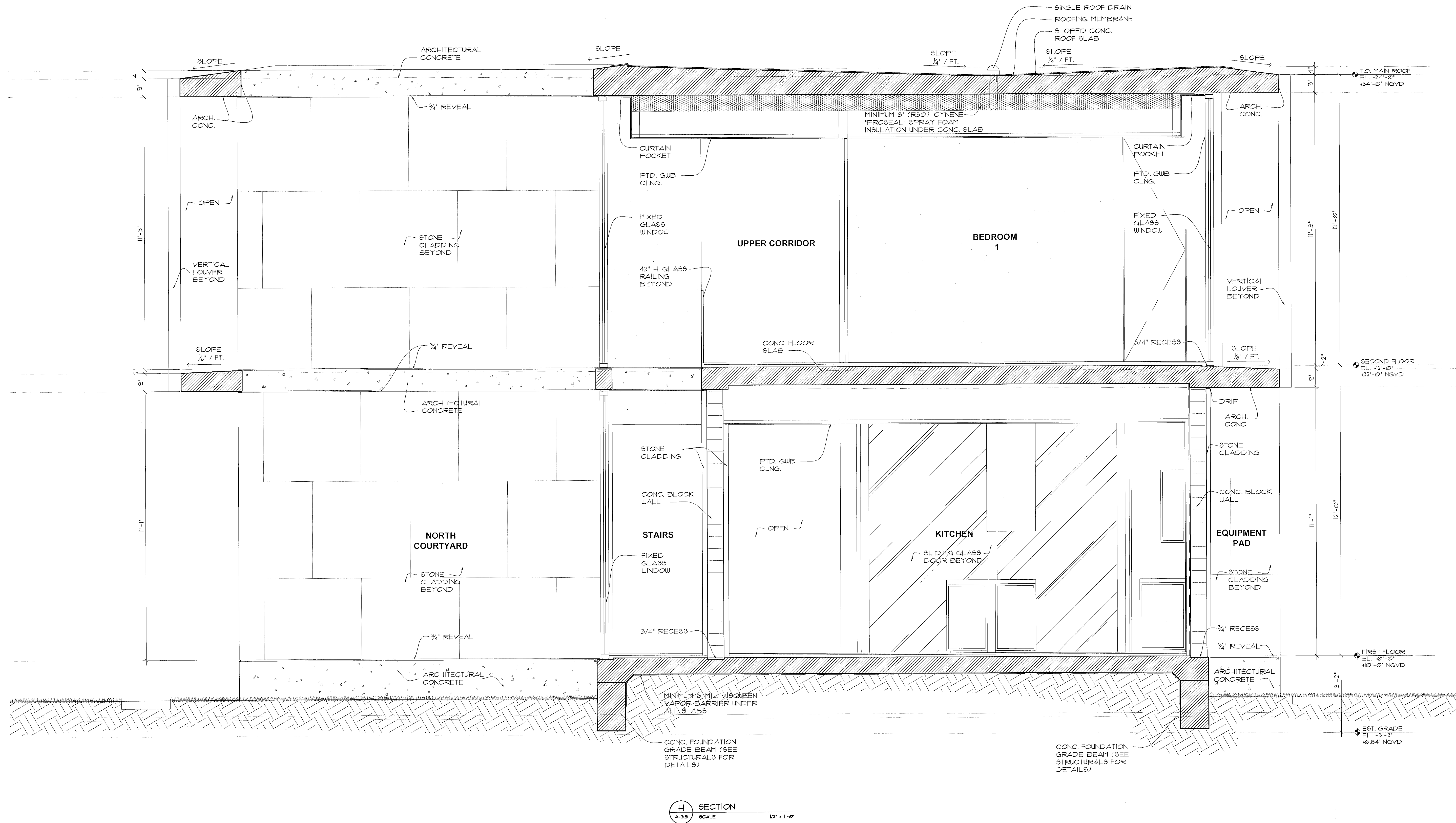
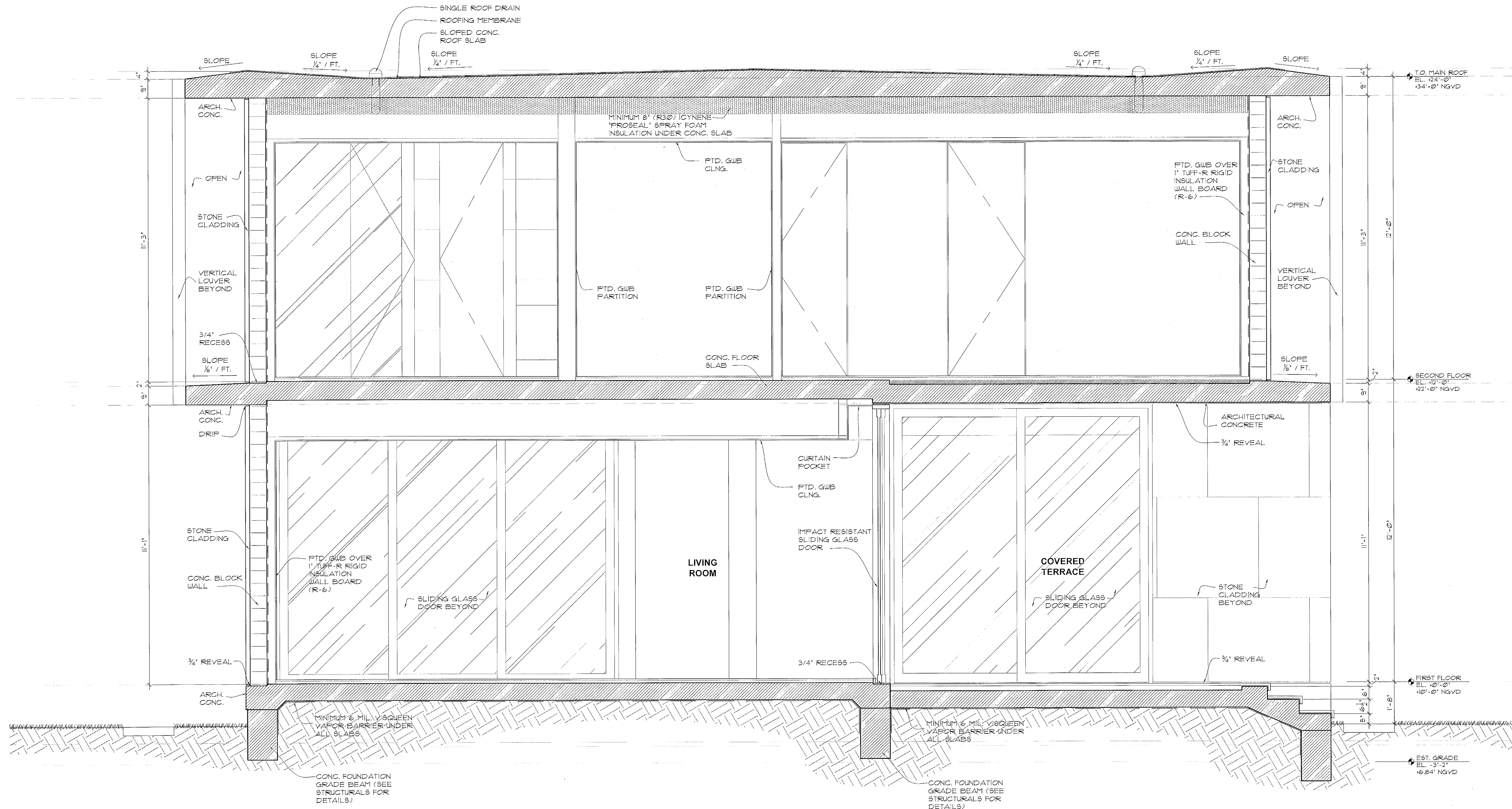


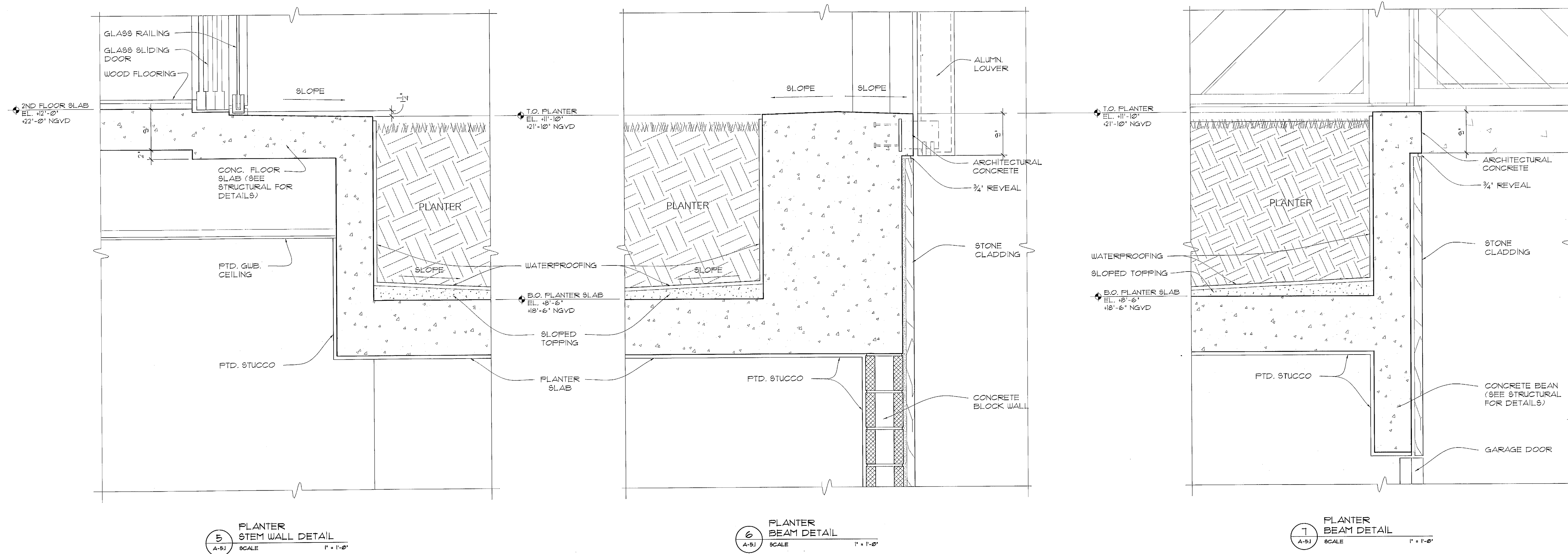
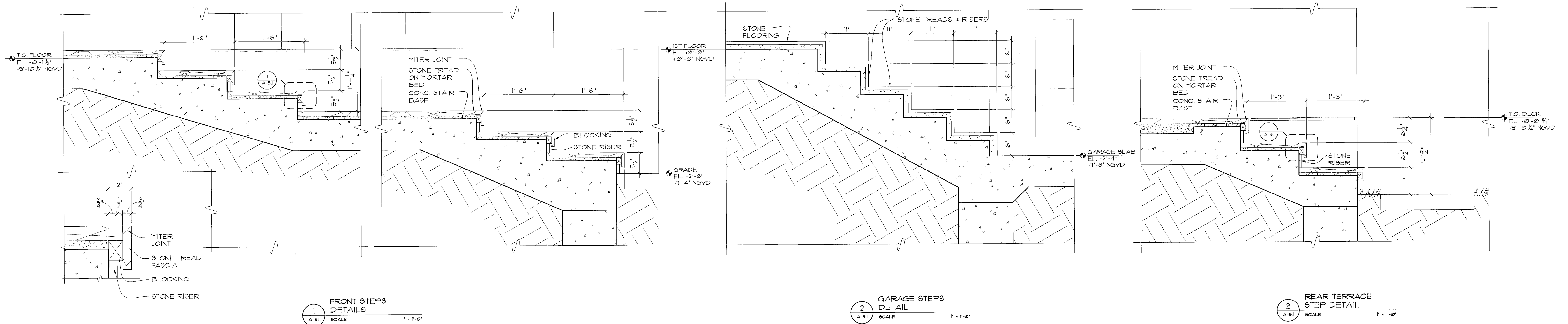
F SECTION
A-3.6 SCALE 1/2" = 1'-0"

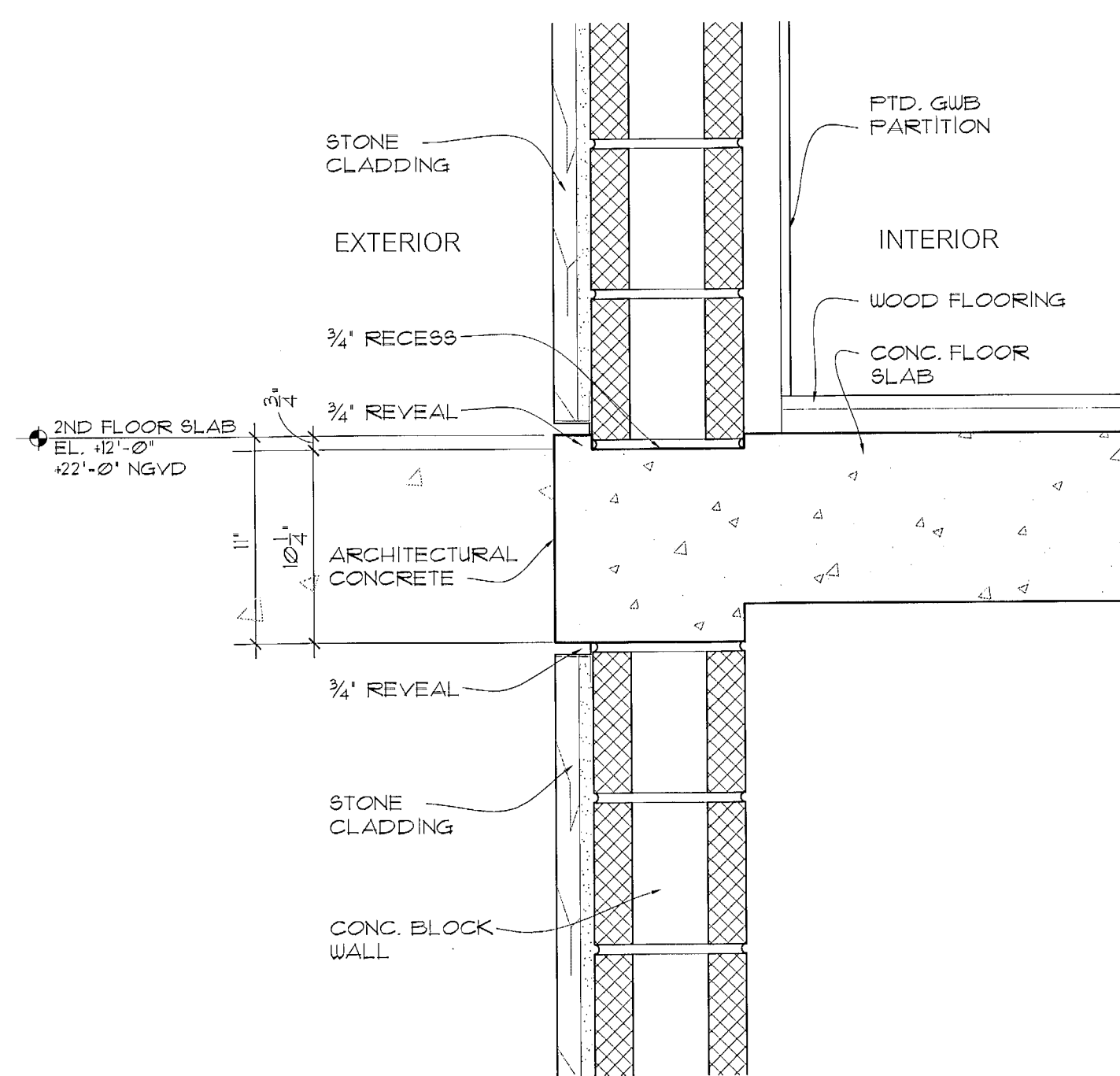




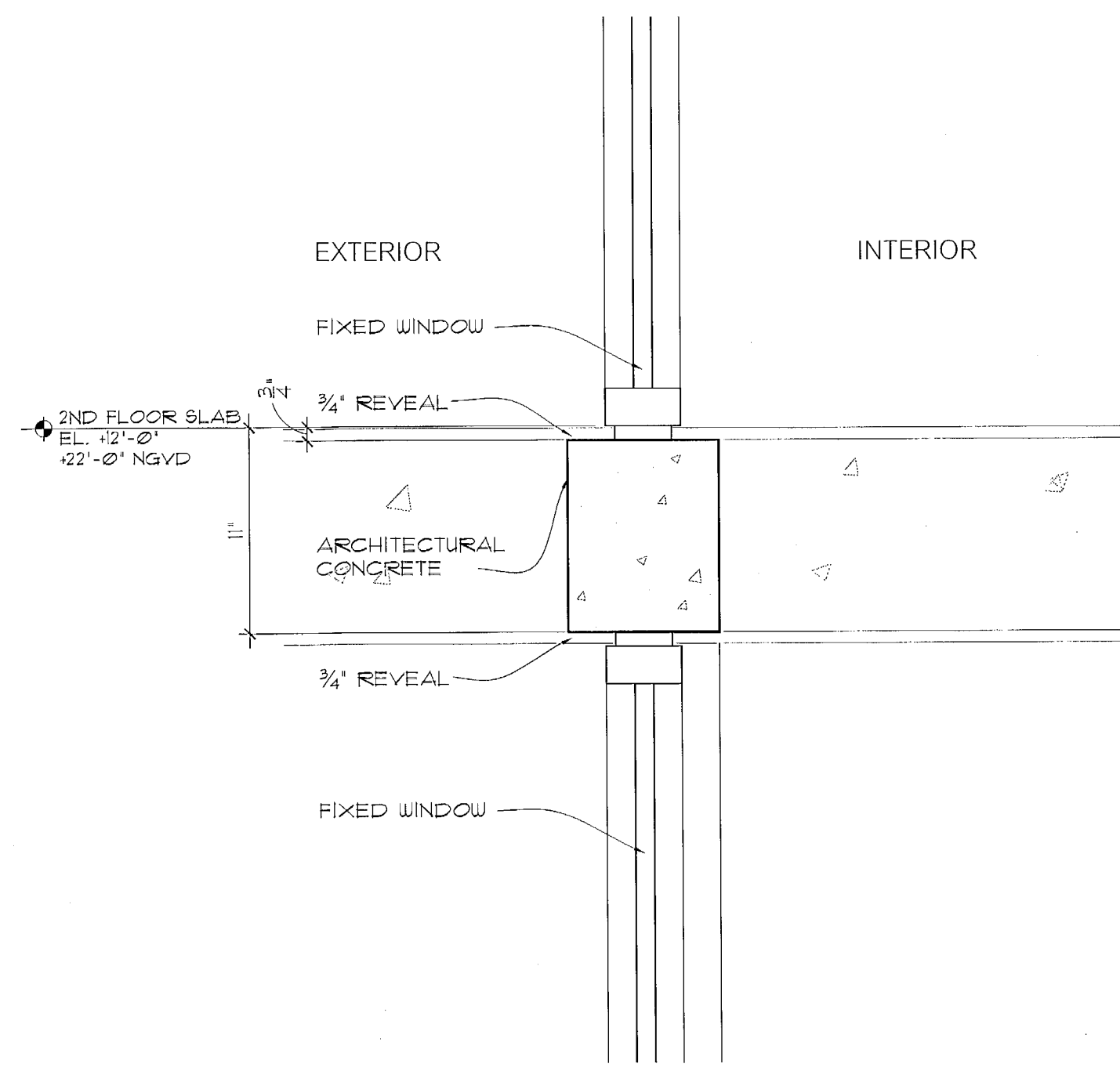


SECTION
A-3.9 SCALE 1/2" = 1'-0"

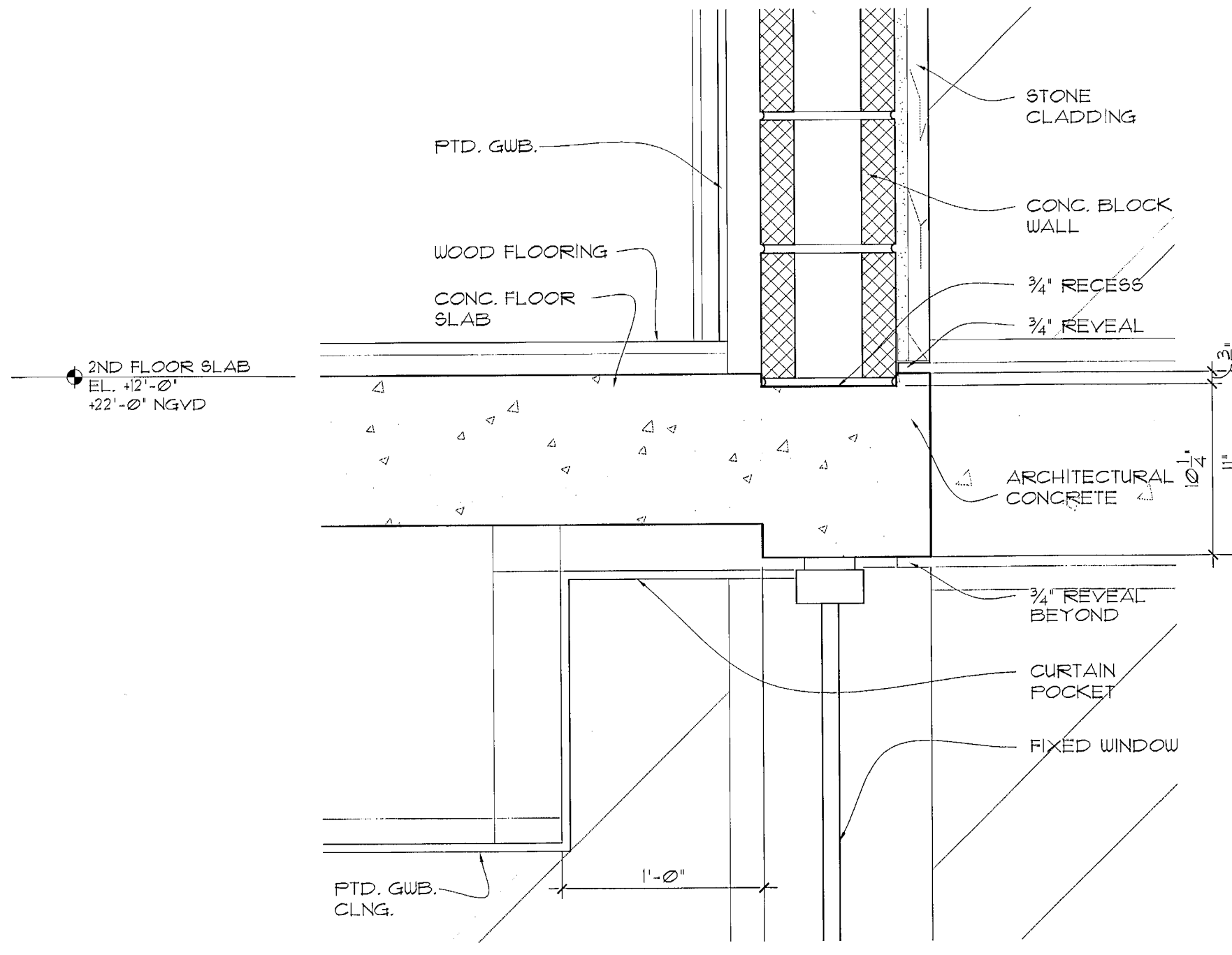




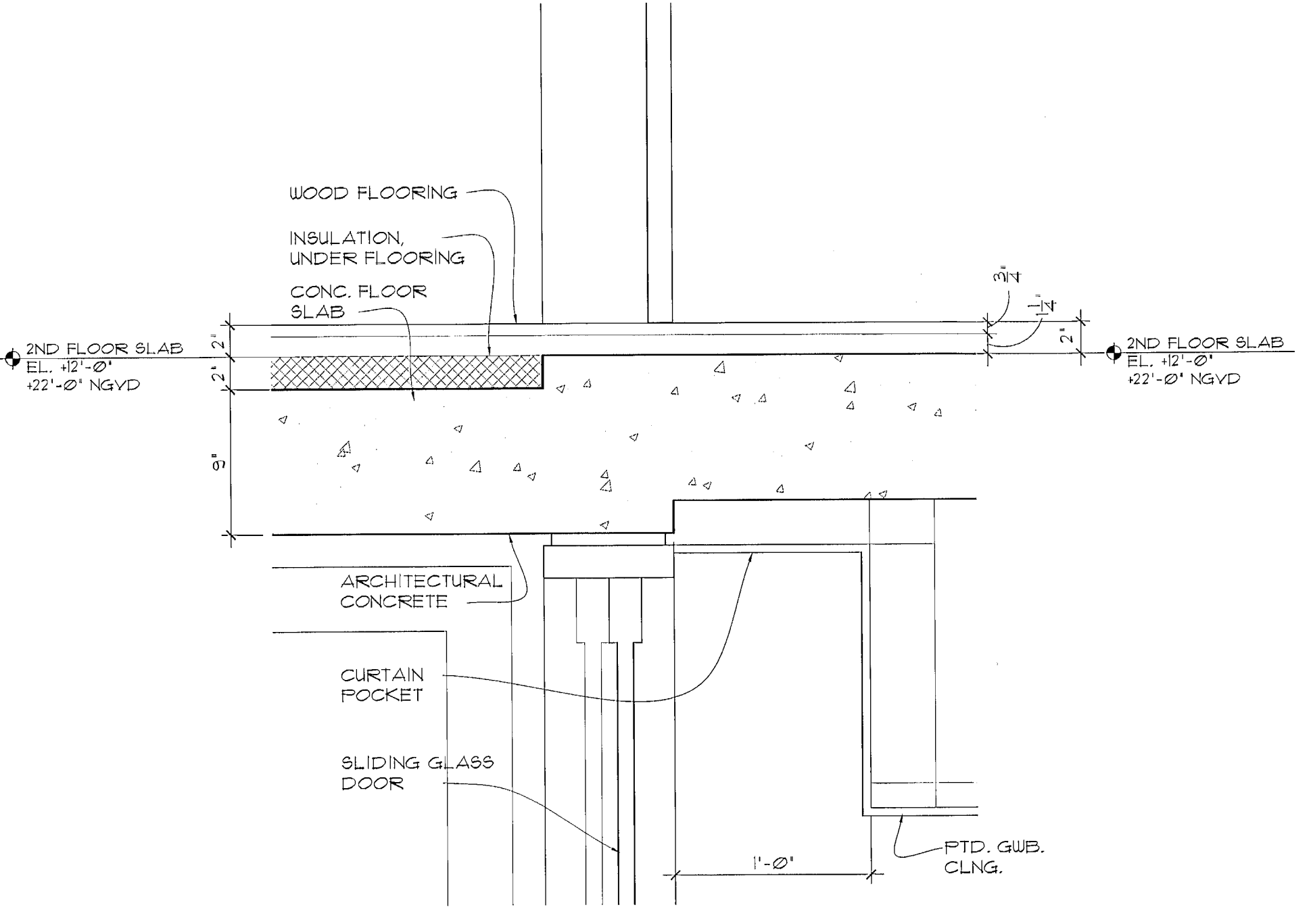
1
A-52
SCALE
1 1/2" = 1'-0"



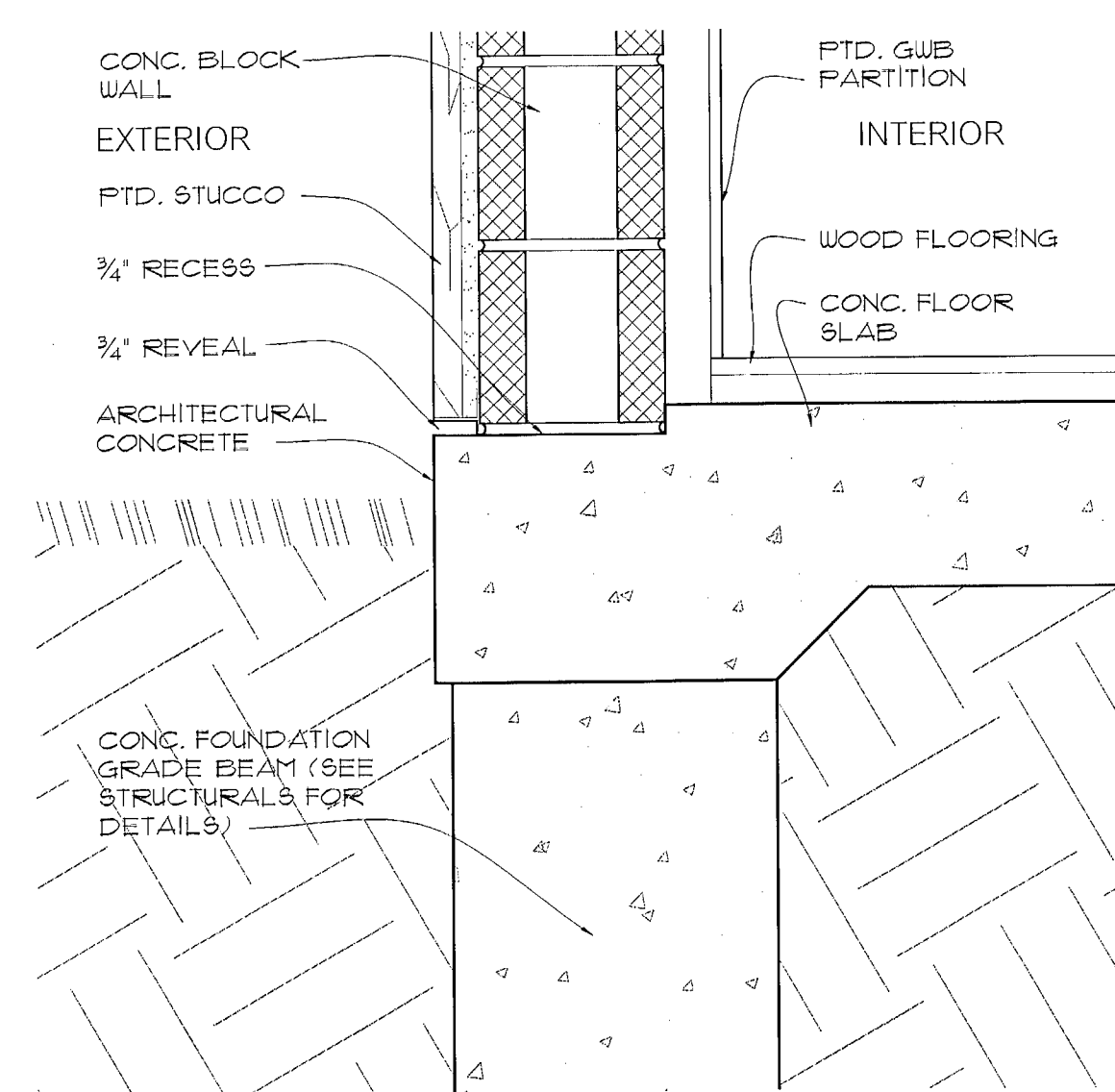
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A-52
SCALE
1 1/2" = 1'-0"



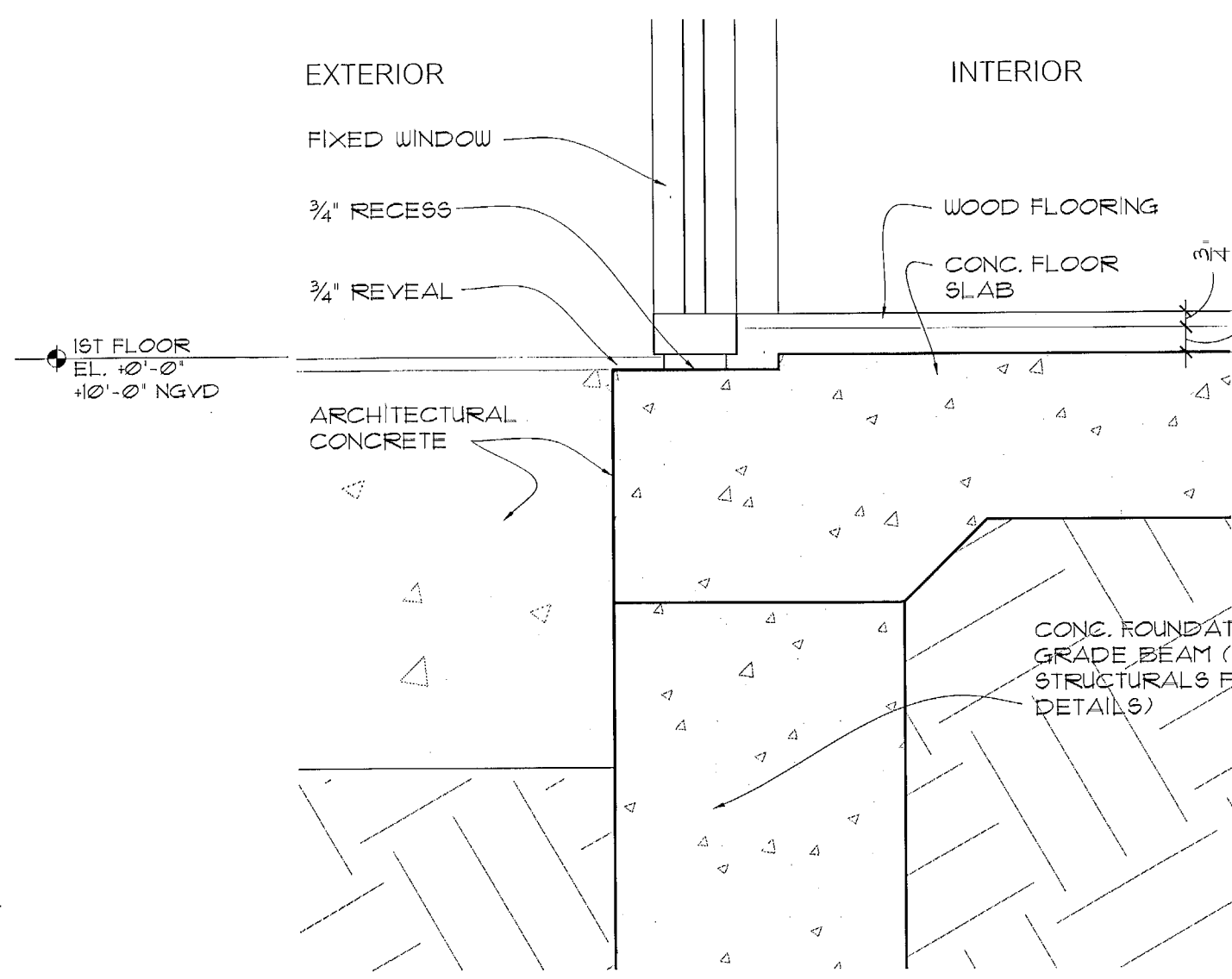
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A-52
SCALE
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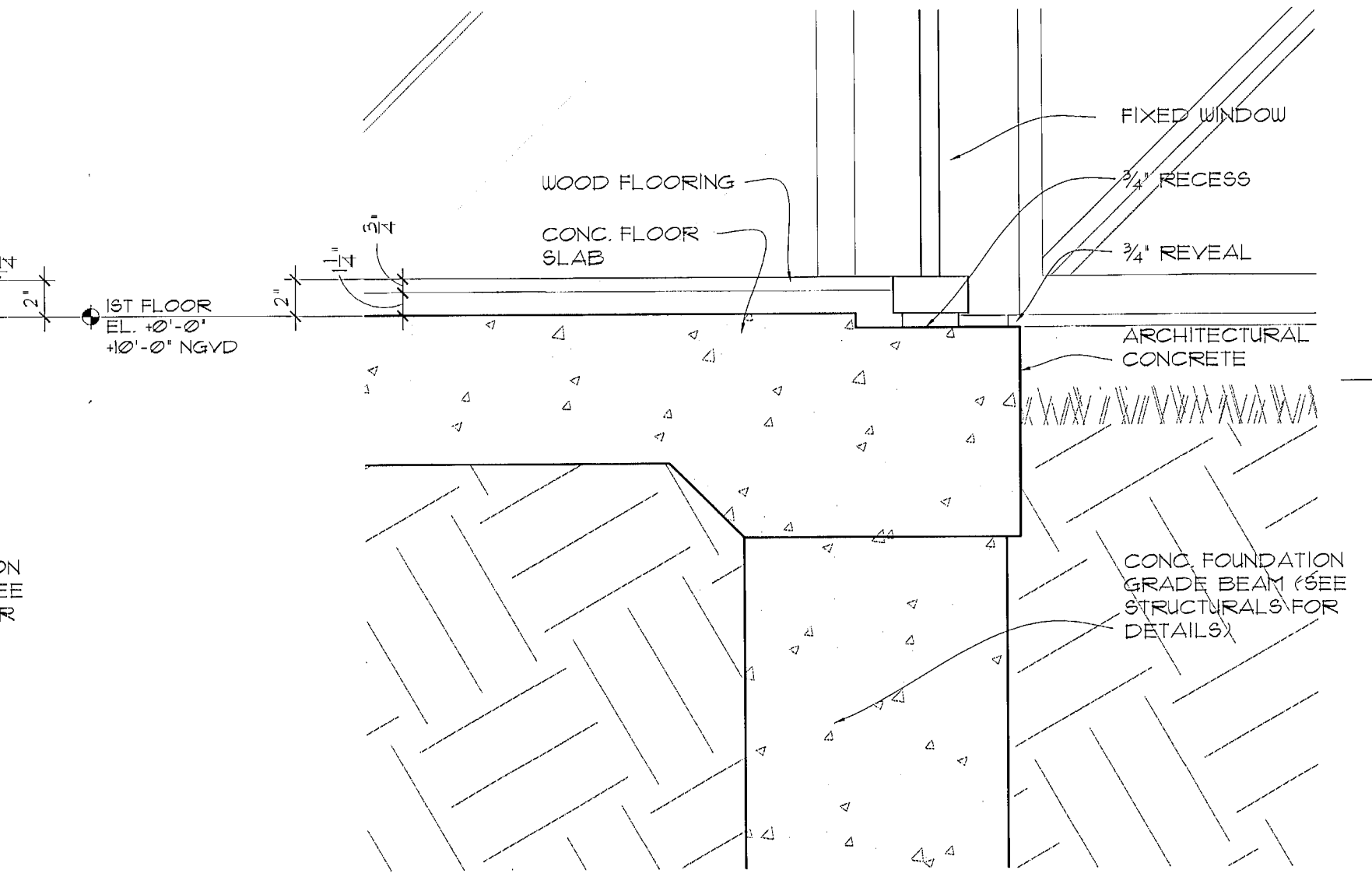
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A-52
SCALE
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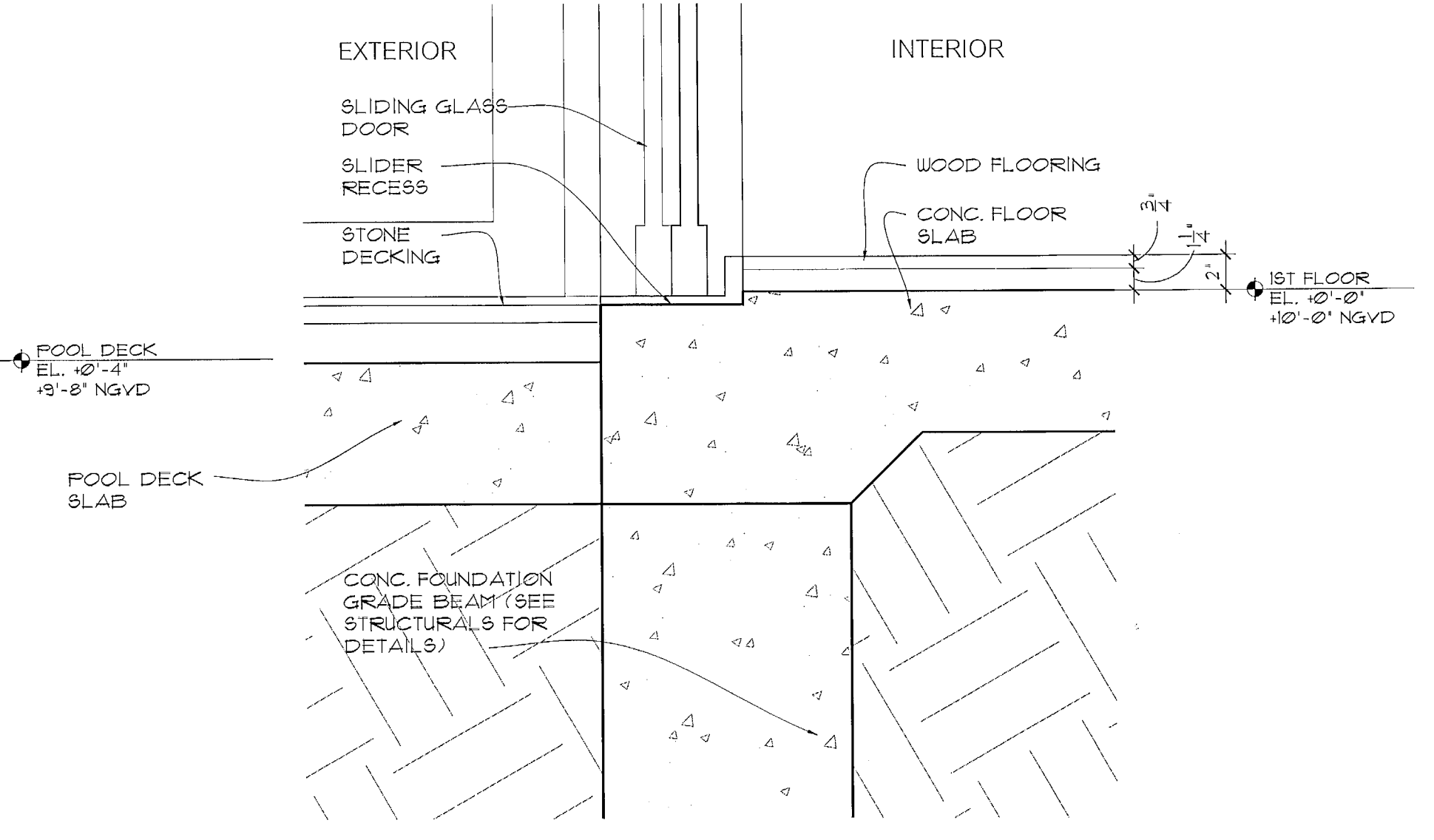
5
A-52
SCALE
1 1/2" = 1'-0"



6
A-52
SCALE
1 1/2" = 1'-0"



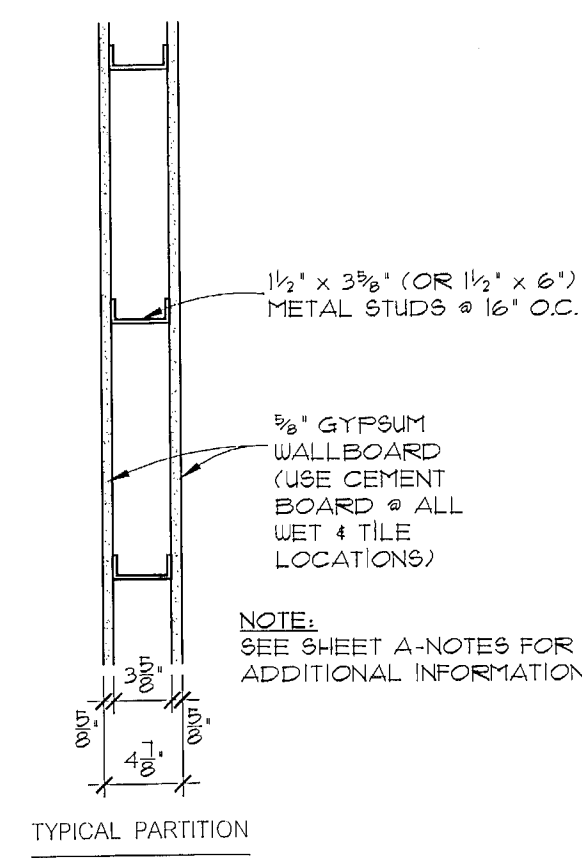
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A-52
SCALE
1 1/2" = 1'-0"



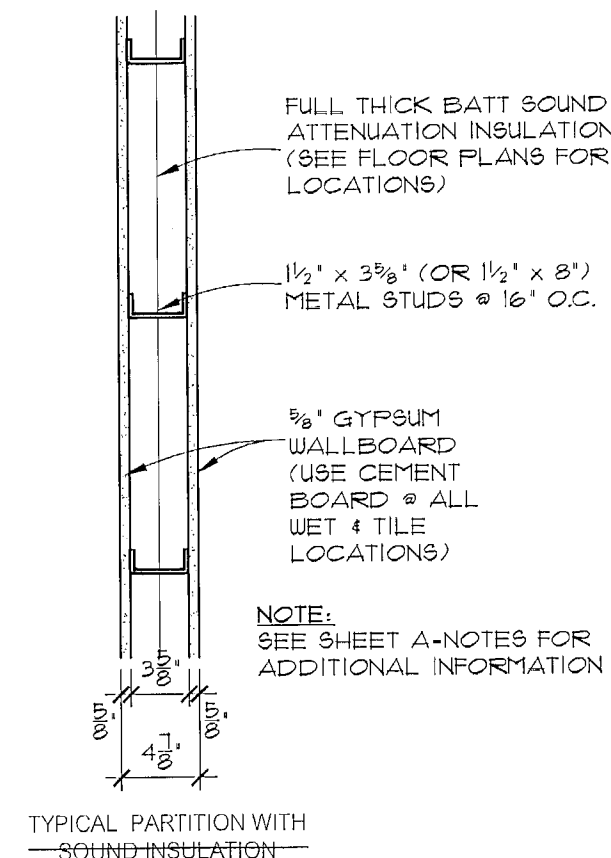
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A-52
SCALE
1 1/2" = 1'-0"

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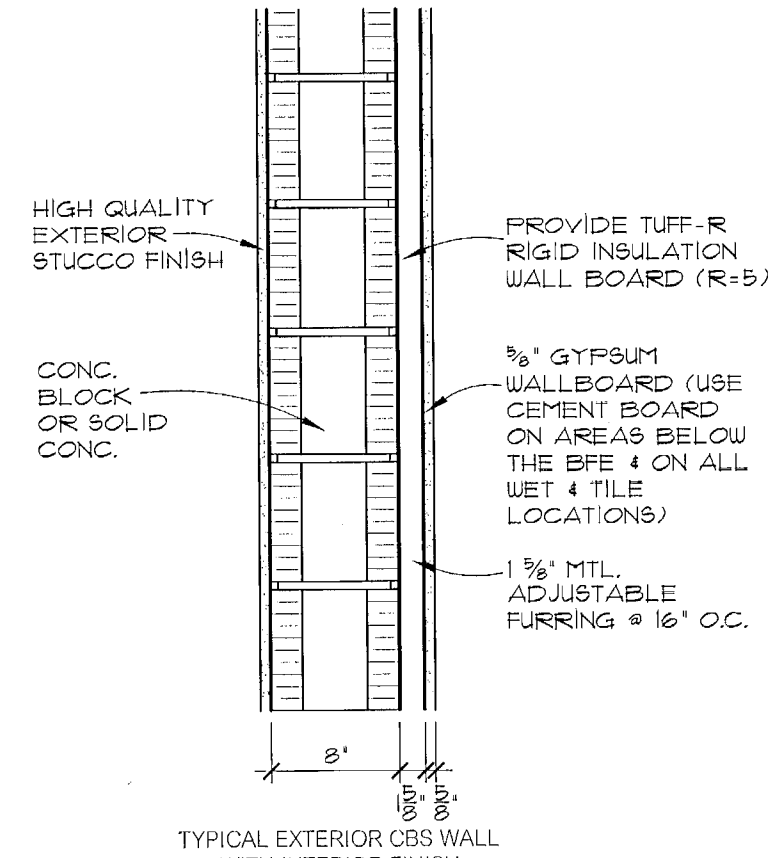
The seal of the Architectural Association of Ireland (AAI) is a circular emblem. It features a central shield with a stylized 'A' and 'I' monogram. The shield is surrounded by a wreath. The outer border of the seal contains the text 'ARCHITECTURAL ASSOCIATION OF IRELAND' at the top and 'founded 1876' at the bottom. The seal is rendered in a dark, textured style.



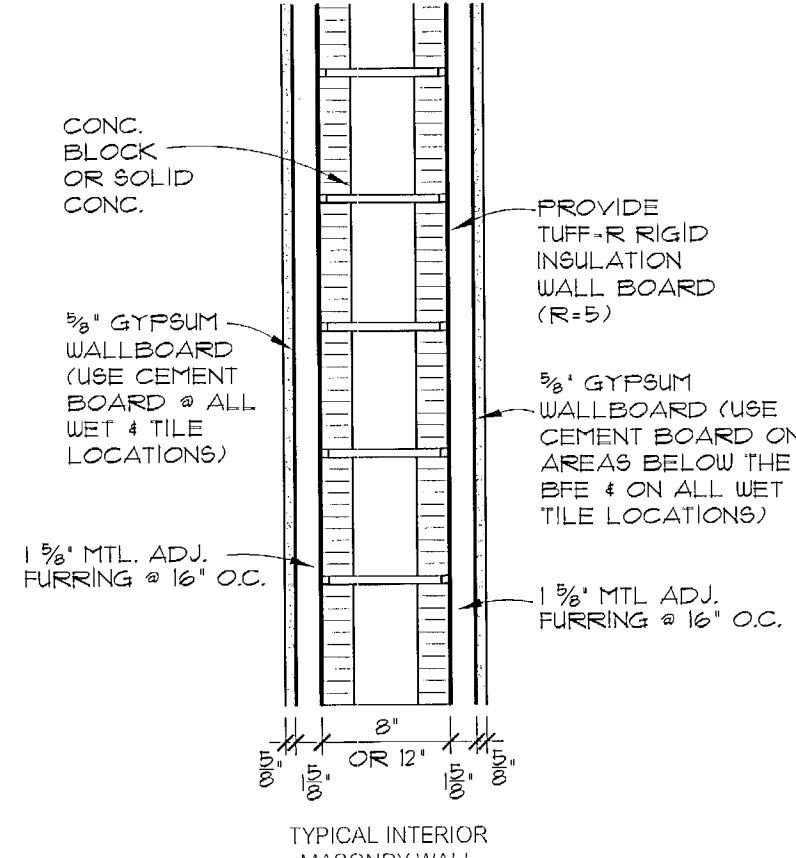
A PARTITION DETAIL
SCALE: 1" = 1'-0"



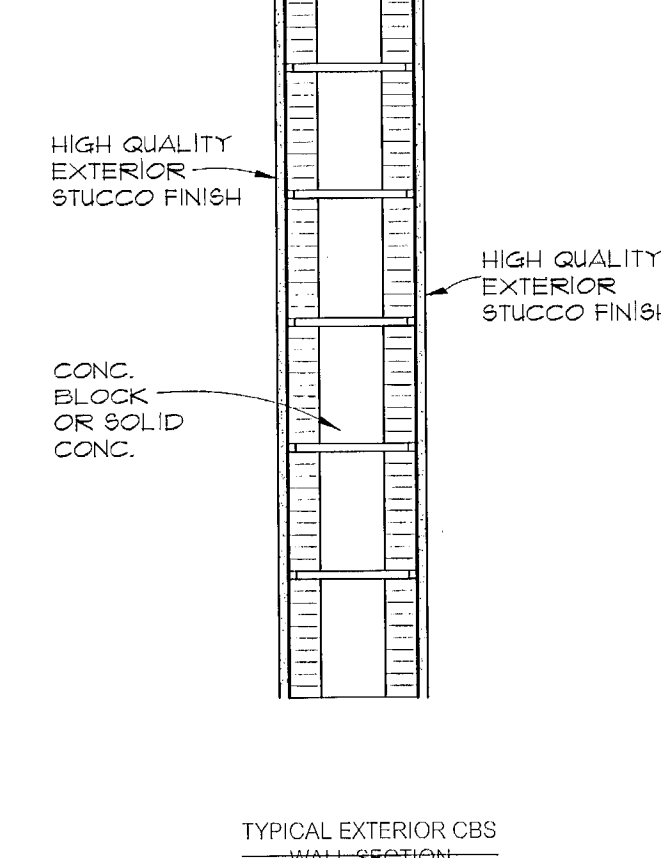
B PARTITION DETAIL
SCALE: 1" = 1'-0"



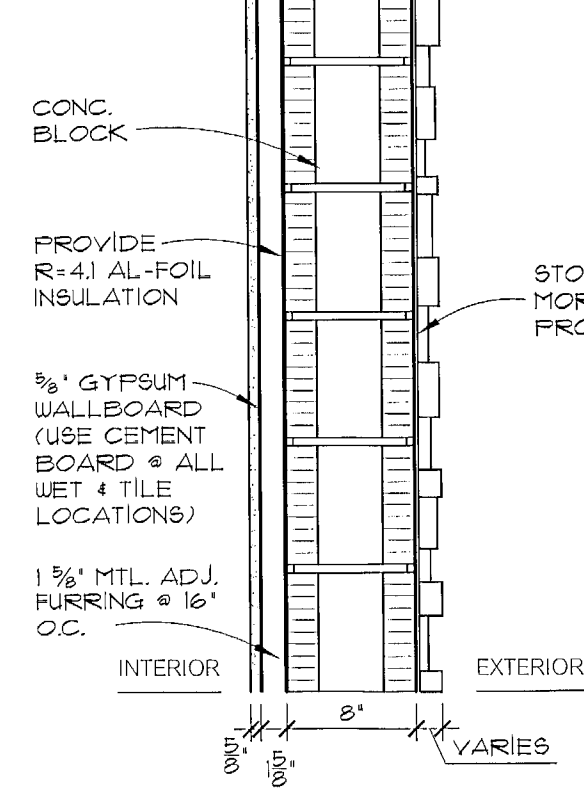
C BLOCK WALL
DETAIL
SCALE: 1" = 1'-0"



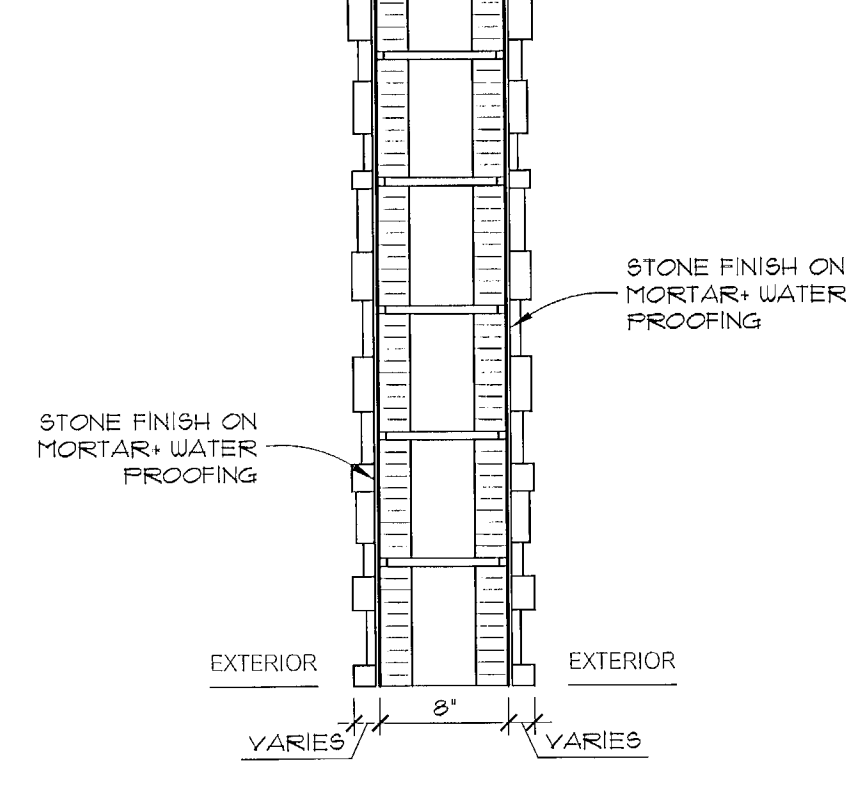
D BLOCK WALL
DETAIL
SCALE: 1" = 1'-0"



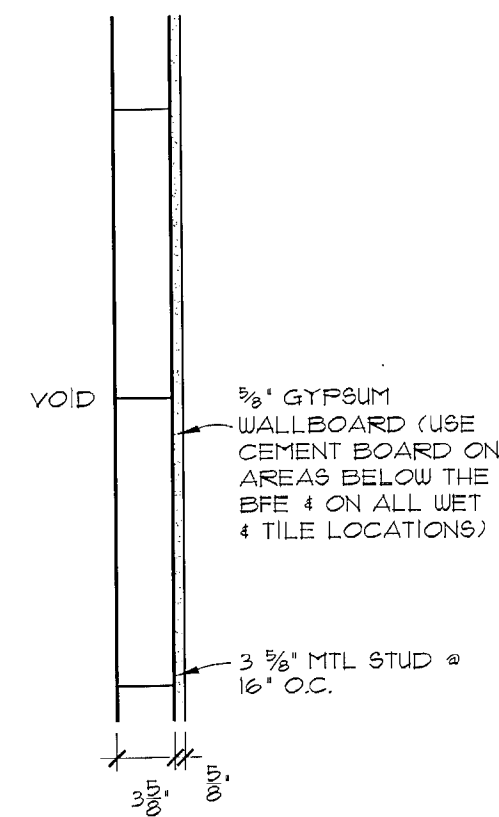
E BLOCK WALL
DETAIL
SCALE: 1" = 1'-0"



F STONE FINISH ON
BLOCK WALL DETAIL
SCALE: 1" = 1'-0"



G STONE FINISH ON
BLOCK WALL DETAIL
SCALE: 1" = 1'-0"



H PARTITION DETAIL
(WET LOCATIONS)
SCALE: 1" = 1'-0"

CFN: 20160710768 BOOK 30340 PAGE 3611
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December 9, 2016

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December 9, 2016

DESIGN REVIEW BOARD
City of Miami Beach, Florida

MEETING DATE: December 6, 2016
FILE NO: DRB16-0073

PROPERTY: 802 West Dilido Drive
APPLICANT: 802 W Dilido LLC
LEGAL: Lot 21, Block 3, of "Dilido Island Subdivision", According to the Plat Thereof, as Recorded in Plat Book 8, Page 36, of the Public Records of Miami-Dade County, Florida.
IN RE: The Application for Design Review Approval for the construction of a new two-story single family home to replace an existing pre-1942 architecturally significant two-story home.

ORDER

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

I. Design Review

- The Board has jurisdiction pursuant to Section 118-252(a) of the Miami Beach Code. The property is not located within a designated local historic district and is not an individually designated historic site.
- Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is inconsistent with Design Review Criteria 2, 3, 5, 6, 7, 9, and 12 in Section 118-251 of the Miami Beach Code.
- The project would remain consistent with the criteria and requirements of Section 118-251 if the following conditions are met:

- Revised elevation, site plan, and floor plan drawings for the proposed new home at 802 West Dilido Drive shall be submitted, at a minimum, such drawings shall incorporate the following:
 - The 70% limitation for the second floor volume shall be waived as proposed.
 - The side open space requirement shall be waived as proposed.

- The stone cladding proposed along the facades of the residence shall consist of a natural keystone or other natural stone, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board. The color and texture to match what is depicted in the submitted renderings and elevations.
 - The final design and details of the "lower facade" cladding proposed along the facades of the residence shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board. The color to match what is depicted in the submitted renderings and elevations.
 - Any fence or gate at the front of the property shall be designed in a manner consistent with the architecture of the new structure, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
 - The final Design details and color selection of the coral stone cladding finish shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
 - The final Design details of the exterior materials and finishes shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
 - A copy of all pages of the recorded Final Order shall be scanned into the plans submitted for building permit, and shall be located immediately after the front cover page of the permit plans.
 - Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.
- A revised landscape plan, and corresponding site plan, shall be submitted to and approved by staff. The species, type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plan shall incorporate the following:
 - Prior to the issuance of a building permit, the applicant shall submit a tree protection plan for all trees to be retained on site. Such plan shall be subject to the review and approval of staff, and shall include, but not be limited to a sturdy tree protection fence installed at the dripline of the trees prior to any construction.

- In order to identify, protect and preserve mature trees on site, which are suitable for retention and relocation, a Tree Report prepared by a Certified Tree Arborist shall be submitted for the mature trees on site.
- Any tree identified to be in good overall condition shall be retained, and protected in their current location if they are not in conflict with the proposed home, or they shall be allocated on site, if determined feasible, subject to the review and approval of staff. A tree care and watering plan also prepared by a Certified Arborist shall be submitted prior to the issuance of a Building Permit or Tree Removal/Relocation Permit. Subsequent to any approved relocation, a monthly report prepared by a Certified Arborist shall be provided to staff describing the overall tree performance and adjustments to the maintenance plan in order to ensure survivability, such report shall continue for a period of 18 months unless determined otherwise by staff.
- Existing trees to be retained on site shall be protected from all types of construction disturbance. Root jacking, storage of soil or construction materials, movement of heavy vehicles, change in drainage patterns, and wash of concrete or other materials shall be prohibited.
- The amount of paving within the required front yard shall not be greater than 50% of the required front yard.
- The architect shall relocate all sidewalk walkways to be as close as possible to the proposed residence in order to substantially increase the amount of potential planting landscape area within the side yards, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- The architect shall substantially increase the amount of native canopy shade trees within the site, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- The proposed and existing trees located within the swale shall be subject to the review and approval of Green Space and CIP.
- Street trees shall be required within the swale at the front of the property if not in conflict with existing utilities, in a manner to be reviewed and approved by the Public Works Department.
- Any existing plant material within the public right-of-way may be required to be removed, as the discretion of the Public Works Department.
- A fully automatic irrigation system with 100% coverage and an automatic rain sensor in order to render the system inoperative in the event of rain.

- Right-of-way areas shall also be incorporated as part of the irrigation system.
- The utilization of root barriers and/or Silva Cells, as applicable, shall be clearly delineated on the revised landscape plan.
 - The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all backflow preventors and all other related devices and fixtures. The location of backflow preventors, Siamese pipes or other related devices and fixtures, if any, and how they are screened with landscape material from the right-of-way, shall be clearly indicated on the site and landscape plans, and shall be subject to the review and approval of staff.
 - The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all applicable FPL transformers or vault rooms. The location of any exterior transformers and how they are screened with landscape material from the right of wall shall be clearly indicated on the site and landscape plans and shall be subject to the review and approval of staff.
 - Prior to the issuance of a Certificate of Occupancy, the Landscape Architect or the project architect shall verify, in writing, that the project is consistent with the site and landscape plans approved by the Planning Department for Building Permit.

In accordance with Section 118-262, the applicant, or the city manager on behalf of the City Administration, or an affected person, Miami Design Preservation League or Dade Heritage Trust may seek review of any order of the Design Review Board by the City Commission, except that orders granting or denying a request for rehearing shall not be reviewed by the Commission.

II. Variance(s)

- No variance(s) were filed as part of this application.

III. General Terms and Conditions applying to both 'I. Design Review Approval' and 'II. Variances' noted above.

- During Construction of the new home, the Applicant will maintain gravel at the front of the construction site within the first 15'-0" of the required front yard to mitigate disturbance of soil and mud by related personal vehicles existing and entering the site and with an eight foot (8'-0") high fence with a wind resistant green mesh material along the front of the property line. All construction materials, including dumpsters and portable toilets, shall be located behind the construction fence and not visible from the right-of-way. All construction vehicles shall either park on the private property or at alternate overflow parking sites with a shuttle service to and from the property. The Applicant shall ensure that the

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contractor(s) observe good construction practices and prevent construction materials and debris from impacting the right-of-way.

- A Construction Parking and Traffic Management Plan (CPTMP) shall be approved by the Parking Director pursuant to Chapter 106, Article II, Division 3 of the City Code, prior to the issuance of a Building Permit.
- The final building plans shall meet all other requirements of the Land Development Regulations of the City Code.
- The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
- Satisfaction of all conditions is required for the Planning Department to give its approval on a Certificate of Occupancy, a Temporary Certificate of Occupancy or Partial Certificate of Occupancy may also be conditionally granted Planning Departmental approval.
- The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
- The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.
- Nothing in this order authorizes a violation of City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendations, which were amended and adopted by the Board, that the application is GRANTED for the above-referenced project subject to those certain conditions specified in Paragraph I, II, III of the Finding of Fact, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans, entitled "San Marino Island Residence", as prepared by Choeff Levy Fischman P.A. dated 10/14/2016, and as approved by the Design Review Board, as determined by staff.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions of approval that must be satisfied prior to permit issuance, as set forth in this Order, have been met.

The issuance of the approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including final zoning approval. If adequate

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December 9, 2016

handicapped access is not provided on the Board approved plans, this approval does not mean that such handicapped access is not required. When requesting Building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

If the Full Building Permit for the project is not issued within eighteen (18) months of the meeting date at which the original approval was granted, the application will expire and become null and void; unless the applicant makes an application to the Board for an extension of time, in accordance with the requirements and procedures of Chapter 118 of the City Code, the granting of any such extension of time shall be at the discretion of the Board. If the Full Building Permit for the project shall expire for any reason (including but not limited to construction not commencing and continuing, with required inspections, in accordance with the applicable Building Code), the application will expire and become null and void.

In accordance with Chapter 118 of the City Code, the violation of any conditions and safeguards that are a part of this Order shall be deemed a violation of the land development regulations of the City Code. Failure to comply with this Order shall subject the application to Chapter 118 of the City Code, for revocation or modification of the application.

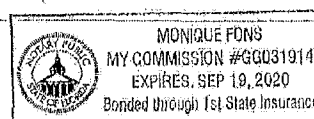
Dated this 9th day of December, 2016

DESIGN REVIEW BOARD
THE CITY OF MIAMI BEACH, FLORIDA

BY: 
JAMES G. MURPHY
CHIEF OF URBAN DESIGN
FOR THE CHAIR

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)SS


The foregoing instrument was acknowledged before me this 9th day of December, 2016, by James G. Murphy, Chief of Urban Design, Planning Department, City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the Corporation. He is personally known to me.



NOTARY PUBLIC
Miami-Dade County, Florida

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December 9, 2016

My commission expires: 9/19/2022

Approved As To Form:  (12/9/16)
City Attorney's Office:

Filed with the Clerk of the Design Review Board on 12/9/16

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Miami, Florida 33138

www.choefflevy.com

(t) 305.434.8338
(f) 305.892.5292

802 W DILIDO RESIDENCE
802 WEST DILIDO DR,
MIAMI BEACH, FL 33139

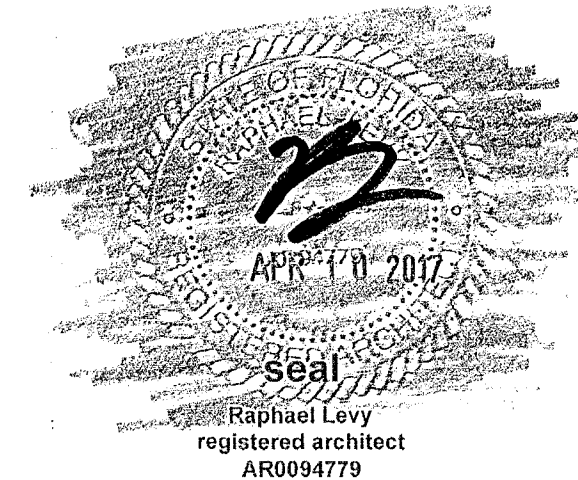
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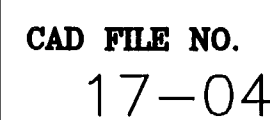
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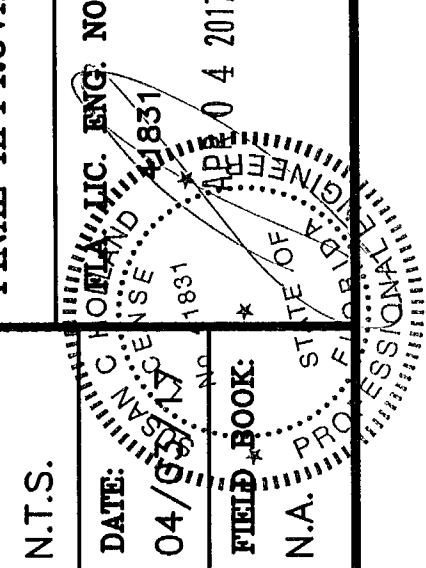
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A-F.O.







EROSION AND SEDIMENT CONTROL GENERAL NOTE:

THE FOLLOWING DETAILS AND SPECIFICATIONS ARE BEST MANAGEMENT PRACTICES (BMPs) FOR EROSION AND SEDIMENT CONTROL FOR CONSTRUCTION ACTIVITY. THE FDOT MANUAL AND FLORIDA'S EROSION AND SEDIMENT CONTROL MANUAL MAY BE UTILIZED TO MEET EROSION AND SEDIMENT CONTROL REQUIREMENTS. THESE DETAILS, SPECIFICATIONS, AND STANDARDS ARE PRESENTED OR REFERENCED HERE ONLY AS A SUGGESTED APPROACH DEVELOPED FOR USE BY THE OWNER, THE DESIGN PROFESSIONAL, AND/OR THE CONTRACTOR IN THE SELECTION, THE DESIGN, AND THE IMPLEMENTATION OF APPROPRIATE POLLUTION PREVENTION TECHNIQUES TO COMPLY WITH THE APPLICABLE STORM WATER REGULATIONS ESTABLISHED BY THE FDEP FOR CONSTRUCTION ACTIVITY.

IT IS THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL TO PREPARE A STORMWATER POLLUTION PREVENTION PLAN THAT INCLUDES SITE-SPECIFIC BMPs. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE AN EROSION AND SEDIMENT CONTROL PLAN AND TO IMPLEMENT BMPs PURSUANT TO THAT PLAN. IF SITE CONDITIONS WARRANT ADDITIONAL BMPs, THE CONTRACTOR SHALL IMPLEMENT THOSE BMPs ACCORDINGLY.

EROSION AND SEDIMENT CONTROL GENERAL NOTE
N.T.S.



APPROVED: [Signature] DATE: [Blank] SITE EARTHWORK DETAILS NO. 2
EROSION AND SEDIMENT CONTROL
GENERAL NOTE
SES14

1. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
2. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
3. ADDITIONAL PROTECTION - ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT COORDINATES DUE TO UNDESIRABLE CONDITIONS OR ACCIDENTS.
4. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
5. WIRE MESH SHALL BE LAID OVER THE TOP DRAINLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE DRAINLET STRUCTURE. HARDWARE COVER OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENING SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED.
6. FOOTNOT 1 COARSE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH AS INDICATED ON DETAIL. THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
7. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.
8. BALE SHALL BE EITHER WIRE-BOUND OR STRUNG-TIED WITH THE BINDINGS ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES.
9. BALES SHALL BE PLACED LENGTHWISE IN SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER.
10. THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED AROUND THE INLET AND FILL WITH A BALE TO A MINIMUM DEPTH OF FOUR INCHES. AFTER THE BALES ARE STACKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.
11. EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE.
12. LOOSE STRAW SHOULD BE WEDGED BETWEEN BALES TO PREVENT WATER FROM ENTERING BETWEEN BALES.

EROSION AND SEDIMENT CONTROL NOTES
N.T.S.



APPROVED: [Signature] DATE: [Blank] SITE EARTHWORK DETAILS NO. 3
EROSION AND SEDIMENT CONTROL NOTES
SES15a

13. HAYBALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
14. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RIMS AND UNDERCUTTING BENEATH BALES.
15. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.
16. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
17. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE HAYBALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.
18. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED DAILY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
19. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER BECOME OR BECOME INSPECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
20. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
21. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
22. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND APPLICABLE WATER MANAGEMENT DISTRICT PERMITS FOR THIS PROJECT.
23. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE FLORIDA DEVELOPMENT MANUAL - A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL REGULATION (FDER), CHAPTER 6.
24. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION.

EROSION AND SEDIMENT CONTROL NOTES
N.T.S.



APPROVED: [Signature] DATE: [Blank] SITE EARTHWORK DETAILS NO. 3
EROSION AND SEDIMENT CONTROL NOTES
SES15b

25. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
26. SOIL SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO INSURE WATER QUALITY STANDARDS ARE MAINTAINED.
27. ANY DISCHARGE FROM DRAINAGE ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
28. DRAINAGE PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSERVATIVE USE PERMIT FROM THE APPLICABLE WATER MANAGEMENT DISTRICT.
29. ALL DISTURBED AREAS TO BE STABILIZED THROUGH COMPACTION, SILT CURBING, HAYBALES AND GRASSING. ALL CUT SLOPES 3:1 OR STEEPER TO RECEIVE STABLED SOIL 90%.
30. ALL DRAINAGE, EROSION, AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND BE REMOVED ONLY WHEN AREAS HAVE BEEN STABILIZED.
31. THE PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY CRITERIA AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
32. ALL EXCAVATIONS AND EARTHWORK SHALL BE DONE IN A MANNER TO MINIMIZE WATER TURBIDITY AND POLLUTION. DISCHARGE SHALL BE CONTROLLED AND KEPT OUT OF THE WAY OF TRAFFIC, STATION DRUMS AND STAKES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION, CORRECTION, CONTROL AND ABATEMENT OF EROSION AND WATER QUALITY IN ACCORDANCE WITH CHAPTER 62-90, FLORIDA ADMINISTRATIVE CODE.
33. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ANY SEDIMENT THAT LEAVES THE SITE AND CHANGES ANY DOWNSTREAM CONDITIONS BY RAISING CHANNEL BOTTOMS AND/OR CLOGGING OUTFALL CULVERTS.
34. THE CONTRACTOR SHALL PAY FOR ANY WATER QUALITY CONTROL VIOLATIONS FROM ANY AGENCY THAT RESULTS IN FINES BEING ASSESSED TO THE OWNER BECAUSE OF THE CONTRACTOR'S FAILURE TO ELIMINATE TURBIDITY FROM LEAVING THE SITE AND RAISING BACKGROUND LEVELS ABOVE EXISTING BACKGROUND LEVEL.
35. A MINIMUM OF ONE OF THE EROSION CONTROL MEASURE OPTIONS SHOWN FOR ALL DROP INLETS WILL BE USED BY THE CONTRACTOR.
36. FLOATING TURBIDITY BARRIERS WILL BE PLACED AT ALL OUTFALL LOCATIONS IF SEAGRASSES ARE PRESENT BARRIERS WILL NOT BE PLACED OVER THEM. THE FLOATING TURBIDITY BARRIERS SHALL BE INSTALLED IN A MANNER TO PREVENT MANTLE ENTANGLEMENT.
37. SILT FENCES OR HAYBALES WILL BE USED ALONG BOTH SIDES OF LIMITS OF CONSTRUCTION TO MINIMIZE OFFSITE SILTATION MIGRATION.

EROSION AND SEDIMENT CONTROL NOTES
N.T.S.



APPROVED: [Signature] DATE: [Blank] SITE EARTHWORK DETAILS NO. 3
EROSION AND SEDIMENT CONTROL NOTES
SES15c

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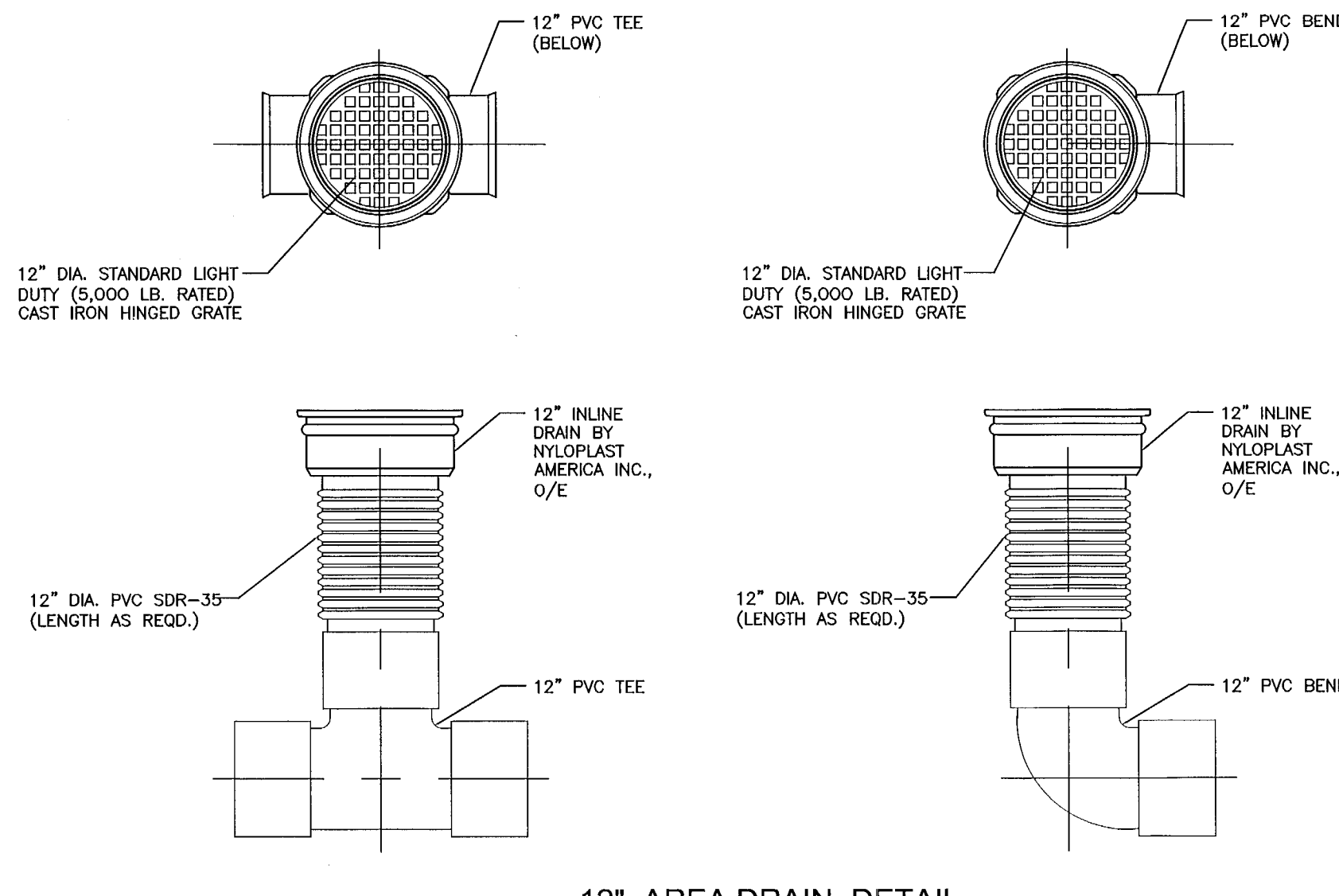
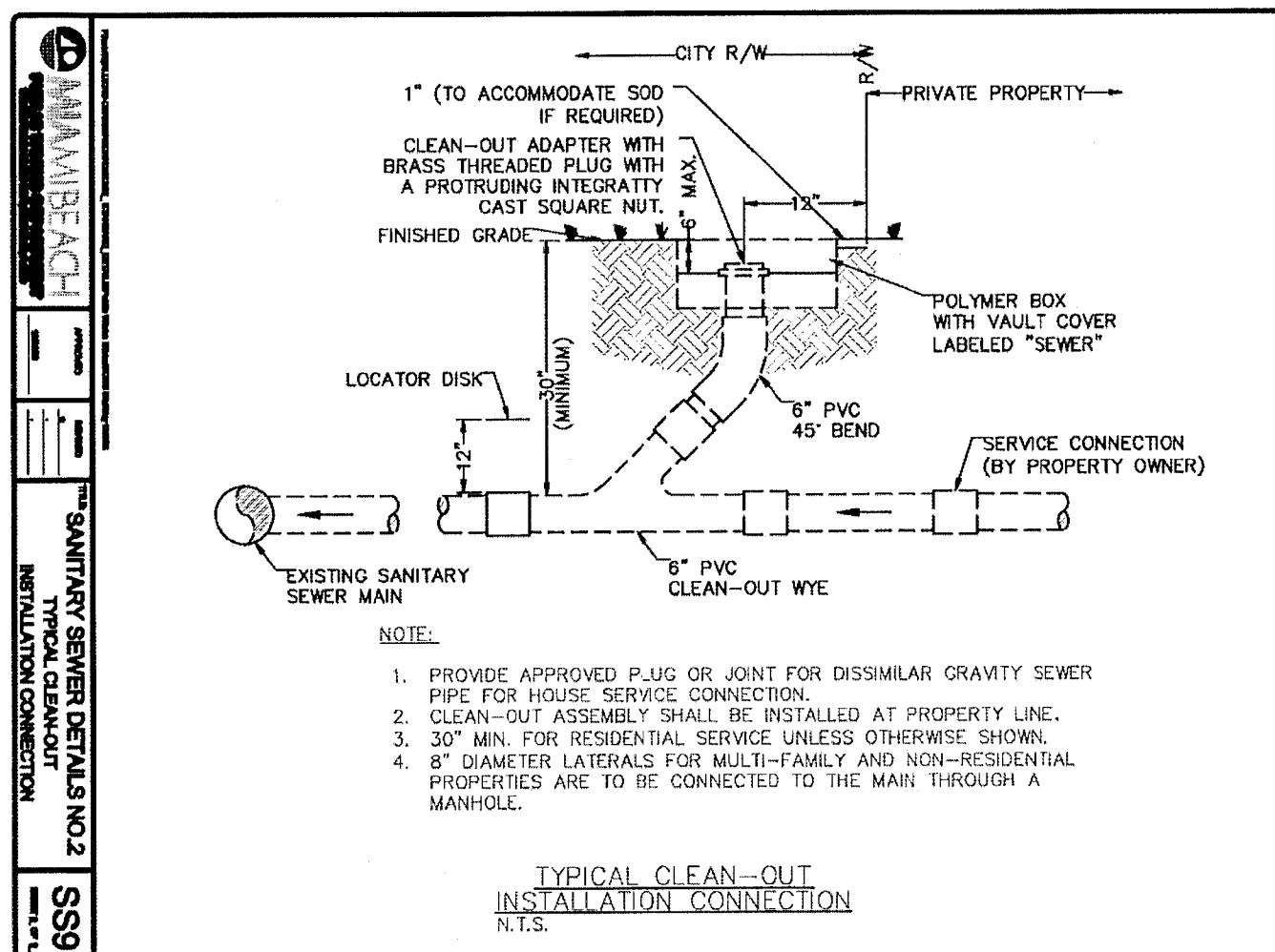
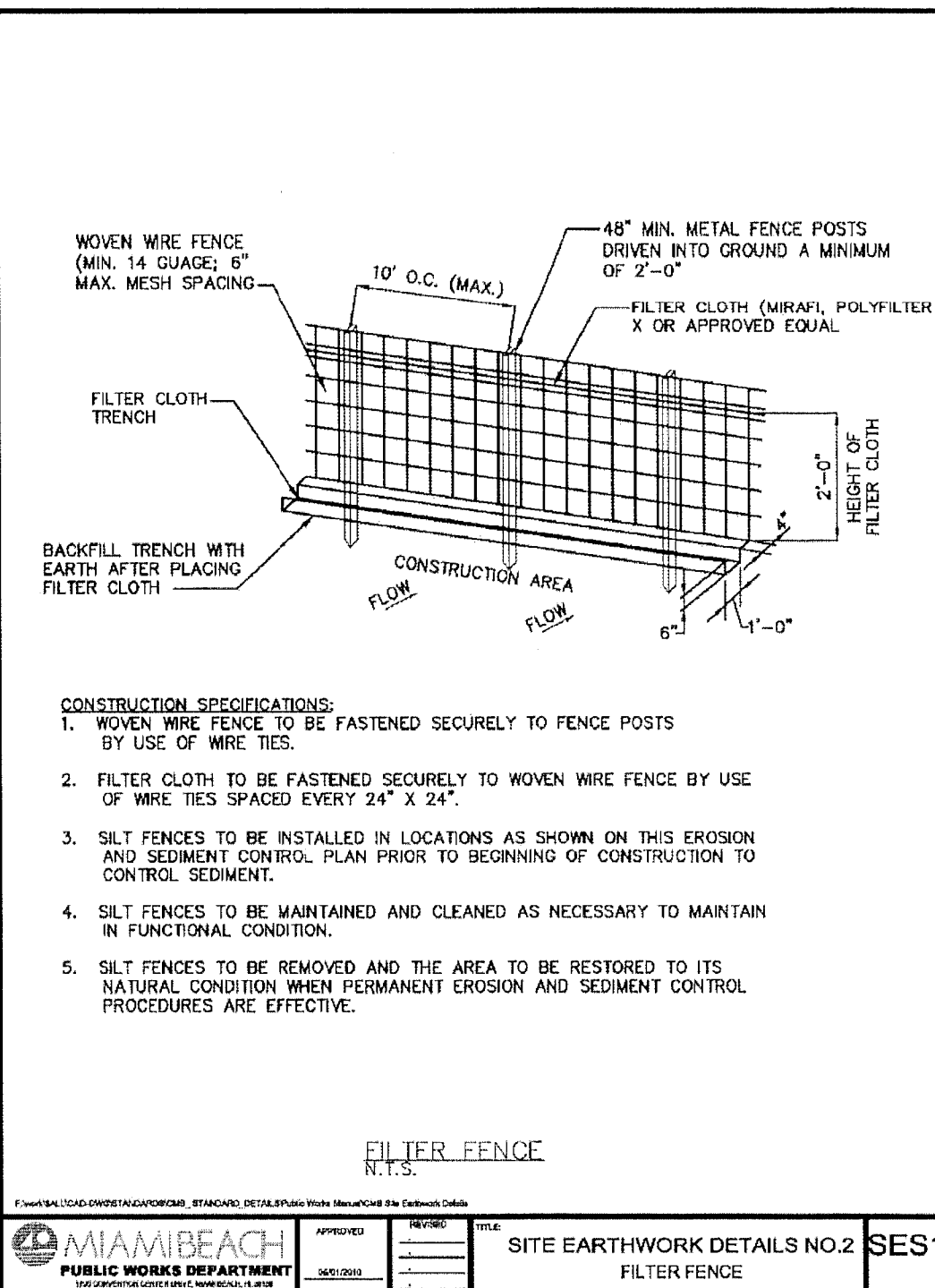
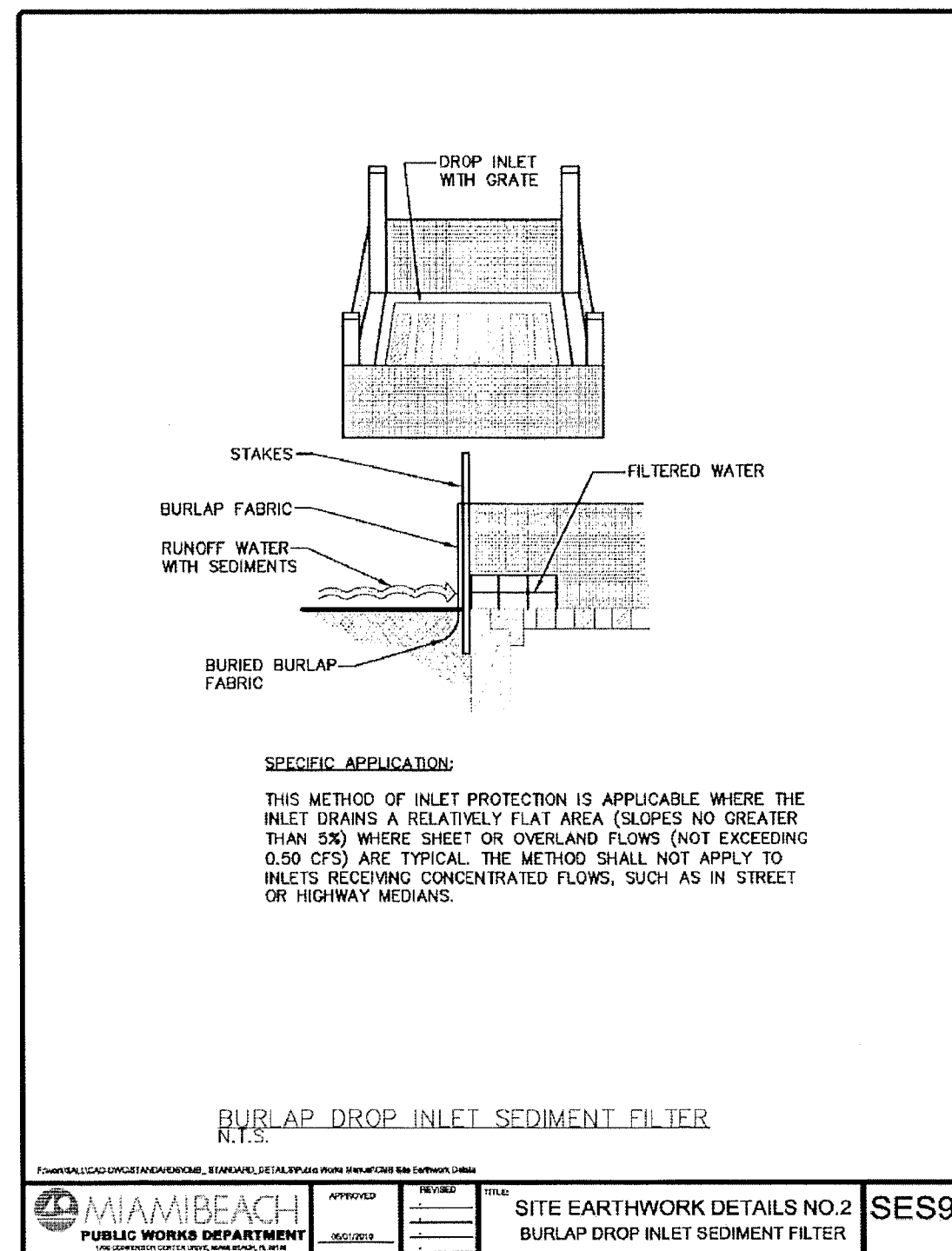
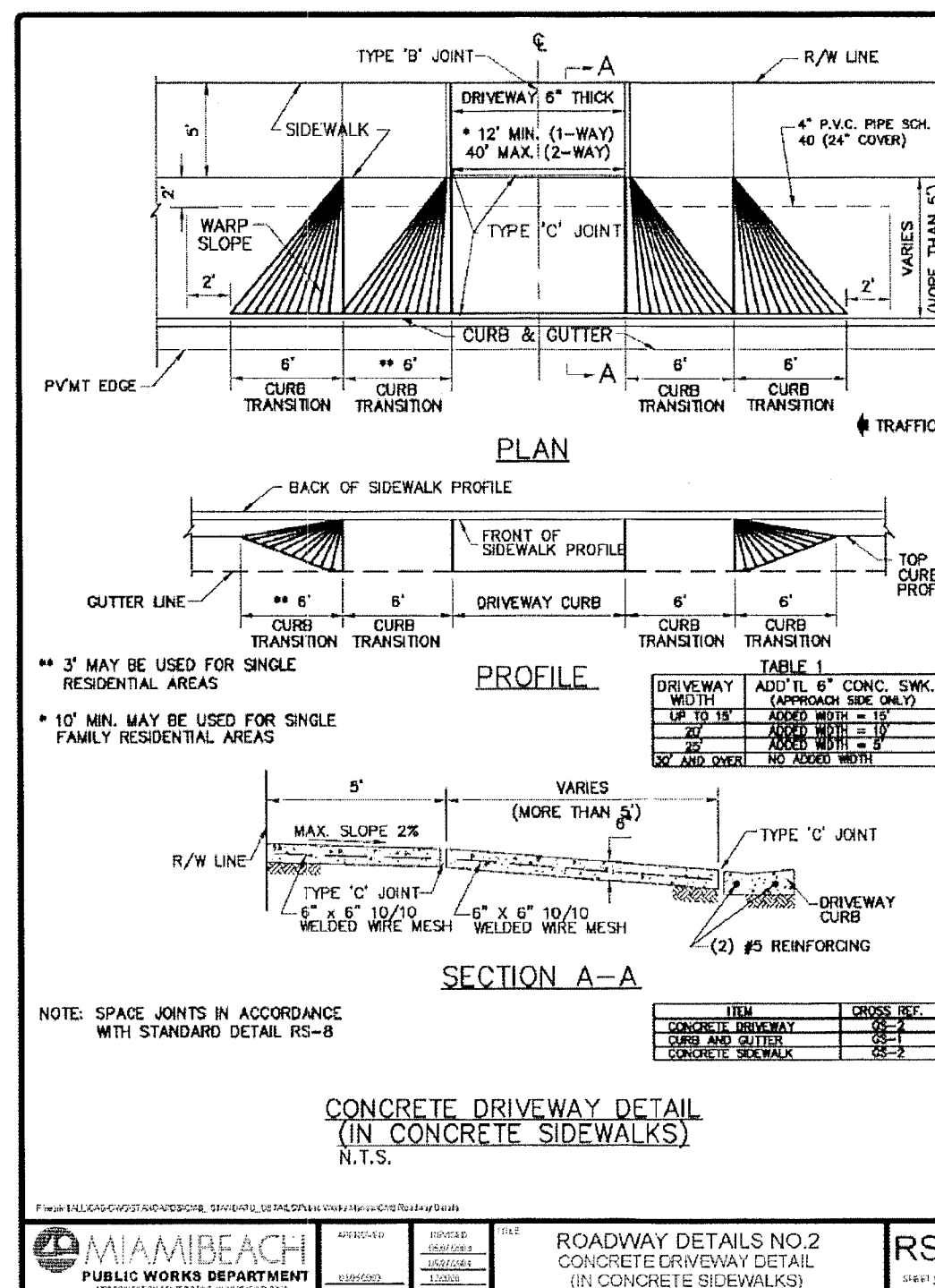
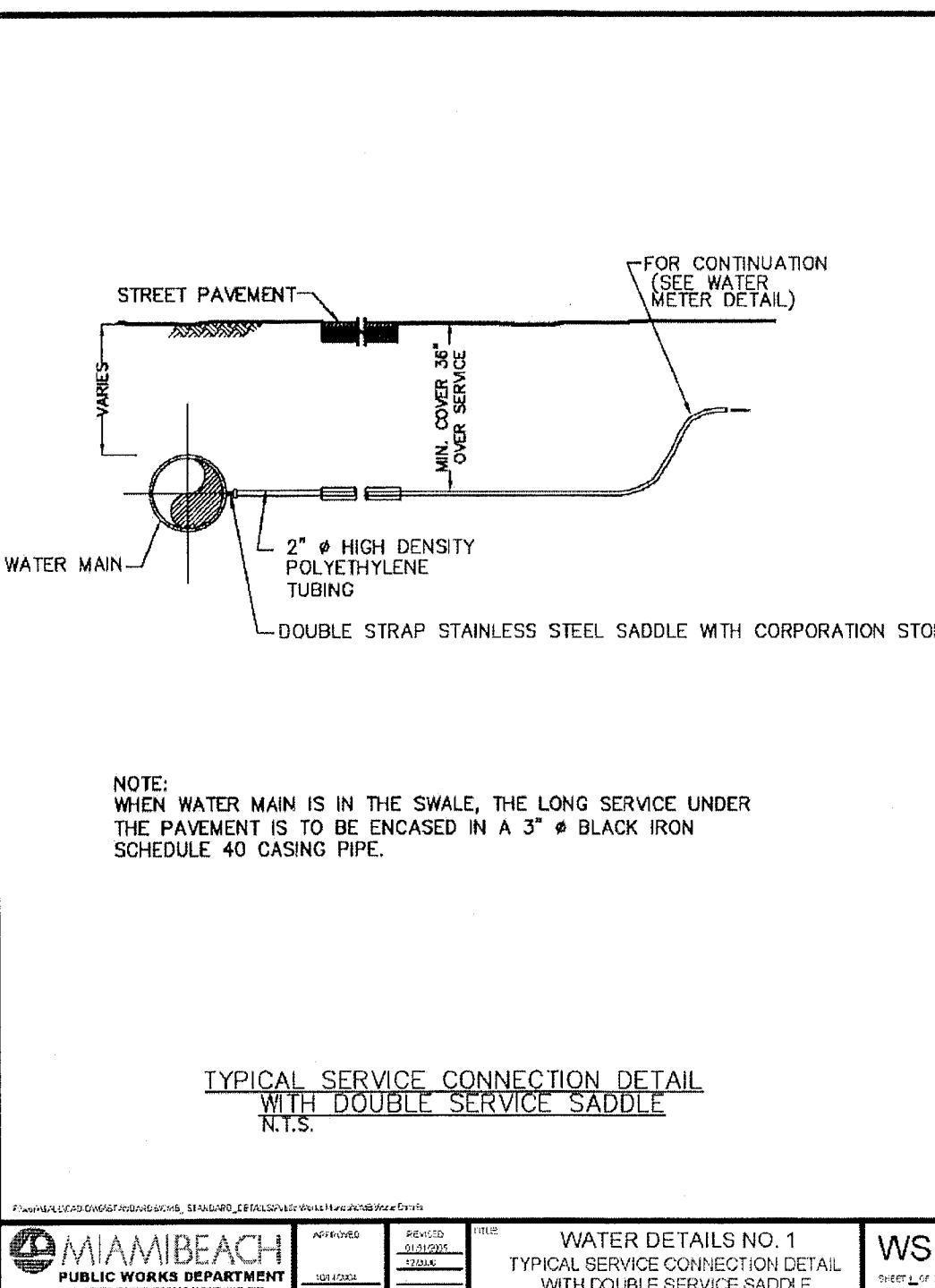
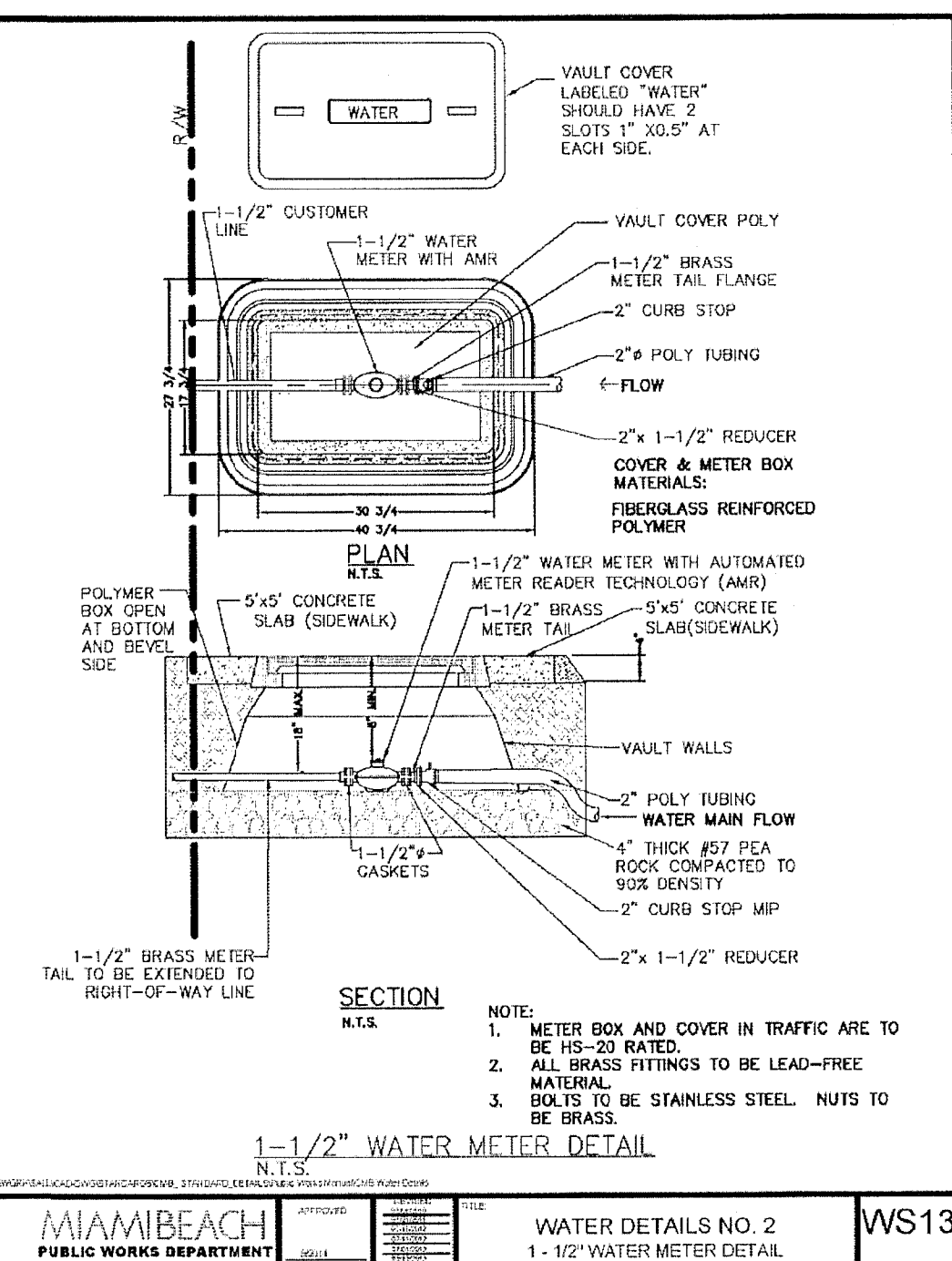
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CIVIL DETAILS & NOTES
FOR
802 W DILDO RESIDENCE
802 WEST DILDO DRIVE
Miami Beach, FL 33139

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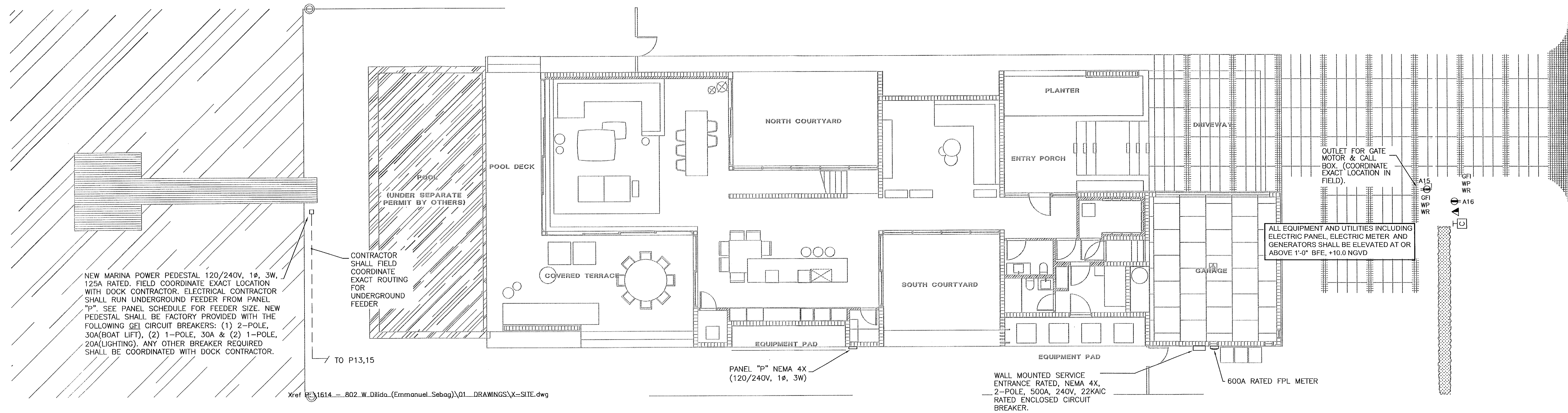
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CIVIL DETAILS & NOTES
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NEW WORK NOTES:

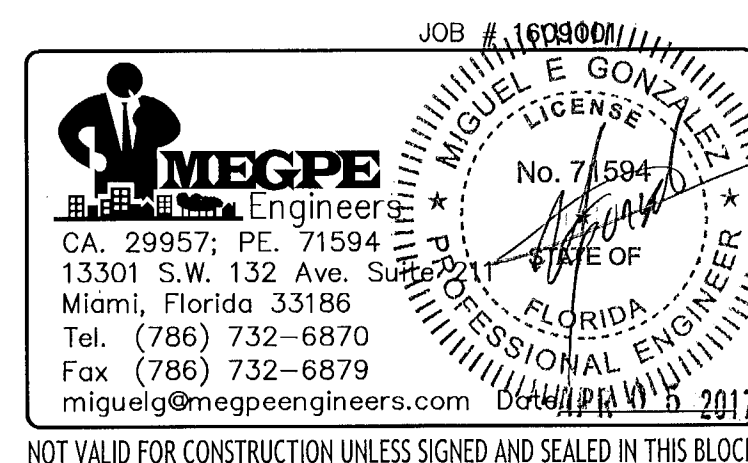
- 1.) ALL CONDUITS IN FINISHED AREAS SHALL BE CONCEALED.
- 2.) ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED 1'-0" ABOVE BASE FLOOD ELEVATION (+10 N.G.V.D.).
- 3.) ALL EXTERIOR ELECTRICAL INSTALLATIONS SHALL COMPLY WITH NEC 110.11, 110.20 AND 350.12(12).
- 4.) SEE SYMBOL LEGEND IN SHEET E-1.2.
- 5.) COORDINATE OUTDOOR LIGHTING WITH ARCHITECT. ALL OUTDOOR LIGHTING IS LOW VOLTAGE AND SHALL BE CONTROLLED AUTOMATICALLY BY THE LIGHTING CONTROL PANEL. ALL REQUIRED LOW VOLTAGE TRANSFORMERS (MAX. 900W RATED) FOR OUTDOOR LIGHTING FIXTURES SHALL BE LOCATED INSIDE THE GARAGE AREA UNLESS THE MANUFACTURER RECOMMENDED TOTAL CABLE LENGTH OF RUN IS EXCEEDED. IN THIS CASE LOW VOLTAGE TRANSFORMER SHALL BE WALL MOUNTED INSIDE A NEMA 3R BOX ON THE EXTERIOR WALL OF THE RESIDENCE. CONTRACTOR SHALL COORDINATE OUTDOOR WIRING WITH LIGHTING CONTROLS CONTRACTOR.
- 6.) CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF ALL REQUIRED PULL BOXES FOR A CODE COMPLIANCE INSTALLATION. ALL JUNCTION BOXES OR PULL BOXES THAT FALL WITHIN SODDED OR LANDSCAPE AREAS ARE TO BE BELOW GRADE BURIED TYPE. ABOVE GROUND OR VISIBLE JUNCTION BOXES SHALL NOT BE ALLOWED UNLESS MOUNTED ON A WALL.

N
ELECTRICAL SITE PLAN
SCALE: 1/8"=1'-0"

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8/11/2016

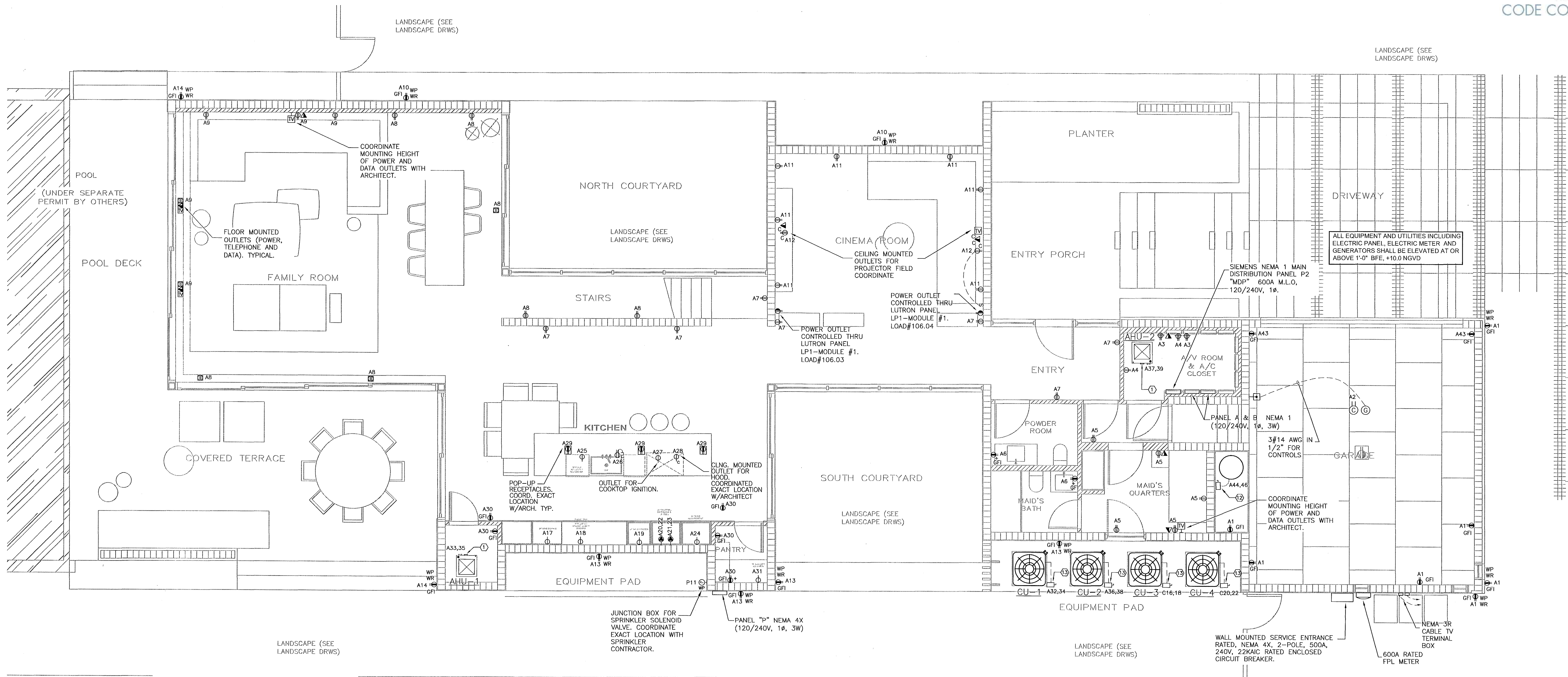
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sheet no.

E-1.0

seal
Raphael Levy
registered architect
AR0094779

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NEW WORK NOTES:

- 1.) FACTORY PROVIDED CIRCUIT BREAKER MOUNTED ON AHU.
- 2.) ALL CONDUITS IN FINISHED AREAS SHALL BE CONCEALED.
- 3.) CONTRACTOR SHALL PROVIDE/INSTALL PULL STRING IN EMPTY CONDUITS FOR TELEPHONE/DATA OUTLETS.
- 4.) ALL 15A & 20A, 120V RECEPTACLES OUTLETS MUST BE LISTED TAMPER RESISTANT PER NEC 2011 (406.11).
- 5.) CONTRACTOR SHALL COORDINATE WITH ARCHITECT EXACT LOCATION FOR ALL ABOVE & UNDER COUNTER TOP RECEPTACLES IN KITCHEN AND ALL RECEPTACLES IN BATHROOMS.
- 6.) FOR ALL RECESSED FLOOR MOUNTED RECEPTACLES, CONTRACTOR SHALL COORDINATE WITH GC PRIOR TO POURING CONCRETE.
- 7.) ALL RECEPTACLES SHALL BE DECORA WHITE - COVER PLATES TO BE SCREWLESS TYPE.
- 8.) GENERATOR INSTALLATION IS NOT PART OF THE SCOPE OF WORK OF THIS PROJECT.

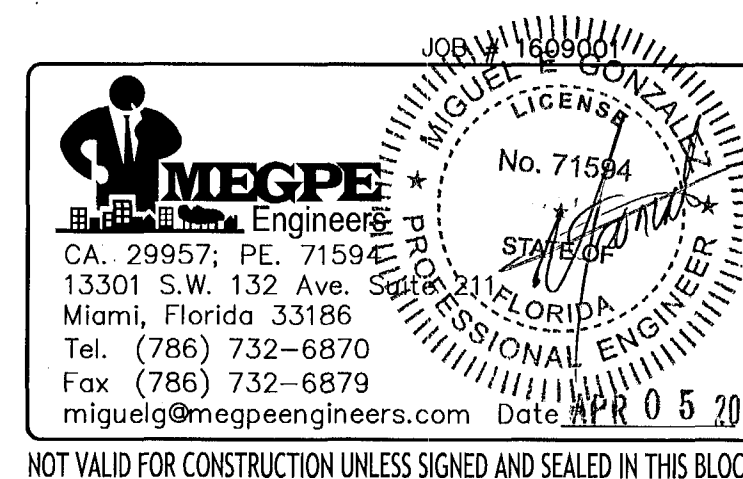
- 9.) ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED 1'-0" ABOVE BASE FLOOD ELEVATION.
- 10.) ALL EXTERIOR ELECTRICAL INSTALLATIONS SHALL COMPLY WITH NEC 110.11, 110.20 AND 350.12(12).
- 11.) SEE SYMBOL LEGEND IN SHEET E-1.2.
- 12.) SQUARE-D NEMA 1, 1Ø, 240V, 30A DISCONNECT SWITCH NON-FUSIBLE FOR WATER HEATER. DISCONNECT SWITCH SHALL BE UNISTRUT MOUNTED AND SHALL HAVE 3'-6" CLEARANCE IN FRONT LOCATION SHALL BE COORDINATED WITH PLUMBING CONTRACTOR.
- 13.) SQUARE-D NEMA 4X, 1Ø, 240V, 60A DISCONNECT SWITCH NON-FUSIBLE FOR CONDENSING UNIT. DISCONNECT SWITCH SHALL BE UNISTRUT MOUNTED AND SHALL HAVE 3'-6" CLEARANCE IN FRONT LOCATION SHALL BE COORDINATED WITH MECHANICAL CONTRACTOR.

POWER FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

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RECEPTACLE NOTE:

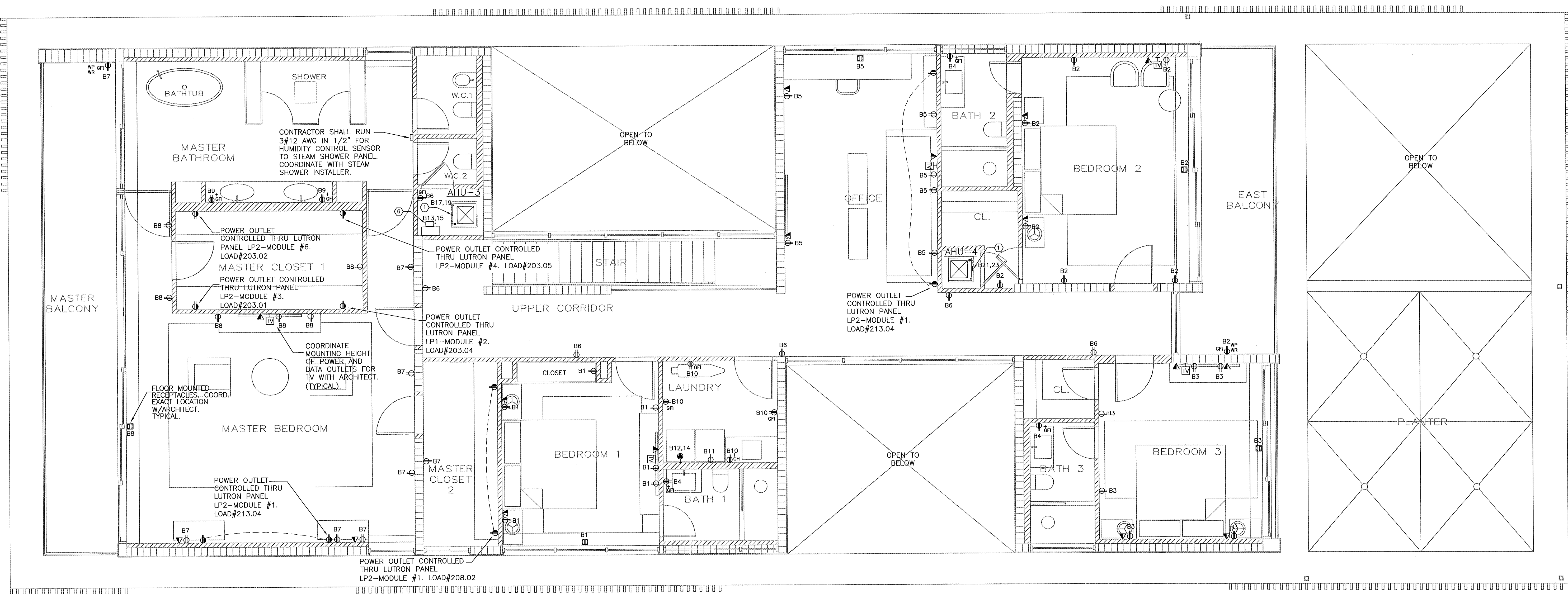
ALL RECEPTACLES SHALL BE DECORA WHITE - COVER PLATES TO BE SCREWLESS TYPE.

NEW WORK NOTES:

- 1) FACTORY PROVIDED CIRCUIT BREAKER MOUNTED ON AHU.
- 2) ALL CONDUITS IN FINISHED AREAS SHALL BE CONCEALED.
- 3) CONTRACTOR SHALL PROVIDE/INSTALL PULL STRING IN EMPTY CONDUITS FOR TELEPHONE/DATA OUTLETS.
- 4) ALL 15A & 20A, 120V RECEPTACLES OUTLETS MUST BE LISTED TAMPER RESISTANT PER NEC 2011 (406.11).
- 5) CONTRACTOR SHALL COORDINATE WITH ARCHITECT EXACT LOCATION FOR ALL ABOVE COUNTER TOP RECEPTACLES IN BATHROOMS & RECEPTACLES FOR TV's.
- 6) NEW SQUARE-D, 2-POLE, NEMA 1, 100A RATED FUSIBLE, DISCONNECT SWITCH FOR STEAM SHOWER GENERATOR. CONTRACTOR SHALL MAKE SURE TO COMPLY WITH REQUIRED CLEARANCE IN FRONT OF DISCONNECT AS PER NEC. FUSE SIZE SHALL BE PROVIDED AS PER MANUFACTURER SPECIFICATIONS.

LEGEND:

	TOGGLE SWITCH		DISCONNECT SWITCH		CALL BOX
	3 WAY TOGGLE SWITCH		CEILING MOUNTED JUNCTION BOX		120V, CEILING MOUNTED DUPLEX OUTLET
	PROGRAMMABLE TIMER SWITCH		CEILING MOUNTED JUNCTION BOX FOR MOTORIZED SHADE SYSTEM.		120V, GROUND FAULT, DUPLEX RECEPTACLE
	WALL MOUNTED JUNCTION BOX		240V, 30A DRYER RECEPTACLE		120V, SINGLE RECEPTACLE
	ELECTRICAL PANEL		FPL METER		FLOOR MOUNTED RECEPTACLE
	120V, CEILING MOUNTED DUPLEX RECEPTACLE (TAMPER RESISTANT)		120V, DUPLEX OUTLET		WP WEATHER PROOF WR WATER RESISTANT
	LOW VOLTAGE TRANSFORMER		120V, ABOVE COUNTER DUPLEX OUTLET		BURGLAR ALARM KEYPAD
	TELEPHONE OUTLET DATA OUTLET		120V, QUADPLEX OUTLET		JUNCTION BOX FOR GARAGE DOOR OPENER
	PUSH BUTTON		120V, GROUND FAULT, DUPLEX RECEPTACLE ABOVE COUNTER TOP COORDINATE EXACT HEIGHT W/ARCHITECT		120V, SMOKE ALARM / CARBON MONOXIDE DETECTOR COMBO WITH BATTERY BACK UP INTERCONNECT WITHIN THE HOUSE FOR SIMULTANEOUS OPERATION.
	CEILING MOUNTED EXHAUST FAN.		BELL		120V, SMOKE ALARM DETECTOR COMBO WITH BATTERY BACK UP INTERCONNECT WITHIN THE HOUSE FOR SIMULTANEOUS OPERATION.
	TV OUTLET				

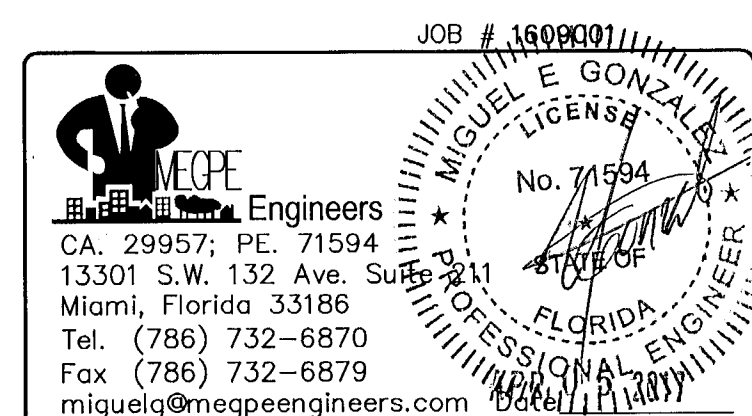


POWER SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

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LIGHTING CONTROLS NOTE:
1.) ALL LIGHT FIXTURES AND MOTORIZED SHADES ARE BEING CONTROLLED BY A LUTRON SYSTEM. CONTRACTOR SHALL COORDINATE WITH LIGHTING CONTROLS CONTRACTOR.
2.) ELECTRICAL CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL WIRING AND KEY PADS LOCATION AND PROGRAMMING WITH LIGHTING CONTROL COMPANY.

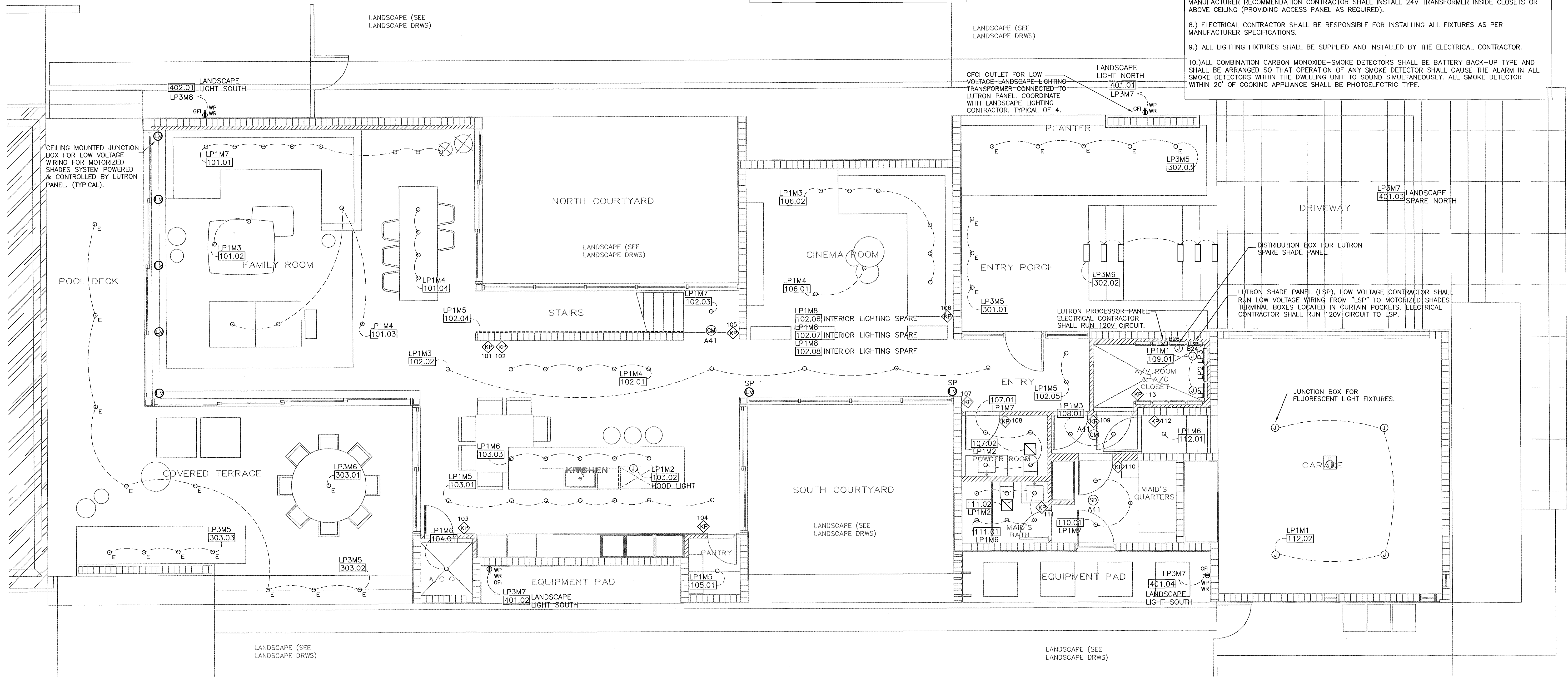
LIGHTING SYMBOL LEGEND	
	KEYPAD
	LUTRON LIGHTING PANELS
	LUTRON SHADE WIRE RUN TO LUTRON SHADE PANEL IN FIRST FLOOR.
	LUTRON SPARE SHADE WIRE RUN TO DISTRIBUTION BOX IN FIRST FLOOR.
	LUTRON SHADE PANELS
	LUTRON LOW VOLTAGE PANEL (REQUIRES 15AMP)
LUTRON LIGHTING PANEL 1, MODULE 7	
CONTROLLED CIRCUIT 100.03 (SEE LUTRON WIRING REPORT)	
LIGHT FIXTURE TYPE "A"	

SEE ARCHITECT REFLECTED CEILING PLAN FOR LIGHT FIXTURE EXACT LOCATION AND SPACING

LIGHTING FIXTURE QUANTITIES SHALL BE VERIFIED BY CONTRACTOR AND IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

NEW WORK NOTES:

- COORDINATE BATHROOM EXHAUST FAN LOCATION WITH MECHANICAL CONTRACTOR & ARCHITECT.
- ALL CEILING MOUNTED JUNCTION BOXES SHALL BE LISTED FOR FAN SUPPORT AS PER FBC.
- CONTRACTOR SHALL PROVIDE/INSTALL ALL REQUIRED JUNCTION BOXES FOR A CODE COMPLIANCE INSTALLATION.
- FOR ALL RECESSED FLOOR MOUNTED LIGHT FIXTURES OR EMBEDDED IN CEILING CONCRETE SLAB LIGHT FIXTURES, CONTRACTOR SHALL COORDINATE WITH GC/STRUCTURAL CONTRACTOR PRIOR TO POURING CONCRETE. REQUIRED 24V TRANSFORMER SHALL BE MOUNTED REMOTE NEXT TO ELECTRIC PANEL.
- LIGHTING FIXTURE MODEL NUMBERS SHALL BE SELECTED BY OWNER.
- ALL LIGHT FIXTURES ARE CONTROLLED THRU LUTRON SYSTEM KEY PADS.
- FOR ALL RECESSED CEILING MOUNTED LOW VOLTAGE LIGHT FIXTURES, CONTRACTOR SHALL COORDINATE WITH GC EXACT LOCATION OF REQUIRED 24V TRANSFORMER. TRANSFORMER SHALL BE MOUNTED REMOTE NEXT TO ELECTRIC PANEL WHEN POSSIBLE OR WHEN RUNS OF WIRES EXCEED THE MANUFACTURER RECOMMENDATION CONTRACTOR SHALL INSTALL 24V TRANSFORMER INSIDE CLOSETS OR ABOVE CEILING (PROVIDING ACCESS PANEL AS REQUIRED).
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL FIXTURES AS PER MANUFACTURER SPECIFICATIONS.
- ALL LIGHTING FIXTURES SHALL BE SUPPLIED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
- ALL COMBINATION CARBON MONOXIDE-SMOKE DETECTORS SHALL BE BATTERY BACK-UP TYPE AND SHALL BE ARRANGED SO THAT OPERATION OF ANY SMOKE DETECTOR SHALL CAUSE THE ALARM IN ALL SMOKE DETECTORS WITHIN THE DWELLING UNIT TO SOUND SIMULTANEOUSLY. ALL SMOKE DETECTOR WITHIN 20' OF COOKING APPLIANCE SHALL BE PHOTOELECTRIC TYPE.

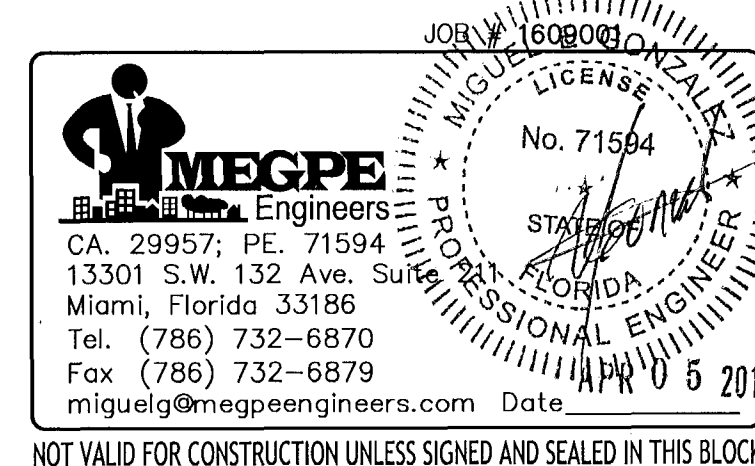


LIGHTING FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

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LIGHTING CONTROLS NOTE:
1.) ALL LIGHT FIXTURES AND MOTORIZED SHADES ARE BEING CONTROLLED BY A LUTRON SYSTEM. CONTRACTOR SHALL COORDINATE WITH LIGHTING CONTROLS CONTRACTOR.
2.) ELECTRICAL CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL WIRING AND KEY PADS LOCATION AND PROGRAMMING WITH LIGHTING CONTROL COMPANY.

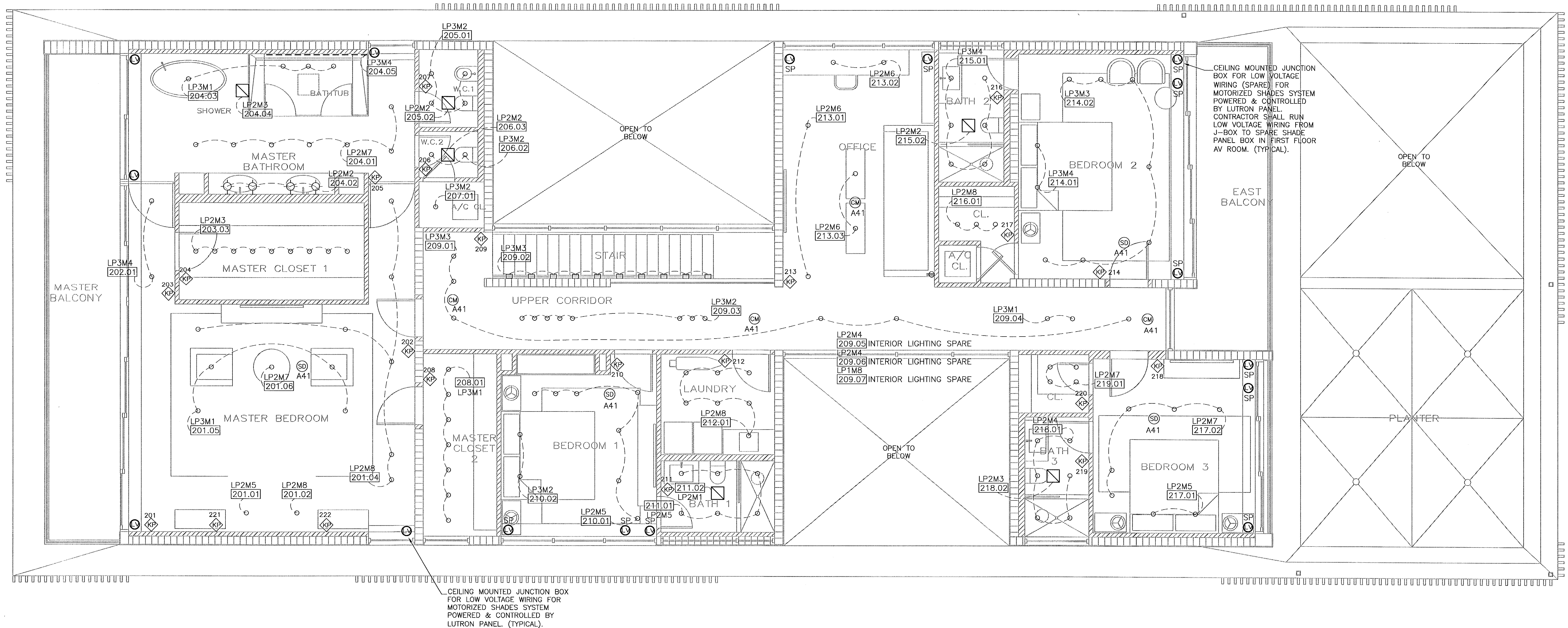
LIGHTING SYMBOL LEGEND	
	KEYPAD
	LUTRON LIGHTING PANELS
	LUTRON SHADE WIRE RUN TO LUTRON SHADE PANEL IN FIRST FLOOR.
	LUTRON SPARE SHADE WIRE RUN TO DISTRIBUTION BOX IN FIRST FLOOR.
	LUTRON SHADE PANELS
	LUTRON LOW VOLTAGE PANEL (REQUIRES 15AMP)
LUTRON LIGHTING ———→ LP1M7 CONTROLLED CIRCUIT PANEL 1, MODULE 7 ———→ 100.03 (SEE LUTRON WIRING REPORT)	
LIGHT FIXTURE TYPE "A" ———→ A	

NEW WORK NOTES:

- COORDINATE BATHROOM EXHAUST FAN LOCATION WITH MECHANICAL CONTRACTOR & ARCHITECT.
- ALL CEILING MOUNTED JUNCTION BOXES SHALL BE LISTED FOR FAN SUPPORT AS PER FBC.
- CONTRACTOR SHALL PROVIDE/INSTALL ALL REQUIRED JUNCTION BOXES FOR A CODE COMPLIANCE INSTALLATION.
- FOR ALL RECESSED FLOOR MOUNTED LIGHT FIXTURES OR EMBEDDED IN CEILING CONCRETE SLAB LIGHT FIXTURES, CONTRACTOR SHALL COORDINATE WITH GC/STRUCTURAL CONTRACTOR PRIOR TO POURING CONCRETE. REQUIRED 24V TRANSFORMER SHALL BE MOUNTED REMOTE NEXT TO ELECTRIC PANEL.
- LIGHTING FIXTURE MODEL NUMBERS SHALL BE SELECTED BY OWNER.
- ALL LIGHT FIXTURES ARE CONTROLLED THRU LUTRON SYSTEM KEY PADS.
- FOR ALL RECESSED CEILING MOUNTED LOW VOLTAGE LIGHT FIXTURES, CONTRACTOR SHALL COORDINATE WITH GC EXACT LOCATION OF REQUIRED 24V TRANSFORMER. TRANSFORMER SHALL BE MOUNTED REMOTE NEXT TO ELECTRIC PANEL WHEN POSSIBLE OR WHEN RUNS OF WIRES EXCEED THE MANUFACTURER RECOMMENDATION CONTRACTOR SHALL INSTALL 24V TRANSFORMER INSIDE CLOSETS OR ABOVE CEILING (PROVIDING ACCESS PANEL AS REQUIRED).
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL FIXTURES AS PER MANUFACTURER SPECIFICATIONS.
- ALL LIGHTING FIXTURES SHALL BE SUPPLIED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
- ALL COMBINATION CARBON MONOXIDE-SMOKE DETECTORS SHALL BE BATTERY BACK-UP TYPE AND SHALL BE ARRANGED SO THAT OPERATION OF ANY SMOKE DETECTOR SHALL CAUSE THE ALARM IN ALL SMOKE DETECTORS WITHIN THE DWELLING UNIT TO SOUND SIMULTANEOUSLY. ALL SMOKE DETECTOR WITHIN 20' OF COOKING APPLIANCE SHALL BE PHOTOELECTRIC TYPE.

LIGHTING FIXTURE QUANTITIES SHALL BE VERIFIED BY CONTRACTOR AND IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

SEE ARCHITECT REFLECTED CEILING PLAN FOR LIGHT FIXTURE EXACT LOCATION AND SPACING



N
LIGHTING SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

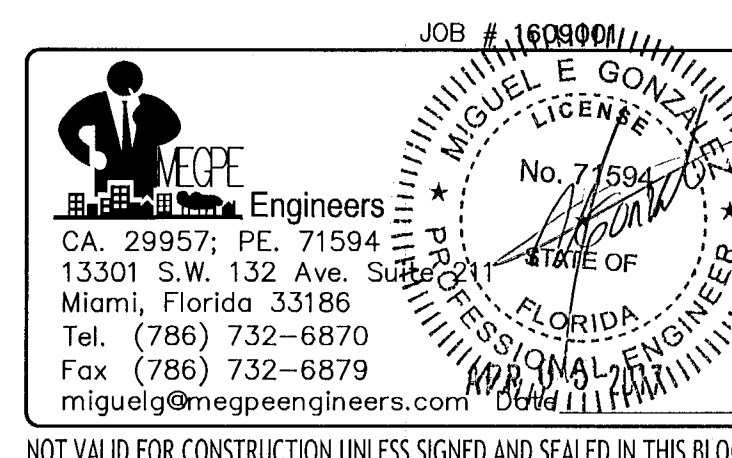
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GENERAL ELECTRICAL NOTES

- ALL WORK SHALL CONFORM WITH ALL LOCAL, STATE, FEDERAL ORDINANCES AND BUILDING CODES GOVERNING THE INSTALLATION OF THE ELECTRICAL SYSTEM. IF WORK AS LAID OUT, INDICATED OR SPECIFIED IS CONTRARY TO OR CONFLICTS WITH LOCAL ORDINANCES, BUILDING CODES AND REGULATIONS, THE CONTRACTOR SHALL REPORT IN WRITING TO THE ARCHITECT/ENGINEER BEFORE SUBMITTING A BID. THE ARCHITECT/ENGINEER WILL THEN ISSUE INSTRUCTIONS AS HOW TO PROCEED.
- THE DRAWING ARE TO BE CONSIDERED DIAGRAMATIC, NOT NECESSARILY SHOWING IN DETAIL OR TO SCALE, ALL OF THE MINOR ITEMS. UNLESS SPECIFIC DIMENSIONS ARE SHOWN, THE STRUCTURAL, ARCHITECTURAL AND SITE CONDITIONS SHALL GOVERN THE EXACT LOCATIONS. CONTRACTOR SHALL FOLLOW DRAWINGS IN LAYING OUT WORK, CHECK DRAWINGS OF ALL TRADES TO VERIFY SPACES IN WHICH WORK WILL BE INSTALLED AND MAINTAIN MAXIMUM HEAD ROOM, OR SPACE CONDITIONS AT ALL POINTS. WHERE HEAD ROOM, OR SPACE CONDITIONS APPEAR INADEQUATE, ARCHITECT/ENGINEER SHALL BE NOTIFIED BEFORE PROCEEDING WITH INSTALLATION. THIS CONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE FIELD MODIFICATION IN LAYOUT AS NEEDED TO PREVENT CONFLICT WITH WORK OF VARIOUS TRADES OR FOR PROPER EXECUTION OF THE WORK.
- EXAMINE ALL DRAWINGS CAREFULLY PRIOR TO SUBMITTING A BID. CONTRACTOR WILL BE REQUIRED TO FURNISH, INSTALL, AND/OR CONNECT WITH APPROPRIATE SERVICES ALL ELECTRICAL ITEMS SHOWN ON ANY OF THE ARCHITECTURAL, PLUMBING, AIR CONDITIONING, SPRINKLER, DRAWINGS WITHOUT ADDITIONAL EXPENSE TO THE OWNER. IF DISCREPANCIES, CONFLICTS, INTERFERENCES OR OMISSIONS OCCUR BETWEEN DRAWINGS, NOTIFY IN WRITING THE ARCHITECT/ENGINEER IN AMPLE TIME TO PERMIT REVISIONS BEFORE THE BIDS ARE SUBMITTED.
- VERIFY SERVICE CHARACTERISTICS, LOCATION AND CONNECTION WITH TELEPHONE AND ELECTRIC UTILITY COMPANIES PERFORM ALL WORK RELATED TO SERVICE IN STRICT ACCORDANCE WITH UTILITY Co. STANDARDS AND REQUIREMENTS.
- INSTALL MATERIALS AND EQUIPMENT IN A NEAT AND FIRST CLASS WORKMANLIKE MANNER. THE OWNER RESERVES THE RIGHT TO DIRECT REMOVAL AND REPLACEMENT OF ITEM WHICH, IN HIS OPINION, DO NOT PRESENT A NEAT AND WORKMANLIKE APPEARANCE. REMOVAL AND REPLACEMENT IS TO BE DONE IMMEDIATELY WHEN DIRECTED BY THE OWNER IN WRITING, AT THE SOLE EXPENSE OF CONTRACTOR.
- START OF WORK BY CONTRACTOR SHALL BE CONSIDERED AS ACCEPTANCE BY HIM OF ALL CLAIMS OR QUESTIONS AS TO QUALITY OF THE WORK OF OTHER TRADES OR OTHER CONTRACTORS TO RECEIVE HIS WORK. THIS CONTRACTOR SHALL REMOVE AND REPLACE, AT HIS EXPENSE, ALL ELECTRICAL WORK WHICH MAY HAVE TO BE REMOVED BECAUSE OF INTERFERENCE WITH OTHER TRADES.
- THIS CONTRACTOR SHALL OBTAIN AND PAY ALL INSURANCE, FEES, PERMITS ASSOCIATION DUES, ROYALTIES, AND TAXES OF WHATEVER NATURE SHALL APPLY TO THIS WORK. HE SHALL ALSO PAY ALL INSPECTION FEES AS MAY BE REQUIRED BY LAW OR ORDINANCE AND SHALL KEEP THE OWNER HARMLESS FROM ANY DAMAGE AND EXPENSE ARISING FROM ANY VIOLATION OF THE LAWS, RULES OR ORDINANCES.
- ALL WIRE COPPER, IN RACEWAY, MC & NM CABLE (ROMEX) WHEN ALLOWED BY CODE AND IF APPROVED BY OWNER.
- WIRE UP COMPLETE ALL THE A/C EQUIPMENT AND CONTROLS AS DIRECTED BY A/C CONTRACTOR. CONTROL WIRING SHALL BE SEPARATE RACEWAY FROM POWER WIRING.
- PROVIDE RACEWAYS AND PREWIRE TELEPHONE SYSTEM COMPLETELY.
- PROVIDE RACEWAYS AND PREWIRE CABLE TV SYSTEM. BEFORE INSTALLATION, COORDINATE SIZE OF ALL RACEWAYS WITH CABLE TV CO. FIELD REPRESENTATIVE.
- PROVIDE MEANS "FURNISH AND INSTALL".
- COORDINATE WORK WITH WORK OF OTHER TRADES TO AVOID ALL CONFLICTS.
- DO A COMPLETE JOB, EVERYTHING CONNECTED, READY FOR USE.
- PROVIDE TEMPORARY WIRING SYSTEM FOR USE OF ALL TRADES, ADEQUATE FOR ENTIRE NEEDS OF THIS PROJECTS.
- CONNECT ALL MOTORS, STARTERS, CONTROLS, DISC. SWITCHES, CKT. BKR. ETC., WHETHER FURNISHED UNDER THIS CONTRACT BY THE GENERAL CONTRACTOR, OTHER SUBCONTRACTORS, OR THE OWNER.
- PROVIDE PULL WIRES WHEN EMPTY CONDUITS ARE SHOWN ON THE PLANS.
- INSTALL ALL LIGHT FIXTURES .
- PROVIDE EMPTY PVC RACEWAYS (SERVICE ENTRANCE) FOR TELEPHONE Co. & CABLE TV Co. AS PER THEIR REQUIREMENTS AND DIRECTIONS.
- PROVIDE ALL WIRING DEVICES.
- IDENTIFY CLEARLY ON A TYPE WRITTEN FORM ALL CIRCUITS AND EQUIPMENT TO CORRESPOND WITH THE PLANS AND PANELS SCHEDULE AND ATTACH INSIDE THE PERTAINING PANEL.
- RACEWAYS: ALL UNDERGROUND RACEWAYS TO BE PVC, INSIDE CONCRETE SLAB EMT WITH APPROVED SET SCREW FITTING, OR PVC, INSIDE PARTITIONS EMT OR ENT.
- SHOP DRAWINGS: THIS CONTRACTOR SHALL FURNISH THE ENGINEER WITH SHOP DRAWINGS OF EQUIPMENT PRIOR TO PURCHASE FOR APPROVAL.
- TESTING: THE CONTRACTOR SHALL TEST ALL WORK AND EQUIPMENT AS DIRECTED BY THE ARCHITECT AND BY AUTHORITIES HAVING JURISDICTION, FURNISHING ALL EQUIPMENT AND NECESSARY PERSONNEL AND ELECTRIC POWER. THE ENTIRE INSTALLATION SHALL BE TESTED FOR SHORTS, GROUNDS AND OPEN CIRCUITS, AND ALL DEFECTS SHALL BE DEMONSTRATED TO BE IN PROPER WORKING AND OPERATING CONDITON TO THE COMPLETE SATISFACTION OF THE ENGINEER.
- GUARANTEES: ALL EQUIPMENT AND MATERIALS SHALL BE GUARANTEED FOR ONE YEAR AFTER THE DATE OF ACCEPTANCE BY OWNER.
- AT COMPLETION OF JOB THE ELECTRICAL CONTRACTOR SHALL GIVE THE OWNER AN AS-BUILT SET OF REPRODUCIBLE SEPIAS SHOWING THE EXACT ELECTRICAL INSTALLATION.
- BEFORE BIDDING THE JOB THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS.
- ALL CONDUCTORS SHALL BE THW OR THWN COPPER. ALL EXPOSED CONDUITS SHALL BE RUN AS NEAT AS POSSIBLE.
- ALL RECEPTACLES SHALL BE INSTALLED AT 12" A.F.F. UNLESS OTHERWISE NOTED.
- ALL ELECTRICAL EQUIPMENT MUST BE U.L. APPROVED.
- WALL MOUNTED SMOKE DETECTORS AND HORNS SHALL BE MOUNTED 6" FROM CEILING, 12" HORIZONTALLY FROM DOOR FRAMES AND 36" FROM ANY HVAC VENT OR FAN BLADE TIP. THEY SHALL BE INTERLOCKED WITH BATTERY BACK-UP AND HARDWIRED TO A NON-SWITCHABLE LIGHTING CIRCUIT.
- MINIMUM 75% OF LAMPS SHALL BE HIGH EFFICIENCY EBC E404. (TYP)

FED FROM "MDP"

PNL	AMPS	VOLTAGE	CKTS	WIRE	PHASE	CKT. LOAD	MAIN	MOUNT	MANUFACTURER			TYPE	CKT. LOAD
A	225	120/240	54	3	1	(VA)	LUG	FLUSH	SIEMENS LOAD CENTER			NEMA 1, M.L.O 10KAIC SERIES RATED	(VA)
CKT No.	WIRE	COND INCH	CKT BKR		SERVING		CKT No.	WIRE	COND INCH	CKT BKR		SERVING	
			POLE	AMPS						POLE	AMPS		
1	3#12	1/2	1	20	GARAGE/EXT. REC.	1,260	2	3#12	1/2	1	20	GARAGE MOTOR	500
3	3#12	1/2	1	20	A/V RM. REC.	360	4	3#12	1/2	1	20	A/V RM. REC.	360
5	3#12	1/2	1	20	MAID'S RM. REC.	900	6	3#12	1/2	1	20	1FL. BATHROOM REC.	360
7	3#12	1/2	1	20	1FL. RECEPTACLE	1,260	8	3#12	1/2	1	20	1FL. FAMILY RM. REC.	1,080
9	3#12	1/2	1	20	1FL. FAMILY RM. REC.	720	10	3#12	1/2	1	20	EXTERIOR RECEPTACLE	900
11	3#12	1/2	1	20	CINEMA RM. REC.	1,260	12	3#12	1/2	1	20	CINEMA RM. CLNG. REC.	360
13	3#12	1/2	1	20	EXTERIOR RECEPT.	900	14	3#12	1/2	1	20	COVER TERR. REC.	540
15	3#12	1/2	1	15	GATE MOTOR	500	16	3#12	1/2	1	15	CALL BOX	500
17	3#12	1/2	1	15	WINE COOLER	1,200	18	3#12	1/2	1	15	COFFE MACHINE	1,500
19	3#12	1/2	1	15	FREEZER	1,500	20	2#10 & #10(G)	1/2	2	30	SINGLE OVEN	5,500
21	2#12 & #12(G)	1/2	2	20	SINGLE OVEN	3,100	22	3#12	1/2	1	15	REFRIGERATOR	1,300
23	3#12	1/2	1	15	DISHWASHER	1,500	24	3#12	1/2	1	15	GARBAGE DISPOSAL	600
25	3#12	1/2	1	15	COOKTOP IGNITION	1,500	26	3#12	1/2	1	15	HOOD	800
27	3#12	1/2	1	20	SMALL APPLIANCES	2,500	30	3#12	1/2	1	20	SMALL APPLIANCES	1,500
29	3#12	1/2	1	15	ICE MAKER	1,200	32	2#8 & #10G	3/4	2	50	CU-1	7,176
31	3#12	1/2	1	15			34	1#10G					
33	2#12 & #12G	1/2	2	20	AHU-1	1,632	36	2#10 & #18G	3/4	2	35	CU-2	4,656
35	3#12	1/2	1	20	AHU-2	1,032	38	3#10					
37	2#12 & #12G	1/2	2	20			40	3#8 & #10(G)	3/4	2	50	LUTRON PANEL LP1	12,000
39	3#12	1/2	1	20	SMOKE DETECTORS	500	42						
43	3#12	1/2	1	20	GARAGE OUTLETS	360	44	2#10 & #10G	3/4	2	30	WATER HEATER	4,500
45					SPACE		46						
47					SPACE		48						
49					SPACE		50						
51					SPACE		52						
53					SPACE		54						

LOAD CALCULATION FOR PANEL "A" (NEC 220 PART IV):
TOTAL CONNECTED LOAD: 50.0 KVA + 14.8 KVA (HVAC)
FIRST 10 KVA @ 100% 10.0 KVA TOTAL DEMAND LOAD: 170 AMPS @ 240V
REMAINING 40.0 KVA @ 40% 16.0 KVA FEEDER CONDUCTORS: 3#4/0 & 1#4(G) THWN CU, 2" C
14.8 KVA (HVAC) @ 100% 14.8 KVA
TOTAL DEMAND LOAD: 40.8 KVA

* ELECTRICAL CONTRACTOR SHALL VERIFY BEFORE INSTALLATION THE SIZE OF CIRCUIT BREAKER AND FEEDER WITH MANUFACTURER'S REQUIREMENTS.

MDP: SIEMENS — TYPE P2, NEMA 1, 600A, M.L.O., 22KAIC

PNL	AMPS	VOLTAGE	CKTS	WIRE	PHASE	CKT. LOAD
MDP	600	120/240	4	3	1	(KVA)
CKT No.	WIRE	COND INCH	POLE	AMPS	SERVING	
1	3#4/0 1#4(G)	2	2	225	PANEL A	
2	3#4/0 1#4(G)	2	2	225	PANEL B	
3	3#1 1#6(G)	1-1/2	2	125	PANEL P	

NOTE: THE ENTIRE SYSTEM SHALL BE RATED AT 22KAIC.

SERVICE ENTRANCE CALCULATION:

TOTAL DEMAND : PANEL A + PANEL B + PANEL P
40.8KVA + 47.8KVA + 18.32KVA = 107 KVA

TOTAL DEMAND : 107 KVA, 446 A @ 240V, 1ø
MAIN CIRCUIT BREAKER: 2-POLE, 500A TRIP.
SERVICE ENTRANCE CONDUCTORS: 2 SETS OF (3#250 MCM & 1#2(G) THWN CU, 3" C)

FED FROM "MDP"

PNL	AMPS	VOLTAGE	CKTS	WIRE	PHASE	CKT. LOAD	MAIN	MOUNT	MANUFACTURER		TYPE	CKT. LOAD		
B	225	120/240	42	3	1	(VA)	LUG	FLUSH	SIEMENS LOAD CENTER		NEMA 1, (M.L.O) 10KAIC SERIES RATED	(VA)		
CKT No.	WIRE	COND INCH	CKT BKR		SERVING		CKT No.	WIRE	COND INCH	CKT BKR		SERVING		
			POLE	AMPS						POLE	AMPS			
10	1	3#12	1/2	1	20	BEDROOM-1 REC.	1,080	2	3#12	1/2	1	20	BEDROOM-2 REC.	1,260
10	3	3#12	1/2	1	20	BEDROOM-3 REC.	1,260	4	3#12	1/2	1	20	2FL. BATHROOM REC.	540
10	5	3#12	1/2	1	20	OFFICE RECEPTACLE	1,260	6	3#12	1/2	1	20	2FL. HALLWAY REC.	1,080
10	7	3#10	1/2	1	20	MASTER BED. REC.	1,260	8	3#10	1/2	1	20	MASTER BED. REC.	1,260
	9	3#12	1/2	1	20	MASTER BATH. REC.	720	10	3#12	1/2	1	20	LAUNDRY RECEPTACLE	1,500
	11	3#12	1/2	1	20	WASHER MACHINE	1,500	12	3#10 & #10(G)	1/2	2	30	DRYER	5,000
	13	2#3 & #8(G)	1	2	80	STEAM SHOWER	15,000	14						
	16	2#8 & #10G	3/4	2	50			18						
	17	2#12 & #12G	1/2	2	20	AHU-3	1,632	20	2#8 & #10G	3/4	2	50	CU-3	7,176
	21	2#12 & #12G	1/2	2	20	AHU-4	1,632	22						
	23							24	3#12	1/2	1	20	1FL LUTRON SHADE PNL	1,920
	25	3#8 & #10(G)	3/4	2	50	LUTRON PANEL LP2	12,000	26	3#12	1/2	1	20	1FL LUTRON SHADE PNL	1,920
	27							28					SPACE	
	29	3#8 & #10(G)	3/4	2	50	LUTRON PANEL LP3	12,000	30					SPACE	
	31							32					SPACE	
	33					SPACE		34					SPACE	
	35					SPACE		36					SPACE	
	37					SPACE		38					SPACE	
	39					SPACE		40					SPACE	
	41					SPACE		42					SPACE	

LOAD CALCULATION FOR PANEL "B" (NEC 220 PART IV):
TOTAL CONNECTED LOAD: 60.5 KVA + 14.8 KVA (HVAC)
FIRST 10 KVA @ 100% 10.0 KVA TOTAL DEMAND LOAD: 199 AMPS @ 240V
REMAINING 50.5 KVA @ 40% 20.2 KVA FEEDER CONDUCTORS: 3#4/0 & 1#4(G) THWN CU, 2" C
17.6 KVA (HVAC) @ 100% 17.6 KVA
TOTAL DEMAND LOAD: 47.8 KVA

FED FROM "MDP"

PNL	AMPS	VOLTAGE	CKTS	WIRE	PHASE	CKT. LOAD	MAIN	MOUNT	MANUFACTURER	TYPE	CKT. LOAD		
P	125	120/240	30	3	1	(VA)	LUG	FLUSH	SIEMENS PANELBOARD P1	NEMA 4X, (M.L.O) 10KAIC SERIES RATED	(VA)		
CKT No.	WIRE	COND INCH	CKT BKR		SERVING		CKT No.	WIRE	COND INCH	CKT BKR		SERVING	
			POLE	AMPS						POLE	AMPS		
1			2	20	FUTURE POOL CIRC. PUMP (2HP)	2,882	2		1	15 GFCI	FUTURE POOL LIGHT	500	
3			2				4		1	20 GFCI	FUTURE POOL DECK LIGHTS	500	
5			2	20	FUTURE INFINITY PUMP (1HP)	1,920	6				SPACE		
7			2				8				SPACE		
9	3#12	1/2	1	20	POOL GAS HEATER	500	10				SPACE		
11	3#12	1/2	1	20	SOLENOID VALVE	500	12				SPACE		
13	3#3 1#8G	1-1/2	2	80	DOCK PEDESTAL	18,000	14				SPACE		
15							16			SPACE			
17					SPACE		18				SPACE		
19					SPACE		20				SPACE		
21					SPACE		22				SPACE		
23					SPACE		24				SPACE		
25					SPACE		26				SPACE		
27					SPACE		28				SPACE		
29					SPACE		30				SPACE		


LOAD CALCULATION FOR PANEL "P" (NEC 220 PART IV):
TOTAL CONNECTED LOAD: 24.8 KVA + 6.0 KVA (SPARE) = 31.3 KVA
FIRST 10 KVA @ 100% 10.0 KVA TOTAL DEMAND LOAD: 77 AMPS @ 240V
REMAINING 20.8 KVA @ 40% 8.32 KVA FEEDER CONDUCTORS: 3#1 & 1#6(G) THWN CU, 1-1/2" C
TOTAL DEMAND LOAD: 18.32 KVA

NOTE:
POOL EQUIPMENT INSTALLATION IS NOT PART OF THE SCOPE OF WORK OF THIS PROJECT. PROVISIONS FOR FUTURE POOL EQUIPMENT, DECK & POOL LIGHTING AND ADDITIONAL WATER FIXTURES WERE CONSIDERED AS FUTURE LOAD IN PANEL "P". CONTRACTOR SHALL PROVIDE/INSTALL CIRCUIT BREAKERS AS PER PANEL SCHEDULE AND LABEL THEM AS SPARE BREAKERS. NO WIRING WILL BE PROVIDED FOR THE FUTURE LOAD SHOWN.

PANEL SCHEDULE NOTES:

- A DEDICATED NEUTRAL CONDUCTOR MUST BE PROVIDED FOR ALL 120V BRANCH CIRCUITS.
- ELECTRICAL PANEL CLEARANCE TO COMPLY WITH 110.26.
- ALL RECEPTACLE LOCATED IN KITCHEN MUST BE SUPPLIED BY SMALL APPLIANCE CIRCUITS NEC 210.52 (B)(1)
- PER NEC 406.11, ALL 125-VOLT, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN DWELLING UNIT ROOMS OR AREAS, AS IDENTIFIED IN THIS CODE ARTICLE, SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- BEFORE INSTALLATION THE ELECTRICAL CONTRACTOR SHALL VERIFY THE SIZE OF THE CIRCUIT BREAKERS WITH THE MANUFACTURER'S REQUIREMENTS
- FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT AS PER NEC 210.12(B)

⑦ CIRCUIT CONTROLLED THRU TIME-CLOCK.



February 9, 2017

Analia Venice
13301 SW 132nd Ave, Ste. 211
Miami, FL 33186

Re: Available Fault Current for 802 W Dilido Dr, Miami Beach

Dear Analia Venice:

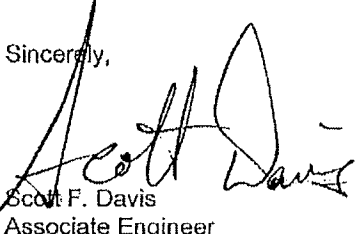
Thank you for contacting FPL about the available fault current at 802 W Dilido Dr, Miami Beach. Based on the plans you have provided dated February 08 2017, the maximum available fault current at the transformer secondary terminals is estimated to be 30684 symmetrical amperes at 120/240 volts. The protective device on the line side of the transformer currently in place or to be installed and serving your property located at the subject location is a 10 amp type KCS fuse. The primary service voltage is 13.2KV L-L. This calculated symmetrical fault current is not intended for use as the basis for motor starting calculations and does not include:

- Consideration for any motor contribution or
- Fault current asymmetry.

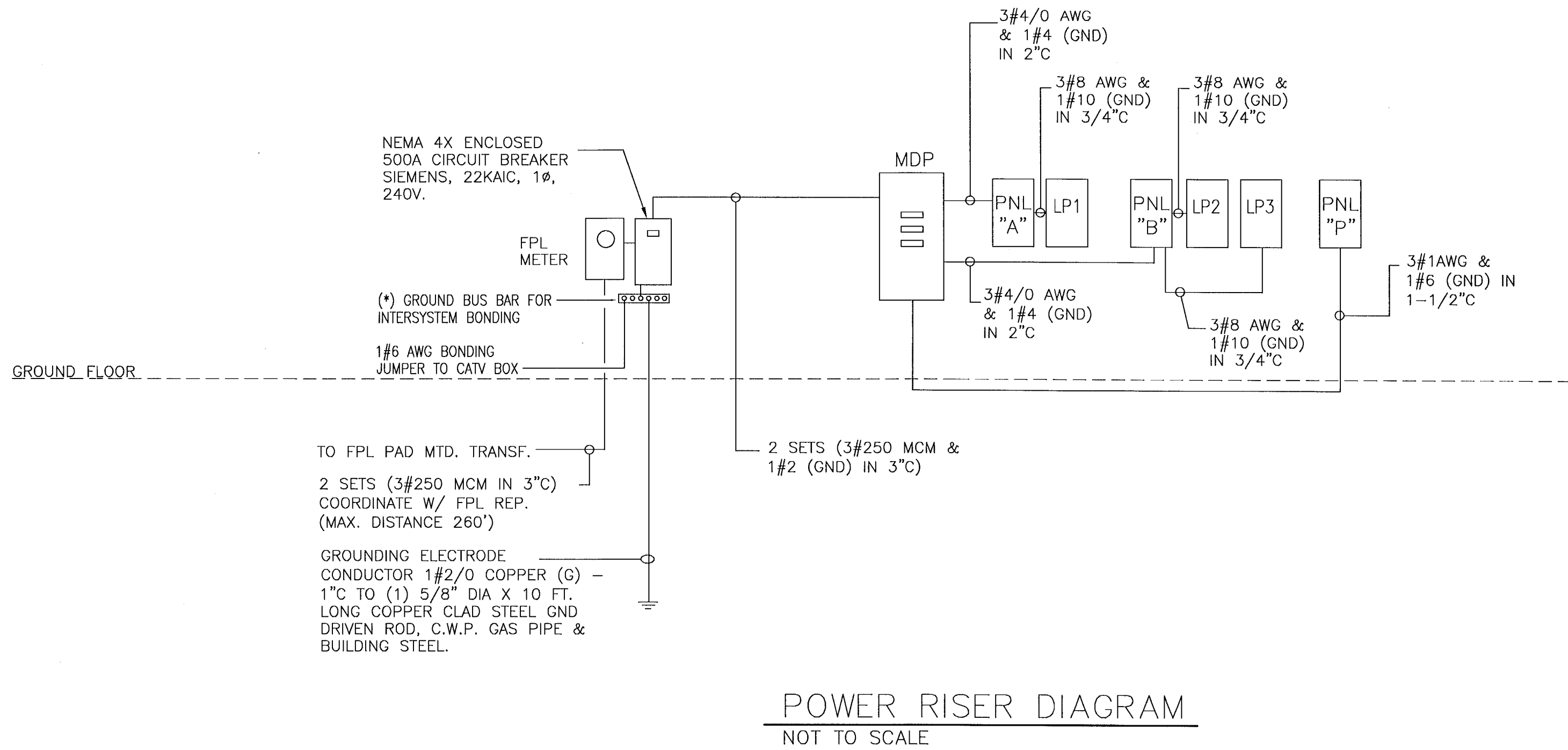
The FPL equipment currently serving or planned to serve your facility may change over time as a result of any number of factors, including but not limited to transformer replacements due to load growth, electrical grid changes or emergencies. As a result, although we are providing you with this information for the sole purpose of assisting you in the completion of your study, you and your client should not design, install or operate your system in reliance upon any expectation that the specific size and type of equipment currently in place will remain so. If and when the size and type of the equipment changes, our employees are not always in a position to immediately notify customers.

As the construction project progresses, any questions or information you may need can be communicated through me. I have enclosed my business card for easy reference and look forward to hearing from you in the near future.

Sincerely,



Scott F. Davis
Associate Engineer



RISER NOTES:

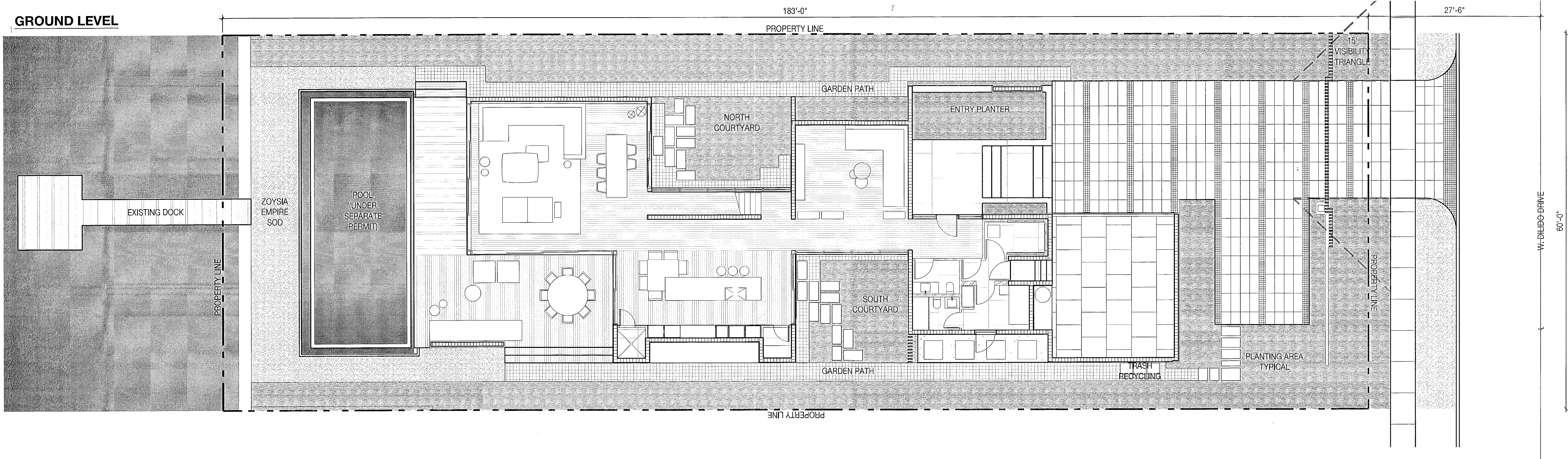
1.) CONTRACTOR SHALL BOND NEUTRAL BAR AND EQUIPMENT GROUNDING TERMINAL BAR IN THE SERVICE ENTRANCE MAIN CIRCUIT BREAKER. FEEDER WITH EQUIPMENT GROUNDING CONDUCTOR SHALL BE RUN ALL DISTRIBUTION PANELS.

2.) CONTRACTOR SHALL INCLUDE IN BID PRICE THE COST OF THE FEEDER INSTALLATION & MATERIAL FROM METER TO FPL TRANSFORMER.

(*) CONTRACTOR SHALL PROVIDE 1#6AWG BONDING JUMPER BETWEEN THE GROUND BUS BAR AND ALL NEW PANELBOARDS PRESENT IN THE ELECTRICAL SYSTEM, INCLUDING THE CATV SYSTEM BOX TO COMPLY WITH NEC 2011 ART. 250.94.

ALL WIRE SHALL BE THWN CU
RATED @ 75° IN RACEWAY
UNLESS OTHERWISE NOTED

GROUND LEVEL



MIAMI BEACH
REVIEWED FOR
CODE COMPLIANCE

NIELSEN
landscape architects

1016 clare avenue, 5
west palm beach, fl
561.402.9414

www.nielsenlandarch.com

SEBAG GARDEN

802 W. DILDO | MIAMI BEACH, FLORIDA 33138

SITework GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK BY THE SUBCONTRACTORS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AT JOB SITE AND NOTIFY LANDSCAPE ARCHITECT AND GENERAL CONTRACTOR OF DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING ANY WORK.
3. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. ALL CONTRACTORS MUST COMPLY WITH PERMIT REQUIREMENTS, LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES RULES AND REGULATIONS AND LAND USE APPROVAL CONDITIONS AT ALL TIMES.
4. WORK PERFORMED WITHOUT APPROVAL OF LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES AND/OR NOT IN COMPLIANCE WITH SPECIFICATIONS AND/OR DRAWINGS IS SUBJECT TO REMOVAL AT CONTRACTOR'S EXPENSE.
5. ALL WORK SHALL CONFORM TO THE APPROPRIATE AGENCIES. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR UTILITIES OR STRUCTURES NOT SHOWN ON THE DRAWINGS. CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING OVER OR NEAR EXISTING GAS AND ELECTRICAL LINES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTING ALL LAND MONUMENTS DISRUPTED BY CONSTRUCTION ACTIVITIES OR NEGLIGENCE ON THE PART OF THE CONTRACTOR. RESETS SHALL BE PERFORMED UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR AND MONUMENT RECORDS MUST BE FILED AS REQUIRED BY STATUTE FOR ALL MONUMENTS.
7. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS AND STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED SATISFACTORY TO THE LANDSCAPE ARCHITECT AT THE CONTRACTOR'S EXPENSE.
8. ALL BARRICADING AND TEMPORARY TRAFFIC CONTROL DEVICES OR METHODS USED DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES STANDARDS. PROVIDE ADEQUATE TIME FOR REVIEW AND APPROVAL BY THE ABOVE JURISDICTIONS PRIOR TO COMMENCEMENT.
9. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES UTILIZED OR FOR SAFETY PRECAUTIONS OR PROBLEMS IN CONNECTION WITH THE WORK. THE LANDSCAPE ARCHITECT WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACT DOCUMENTS INCLUDE THE CONSTRUCTION DOCUMENT DRAWING SET/TECHNICAL SPECIFICATIONS MANUAL/LASIS.
10. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.
11. A SYSTEM OF DIAGRAMMATIC SYMBOLS, HATCHES AND NOTATIONS IS USED IN THESE DRAWINGS. REVIEW NOTATIONS CAREFULLY, NOTIFY LANDSCAPE ARCHITECT AND REQUEST CLARIFICATION OF ANY UNCLEAR NOTATION OR DISCREPANCY PRIOR TO COMMENCING WORK.

SITework GENERAL NOTES CONTINUED

1. PROVIDE SLEEVES AS REQUIRED FOR DRAINAGE, IRRIGATION AND ELECTRICAL LINES. IRRIGATION AND ELECTRICAL SLEEVES AND SUBSURFACE DRAINAGE SYSTEMS SHALL BE CONSTRUCTED PRIOR TO PAVING AND LANDSCAPE WORK. UTILITY SLEEVES ARE REQUIRED IN ALL PLANT BEDS ISOLATED BY PAVEMENT OR ANY OTHER STRUCTURES.
2. SPECIAL CONSIDERATION IS GIVEN TO THE DESIGN AND INTENDED RELATIONSHIP BETWEEN ARCHITECTURE, PLANTING AREAS AND PAVING SYSTEMS. PAVEMENT JOINTING, PAVERS, STONE, FINISHES AND GRADES HAVE BEEN STRICTLY COORDINATED IN THE CONTRACT DOCUMENTS. CONSTRUCTION OF THESE SYSTEMS SHALL BE STRICTLY COORDINATED.
3. VEHICLES, EQUIPMENT, AND/OR MATERIALS SHALL NOT BE PARKED OR STORED IN AREAS OF EXISTING VEGETATION, INCLUDING WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.
4. CONSTRUCTION WASTE-INCLUDING BUT NOT LIMITED TO: PLANT MATERIAL, BUILDING MATERIALS, DEMOLISHED MATERIALS, PACKAGING, LEFTOVER PAINT AND CONCRETE SLURRY-SHOULD BE PROPERLY REUSED, RECYCLED, DISPOSED OF LEGALLY OFF-SITE OR IN DESIGNATED WASH-OUT AREAS DETERMINED BY THE GENERAL CONTRACTOR.
5. RECYCLING AND TRASH BINS TO BE PROVIDED ON SITE. SEPARATE BINS FOR CARDBOARD, CO-MINGLED, AND OTHER RECYCLABLE/REUSABLE MATERIALS IDENTIFIED BY THE LOCAL JURISDICTION SHALL BE MAINTAINED. ALL BINS TO BE WILDLIFE-PROOF.
6. ON-SITE FUEL STORAGE FOR CONSTRUCTION EQUIPMENT IS DISCOURAGED. CONSTRUCTION EQUIPMENT USED ON SITE TO BE CHECKED REGULARLY TO ASSURE CONTAMINATION CONCERNS FROM OILS AND GREASES ARE ELIMINATED. NO TOXIC MATERIALS SHALL BE STORED ON-SITE.
7. GENERAL CONTRACTOR TO KEEP ALL ITEMS IMPLEMENTED BY LANDSCAPE ARCHITECT IN PROPER WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT.
8. THE CONSTRUCTION SITE TO BE INSPECTED ON A MONTHLY BASIS BY LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER TO ASSURE THAT THE SILT FENCE AND MUD TRACKING PAD ARE PROPERLY IN PLACE AND FUNCTIONING AS DESIGNED.
9. GREEN BUILDING PRACTICES SHALL BE EMPLOYED TO THE EXTENT FEASIBLE. SUCH PRACTICES INCLUDE: CARPOOLING/VANPOOLING TO JOB SITE, MINIMIZING MATERIALS PACKING BEFORE ARRIVAL TO JOB SITE, REDUCING MATERIAL/RESOURCE INEFFICIENCIES BY COORDINATING WORK.
10. THE PROJECT LIMIT OF CONSTRUCTION AND ALL EXISTING VEGETATION TO REMAIN IS TO BE CLEARLY DEFINED BY STURDY, WEATHERPROOF FENCING AT A MINIMUM OF FOUR (4) FEET HIGH.
11. WATERPROOFING OF SUBGRADE AND OTHER ARCHITECTURAL SPACES BELOW AND/OR ADJACENT TO IMPROVEMENTS DESIGNED BY THE LANDSCAPE ARCHITECT IS TO BE ADEQUATELY DESIGNED AND DETAILED BY OTHERS TO PERMANENTLY REPEL ALL WATER SOURCES INCLUDING, BUT NOT LIMITED TO: PRECIPITATION, STORM WATER RUNOFF, GROUND WATER, IRRIGATION, ROOF RUNOFF, GROUND WATER, AND PLUMBING LEAKS.

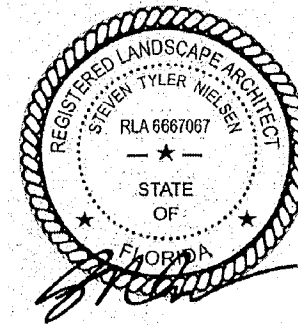
SOIL EROSION CONTROL NOTES

1. PRIOR TO BEGINNING ANY EARTH CHANGE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL SESC MEASURES AS SHOWN ON THE CONTRACT DOCUMENTS AND AS REQUIRED BY ANY GOVERNING AGENCIES.
2. ALL SESC MEASURES TO BE MAINTAINED DAILY.
3. THE CONTRACTOR TO CONDUCT ALL EXCAVATION, FILLING, GRADING, AND CLEANUP OPERATIONS IN A MANNER SUCH THAT SEDIMENT, GENERATED BY WIND OR WATER IS NOT DISCHARGED INTO ANY STORM SEWER, DRAINAGE DITCH, RIVER, LAKE, AIR, OR UNDERGROUND UTILITY SYSTEM. STAGE WORK TO MINIMIZE THE AREA OF EXPOSED SOIL, THEREBY REDUCING THE OPPORTUNITY FOR SOIL EROSION.
4. WATER FROM TRENCHES AND OTHER EXCAVATION TO BE PUMPED INTO A FILTRATION BAG TO REMOVE SEDIMENTS FROM THE WATER.
5. NORTH AMERICAN GREEN SC-150 OR EQUIVALENT EROSION CONTROL FABRIC IS REQUIRED ON ALL DISTURBED SLOPES GREATER THAN 3:1 UNTIL PROJECT AREA IS REVEGETATED PER THE PLANTING PLAN.
6. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
7. CONTRACTOR TO PROVIDE ONSITE WATERING TO REDUCE FUGITIVE DUST LEAVING THE SITE DURING CONSTRUCTION.
8. SOIL EROSION CONTROL MEASURES TO BE PROVIDED FOR ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS.
9. CONSTRUCTION STAGING AND PHASING SHALL OCCUR, WHERE APPLICABLE, TO MINIMIZE SOIL DISTURBANCE TIME.
10. BEST MANAGEMENT PRACTICES (BMPs) SHALL BE ADJUSTED AS NEEDED TO MEET ANY OTHER UNFORESEEN CONDITIONS.
11. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING A MUD TRACKING PAD/WASHING PAD AT THE CONSTRUCTION ENTRANCES TO MINIMIZE MUD DETACHMENT FROM TRUCK TIRES. 1-1/2 INCH SCREENED ROCK TO BE PLACED ON MIRAFI 140-N FILTER FABRIC. ADDITIONAL CLEAN GRAVEL TO BE ADDED THROUGHOUT THE DURATION OF CONSTRUCTION AS NEEDED.
12. CONTRACTOR SHALL ABIDE BY THE LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES CONSTRUCTION MANAGEMENT PLAN REQUIREMENTS.
13. RESEED AS INDICATED IN SEEDING NOTES.



Know what's below.
Call before you dig.

SEAL (S TYLER NIELSEN - LA6667067)

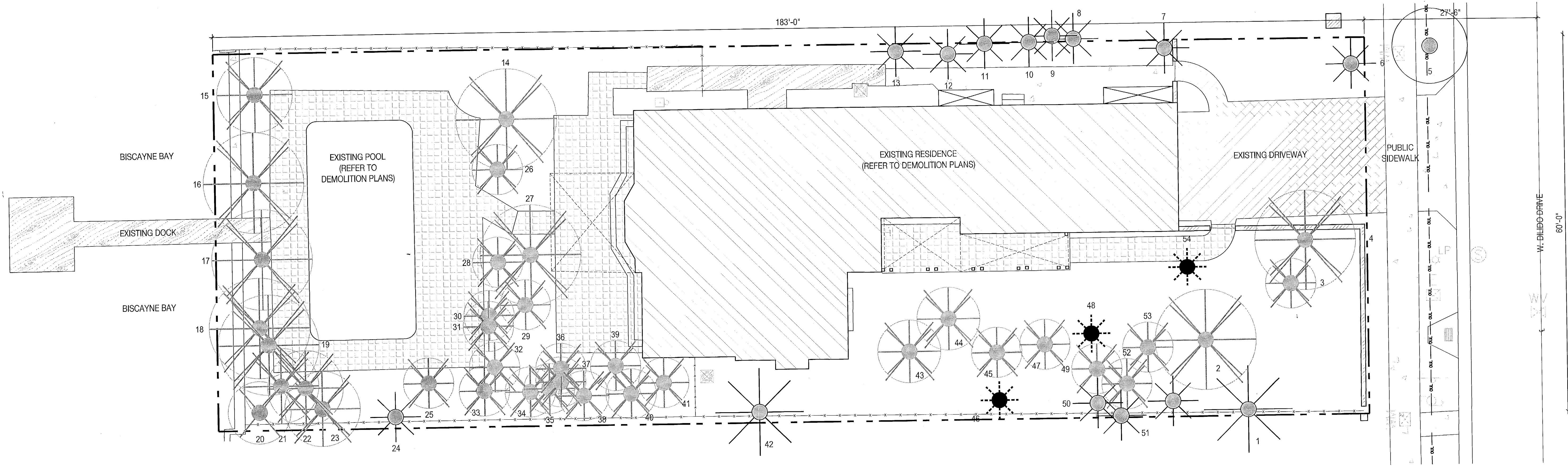


04.03.17

SITE PLAN & GENERAL NOTES

DATE	ISSUE
09/28/2016	DRB - MIAMI BEACH
04/03/2017	PERMIT

L001



TREES & PLANTING TO BE PRESERVED NOTES

- EXISTING TREES TO BE PRESERVED SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS THEY BEAR TO PRE-CONSTRUCTION GRADE.
- EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED WITH STURDY, WEATHERPROOF FENCING AT A MINIMUM FOUR (4) FEET HEIGHT INSTALLED NO CLOSER TO THE TREE TRUNK THAN ITS DRIPLINE. THIS FENCE SHALL BE MAINTAINED IN WORKING ORDER DURING ALL PHASES OF CONSTRUCTION. MAINTAIN TREE PROTECTION ZONES FREE OF WEEDS AND TRASH.
- NO WORK SHALL BE CONDUCTED WITHIN THE DRIPLINE, UNLESS REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT. ALL WORK APPROVED WITHIN THE DRIPLINE SHALL BE COMPLETED BY HAND. PROTECT ROOT SYSTEMS FROM PONDING, ERODING, OR EXCESSIVE WETTING.
- THE PROJECT LIMIT OF CONSTRUCTION AND ALL EXISTING VEGETATION TO REMAIN IS TO BE CLEARLY DEFINED BY STURDY, WEATHERPROOF FENCING AT A MINIMUM OF FOUR (4) FEET HIGH.

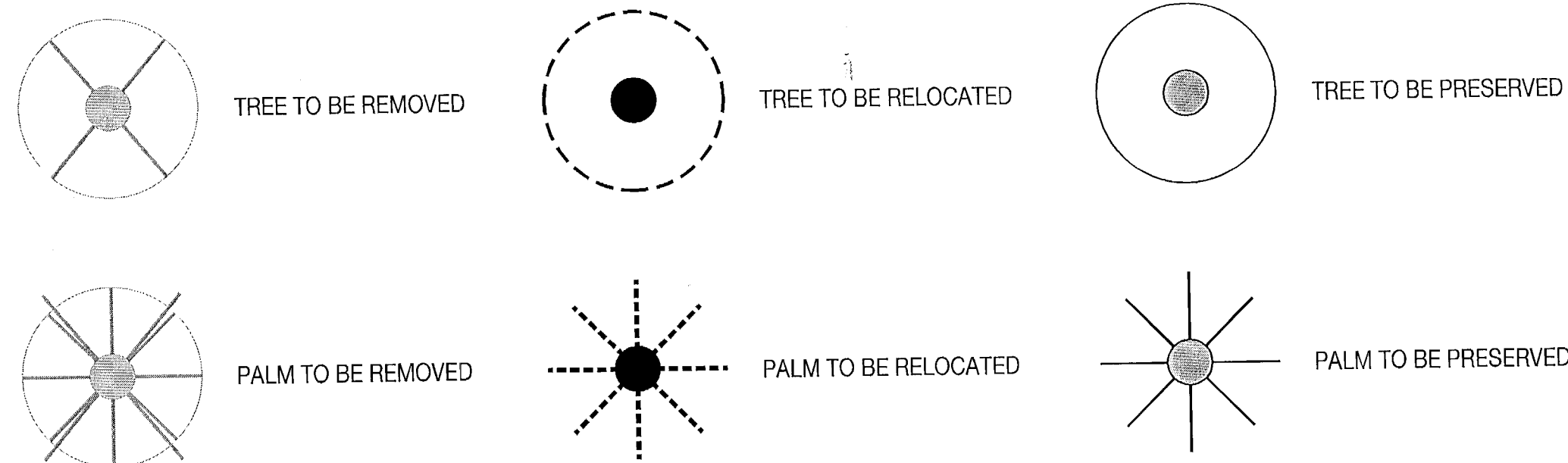
TREES & PLANTING TO BE RELOCATED NOTES

- THE CONTRACTOR IS TO ROOT PRUNE ALL PLANT MATERIAL 90 DAYS MINIMUM IN ADVANCE OF MOVING PLANT MATERIAL.
- THE CONTRACTOR IS TO WARRANTY ALL RELOCATED PLANT MATERIAL.
- THE CONTRACTOR IS RESPONSIBLE FOR THE WATERING AND FERTILIZING OF ALL PLANT RELOCATED PLANT MATERIAL UNTIL PROJECT COMPLETION.
- ALL RELOCATED PLANT MATERIAL IS TO BE APPROPRIATELY BRACED.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT TWO WEEKS IN ADVANCE OF ALL SCHEDULED WORK PERTAINING TO THE RELOCATION OF SITE TREES.

TREES & PLANTING TO BE REMOVED NOTES

- THE CONTRACTOR IS TO COMPLETELY REMOVE ALL PLANTER MATERIAL DESIGNATED FOR REMOVAL (I.E. ROOT BALL, DEBRIS, SAW DUST, ETC.).
- THE CONTRACTOR IS TO BACKFILL ALL EXCAVATED ROOT BALLS FLUSH TO THE ADJACENT ELEVATION LEVEL.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT TWO WEEKS IN ADVANCE OF ALL SCHEDULED WORK PERTAINING TO THE RELOCATION OF SITE TREES.

TREE DISPOSITION LEGEND



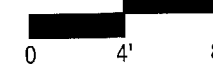
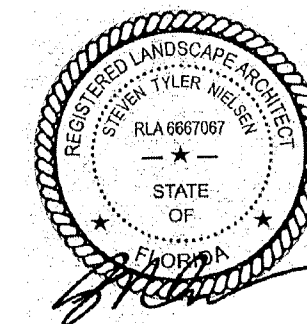
TREE DISPOSITION SCHEDULE

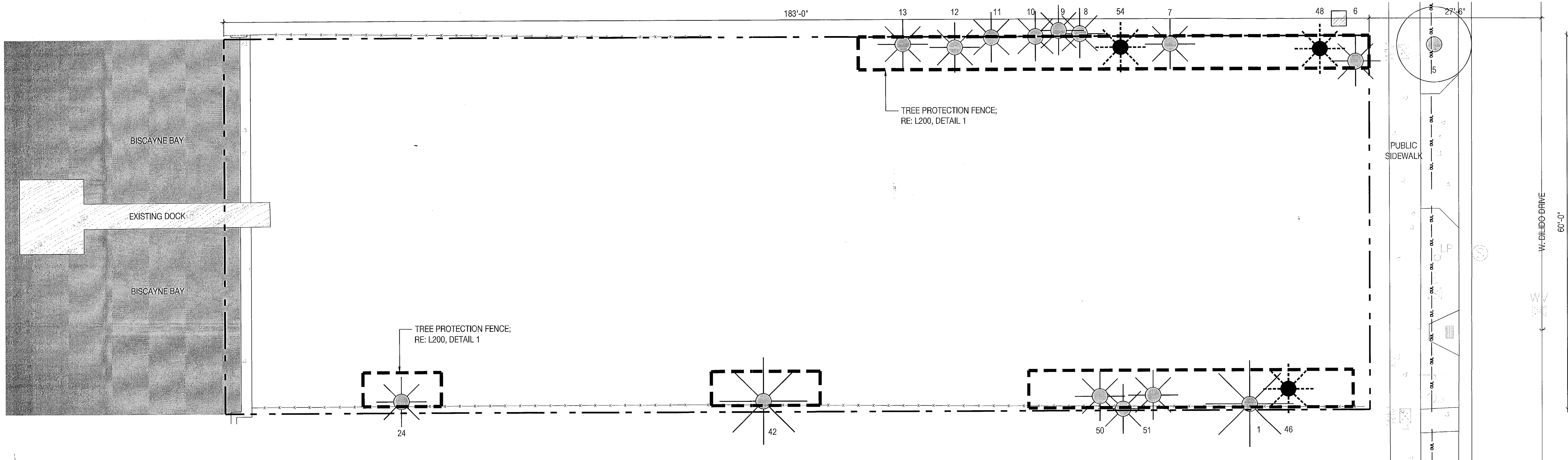
Number	Common Name	Scientific Name	Action	Height (Ft)	Caliper (Ft)	G. Area (Ft)	DBH (In)	Condition	Notes
1	Royal Palm	Roystonea regia	PRESERVE	43	20	880	15	Good	YES
2	Chinese Fan Palm	Livistona chinensis	REMOVE	48	25	491	24	Good	NO
3	Chinese Fan Palm	Livistona chinensis	REMOVE	22	13	150	4	Good	YES
4	Royal Palm	Roystonea regia	REMOVE	50	20	880	15	Good	YES
5	Plum Tree	Prunus americana	PRESERVE	13	8	64	8	Good	YES
6	Montgomery Palm	Washingtonia robusta	PRESERVE	30	12	110	4	Good	NO
7	Montgomery Palm	Washingtonia robusta	PRESERVE	30	12	110	4	Good	NO
8	Montgomery Palm	Washingtonia robusta	PRESERVE	25	12	110	4	Good	NO
9	Montgomery Palm	Washingtonia robusta	PRESERVE	25	12	110	4	Good	NO
10	Island Palm	Chorizanthe rigida	PRESERVE	28	18	501	20	Good	YES
11	Montgomery Palm	Washingtonia robusta	PRESERVE	25	12	110	4	Good	NO
12	Bald Palm	Sabal palmetto	PRESERVE	21	13	130	38	Good	YES
13	Island Palm	Chorizanthe rigida	PRESERVE	22	8	60	10	Good	NO
14	Island Palm	Chorizanthe rigida	REMOVE	46	20	880	15	Good	YES
15	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
16	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
17	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
18	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
19	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
20	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
21	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
22	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
23	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
24	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
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28	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
29	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
30	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
31	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
32	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
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34	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
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53	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
54	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO

TREE MITIGATION CALCULATIONS

Number	Common Name	Scientific Name	Action	Height (Ft)	Caliper (Ft)	G. Area (Ft)	DBH (In)	Condition	Notes
2	Royal Palm	Roystonea regia	REMOVE	43	20	880	15	Good	NO
3	Chinese Fan Palm	Livistona chinensis	REMOVE	22	13	150	4	Good	YES
4	Royal Palm	Roystonea regia	REMOVE	50	20	880	15	Good	YES
10	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
11	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
12	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
13	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
14	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
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16	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
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23	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
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52	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
53	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO
54	Island Palm	Chorizanthe rigida	REMOVE	40	18	684	17	Good	NO

B.S.D.	Total canopy area to be removed (Square Feet)
88	Total canopy area to be removed (Square Feet)
76	Total canopy area to be removed (Square Feet)

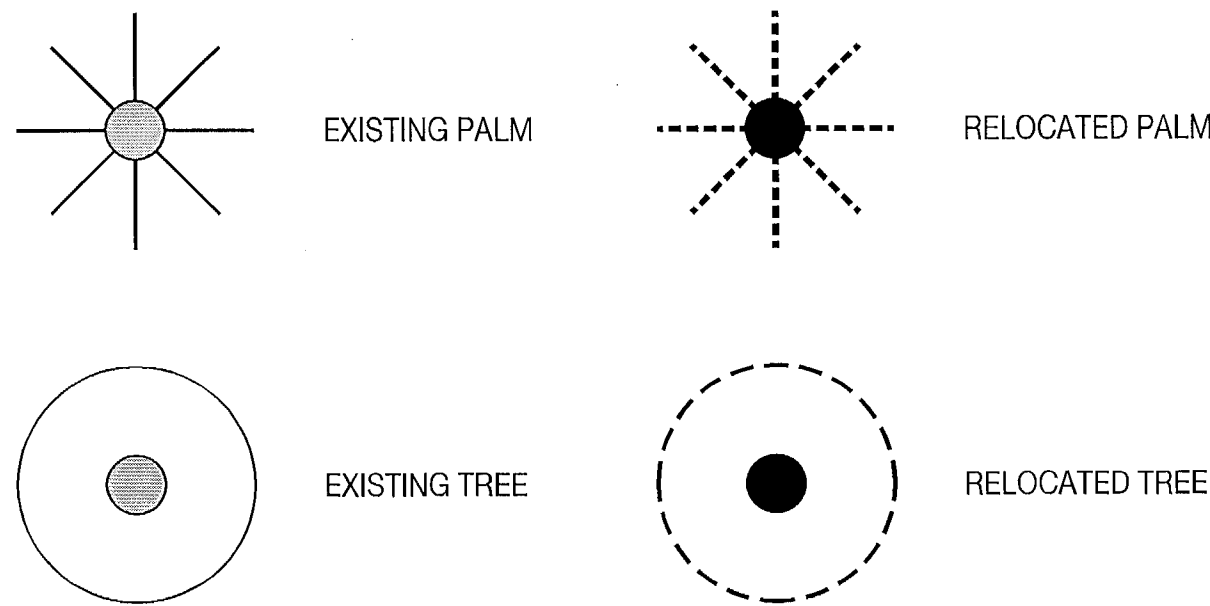




TREES PROTECTION NOTES

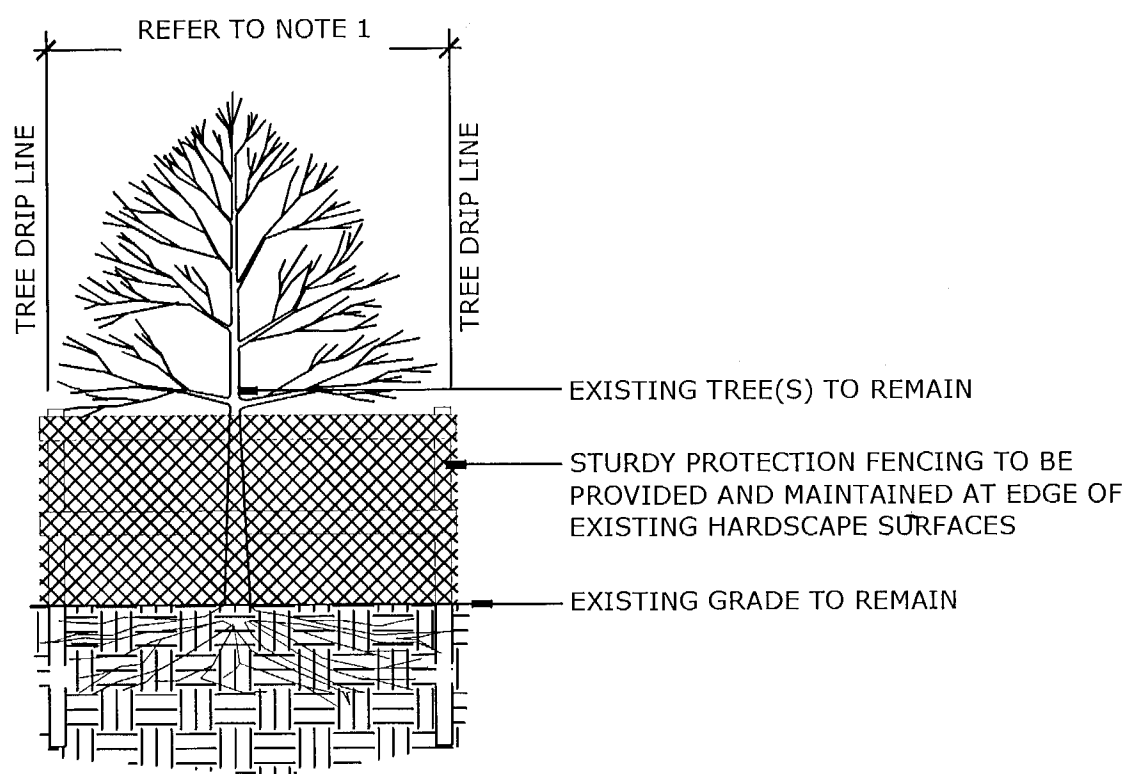
- CONTRACTOR TO PROTECT ALL EXISTING TREES PRIOR TO THE DEMOLITION OF THE EXISTING STRUCTURE.
- UPON COMPLETION OF OF SITE DEMOLITION, CONTRACTOR TO RELOCATE ALL SPECIFIED TREES AND PALMS FOR RELOCATION. CONTRACTOR TO REINSTALL TREE PROTECTION FENCE AROUND RELOCATED AND EXISTING TREES.
- FENCING AT A MINIMUM FOUR (4) FEET HEIGHT INSTALLED NO CLOSER TO THE TREE TRUNK THAN ITS DRIPLINE. THIS FENCE SHALL BE MAINTAINED IN WORKING ORDER DURING ALL PHASES OF CONSTRUCTION. MAINTAIN TREE PROTECTION ZONES FREE OF WEEDS AND TRASH.
- THE PROJECT LIMIT OF CONSTRUCTION AND ALL EXISTING VEGETATION TO REMAIN IS TO BE CLEARLY DEFINED BY STURDY, WEATHERPROOF FENCING AT A MINIMUM OF FOUR (4) FEET HIGH.

PLANTING LEGEND



RELOCATION & PRESERVATION SCHEDULE

Abbr.	Quantity	Common name	Scientific name	Specifications	Native
1	1	Royal Palm	<i>Roystonea regia</i>	Contractor to protect & place on temporary irrigation system	YES
5	1	Pigskin Palm	<i>Coccothra diversifolia</i>	Contractor to protect & place on temporary irrigation system	YES
6	1	Montgomery Palm	<i>Veitchia montgomeryana</i>	Contractor to protect & place on temporary irrigation system	NO
7	1	Montgomery Palm	<i>Veitchia montgomeryana</i>	Contractor to protect & place on temporary irrigation system	NO
8	1	Montgomery Palm	<i>Veitchia montgomeryana</i>	Contractor to protect & place on temporary irrigation system	NO
9	1	Montgomery Palm	<i>Veitchia montgomeryana</i>	Contractor to protect & place on temporary irrigation system	NO
10	1	Sabal Palm	<i>Sabal palmetto</i>	Contractor to protect & place on temporary irrigation system	YES
11	1	Montgomery Palm	<i>Veitchia montgomeryana</i>	Contractor to protect & place on temporary irrigation system	NO
12	1	Sabal Palm	<i>Sabal palmetto</i>	Contractor to protect & place on temporary irrigation system	YES
13	1	Sabal Palm	<i>Sabal palmetto</i>	Contractor to protect & place on temporary irrigation system	NO
24	1	Coconut Palm	<i>Cocos nucifera</i>	Contractor to protect & place on temporary irrigation system	NO
42	1	Solitaire Palm	<i>Hydrocotyle elegans</i>	Contractor to protect & place on temporary irrigation system	YES
50	1	Chinese Fan Palm	<i>Livistona chinensis</i>	Contractor to protect & place on temporary irrigation system	NO
51	1	Chinese Fan Palm	<i>Livistona chinensis</i>	Contractor to protect & place on temporary irrigation system	NO
46	1	Thatch Palm	<i>Thrinax radiata</i>	Contractor to protect & place on temporary irrigation system	NO
48	1	Silver Thatch Palm	<i>Coccothraux argentea</i>	Contractor to protect & place on temporary irrigation system	NO
54	1	Silver Thatch Palm	<i>Coccothraux argentea</i>	Contractor to protect & place on temporary irrigation system	NO



NOTE:

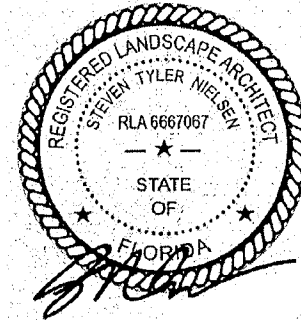
- DUE TO SITE CONSTRAINTS TREE PROTECTION FENCE MAY BE CONTINUOUS TO PROTECT MULTIPLE TREES. TREE PROTECTION FENCE TO BE INSTALLED AT EDGE OF EXISTING HARDSCAPE. WHERE SPACE ALLOWS TREE PROTECTION FENCE TO ALIGN WITH DRIPLINE OF TREE / PALM.
- MAINTAIN FENCE THROUGHOUT CONSTRUCTION.
- REFER TO LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES FOR ADDITIONAL REQUIREMENTS.

1

TREE PROTECTION FENCE

Scale: 1/4" = 1'- 0"

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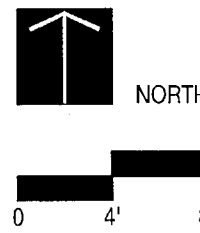


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TREE PROTECTION NOTES & PLAN

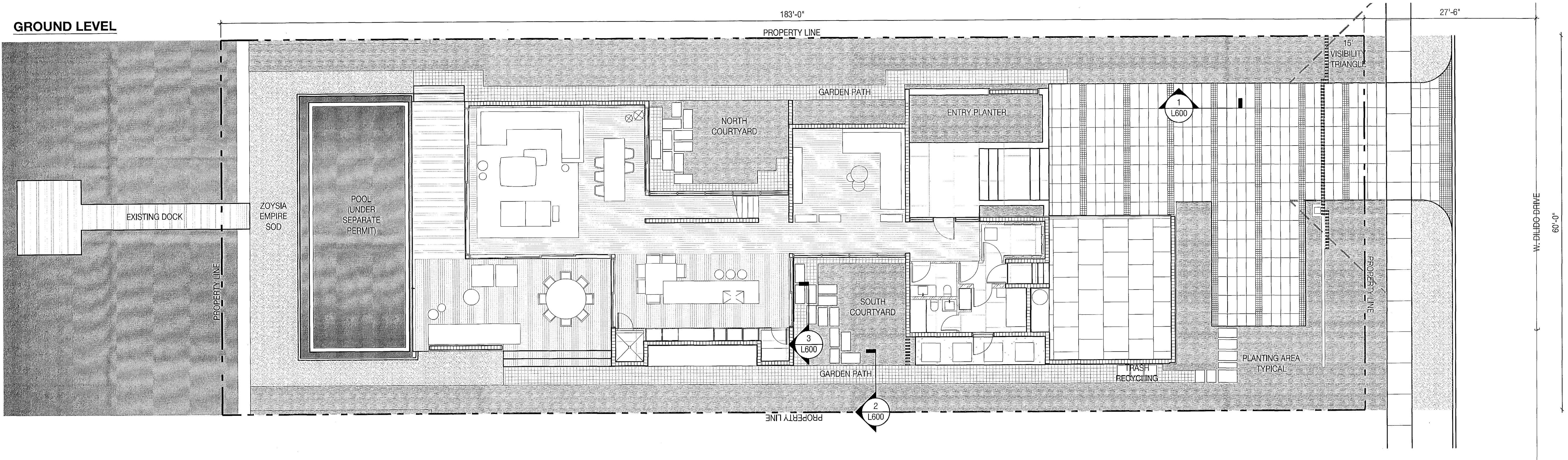
DATE: 09/26/2016
04/03/2017

ISSUE: DRB - MIAMI BEACH
PERMIT

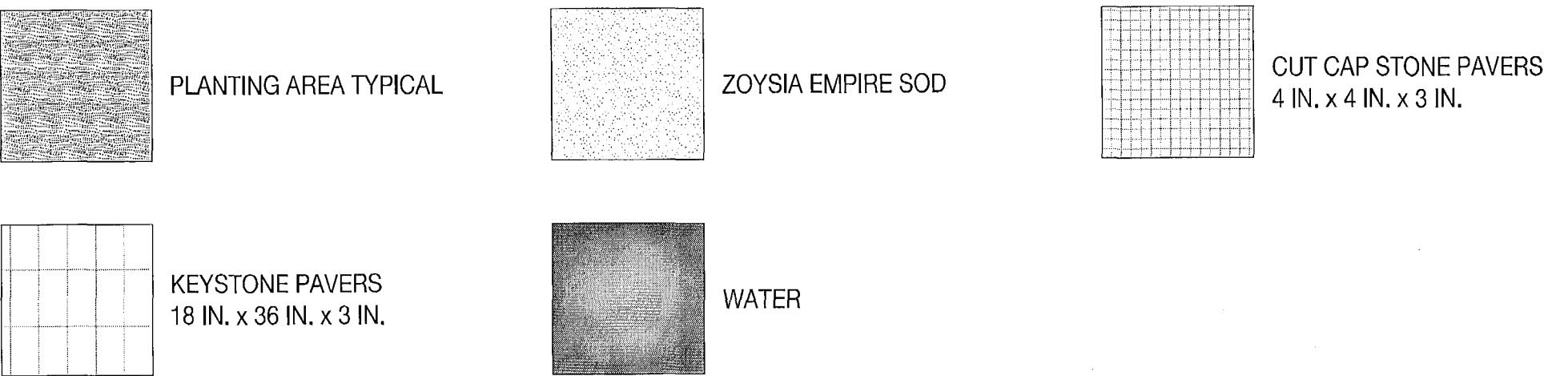


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GROUND LEVEL



MATERIALS LEGEND



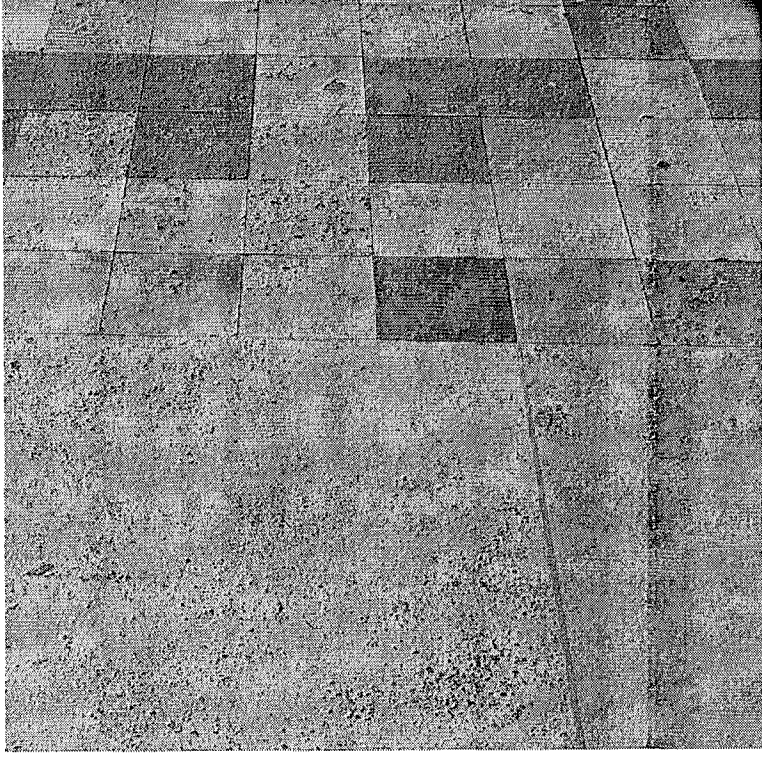
MATERIALS NOTES

- CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.
- ALL CONSTRUCTION AND MATERIALS NOT SPECIFICALLY ADDRESSED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES STANDARDS.
- THE CONTRACTOR SHALL PROVIDE A FULL-SCALE MOCKUP AND RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT FOR ALL SYSTEMS BEFORE BEGINNING CONSTRUCTION OF PAVEMENT.
- EXPANSION JOINTS SHALL BE PROVIDED WHERE FLATWORK MEETS VERTICAL STRUCTURES, SUCH AS WALLS, CURBS, STEPS, AND OTHER HARDSCAPE ELEMENTS. EXPANSION JOINTS SHALL ALSO BE PROVIDED AT MATERIAL CHANGES. EXPANSION JOINT MATERIALS/METHODS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- CONTROL JOINTS SHOULD BE SPACED NO GREATER THAN TEN (10) LINEAR FEET MAXIMUM, UNLESS OTHERWISE SPECIFIED. EXPANSION JOINTS SHOULD BE SPACED NO GREATER THAN FORTY (40) LINEAR FEET MAXIMUM, UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL ADVISE ON OTHER JOINTS AS NEEDED TO MINIMIZE CRACKING. THIS INFORMATION SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- CONTROL JOINTS SHALL BE PROVIDED AS SPECIFIED IN THE CONTRACT DOCUMENTS. CONTROL JOINT MATERIALS, METHODS AND RECOMMENDATIONS ON ADDITIONAL CONTROL JOINTS TO MINIMIZE CRACKING SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- ALL STEPS SHALL HAVE TWELVE (12) INCH TREADS AND SIX (6) INCH RISERS, UNLESS OTHERWISE SPECIFIED.
- HOLD TOP OF WALLS AND FENCES LEVEL, UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL NOT INSTALL WORK LOCATED ON TOP OF ARCHITECTURAL STRUCTURES WITHOUT FIRST REVIEWING ARCHITECTURAL DRAWINGS.
- SAMPLES OF SPECIFIED MATERIALS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING FOR JOB.



KEYSTONE PAVERS

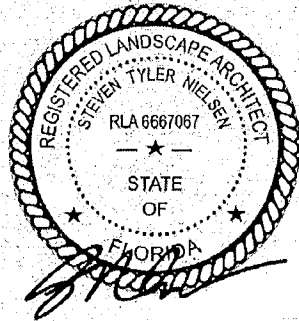
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FINISH: SAW CUT
DIMENSIONS: 18 IN. x 36 IN. x 2 IN.
SOURCE: SUTTON BRICK & STONE



CUT CAP STONE

COLOR: NA
FINISH: SAND BLAST
DIMENSIONS: 4 IN. x 4 IN. x 3 IN.
SOURCE: SUTTON BRICK & STONE

SEAL (S TYLER NIELSEN - LA6667067)



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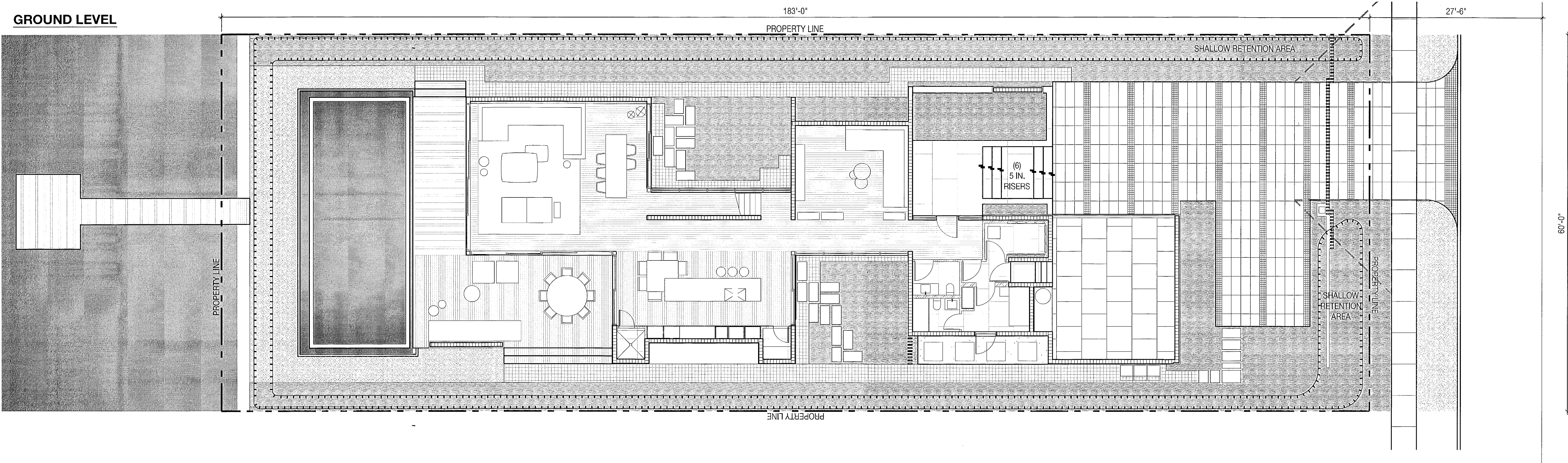
MATERIALS PLAN & NOTES

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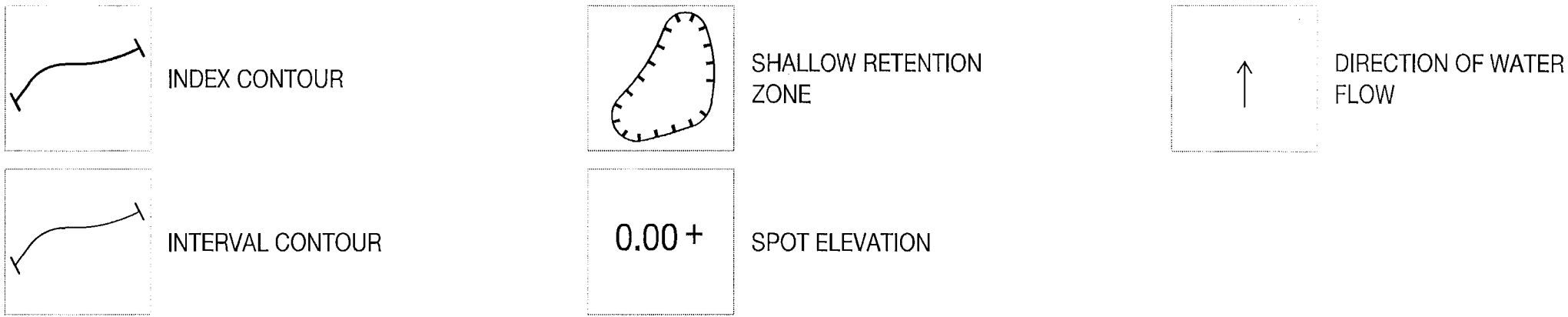
GROUND LEVEL



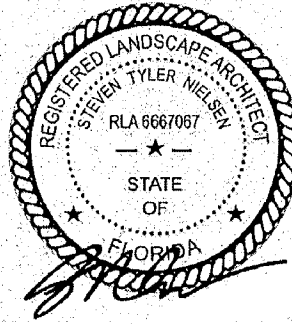
GRADING NOTES

1. VERIFY EXISTING ELEVATIONS PRIOR TO STARTING WORK. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. EXISTING AND PROPOSED GRADES ARE BASED ON SURVEY DOCUMENTS PREPARED BY SURVEYOR.
2. CONTRACTOR SHALL VERIFY THE PLACEMENT OF FLATWORK PENETRATIONS TO ENSURE COORDINATION OF SURFACE FIXTURES, SUCH AS DRAINS AND LIGHTS. NOTIFY GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT OF DISCREPANCIES PRIOR TO CONSTRUCTION OF FLATWORK.
3. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS TO VERIFY FINISHED FLOOR ELEVATIONS. THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED IF THERE ARE ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL REFER TO THE MECHANICAL DRAWINGS TO VERIFY DRAIN LOCATIONS OVER STRUCTURE. THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL REFER TO THE CIVIL ENGINEERING DRAWINGS TO VERIFY UTILITY AND OTHER DRAIN LOCATIONS. THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
6. PROPOSED ELEVATIONS INDICATED ON DRAWINGS ARE FINISHED GRADE ELEVATIONS. THE CONTRACTOR SHALL DIRECT ROUGH GRADE WORK TO ALLOW FOR SUFFICIENT TOPSOIL AND OTHER FINISHED CONDITIONS AS DESCRIBED IN THE CONTRACT DOCUMENTS.
7. ALL FINISHED GRADES SHALL MEET AND BLEND SMOOTHLY WITH EXISTING GRADES AT THE PROJECT LIMIT.
8. ALL FINISHED GRADES SHALL BE WITHOUT LOW SPOTS OR POCKETS. CONTRACTOR SHALL SET FLOW LINES ACCURATELY AND PROVIDE A MINIMUM OF TWO (2) PERCENT OR MAXIMUM OF FIFTY (50) PERCENT, UNLESS OTHERWISE NOTED.
9. ALL FINISHED GRADES SHALL PRESENT SMOOTH TRANSITIONS BETWEEN TOES AND TOPS OF SLOPES.
10. THE MAXIMUM SLOPE OF SOD TO BE 3:1 IN AREAS DESIGNATED AS "LAWN," UNLESS OTHERWISE NOTED.
11. ALL MANHOLES, VALVE BOXES, UTILITY BOXES AND PEDESTALS, AND OTHER APPURTENANCES SHALL BE ADJUSTED TO FINISH GRADE IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES OR UTILITY RULES AND REGULATIONS, UNLESS OTHERWISE NOTED.
12. SOIL COMPACTION BENEATH PAVEMENTS, STEPS, WALLS AND LIGHT FOUNDATIONS SHALL BE 95% PROCTOR DENSITY MINIMUM, UNLESS OTHERWISE SPECIFIED.
13. GRADING AND EXCAVATION WORK SHALL BE COMPLETED DURING DRY AND NON-FREEZING WEATHER CONDITIONS.
14. THE CONTRACTOR SHALL REMOVE AND STOCKPILE TOPSOIL FOR REUSE ON-SITE. SOIL SHALL BE SCREENED TO REMOVE ROCKS AND BOULDERS.
15. IF STRUCTURAL SOIL IS FOUND ON-SITE, THE CONTRACTOR SHALL REUSE.
16. THE CONTRACTOR SHALL PREVENT SOIL LOSS TO WIND AND WATER EROSION.
17. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
18. THE GENERAL CONTRACTOR SHALL INSTALL & MAINTAIN TEMPORARY DRAINAGE DEVICES DURING CONSTRUCTION.
19. THE CONTRACTOR SHALL VERIFY ALL CONTROL POINTS, FINISH FLOOR ELEVATIONS & PROPOSED SPOT ELEVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO FORMWORK INSTALLATION.
20. SPECIFICATIONS DELINEATED IN GEO-TECH REPORT TAKE PRECEDENCE OVER GRADING PLAN DRAWINGS. INFORM LANDSCAPE ARCHITECT OF DISCREPANCIES.

GRADING LEGEND

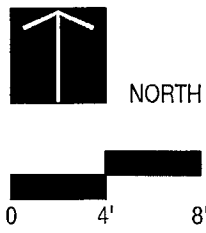


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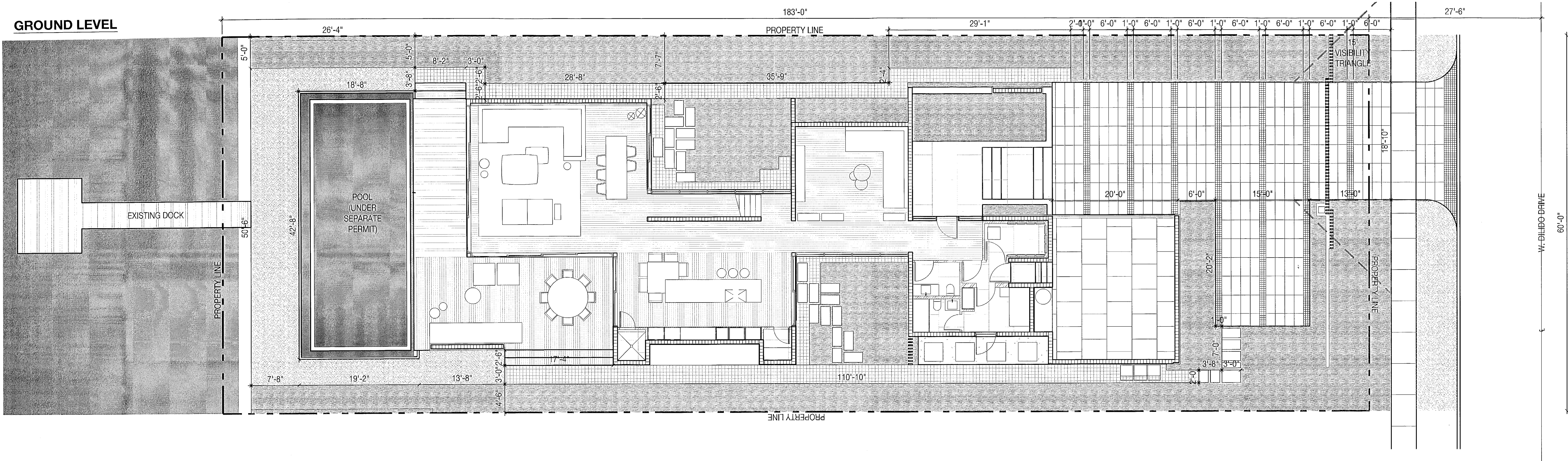


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GRADING PLAN	
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LAYOUT NOTES

- LAYOUT AND VERIFY DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. LANDSCAPE ARCHITECT TO REVIEW AND APPROVE ALL LAYOUTS CONTAINED IN THE CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DIMENSIONS FROM REDUCED DRAWINGS.
- DIMENSIONS REFERRED TO AS "EQUAL" INDICATE SPACING WHICH IS EQUIDISTANT MEASURED TO THE CENTERLINES.
- MEASUREMENTS ARE TO THE FINISHED FACE OF BUILDINGS, WALLS, OR OTHER FIXED SITE IMPROVEMENTS. DIMENSIONS TO CENTERLINES ARE IDENTIFIED AS SUCH.
- INSTALL INTERSECTING ELEMENTS AT 90-DEGREE ANGLES, UNLESS OTHERWISE INDICATED. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS INDICATED IN CONTRACT DOCUMENTS.
- SPECIAL CONSIDERATION IS GIVEN TO THE DESIGN AND INTENDED RELATIONSHIP BETWEEN ARCHITECTURE, PLANTING AREAS AND PAVING SYSTEMS. PAVEMENT JOINTING, PAVERS, STONE, FINISHES AND GRADES HAVE BEEN STRICTLY COORDINATED IN THE CONTRACT DOCUMENTS. CONSTRUCTION OF THESE SYSTEMS SHALL BE STRICTLY COORDINATED.

MIAMI BEACH
REVIEWED FOR
CODE COMPLIANCE

NIELSEN
landscape architects

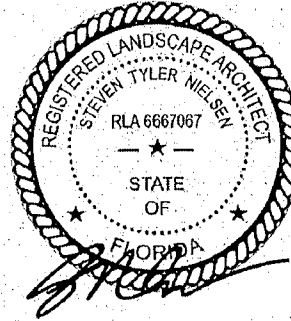
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SEBAG GARDEN

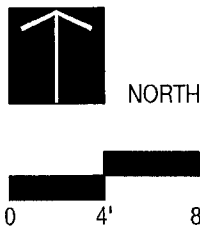
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