



ARCHITECTURE INTERIOR DESIGN PLANNING

August 10th, 2020

Thomas Mooney, Planning Director
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: Design Review Approval for the property Located at 6050 N Bay Road, Miami Beach, FL 33140.

Dear Tom:

Kobi Karp (the "Applicant"), the owner of the above-referenced property (the "Property").

Please consider this letter the Applicant's letter of intent in support of design review approval by the Design Review Board ("DRB") for the total demolition of an existing post - 1942 single-family residence and the proposal of a new two-story single-family residence on the Property.

The Property. The Property is a 20,104 square foot waterfront lot located on North Bay Road and is in the RS-2, Single Family Residential Zoning District. The property is identified by Miami-Dade County Folio No. 02-3215-003-0140. There currently exists a pos -1942 single-family residence on the Property.

Description of Proposed Design. The Applicant proposes to construct a new, two-story single-family residence with a floor area of approximately 9200 square feet in size. The proposed home will be a beautiful, modern, two-story structure and the Property will include attractive landscaping. The proposed home contains a mixture of one and two-story volumes to create moments of dramatic cantilevering on the ground floor and useable terrace on the second floor. The site is designed to create a gentle slope to mask the transition of grade from street to the ground floor which will also hide the parking from street view.

The proposed new home complies with the City of Miami Beach Code ("Code") requirements for unit size and lot coverage. The unit size of the proposed home is 9,200 square feet (45.7% of the lot size), which is below the allowable 50% unit size limit. The lot coverage is 24.3%, which is below the 30% permitted. Further, because the home contains less than 25% lot coverage, the home is exempt from the 70% second floor area requirement (See Code Section 142-105(b)(4)(c)).

Request for waivers.

Waiver #1 – North Side Courtyard

On the North elevation of the house, the applicant would like to request that the required



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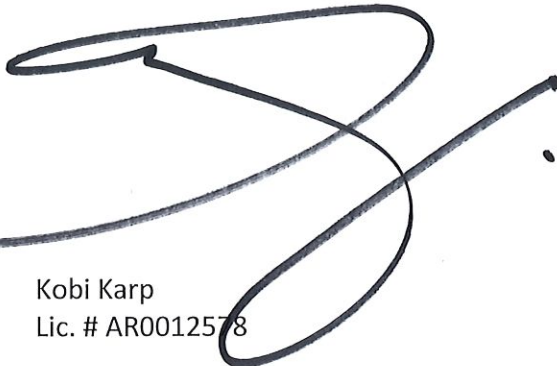
courtyard in order to not exceed 60 in length for a two-story volume begins at the second floor, and is open to the sky. Thus, the applicant would like to seek a waiver for the courtyard being required to be "open to the sky from grade".

Waiver #2 – South Side Courtyard

On the South elevation of the house, the applicant would like to raise the elevation of the required courtyard to 9.5' NGVD. Thus, the applicant would like to seek a waiver for the courtyard being required to "not exceed the maximum permitted elevation height of the required side yard".

Conclusion. We believe that the approval of the additional length of the proposed home will permit the Owner of the single-family home on the Property to better utilize the residence, while maintaining compatibility with the prevailing character of the existing single-family neighborhood. We look forward to your favorable review of the application. If you have any questions or comments, please give me a call at (305) 573-1818.

Sincerely,



Kobi Karp
Lic. # AR0012578