

PERMIT #

30101024

20

CITY OF MIAMI BEACH
Miami Beach, Florida 33139
Receipt of Payment

Building Work Permit

12-2001
 Receipt
 Activity Number: B0200024
 Status: APPROVED
 Date Applied 12/10/2001 Date Issued 12/10/2001 Entered By: BULLEEN
 Date Completed Date Expired 06/16/2002
 Address 5342 N BAY RD MIAMI BEACH, FL 33149
 Parcel # 32100031990 Valuation: \$1,950.00
 Owner: U.S. BRICK INC. Owner: BOWLAND GROUP LTD
 901 N STATE ROAD 7 5342 N BAY RD
 PLANTATION FL 33317 MIAMI BEACH FL 33149
 954-792-8876

Description: CONSTRUCT DRIVEWAY 1142

Receipts made for this receipt:

DATE RECEIVED BY AMOUNT

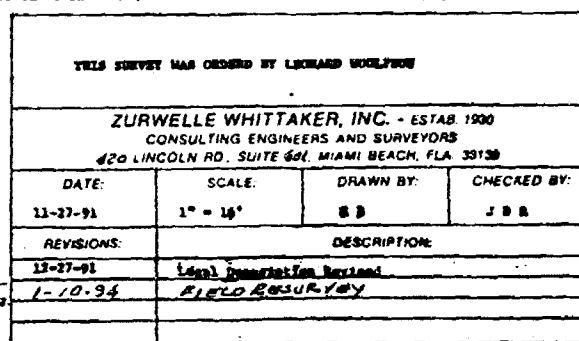
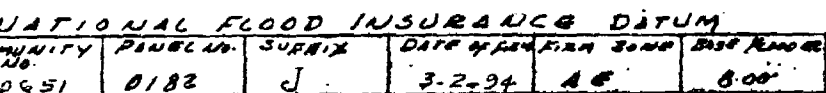
DATE RECEIVED BY AMOUNT

Payment Made to the Following Items:

Payment Summary for Fees and Payments:

Description	Amount	Fee	Penalty	Total
Building Permit	\$1,950.00	\$1,950.00	\$0.00	\$1,950.00
Inspection Fee	\$1,950.00	\$1,950.00	\$0.00	\$1,950.00
Plan Review Fee	\$1,950.00	\$1,950.00	\$0.00	\$1,950.00
Plan Review Fee	\$1,950.00	\$1,950.00	\$0.00	\$1,950.00
Plan Review Fee	\$1,950.00	\$1,950.00	\$0.00	\$1,950.00

COAST GUARD FORCE
BUZZER, 10 SOUTH
AND 0607 WEST
POLICE AND CLEAR
POLICE
BUZZER, 10 SOUTH



B0801024
5242 N BAY RD

20

PERMIT #

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Miami Beach, Florida 33139
Receipt of Payment

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12-2001
Activity Number: B0200024
Status: APPROVED
Permit Applied 12/10/2001 Date Issued 12/10/2001 Entered By: BULLEEN
Date Completed Date Expired 06/16/2002
Address 5342 N BAY RD MIAMI BEACH, FL 33149 Balance Due: \$0.00
Lot # 32100031990 Valuation: \$1,950.00
Owner U.S. BRICK INC. Owner RUGELAND GROUP LTD
901 N STATE ROAD 7 5342 N BAY RD
PLANTATION FL 33317 MIAMI BEACH FL 33149
954-792-8876

CONSTRUCT DRIVEWAY 1142

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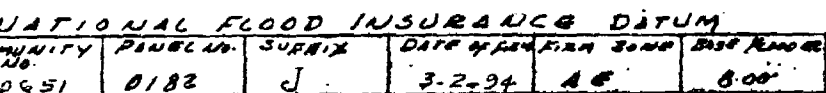
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DATE RECEIVED BY AMOUNT

COAST GUARD FORCE
BUZZER, 10 SOUTH
AND 0607 WEST
POLICE AND CLEAR
POLICE
BUZZER, 10 SOUTH



DATE:	SCALE:	DRAWN BY:	CHECKED BY:
11-27-91	1" = 16'	SB	JBR
REVISIONS:	DESCRIPTION:		
11-27-91	Local Information Revised		
1-10-94	FIELD RESURVEY		

B0801024
5242 N BAY RD

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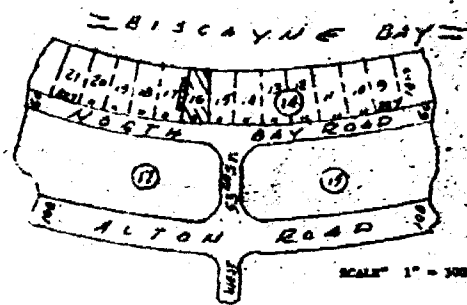
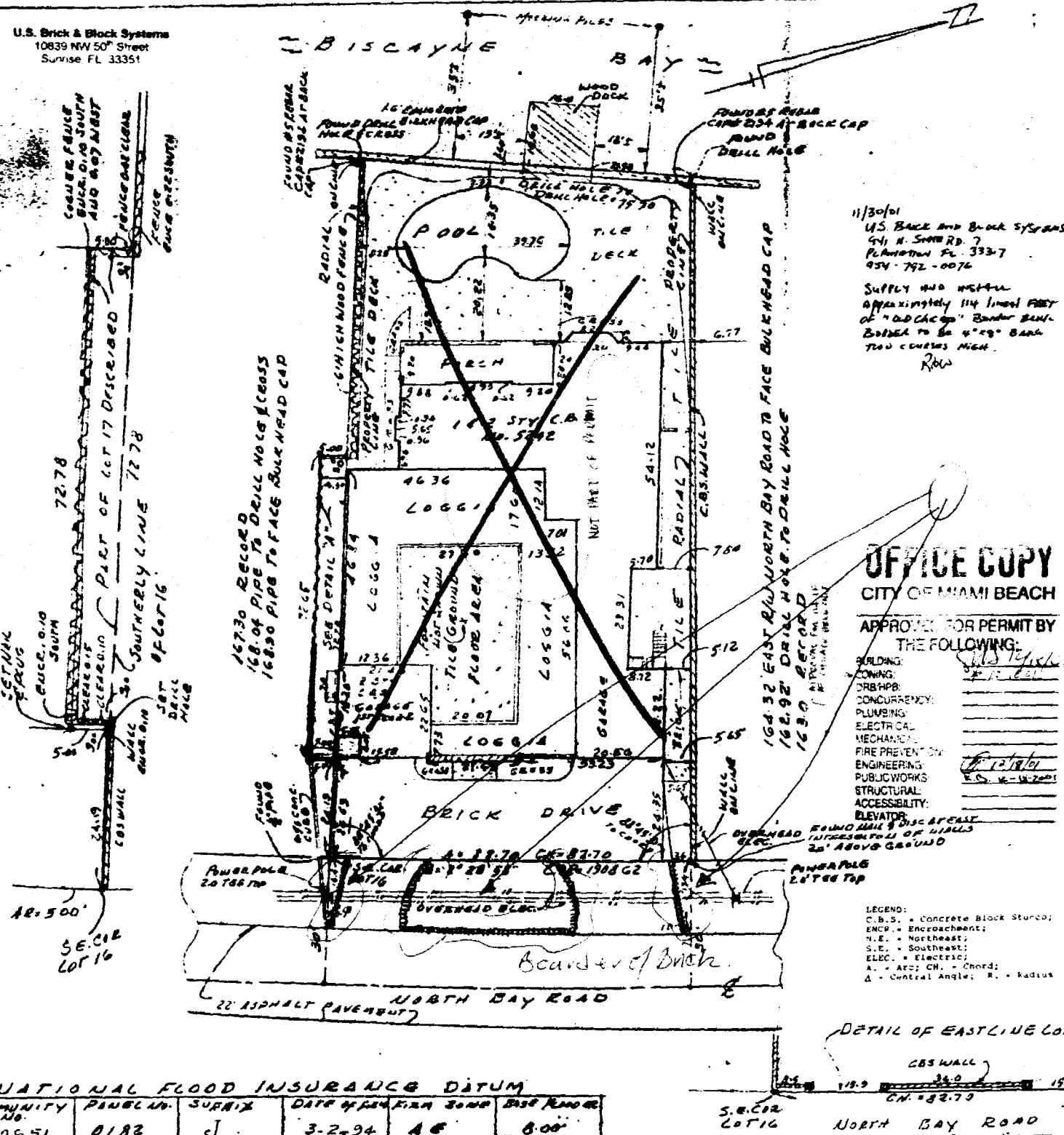
DATE RECEIVED BY
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Payment Made to the Following Items:

Payment Summary for Fees and Payments:

Description	Amount	Fee	Fee	Fee	Fee
Building Permit	11,000.00	11,000.00	11,000.00	11,000.00	11,000.00
Inspection	1,000.00	1,000.00	1,000.00	1,000.00	1,000.00
Plan Review	1,000.00	1,000.00	1,000.00	1,000.00	1,000.00
Plan Review Fee	1,000.00	1,000.00	1,000.00	1,000.00	1,000.00
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Plan Review Fee	1,000.00	1,000.00	1,000.00	1,000.00	1,000.00
Plan Review Fee	1,000.00	1,000.00	1,000.00	1,000.00	1,000.00
Plan Review Fee	1,000.00	1,000.00	1,000.00	1,000.00	1,000.00

U.S. Brick & Block Systems
10839 NW 50th Street
Surprise FL 33351



THIS IS A SKETCH OF AN AS-BUILT SURVEY OF:
All of Lot 16 and a portion of Lot 17, Block 16, La Gorce Golf Subdivision, recorded in Plat Book 14, at page 43 of the public records of Dade County, Florida, said portion of Lot 17 described as follows:
Begin on the Northerly line of said Lot 17, 24.19 feet Westerly of the Northeast corner; thence run Southwesterly at right angles to said North line of Lot 17, a distance of 5 feet; thence run Westerly parallel to the Northerly line of said Lot 17, a distance of 72.78 feet to a point; thence run Northwesterly at right angles to the Northerly line of Lot 17, a distance of 5 feet to said Northerly line of Lot 17; thence run Easterly along the Northerly line of Lot 17, a distance of 72.78 feet to the Point of Beginning.

All of the above described land contains 13,374 square feet, more or less, or 0.312 acres, more or less.

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

11/30/01
12/18/01
12/18/01

ORDER NO. 18367-91
" " 79942-95

Zurwelle-Whittaker, Inc.
By: *James D. Zurwelle*
James D. Zurwelle, Professional
P.L.C. No. 1194, Florida

NOTES:
1- The pipes shown on the property corners have a P.L.E. plug No. 2194 inserted in the top of each.
2- The North Arrow is referenced to the one shown on the Record Plat.
3- The Elevation (E.L.) information shown is referenced to 0.00 feet, Mean Sea Level, N.G.V.D.
4- Public Utilities are not located because they were not part of the Order.

THIS SURVEY IS CERTIFIED TO: (1-10-94) ROSELAND GROUP, LTD.

THIS SURVEY WAS ORDERED BY LEONARD WOOLFE			
ZURWELLE WHITTAKER, INC. - ESTAB 1900 CONSULTING ENGINEERS AND SURVEYORS 420 LINCOLN RD., SUITE 604 MIAMI BEACH, FLA 33139			
DATE:	SCALE:	DRAWN BY:	CHECKED BY:
11-27-91	1" = 10'	ED	JDR
REVISIONS:	DESCRIPTION:		
11-27-91	Legal Description Revised		
1-10-94	FIELD SURVEY		

COMMUNITY	PARCEL	SURVEX	DATE	OFFER	FIN	COMP	BASE	ANNO
0951	0182	J	3-2-94	AC			800'	

B0801024
5242 N BAY RD

20

WOOD FENCE

Section 2328 FBC

6'0" Maximum

1'0"

2'0"

2'0"

2'0"

1'0"

2'0"

PUBLIC WORKS PLAN REVIEW NOTICE

Phone 305-673-7080

Fax 305-673-7028

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.

All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.

Permit Requirements: Proof of existing sidewalk/s (pictures) and/or posting of sidewalk/roadway border conditions (Public Works Inspection of the right-of-way will be required prior to final sign-off on the C.C. / C.O., or the release of the permit).

Approved/Reviewed By:

B. Durall

Date:

3/24/06

2x4 No. 3, So. Pine PT
Wood Rails Attached to Post
With four 10d Nails (min.)

4x4 No. 2, So. Pine PT
Spaced as follows

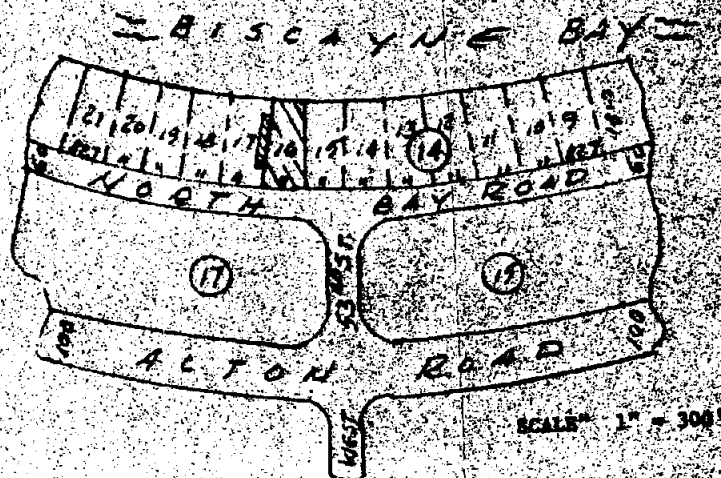
Fence height above grade	Post Spacing
6'-0"	4'-0" O.C.
5'-0"	5'-0" O.C.
4'-0"	6'-0" O.C.

Wood Pickets 5/8" Min Thickness
attached to each rail with
Two 16 Ga. staples 1-3/4" long

ZONING: COW 2/23/06
X ALL SURFACE OF MASONRY WALLS
AND WOOD FENCES SHALL BE FINISHED
IN THE SAME MANNER, WITH SOME
ALTERATIONS ON BOTH SIDES TO HAVE
ON EQUAL OR BETTER QUALITY.

COW-B

10" Diameter
Concrete filled hole



LOCATION SKETCH

THIS IS A SKETCH OF AN AS-BUILT SURVEY OF:

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All of the above described land contains 13,574 square feet, more or less, or 0.312 acres, more or less.

SURVEYORS CERTIFICATE:

WE HEREBY CERTIFY: that the "Sketch of Survey" shown hereon of the above described property is true and correct to the best of our knowledge and belief, as recently surveyed under our direction; also that there are no visible encroachments, unless shown hereon. Examination of the "Abstract of Title" will have to be made to determine recorded instruments, if any, which may affect this property. This survey conforms to the minimum technical standards for Land Surveys in the State of Florida, pursuant to Section 472.027 of the Florida Statutes and to Chapter 21HH-6 of the Florida Administrative Code, as adopted by the Department of Professional Regulation, Board of Land Surveyors. This "Sketch of Survey" is not valid unless the embossed seal of a Professional Land Surveyor, employed by Zurwalle-Whittaker, Inc., is affixed hereon.

ORDER NO. 78367-91
" " 79942-95

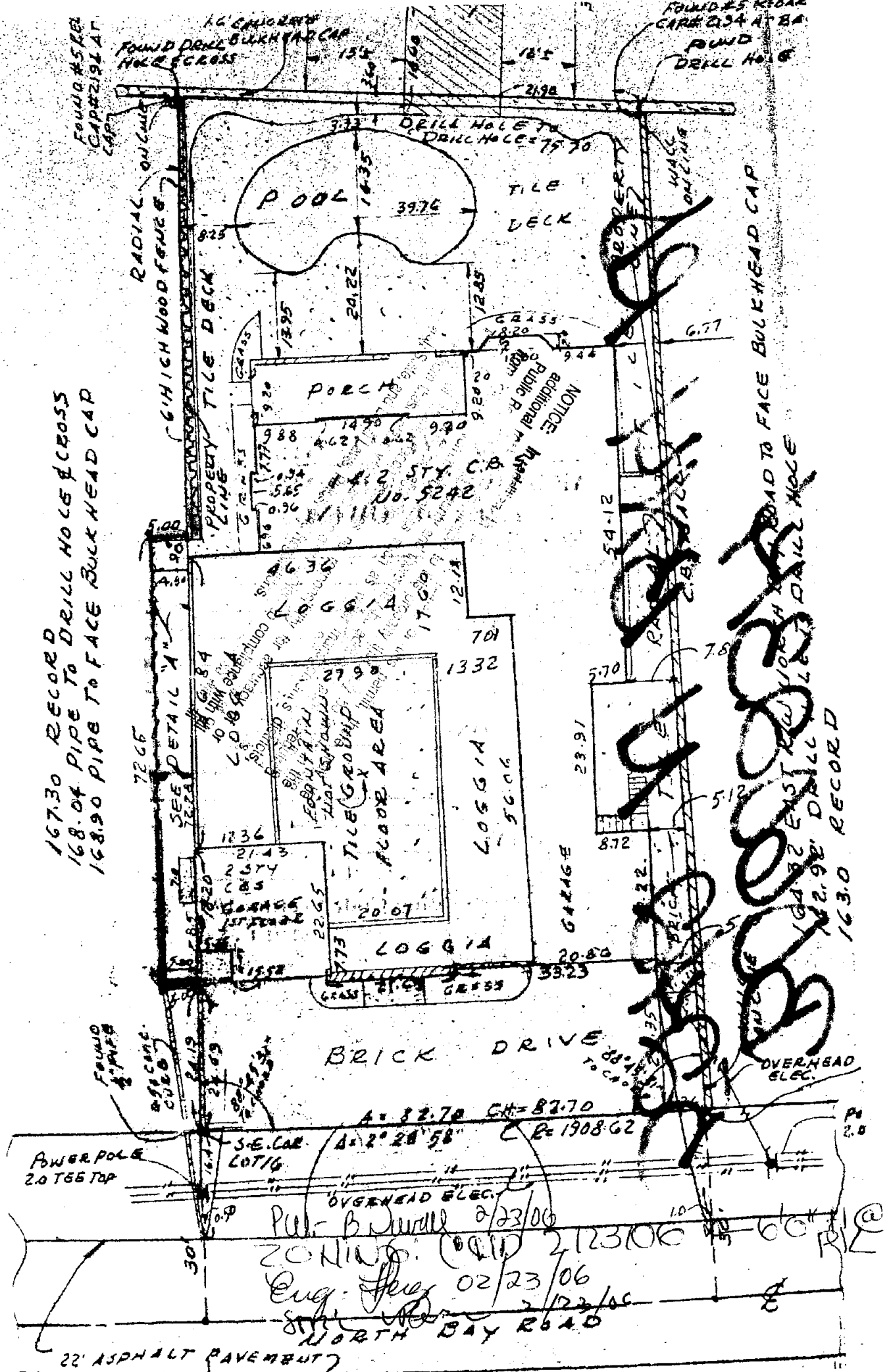
Zurwalle-Whittaker, Inc.

By: *James D. Reeves*
James D. Reeves, President
P.L.S. No. 2194, Florida

NOTES:

- 1- The pipes shown on the property corners have a P.L.S. plug No. 2194 inserted in the top of each.
- 2- The North Arrow is referenced to the one shown on the Record Plat
- 3- The Elevation (E.L.) information shown is referenced to 0.00 feet, Mean Sea Level, N.G.V.D.
- 4- Public Utilities are not located because they were not part of the Order.

THIS SURVEY IS CERTIFIED TO: (1-10-94) ROSELAND GROUP, LTD.



GENERAL NOTES:

- This Wind Abatement / Impact Hurricane Protection System is designed and tested to comply with the High Velocity Hurricane Zone (HVHZ) of the Florida Building Code, 2007 and 2010 Editions.
- For use with 2010 FBC, the design pressures as determined from Section 1620 and ASCE 7-10 must be qualified by restrictions applicable to the building type. Additional restrictions may be found in the current Florida Building Code, TAS 201; TAS 202; TAS 203 and fulfill its requirement for opening protection.
- The unbreached envelope criterion is met when this approved wall component endorses the protected opening in the building envelope.
- The open areas in the Armor Screen Fabric are small enough that the surface tension of water causes the raindrops to be deflected away from the building, and in actual hurricane conditions has been shown to prevent damaging volleys of water, rain, and even from torrential rains.
- Has satisfied checklist #0445 for resistance to burning, smoke, ignition, temperature, and weathering and qualified as a permanent installed building component; ASTM G155, ASTM D638, ASTM C158, ASTM D635 - C1, ASTM D1829, ASTM D2843, in these plans which are subject to the Florida Building Code, TAS 201; TAS 202; TAS 203 and fulfill its requirement for opening protection.
- Product Marking: A permanent label shall be affixed to the screen barrier with the following statement: "Armor Screen Corporation, Current Address, Miami-Dade County Product Control Approved, Patented and Patents Pending, US Patent No. 6176050, and Local Regulations."

INSTALLATION NOTES:

- Deflection is the minimum glass separation measured at mid span of the screen and subject to interpolation between listed spans. Separation offset may be achieved alone or by any combination thereof, Natural Deflection, Angled Style Screens, Storm Bars and Pneumatic Devices.
- Screen may be mounted with opposing primary anchored perimeters (span) in vertical, horizontal, or any alignment appropriate to the structure being protected.
- The screens may be installed at any height on the structure as long as the design pressure rating for the screens is not exceeded.
- Anchors on the non-primary perimeter side (span side) of the screen are optional (e.g. to limit potential sag in the screen or reduce movement on the free side or other site specific reasons).
- The thickness of typical facing materials (i.e. stucco, siding, stone, brick, pavers, etc. are not to be considered part of the anchor embedment. Longer fasteners should be used to allow for facing materials).
- Anchor embedment into masonry shall be into the face shell, not mortar joints.
- All fully embedded anchors may be flush with the finished facing provided they have the correct embedment into the structure behind the finish material.
- Anchor installations should follow the manufacturer's recommended methods.
- A caulk or sealant should be used with all wood penetrating anchors.
- All fasteners shall be corrosion resistant as specified in the IRC and IBC or stainless steel.

PRODUCT DATA:

The woven geotextile fabric shall have the following minimum average roll values:

Grab Tensile Strength	(ASTM D4632)	425 x 325 LBS
Puncture Strength	(ASTM D4633)	150 LBS
Mullen Burst	(ASTM D3786)	675 PSI
Trapezoidal Tear	(ASTM D4633)	150 x 125 LBS
Wide Width Tensile Strength	(ASTM D4595)	225 x 205 LBS/M
Wide Width Elongation	(ASTM D4595)	22 x 21%
Apparent Opening Size		30 US STD SIEVE
Percentage of Open Area		5%

Screen unable to return should extend past protected opening by distance equal to minimum required deflection.

ALL GEOSYNTHETIC HURRICANE SCREEN ASSEMBLY INSTALLATION DETAILS DEPICTED WITHIN THESE DRAWINGS ARE TYPICAL FOR THE INSTALLATION OF THIS WIND ABATEMENT AND IMPACT PROTECTION SYSTEM ONLY. ALL OTHER BUILDING COMPONENTS SHOWN HEREIN ARE DEPICTED AS EXISTING, AND NOT CONSTRUCTED BY THE SCREEN COMPANY.

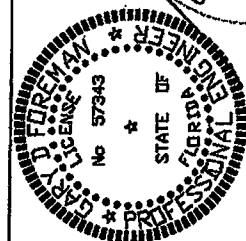
2003 © ARMOR SCREEN CORPORATION

GARY D. FOREMAN, PE, SE AIA PA
12399 MAGREGOR WOODS CIRCLE
FT. MYERS, FL 33908
PH: (239)988-3887

Drawn by: T G, 10-22-01
SCALE: NO SCALE

DWG NO. AS-001
SHEET NO. 1 OF 8

PRODUCT: ARMOR SCREEN SERIES 2000
FLEXIBLE WIND ABATEMENT / IMPACT PROTECTION SYSTEM
1881 OLD OKEECHOBEE RD, WEST PALM BEACH, FL 33409
PH: (561)841-8890 FAX: (561)841-8892
SALES@ARMORSCREEN.COM



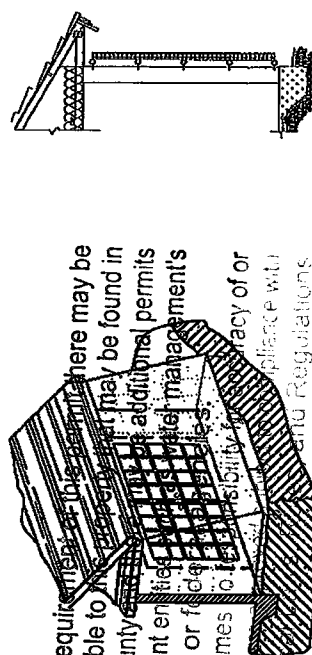
PRODUCT REVISED as complying with the Florida Building Code, Acceptance No. 12-0032312, Expiration Date 12/31/2014. By: [Signature] Miami Dade Product Control

Review Type: Structural, Electrical, Zoning

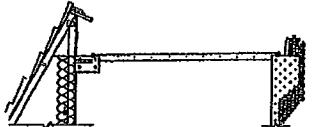
REVISIONS
OCTOBER 22, 2001
AUGUST 27, 2004
NOVEMBER 25, 2008
FEBRUARY 17, 2012

City of Miami Beach
RENDERING NOT TO SCALE

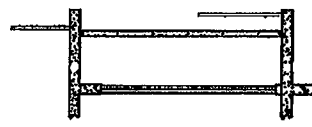
Date: 7/25/13
7/25/13



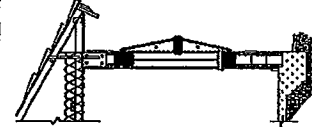
Examples of typical installations



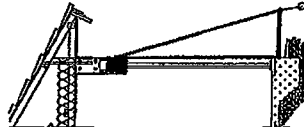
HORIZONTAL



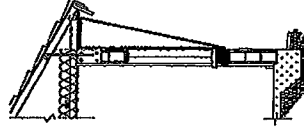
BALCONY



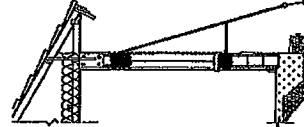
STORM BAR



STRAIGHT



INVERTED



ANGLED

Screens #
2 Thru 18
20
23 Thru 26
29 Thru 32
34 Thru 39

Screens
22, 33

Screens
1, 21
19, 27

Screens
28

Table 1

		Anchor Spacing		Anchor Choices *			
Span in feet	Deflection in inches	1" O/C Design pressure **	2" O/C	1" 3/8" open eye	2" 3/8" bolt	3" 1/2" open eye	4" 1/2" bolt
4'	6.6"	130	65	X	X	X	X
6'	6.7"	130	65		X	X	X
6'	6.7"	92.75	48	X	X	X	X
8'	8.5"	130	90				X
8'	8.5"	130	65			X	X
8'	8.5"	115	58		X	X	X
8'	8.6"	68.75	34	X	X	X	X
10'	16"	130	90				X
10'	16"	130	65		X	X	X
10'	16"	94.75	47	X	X	X	X
12'	21"	130	90				X
12'	21"	130	65			X	X
12'	21"	120	60		X	X	X
12'	21"	69.75	35	X	X	X	X
14'	30"	130	80				X
14'	30"	130	65			X	X
14'	30"	120	60		X	X	X
14'	30"	64.75	32	X	X	X	X
16'	39"	130	75				X
16'	39"	130	65			X	X
16'	39"	110	55		X	X	X
16'	39"	60	34.25	X	X	X	X
20'	38"	58.00	29.00			X	X
24'	41"	48.00	24.00			X	X

CONCRETE: *Table is intended for drop-in and LDT anchors in concrete.

WOOD: Lag anchoring (incl. LDT) into wood as follows

Column 1*: 3/8" thread, 1.75" penetration into SYP (0.55sg)

Column 2*: 3/8" thread, 3.1" penetration into SYP

Column 3*: 1/2" thread, 3.0" penetration into SYP

Column 4*: 1/2" thread, 3.7" penetration into SYP

EARTH: * Specified earth anchor may be used with any of table choices.

HOLLOW BLOCK: Column 1*, approved epoxy anchoring system for 3/8" & 1/2" thread.

NOTE: **Design pressure may be increased by 5% for negative loads.

TRACK SYSTEM: Table applies to track system, anchored with two 5/16" fasteners per cleat, as follows:

- into hollow block, min. 1 1/4" embed can be installed as in column 1*
- into concrete, min. 1 3/4" embed can be installed as in column 3*
- into concrete, min. 2" embed can be installed as in column 4*
- into wood (SYP. sg. 0.55), min. 1" embed can be installed as in column 1*
- into wood (SYP. sg. 0.55), min. 2" embed installed as in column 3*

NOTES:

Anchor Spacing: varies inversely with pressure and is subject to rational analysis.

Span: is measured anchor to anchor.

Deflection: is minimum glass separation measured at mid-span of screen.

ANCHOR SPECIFICATION:

Part Numbers: 3/8" Lag Anchor (AS141556)

1/2" Lag Anchor (AS141272)

Tapcon 5/16", 3/8", or 1/2" LDT can anchor in both wood and concrete

Drop-in Anchor: 3/8" Steel Drop-in anchor in 3000 PSI (min.) concrete, 1 5/8" min. embedment (Powers)

1/2" Steel Drop-in anchor in 3000 PSI (min.) concrete, 2" min. embedment (Powers)

Earth Anchor: Proprietary System: Stabilized 1/2" x 30" Shaft with 4" helix Working Load 3150 LBS. (AS141564)

Soil Class: 5 (medium dense coarse sand)

Epoxy Anchor: Equal to Red Head umbrella inserts and screens with C7 adhesive.

REVISIONS

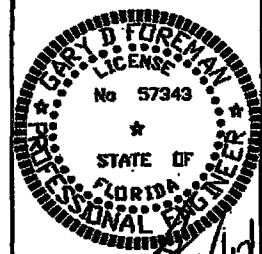
OCTOBER 22, 2001

August 27, 2003

November 26, 2003

February 17, 2012

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 10223.12
Expiration Date 01/07/2014
By: [Signature]
Mason Dean Product Control



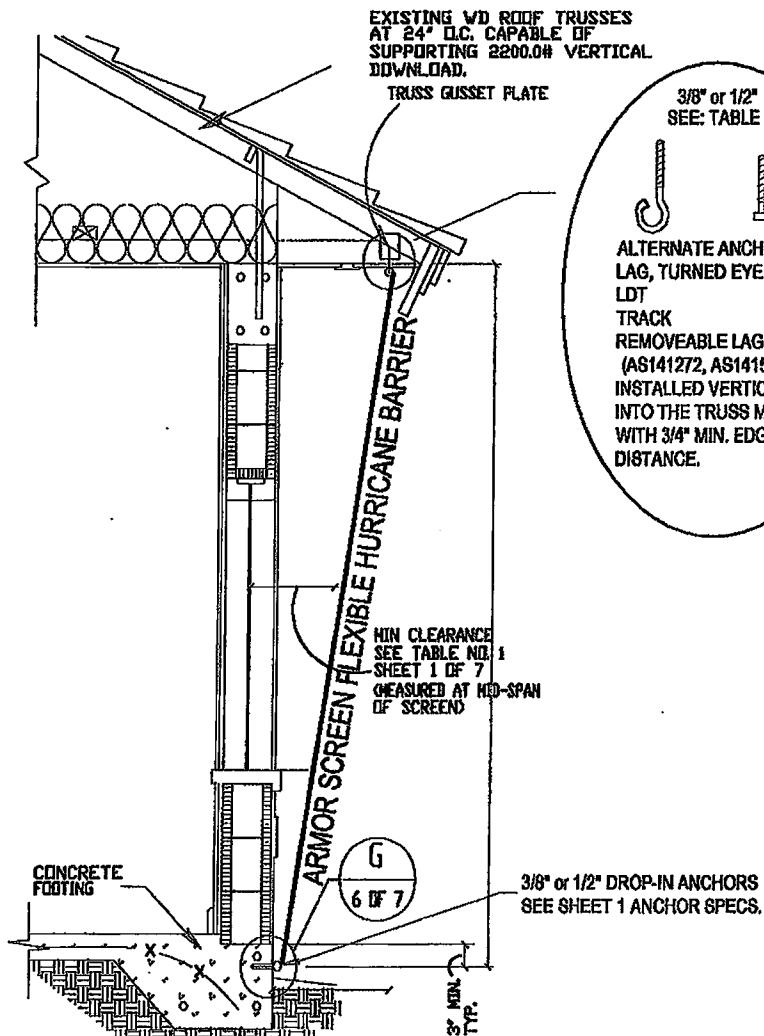
GARY D. FOREMAN, PE, SE, AIA, P.A.
12869 MCGREGOR WOODS CIRCLE
FT. MYERS, FL 33908
PH: (239) 989-3887
PRODUCT: ARMOR SCREEN SERIES 2000
FLEXIBLE WIND ABATEMENT / IMPACT PROTECTION SYSTEM
1861 OLD OKEECHOBEE RD. WEST PALM BEACH, FL 33409
PH: (561) 941-8880 FAX: (561) 941-8882
SALES@ARMORSCREEN.COM

Drawn by: TG, 10-22-01

SCALE: NO SCALE

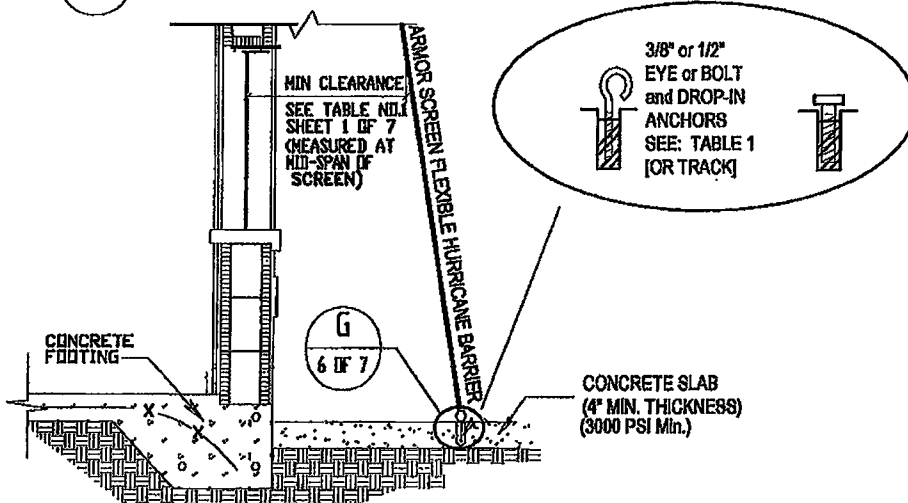
DWG. NO. AS-001

SHEET NO. 2 OF 8



TYPICAL ONE STORY ASSEMBLY INSTALLATION

A
2 OF 7



ALTERNATE ASSEMBLY INSTALLATION AT EXTERIOR SLAB

B
2 OF 7

REVISIONS

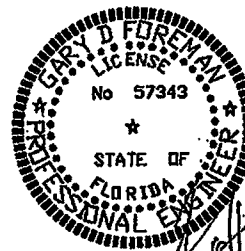
OCTOBER 22, 2001

August 27, 2003

November 25, 2003

February 17, 2012

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 12-0023-12
Expiration Date 07/07/2018
By: [Signature]
Maine Dade Product Control



GARY D. FOREMAN, PE SE AIA PA
12389 MCGREGOR WOODS CIRCLE
FT. MYERS, FL 33908
PH: (239)989-3887

PRODUCT: ARMOR SCREEN SERIES 2000
FLEXIBLE WIND ABATEMENT / IMPACT PROTECTION SYSTEM
1881 OLD OKEECHOBEE RD, WEST PALM BEACH, FL 33403
PH: (561)941-8880 FAX: (561)941-8892
SALES@ARMORSCREEN.COM

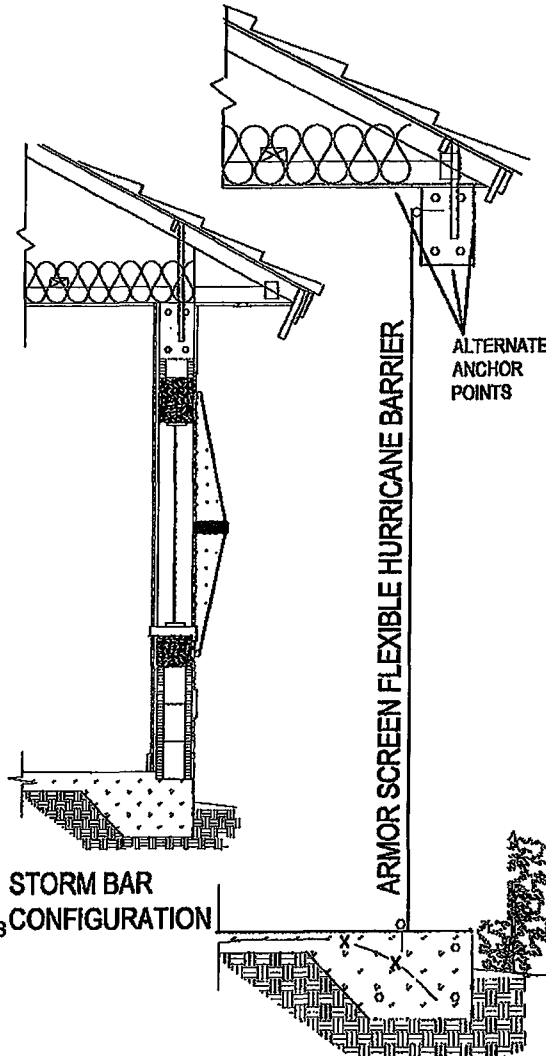
Drawn by: T G, 10-22-01
SCALE: NO SCALE

DWG NO. AS-001
SHEET NO. 3 OF 8

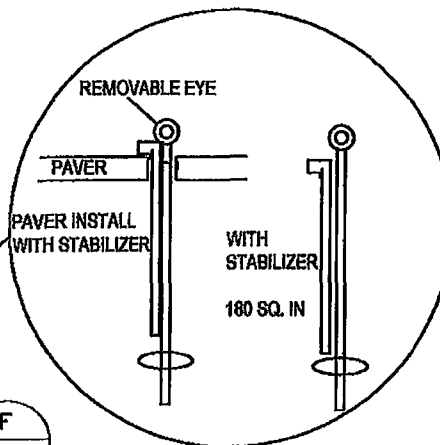
STORM BAR

SPAN	4'	6'	8'	10'	12'
MAX. PSF	135	88	60	45	30
DEFLECTION	5.5"	8.1"	10.7"	13.5"	16"
SYP 2"x6"	X	X	X	X	X
ALUM. TUBE					
2"x6"x1/8"				X	
SYP 4"x8"					X

- DEFLECTION; ACHIEVED BY ONE OR MORE STORM BARS AND MAY BE INCREASED WITH BLOCKING
- ALUM. TUBE TO BE TYPE 6061-T6
- ANCHOR ENDS WITH 5/8" x 1-1/2" TAPCON MIN. OR WITH ALUM. MTD BRACKET AND 2-1/4" x 1-1/2" TAPCON
- SUBJECT TO RATIONAL ANALYSIS



PORCH INSTALLATION



EARTH ANCHOR, 4" DIAM. HELIX
HORIZONTALLY STABILIZED
24" O.C. SEE: TABLE 1

2003 © ARMOR SCREEN CORPORATION

REVISIONS

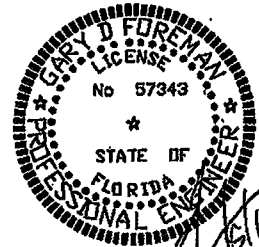
OCTOBER 22, 2001

August 27, 2003

November 25, 2003

February 17, 2012

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 12-0223-12
Expiration Date 01/07/2018
By: [Signature]
Miami District Office Control



GARY D. FOREMAN, PE, SE, AIA, PA
12388 MCGREGOR WOODS CIRCLE
FT. MYERS, FL 33908
PH: (239) 989-3887

PRODUCT: ARMOR SCREEN SERIES 2000
FLEXIBLE WIND ABATEMENT / IMPACT PROTECTION SYSTEM
1881 OLD OKEECHOBEE RD, WEST PALM BEACH, FL 33409
PH: (561) 841-8880 FAX: (561) 841-9892
SALES@ARMORSCREEN.COM

Drawn by: TG, 10-22-01

SCALE: NO SCALE

DWG NO. AS-001

SHEET NO. 4 OF 8

MIN CLEARANCE
SEE TABLE 1
NO. 1 SHEET 1 OF 7
(MEASURED AT MID-SPAN
OF SCREEN)

CONCRETE
FOOTING

INTO EARTH

ALTERNATE ASSEMBLY INSTALLATION

Typical of wall anchors

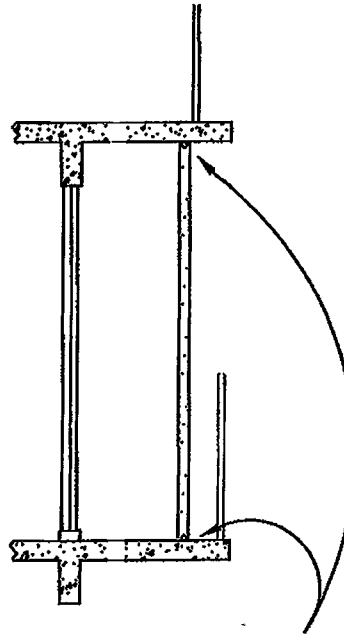
EXISTING WD ROOF TRUSSES
AT 24" O.C.

TRUSS GUSSET PLATE

MIN CLEARANCE
SEE TABLE 1
(MEASURED AT MID-SPAN
OF SCREEN)

ARMOR SCREEN FLEXIBLE HURRICANE BARRIER
(ALTERNATE TO TIE BEAM)

6
6 OF 7



FOR ANCHOR INSTALLATION
MAINTAIN AT LEAST MIN.
EDGE DISTANCE AND FULL
CAPACITY SPACING FROM
HANDRAIL ANCHORS

BALCONY SCREEN

ALTERNATE ASSEMBLY INSTALLATION

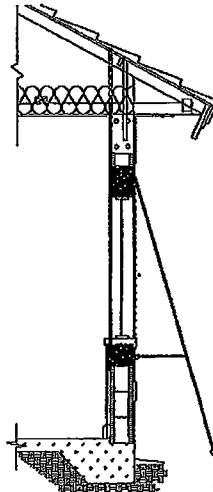
D
4 OF 7

3000 PSI CONCRETE
STRUCTURAL MEMBER

ARMOR SCREEN FLEXIBLE HURRICANE BARRIER

MIN CLEARANCE
SEE TABLE 1
(MEASURED AT MID-SPAN
OF SCREEN)

F
6 OF 7



CLOSED ON SIDES AND
BOTTOM
ANCHORED AT LOWER CORNERS

WINDOW SCREEN

REVISIONS

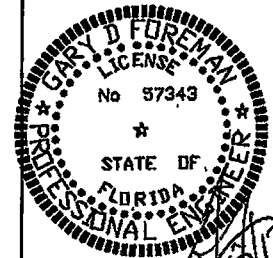
OCTOBER 22, 2001

August 27, 2003

November 25, 2003

February 17, 2012

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 12-0223-12
Expiration Date 01/07/2014
By: *[Signature]*
Miami Design Product Control



GARY D. FOREMAN, PE, SE AIA PA
12359 MCGREGOR WOODS CIRCLE
FT. MYERS, FL 33908
PH: (239) 988-3887

PRODUCT: ARMOR SCREEN SERIES 2000
FLEXIBLE WIND ABATEMENT / IMPACT PROTECTION SYSTEM
1881 OLD OKEECHOBEE RD, WEST PALM BEACH, FL 33409
PH: (561) 841-8890 FAX: (561) 841-8892
SALES@ARMORSCREEN.COM

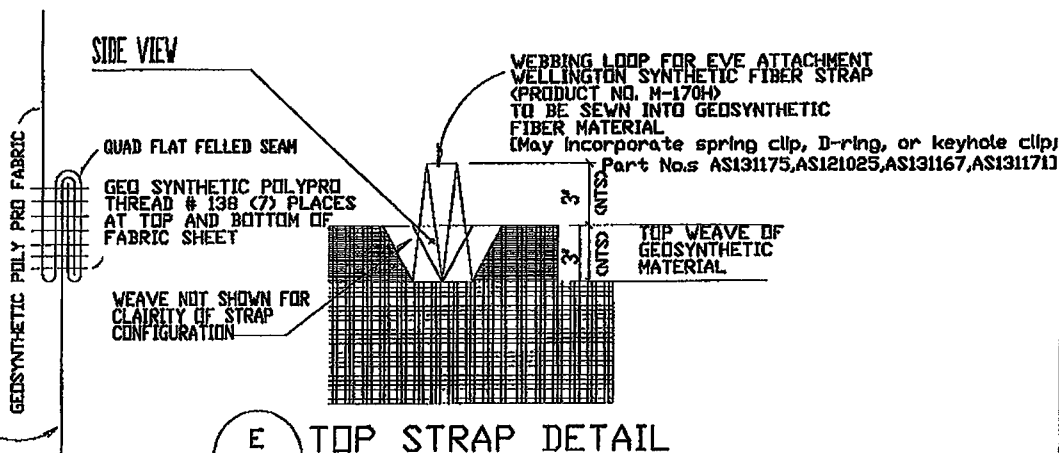
Drawn by: T G, 10-22-01

SCALE: NO SCALE

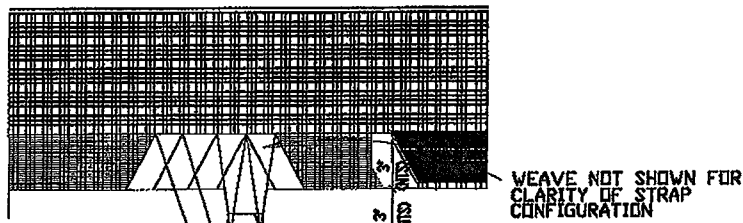
DWG NO. AS-001

SHEET NO 5 OF 8

WELLINGTON SYNTHETIC FIBERS INC. PRODUCT NO. M-170H 2" WIDE STRAP

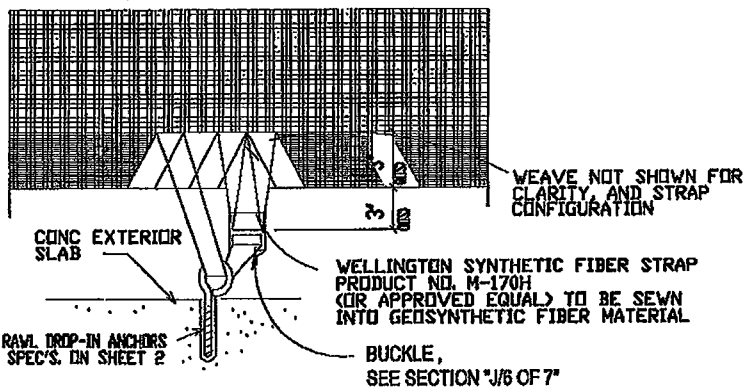


E TOP STRAP DETAIL
6 OF 7

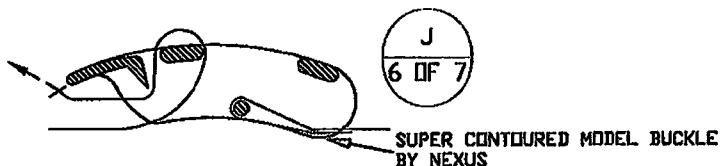


EARTH ANCHOR, SEE ANCHOR SPECIFICATIONS ON SHEET 2 OF 7. SOIL SHALL BE MIN. CLASS 5 (MEDIUM DENSE COURSE SAND).

F BOTTOM STRAP DETAIL
(AT EARTH ANCHOR)
6 OF 7



G BOTTOM STRAP DETAIL
(AT ANCHORAGE INTO CONCRETE)
6 OF 7



J
6 OF 7

2003 © ARMOR SCREEN CORPORATION

REVISIONS

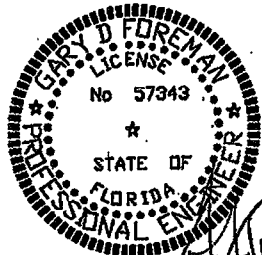
October 22, 2001

August 27, 2003

November 25, 2003

February 17, 2012

PRODUCT REVISED
as complying with the Florida
Building Code
Assurance No. 12-0223-12
Expiration Date 01/01/12
By: [Signature]
Miami Design Product Control



GARY D. FOREMAN, PE, SE AIA PA
12359 Mcgregor Woods Circle
FT. MYERS, FL 33908
PH: (239)988-3887

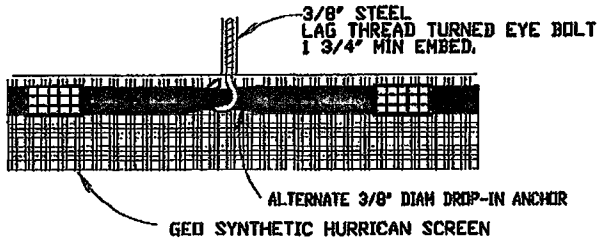
PRODUCT: ARMOR SCREEN SERIES 2000
FLEXIBLE WIND ABATEMENT / IMPACT PROTECTION SYSTEM
1881 OLD OKEECHOBEE RD, WEST PALM BEACH, FL 33409
PH: (561)841-8880 FAX: (561)841-8882
SALES@ARMORSCREEN.COM

Drawn by: T G, 10 - 22 - 01
SCALE: NO SCALE

DWG NO. AS-001
SHEET NO 6 OF 8

GEO SYNTHETIC MULTI FILAMENT
TEXTILE THREAD CO PLACES
AT TOP AND BOTTOM OF
FABRIC SHEET

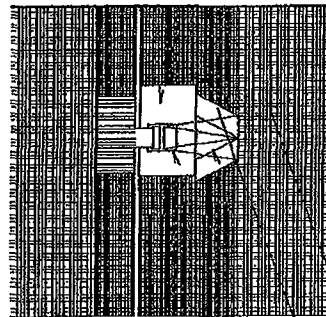
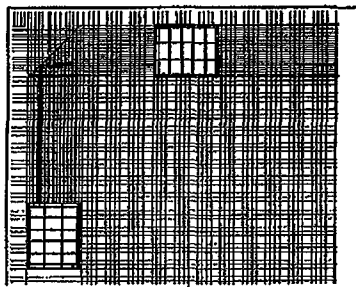
WELLINGTON SYNTHETIC FIBERS
INC. PRODUCT NO.
M-170H 2" WIDE STRAP



K
7 OF 7
**ALTERNATE
TOP STRAP DETAIL**
FOR OPENING 10 FEET OR LESS

H
7 OF 7
**STRAP DETAIL AT
ADJACENT SCREENS**

M
7 OF 7
ALTERNATE CORNER DETAIL
N.T.S.



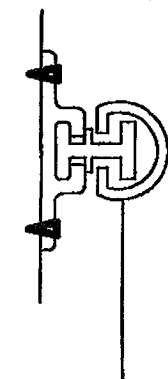
SCREEN THREAD NOT SHOWN
FOR CLARITY

BUCKLE W/ STRAP AND TRIGLIDE
SEE SECTION "J/6 OF 7"

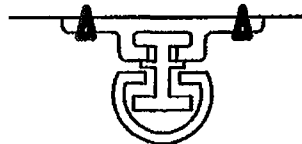
WELLINGTON SYNTHETIC FIBER STRAP.
PRODUCT NO. M-170H
(OR APPROVED EQUAL) TO BE SEWN
INTO GEOSYNTHETIC FIBER MATERIAL
(1 Anchor Overlap)

NOTE: SCREENS MAY BE GROMMETED.

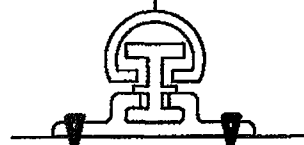
TRACK DETAIL



WALL
MOUNT



INSIDE MOUNT CEILING



INSIDE MOUNT
FLOOR

2003 © ARMOR SCREEN CORPORATION

REVISIONS

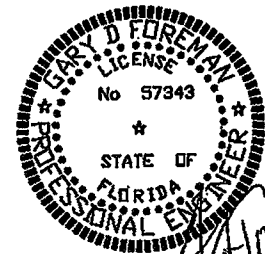
OCTOBER 22, 2001

August 27, 2003

November 26, 2003

February 17, 2012

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 12-0223-12
Expiration Date 01/07/12-18
By: *[Signature]*
Mission Dade County Control



GARY D. FOREMAN, PE, SE AIA PA
12389 MCGREGOR WOODS CIRCLE
FT. MYERS, FL 33908
PH: (239) 988-3887

PRODUCT: ARMOR SCREEN SERIES 2000
FLEXIBLE WIND ABATEMENT / IMPACT PROTECTION SYSTEM
1881 OLD OKEECHOBEE RD, WEST PALM BEACH, FL 33408
PH: (561) 941-8880 FAX: (561) 941-8882
SALES@ARMORSCREEN.COM

Drawn by: T G, 10-22-01

SCALE: NO SCALE

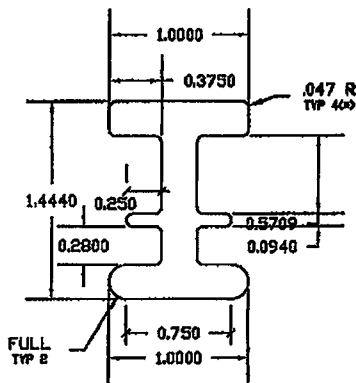
DWG NO. AS-001

SHEET NO. 7 OF 8

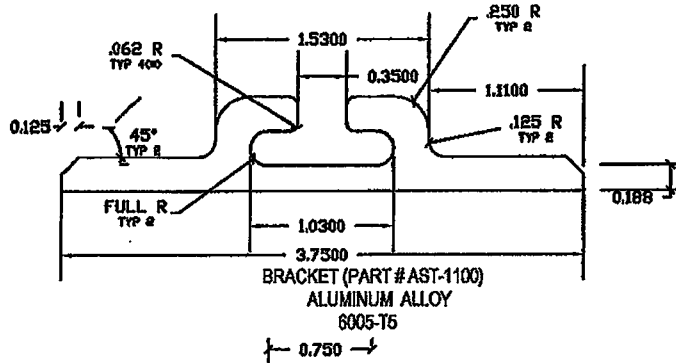
REVISIONS

November 25, 2003

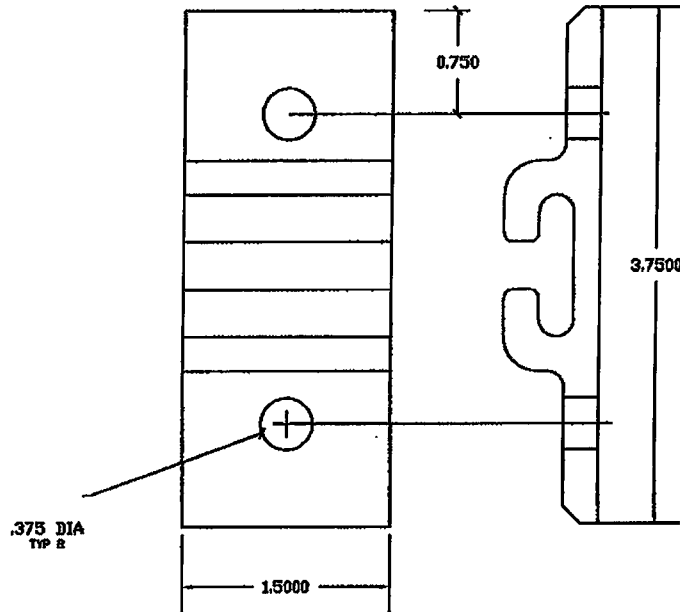
February 17, 2012



1" TRACK (PART #AS-1000)
ALUMINUM ALLOY
6005-T5



BRACKET (PART #AST-1100)
ALUMINUM ALLOY
6005-T5



D-RING CARRIERS (AS121025)



SPRING CLIPS (AS131175)



3/8" KEYHOLE CLIPS (AS131167)

1/2" KEYHOLE CLIPS (AS131171)



5/16" TAPCONS (FT1556)

3/8" TAPCONS (FT1538)

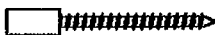
1/2" TAPCONS (FT1512)



3/8" LAG ANCHOR (AS141556)

3/8" CARRIAGE BOLT (AS141416)

3/8" EYEBOLT (AS141468)



1/2" LAG ANCHOR (AS141272)

1/2" CARRIAGE BOLT (AS141044)

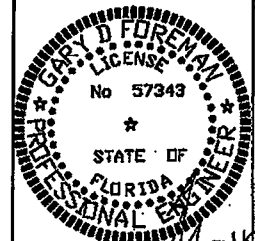
1/2" EYEBOLT (AS141116)



Screen #23 ONLY

IMAGES ARE REPRESENTATIVE AND NOT TO SCALE

PRODUCT REVISED
as complying with the Florida
Building Code
Acceptance No. 12-0022-12
Expiration Date 11/07/2014
By: *[Signature]*
Miami Dade District Council



GARY D. FOREMAN, PE, SE AIA PA
12389 MCGREGOR WOODS CIRCLE
FT. MYERS, FL 33908
PH: (239) 988-3887
PRODUCT: ARMOR SCREEN SERIES 2000
FLEXIBLE WIND ABATEMENT / IMPACT PROTECTION SYSTEM
1881 OLD OKEECHOBEE RD, WEST PALM BEACH, FL 33409
PH: (561) 841-8860 FAX: (561) 841-8862
SALES@ARMORSCREEN.COM

Drawn by: TG, 10-22-01

SCALE: NO SCALE

DWG NO. AS-001

SHEET NO. 8 OF 8

**MIAMI-DADE
COUNTY**

DEPARTMENT OF PERMITS, ENVIRONMENT AND INFRASTRUCTURE
AFFAIRS (PERA)
BOARD OF CODE ADMINISTRATION DIVISION

**MIAMI-DADE COUNTY
PRODUCT CONTROL SECTION**

1180 NW 26 Street, Room 208

Miami, Florida 33175-2474
(786) 315-2590 F (786) 315-2599

www.miamidade.gov/building

NOTICE OF ACCEPTANCE (NOA)

Armor Screen Corporation
1881 Old Okeechobee Road
West Palm Beach, FL 33409

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA-Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (in Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: "Armor Screen Series 2000" Flexible Wind Abatement System

APPROVAL DOCUMENT: Drawing No. AS-001, titled "Armor Screen Series 2000 Flexible Wind Abatement/Impact Protection System", sheets 1 through 8 of 8, prepared, signed and sealed by Gary D. Foreman, P.E., last revision dated May 17, 2012, bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and the expiration date by the Miami-Dade County Product Control Section.

MISSILE IMPACT RATING: Large and Small Missile Impact Resistant

LABELING: Each screen shall bear a permanent label with the manufacturer's name or logo, city, state, the following statement: "Miami-Dade County Product Control Approved", and NOA number, per TAS-201, TAS-202, and TAS-203, unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 08-1008.03 and consists of this page 1, evidence submitted pages E-1, E-2, & E-3 as well as approval document mentioned above.

The submitted documentation was reviewed by **Helmy A. Makar, P.E., M.S.**

**MIAMI-DADE COUNTY
APPROVED**

Helmy A. Makar
05/24/2012

NOA No. 12-0223.12
Expiration Date: 01/07/2014
Approval Date: 05/24/2012
Page 1

Armor Screen Corporation

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

1. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 99-0526.01

A. DRAWINGS

1. *Drawing No. AS-001, titled "Armor Screen Series 2000 Wind Abatement System", prepared by Thomas J. Rogers, P.E., dated June 28, 1998, sheets 1 through 6 of 6, signed and sealed by Thomas J. Rogers, P.E.*

B. TESTS

1. *Test report on Large Missile Impact Test and Cyclic Wind Pressure Test of Armor Screen Series 2000 Wind Abatement System, prepared by Hurricane Test Laboratory, Inc., Report No. 0139-0305-98, dated July 23, 1998, signed and sealed by Timothy S. Marshall, P.E.*
2. *Test report on Static Wind Pressure Test of Armor Screen Series 2000 Wind Abatement System, prepared by Hurricane Test Laboratory, Inc., Report No. 0139-0604-98, dated July 23, 1998, signed and sealed by Timothy S. Marshall, P.E.*
3. *Test report on Large Missile Impact Test and Cyclic Wind Pressure Test of Armor Screen Series 2000 Wind Abatement System, prepared by Hurricane Test Laboratory, Inc., dated November 24, 1998, signed by Vinu J. Abraham.*

C. CALCULATIONS

1. *Anchor calculations, dated July 14, 1998, pages 1 through 10 of 10, prepared by Thomas J. Rogers, P.E., signed and sealed by Thomas J. Rogers, P.E.*
2. *Anchor calculations, dated October 4, 1999, pages 1 through 6 of 6, prepared by Thomas J. Rogers, P.E., signed and sealed by Thomas J. Rogers, P.E.*

D. MATERIAL CERTIFICATIONS

1. *Mill certified Inspection Report with chemical composition and physical properties of Woven Monofilament Geotextile.*

2. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #03-1204.01

A. DRAWINGS

1. *None.*

B. TESTS

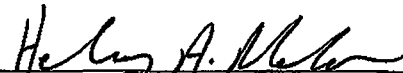
1. *None.*

C. CALCULATIONS

1. *None.*

D. MATERIAL CERTIFICATIONS

1. *None.*

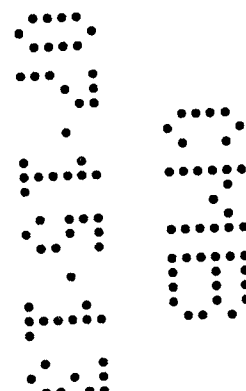



Henry A. Makar, P.E., M.S.
PERA, Product Control Unit Supervisor
NOA No. 12-0223.12
Expiration Date: 01/07/2014
Approval Date: 05/24/2012

Armor Screen Corporation

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

- 3. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL #07-0424.04**
- A. DRAWINGS**
1. *None.*
- B. TESTS**
1. *None.*
- C. CALCULATIONS**
1. *None.*
- D. QUALITY ASSURANCE**
1. *By Miami-Dade County Building Code Compliance Office.*
- E. MATERIAL CERTIFICATIONS**
1. *None.*
- 4. EVIDENCE SUBMITTED UNDER PREVIOUS APPROVAL # 08-1008.03**
- A. DRAWINGS**
1. *None.*
- B. TESTS**
1. *Test report on Large Missile Impact Test, Cyclic Wind Pressure Test, and Static Wind Pressure Test of Armor Screen Series 2000 Wind Abatement System, prepared by Fenestration Testing Laboratory, Inc., Report No. 5651-02, dated June 21, 2008, signed and sealed by Carlos S. Rionda, P.E., and Michael Wenzel, P.E.*
- C. CALCULATIONS**
1. *None.*
- D. QUALITY ASSURANCE**
1. *By Miami-Dade County Building Code Compliance Office.*
- E. MATERIAL CERTIFICATIONS**
1. *None.*




Helmy A. Makar, P.E., M.S.
PERA, Product Control Unit Supervisor
NOA No. 12-0223.12
Expiration Date: 01/07/2014
Approval Date: 05/24/2012

Armor Screen Corporation

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

5. NEW EVIDENCE SUBMITTED

A. DRAWINGS

1. *Drawing No. AS-001, titled "Armor Screen Series 2000 Flexible Wind Abatement/ Impact Protection System", sheets 1 through 8 of 8, prepared, signed and sealed by Gary D. Foreman, P.E., last revision dated May 17, 2012.*

B. TESTS

1. *Test report on Self-Ignition Temperature, Rate of Burning, and Smoke Density test of Composite Material (Armor Screen Series 2000 Wind Abatement System), prepared by Hurricane Engineering & Testing, Inc., Report No. HETI-12-F105, dated April 11, 2012, signed and sealed by Rafael E. Droz-Seda, P.E.*

C. CALCULATIONS

1. *None.*

D. QUALITY ASSURANCE

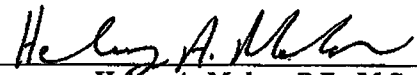
1. *By Miami-Dade County Department of Permitting, Environment, and Regulatory Affairs (PERA).*

E. MATERIAL CERTIFICATIONS

1. *None.*

F. OTHERS

1. *Letters from David M. Jones of Tencate, dated April 02 & 14, 2012, certifying the Weathering Test Per G154 (5100 hours at 92% tensile retention) performed is harsher than G155 (4500 hours) required.*



Henry A. Makar, P.E., M.S.
PERA, Product Control Unit Supervisor
NOA No. 12-0223.12
Expiration Date: 01/07/2014
Approval Date: 05/24/2012

RAMMS ENGINEERING, INC.

Kd = .85

2100 W 76 ST., HIALEAH, FLORIDA

FLORIDA BUILDING CODE, 2010

Robert S. Monsour, P.E. FI # 11955 / 0006024

ASCE 7-10

MIAMI DADE COUNTY

DESIGN WIND LOADS (LBS/SQFT)

FOR

175

MPH WIND ZONE

Interior & Exterior Zones (4&5 - Walls) Positive Pressures					CATEGORY II BUILDINGS	
Exposure D	For the 175 mph Wind Zone			WITH .6 ADJUSTMENT		
Height (Maximum)	Effective Wind Area (or, Tributary Area) in Square Feet					
	10	20	30	40	50	60
	1.00	0.95	0.92	0.89	0.88	0.86
15	48.9	46.7	45.4	44.5	43.8	43.2
20	51.3	49.0	47.6	46.7	45.9	45.3
25	53.2	50.8	49.4	48.4	47.6	47.0
30	55.1	52.6	51.2	50.1	49.3	48.7
40	57.9	55.3	53.8	52.7	51.9	51.2
50	60.3	57.6	56.0	54.9	54.0	53.3
60	62.2	59.4	57.8	56.6	55.7	55.0

Interior Zone (4 - Walls) Negative Pressures						
Exposure D	For the 175 mph Wind Zone			WITH .6 ADJUSTMENT		
Height (Maximum)	Effective Wind Area (or, Tributary Area) in Square Feet					
	10	20	30	40	50	60
	-1.10	-1.05	-1.02	-0.99	-0.98	-0.96
15	-53.1	-50.9	-49.6	-48.7	-47.9	-47.4
20	-55.6	-53.3	-52.0	-51.0	-50.3	-49.7
25	-57.7	-55.3	-53.9	-52.9	-52.1	-51.5
30	-59.8	-57.3	-55.8	-54.8	-54.0	-53.3
40	-62.9	-60.2	-58.7	-57.6	-56.8	-56.1
50	-65.4	-62.7	-61.1	-60.0	-59.1	-58.4
60	-67.5	-64.7	-63.0	-61.9	-61.0	-60.2

Exterior Zones (5 - Walls) Negative Pressures						
Exposure D	For the 175 mph Wind Zone			WITH .6 ADJUSTMENT		
Height (Maximum)	Effective Wind Area (or, Tributary Area) in Square Feet					
	10	20	30	40	50	60
	-1.40	-1.29	-1.23	-1.19	-1.15	-1.13
15	-65.5	-61.1	-58.5	-56.7	-55.3	-54.1
20	-68.7	-64.1	-61.4	-59.4	-57.9	-56.7
25	-71.2	-66.4	-63.6	-61.6	-60.1	-58.8
30	-73.8	-68.8	-65.9	-63.8	-62.2	-60.9
40	-77.6	-72.4	-69.3	-67.1	-65.5	-64.1
50	-80.8	-75.3	-72.1	-69.9	-68.1	-66.7
60	-83.3	-77.7	-74.4	-72.1	-70.3	-68.8

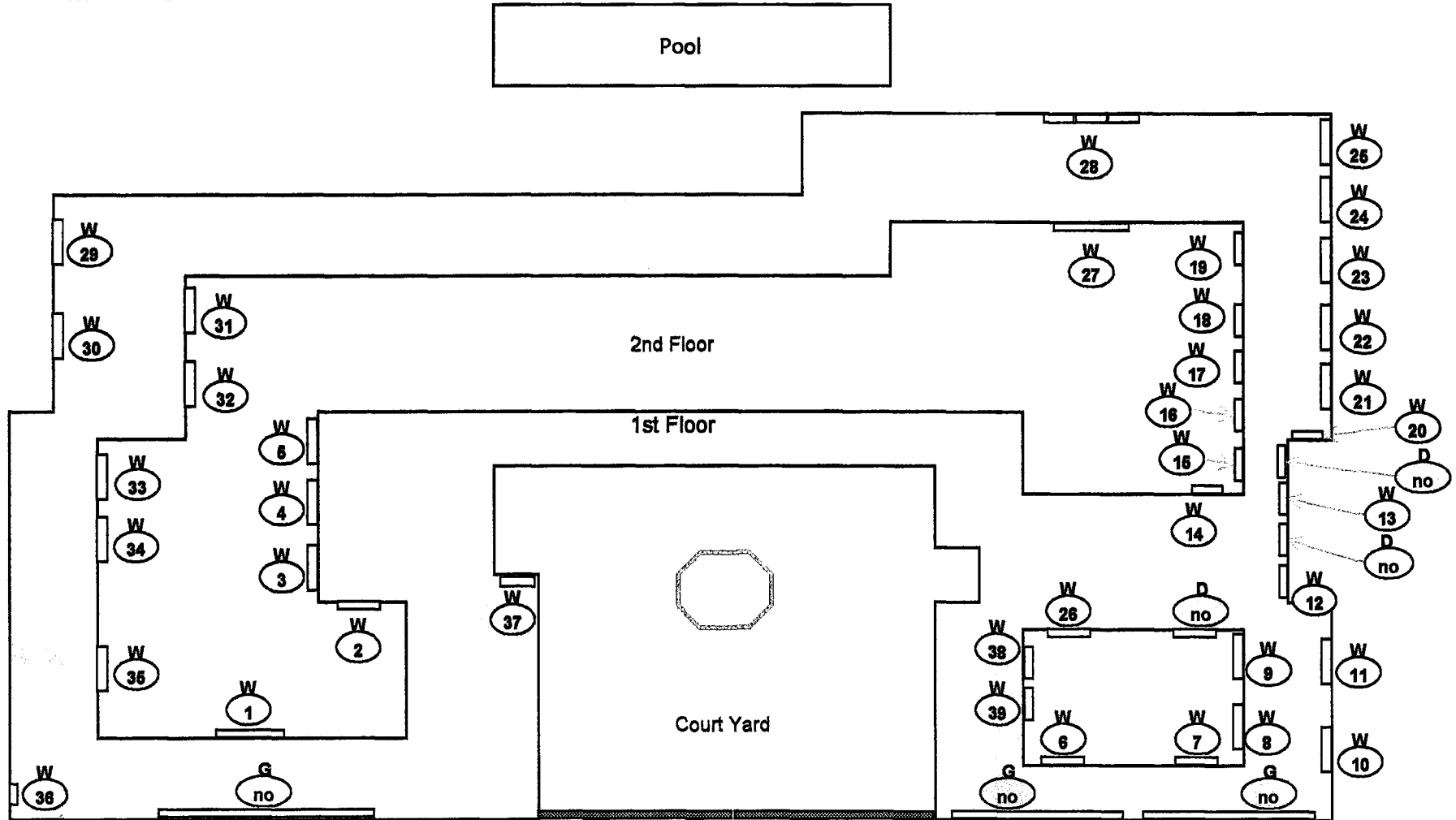
Length of End Zone (a): 10% of least horizontal dimension or .4 h, whichever is smaller, but not less than 4% of least horizontal dimension or 3 ft. (h = mean roof height in feet)

AN 8% REDUCTION OF LOADS SHOWN ABOVE MAY BE TAKEN FOR FLAT ROOFS

Property Diagram

Property: 5242 N. BAY RD
Job ID: No. JS-130212-2

CGC Jorge Guerra Jr. - Design Drywall
CGC Lic # 062690
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27.97.20
27.97.20

Legend:
W = Window
G = Garage
D = Door

ARMOR SCREEN

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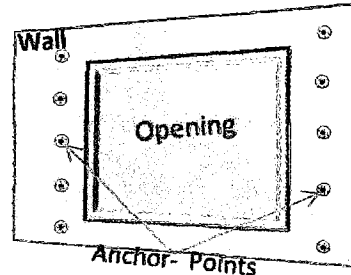
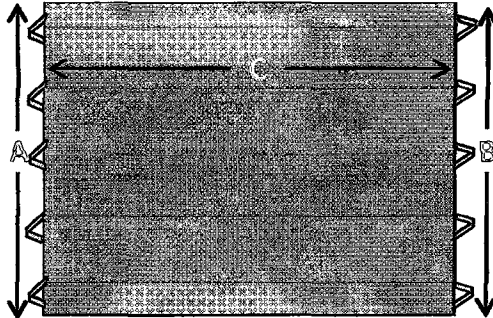
CGC Lic # 062690

Page 2 of 8

Property: 5242 N Bay Rd

HORIZONTAL SCREEN

DRAWINGS NOT TO SCALE



REFER TO MIAMI-DADE NOA 12-0223.12
Product: Armor Screen Series 2000

LEFT SIDE ANCHORING SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

3/8" Stainless Steel Drop-In Anchors (300 Series SS) (Refer To NOA Page 2 of 8)

3/8" Stainless Steel Carriage Bolt (Refer To NOA Page 8 of 8)

RIGHT SIDE ANCHORING SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

3/8" Stainless Steel Drop-In Anchors (300 Series SS) (Refer To NOA Page 2 of 8)

3/8" Stainless Steel Carriage Bolt (Refer To NOA Page 8 of 8)

ADDITIONAL SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

Left Side of Screen Attachments:

Standard Loops with 3/8" Stainless Steel Keyhole Clip (Refer To NOA Page 8 of 8)

Right Side of Screen Attachments:

Standard Buckle & Staps with 3/8" Stainless Steel Keyhole Clip (Refer To NOA Page 8 of 8)

The Tension of the screen is adjusted by a buckle and strap assembly

FINAL SCREENS ARE BASED ON FIELD MEASUREMENTS. ALL HARDWARE STAINLESS STEEL UNLESS NOTED

SCREEN DETAILS

SCREEN ID(s): 1,21

(For Screen(s) Placement Refer To Submitted Property Diagram)

A= 56 IN.

B= 56 IN.

(SPAN) C= 91 IN.

DEFLECTION = 0 IN. Minimum *

* 0" = Not Applicable, non-glazed opening

DESIGN PRESSURE**: +/- 86.5 PSF

MIN REQ. PRESURE***: +52.6 / -57.3 PSF

** (Refer To NOA Page 2 of 8)

*** (Refer To Submitted Wind-load)

ANCHOR SPACING: 18 IN. OC MAX

SCREEN TRIBUTARY AREA: (Span (sq) / 3) / 144) 19.2 SQ. FT.

STORM BAR CONFIGURATION *

Storm-Bar Length (Span): N/A IN.

Max PSF Load: PSF

Deflection Required: IN.

Deflection Achieved: IN.

*(Refer To NOA Page 4 of 8 For Additional Details)

SCREEN ID(s): 2,10,11,23,26

*(For Screen(s) Placement Refer To Submitted Property Diagram)

A= 51 IN.

B= 51 IN.

(SPAN) C= 46 IN.

DEFLECTION = 0" IN. MIN. *

* 0" = Not Applicable, non-glazed opening

DESIGN PRESSURE**: +/- 98 PSF

MIN REQ. PRESURE***: +55.1 / -59.8 PSF

** (Refer To NOA Page 2 of 8)

*** (Refer To Submitted Wind-load)

ANCHOR SPACING: 18 IN. OC MAX

SCREEN TRIBUTARY AREA: (Span (sq) / 3) / 144) 4.9 SQ. FT.

STORM BAR CONFIGURATION *

Storm-Bar Length (Span): N/A IN.

Max PSF Load: PSF

Deflection Required: IN.

Deflection Achieved: IN.

*(Refer To NOA Page 4 of 8 For Additional Details)

ARMOR SCREEN

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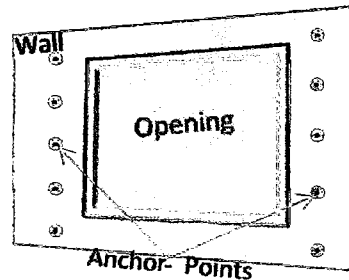
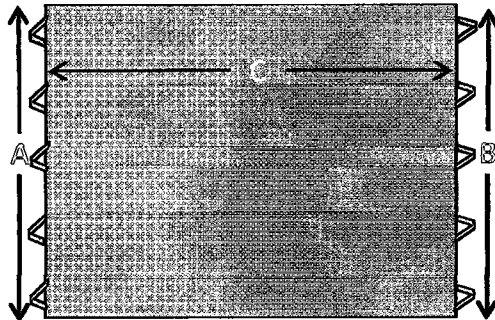
CGC Lic # 062690

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Property: 5242 N Bay Rd

HORIZONTAL SCREEN

DRAWINGS NOT TO SCALE



REFER TO MIAMI-DADE NOA 12-0223.12
Product: Armor Screen Series 2000

LEFT SIDE ANCHORING SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

3/8" Stainless Steel Drop-In Anchors (300 Series SS) (Refer To NOA Page 2 of 8)

3/8" Stainless Steel Carriage Bolt (Refer To NOA Page 8 of 8)

RIGHT SIDE ANCHORING SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

3/8" Stainless Steel Drop-In Anchors (300 Series SS) (Refer To NOA Page 2 of 8)

3/8" Stainless Steel Carriage Bolt (Refer To NOA Page 8 of 8)

ADDITIONAL SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

Left Side of Screen Attachments:

Standard Loops with 3/8" Stainless Steel Keyhole Clip (Refer To NOA Page 8 of 8)

Right Side of Screen Attachments:

Standard Buckle & Staps with 3/8" Stainless Steel Keyhole Clip (Refer To NOA Page 8 of 8)

The Tension of the screen is adjusted by a buckle and strap assembly

FINAL SCREENS ARE BASED ON FIELD MEASUREMENTS. ALL HARDWARE STAINLESS STEEL UNLESS NOTED

SCREEN DETAILS

SCREEN ID(s)*: 3, 4, 5, 6, 7, 8, 9, 12, 14, 20, 31

*(For Screen(s) Placement Refer To Submitted Property Diagram)

A= 53 IN.

B= 53 IN.

(SPAN) C= 43 IN.

DEFLECTION = 0 IN. MIN. *

* 0" = Not Applicable, non-glazed opening

DESIGN PRESSURE**= +/- 98 PSF

MIN REQ. PRESURE***= +55.1 / -59.8 PSF

** (Refer To NOA Page 2 of 8)

*** (Refer To Submitted Wind-load)

ANCHOR SPACING: 18 IN. OC MAX

SCREEN TRIBUTARY AREA: (Span (sq) / 3) / 144 4.3 SQ. FT.

STORM BAR CONFIGURATION *

Storm-Bar Length (Span): N/A IN.

Max PSF Load: PSF

Deflection Required: IN.

Deflection Achieved: IN.

*(Refer To NOA Page 4 of 8 For Additional Details)

SCREEN ID(s)*: 13, 17, 18, 36, 39

*(For Screen(s) Placement Refer To Submitted Property Diagram)

A= 44 IN.

B= 44 IN.

(SPAN) C= 29 IN.

DEFLECTION = 0" IN. MIN. *

* 0" = Not Applicable, non-glazed opening

DESIGN PRESSURE**= +/- 98 PSF

MIN REQ. PRESURE***= +55.1 / -59.8 PSF

** (Refer To NOA Page 2 of 8)

*** (Refer To Submitted Wind-load)

ANCHOR SPACING: 18 IN. OC MAX

SCREEN TRIBUTARY AREA: (Span (sq) / 3) / 144 1.9 SQ. FT.

STORM BAR CONFIGURATION *

Storm-Bar Length (Span): IN.

Max PSF Load: PSF

Deflection Required: IN.

Deflection Achieved: IN.

*(Refer To NOA Page 4 of 8 For Additional Details)

ARMOR SCREEN

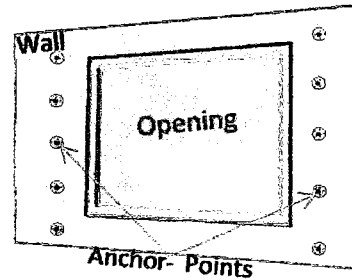
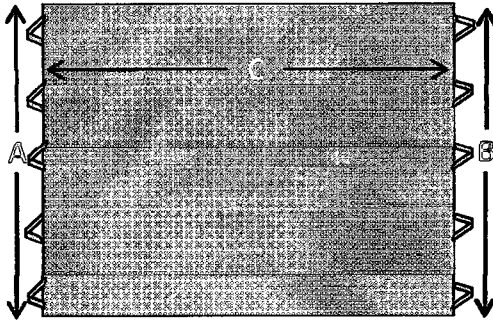
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CGC Lic # 062690

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Property: 5242 N Bay Rd

HORIZONTAL SCREEN

DRAWINGS NOT TO SCALE



REFER TO MIAMI-DADE NOA 12-0223.12
Product: Armor Screen Series 2000

LEFT SIDE ANCHORING SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

3/8" Stainless Steel Drop-In Anchors (300 Series SS) (Refer To NOA Page 2 of 8)

3/8" Stainless Steel Carriage Bolt (Refer To NOA Page 8 of 8)

RIGHT SIDE ANCHORING SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

3/8" Stainless Steel Drop-In Anchors (300 Series SS) (Refer To NOA Page 2 of 8)

3/8" Stainless Steel Carriage Bolt (Refer To NOA Page 8 of 8)

ADDITIONAL SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

Left Side of Screen Attachments:

Standard Loops with 3/8" Stainless Steel Keyhole Clip (Refer To NOA Page 8 of 8)

Right Side of Screen Attachments:

Standard Buckle & Staps with 3/8" Stainless Steel Keyhole Clip (Refer To NOA Page 8 of 8)

The Tension of the screen is adjusted by a buckle and strap assembly

FINAL SCREENS ARE BASED ON FIELD MEASUREMENTS. ALL HARDWARE STAINLESS STEEL UNLESS NOTED

SCREEN DETAILS

SCREEN ID(s)*: 15, 16, 24, 25, 29, 30, 31, 32

*(For Screen(s) Placement Refer To Submitted Property Diagram)

A= 68 IN.

B= 68 IN.

(SPAN) C= 49 IN.

DEFLECTION = 0 IN. MIN. *

* 0" = Not Applicable, non-glazed opening

DESIGN PRESSURE**: +/- 98 PSF

MIN REQ. PRESURE***: +55.1 / -59.8 PSF

** (Refer To NOA Page 2 of 8)

*** (Refer To Submitted Wind-load)

ANCHOR SPACING: 18 IN. OC MAX

SCREEN TRIBUTARY AREA: (Span (sq) / 3) / 144) 5.6 SQ. FT.

STORM BAR CONFIGURATION *

Storm-Bar Length (Span): N/A IN.

Max PSF Load: PSF

Deflection Required: IN.

Deflection Achieved: IN.

*(Refer To NOA Page 4 of 8 For Additional Details)

SCREEN ID(s)*: N/A

*(For Screen(s) Placement Refer To Submitted Property Diagram)

A= IN.

B= IN.

(SPAN) C= IN.

DEFLECTION = IN. MIN. *

* 0" = Not Applicable, non-glazed opening

DESIGN PRESSURE**:

MIN REQ. PRESURE***:

** (Refer To NOA Page 2 of 8)

*** (Refer To Submitted Wind-load)

ANCHOR SPACING: IN. OC MAX

SCREEN TRIBUTARY AREA: (Span (sq) / 3) / 144) 0.0 SQ. FT.

STORM BAR CONFIGURATION *

Storm-Bar Length (Span): N/A IN.

Max PSF Load: PSF

Deflection Required: IN.

Deflection Achieved: IN.

*(Refer To NOA Page 4 of 8 For Additional Details)

ARMOR SCREEN

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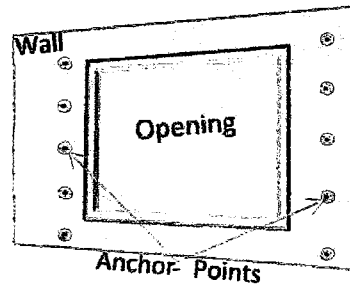
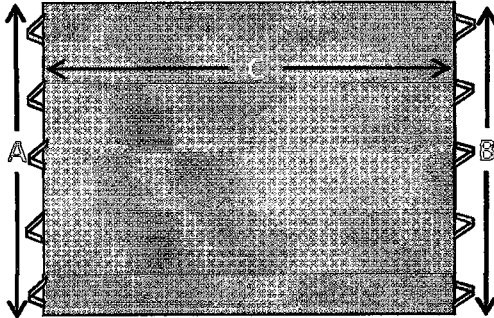
CGC Lic # 062690

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Property: 5242 N Bay Rd

HORIZONTAL SCREEN

DRAWINGS NOT TO SCALE



REFER TO MIAMI-DADE NOA 12-0223.12
Product: Armor Screen Series 2000

LEFT SIDE ANCHORING SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

3/8" Stainless Steel Drop-In Anchors (300 Series SS) (Refer To NOA Page 2 of 8)

3/8" Stainless Steel Carriage Bolt (Refer To NOA Page 8 of 8)

RIGHT SIDE ANCHORING SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

3/8" Stainless Steel Drop-In Anchors (300 Series SS) (Refer To NOA Page 2 of 8)

3/8" Stainless Steel Carriage Bolt (Refer To NOA Page 8 of 8)

ADDITIONAL SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

Left Side of Screen Attachments:

Standard Loops with 3/8" Stainless Steel Keyhole Clip (Refer To NOA Page 8 of 8)

Right Side of Screen Attachments:

Standard Buckle & Staps with 3/8" Stainless Steel Keyhole Clip (Refer To NOA Page 8 of 8)

The Tension of the screen is adjusted by a buckle and strap assembly

FINAL SCREENS ARE BASED ON FIELD MEASUREMENTS. ALL HARDWARE STAINLESS STEEL UNLESS NOTED

SCREEN DETAILS

SCREEN ID(s)*: 22

*(For Screen(s) Placement Refer To Submitted Property Diagram)

A= 56 IN.

B= 56 IN.

(SPAN) C= 70 IN.

DEFLECTION = 0 IN. MIN. *

* 0" = Not Applicable, non-glazed opening

DESIGN PRESSURE**: +/- 98 PSF

MIN REQ. PRESURE***: +55.1 / -59.8 PSF

** (Refer To NOA Page 2 of 8)

*** (Refer To Submitted Wind-load)

ANCHOR SPACING: 18 IN. OC MAX

SCREEN TRIBUTARY AREA: (Span (sq) / 3) / 144 11.3 SQ. FT.

STORM BAR CONFIGURATION *

FOR SCREEN ID(s): N/A

Storm-Bar Length (Span): IN.

Max PSF Load: PSF

Deflection Required: IN.

Deflection Achieved: IN.

*(Refer To NOA Page 4 of 8 For Additional Details)

SCREEN ID(s)*: 19,27

*(For Screen(s) Placement Refer To Submitted Property Diagram)

A= 68 IN.

B= 68 IN.

(SPAN) C= 87 IN.

DEFLECTION = 0" IN. MIN. *

* 0" = Not Applicable, non-glazed opening

DESIGN PRESSURE**: +/- 86.5 PSF

MIN REQ. PRESURE***: +52.6 / -57.3 PSF

** (Refer To NOA Page 2 of 8)

*** (Refer To Submitted Wind-load)

ANCHOR SPACING: 18 IN. OC MAX

SCREEN TRIBUTARY AREA: (Span (sq) / 3) / 144 17.5 SQ. FT.

STORM BAR CONFIGURATION *

Storm-Bar Length (Span): N/A IN.

Max PSF Load: PSF

Deflection Required: IN.

Deflection Achieved: IN.

*(Refer To NOA Page 4 of 8 For Additional Details)

ARMOR SCREEN

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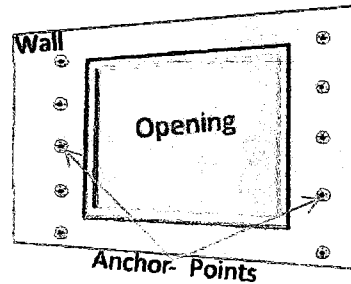
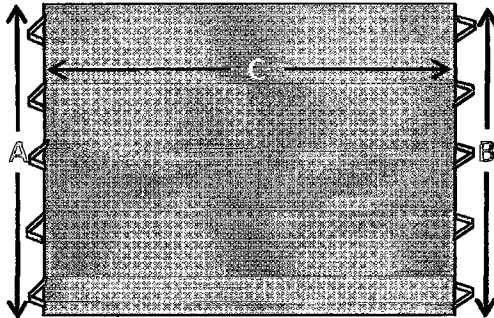
CGC Lic # 062690

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Property: 5242 N Bay Rd

HORIZONTAL SCREEN

DRAWINGS NOT TO SCALE



REFER TO MIAMI-DADE NOA 12-0223.12
Product: Armor Screen Series 2000

LEFT SIDE ANCHORING SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

3/8" Stainless Steel Drop-In Anchors (300 Series SS) (Refer To NOA Page 2 of 8)

3/8" Stainless Steel Carriage Bolt (Refer To NOA Page 8 of 8)

RIGHT SIDE ANCHORING SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

3/8" Stainless Steel Drop-In Anchors (300 Series SS) (Refer To NOA Page 2 of 8)

3/8" Stainless Steel Carriage Bolt (Refer To NOA Page 8 of 8)

ADDITIONAL SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

Left Side of Screen Attachments:

Standard Loops with 3/8" Stainless Steel Keyhole Clip (Refer To NOA Page 8 of 8)

Right Side of Screen Attachments:

Standard Buckle & Staps with 3/8" Stainless Steel Keyhole Clip (Refer To NOA Page 8 of 8)

The Tension of the screen is adjusted by a buckle and strap assembly

FINAL SCREENS ARE BASED ON FIELD MEASUREMENTS. ALL HARDWARE STAINLESS STEEL UNLESS NOTED

SCREEN DETAILS

SCREEN ID(s)*: 35

*(For Screen(s) Placement Refer To Submitted Property Diagram)

A= 53 IN.

B= 53 IN.

(SPAN) C= 41 IN.

DEFLECTION = 0 IN. MIN. *

* 0" = Not Applicable, non-glazed opening

DESIGN PRESSURE**: +/- 98 PSF

MIN REQ. PRESURE***: +55.1 / -59.8 PSF

** (Refer To NOA Page 2 of 8)

*** (Refer To Submitted Wind-load)

ANCHOR SPACING: 18 IN. OC MAX

SCREEN TRIBUTARY AREA: (Span (sq) / 3) / 144) 3.9 SQ. FT.

STORM BAR CONFIGURATION *

Storm-Bar Length (Span): N/A IN.

Max PSF Load: PSF

Deflection Required: IN.

Deflection Achieved: IN.

*(Refer To NOA Page 4 of 8 For Additional Details)

SCREEN ID(s)*: 37

*(For Screen(s) Placement Refer To Submitted Property Diagram)

A= 71 IN.

B= 71 IN.

(SPAN) C= 43 IN.

DEFLECTION = 0" IN. MIN. *

* 0" = Not Applicable, non-glazed opening

DESIGN PRESSURE**: +/- 98 PSF

MIN REQ. PRESURE***: +55.1 / -59.8 PSF

** (Refer To NOA Page 2 of 8)

*** (Refer To Submitted Wind-load)

ANCHOR SPACING: IN. OC MAX

SCREEN TRIBUTARY AREA: (Span (sq) / 3) / 144) 4.3 SQ. FT.

STORM BAR CONFIGURATION *

Storm-Bar Length (Span): N/A IN.

Max PSF Load: PSF

Deflection Required: IN.

Deflection Achieved: IN.

*(Refer To NOA Page 4 of 8 For Additional Details)

ARMOR SCREEN

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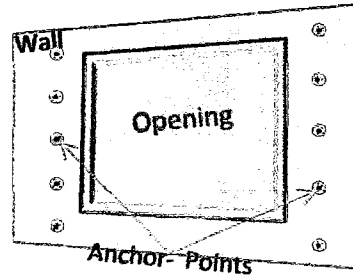
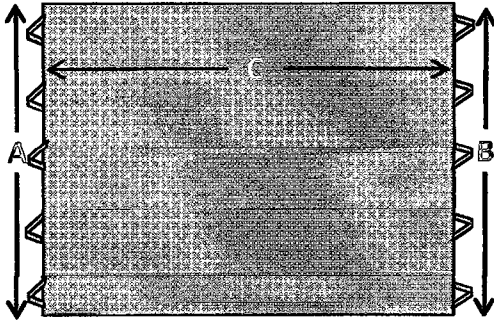
CGC Lic # 062690

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Property: 5242 N Bay Rd

HORIZONTAL SCREEN

DRAWINGS NOT TO SCALE



REFER TO MIAMI-DADE NOA 12-0223.12
Product: Armor Screen Series 2000

LEFT SIDE ANCHORING SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

3/8" Stainless Steel Drop-In Anchors (300 Series SS) (Refer To NOA Page 2 of 8)

3/8" Stainless Steel Carriage Bolt (Refer To NOA Page 8 of 8)

RIGHT SIDE ANCHORING SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

3/8" Stainless Steel Drop-In Anchors (300 Series SS) (Refer To NOA Page 2 of 8)

3/8" Stainless Steel Carriage Bolt (Refer To NOA Page 8 of 8)

ADDITIONAL SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

Left Side of Screen Attachments:

Standard Loops with 3/8" Stainless Steel Keyhole Clip (Refer To NOA Page 8 of 8)

Right Side of Screen Attachments:

Standard Buckle & Staps with 3/8" Stainless Steel Keyhole Clip (Refer To NOA Page 8 of 8)

The Tension of the screen is adjusted by a buckle and strap assembly

FINAL SCREENS ARE BASED ON FIELD MEASUREMENTS. ALL HARDWARE STAINLESS STEEL UNLESS NOTED

SCREEN DETAILS

SCREEN ID(s)*: 38

*(For Screen(s) Placement Refer To Submitted Property Diagram)

A= 43 IN.

B= 32 IN.

(SPAN) C= 48 IN.

DEFLECTION = 0 IN. MIN. *

* 0" = Not Applicable, non-glazed opening

DESIGN PRESSURE**: +/- 98 PSF

MIN REQ. PRESURE***: +55.1 / -59.8 PSF

** (Refer To NOA Page 2 of 8)

*** (Refer To Submitted Wind-load)

ANCHOR SPACING: 18 IN. OC MAX

SCREEN TRIBUTARY AREA: (Span (sq) / 3) / 144) 5.3 SQ. FT.

STORM BAR CONFIGURATION *

Storm-Bar Length (Span): N/A IN.

Max PSF Load: PSF

Deflection Required: IN.

Deflection Achieved: IN.

*(Refer To NOA Page 4 of 8 For Additional Details)

SCREEN ID(s)*: 33

*(For Screen(s) Placement Refer To Submitted Property Diagram)

A= 46 IN.

B= 46 IN.

(SPAN) C= 68 IN.

DEFLECTION = 0" IN. MIN. *

* 0" = Not Applicable, non-glazed opening

DESIGN PRESSURE**: +/- 98 PSF

MIN REQ. PRESURE***: +55.1 / -59.8 PSF

** (Refer To NOA Page 2 of 8)

*** (Refer To Submitted Wind-load)

ANCHOR SPACING: 18 IN. OC MAX

SCREEN TRIBUTARY AREA: (Span (sq) / 3) / 144) 10.7 SQ. FT.

STORM BAR CONFIGURATION *

Storm-Bar Length (Span): N/A IN.

Max PSF Load: PSF

Deflection Required: IN.

Deflection Achieved: IN.

*(Refer To NOA Page 4 of 8 For Additional Details)

ARMOR SCREEN

CGC Jorge Guerra Jr. - Design Drywall

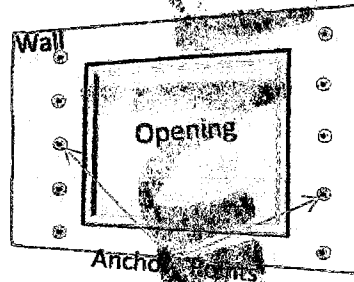
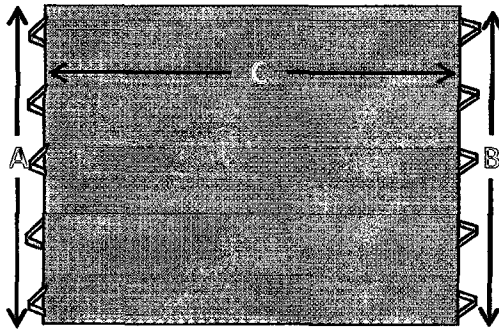
CGC Lic # 062690

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Property: 5242 N Bay Rd

HORIZONTAL SCREEN

DRAWINGS NOT TO SCALE



REFER TO MIAMI-DADE NOA 12-0223.12
Product: Armor Screen Series 2000

LEFT SIDE ANCHORING SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

1/2" Stainless Steel Drop-In Anchors (300 Series SS) (Refer To NOA Page 2 of 8)

1/2" Stainless Steel Carriage Bolt (Refer To NOA Page 8 of 8)

RIGHT SIDE ANCHORING SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

1/2" Stainless Steel Drop-In Anchors (300 Series SS) (Refer To NOA Page 2 of 8)

1/2" Stainless Steel Carriage Bolt (Refer To NOA Page 8 of 8)

ADDITIONAL SPECS:

(APPLICABLE TO ALL SCREEN ID's ON THIS PAGE ONLY)

Left Side of Screen Attachments:

Standard Loops with 1/2" Stainless Steel Keyhole Clip (Refer To NOA Page 8 of 8)

Right Side of Screen Attachments:

Standard Buckle & Staps with 1/2" Stainless Steel Keyhole Clip (Refer To NOA Page 8 of 8)

The Tension of the screen is adjusted by a buckle and strap assembly

FINAL SCREENS ARE BASED ON FIELD MEASUREMENTS. ALL HARDWARE STAINLESS STEEL UNLESS NOTED

SCREEN DETAILS

SCREEN ID(s)*:

28

*(For Screen(s) Placement Refer To Submitted Property Diagram)

A = 68 IN.

B = 68 IN.

(SPAN) C = 170 IN.

DEFLECTION = 0 IN. Minimum

* 0" = Not Applicable, non-glazed opening

DESIGN PRESSURE** = +/- 105 PSF

MIN REQ. PRESURE*** = +48.7 / -53.3 PSF

** (Refer To NOA Page 2 of 8)

*** (Refer To Submitted Wind-load)

ANCHOR SPACING: 18 IN. OC MAX

SCREEN TRIBUTARY AREA: (Span (sq) / 3) / 144) 66.9 SQ. FT.

STORM BAR CONFIGURATION *

Storm-Bar Length (Span): N/A IN.

Max PSF Load: PSF

Deflection Required: IN.

Deflection Achieved: IN.

*(Refer To NOA Page 4 of 8 For Additional Details)

SCREEN ID(s)*:

N/A

*(For Screen(s) Placement Refer To Submitted Property Diagram)

A = IN.

B = IN.

(SPAN) C = IN.

DEFLECTION = IN. MIN

* 0" = Not Applicable, non-glazed opening

DESIGN PRESSURE**

MIN REQ. PRESURE***

** (Refer To NOA Page 2 of 8)

*** (Refer To Submitted Wind-load)

ANCHOR SPACING: IN. OC MAX

SCREEN TRIBUTARY AREA: (Span (sq) / 3) / 144) 0.0 SQ. FT.

STORM BAR CONFIGURATION *

Storm-Bar Length (Span): N/A IN.

Max PSF Load:

Deflection Required: IN.

Deflection Achieved: IN.

*(Refer To NOA Page 4 of 8 For Additional Details)

B130 5317

5242 N Board

Response to Flood Notes:

UPDATE AREA OF WORK TO 7,863 sq ft , UPDATE VALUATION TO \$471,780.00

Work area has been updated on the plan. Initially it was the floor area square footage not an actual construction area.

Work area is 3,322 sq ft. Application has been updated.

PRIVATE RESIDENCE

5242 NORTH BAY ROAD
MIAMI BEACH, FL 33140

SELECTIVE INTERIOR DEMOLITION SET NO STRUCTURAL WORK IS PROPOSED UNDER THIS PERMIT

ARCHITECT
KOBI KARP ARCHITECTURE
AND INTERIOR DESIGN, INC.
2915 Biscayne Blvd. Suite 200
Miami , Florida 33137
Tel: (305) 573-1818
Fax: (305) 573-3766

Rev.	Date	Rev.	Date
1	03/27/20		

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INTERIOR DEMO SET

PRIVATE RESIDENCE

5242 NORTH BAY RD
MIAMI, FL, 33140

Owner:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
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Fax: +1(305) 573 3766



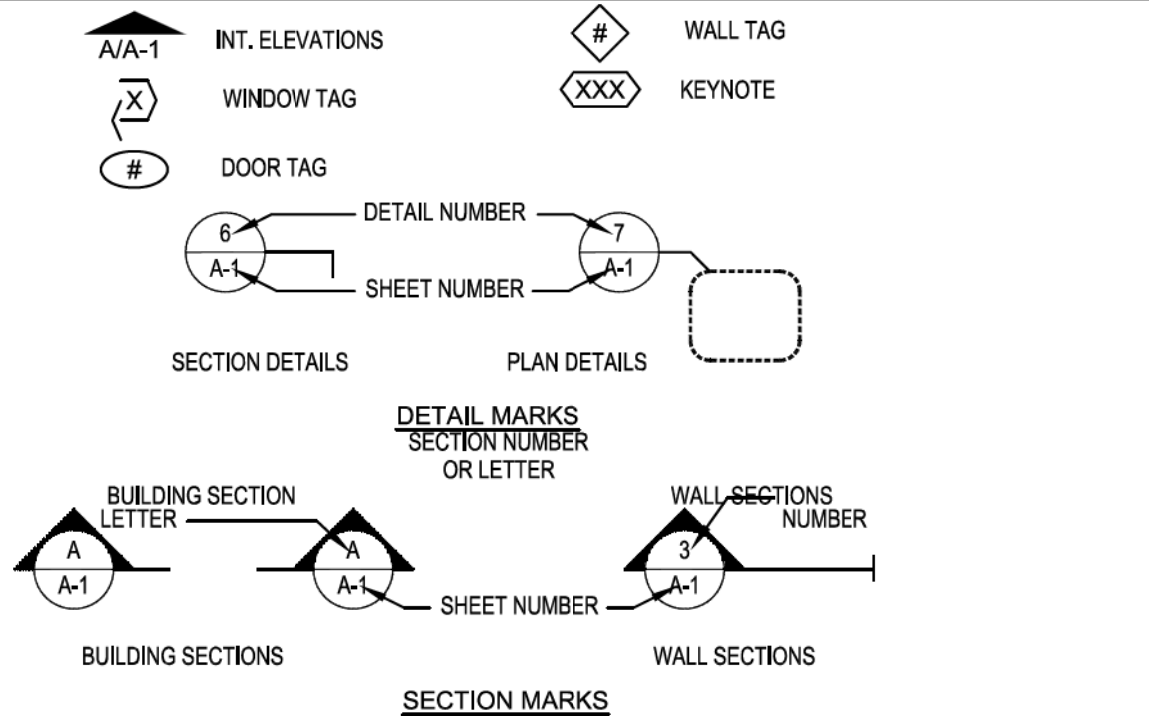
COVER / INDEX / NOTES

Date	Sheet No.
Scale	A0.00
Project	2007

ABBREVIATIONS

ACOUST.	ACOUSTICAL	INSUL.	INSULATION
A.D.	AREA DRAIN	INT.	INTERIOR
ADJ.	ADJUSTABLE	INV.	INVERT
A.F.F.	ABOVE FINISH FLOOR	MACH.	MACHINE
A.F.L.	ABOVE FLOOR LINE	MAS.	MASONRY
ALUM.	ALUMINUM	MAT.	MATERIAL
ANCH.	ANCHOR	MAX.	MAXIMUM
APPROX.	APPROXIMATELY	M.B.	MASONRY BLOCK
B.E.	BURIED ELECTRIC	MECH.	MECHANICAL
BD.	BOARD	MFG.	MANUFACTURER
BKT.	BRACKET	MIN.	MINIMUM
BLDG.	BUILDING	MISC.	MISCELLANEOUS
BLK.	BLOCK	MLDG.	MOULDING
BLKG.	BLOCKING	M.O.	MASONRY OPENING
BM.	BEAM	M.R.	MOISTURE RESISTANT
BRK.	BRICK	M.T.	METAL THRESHOLD
B.T.	BURIED TELEPHONE	MTL.	METAL
CAB.	CABINET	N.C.	NONCORROSIVE
C.B.	CHALK BOARD	N.I.C.	NOT IN CONTRACT
C.B.	CATCH BASIN	NO. / #	NUMBER
CEM.	CEMENT	NOM.	NOMINAL
CER./C.T.	CERAMIC TILE	N.T.S.	NOT TO SCALE
C.I.	CAST IRON	O.A.	OVER ALL
C.I.P.	CAST IN PLACE	O.A.F.	OVERALL FRAME
C.J.	CONTROL JOINT	O.C.	ON CENTER
CLG.	CEILING	O.D.	OUTSIDE DIAMETER
CLKG.	CAULKING	O.H.	OPPOSITE HAND
CLR.	CLEAR	OPER.	OPERATE
CL.O.	CLOSET	OPNG.	OPENING
CMU	CONC. MASONRY UNIT	OVHD.	OVERHEAD
C.O.	CLEAR OPENING	OZ.	OUNCE (S)
C.O.	CLEANOUT	P.C.	PRECAST CONCRETE
COL.	COLUMN	P.E.	PORCELAIN ENAMEL
CONC.	CONCRETE	P.E.	POLYETHYLENE PIPE
CONST.	CONSTRUCTION	PERF.	PERFORMED
CONT.	CONTINUOUS	PERIM.	PERIMETER
CONTR.	CONTRACTOR	PERP.	PERPENDICULAR (TO)
C.R.	COLD ROLLED	PG.	PAGE
CRS.	COURSES	P.G.B.	PAINT GRADE BIRCH
CSK.	COUNTERSINK	PL.	PLATE
CU.	CUBIC	PLAS.	PLASTER
C.U.H.	CABINET UNIT HEATER	PLUMB.	PLUMBING
CL	CENTERLINE	PLYWD	PLYWOOD
D.A.	DOUBLE ACTING	P.M.	PRESSED METAL
DET.	DETAIL	PNL.	PANEL
D.F.	DRINKING FOUNTAIN	POL.	POLISHED
DIA.	DIAMETER	P.P.L.	PRESSURE PLASTIC LAMINATE
DIM.	DIMENSION	P.P.	POWER POLE
D.I.P.	DUCTILE IRON PIPE	PAIR	PAIR
DN.	DOWN	P.T.	PRESSURE-TREATED
D.O.	DOOR OPENING	PTN.	PARTITION
DWG.	DRAWING	PTD.	PAINTED Q.T. QUARRY TILE
E.A.	EACH	QTY.	QUANTITY
E.G.M.	EXISTING GAS MAIN	RAD	RADIUS
E.J.	EXPANSION JOINT	RISER	RISER
EL.	ELEVATION (GRADE)	RAD. ENCL.	RADIATOR ENCLOSURE
ELEC.	ELECTRICAL	R.C.P.	REINFORCED CONC.
ELEV.	ELEVATION (FACADE) /	PIPE	PIPE
E.O.H.E.	ELEVATOR	R.D.	ROOF DRAIN
EQ. / #	EXISTING OVERHEAD ELEC.	REINF.	REINFORCING
EXH.	EXHAUST	REQD.	REQUIRED
EXIST.	EXISTING	RESIL.	RESILIENT
EXST'G.	EXISTING	RET.	RETAINING
EXP.	EXPANSION JOINT	RF.	ROOF
EXT.	EXTERIOR	RM.	ROOM
F.C.	FIRE CODE	R.O.	ROUGH OPENING
F.D.	FLOOR DRAIN	R.W.L.	RAIN WATER LEADER
F.E.	FIRE EXTINGUISHER	SAN.	SANITARY
F.E.C.	FIRE EXTINGUISHER	S.B.M.H.	SOUTHERN BELL MANHOLE
CAB.		SCHED.	SCHEDULE
F.H.	FIRE HYDRANT	S.D.	STORM DRAIN
FIN.	FINISH	SECT.	SECTION
FL.	FLOOR	S.G.F.T.	STRUCT. GLAZED FACING TILE
FLASH.	FLASHING	SHT.	SHEET
FLUOR.	FLUORESCENT	SIM.	SIMILAR
F.P.	FIREPROOFING	SLID.	SLIDING
F.S.	FULL SIZE	SPEC.	SPECIFICATIONS
FT.	FEET	SQ.	SQUARE
FT*	SQUARE FEET	S.S.	STAINLESS STEEL
GA.	CUBIC FEET	STD.	STANDARD
GALV.	GALVANIZED	STL.	STEEL
G.C.	GENERAL CONTRACTOR	STOR.	STORAGE
GL.	GLASS	STRUCT.	STRUCTURAL
GR.	GRADE	SUSP.	SUSPENDED
GRND.	GROUND	SVC.	SERVICE
G.S.U.	GLAZED STRUCT. UNIT	T.	TACK BOARD
G.V.	GATE VALVE	T.B.	TEST BORING
GYP.	GYP.	T.C.	TERRA COTTA
GWB	GYP.	TEL.	TELEPHONE
HDWD.	GYP.	TERRAZZO	TERRAZZO
HDWR.	GYP.	THK.	THICKNESS
H.M.	GYP.	THRESH.	THRESHOLD
HORIZ.	GYP.	T.O.S.	TOP OF SLAB
HGT.	GYP.	T.O.W.	TOP OF WALL
H.P.	GYP.	T.S.	TUBE STEEL
HVAC	GYP.	TYP.	TYPICAL
&	GYP.	VERT.	VERTICAL
I.D.	GYP.	VEST.	VESTIBULE
IN.	GYP.	V.I.F.	VERIFY IN FIELD
INCAN.	GYP.	W.	WIDE FLANGE
	GYP.	W /	WITH
	GYP.	W.M.	WATER MAIN

SYMBOLS LEGEND



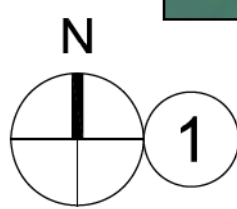
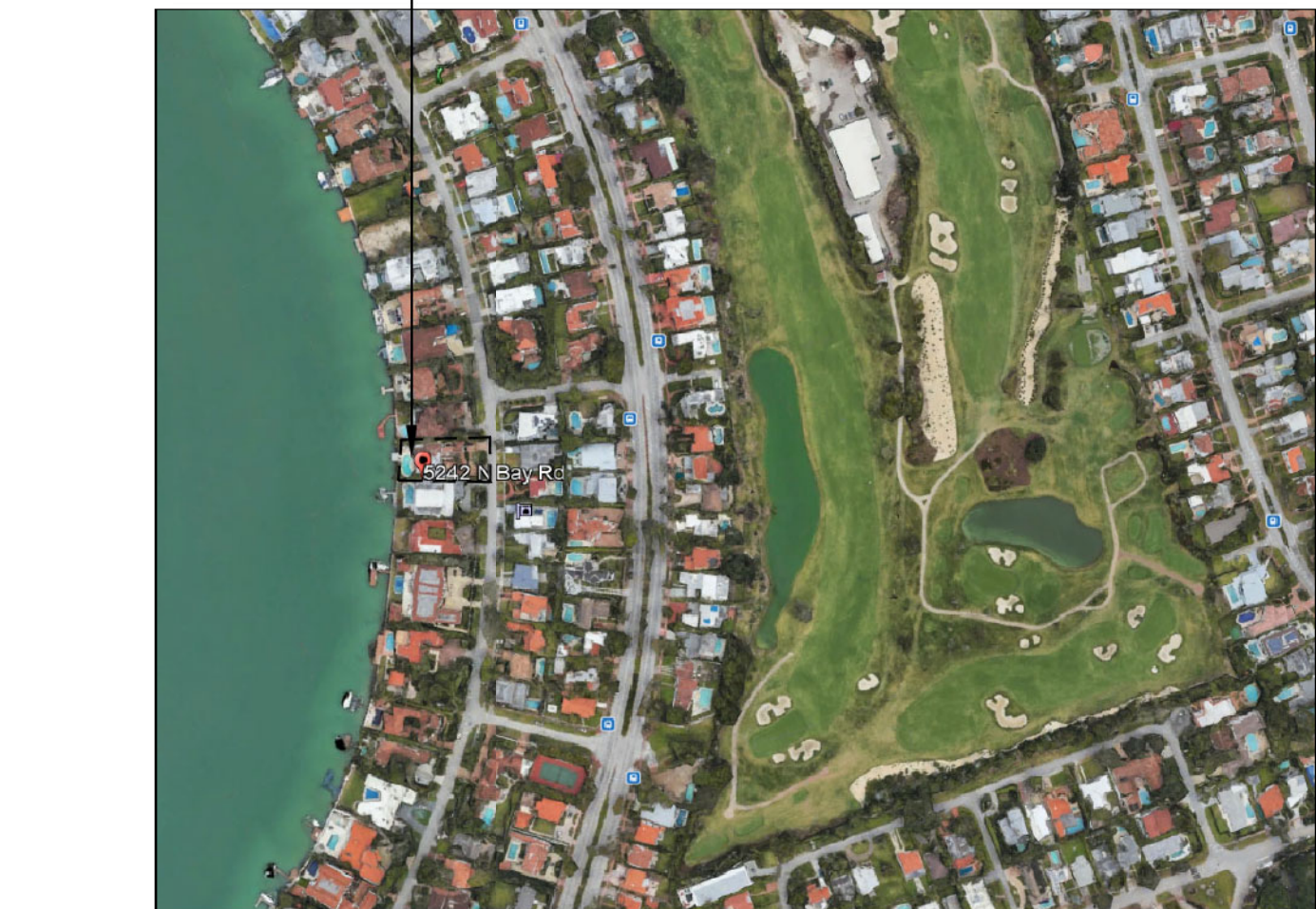
GENERAL DEMOLITION NOTES

1. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, A.I.A. DOCUMENT A201 14TH EDITION AS PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS, IS HEREBY MADE A PART OF THESE DOCUMENTS TO THE SAME EXTENT AS IF BOUND IN THEIR ENTIRETY HEREIN. IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONTRACTOR'S MEANS, METHODS OR HAVE CONTROL OR CHARGE OVER THE ACTS AND OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OF THE AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, LOCAL CODES, ORDINANCES AND OSHA REGULATIONS.
3. CONTRACTOR SHALL OBTAIN AND PAY ALL FEES FOR PERMITS AND INSPECTIONS AS REQUIRED BY CODE, APPLICABLE LAWS OR GOVERNING AGENCIES IN CONNECTION WITH DEMOLITION WORK, REMOVAL AND DISPOSAL OF DEBRIS, ASBESTOS, ETC.
4. CONTRACTOR SHALL IN ADVANCE OF BID TOUR THE THE ENTIRE PROJECT TO ASCERTAIN THE EXISTING CONDITIONS AND THE FULL SCOPE OF DEMOLITION WORK REQUIRED FOR A COMPLETE PROJECT. CONTRACTOR SHALL ASSURE HIMSELF THAT THE QUANTITIES OF WORK AS ILLUSTRATED IN THE CONTRACT DOCUMENTS ARE A TRUE AND ACCURATE REPRESENTATION OF THE EXISTING CONDITIONS AND THE SCOPE OF THE WORK NECESSARY TO PROVIDE A COMPLETE PROJECT.
5. IF THE CONTRACTOR BELIEVES THAT THE SCOPE OF WORK IS NOT FULLY ILLUSTRATED IN THE CONTRACT DOCUMENTS, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CORRECTIONS HE DEEMS NECESSARY.
6. ANY WORK NOT SHOWN ON THE DRAWING OR SPECIFICALLY MENTIONED IN THE SPECIFICATIONS BUT CONSIDERED NECESSARY FOR THE COMPLETION OF THE WORK IN PROPER MANNER SHALL BE PROVIDED BY THIS CONTRACTOR WITHOUT ADDITIONAL CHARGE.
7. REQUEST FOR CHANGES RELATED TO THE CONTRACTOR'S FAILURE TO COMPLY WITH THE ABOVE TERMS WILL NOT BE APPROVED. ANY ADDITIONAL EXPENSES SHALL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
8. DEMOLITION CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN DEMOLISHING OR REMOVING ITEMS IN BUILDING.
9. EXISTING FINISHES AND OTHER MATERIALS (SUCH AS CONC. BULKHEAD) TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR DURING THE DEMOLITION AND REMOVAL PROCESS SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
10. ALL DEMOLISHED MATERIALS SHALL BE DISPOSED OF OFF-SITE AND NOT ALLOWED TO ACCUMULATE. PROTECT PATH OF TRAVEL OF RUBBISH DISPOSAL THROUGH THE BUILDING.
11. THE CONTRACTOR SHALL TAKE PRECAUTIONS DURING DEMOLITION TO AVOID REMOVING EXISTING STRUCTURAL COLUMNS AND BEAMS WHICH MAY BE CONCEALED AND WHICH ARE TO REMAIN.
12. CARE SHALL BE GIVEN TO THE PROTECTION OF EXISTING UTILITY LINES DURING DEMOLITION.
13. DISCONNECT ELECTRIC CIRCUITS AT MAIN PANEL(S) SERVING AREAS TO BE DEMOLISHED. REMOVE ALL INTERIOR ELECTRIC LIGHT FIXTURES, SWITCHES, RECEPTACLES AND ALL WIRE RUNS/CONDUITS IN AND ABOVE ALL WALLS AND CEILINGS TO BE DEMOLISHED.

ALTERATION PROJECT PROCEDURES:

14. CUT, MOVE OR REMOVE ITEMS AS NECESSARY TO PROVIDE ACCESS OR TO ALLOW ALTERATIONS AND NEW WORK TO PROCEED. INCLUDE SUCH ITEMS AS:
 - 14.1. REPAIR OR REMOVAL OF HAZARDOUS OR UNSANITARY CONDITIONS.
 - 14.2. REMOVAL OF ABANDONED ITEMS AND ITEMS SERVING NO USEFUL PURPOSE, SUCH AS ABANDONED PIPING, CONDUIT AND WIRING.
 - 14.3. REMOVAL OF UNSUITABLE OR EXTRANEANEOUS MATERIALS NOT MARKED FOR SALVAGE, SUCH AS ABANDONED FURNISHINGS AND EQUIPMENT, AND DEBRIS SUCH AS ROTTED WOOD, RUSTED METAL AND DETERIORATED CONCRETE.
 - 14.4. CLEANING OF SURFACES, AND REMOVAL OF SURFACE FINISHES AS NEEDED.
15. ASSIGN THE WORK OF MOVING, REMOVAL, CUTTING AND PATCHING, TO TRADES QUALIFIED TO PERFORM THE WORK IN A MANNER TO CAUSE LEAST DAMAGE TO EACH TYPE OF WORK, AND PROVIDE MEANS OF RETURNING TO APPEARANCE OF NEW WORK.
16. CUT FINISH SURFACES SUCH AS MASONRY, GYPSUM WALLBOARD, WALL COVERING, TILE, PLASTER OR METALS, BY METHODS TO TERMINATE SURFACES ON A STRAIGHT LINE AT A NATURAL POINT OF DIVISION.
17. PROTECT FROM DAMAGE EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK WHICH IS SCHEDULED TO REMAIN.
18. CONTRACT DOCUMENTS WILL NOT DEFINE PRODUCTS OR STANDARDS OF WORKMANSHIP PRESENT IN EXISTING CONSTRUCTION. CONTRACTOR SHALL DETERMINE PRODUCTS BY INSPECTION AND ANY NECESSARY TESTING, AND WORKMANSHIP BY USE OF THE EXISTING AS A SAMPLE OF COMPARISON.
19. G.C. SHALL DISCUSS W/ OWNER THE CORRECT WAY AND TIMES FOR BRINGING MATERIALS INTO THE SITE AND STORING. ALSO FOR THE PROPER PROCEDURES FOR DUMPSTER LOCATION AND TRASH REMOVAL AS TO COMPLY WITH CITY OF SURFSIDE CONSTRUCTION WORK TIMES AND DAYS ORDINANCE.
20. PERFORM CUTTING AND REMOVAL OF WORK IN A MANNER TO AVOID DAMAGE TO ADJACENT WORK.
21. DEMOLITION SHALL COMPLY WITH ALL CODES AND REGULATIONS HAVING JURISDICTION ON SITE AND PROJECT.
22. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOT COVERED.
23. ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER. A FIRE WATCH SHALL BE PROVIDED IF ANY HAZARDOUS SITUATIONS ARE THOUGHT TO BE POSSIBLE. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION FOR POLLUTION CONTROL. THOROUGHLY CLEAN ADJACENT AREAS OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION WORK BEFORE NEW WORK BEGINS. RETURN ADJACENT AREAS TO CONDITION FOUND PRIOR TO START OF DEMOLITION WORK.
24. HAZARDOUS MATERIAL NOTE: CONTRACTOR SHALL STOP WORK AND INFORM OWNER IMMEDIATELY IN WRITING OF ANY HAZARDOUS MATERIAL ENCOUNTERED OR THOUGHT TO BE HAZARDOUS MATERIAL. THE OWNER, AFTER RECEIVING WRITTEN NOTICE SHALL INSTRUCT CONTRACTOR ON HOW TO PROCEED.
25. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF STRUCTURES DURING DEMOLITION AND NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC., WHICH IS NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE.
27. CONTRACTOR SHALL REVIEW ALL ITEMS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY ITEMS TO BE SALVAGED PRIOR TO START OF DEMOLITION.
28. ANY FLOOR OPENINGS SHALL BE COVERED DURING DEMOLITION AND CONSTRUCTION.
29. PROVIDE ALL DEMOLITION REQUIRED FOR NEW CONSTRUCTION WHETHER OR NOT DEMOLITION WORK IS SHOWN AND/OR CALLED OUT.
30. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR ANY UTILITIES SHOWN TO BE REMOVED OR RELOCATED HEREON. EARLY IN CONSTRUCTION PROCESS, AS TO AVOID ANY DELAYS.
31. SHUT OFF ALL EXISTING GAS SERVICE DURING DEMOLITION AND CONSTRUCTION.

5242 N. BAY RD.



SITE LOCATION MAP

N.T.S.

SCOPE OF WORK

INTERIOR SELECTIVE NON-STRUCTURAL DEMOLITION FOR THE REPAIR, RENOVATION, ALTERATION AND RECONSTRUCTION OF AN EXISTING SINGLE-FAMILY RESIDENCE PER FBC RESIDENTIAL 2017 APPENDIX J.

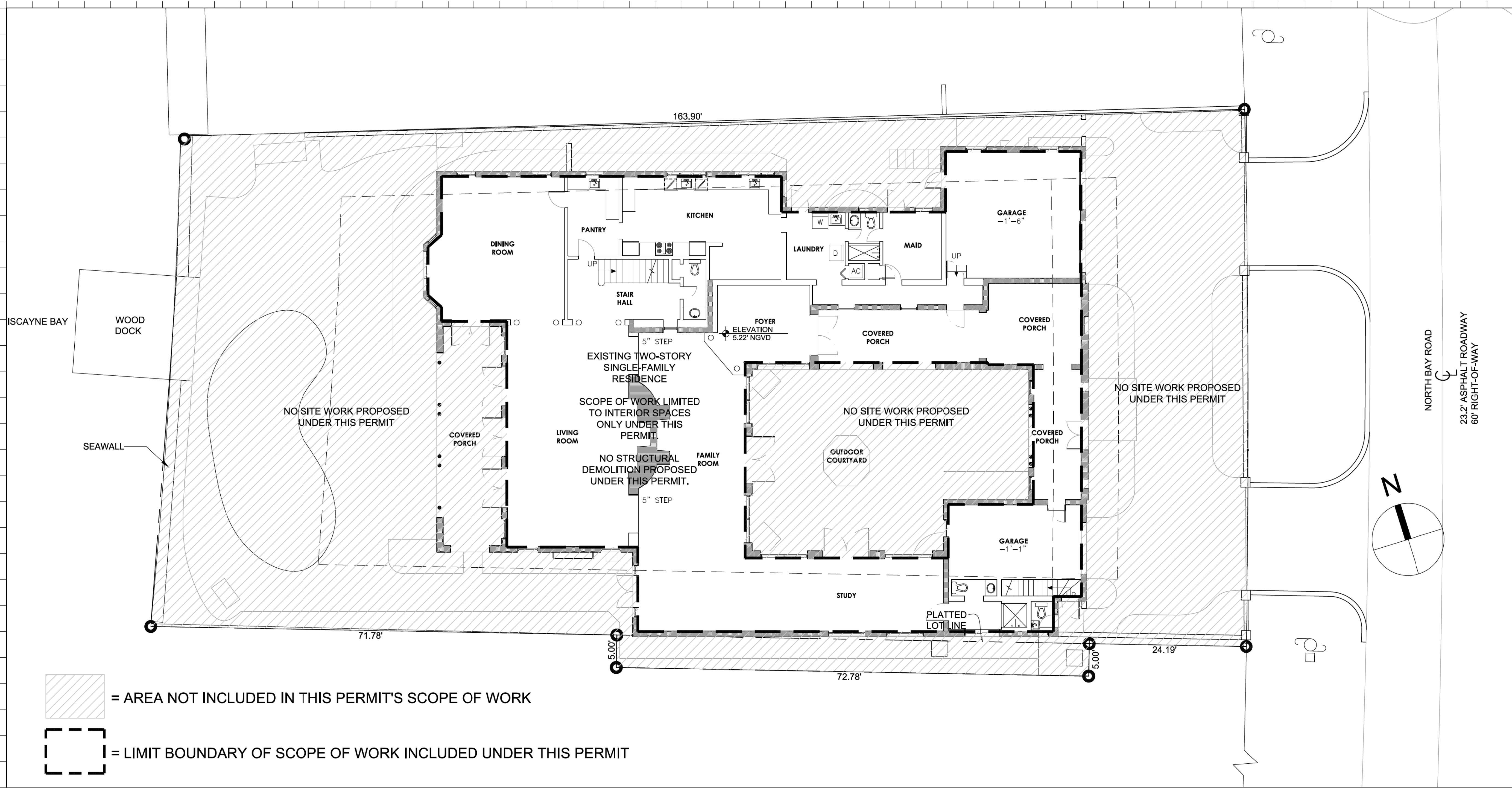
AS PER FBC RESIDENTIAL 2017 APPENDIX J WORK IS CONSIDERED "RECONSTRUCTION"

DESCRIPTION OF SELECT INTERIOR NON-STRUCTURAL DEMOLITION ACTIVITIES SHALL CONSIST OF THE FOLLOWING:

- GROUND LEVEL 1: AREA OF WORK ON GROUND LEVEL = 1,422 SQ.FT.
REMOVAL OF SELECT INTERIOR WALLS, DOORS, FINISHES, PLUMBING, ELECTRICAL AND MECHANICAL FIXTURES. REMOVAL OF SELECT APPLIANCES.
- LEVEL 2: AREA OF WORK ON 2ND LEVEL = 1,900 SQ.FT.
REMOVAL OF SELECT INTERIOR WALLS, DOORS, FINISHES, PLUMBING, ELECTRICAL AND MECHANICAL FIXTURES. REMOVAL OF SELECT APPLIANCES.
- LEVEL 3: AREA OF WORK ON 3RD LEVEL = 0 SQ.FT.
REMOVAL OF SELECT INTERIOR FINISHES.
- TOTAL AREA OF WORK = 3,322 SQ.FT.

APPLICABLE CODES

BUILDING:	FLORIDA BUILDING CODE SIXTH EDITION 2017 RESIDENTIAL
MECHANICAL:	FLORIDA BUILDING CODE SIXTH EDITION 2017 MECHANICAL
ELECTRICAL:	FLORIDA BUILDING CODE SIXTH EDITION 2017 ELECTRICAL
PLUMBING:	FLORIDA BUILDING CODE SIXTH EDITION 2017 PLUMBING
EXISTING:	FLORIDA BUILDING CODE SIXTH EDITION 2017 EXISTING
LIFE SAFETY:	NFPA 101 LIFE SAFETY CODE 2018 EDITION



Rev.	Date	Rev.	Date

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INTERIOR DEMO SET

PRIVATE RESIDENCE
5242 NORTH BAY RD
MIAMI, FL, 33140

Owner:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Architect of Record:
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2315 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766



SITE PLAN

Date	Sheet No.
Scale	A2.01
Project 2007	

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET		
ITEM #	ZONING INFORMATION	
1	ADDRESS:	5242 NORTH BAY ROAD, MIAMI BEACH, FL 33140
2	FOLIO NUMBER(S):	02-3215-003-1910
3	BOARD AND FILE NUMBERS:	N/A
4	YEAR BUILT:	1929
5	BASE FLOOD ELEVATION:	8'-0" NGVD
6	GRADE:	N/A
7	LOT AREA:	13,511 SF
8	ZONING DISTRICT:	RS-3 (SINGLE FAMILY)

Rev.	Date	Rev.	Date
Δ BLDG. DEPT.	2020-04-08		

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INTERIOR DEMO SET

PRIVATE RESIDENCE
5242 NORTH BAY RD
MIAMI, FL, 33140

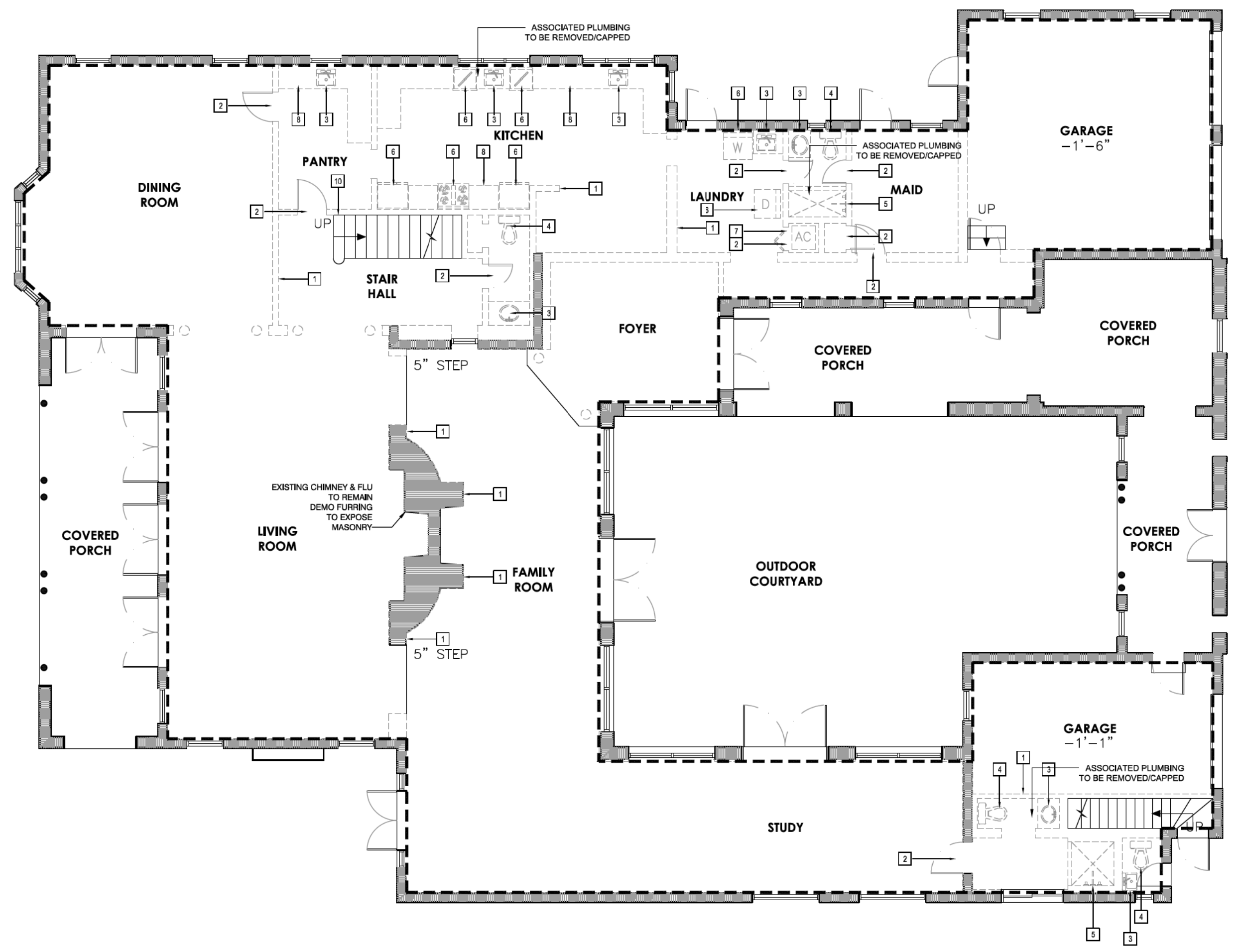
Owner:	
Name	
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Consultant:	
Name	
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Consultant:	
Name	
Address	
Tel:	
Email	
Consultant:	
Name	
Address	
Tel:	
Email	

Architect of Record:
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DEMO PLAN

Date	Sheet No.
Scale	A2.10
Project 2007	



1 INTERIOR DEMO PLAN - LEVEL 1
Scale: 1/8" = 1'-0"

KEY LEGEND:

- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN, PROTECT FROM DAMAGE
ADJACENT LOAD BEARING WALLS AND ELEVATED FLOORS AND ROOF THAT ARE TO REMAIN SHALL BE BRACED AND SHORED AS DIRECTED BY CERTIFIED AND LICENSED STRUCTURAL ENGINEER U.O.N.
- INDICATES LIMITS OF DEMOLITION WORK

DEMOLITION KEY TAGS

- EXISTING INTERIOR WALL SHALL BE REMOVED IN ITS ENTIRETY. GC SHALL CONFIRM THAT IT IS NOT A BEARING WALL. ELECTRICAL BOXES, OUTLETS, COVERS, CONDUITS AND WIRES SHALL BE REMOVED STARTING AT THE PANEL
- EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED
- EXISTING SINK TO BE REMOVED. ASSOCIATED PLUMBING TO BE LEFT IN PLACE FOR FUTURE PROPOSED SINK U.O.N.
- EXISTING WC TO BE REMOVED. ASSOCIATED PLUMBING TO BE LEFT IN PLACE FOR FUTURE PROPOSED WC U.O.N.
- EXISTING SHOWER/TUB TO BE REMOVED. ASSOCIATED PLUMBING TO BE LEFT IN PLACE FOR FUTURE PROPOSED SHOWER/TUB U.O.N.
- EXISTING APPLIANCES TO BE REMOVED. ASSOCIATED PLUMBING/CONNECTIONS TO BE RELOCATED PER FUTURE PROPOSED PLANS
- ALL EXISTING MECHANICAL DUCTING/AHU EQUIPMENT TO BE REMOVED. ANY ASSOCIATED PLUMBING WITH AHUs TO BE REMOVED/CAPPED. EXISTING CU EQUIPMENT/EF EQUIPMENT TO BE REMOVED UNDER A FUTURE SEPARATE PERMIT.
- EXISTING CABINETS/COUNTERTOPS TO BE REMOVED.
- EXISTING GUARDRAIL SYSTEM TO BE REMOVED IN ITS ENTIRETY.

- EXISTING STAIR TREADS TO BE REMOVED.
- GENERAL NOTES
 - REMOVE ALL EXISTING INTERIOR FLOORING. G.C. TO CONFIRM WITH CLIENT IF ANY FLOORING IS INTENDED TO BE SALVAGED.
 - REMOVE ALL FURRING ON ALL EXTERIOR PERIMETER WALLS

DEMOLITION NOTES

- ANY WORK NOT SHOWN ON THE DRAWING OR SPECIFICALLY MENTIONED IN THE SPECIFICATIONS BUT CONSIDERED NECESSARY FOR THE COMPLETION OF THE WORK IN PROPER MANNER SHALL BE PROVIDED BY THIS CONTRACTOR WITHOUT ADDITIONAL CHARGE.
- RECONSTRUCTION PROJECT PROCEDURES:
 - CUT, MOVE OR REMOVE ITEMS AS NECESSARY TO PROVIDE ACCESS OR TO ALLOW ALTERATIONS AND NEW WORK TO PROCEED. INCLUDE SUCH ITEMS AS:
 - REPAIR OR REMOVAL OF HAZARDOUS OR UNSANITARY CONDITIONS.
 - REMOVAL OF ABANDONED ITEMS AND ITEMS SERVING NO USEFUL PURPOSE, SUCH AS ABANDONED PIPING, CONDUIT AND WIRING.
 - REMOVAL OF UNSUITABLE OR EXTRANEOUS MATERIALS NOT MARKED FOR SALVAGE, SUCH AS ABANDONED FURNISHINGS AND EQUIPMENT, AND DEBRIS SUCH AS ROTTED WOOD, RUSTED METAL AND DETERIORATED CONCRETE.
 - CLEANING OF SURFACES, AND REMOVAL OF SURFACE FINISHES AS NEEDED.
 - ASSIGN THE WORK OF MOVING, REMOVAL, CUTTING AND PATCHING, TO TRADES QUALIFIED TO PERFORM THE WORK IN A MANNER TO CAUSE LEAST DAMAGE TO EACH TYPE OF WORK, AND PROVIDE MEANS OF RETURNING TO APPEARANCE OF NEW WORK.
 - CUT FINISH SURFACES SUCH AS MASONRY, GYPSUM WALLBOARD, WALL COVERING, TILE, PLASTER OR METALS, BY METHODS TO TERMINATE SURFACES ON A STRAIGHT LINE AT A NATURAL POINT OF DIVISION.
- CONTRACT DOCUMENTS WILL NOT DEFINE PRODUCTS OR STANDARDS OF WORKMANSHIP PRESENT IN EXISTING CONSTRUCTION, CONTRACTOR SHALL DETERMINE PRODUCTS BY INSPECTION AND ANY NECESSARY TESTING, AND WORKMANSHIP BY USE OF THE EXISTING AS A SAMPLE OF COMPARISON.
- G.C. SHALL DISCUSS W/ OWNER THE CORRECT WAY AND TIMES FOR BRINGING MATERIALS INTO THE SITE AND STORING. ALSO FOR THE PROPER PROCEDURES FOR DUMPSTER LOCATION AND TRASH REMOVAL AS TO COMPLY WITH CITY OF NORTH MIAMI CONSTRUCTION WORK TIMES AND DAYS ORDINANCE.
- PERFORM CUTTING AND REMOVAL OF WORK IN A MANNER TO AVOID DAMAGE TO ADJACENT WORK.

Rev.	Date	Rev.	Date
1	2025-04-08		

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE, & INTERIOR DESIGN, INC. AIA. (c) 2020

INTERIOR DEMO SET

PRIVATE RESIDENCE
5242 NORTH BAY RD
MIAMI, FL, 33140

Owner:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
Name
Address
Address
Tel:
Email

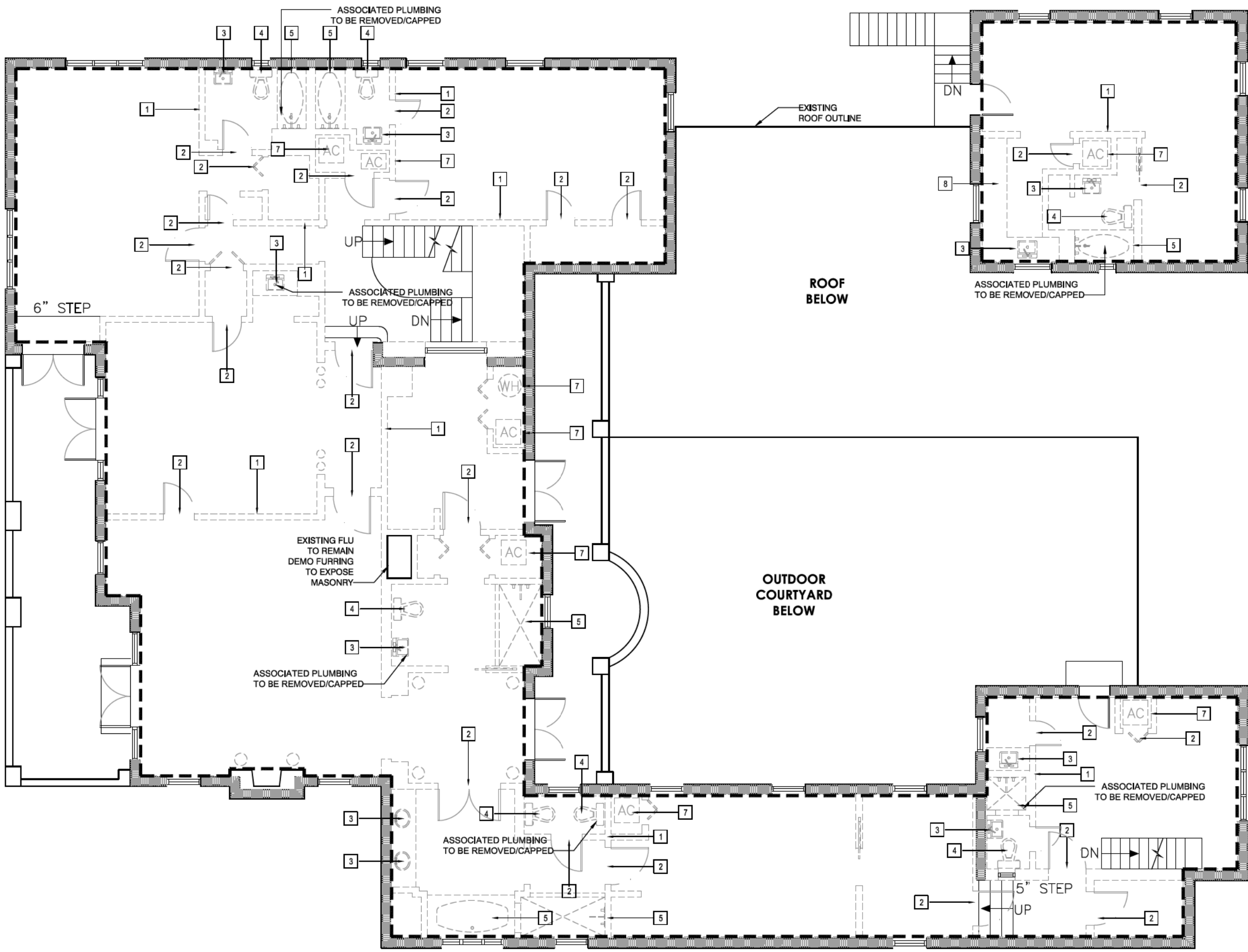
Consultant:
Name
Address
Address
Tel:
Email

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2515 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3768



DEMO PLAN

Date	Sheet No.
Scale	A2.11
Project 2007	



1 INTERIOR DEMO PLAN - LEVEL 2
Scale: 1/8" = 1'-0"

KEY LEGEND:

- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN, PROTECT FROM DAMAGE
ADJACENT LOAD BEARING WALLS AND ELEVATED FLOORS AND ROOF THAT ARE TO REMAIN SHALL BE BRACED AND SHORED AS DIRECTED BY CERTIFIED AND LICENSED STRUCTURAL ENGINEER U.O.N.
- INDICATES LIMITS OF DEMOLITION WORK

DEMOLITION KEY TAGS


- EXISTING INTERIOR WALL SHALL BE REMOVED IN ITS ENTIRETY. GC SHALL CONFIRM THAT IT IS NOT A BEARING WALL. ELECTRICAL BOXES, OUTLETS, COVERS, CONDUITS AND WIRES SHALL BE REMOVED STARTING AT THE PANEL
- EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED
- EXISTING SINK TO BE REMOVED. ASSOCIATED PLUMBING TO BE LEFT IN PLACE FOR FUTURE PROPOSED SINK U.O.N.
- EXISTING WC TO BE REMOVED. ASSOCIATED PLUMBING TO BE LEFT IN PLACE FOR FUTURE PROPOSED WC U.O.N.
- EXISTING SHOWER/TUB TO BE REMOVED. ASSOCIATED PLUMBING TO BE LEFT IN PLACE FOR FUTURE PROPOSED SHOWER/TUB U.O.N.
- EXISTING APPLIANCES TO BE REMOVED. ASSOCIATED PLUMBING/CONNECTIONS TO BE RELOCATED PER FUTURE PROPOSED PLANS
- ALL EXISTING MECHANICAL DUCTING/AHU EQUIPMENT TO BE REMOVED. ANY ASSOCIATED PLUMBING WITH AHUs TO BE REMOVED/CAPPED. EXISTING CU EQUIPMENT/EF EQUIPMENT TO BE REMOVED UNDER A FUTURE SEPARATE PERMIT.
- EXISTING CABINETS/COUNTERTOPS TO BE REMOVED
- EXISTING GUARDRAIL SYSTEM TO BE REMOVED IN ITS ENTIRETY.

- EXISTING STAIR TREADS TO BE REMOVED.
- GENERAL NOTES**
 - REMOVE ALL EXISTING INTERIOR FLOORING. G.C. TO CONFIRM WITH CLIENT IF ANY FLOORING IS INTENDED TO BE SALVAGED
 - REMOVE ALL FURRING ON ALL EXTERIOR PERIMETER WALLS.

DEMOLITION NOTES

- ANY WORK NOT SHOWN ON THE DRAWING OR SPECIFICALLY MENTIONED IN THE SPECIFICATIONS BUT CONSIDERED NECESSARY FOR THE COMPLETION OF THE WORK IN PROPER MANNER SHALL BE PROVIDED BY THIS CONTRACTOR WITHOUT ADDITIONAL CHARGE.
- ALTERATION PROJECT PROCEDURES:**
 - CUT, MOVE OR REMOVE ITEMS AS NECESSARY TO PROVIDE ACCESS OR TO ALLOW ALTERATIONS AND NEW WORK TO PROCEED. INCLUDE SUCH ITEMS AS:
 - REPAIR OR REMOVAL OF HAZARDOUS OR UNSANITARY CONDITIONS.
 - REMOVAL OF ABANDONED ITEMS AND ITEMS SERVING NO USEFUL PURPOSE, SUCH AS ABANDONED PIPING, CONDUIT AND WIRING.
 - REMOVAL OF UNSUITABLE OR EXTRANEOUS MATERIALS NOT MARKED FOR SALVAGE, SUCH AS ABANDONED FURNISHINGS AND EQUIPMENT, AND DEBRIS SUCH AS ROTTED WOOD, RUSTED METAL AND DETERIORATED CONCRETE.
 - CLEANING OF SURFACES, AND REMOVAL OF SURFACE FINISHES AS NEEDED.
 - ASSIGN THE WORK OF MOVING, REMOVAL, CUTTING AND PATCHING, TO TRADES QUALIFIED TO PERFORM THE WORK IN A MANNER TO CAUSE LEAST DAMAGE TO EACH TYPE OF WORK, AND PROVIDE MEANS OF RETURNING TO APPEARANCE OF NEW WORK.
 - CUT FINISH SURFACES SUCH AS MASONRY, GYPSUM WALLBOARD, WALL COVERING, TILE, PLASTER OR METALS, BY METHODS TO TERMINATE SURFACES ON A STRAIGHT LINE AT A NATURAL POINT OF DIVISION.

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- PERFORM CUTTING AND REMOVAL OF WORK IN A MANNER TO AVOID DAMAGE TO ADJACENT WORK.

Rev.	Date	Rev.	Date
 BLDG. DEPT.	2020-04-08		

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INTERIOR DEMO SET

PRIVATE RESIDENCE
5242 NORTH BAY RD
MIAMI, FL, 33140

Owner:

Name
Address
Tel:
Email

Consultant:

Name
Address
Tel:
Email

Consultant:

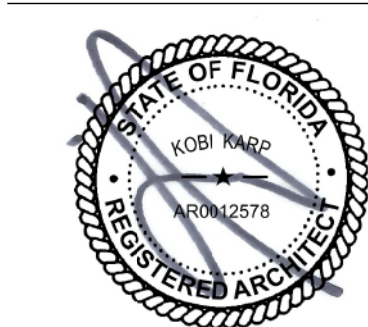
Name
Address
Tel:
Email

Consultant:

Name
Address
Tel:
Email

Architect of Record:

Kobi Karp Architecture and Interior Design, Inc.
2315 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

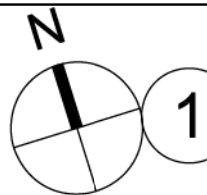
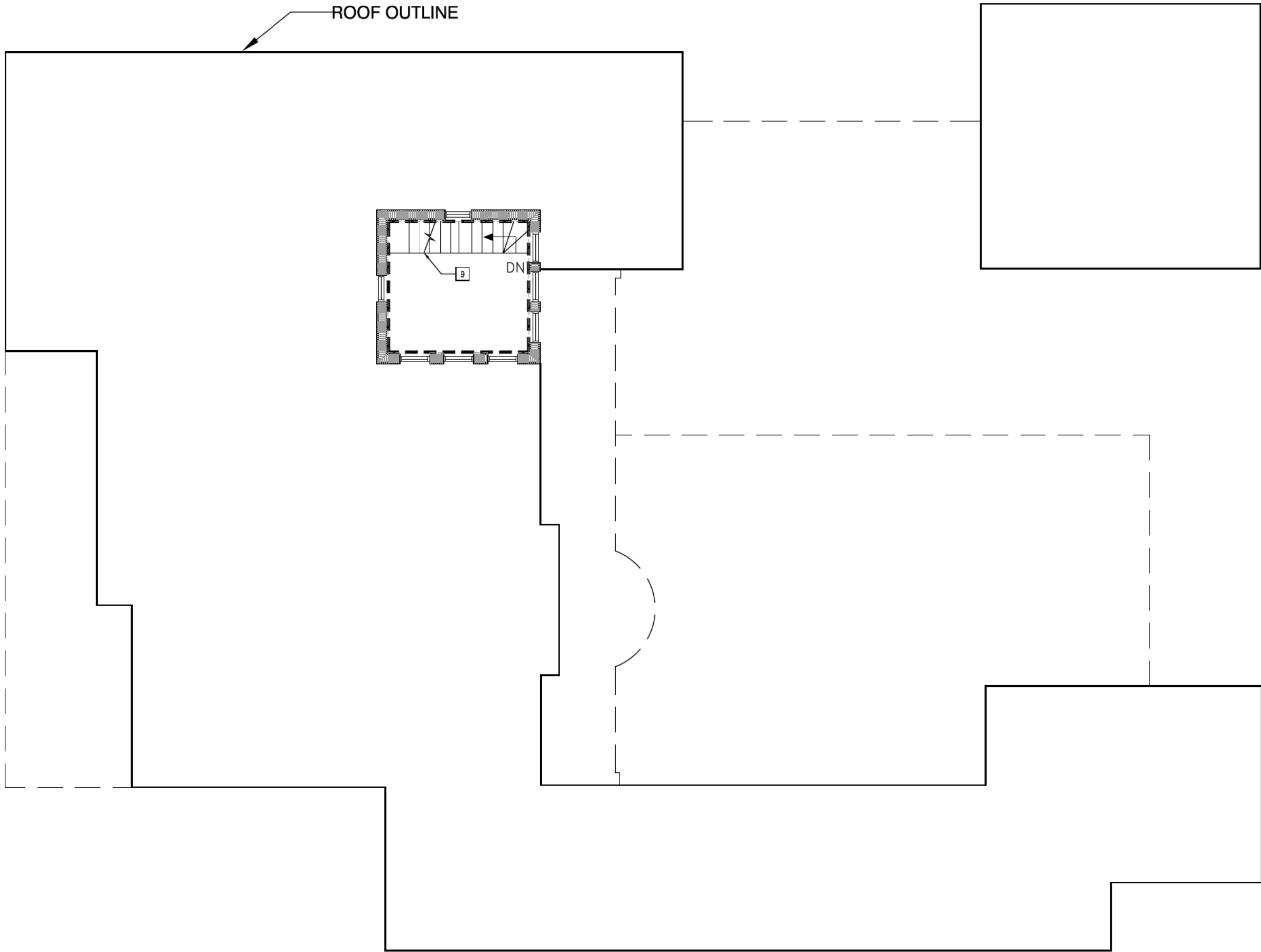


KOBI KARP
Lic. # AR0012578



DEMO PLAN

Date	Sheet No.
Scale	A2.12
Project 2007	



INTERIOR DEMO PLAN - LEVEL 3

Scale: 1/8" = 1'-0"

KEY LEGEND:

- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN, PROTECT FROM DAMAGE
ADJACENT LOAD BEARING WALLS AND ELEVATED FLOORS AND ROOF THAT ARE TO REMAIN SHALL BE BRACED AND SHORED AS DIRECTED BY CERTIFIED AND LICENSED STRUCTURAL ENGINEER U.O.N.
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- EXISTING CABINETS/COUNTERTOPS TO BE REMOVED
- EXISTING GUARDRAIL SYSTEM TO BE REMOVED IN ITS ENTIRETY.

- 10 EXISTING STAIR TREADS TO BE REMOVED.

GENERAL NOTES

- REMOVE ALL EXISTING INTERIOR FLOORING. G.C. TO CONFIRM WITH CLIENT IF ANY FLOORING IS INTENDED TO BE SALVAGED.
- REMOVE ALL FURRING ON ALL EXTERIOR PERIMETER WALLS.

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- PERFORM CUTTING AND REMOVAL OF WORK IN A MANNER TO AVOID DAMAGE TO ADJACENT WORK.



ARCHITECTURE INTERIOR DESIGN PLANNING

DATE: 04-08-2020
TO: City of Miami Beach Building Department
RE: Response Narrative
for 5242 North Bay Road, Miami Beach, Florida
Arch Rev #1
BR2004053

Plumbing Comments:

-Provide all plans signed, sealed and dated in compliance with Florida Statute 481.221 and 471.025 and Florida Administrative Code 61G10-11.010 and 61G15-23.002.

INFO This is for an interior demo and the plumbing fixtures will be removed and capped off. LM

Response: Plans have been resubmitted and signed/sealed/dated in compliance.

Electrical Comments:

1- Digital plans must have digital signature in accordance to 61G15-23.004. (Procedures for Digitally Signing and Sealing Electronically Transmitted Plans, Specifications, Reports or Other Documents)

Response: Plans have been resubmitted and signed/sealed/dated in compliance.

Mechanical Comments:

1. Comply with F.A.C 61G15-23 for digital sealing of the plans. No valid digital signature found on plans.

Response: Plans have been resubmitted and signed/sealed/dated in compliance.

2. Demolition drawings. Keyed Note # 7. Clarify what plumbing work is associated with the removal of mechanical equipment. FBC 107.2.1.

Response: In terms of Mechanical scope, the plumbing removal is limiting to the AHUs only, as AHU units are being removed, thus associated plumbing should be disconnected from AHUs and capped.

3. Clarify if extent of mechanical demolition is limited to the AHU or if the CU, EFs, ductwork, and air distribution devices are also to be removed. FBC 107.2.1.

Response: Mechanical scope of work is limited to the removal of AHUs, and Ducting. Any CUs, or Exhaust fans shall be removed under future separate permits as work is limited to interior scope only under this permit.



ARCHITECTURE INTERIOR DESIGN PLANNING

MIAMI BEACH
REVIEWED FOR
CODE COMPLIANCE

Flood Comments:

REQUIRED CORRECTIONS:

- Provide all plans signed, sealed and dated or digitally signed in compliance with Florida Statute 481.229, 481.221 and 471.025 and Florida Administrative Code 61G10-11.010 and 61G15-23.002.

Response: Plans have been resubmitted and signed/sealed/dated in compliance.

NOTE: This Project 50% Rule Calculation is at 47.9%. "If the Improvements Cost will increase at any point during the proposed construction, it is the Owner and the Contractor of Record responsibility to submit the revised improvements cost to the Building Department for review and approval. "

Response: A0.00 has been updated with corrected areas of work.

Any questions, please feel free to let me know,

Taylor Shumate R.A., LEED AP

Kobi Karp Architecture Interior Design

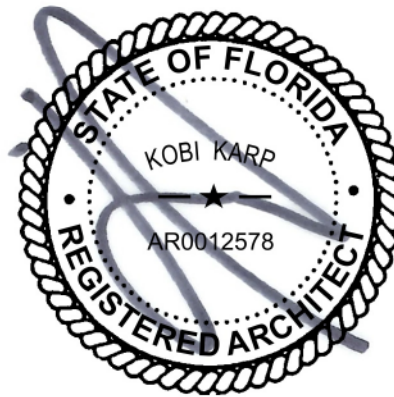
2915 Biscayne Boulevard

Suite 200

Miami, FL 33137

TShumate@KobiKarp.com

T: 305.573.1818



2915 BISCAYNE BOULEVARD . SUITE 200 . MIAMI, FL 33137

O: 305.573.1818 F: 305.573.3766

Info@KobiKarp.com

www.KobiKarp.com



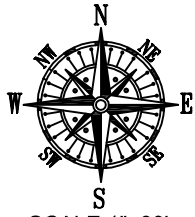
PROPERTY ADDRESS:

5242 NORTH BAY ROAD
MIAMI BEACH, FL 33140

On your behalf, and as a requirement for your transaction, this document has been coordinated with us by the following firm.
Landtec Surveying, Inc. is a non-affiliated, private firm and remains entirely and solely responsible for its content.



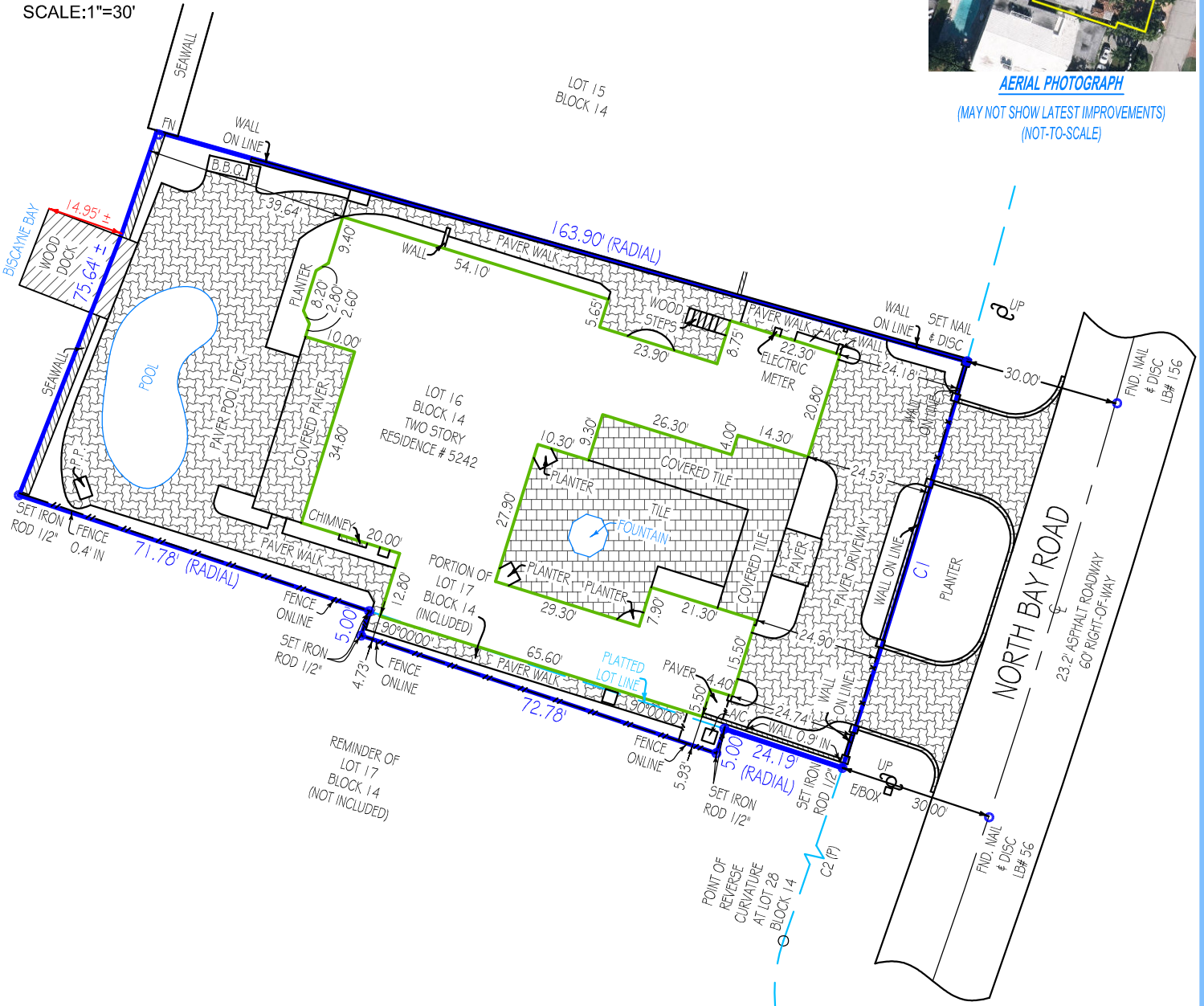
LERMAN & WHITEBOOK, P.A.



SCALE: 1"=30'

BEARING REFERENCE
NONE. RECORD INFORMATION RELIABLE
ALL ANGULAR DATA SHOWN HERE

CURVE TABLE		
	RADIUS	LENGTH
C1	1908.60	82.70'
C2	1908.60	1098.60'



AERIAL PHOTOGRAPH
(MAY NOT SHOW LATEST IMPROVEMENTS)
(NOT-TO-SCALE)

Platted Easements, Notable or Adverse Conditions (unplatted easements also listed if provided by client): IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN HEREON AND THEIR RELATIONSHIP TO THE BOUNDARY LINE

- WOOD DOCK CROSS THE WESTERLY BOUNDARY LINE

This survey has been issued by the following Landtec Surveying office:

481 E. Hillsboro Blvd. Ste. 100-A

Deerfield Beach, FL. 33441

Office: (561) 367-3587 Fax: (561) 465-3145

www.LandtecSurvey.com

PLEASE NOTE:

SUBJECT PROPERTY IS SERVICED BY PUBLIC UTILITIES.

NO APPROVAL FOR CONSTRUCTION HAS BEEN MADE BY THIS OFFICE.

Job Number: 101082-SE

Rev.:

Drawn By: L.G.

Rev.:

Date of Field Work: 01/31/2020

Rev.:

LANDTEC
SURVEYING

Proudly Serving Florida's Land Title & Real Estate Industries

LICENSED BUSINESS # 8007

... measurably better!



LEGAL DESCRIPTION:

ALL OF LOT 16, AND A PORTION OF LOT 17, BLOCK 14, LA GORCE GOLF SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 14, PAGE 43, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID PORTION OF LOT 17, BEING DESCRIBED AS FOLLOWS:

BEGIN ON THE NORTHERLY LINE OF SAID LOT 17, 24.19 FEET OF THE NORTHEAST CORNER; THENCE RUN SOUTHWESTERLY AT RIGHT ANGLES TO SAID NORTH LINE OF LOT 17 A DISTANCE OF 5 FEET; THENCE RUN WESTERLY PARALLEL TO THE NORTHERLY LINE OF SAID LOT 17 A DISTANCE OF 72.78 FEET TO A POINT; THENCE RUN NORTHEASTERLY AT RIGHT ANGLES TO A NORTHERLY LINE OF LOT 17 A DISTANCE OF 5 FEET TO SAID NORTHERLY LINE OF LOT 17, THENCE RUN EASTERLY ALONG THE NORTHERLY LINE OF LOT 17, A DISTANCE OF 72.78 FEET TO THE POINT OF BEGINNING.

PROPERTY ADDRESS:
5242 NORTH BAY ROAD
MIAMI BEACH, FL 33140

INVOICE NUMBER: 101082-SE
DATE OF FIELD WORK: 01/30/2020

CERTIFIED TO
LERMAN & WHITEBOOK, P.A.
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
ANDY POLLACK

FLOOD ZONE: AE
FLOOD MAP: 12086C
PANEL: 0309
SUFFIX: L
PANEL DATE: 09/11/2009

BASE FLOOD ELEVATION OR DEPTH: 8 NGVD 1929
COMMUNITY NUMBER: 120651
BENCHMARK: D157-12
ELEVATION: 4.93

FINISHED FLOOR ELEVATION: 5.22 NGVD 1929

**PLATTED EASEMENTS, NOTABLE OR ADVERSE CONDITIONS (UNPLATTED EASEMENTS ALSO LISTED IF PROVIDED BY CLIENT):
IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN HEREON AND THEIR RELATIONSHIP TO THE BOUNDARY LINE.**

GENERAL NOTES:

1. THIS SURVEY IS BASED UPON RECORD INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
2. IF THIS SURVEY HAS BEEN PREPARED FOR THE PURPOSES OF A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO FUTURE CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT FIRST OBTAINING APPROVAL AND/OR UPDATES FROM LANDTEC SURVEYING. LANDTEC SURVEYING ASSUMES NO RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.
3. ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING FROM THE REMOVAL OF, OR CHANGES MADE TO, ANY FENCES UNLESS WE HAVE PROVIDED A SURVEY SPECIFICALLY LOCATING SAID FENCES FOR SUCH PURPOSES. DETERMINATION OF FENCE POSITIONS SHOULD BE BASED SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.
4. GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
5. UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
6. ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988) AS SHOWN ABOVE.
7. ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
8. CORNERS SHOWN AS "SET" ARE IDENTIFIED WITH A CAP MARKED LS (LICENSED SURVEYOR) # 5639.

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYS, AS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 5J-17.051 & 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT THE ELECTRONIC SIGNATURE AND SEAL HEREON MEETS PROCEDURES AS SET FORTH IN CHAPTER 5J-17.062, PURSUANT TO SECTION 472.025, FLORIDA STATUTES.

LEGEND:

A - DENOTES ARC LENGTH
CA - DENOTES CENTRAL ANGLE
CATV - DENOTES CABLE T.V. BOX
CF - DENOTES CALCULATED FROM FIELD
CR - DENOTES CALCULATED FROM RECORD
CH - DENOTES CHORD DISTANCE
DE - DENOTES DRAINAGE EASEMENT
EM - DENOTES ELECTRIC METER
FN - DENOTES FOUND NAIL
L - DENOTES LEGAL
M - DENOTES MEASURED
OHC - DENOTES OVERHEAD CABLE

P - DENOTES PLAT
PH - DENOTES POOL HEATER
PP - DENOTES POOL PUMP
R - DENOTES RADIUS
SV - DENOTES SEWER VALVE
TR - DENOTES TELEPHONE RISER
UE - DENOTES UTILITY EASEMENT
UP - DENOTES UTILITY POLE
WM - DENOTES WATER METER
WV - DENOTES WATER VALVE

— — — — — BOUNDARY LINE
— — — — — BUILDING LINE
— — — — — CENTERLINE
— — — — — EASEMENT LINE
— x — x — METAL FENCE
— // — // — WOODEN FENCE
— o — o — PVC FENCE
— | — | — OVERHEAD CABLE

SIGNATURE: _____ DATE: 02/03/2020
ANDREW SNYDER - PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION No. 5639 (NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR ELECTRONIC SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER SHOWN ABOVE)

LANDTEC
S U R V E Y I N G
Proudly Serving Florida's Land Title & Real Estate Industries
... measurably better!