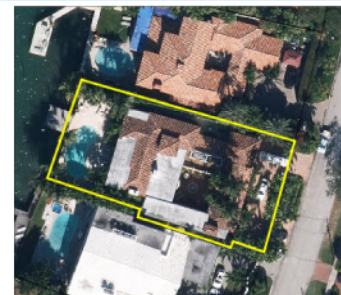
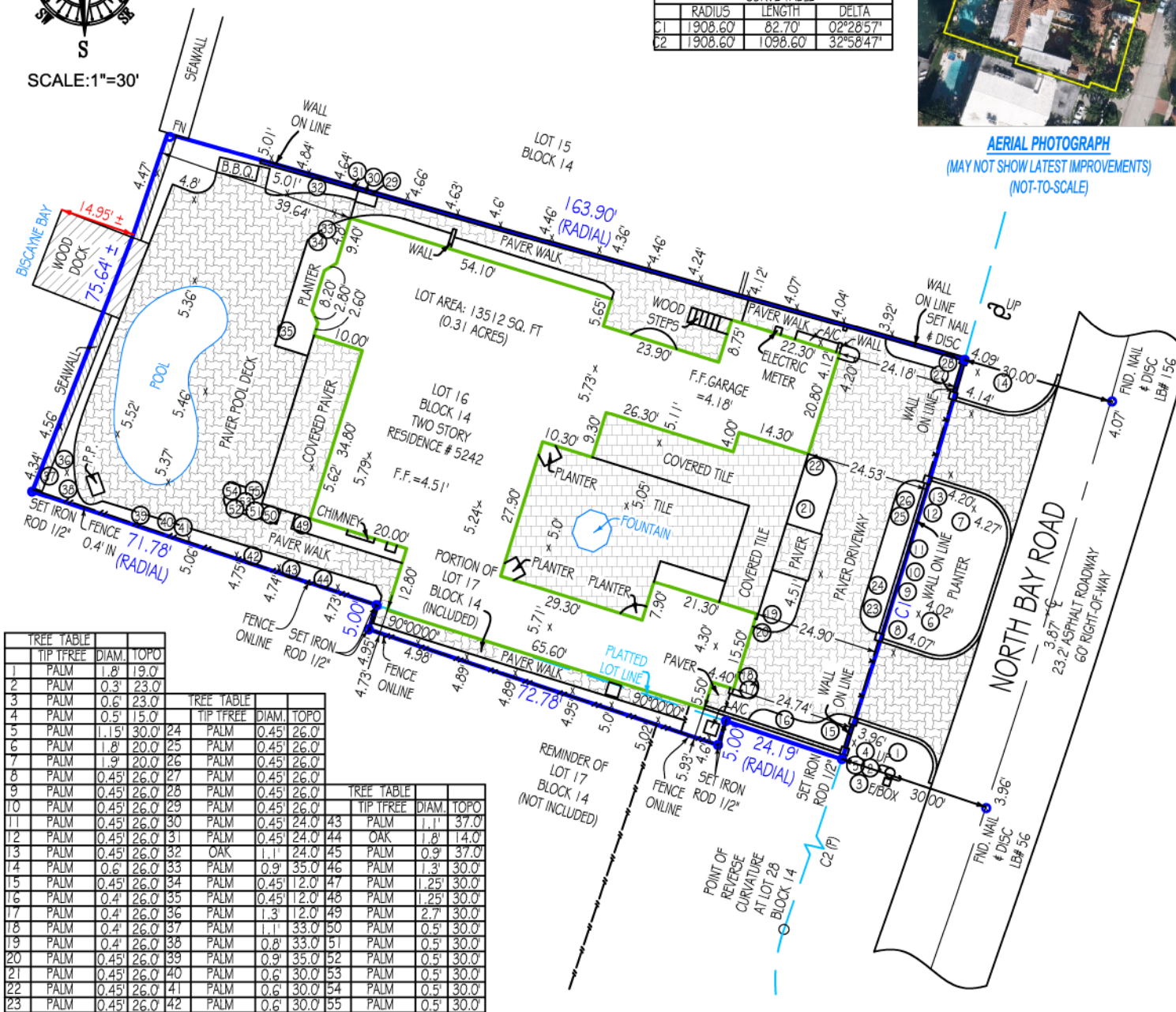


CURVE TABLE			
	RADIUS	LENGTH	DELTA
C1	1908.60'	82.70'	02°28'57"
C2	1908.60'	1098.60'	32°58'47"



AERIAL PHOTOGRAPH
(MAY NOT SHOW LATEST IMPROVEMENTS)
(NOT-TO-SCALE)



- WOOD DOCK CROSSES THE BOUNDARY LINE ON WESTERLY SIDE OF LOT AS SHOWN.

Drawn by: V.M.

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TYPE OF SURVEY:

☐ BOUNDARY ☒ CONSTRUCTION ☐ CONDOMINIUM
☐ ALTA/NSPS ☐ TOPOGRAPHIC ☐ SPECIAL PURPOSE

PURPOSE OF SURVEY (SEE GENERAL NOTES BELOW):

PROPERTY IMPROVEMENTS - OTHER

LEGAL DESCRIPTION:

ALL OF LOT 16, AND A PORTION OF LOT 17, BLOCK 14, LA GORCE GOLF SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 14, PAGE 43, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID PORTION OF LOT 17, BEING DESCRIBED AS FOLLOWS:

BEGIN ON THE NORTHERLY LINE OF SAID LOT 17, 24.19 FEET OF THE NORTHEAST CORNER; THENCE RUN SOUTHWESTERLY AT RIGHT ANGLES TO SAID NORTH LINE OF LOT 17 A DISTANCE OF 5 FEET; THENCE RUN WESTERLY PARALLEL TO THE NORTHERLY LINE OF SAID LOT 17 A DISTANCE OF 72.78 FEET TO A POINT; THENCE RUN NORTHEASTERLY AT RIGHT ANGLES TO A NORTHERLY LINE OF LOT 17 A DISTANCE OF 5 FEET TO SAID NORTHERLY LINE OF LOT 17, THENCE RUN EASTERLY ALONG THE NORTHERLY LINE OF LOT 17, A DISTANCE OF 72.78 FEET TO THE POINT OF BEGINNING.

PROPERTY ADDRESS:

5242 NORTH BAY ROAD
MIAMI BEACH, FL 33140

INVOICE NUMBER: 105237-SE

DATE OF FIELD WORK: 07/26/2020

CERTIFIED TO

ANDY POLLACK

FLOOD ZONE: AE

FLOOD MAP: 12086C

PANEL: 0309

SUFFIX: L

PANEL DATE: 09/11/2009

BASE FLOOD ELEVATION OR DEPTH: 8 NGVD 1929

COMMUNITY NUMBER: 120651

BENCHMARK: d-113

ELEVATION: 3.71

FINISHED FLOOR ELEVATION: 4.5 NGVD 1929

PLATTED EASEMENTS, NOTABLE OR ADVERSE CONDITIONS (UNPLATTED EASEMENTS ALSO LISTED IF PROVIDED BY CLIENT):

IF APPLICABLE, RECIPIENTS OF THIS SURVEY SHOULD REVIEW THE POSITION OF ANY FENCE LINES SHOWN HEREON AND THEIR RELATIONSHIP TO THE BOUNDARY LINE.

-WOOD DOCK CROSSES THE BOUNDARY LINE ON WESTERLY SIDE OF LOT AS SHOWN.

ABBREVIATION LEGEND (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING):

A or AL = ARC LENGTH	EL or ELEV = ELEVATION	PI = POINT OF INTERSECTION	R = RADIUS
CA = CENTRAL ANGLE	EM = ELECTRIC METER	PT = POINT OF TANGENCY	SEC = SECTION
CATV = CABLE TV RISER	FIR = FOUND IRON ROD	PC = POINT OF CURVE	TWP = TOWNSHIP
CF = CALCULATED FROM FIELD	FN = FOUND NAIL	PRC = POINT OF REVERSE CURVE	RNG = RANGE
CR = CALCULATED FROM RECORD	FND = FOUND	PCC = POINT OF COMPOUND CURVE	QTR = QUARTER
CH = CHORD DISTANCE	L = LEGAL DESCRIPTION	POB = POINT OF BEGINNING	TR = TELEPHONE RISER
C/O = CLEANOUT	M = MEASURED	POC = POINT OF COMMENCEMENT	UE = UTILITY EASEMENT
CONC. = CONCRETE	OHC = OVERHEAD CABLE	PH = POOL HEATER	UP = UTILITY POLE
DE = DRAINAGE EASEMENT	P = PLAT	PP = POOL PUMP	WM = WATER METER
			WV = WATER VALVE

SYMBOLS (SOME ITEMS IN LEGEND MAY NOT APPEAR ON DRAWING - NOT TO SCALE):

= UTILITY POLE	= WELL	= HANDICAP PARKING SPACE
= LIGHT POLE	= CENTER LINE	= SEC. QTR. CORNER
= CATCH BASIN	= PARTY WALL	= SECTION CORNER
= FIRE HYDRANT	= AIR CONDITIONER	
= MANHOLE	= SEPTIC LID	
= WATER VALVE	= ELEV. SHOT	
= WATER METER		


LINE TYPES:

BOUNDARY	
BUILDING	
EASEMENT	
CHAIN LINK FENCE	
WOOD FENCE	
PLASTIC FENCE	
OVERHEAD CABLE	

GENERAL NOTES:

- THIS SURVEY IS BASED UPON RECORD INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
- AS INDICATED ABOVE, UNDER "PURPOSE OF SURVEY", IF THIS SURVEY HAS BEEN PREPARED FOR A PURCHASE OR REFINANCE, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES, AND IS NOT INTENDED FOR USE IN DESIGN OR CONSTRUCTION PURPOSES. RECIPIENTS MUST CONTACT OUR OFFICE FOR APPROVAL PRIOR TO SUCH USE. LANDTEC SURVEYING ASSUMES NO RESPONSIBILITIES FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.
- ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING FROM THE REMOVAL OF, OR CHANGES MADE TO, ANY FENCES UNLESS WE HAVE PROVIDED A SURVEY SPECIFICALLY LOCATING SAID FENCES FOR SUCH PURPOSES. DETERMINATION OF FENCE POSITIONS SHOULD BE BASED SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.
- GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
- UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
- ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988) AS SHOWN ON SHEET 1.
- ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
- ANY CORNERS SHOWN AS "SET" HAVE EITHER BEEN SET ON THE DATE OF FIELD WORK, OR WILL BE SET WITHIN 5 BUSINESS DAYS OF SAID DATE AND ARE IDENTIFIED WITH A CAP MARKED LS (LICENSED SURVEYOR) #5639.

I HEREBY CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS OUTLINED IN CHAPTER 5J-17.051 & 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT THE ELECTRONIC SIGNATURE AND SEAL HEREON MEETS PROCEDURES AS SET FORTH IN CHAPTER 5J-17.062, PURSUANT TO SECTION 472.025, FLORIDA STATUTES.


 Digitally signed by Andrew Snyder
 DN: c=US, o=Landtec Surveying Inc, ou=A01410D0000016C242483, F500002A58, cn=Andrew Snyder
 Date: 2020.08.07 13:22:12 -04'00'
 Adobe Acrobat version: 2020.009.20074
 SIGNATURE: _____ DATE: **07/30/2020**
 ANDREW SNYDER - PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA REGISTRATION NO. 5639 (NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR THE ELECTRONIC SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER SHOWN ABOVE)

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5242 N. BAY RD.



IMAGES ON SHEET A0.04-CONTEXT
C1 - N BAY RD - LOOKING NORTH
C2 - N BAY RD - LOOKING SOUTH
C3 - N BAY RD - LOOKING FROM 53RD

IMAGES ON SHEET A0.05-EXISTING PROPERTY
E1 - FRONT YARD
E2 - SIDE YARD - NORTH
E3 - SIDE YARD - SOUTH
E4 - REAR YARD

IMAGES ON SHEET A0.06-NEIGHBOR PROPERTY
N1 - 5240 N. BAY RD.
N2 - 5244 N. BAY RD.
N3 - 5241 - 5251 N. BAY RD.

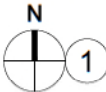


IMAGE KEY PLAN
NO SCALE

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IMAGE KEY

Date	08-10-2020	Sheet No.
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VIEW SOUTH ON NORTH BAY RD



VIEW NORTH ON NORTH BAY RD



VIEW FROM 53RD STREET TO NORTH BAY RD

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CONTEXT IMAGES

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FRONT VIEW 5240 NORTH BAY RD (LEFT SIDE)



FRONT VIEW 5244 NORTH BAY RD (RIGHT SIDE)



FRONT VIEW 5251 NORTH BAY RD



FRONT VIEW 5245 NORTH BAY RD



FRONT VIEW 5241 NORTH BAY RD

FRONT VIEWS OF PROPERTIES ACROSS THE STREET

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ADJACENT CONTEXT
IMAGES

Date	07-28-2020	Sheet No.
Scale		A0.05
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FRONT VIEW EAST FACE OF
5242 NORTH BAY RD



REAR VIEW WEST FACE OF
5242 NORTH BAY RD



PHOTOGRAPHED FROM FRONT
SOUTH FACE SIDE VIEW OF
5242 NORTH BAY RD



PHOTOGRAPHED FROM REAR
SOUTH FACE SIDE VIEW OF
5242 NORTH BAY RD



NORTH FACE SIDE VIEW OF
5242 NORTH BAY RD

1 EXISTING STRUCTURE IMAGES

N.T.S.

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COURTYARD WEST VIEW



COURTYARD EAST VIEW



COURTYARD SOUTH SIDE VIEW



COURTYARD NORTH SIDE VIEW

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Scale		A0.07
Project	2007	



FRONT DOOR WROUGHT IRON



ENCLOSED COVERED PORCH INTERIOR
COURTYARD SOUTH SIDE



FRONT DOOR INSIDE VIEW



HISTORIC STAIR TO GARAGE LEVEL 2

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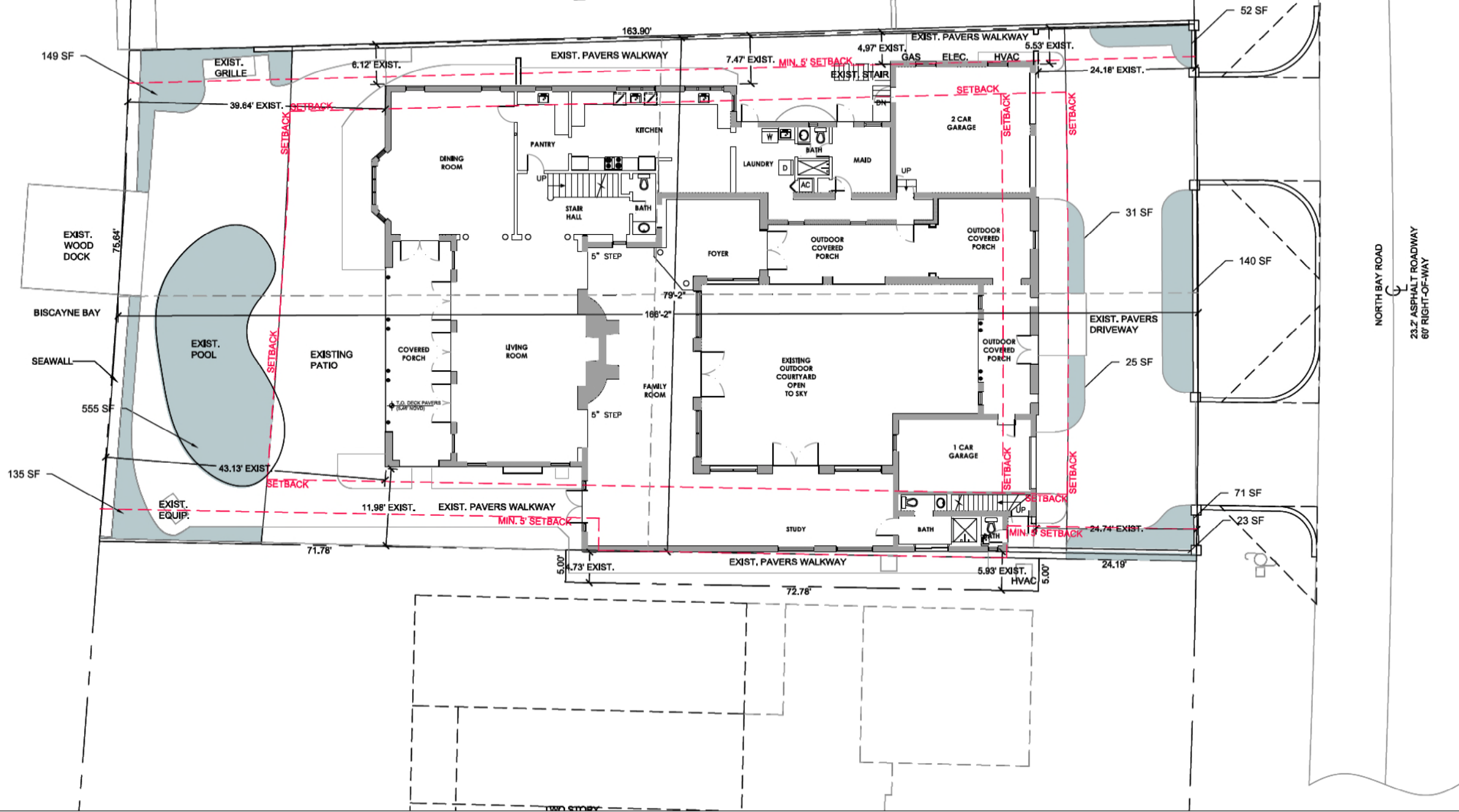
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EXISTING CONDITIONS ZONING DIAGRAMS

EXISTING PERVIOUS CALCULATION	
REQUIRED FRONT YARD (20'-0" SETBACK)	1,645 SF
MIN. PERVIOUS SPACE REQUIRED	823 SF (50.00%)
PERVIOUS SPACE EXISTING	342 SF (20.79%)
REQUIRED REAR YARD	1,904 SF
MIN. PERVIOUS SPACE REQUIRED	1,332 SF (70.00%)
PERVIOUS SPACE EXISTING	561 SF (29.46%)



PERVIOUS CALCULATIONS

Scale: 1/8" = 1'-0"

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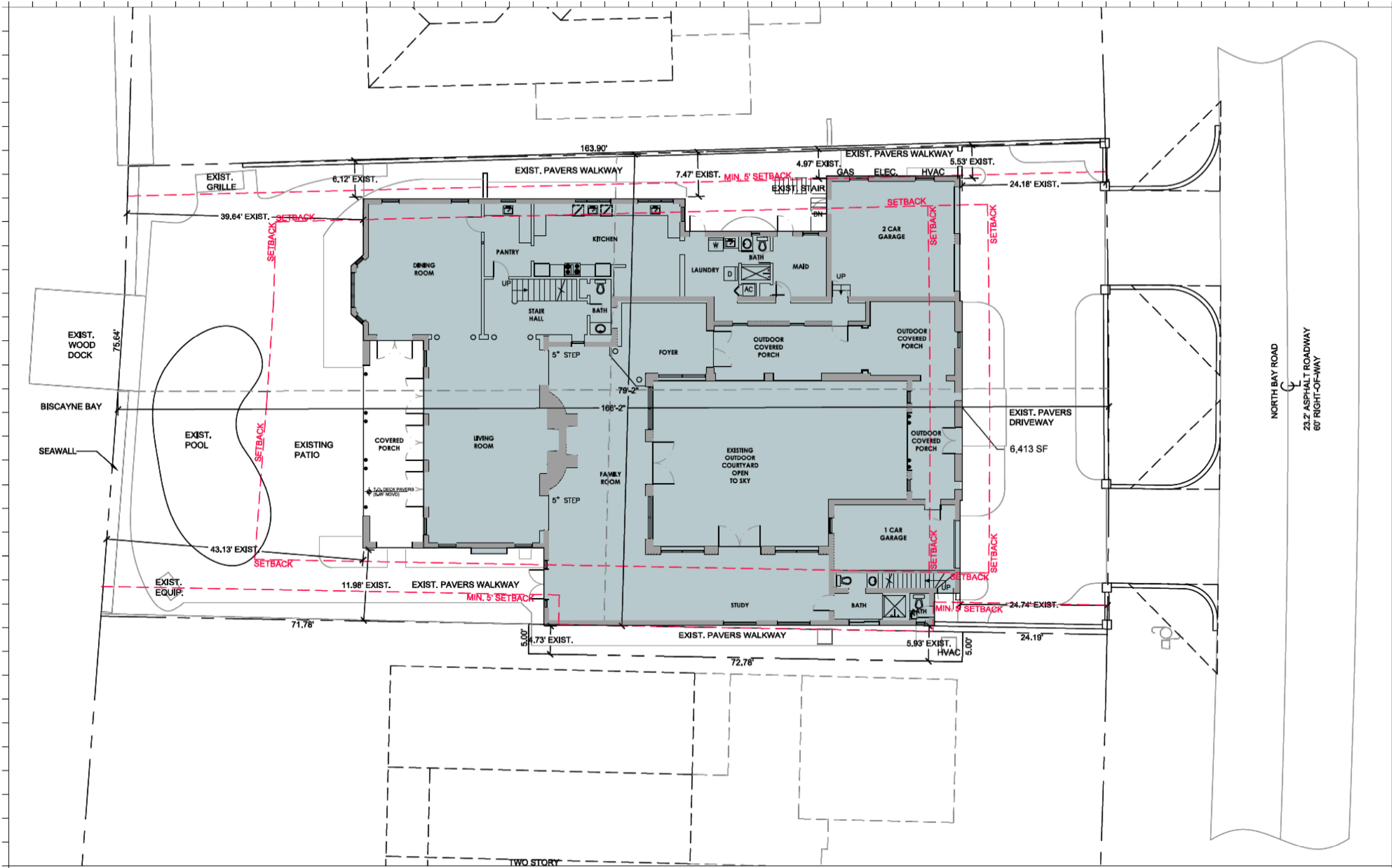
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EXISTING ZONING DIAGRAMS

Date	08-10-2020	Sheet No.	A1.11
Scale			
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EXISTING CONDITIONS
ZONING DIAGRAMS

EXISTING LOT COVERAGE CALCULATION		
LOT SIZE		13,512 SF
MAXIMUM LOT COVERAGE		3,944 SF (30.00%)
MAIN RESIDENCE		6,413 SF
TOTAL		6,413 SF (47.45%)



LOT COVERAGE CALCULATION

Scale: 1/8" = 1'-0"

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EXISTING
ZONING DIAGRAMS

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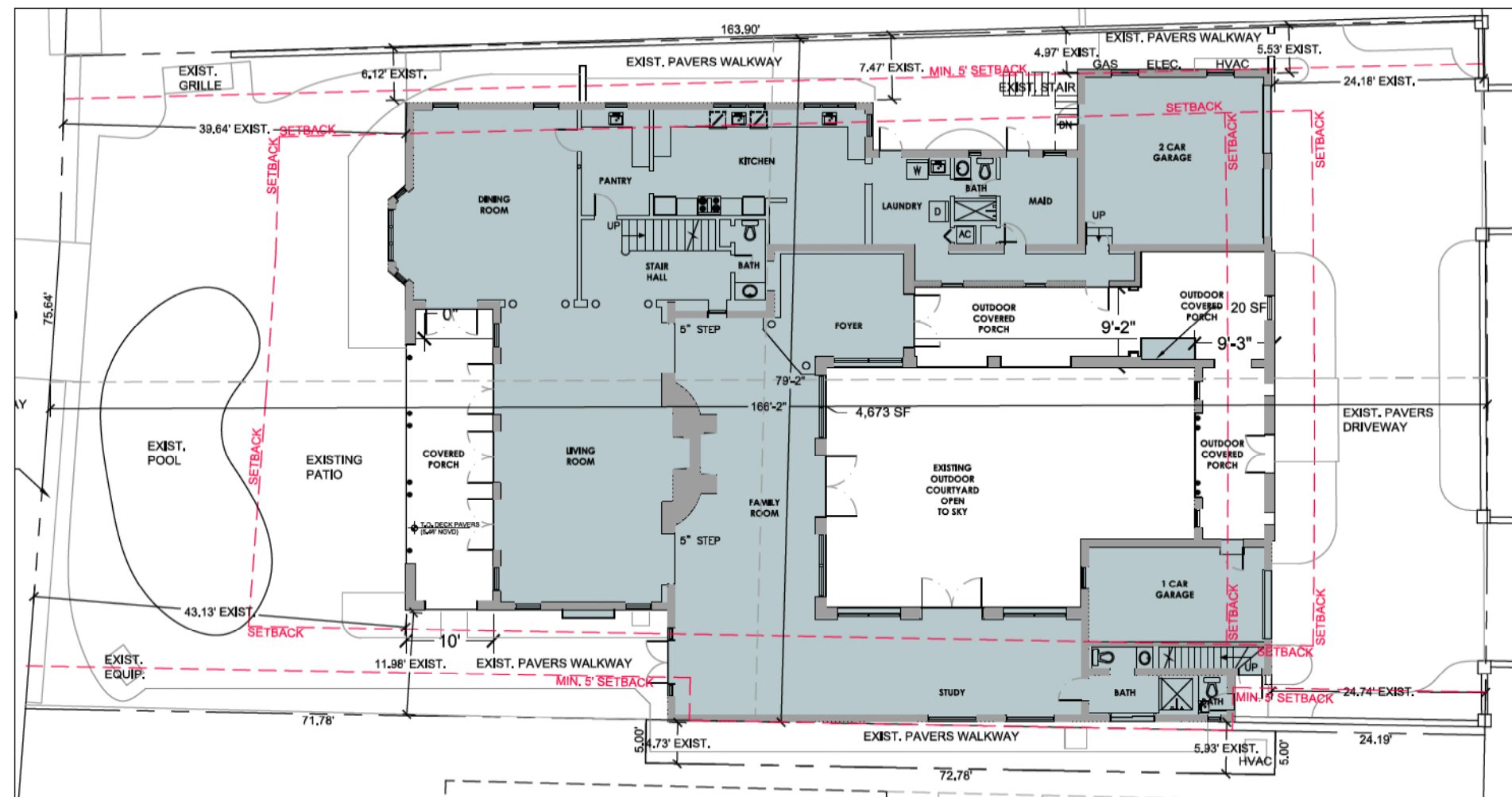
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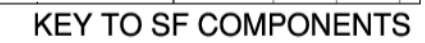


MAIN RESIDENCE	4,693 SF
TOTAL	4,693 SF
VOLUMETRIC RATIO	4,693 SF (00.00%)



UNIT SIZE CALCULATIONS - GROUND FLOOR

Scale: $1/8" = 1'-0"$



EXISTING UNIT SIZE CALCULATION		
MAIN RESIDENCE		3,888 SF
TOTAL		3,888 SF
VOLUMETRIC RATIO		3,888 SF (82.95%)



UNIT SIZE CALCULATIONS - SECOND FLOOR

Scale: $1/8" = 1'-0"$

[illegible]

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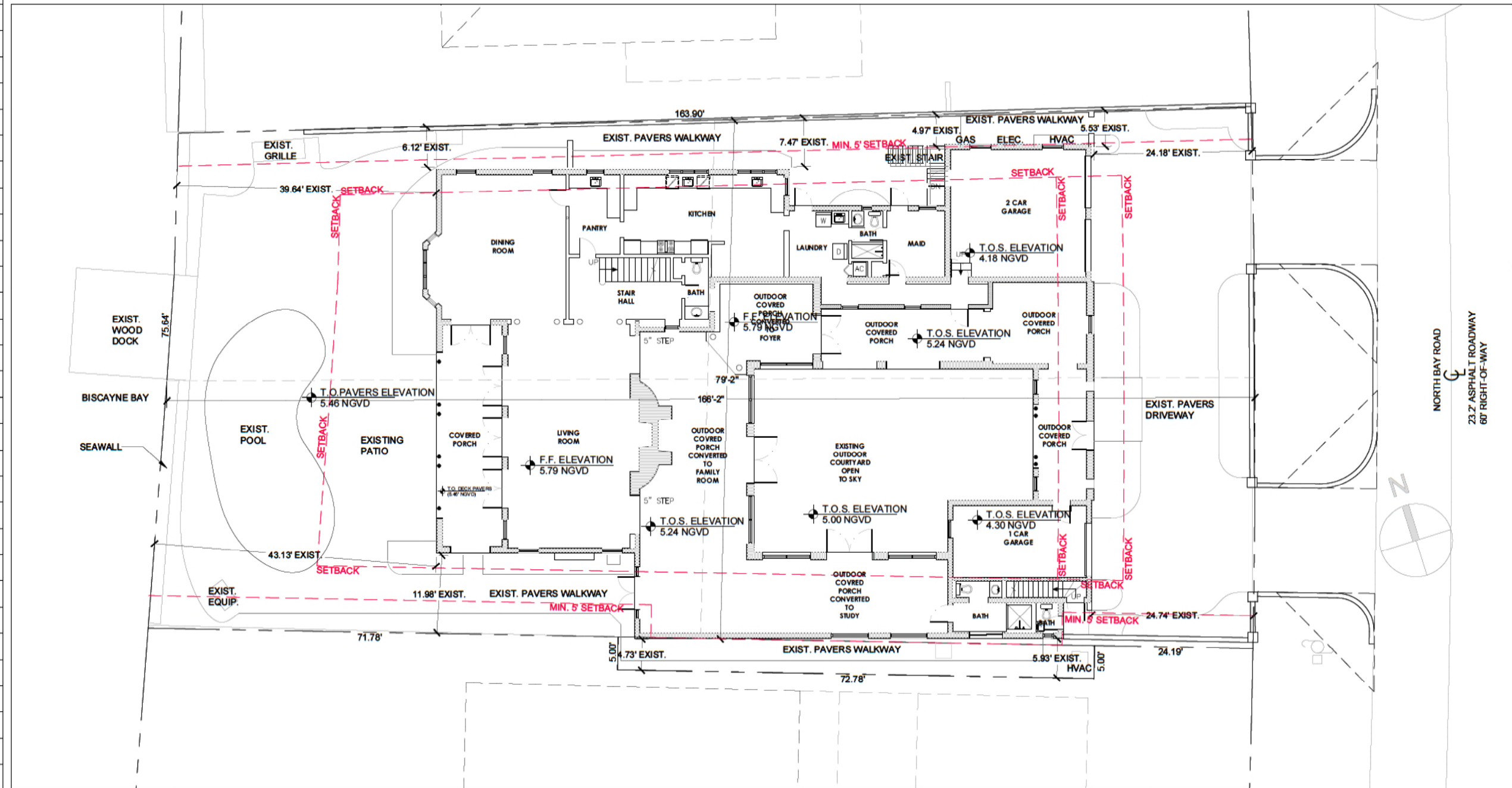


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EXISTING ZONING DIAGRAMS

Date	08-10-2020	Sheet No. A1.14
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1 EXISTING SITE PLAN
1/8" = 1'-0"

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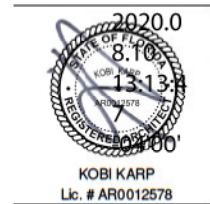
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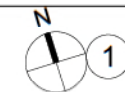
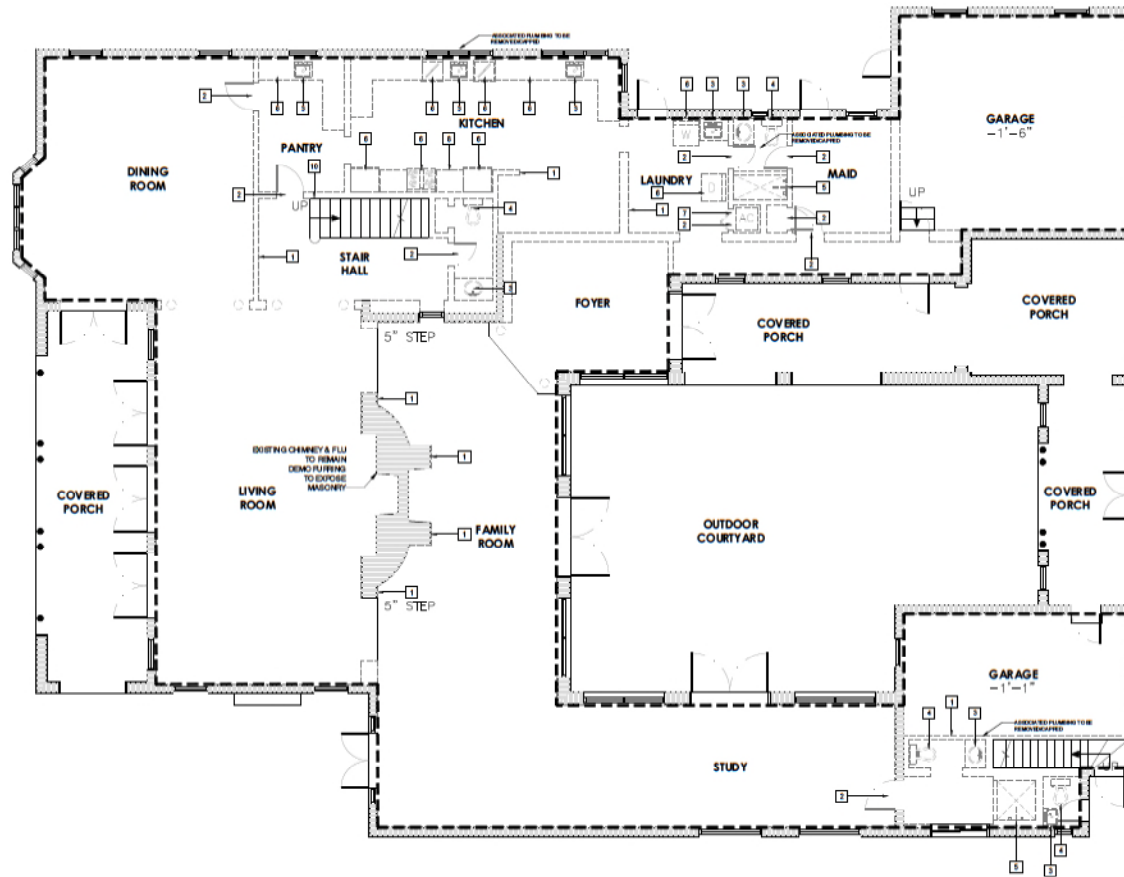
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SITE PLAN

Date	07-28-2020	Sheet No.	A2.01
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INTERIOR DEMO PLAN - LEVEL 1
Scale: 1/8" = 1'-0"

KEY LEGEND:

- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN, PROTECT FROM DAMAGE
- ADJACENT LOAD BEARING WALLS AND ELEVATED FLOORS AND ROOF THAT ARE TO REMAIN SHALL BE BRACED AND SHORED AS DIRECTED BY CERTIFIED AND LICENSED STRUCTURAL ENGINEER U.O.N.
- INDICATES LIMITS OF DEMOLITION WORK

DEMOLITION KEY TAGS

- EXISTING INTERIOR WALL SHALL BE REMOVED IN ITS ENTIRETY. GC SHALL CONFIRM THAT IT IS NOT A BEARING WALL. ELECTRICAL BOXES, OUTLETS, COVERS, CONDUITS AND WIRES SHALL BE REMOVED STARTING AT THE PANEL.
- EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED
- EXISTING SINK TO BE REMOVED. ASSOCIATED PLUMBING TO BE LEFT IN PLACE FOR FUTURE PROPOSED SINK U.O.N.
- EXISTING WC TO BE REMOVED. ASSOCIATED PLUMBING TO BE LEFT IN PLACE FOR FUTURE PROPOSED WC U.O.N.
- EXISTING SHOWER/TUB TO BE REMOVED. ASSOCIATED PLUMBING TO BE LEFT IN PLACE FOR FUTURE PROPOSED SHOWER/TUB U.O.N.
- EXISTING APPLIANCES TO BE REMOVED. ASSOCIATED PLUMBING/CONNECTIONS TO BE RELOCATED PER FUTURE PROPOSED PLANS.
- EXISTING MECHANICAL EQUIPMENT TO BE REMOVED. ASSOCIATED PLUMBING TO BE REMOVED/CAPPED.
- EXISTING CABINETRY/COUNTERTOPS TO BE REMOVED.
- EXISTING GUARDRAIL SYSTEM TO BE REMOVED IN ITS ENTIRETY.

- EXISTING STAIR TREADS TO BE REMOVED.

GENERAL NOTES

- REMOVE ALL EXISTING INTERIOR FLOORING. G.C. TO CONFIRM WITH CLIENT IF ANY FLOORING IS INTENDED TO BE SALVAGED.
- REMOVE ALL FURRING ON ALL EXTERIOR PERIMETER WALLS

Rev.	Date	Rev.	Date

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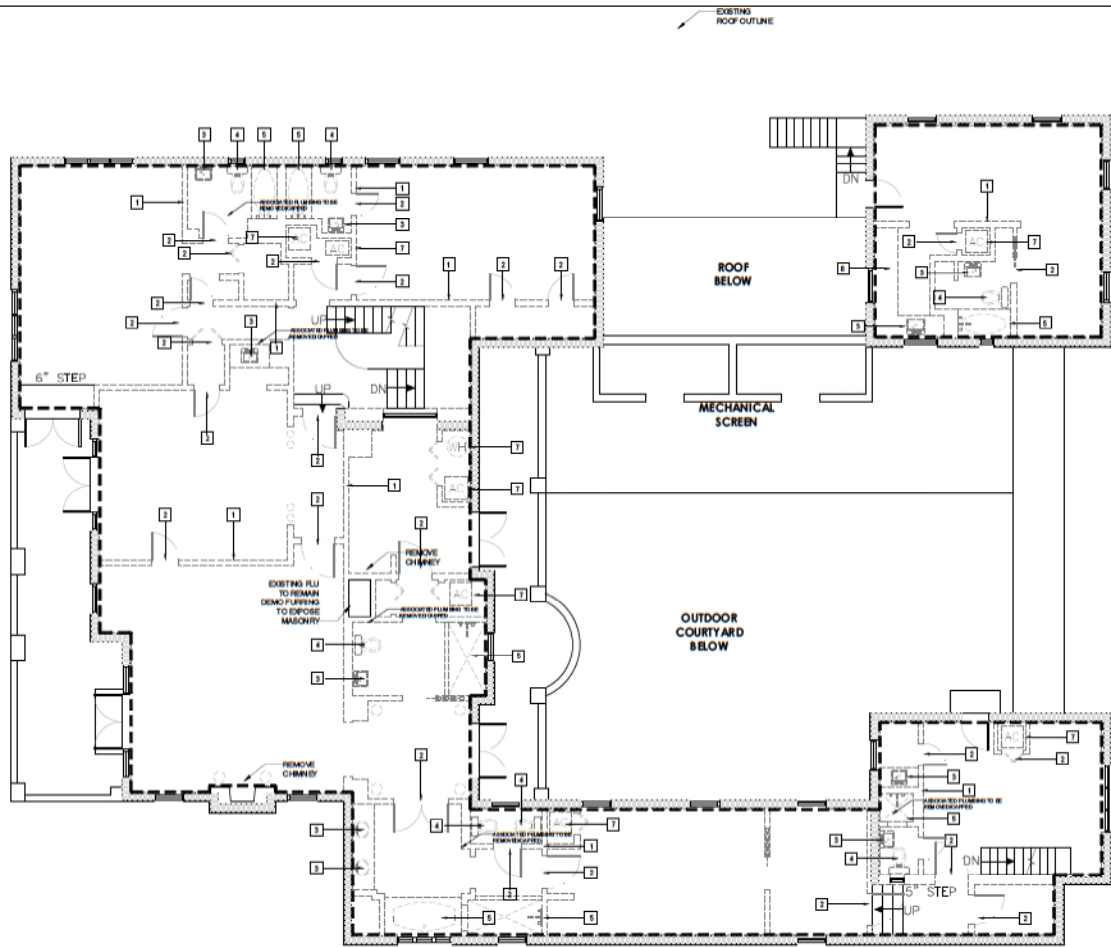
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DEMO PLAN

Date	08-10-2020	Sheet No.
Scale		A2.11
Project	2007	



INTERIOR DEMO PLAN - LEVEL 2
Scale: 1/8" = 1'-0"

KEY LEGEND:

- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN, PROTECT FROM DAMAGE
- ADJACENT LOAD BEARING WALLS AND ELEVATED FLOORS AND ROOF THAT ARE TO REMAIN SHALL BE BRACED AND SHORED AS DIRECTED BY CERTIFIED AND LICENSED STRUCTURAL ENGINEER U.O.N.
- INDICATES LIMITS OF DEMOLITION WORK

DEMOLITION KEY TAGS

- EXISTING INTERIOR WALL SHALL BE REMOVED IN ITS ENTIRETY. GC SHALL CONFIRM THAT IT IS NOT A BEARING WALL. ELECTRICAL BOXES, OUTLETS, COVERS, CONDUITS AND WIRES SHALL BE REMOVED STARTING AT THE PANEL.
- EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED
- EXISTING SINK TO BE REMOVED. ASSOCIATED PLUMBING TO BE LEFT IN PLACE FOR FUTURE PROPOSED SINK U.O.N.
- EXISTING WC TO BE REMOVED. ASSOCIATED PLUMBING TO BE LEFT IN PLACE FOR FUTURE PROPOSED WC U.O.N.
- EXISTING SHOWER/TUB TO BE REMOVED. ASSOCIATED PLUMBING TO BE LEFT IN PLACE FOR FUTURE PROPOSED SHOWER/TUB U.O.N.
- EXISTING APPLIANCES TO BE REMOVED. ASSOCIATED PLUMBING/CONNECTIONS TO BE RELOCATED PER FUTURE PROPOSED PLANS.
- EXISTING MECHANICAL EQUIPMENT TO BE REMOVED. ASSOCIATED PLUMBING TO BE REMOVED/CAPPED.
- EXISTING CABINETRY/COUNTERTOPS TO BE REMOVED.
- EXISTING GUARDRAIL SYSTEM TO BE REMOVED IN ITS ENTIRETY.

- EXISTING STAIR TREADS TO BE REMOVED.
- GENERAL NOTES
 - REMOVE ALL EXISTING INTERIOR FLOORING. G.C. TO CONFIRM WITH CLIENT IF ANY FLOORING IS INTENDED TO BE SALVAGED
 - REMOVE ALL FURRING ON ALL EXTERIOR PERIMETER WALLS.

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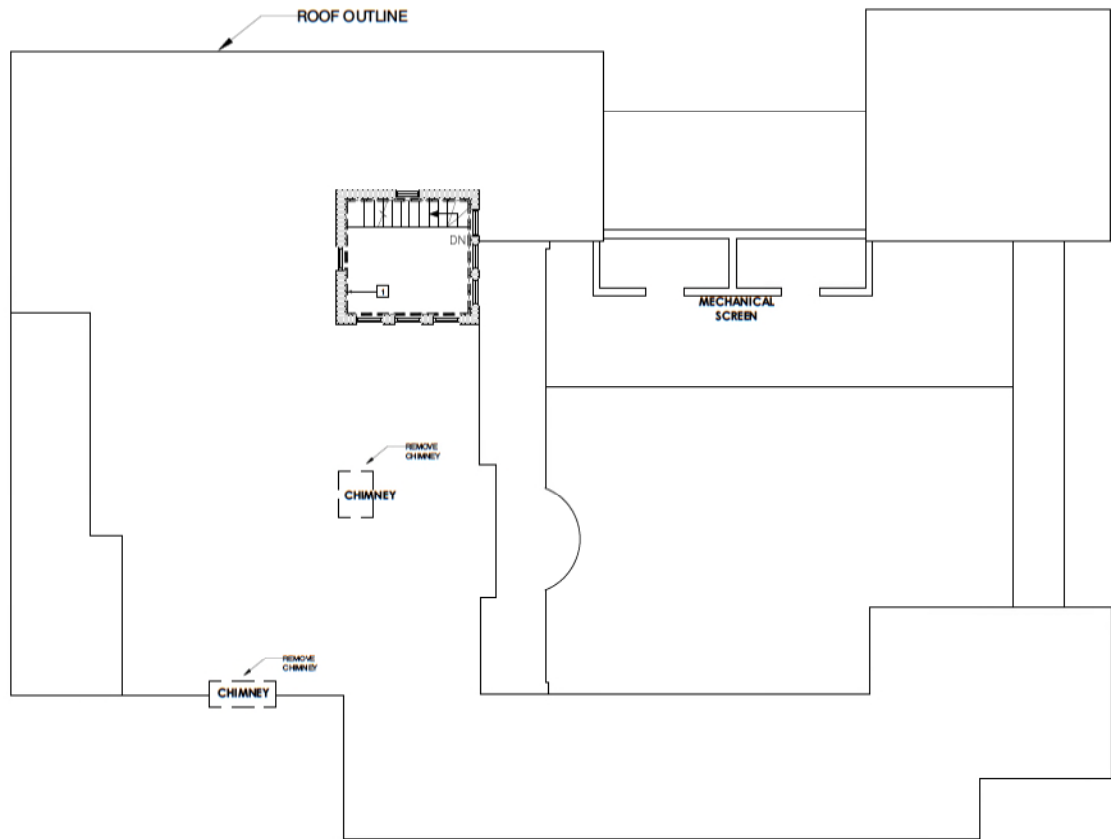
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DEMO PLAN

Date	08-10-2020	Sheet No.
Scale		A2.12
Project	2007	



INTERIOR DEMO PLAN - LEVEL 3
Scale: 1/8" = 1'-0"

KEY LEGEND:

- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN, PROTECT FROM DAMAGE
- ADJACENT LOAD BEARING WALLS AND ELEVATED FLOORS AND ROOF THAT ARE TO REMAIN SHALL BE BRACED AND SHORED AS DIRECTED BY CERTIFIED AND LICENSED STRUCTURAL ENGINEER U.O.N.
- INDICATES LIMITS OF DEMOLITION WORK

DEMOLITION KEY TAGS

- EXISTING INTERIOR WALL SHALL BE REMOVED IN ITS ENTIRETY. GC SHALL CONFIRM THAT IT IS NOT A BEARING WALL. ELECTRICAL BOXES, OUTLETS, COVERS, CONDUITS AND WIRES SHALL BE REMOVED STARTING AT THE PANEL.
- EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED
- EXISTING SINK TO BE REMOVED. ASSOCIATED PLUMBING TO BE LEFT IN PLACE FOR FUTURE PROPOSED SINK U.O.N.
- EXISTING WC TO BE REMOVED. ASSOCIATED PLUMBING TO BE LEFT IN PLACE FOR FUTURE PROPOSED WC U.O.N.
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- EXISTING APPLIANCES TO BE REMOVED. ASSOCIATED PLUMBING/CONNECTIONS TO BE RELOCATED PER FUTURE PROPOSED PLANS.
- EXISTING MECHANICAL EQUIPMENT TO BE REMOVED. ASSOCIATED PLUMBING TO BE REMOVED/CAPPED.
- EXISTING CABINETRY/COUNTERTOPS TO BE REMOVED.
- EXISTING GUARDRAIL SYSTEM TO BE REMOVED IN ITS ENTIRETY.

- EXISTING STAIR TREADS TO BE REMOVED.
- GENERAL NOTES
- A. REMOVE ALL EXISTING INTERIOR FLOORING. G.C. TO CONFIRM WITH CLIENT IF ANY FLOORING IS INTENDED TO BE SALVAGED.
- B. REMOVE ALL FURRING ON ALL EXTERIOR PERIMETER WALLS.

Rev.	Date	Rev.	Date

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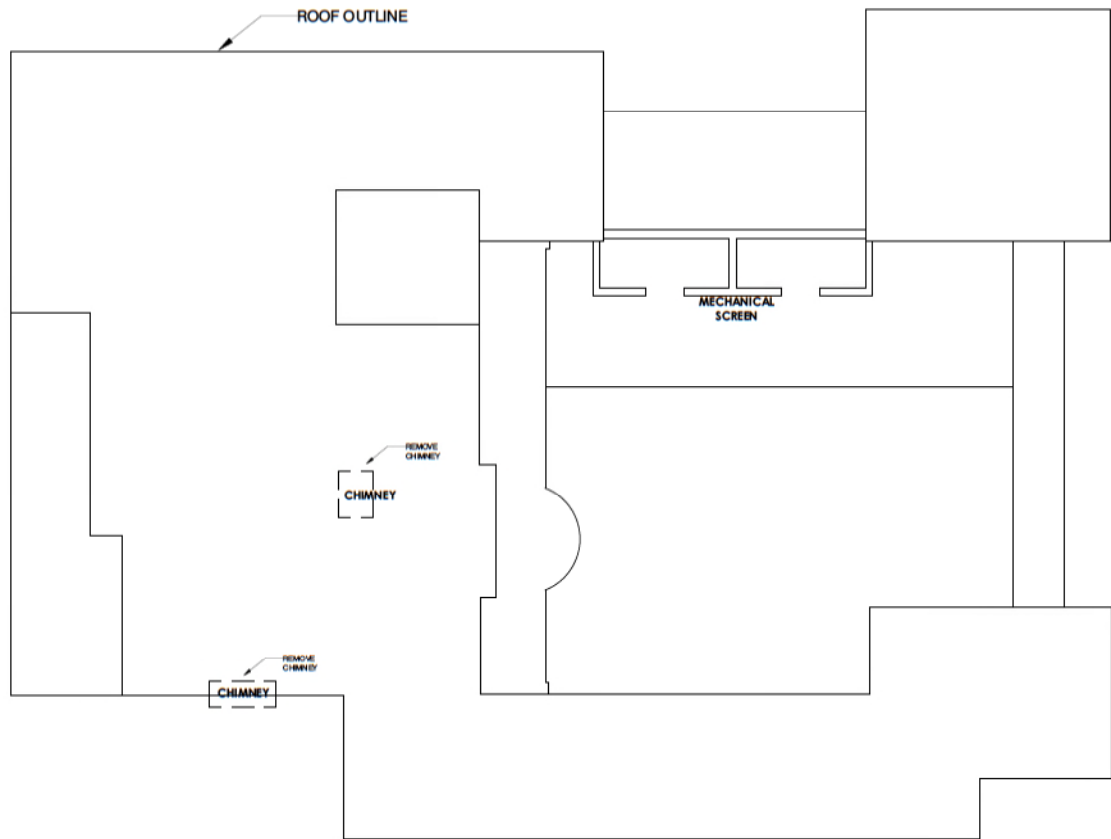
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DEMO PLAN

Date	08-10-2020	Sheet No.
Scale		A2.13
Project	2007	



INTERIOR DEMO PLAN - ROOF

Scale: 1/8" = 1'-0"

KEY LEGEND:

- EXISTING CONSTRUCTION TO BE REMOVED
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- EXISTING CABINETRY/COUNTERTOPS TO BE REMOVED.
- EXISTING GUARDRAIL SYSTEM TO BE REMOVED IN ITS ENTIRETY.

- EXISTING STAIR TREADS TO BE REMOVED.

GENERAL NOTES

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DEMO PLAN

Date	08-10-2020	Sheet No.
Scale		A2.14
Project	2007	