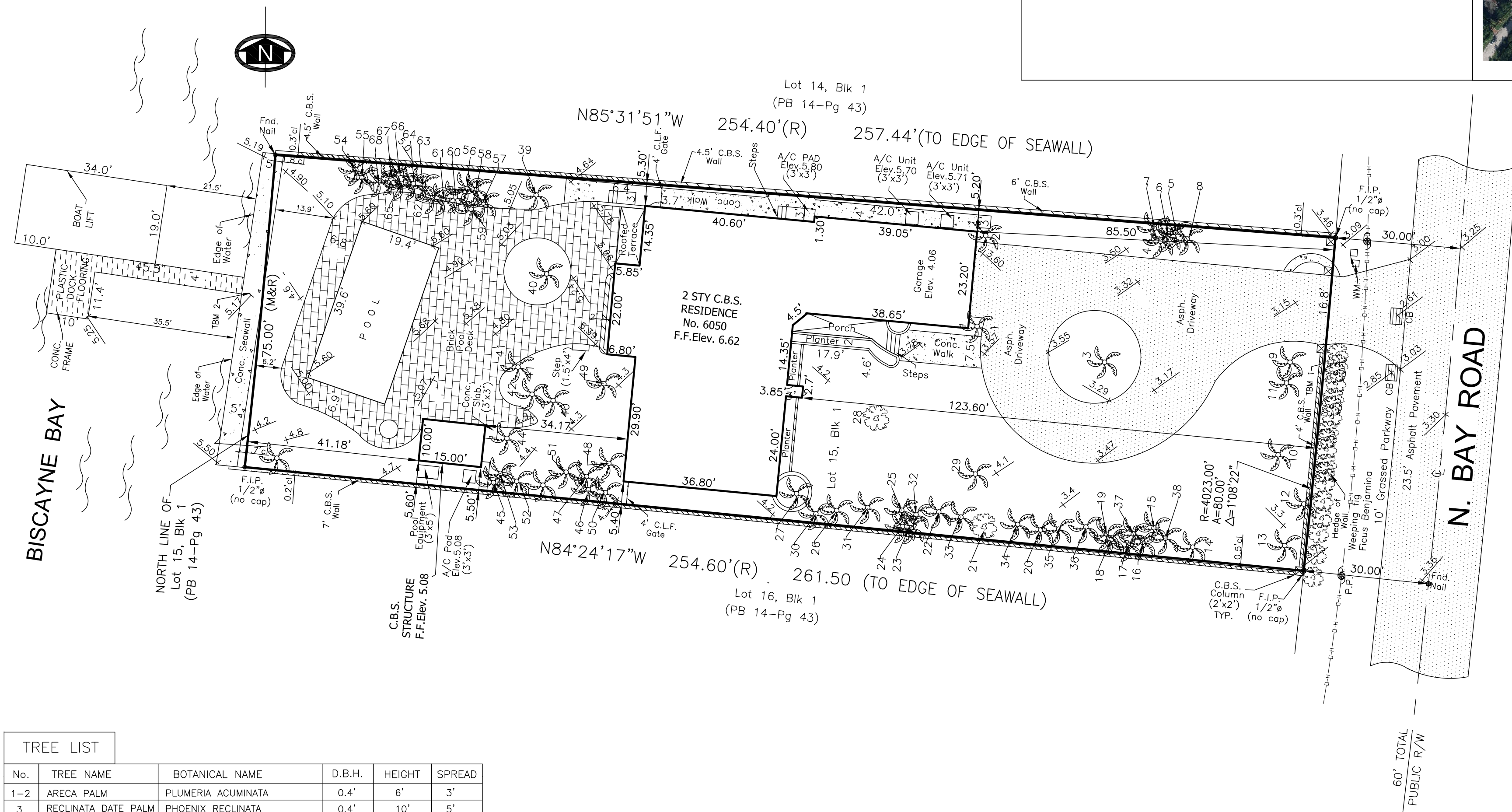
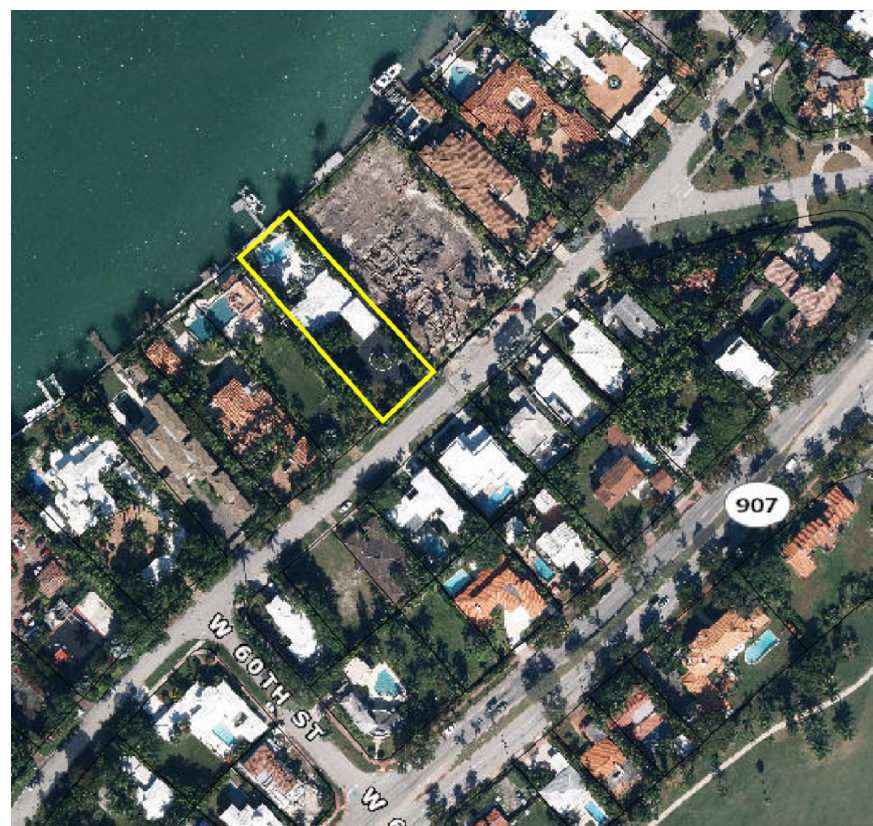
SKETCH OF BOUNDARY SURVEY

SCALE: 1" = 20'

LOCATION MAP



SITE PICTURE



TREE LIST					
No.	TREE NAME	BOTANICAL NAME	D.B.H.	HEIGHT	SPREAD
1-2	ARECA PALM	PLUMERIA ACUMINATA	0.4'	6'	3'
3	RECLINATA DATE PALM	PHOENIX RECLINATA	0.4'	10'	5'
4-5	ROYAL PALM	ROYSTONIA ELATA	1.5'	50'	50'
6-8	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	0.3'	30'	5'
9-10	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	0.7'	25'	25'
11	ROYAL PALM	ROYSTONIA ELATA	1.7'	50'	50'
12	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	0.4'	45'	5'
13	RECLINATA DATE PALM	PHOENIX RECLINATA	0.4'	5'	4'
14-16	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	0.4'	40'	6'
17	RECLINATA DATE PALM	PHOENIX RECLINATA	0.7'	35'	8'
18	MACARTHUR PALM	PTYCHOSPERMA MACARTHU	0.5'	50'	10'
19	ROYAL PALM	ROYSTONIA ELATA	1.5'	50'	50'
20	ROYAL PALM	ROYSTONIA ELATA	1.5'	50'	50'
21	WEeping FIG	FICUS BENJAMINA	1.5'	40'	30'
22	MACARTHUR PALM	PTYCHOSPERMA MACARTHU	0.4'	30'	6'
23-24	MACARTHUR PALM	PTYCHOSPERMA MACARTHU	0.4'	25'	6'
25	MACARTHUR PALM	PTYCHOSPERMA MACARTHU	0.4'	30'	6'
26	ROYAL PALM	ROYSTONIA ELATA	1.5'	50'	50'
27	MACARTHUR PALM	PTYCHOSPERMA MACARTHU	0.5'	16'	6'
28	MANGO TREE	MANGIFERA INDICA	2.5'	35'	35'
29	RECLINATA DATE PALM	PHOENIX RECLINATA	0.3'	7'	4'
30	CHRISTMAS PALM	ADONIDIA MERRILLII	0.3'	20'	5'
31	CHRISTMAS PALM	ADONIDIA MERRILLII	0.3'	20'	5'
32	CHRISTMAS PALM	ADONIDIA MERRILLII	0.3'	20'	5'
33	CHRISTMAS PALM	ADONIDIA MERRILLII	0.3'	20'	5'
34	CHRISTMAS PALM	ADONIDIA MERRILLII	0.3'	20'	5'
35	CHRISTMAS PALM	ADONIDIA MERRILLII	0.3'	20'	5'
36	CHRISTMAS PALM	ADONIDIA MERRILLII	0.3'	20'	5'
37	CHRISTMAS PALM	ADONIDIA MERRILLII	0.3'	20'	5'
38	CHRISTMAS PALM	ADONIDIA MERRILLII	0.3'	20'	5'
39	FAN PALM	CHAMAEOPUS HUMILIS	2.0'	25'	20'
40	FAN PALM	CHAMAEOPUS HUMILIS	2.0'	15'	8'
41-44	MACARTHUR PALM	PTYCHOSPERMA MACARTHU	2.5'	50'	10'
45	ROYAL PALM	ROYSTONIA ELATA	1.5'	50'	40'
46	ROYAL PALM	ROYSTONIA ELATA	2.5'	50'	50'
47	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	0.3'	25'	25'
48	RECLINATA DATE PALM	PHOENIX RECLINATA	0.3'	6'	3'
49-53	CHRISTMAS PALM	ADONIDIA MERRILLII	0.3'	15'	5'
54	MACARTHUR PALM	PTYCHOSPERMA MACARTHU	0.4'	18'	5'
55	ROYAL PALM	ROYSTONIA ELATA	1.5'	50'	50'
56	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	1.0'	20'	6'
57-60	MACARTHUR PALM	PTYCHOSPERMA MACARTHU	0.4'	25'	6'
61	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	0.4'	12'	6'

ABBREVIATION (IF ANY APPLIED)

A = CURVE
A/C = AIR CONDITIONING UNIT
ASPH = ASPHALT
B.M. = BENCH MARK
BLK CORN = BLOCK CORNER
CALC(C) = CALCULATED
CB = CATCH BASIN
C.B.S. = CONCRETE BLOCK STRUCTURE
CL = CLEAR
CONC. = CONCRETE
D.M.E. = DRAINAGE MANT. EASEMENT
EASEM. = EASEMENT
ELEV. = ELEVATION
ENCL. = ENCLOSURE
F.O.H. = FOUND DRILL HOLE
F.H. = FIRE HYDRANT
F.N.D. = FOUND NAIL AND DISC
F.I.P. = FOUND IRON PIPE
F.S. = FOUND SPIKE
L.P. = LIGHT POLE
MEAS(W) = MEASURED
M = MANHOLE
W = MONUMENT
W.L. = WOODEN POLE
N.T.S. = NOT TO SCALE
P/W = PARKWAY
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.C. = POINT OF CURVATURE
P.I. = POINT OF INTERSECTION
P = PROPERTY LINE
P.P. = POWER POLE
P.R.M. = PERMANENT REFERENCE MONUMENT
P.T. = POINT OF TANGENCY
RAD. = RADIAL
REC. (R) = RECORDED
RES. = RESIDENCE
R/W = RIGHT OF WAY
SEC. = SECTION
S.S.H. = SET DRILL HOLE
S.N.D. = SET NAIL AND DISC
S.I.P. = SET IRON PIPE
S.R.B. = SET REBAR
STY. = STORY
SWK. = SIDEWALK
T.O.P. = TOP OF BANK
U.E. = UTIL. EASEMENT
W.P. = WOODEN POLE
X = SECTION LINE

SURVEYOR'S LEGEND (IF ANY APPLIED)

BOUNDARY LINE
STRUCTURE (B.D.G.)
CONCRETE BLOCK WALL
METAL FENCE
WOODEN FENCE
CHAIN LINK FENCE
WOOD DECK/DOCK
ASPHALTED AREAS
CONCRETE
BRICKS OR PAVERS
ROOFED AREAS
WATER (EDGE OF WATER)
CATCH BASIN
MANHOLE
OVERHEAD ELECT.
POWER POLE
LIGHT POLE
HANDICAP SPACE
FIRE HYDRANT
EASEMENT LINE
WATER VALVE
TV-CABLE BOX
WATER METER
CONC. LIGHT POLE

CERTIFIED TO :

6050 N BAY ROAD, LLLP, A FLORIDA LIMITED LIABILITY LIMITED PARTNERSHIP
CHARLES RATNER, P.A.
CHICAGO TITLE INSURANCE COMPANY

SITE ADDRESS: 6050 N BAY ROAD, MIAMI BEACH, FL. 33140
JOB NUMBER: 20-670
DATE OF SURVEY: JULY 2, 2020
FOLIO NUMBER: 02-3215-003-0140

JOB SPECIFIC SURVEYOR NOTES:

- THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN A FLOOD ZONE "AE" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL No. **120651-0309L**, WITH AN EFFECTIVE DATE OF SEPTEMBER 11, 2009. **BASE FLOOD ELEVATION OF 8.00 FEET** (NGVD)
- LAND AREA OF SUBJECT PROPERTY: **20.104 SF** (+/-)(Calculated to edge of seawall)
- ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929, AS PER MIAMI DADE COUNTY **BENCH MARK No. A-33**, WITH AN ELEVATION OF **8.23 FEET**.
TBM No. 1 (Elev. 7.00 feet NGVD at top of CBS Wall in front of the property)
TBM No. 2 (Elev. 5.17 feet NGVD at top of concrete seawall on the rear of the property)
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUME MERIDIAN OF N.20°10'05"W., BEING THE RECORDED BEARING FOR THE CENTERLINE OF W. 59TH ST, AS SHOWN ON PLAT BOOK 14 AT PAGE 43 OF THE PUBLIC RECORD OF MIAMI-DADE COUNTY FLORIDA.

GENERAL SURVEYOR NOTES:

THE SHOWN LEGAL DESCRIPTION USED TO PERFORM THIS BOUNDARY SURVEY WAS PROVIDED BY THE CLIENT.

SURVEY IS BASED ON RECORDED INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY OUR OFFICE.

UNLESS OTHERWISE NOTED, AN EXAMINATION OF THE ABSTRACT OF TITLE WAS NOT DONE BY THE SIGNING SURVEYOR TO DETERMINE WHICH INSTRUMENTS, IF ANY ARE AFFECTING THE SUBJECT PROPERTY.

THIS SURVEY IS EXCLUSIVELY FOR THE USE OF THE PARTIES TO WHOM IT WAS CERTIFIED.

PURSUANT TO RULE 53-17 OF THE FLORIDA ADMINISTRATIVE CODE THE EXPECTED USE OF LAND IS SUBURBAN, THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATIONS OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT.

THERE ARE NO VISIBLE, ABOVE GROUND ENCROACHMENTS (a) BY THE IMPROVEMENTS OF THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS OR ALLEYS, OR (b) BY THE IMPROVEMENTS OF THE ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY OTHER THAN THOSE SHOWN ON THIS BOUNDARY SURVEY.

THERE ARE NO VISIBLE EASEMENTS OR RIGHT-OF-WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED OTHER THAN THOSE SHOWN ON THIS SURVEY.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE SHOWN GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. IN SOME CASES GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE A PARTICULAR AREA WHERE DIMENSIONS SHALL HAVE PREFERENCE OVER GRAPHIC LOCATION.

THE ELEVATIONS (IF ANY) OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/100 FOOT FOR NATURAL GROUND SURFACES AND 1/100 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENT, CURBS, SIDEWALKS AND OTHER MANMADE STRUCTURES.

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

ANY FEMA FLOOD ZONE INFORMATION PROVIDED ON THIS SURVEY IS FOR INFORMATIONAL PURPOSE ONLY AND IT WAS OBTAINED AT WWW.FEMA.COM.

IF YOU ARE READING THIS BOUNDARY SURVEY IN AN ELECTRONIC FORMAT, THE INFORMATION CONTAINED ON THIS DOCUMENT IS ONLY VALID IF THIS DOCUMENT IS ELECTRONICALLY SIGNED AS SPECIFIED IN CHAPTER 53-17.062 (3) OF THE FLORIDA ADMINISTRATIVE CODE. IF THIS DOCUMENT IS IN PAPER FORMAT, IT IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE PROFESSIONAL LAND SURVEYOR AND MAPPER OF RECORD.

LEGAL DESCRIPTION:

LOT 15, BLOCK 1, OF LA GORCE GOLF SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 14 AT PAGE 43, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ENCROACHMENTS AND OTHER POINTS OF INTEREST:

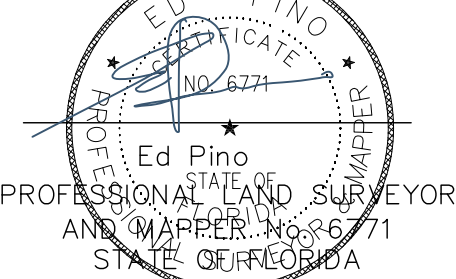
- THERE ARE NO VISIBLE ENCROACHMENTS OF THE SUBJECT PROPERTY
- THE SUBJECT PROPERTY IS WITHIN A FLOOD ZONE AE (SEE NOTE 1)
- THERE NO PLATTED UTIL. EASEMENT ON THE SUBJECT PROPERTY

THIS DRAWING IS THE PROPERTY OF AMERICAN SERVICES OF MIAMI, CORP. AND SHALL NOT BE USED OR REPRODUCED, IN WHOLE, OR IN PART, WITHOUT PERMISSION OF AMERICAN SERVICES OF MIAMI, CORP.

NOTHING HEREON SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED.

WE HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHICAL SURVEY AND THE SURVEY MAP RESULTING THEREFROM WAS PERFORMED UNDER MY SUPERVISION AND/OR DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "BOUNDARY AND TOPOGRAPHICAL SURVEY" MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 53-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 472.027 FOR THE FLORIDA STATUTES.

American Services of Miami, Corp.



DATE: JULY 15, 2020

REVISED

AMERICAN SERVICES OF MIAMI, CORP.
Consulting Engineers . Planners . Surveyors

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CORAL GABLES, FL 33134
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FOR: 6050 NORTH BAY ROAD, LLLP, A FLORIDA LIMITED LIABILITY LIMITED PARTNERSHIPS
SCALE: 1"=20'
DATE: 7/14/20

CHECKED BY: E.P.
PAGE No. 1

DRAWN BY:
FIELD BOOK No.

DESIGNED BY: E.P.
APPROVED BY: E.P.

ORDER No.

20-670

SHEET No.

1