

AFA &  
Company, Inc.

Land Surveyors

Prepared By:

AFA & COMPANY, INC.

PROFESSIONAL LAND SURVEYORS AND MAPPERS

FLORIDA CERTIFICATE OF AUTHORIZATION No. LB 7498

13050 SW 133RD COURT,

MIAMI, FLORIDA 33186

E-MAIL: AFACO@BELLSOUTH.NET

PH: 305-234-0588

FAX: 206-495-0778

Property Information

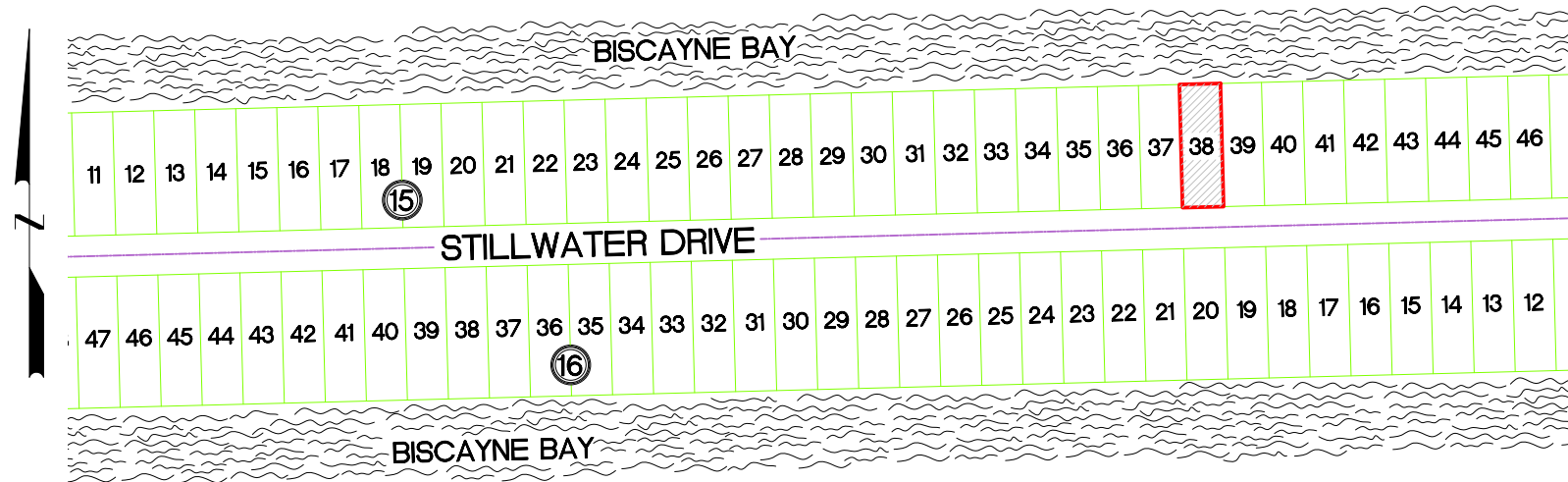
CERTIFIED ONLY TO:

Carsten Jacobi

PROPERTY ADDRESS:

1161 Stillwater Drive  
Miami Beach, Florida 33141

Location Sketch N.T.S.



LEGAL DESCRIPTION:

Lot 38, Block 15, of: "BISCAYNE BEACH 2ND ADDITION", according to the Plat Thereof as Recorded in Plat Book 46, Page 39, of the Public Records of Miami-Dade County, Florida.

ELEVATION INFORMATION

National Flood Insurance Program  
FEMA Elev. Reference to NGVD 1929

Comm Panel 120651  
Panel # 0307  
Firm Zone: "AE"  
Date of Firm: 09-11-2009  
Base Flood Elev. 8.00'  
F.Floor Elev. N/A  
Garage Elev. N/A  
Suffix: "L"  
Elev. Reference to NGVD 1929

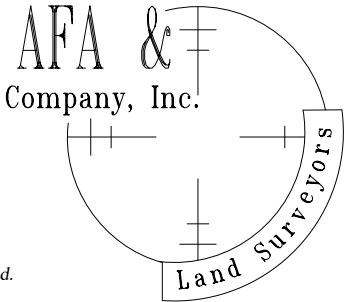
Surveyor's Notes:

- #11 The herein captioned Property was surveyed and described based on the Legal Description Provided by Client.
- #12 This Certification is Only for the lands as Described. it is not a certification of Title, Zoning, Easements, or Freedom of encumbrances. ABSTRACT NOT REVIEWED.
- #13 There may be additional Restrictions not Shown on this survey that may be found in the Public Records of Said County Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.
- #14 Accuracy:  
The expected use of land, as classified in the Standards of Practice (5J-17.052), is residential. The minimum relative distance accuracy for this type of boundary survey is 1.0 foot in 10,000.00' feet. the accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
- #15 Foundation and / or footing that may cross beyond the boundary lines of the parcel herein described are not shown hereon.
- #16 Not valid without the signature and original seal of a Florida Licensed Surveyor and Mapper. additions or deletions to survey maps or reports by other than the signing party or parties.
- #17 Contact the appropriate authority prior to any design work on the herein described parcel for building and zoning information.
- #18 Underground Utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
- #19 Ownership subject to Opinion of Title.

JOB #	20-650
DATE	07-01-2020
PB	46-39

Surveyors Notes:

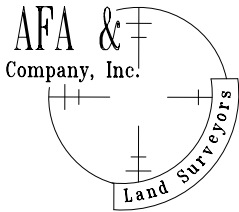
- #1 Land Shown Hereon were not abstracted for Easement and /or Right of Way Records. The Easement / Right of Way Show on Survey are as per plat of record unless otherwise noted.
- #2 Benchmark: Miami-Dade County Public Works Dep.  
BM Name: CMB SW 01; Elev. + 3.58' NAVD
- #3 Bearings as Shown hereon are Based upon  
Stillwater Drive, N88°32'00"E
- #4 Please See Abbreviations
- #5 Drawn By: A. Torres
- #6 Date: 7-1-2020
- #7 Completed Survey Field Date: 6-30-2020
- #8 Disc No 2020, Station Surveying Scion
- #9 Last Revised:
- #10 Zoned Building setback line not determined



Professional  
Surveyors & Mappers LB 7498  
13050 S.W. 133rd Court  
Miami Florida, 33186  
E-mail: afaco@bellsouth.net  
Ph: (305) 234-0588  
Fax: (206) 495-0778

This certifies that the survey of the property described hereon was made under my supervision & that the survey meets the Standards of Practice set forth by the Florida Board of Professional Land Surveyors & Mappers in Chapter 5J-17.052 of Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.  
& That the Sketch hereon is a true and accurate representation thereof to the best of my knowledge and Belief, subject to notes and notations shown hereon.

Armando F. Alvarez  
Professional Surveyor & Mapper #5526  
State of Florida  
Not Valid unless Signed & Stamped with Embossed Seal



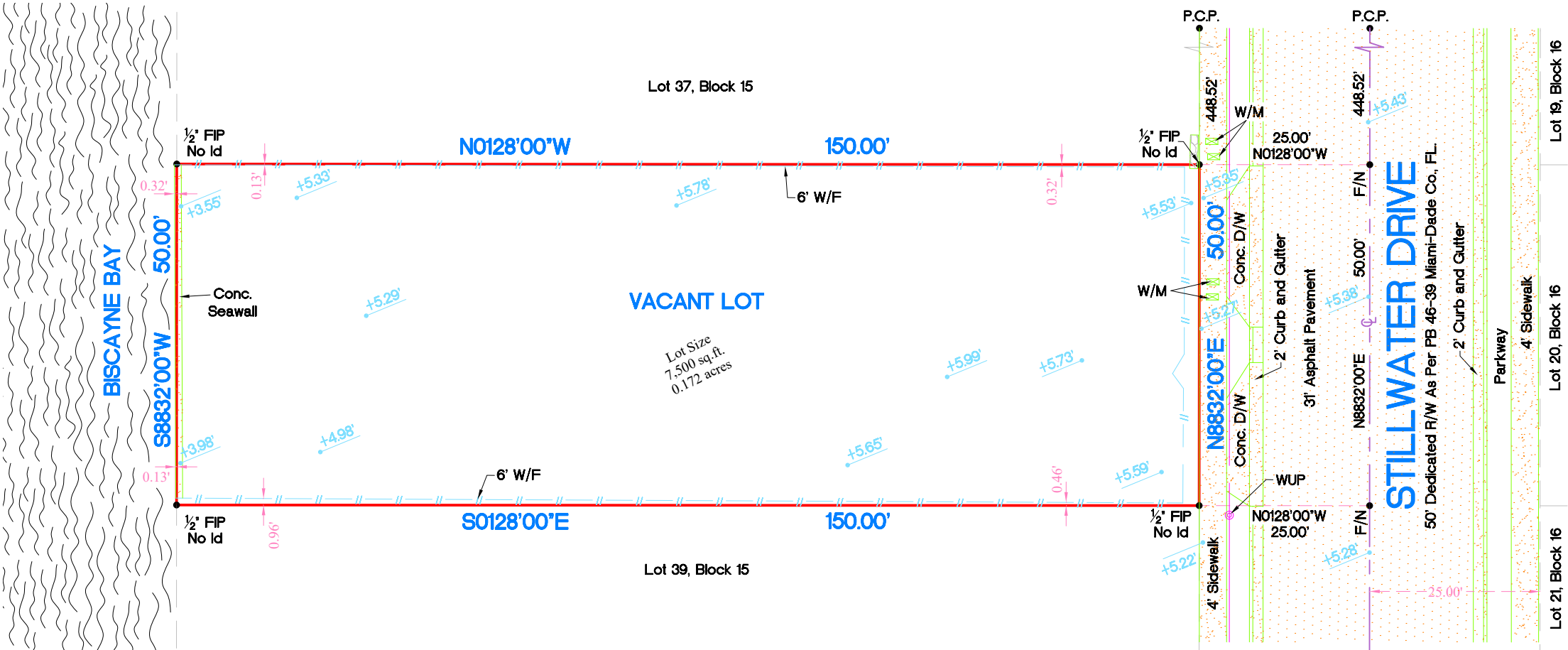
Prepared By:  
**AFA & COMPANY, INC.**  
**PROFESSIONAL LAND SURVEYORS AND MAPPERS**  
FLORIDA CERTIFICATE OF AUTHORIZATION No. LB 7498  
13050 SW 133RD COURT,  
MIAMI, FLORIDA 33186  
E-MAIL: AFACO@BELLSOUTH.NET  
PH: 305-234-0588  
FX: 206-495-0778

Abbreviations  
of Legend

- AVE. = AVENUE
- ASPH = ASPHALT
- A/W = ANCHORD WIRE
- A/C = AIR CONDITIONER
- BLDG = BUILDING
- B. COR. = BLOCK CORNER
- CAL = CALCULATED
- C.B. = CATCH BASIN
- CLF = CHAIN LINK FENCE
- CONC. = CONCRETE
- COL. = COLUMN
- C.U.P. = CONCRETE UTILITY POLE
- C.L.P. = CONCRETE LIGHT POLE
- CBS = CONCRETE BLOCK STRUCTURE
- C.M.E. = CANAL MAINTENANCE EASEMENT
- D = DELTA
- D/W = DRIVEWAY
- D.M.E. = DRAINAGE & MAINTENANCE EASEMENT
- ENC. = ENCROACHMENT
- E.T.P. = ELECTRIC TRANSFORMER PAD
- F.P.L. = FLORIDA POWER AND LIGHT
- F.H. = FIRE HYDRANT
- F.I.P. = FOUND IRON PIPE
- F.F. = FINISH FLOOR
- DH/F = FOUND DRILL HOLE
- F.R. = FOUND REBAR
- F/D = FOUND DISC
- F/N = FOUND NAIL
- I/F = IRON FENCE
- L = LENGHT
- L.M.E. = LAKE MAINTENANCE EASEMENT
- L.F.E. = LOWEST FLOOR ELEVATION
- L.P. = LIGHT POLE
- MEAS. = MEASURED
- M.H. = MAN HOLE
- M/L = MONUMENT LINE
- N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
- N.T.S. = NOT TO SCALE
- O.E. = OVERHEAD ELECTRIC LINE
- O/L = ON LINE
- P.C.P. = PERMANENT CONTROL POINT
- P.M. = PARKING METER
- P.C. = POINT OF CURVATURE
- P/W = PARKWAY
- PL. = PLANTER
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- R = RADIUS
- RES = RESIDENCE
- R/W = RIGHT OF WAY
- S.D.H. = SET DRILL HOLE
- S/N = SET NAIL
- S.I.P. = SET IRON PIPE
- SDWLK = SIDEWALK
- ST = STREET
- T = TANGENT
- U.E. = UTILITY EASEMENT
- W/F = WOOD FENCE
- W.V. = WATER VALVE
- W.U.P. = WOOD UTILITY POLE
- x-x-x- = WOOD FENCE
- o-o-o- = IRON FENCE
- x-x-x- = CBS WALL
- x-x-x- = CHAIN LINK FENCE
- x-x-x- = OVERHEAD ELEC.
- x-x-x- = CENTER LINE
- x-x-x- = EASEMENT
- x-x-x- = DENOTES ELEVATIONS
- x-x-x- = BUILDING
- x-x-x- = DISTANCE
- x-x-x- = CATCH BASIN
- x-x-x- = WATER METER
- x-x-x- = W.U.P.
- x-x-x- = STATE ROAD
- x-x-x- = US HIGHWAY
- x-x-x- = INTERSTATE
- x-x-x- = MONITORY WELL

Boundary Survey

Graphic Scale 1" = 20'



The sketch hereon is a true and  
Accurate representation thereof to the best  
of my knowledge and belief, Subject to notes  
and Notations shown hereon.

JOB #	20-650
DATE	07-01-2020
PB	46-39

*Armando F. Alvarez*  
Professional Surveyor & Mapper #5526  
State of Florida  
Not Valid unless Signed & Stamped with Embossed Seal