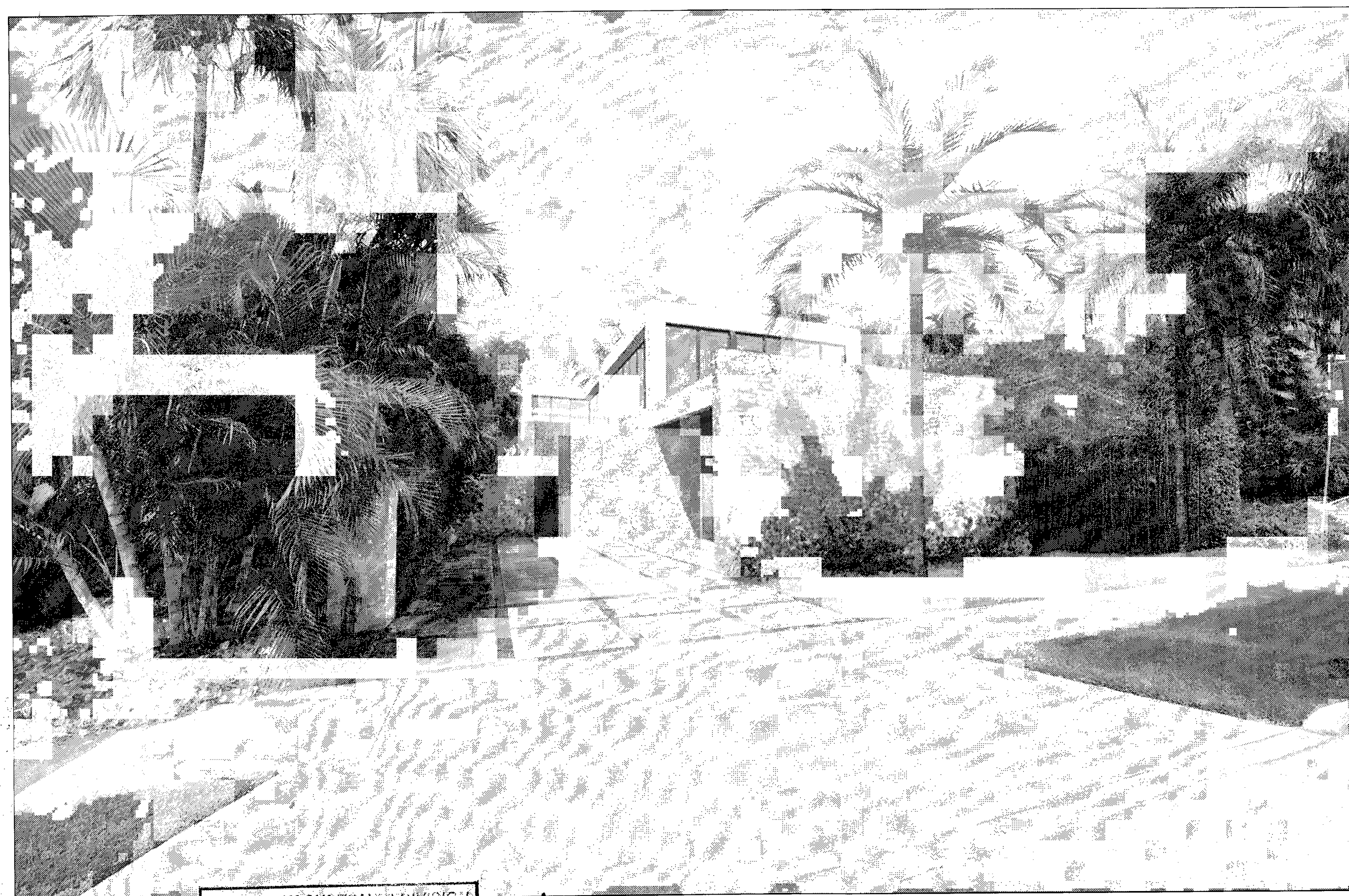


808 WEST DILIDO DRIVE



WASD NEW CUSTOMER DIVISION  
Reviewed by Bridges  
Initial \_\_\_\_\_ Date 1-20-14  
VERIFICATION FORM  
Required ☒ Not Required ☐  
ORD. LETTER 89-35  
Required ☒ Not Required ☐  
OTHER 2014/1401

**choeff** + **levy p.a.**  
architecture interior design

www.choefflevy.com  
AR0009679 AR0094779

Phone: 305.434.8338  
Fax: 305.892.5292

EMMANUEL SEBAG  
808 W. DILIDO DRIVE  
MIAMI BEACH, FL 33139  
(305) 319-9979 (m)

808 WEST DILIDO DR. MIAMI BEACH, FL 33139

PUBLIC WORKS  
PLANNING & DESIGN

Phone 305-673-7090 Fax 305-673-7028

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR  
OBTAINING BUILDING PERMITS ONLY.

All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit not to state of construction.

Permit Requirements: Part of obtaining sidewalk/street area conditions (pictures) and/or possibly other permits may be required.  
(Public Works Inspection will require a photo or required prior to final sign-off on the C.C.P.D. or State Records of work.)

Approved/Reviewed by: [Signature] Date: 3/24/11

MIAMI BEACH, FLORIDA

ROAD X FIRE SCHOOL  
IMPACT FEE PAID  
FEB 19 2014  
MIAMI-DADE COUNTY

25  
2


**DERM**  
**PLAN REVIEW**  
**FINAL**  
**APPROVAL**

DEPARTMENT OF ENVIRONMENTAL  
RESOURCES MANAGEMENT

CORE REVIEWER (PRINT): Miguel de Amorim  
CD

SIGNATURE \_\_\_\_\_ DATE 1-30-2014

BUILDING: 315/14  
ZONING: F-33014  
PLUMBING: 023/05/14  
ELECTRICAL: 3-6/4  
MECHANICAL: 1/11/14 POR. L6  
FIRE PREVENTION: 03/05/14  
FLOOD: 02/24/14  
PUBLIC WORKS: 12/18/14  
STRUCTURAL: 12/18/14  
ELEVATOR: \_\_\_\_\_

  
 Derm Number: 2013-1127-1317-1123  
 Contact Name: TANIA RAHMER  
 Contact Phone: (305) 303-0029  
 Folio: 02-3232-011-0490  
 Project Name: SEBORG - DILIDO RESIDENC  
 Date Received: 11/27/2013  
 Date:

comm no.  
**1241**

date:  
09-30-13

revised:

sheet no.

COVER

NOV 06 20



B1400835

# SEBAG RESIDENCE

808 WEST DILIDO DRIVE

MIAMI BEACH, FLORIDA



## CLIENT

EMMANUEL SEBAG  
808 WEST DILIDO DRIVE  
MIAMI BEACH, FL 33139

## ARCHITECT

CHOEFF + LEVY P.A.  
8425 BISCAYNE BLVD. SUITE 201  
MIAMI, FL 33138  
(305) 434-8338

## STRUCTURAL ENGINEER

MANUEL I. ORTEGA P.E.  
360 MERIDIAN AVE SUITE #3C  
MIAMI BEACH, FL 33139  
(786) 419-2853

## MEP ENGINEER

VIDAL & ASSOCIATES INC.  
2234 N.E. 2nd AVE  
MIAMI, FL 33137  
(305) 571-1860

## LANDSCAPE ARCHITECTURE

CHRISTOPHER CAWLEY LANDSCAPE  
ARCHITECTURE LLC  
780 NE 79th STREET SUITE 1106  
MIAMI, FL 33138  
(305) 979-1585  
LC 26000460

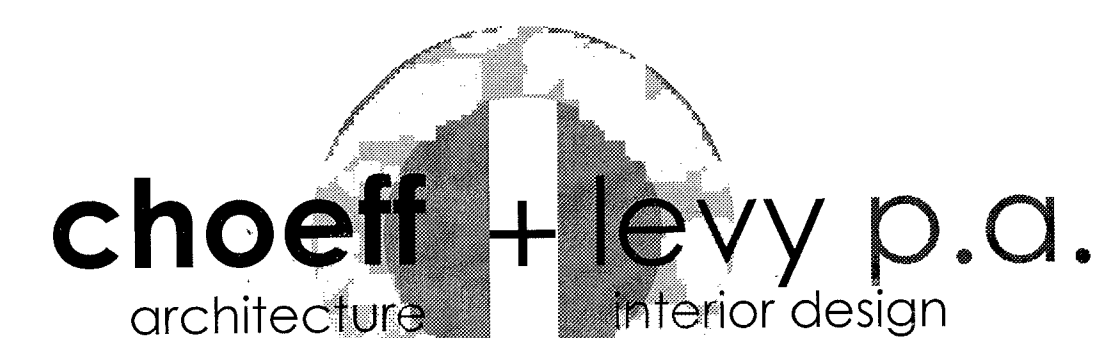
## CIVIL ENGINEER

HOLLAND ENGINEERING  
3900 HOLLYWOOD BLVD. SUITE 303  
HOLLYWOOD, FL 33021  
(954) 367-0371  
REG. #16036

## 24 HOUR EMERGENCY CONTACT

EMMANUEL SEBAG  
808 W. DILIDO DRIVE  
MIAMI BEACH, FL 33139  
(305) 319-9979 (m)

Miami Beach Building Department	
NOTICE - A separate permit is required for the indicated items:	
Awnings	
Doors/Windows	✓
Docks/Piers/Seawalls	
Elevators	
Generators	✓
Kitchen hoods	
Roofing/Waterproofing	✓
Shutters/Flood Panels	
Pool/Spas/Water Features	
Pool deck	✓
Pool	✓
Pool	✓



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## DILIDO RESIDENCE

808 WEST DILIDO DR. MIAMI BEACH, FL 33139

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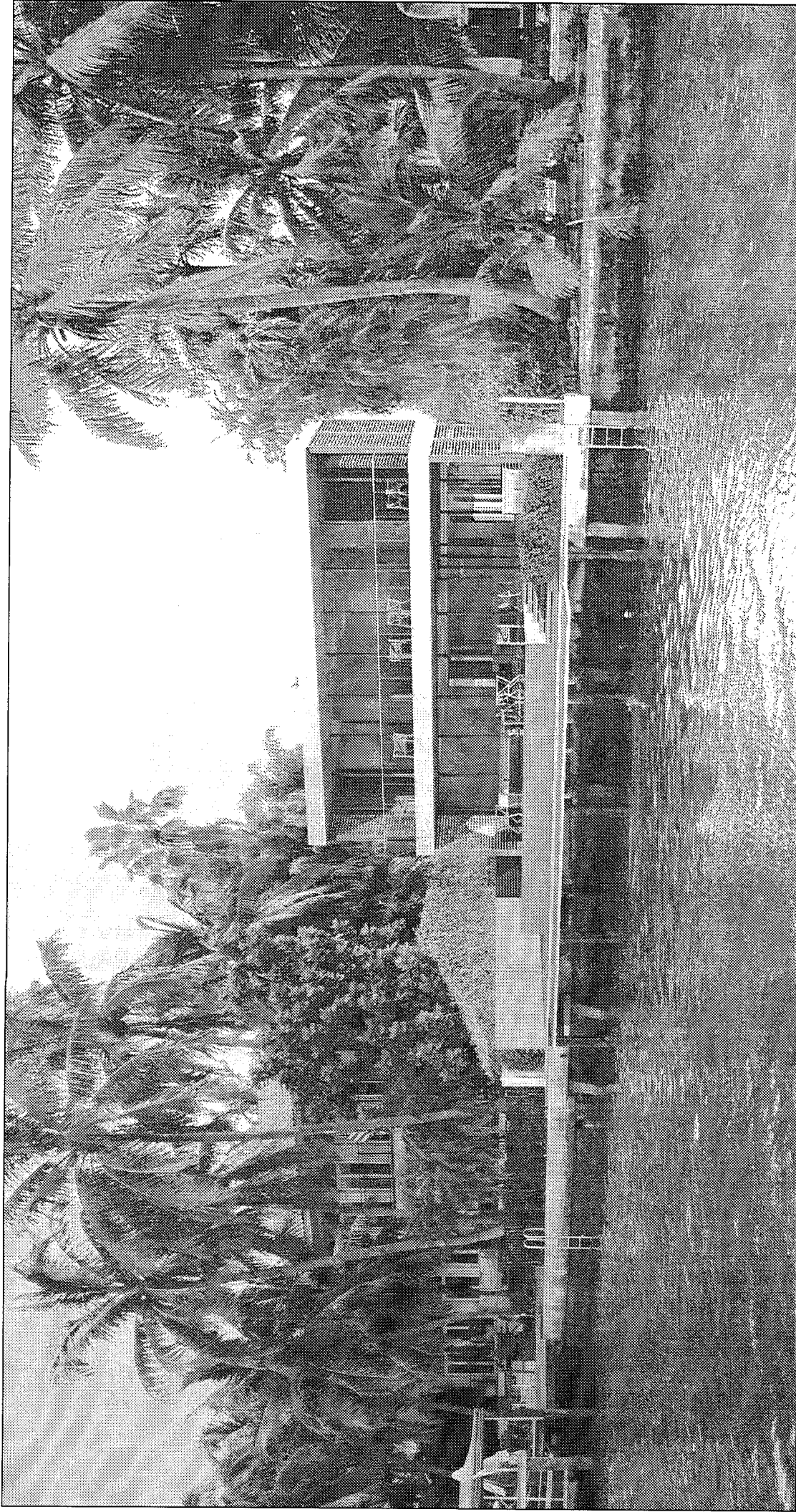
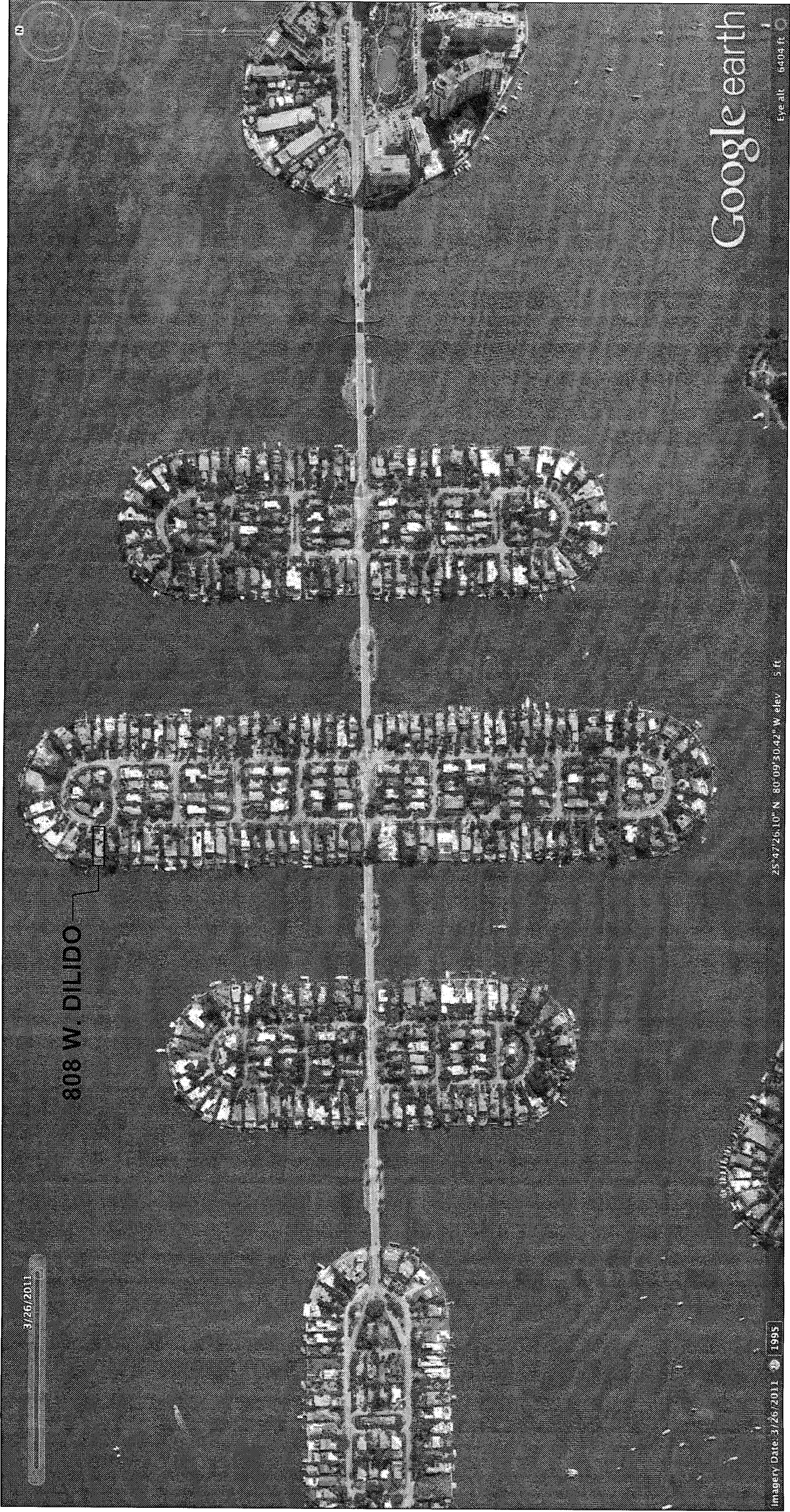
OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

BUILDING:	
ZONING:	
PLUMBING:	
ELECTRICAL:	
MECHANICAL:	
FIRE PREVENTION:	
FLOOD:	
PUBLIC WORKS:	
STRUCTURAL:	
ELEVATOR:	



SEBAG RESIDENCE

808 WEST DILIDO DRIVE



MIAMI BEACH, FLORIDA

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DILIDO RESIDENCE

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INDEX

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choeff + levy p.a.  
interior design  
architecture



PERMIT NOTES

1. ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. RESIDENTIAL 2010.

2. ROOFING, WATERPROOFING, RAILINGS, POOL, POOL DECKS, PAVERS, FENCES & GATES, CASCADING WATER FEATURES, GENERATOR, HORIZ. ROLLING GATES, FIREPLACE, GARAGE DOOR, EXTERIOR DOORS & WINDOWS ARE UNDER SEPARATE PERMIT.

SITE WORK NOTES

1. CONTRACTOR SHALL FIELD VERIFY, PRIOR TO CONSTRUCTION, THAT ALL SETBACKS ARE MET AS PER SITE PLAN AND THAT RESIDENCE AND ITS AMENITIES SIT ON SITE EXACTLY AS PER SITE PLAN.
2. ALL CONCRETE SLABS ON GRADE WITH ENCLOSED AIR CONDITIONED SPACES ABOVE ARE TO HAVE A 6 MIL POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" PLACED BETWEEN THE BOTTOM OF SLAB & THE BASE COURSE OR PREPARED SUBGRADE
3. EXISTING SEAWALL TO BE REPAIRED AS NECESSARY - BY OTHERS / UNDER SEPARATE PERMIT
4. ALL DRAINAGE SHALL BE MAINTAINED ON PROPERTY & SHALL NOT DRAIN INTO NEIGHBORING PROPERTIES
5. TERMITE PROTECTION SHALL BE PROVIDED BY FLORIDA REGISTERED TERMITICIDES OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION

SOIL SHALL BE TERMITE TREATED PRIOR TO CONSTRUCTION

CONTRACTOR SHALL POST A WEATHER RESISTANT JOB BOARD TO RECEIVE DUPLICATE TREATMENT CERTIFICATES & SHALL DISPLAY PRODUCT USED IDENTITY OR APPLICATOR, TIME & DATE OF TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION & NUMBER OF GALLONS USED

LIFE SAFETY NOTES

1. ALL INTERIOR GLAZING CALLED OUT FOR IN THESE PLANS IS TO BE CATEGORY II SAFETY GLASS AS PER FBC RESIDENTIAL 2007 SECTION 2406
2. HANDRAILS SHALL BE CONSTRUCTED FOR A CONCENTRATED LOAD OF 200 LBS. APPLIED AT ANY POINT IN ANY DIRECTION - HANDRAILS MUST TERMINATE INTO WALL OR POST - HANDRAILS MUST COMPLY WITH FBC R311.5.6 - SHOP DRAWINGS TO BE PROVIDED BY RAIL MFR. (SEE DETAIL 1 / SHEET A-13)
3. GAUDDRAILS TO BE 3'-6" HIGH ABOVE FINISHED FLOOR - RAILING SHALL NOT ALLOW PASSAGE OF A 4" Ø SPHERE, TYP. 6" Ø AT TRIANGULAR OPENINGS FORMED BY TREAD, RISER AND BOTTOM RAIL OF RAILING AT STAIR. RAILING SHALL BE CONSTRUCTED TO RESIST A CONCENTRATED LOAD OF 200 LBS. APPLIED AT ANY POINT IN ANY DIRECTION - MFR. TO PROVIDE SHOP DRAWINGS PRIOR TO MANUFACTURING FOR ARCHITECT'S & BUILDING DEPT'S. APPROVALS - RAILS TO COMPLY WITH FBC R312 & R4403.7.3
4. GLASS RAILINGS TO BE CLEAR SEAMLESS TEMPERED SAFETY GLASS (PROVIDE IMPACT GLASS AT ALL EXTERIOR LOCATIONS) RAILINGS MANUFACTURER TO SUBMIT SHOP DRAWINGS FOR APPROVAL UNDER SEPARATE PERMIT.
5. ANY OPENINGS IN RAILING OR BETWEEN RAILING & STRUCTURE ARE TO REJECT A 4" Ø SPHERE & BOTTOM 6" OF RAILING IS TO REJECT A 2" Ø SPHERE

CONSTRUCTION NOTES

1. ALL CONCRETE SLAB EDGES & BEAMS SUPPORTING EXTERIOR WALLS SHALL BE RECESSED ¾" BELOW TOP OF SLAB FOR A WIDTH OF THE EXTERIOR WALL
2. ALL SLAB & BEAM PENETRATIONS ARE TO BE SLEEVED
3. COORDINATE WITH ELECTRICAL, AV & LOW VOLTAGE DRAWINGS PRIOR TO FORMING OR POURING CONCRETE SLABS, WALLS OR COLUMNS. PROVIDE FOR EMBEDMENTS OF LIGHT FIXTURES & SPEAKERS AS PER MFR. SPEC'S.
4. TYPICAL EXTERIOR WALL CONSTRUCTION TO BE 8" CONCRETE BLOCK w/STUCCO ON EXTERIOR & 5/8" G.W.B. ON ½" METAL HI-HAT FURRING @ 16" O.C. ON INTERIOR - PROVIDE AL-FOIL INSULATION MIN. R=5 (SEE MECHANICAL SPECIFICATIONS). PROVIDE HORIZONTAL FIRE BLOCKING EVERY 8'-0" OF WALL TO COMPLY w/SECTION 4403.12 OF THE F.B.C. RESIDENTIAL.
5. ALL INTERIOR PARTITIONS TO BE ½"x3¾" MTL. STUDS (OR 2x4 WOOD STUDS) @ 16" O.C. FACED w/ 5/8" G.W.B. - PROVIDE HORIZONTAL FIRE BLOCKING EVERY 8'-0" OF WALL TO COMPLY w/SECTION 4403.12 OF THE F.B.C. RESIDENTIAL.
6. PROVIDE FULL, THICK, BATT SOUND INSULATION AT ALL INTERIOR PARTITIONS SHOWN ON FLOOR PLANS.
7. ALL INTERIOR PARTITIONS AT ALL WALL HUNG CABINET LOCATIONS PROVIDE (2) 2"x6" OR (2) 2"x4" WOOD MEMBERS BACKING TO COMPLY w/SECTION 2318.115.1 FBC
8. STEEL STUDS SUPPORTING WALL HUNG PLUMBING FIXTURES SHALL BE DOUBLED OR NOT LESS THAN 20 GAUGE WITH A MINIMUM EFFECTIVE MOMENT OF INERTIA EQUAL TO 0.864" - FBC R4411.4.5.1
9. PROVIDE CEMENT BOARD IN LIEU OF GYPSUM WALL BOARD AT ALL PARTITIONS LOCATED IN WET AREAS
10. ALL DROPPED CEILINGS TO BE 1/2" G.W.B. ON 1½"x1½" 20 GAUGE METAL STUDS @ 16" O.C. - PROVIDE BATT INSULATION (MIN. R-30) AT ALL 2nd. FLOOR CEILINGS
11. PROVIDE A HIGH QUALITY SMOOTH PLASTER / PAINT (WHITE) FINISH AT ALL UNDERSIDE OF FLOOR / ROOF SLABS AT CURTAIN POCKET LOCATIONS WITHOUT A DROPPED CEILING
12. ALL POOL & SPA TO BE FINISHED WITH DIAMOND-BRITE, COLOR TO BE SELECTED BY OWNER (UNDER SEPARATE PERMIT).
13. ALL ELECTRICAL, MECHANICAL & PLUMBING EQUIPMENT IS TO BE ABOVE BASE FLOOD ELEVATION (+3'-0" NGVD)
14. ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION (+3'-0" NGVD) MUST BE FLOOD-DAMAGE-RESISTANT MATERIAL AS PER FEMA TECHNICAL BULLETIN 2/2008.
15. ALL ROOFS & OVERHANGS ARE TO BE FINISHED WITH 'SOPREMA' WATERPROOFING OR OTHER APPROVED EQUIVALENT AS PER MANUFACTURER SPECIFICATIONS, PROVIDE SEALANT & PRIMER (UNDER SEPARATE PERMIT)
16. ANY AIR EXHAUST AND INTAKE OPENINGS WHICH TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS OR GRILLES WITH OPENINGS BETWEEN ¼" AND ½" AS PER F.B.C. R303.5
17. PROVIDE SMOKE ALARMS (DETECTORS) ON EACH SLEEPING ROOM, IMMEDIATE VICINITY OF SLEEPING AREAS, AND ON EACH ADDITIONAL STORY. THEY SHALL BE INTERCONNECTED. FBC R 314. REFER TO M.E.P. DRAWINGS.
18. PROVIDE CARBON MONOXIDE ALARMS FOR BUILDINGS WITH A FIREPLACE AND ATTACHED GARAGE AND FOSSIL FUEL BURNING HEATERS, FIXTURES OR APPLIANCES, LOCATED WITHIN 10 FEET OF ALL SLEEPING AREAS. FBC R 315. REFER TO M.E.P. DRAWINGS.
19. CONTRACTOR SHALL PERFORM AN IMPERMEABILITY TEST ON ALL TERRACES/BALCONIES FOR A PERIOD OF NO LESS THAN 24 HOURS.
20. ALL CONCRETE SLABS ON GRADE OF ENCLOSED AIR CONDITIONED SPACES ARE TO HAVE A 6 MIL POLYETHYLENE OR APPROVED VAPOR BARRIER WITH JOINTS LAPPED NO LESS THAN 6", PLACED BETWEEN THE SLAB & THE BASE COURSE OR PREPARED SUB-GRADE.
21. ALL ROOF DRAINS SHALL BE FULLY SOUND INSULATED.

CLASSIFICATION OF FOR FLOOD-RESISTANT DESIGN AND CONSTRUCTION IS 2.

ALL ENCLOSED AREAS THAT ARE BELOW BASE FLOOD ELEVATION SHALL ONLY BE USED FOR PARKING, BUILDING ACCESS OR STORAGE.

FLOOD OPENINGS SHALL NOT BE LESS THAN 3 INCHES IN ANY DIRECTION IN THE PLANE OF THE WALL.

FLOOD

FINISH NOTES

1. ROOFING: 'SOPREMA' OR OTHER APPROVED EQUIVALENT, WHITE (COORDINATE FINISH COLOR w/ EXTERIOR WALL PAINT COLOR PRIOR TO CONSTRUCTION)
2. EXTERIOR WALL FINISHES: HIGH QUALITY SMOOTH STUCCO FINISH w/CHINA WHITE PAINT (VERIFY SELECTED SOPREMA WATERPROOFING MATCHES)
3. ALL MARBLE - COORDINATE TYPE WITH OWNER (1"-1¼" THICK w/¼" LATICRETE MORTAR)  
  
PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL
4. INTERIOR PAINT FINISHES: BENJAMIN MOORE CHINA WHITE INTERIOR LATEX PAINT. ALL WALL FINISHES TO BE FLAT AND WASHABLE. ALL BASEBOARDS, DOORS, AND TRIMS TO BE SEMI-GLOSS.
5. GARAGE TO RECEIVE BROOM FINISH ON CONCRETE SLAB (GARAGE FLOOR'S SURFACES SHALL BE OF APPROVED NON-COMBUSTIBLE MATERIAL. FBC R 309.1)
6. ALL EXTERIOR DOORS & WINDOWS TO RECEIVE 'BRONZE' ALUMINUM FINISH.
7. ALL KITCHEN CABINETRY, COUNTERTOPS & APPLIANCES BY TO BE COORDINATED w/ OWNER
8. COORDINATE / VERIFY WITH OWNER & INTERIOR DESIGNER FOR ALL LIGHT FIXTURES
9. ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION (+3'-0" NGVD) MUST BE FLOOD-RESISTANT
10. ALL EXTERIOR STEEL COLUMNS TO RECEIVE CLADDING TO MATCH DOORS & WINDOWS
11. THESE SPECIFICATIONS ARE ONLY TO BE USED AS A GUIDE FOR DETERMINING MAXIMUM ALLOWANCES. THE OWNER AND ARCHITECT SHALL BE CONSULTED PRIOR TO FINAL SELECTIONS AND ORDERING OF EACH ITEM SPECIFIED, OR ANY FINISH INVOLVED WITH THIS RESIDENCE.
12. WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273 AS PER F.B.C.R. 302.9
13. INSULATION MATERIALS, FACINGS, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OF UL 273 AS PER F.B.C.R. 302.10

FLOOD-RESISTANT DESIGN NOTES

1. CLASSIFICATION OF STRUCTURE FOR FLOOD-RESISTANT DESIGN AND CONSTRUCTION IS 2.
2. ALL ENCLOSED AREAS THAT ARE BELOW BASE FLOOD ELEVATION SHALL ONLY BE USED FOR PARKING, BUILDING ACCESS OR STORAGE.
3. FLOOD OPENINGS SHALL NOT BE LESS THAN 3 INCHES IN ANY DIRECTION IN THE PLANE OF THE WALL.
4. FLOOD OPENING COVERS SHALL ALLOW THE AUTOMATIC FLOW OF FLOODWATERS INTO AND OUT OF THE ENCLOSED AREA.

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1241

date:  
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B.D. REV.

JAN 20 2014

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NOTES

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808 WEST DILIDO DR. MIAMI BEACH, FL 33139



PERMIT NOTES

1. ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. RESIDENTIAL 2010.

SITE WORK NOTES

2. ROOFING, WATERPROOFING, RAILINGS, POOL, CASCADING WATER FEATURES, GENERATOR, HORIZ. ROLLING GATES, FIREPLACE, GARAGE DOOR, EXTERIOR DOORS & WINDOWS ARE UNDER SEPARATE PERMIT.

1. CONTRACTOR SHALL FIELD VERIFY, PRIOR TO CONSTRUCTION, THAT ALL SETBACKS ARE MET AS PER SITE PLAN AND THAT RESIDENCE AND ITS AMENITIES SIT ON SITE EXACTLY AS PER SITE PLAN.

2. ALL CONCRETE SLABS ON GRADE WITH ENCLOSED AIR CONDITIONED SPACES ABOVE ARE TO HAVE A 6 MIL POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" PLACED BETWEEN THE BOTTOM OF SLAB & THE BASE COURSE OR PREPARED SUBGRADE
3. EXISTING SEAWALL TO BE REPAIRED AS NECESSARY - BY OTHERS / UNDER SEPARATE PERMIT
4. ALL DRAINAGE SHALL BE MAINTAINED ON PROPERTY & SHALL NOT DRAIN INTO NEIGHBORING PROPERTIES
5. TERRITE PROTECTION SHALL BE PROVIDED BY FLORIDA REGISTERED TERRITORIES OR OTHER APPROVED METHODS OF TERRITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION
- SOIL SHALL BE TERRITE TREATED PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL POST A WEATHER RESISTANT JOB BOARD TO RECEIVE DUPLICATE TREATMENT CERTIFICATES & SHALL DISPLAY PRODUCT USED, IDENTITY OR APPLICATOR, TIME & DATE OF TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION & NUMBER OF GALLONS USED

LIFE SAFETY NOTES

1. ALL INTERIOR GLAZING CALLED OUT FOR IN THESE PLANS IS TO BE CATEGORY II SAFETY GLASS AS PER FBC RESIDENTIAL 2007 SECTION 2406

2. HANDRAILS SHALL BE CONSTRUCTED FOR A CONCENTRATED LOAD OF 200 LBS. APPLIED AT ANY POINT IN ANY DIRECTION - HANDRAILS MUST TERMINATE INTO WALL OR POST - HANDRAILS MUST COMPLY WITH FBC R315.6 - SHOP DRAWINGS TO BE PROVIDED BY RAIL MFR. (SEE DETAIL I / SHEET A-13)
3. GAUDDRAILS TO BE 3'-6" HIGH ABOVE FINISHED FLOOR - RAILING SHALL NOT ALLOW PASSAGE OF A 4" SPHERE, TYP. 6" AT TRIANGULAR OPENINGS FORMED BY TREAD, RISER AND BOTTOM RAIL OF RAILING AT STAIR. RAILING SHALL BE CONSTRUCTED TO RESIST A CONCENTRATED LOAD OF 200 LBS. APPLIED AT ANY DIRECTION - MFR. TO PROVIDE SHOP DRAWINGS PRIOR TO MANUFACTURING FOR ARCHITECT'S & BUILDING DEPT'S APPROVALS - RAILS TO COMPLY WITH FBC R312 & R4403.1.3
4. GLASS RAILINGS TO BE CLEAR SEAMLESS TEMPERED SAFETY GLASS (PROVIDE IMPACT GLASS AT ALL EXTERIOR LOCATIONS) RAILINGS MANUFACTURER TO SUBMIT SHOP DRAWINGS FOR APPROVAL UNDER SEPARATE PERMIT.
5. ANY OPENINGS IN RAILING OR BETWEEN RAILING & STRUCTURE ARE TO RESIST A 4" SPHERE & BOTTOM 6" OF RAILING IS TO RESIST A 2" SPHERE

CONSTRUCTION NOTES

1. ALL CONCRETE SLAB EDGES & BEAMS SUPPORTING EXTERIOR WALLS SHALL BE RECESSED ¾" BELOW TOP OF SLAB FOR A WIDTH OF THE EXTERIOR WALL
2. ALL SLAB & BEAM PENETRATIONS ARE TO BE SLEEVED
3. COORDINATE WITH ELECTRICAL, AV & LOW VOLTAGE DRAWINGS PRIOR TO FORMING CONCRETE SLABS, WALLS OR COLUMNS. PROVIDE FOR EMBEDMENTS OF LIGHT FIXTURES & SPEAKERS AS PER MFR. SPEC'S.
4. TYPICAL EXTERIOR WALL CONSTRUCTION TO BE 8" CONCRETE BLOCK w/STUCCO ON EXTERIOR & 5/8" G.W.B. ON ½" METAL LATH FURING @ 16" O.C. ON INTERIOR - PROVIDE AL-FOIL INSULATION MIN. R-5 (SEE MECHANICAL SPECIFICATIONS). PROVIDE HORIZONTAL FIRE BLOCKING EVERY 8'-0" OF WALL TO COMPLY w/SECTION 4409.12 OF THE F.B.C. RESIDENTIAL.
5. ALL INTERIOR PARTITIONS TO BE 1½"x3½" MTL. STUDS (OR 2x4 WOOD STUDS) @ 16" O.C. FACED w/ 5/8" G.W.B. - PROVIDE HORIZONTAL FIRE BLOCKING EVERY 8'-0" OF WALL TO COMPLY w/SECTION 4409.12 OF THE F.B.C. RESIDENTIAL.
6. PROVIDE FULL, THICK BATT SOUND INSULATION AT ALL INTERIOR PARTITIONS SHOWN ON FLOOR PLANS.
7. ALL INTERIOR PARTITIONS AT ALL WALL HUNG CABINET LOCATIONS PROVIDE (2) 2"x6" OR (2) 2"x4" WOOD MEMBERS BACKING TO COMPLY w/SECTION 2310.1B.1 FBC
8. STEEL STUDS SUPPORTING WALL HUNG PLUMBING FIXTURES SHALL BE DOUBLED OR NOT LESS THAN 20 GAUGE WITH A MINIMUM EFFECTIVE MOMENT OF INERTIA EQUAL TO 0.864" - FBC R4414.5.1
9. PROVIDE CEMENT BOARD IN LIEU OF GYPSUM WALL BOARD AT ALL PARTITIONS LOCATED IN WET AREAS
10. ALL DROPPED CEILINGS TO BE 1/2" G.W.B. ON 1½"x1½" 20 GAUGE METAL STUDS @ 16" O.C. - PROVIDE BATT INSULATION (MIN. R-30) AT ALL 2nd, FLOOR CEILINGS
11. PROVIDE A HIGH QUALITY SMOOTH PLASTER / PAINT (WHITE) FINISH AT ALL UNDERSIDE OF FLOOR / ROOF SLABS AT CURTAIN POCKET LOCATIONS WITHOUT A DROPPED CEILING COLOR TO BE SELECTED BY OWNER (UNDER SEPARATE PERMIT)
12. ALL POOL & SPA TO BE FINISHED WITH DIAMOND-BRITE, PERMIT)
13. ALL ELECTRICAL, MECHANICAL & PLUMBING EQUIPMENT IS TO BE ABOVE BASE FLOOD ELEVATION (+9'-0" NGVD)
14. ALL CONSTRUCTION BELOW BASE FLOOD ELEVATION (+9'-0" NGVD) MUST BE FLOOD-DAMAGE-RESISTANT MATERIAL AS PER FEMA TECHNICAL BULLETIN 272002.
15. ALL ROOFS & OVERHANGS ARE TO BE FINISHED WITH "SOPREMA" WATERPROOFING OR OTHER APPROVED EQUIVALENT AS PER MANUFACTURER SPECIFICATIONS, PROVIDE SEALANT + PRIMER (UNDER SEPARATE PERMIT)
16. ANY AIR EXHAUST AND INTAKE OPENINGS WHICH TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS OR GRILLES WITH OPENINGS BETWEEN ¼" AND ½" AS PER F.B.C. R303.5
17. PROVIDE SMOKE ALARMS (DETECTORS) ON EACH SLEEPING ROOM, IMMEDIATE VICINITY OF SLEEPING AREAS, AND ON EACH ADDITIONAL STORY. THEY SHALL BE INTERCONNECTED. FBC R314. REFER TO M.F.P. DRAWINGS.
18. PROVIDE CARBON MONOXIDE ALARMS FOR BUILDINGS WITH A FIREPLACE AND ATTACHED GARAGE AND FOSBIL FUEL BURNING HEATERS, FIXTURES OR APPLIANCES, LOCATED WITHIN 10 FEET OF ALL SLEEPING AREAS. FBC R316. REFER TO M.F.P. DRAWINGS.
19. CONTRACTOR SHALL PERFORM AN IMPERMEABILITY TEST ON ALL TERRACES/BALCONIES FOR A PERIOD OF NO LESS THAN 24 HOURS.
20. ALL CONCRETE SLABS ON GRADE OF ENCLOSED AIR CONDITIONED SPACES ARE TO HAVE A 6 MIL POLYETHYLENE OR APPROVED VAPOR BARRIER WITH JOINTS LAPPED NO LESS THAN 6", PLACED BETWEEN THE SLAB & THE BASE COURSE OR PREPARED SUB-GRADE.
21. ALL ROOF DRAIN SHALL BE FULLY SOUND INSULATED.

FINISH NOTES

1. ROOFING: "SOPREMA" OR OTHER APPROVED EQUIVALENT, WHITE (COORDINATE FINISH COLOR w/ EXTERIOR WALL PAINT COLOR PRIOR TO CONSTRUCTION)
2. EXTERIOR WALL FINISHES: HIGH QUALITY SMOOTH STUCCO FINISH w/CHINA WHITE PAINT (VERIFY SELECTED SOPREMA WATERPROOFING MATCHES)
3. ALL LMRBLE - COORDINATE TYPE WITH OWNER (1"-1½" THICK w/½" LATIcrete MORTAR)
- PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL
4. INTERIOR PAINT FINISHES: BENJAMIN MOORE CHINA WHITE INTERIOR LATEX PAINT. ALL WALL FINISHES TO BE FLAT AND WASHABLE. ALL BASEBOARDS, DOORS, AND TRIMS TO BE SEMI-GLOSS.
5. GARAGE TO RECEIVE BROOM FINISH ON CONCRETE SLAB (GARAGE FLOORS SURFACES SHALL BE OF APPROVED NON-COMBUSTIBLE MATERIAL. FBC R 309.1)
6. ALL EXTERIOR DOORS & WINDOWS TO RECEIVE "BRONZE" ALUMINUM FINISH.
7. ALL KITCHEN CABINETS, COUNTERTOPS & APPLIANCES BY TO BE COORDINATED w/ OWNER
8. COORDINATE / VERIFY WITH OWNER & INTERIOR DESIGNER FOR ALL LIGHT FIXTURES
9. ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION (+9'-0" NGVD) MUST BE FLOOD-RESISTANT
10. ALL EXTERIOR STEEL COLUMNS TO RECEIVE CLADDING TO MATCH DOORS & WINDOWS
11. THESE SPECIFICATIONS ARE ONLY TO BE USED AS A GUIDE FOR DETERMINING MAXIMUM ALLOWANCES. THE OWNER AND ARCHITECT SHALL BE CONSULTED PRIOR TO FINAL SELECTIONS AND ORDERING OF EACH ITEM SPECIFIED, OR ANY FINISH INVOLVED WITH THIS RESIDENCE.
12. WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 213 AS PER F.B.C.R. 302.9
13. INSULATION MATERIALS, FACINGS, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OF UL 213 AS PER F.B.C.R. 302.10

12. WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 213 AS PER F.B.C.R. 302.9
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20. ALL CONCRETE SLABS ON GRADE OF ENCLOSED AIR CONDITIONED SPACES ARE TO HAVE A 6 MIL POLYETHYLENE OR APPROVED VAPOR BARRIER WITH JOINTS LAPPED NO LESS THAN 6", PLACED BETWEEN THE SLAB & THE BASE COURSE OR PREPARED SUB-GRADE.
21. ALL ROOF DRAIN SHALL BE FULLY SOUND INSULATED.

1. ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. RESIDENTIAL 2010.
2. ROOFING, WATERPROOFING, RAILINGS, POOL, CASCADING WATER FEATURES, GENERATOR, HORIZ. ROLLING GATES, FIREPLACE, GARAGE DOOR, EXTERIOR DOORS & WINDOWS ARE UNDER SEPARATE PERMIT.
3. EXISTING SEAWALL TO BE REPAIRED AS NECESSARY - BY OTHERS / UNDER SEPARATE PERMIT
4. ALL DRAINAGE SHALL BE MAINTAINED ON PROPERTY & SHALL NOT DRAIN INTO NEIGHBORING PROPERTIES
5. TERRITE PROTECTION SHALL BE PROVIDED BY FLORIDA REGISTERED TERRITORIES OR OTHER APPROVED METHODS OF TERRITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION
- SOIL SHALL BE TERRITE TREATED PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL POST A WEATHER RESISTANT JOB BOARD TO RECEIVE DUPLICATE TREATMENT CERTIFICATES & SHALL DISPLAY PRODUCT USED, IDENTITY OR APPLICATOR, TIME & DATE OF TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION & NUMBER OF GALLONS USED

2. ALL CONCRETE SLABS ON GRADE WITH ENCLOSED AIR CONDITIONED SPACES ABOVE ARE TO HAVE A 6 MIL POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" PLACED BETWEEN THE BOTTOM OF SLAB & THE BASE COURSE OR PREPARED SUBGRADE
3. EXISTING SEAWALL TO BE REPAIRED AS NECESSARY - BY OTHERS / UNDER SEPARATE PERMIT
4. ALL DRAINAGE SHALL BE MAINTAINED ON PROPERTY & SHALL NOT DRAIN INTO NEIGHBORING PROPERTIES
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1. ALL INTERIOR GLAZING CALLED OUT FOR IN THESE PLANS IS TO BE CATEGORY II SAFETY GLASS AS PER FBC RESIDENTIAL 2007 SECTION 2406

2. HANDRAILS SHALL BE CONSTRUCTED FOR A CONCENTRATED LOAD OF 200 LBS. APPLIED AT ANY POINT IN ANY DIRECTION - HANDRAILS MUST TERMINATE INTO WALL OR POST - HANDRAILS MUST COMPLY WITH FBC R315.6 - SHOP DRAWINGS TO BE PROVIDED BY RAIL MFR. (SEE DETAIL I / SHEET A-13)
3. GAUDDRAILS TO BE 3'-6" HIGH ABOVE FINISHED FLOOR - RAILING SHALL NOT ALLOW PASSAGE OF A 4" SPHERE, TYP. 6" AT TRIANGULAR OPENINGS FORMED BY TREAD, RISER AND BOTTOM RAIL OF RAILING AT STAIR. RAILING SHALL BE CONSTRUCTED TO RESIST A CONCENTRATED LOAD OF 200 LBS. APPLIED AT ANY DIRECTION - MFR. TO PROVIDE SHOP DRAWINGS PRIOR TO MANUFACTURING FOR ARCHITECT'S & BUILDING DEPT'S APPROVALS - RAILS TO COMPLY WITH FBC R312 & R4403.1.3
4. GLASS RAILINGS TO BE CLEAR SEAMLESS TEMPERED SAFETY GLASS (PROVIDE IMPACT GLASS AT ALL EXTERIOR LOCATIONS) RAILINGS MANUFACTURER TO SUBMIT SHOP DRAWINGS FOR APPROVAL UNDER SEPARATE PERMIT.
5. ANY OPENINGS IN RAILING OR BETWEEN RAILING & STRUCTURE ARE TO RESIST A 4" SPHERE & BOTTOM 6" OF RAILING IS TO RESIST A 2" SPHERE

comm no. 1241

date: 09-30-2013

revised:

NOTES

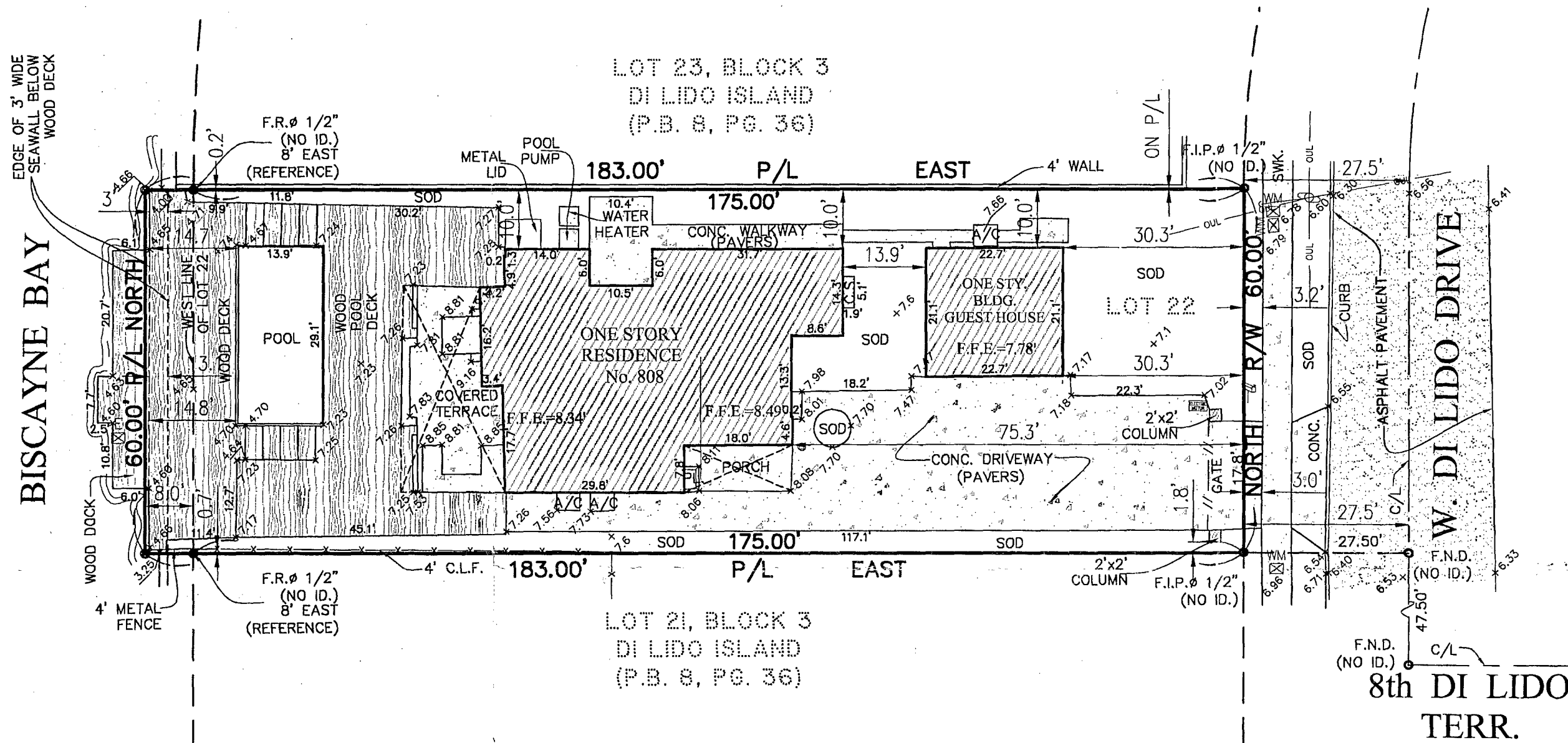
choeff + levy p.a.  
architects  
8425 biscayne Blvd, suite 201  
miami, florida 33138  
www.choefflevypa.com  
AR0009579 AR0094779  
Phone: 305.434.8338  
Fax: 305.892.5292

DILIDO RESIDENCE  
806 WEST DILIDO DR. MIAMI BEACH, FL 33139

09-30-2013

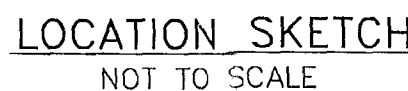


## EMMANUEL SEBAG

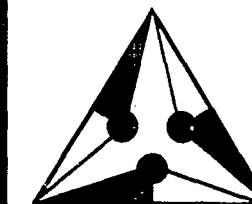


A	Arc Length
A/C	Air Conditioner Pad
ASPH.	Asphalt
B.M.	Benchmark
C.B.S.	Concrete Block Structure
C.G.	Curb & Cutter
C/L	Center Line
C.L.F.	Chain Link Fence
CONC.	Concrete
C.S.	Concrete Slab
DWY.	Driveway
E.T.P.	Electric Transformer Pad
F.F.E.	Finished Floor Elevation
F.I.P.	Found Iron Pipe
F.N.D.	Found Nail & Disc
F.R.	Found Rebar
I.D.	Identification
INV.	Inverts
L.F.E.	Lowest Floor Elevation
M/L	Monument Line
(P)	Plot
(M)	Measured
P.B.	Plot Book
P.C.P.	Permanent Control Point
PG.	Page
PL	Planter
P/L	Property Line
P.O.B.	Point of Beginning
P.O.C.	Point of Commencement
P.R.M.	Permanent Reference Monument
R/W	Right-of-Way Line
SWK.	Sidewalk
T.B.M.	Temporary Benchmark
V.G.	Valley Gutter
(TYP.)	Typical
P/S	Parking Spaces
W.F.	Wood Fence

■ CLP	Concrete Light Pole	⊙	Unknown Manhole
★ MLP	Metal Light Pole	⊗	Sewer Valve
—	Guy Wire	Ⓜ	Mail Box
Ⓢ	Utility Power Pole	+10.00	Spot Elevation
Ⓢ	Fire Hydrant	△	Temporary Benchmark
WM	Water Meter	1.5'–15'–10'	Diameter–Height–Spread
E	Electric Box	———	Right-of-Way Lines
ⓧ	Telephone Box	⊙	Property Corner
Ⓢ	Sewer Manhole	—	Traffic Sign
—OUL—	Overhead Utility Lines	▢	Catch Basin
★ LP	Light Pole	Ⓢ	Drainage Manhole
Ⓢ	Gas Valve	— // —	Wood Fence
WV	Water Valve	— ○ —	Iron Fence
Ⓢ	Water Manhole	▨	C.B.S. Wall
ⓧ	Telephone Manhole	Ⓢ	Clean Out
Ⓢ	Monitoring Well	●	Guard Pole
Ⓢ	Parking Meter	— x —	Chain Link Fence



Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.



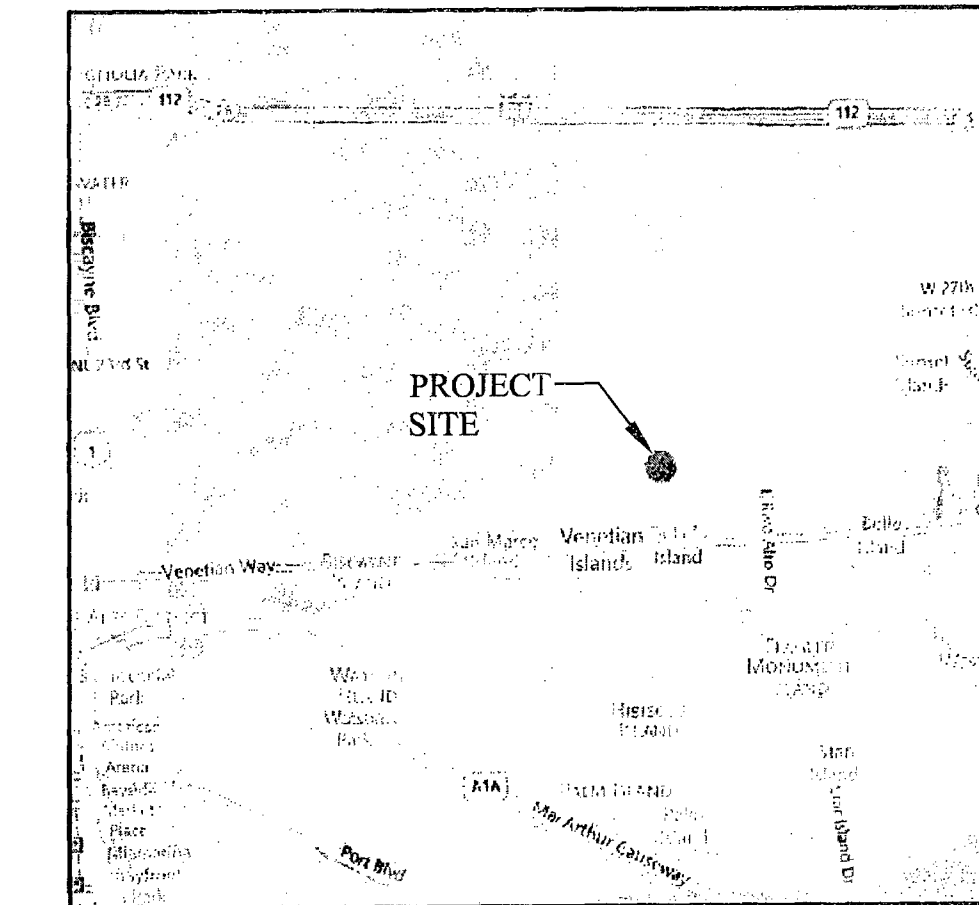
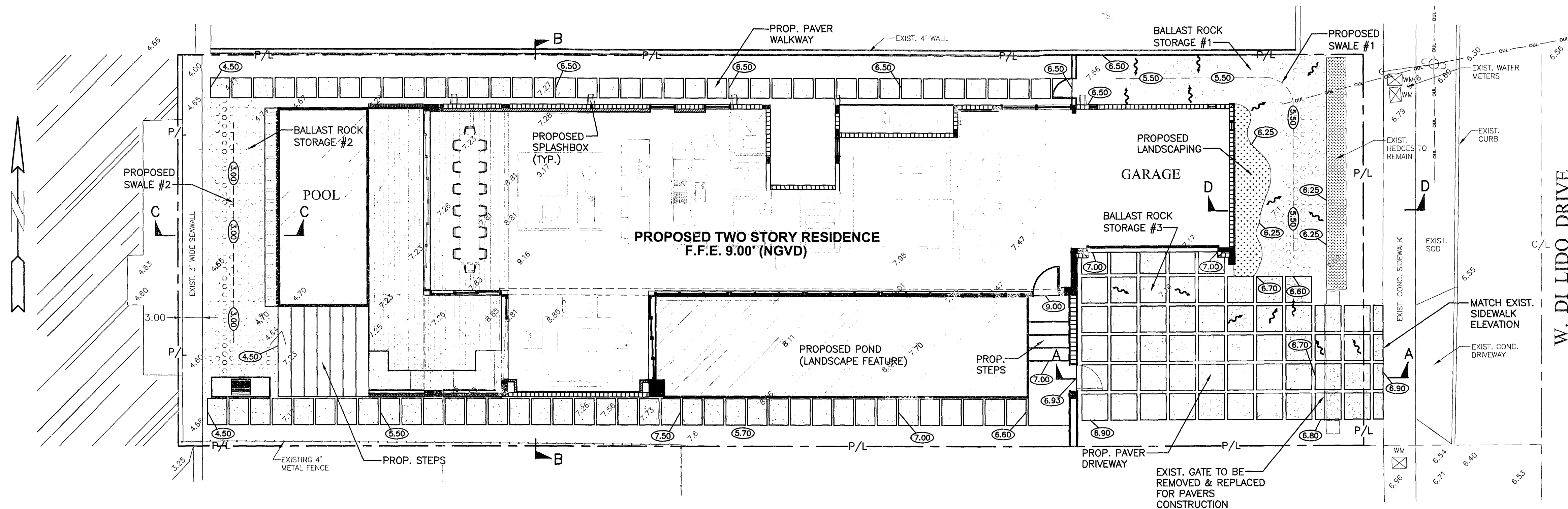
**J. Bonfill & Associates, Inc.**  
REGISTERED LAND SURVEYORS & MAPPERS  
Florida Certificate of Authorization LB3398  
7100 S.W. 99th Avenue Suite 104  
Miami, Florida 33173 (305) 598-8383

**BOUNDARY SURVEY**  
of  
808 W. DI LIDO DRIVE, MIAMI BEACH,  
MIAMI-DADE COUNTY, FLORIDA 33139  
for  
EMMANUEL SERAG

[illegible]

Project:	12-0272
Job:	13-0409
Date:	11-11-2013
Drawn:	G.P, J.S.
Checked:	J.B.
Scale:	AS SHOWN
Field Book:	ON FILE
SHEET 1 OF 1	





LOCATION MAP  
NOT TO SCALE

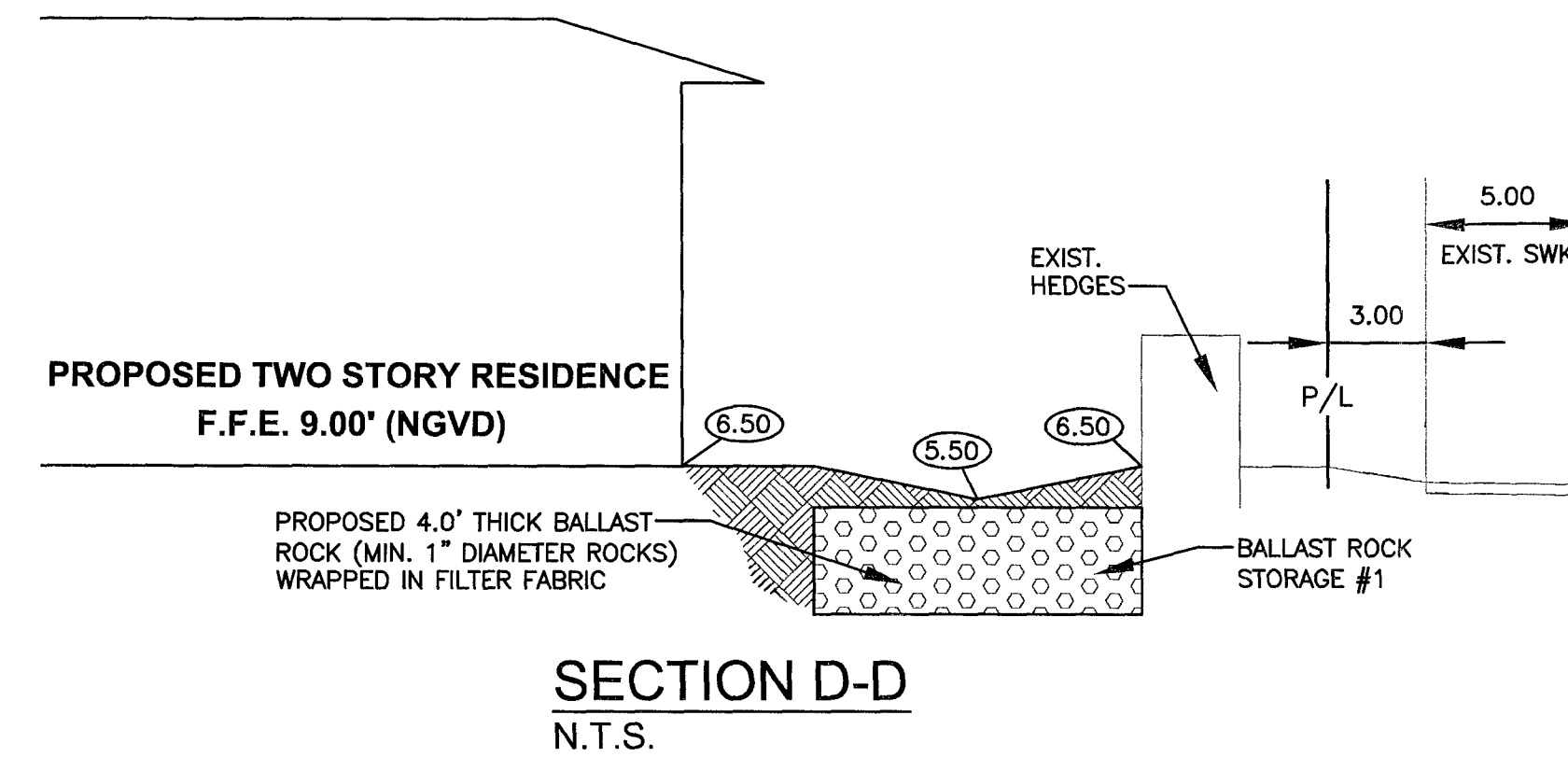
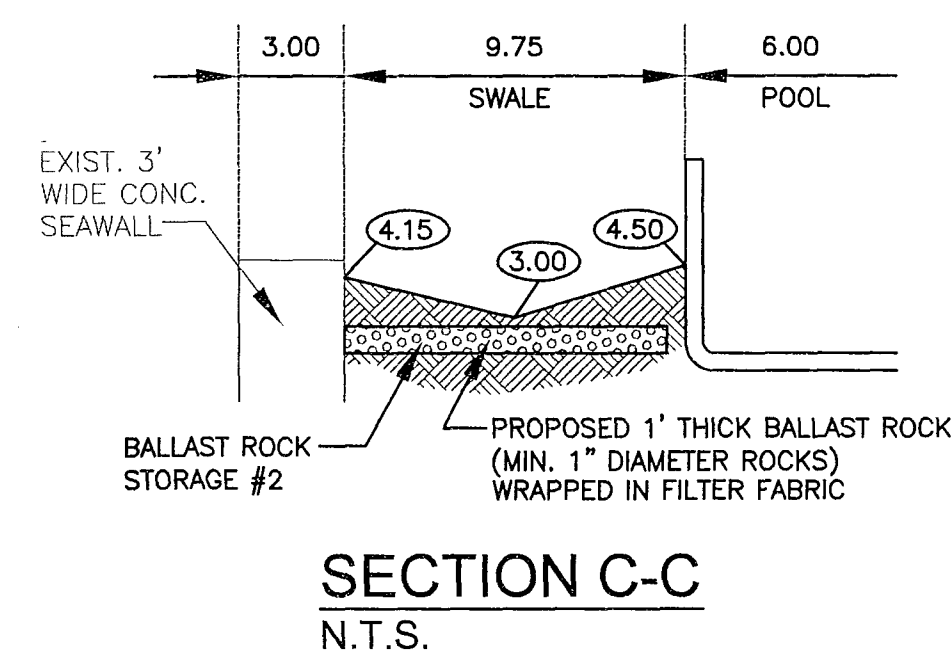
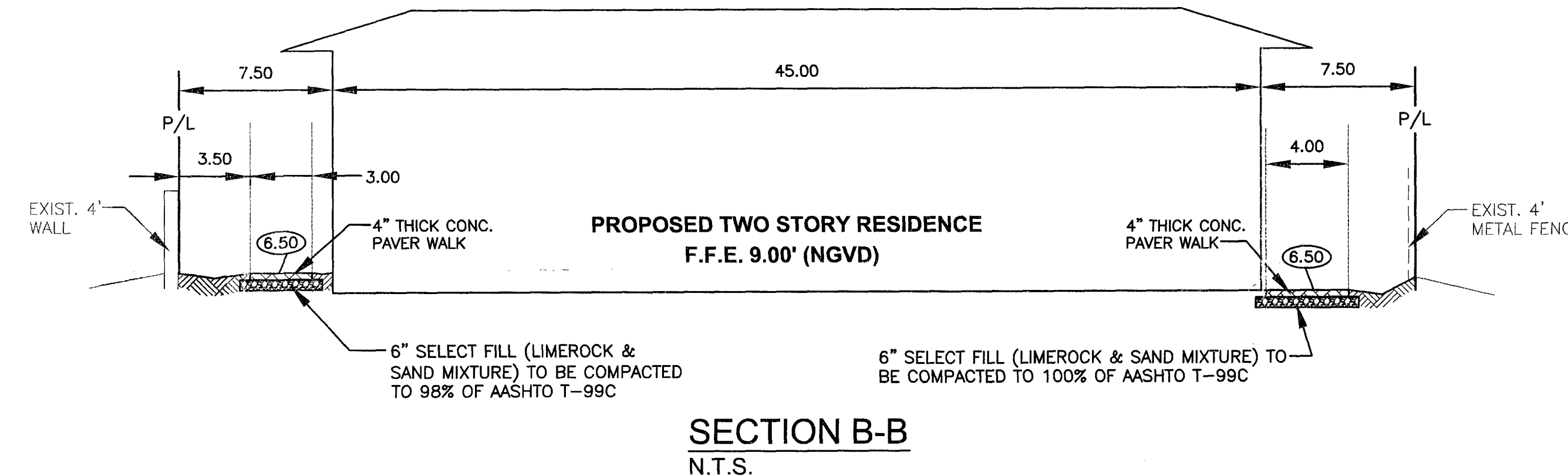
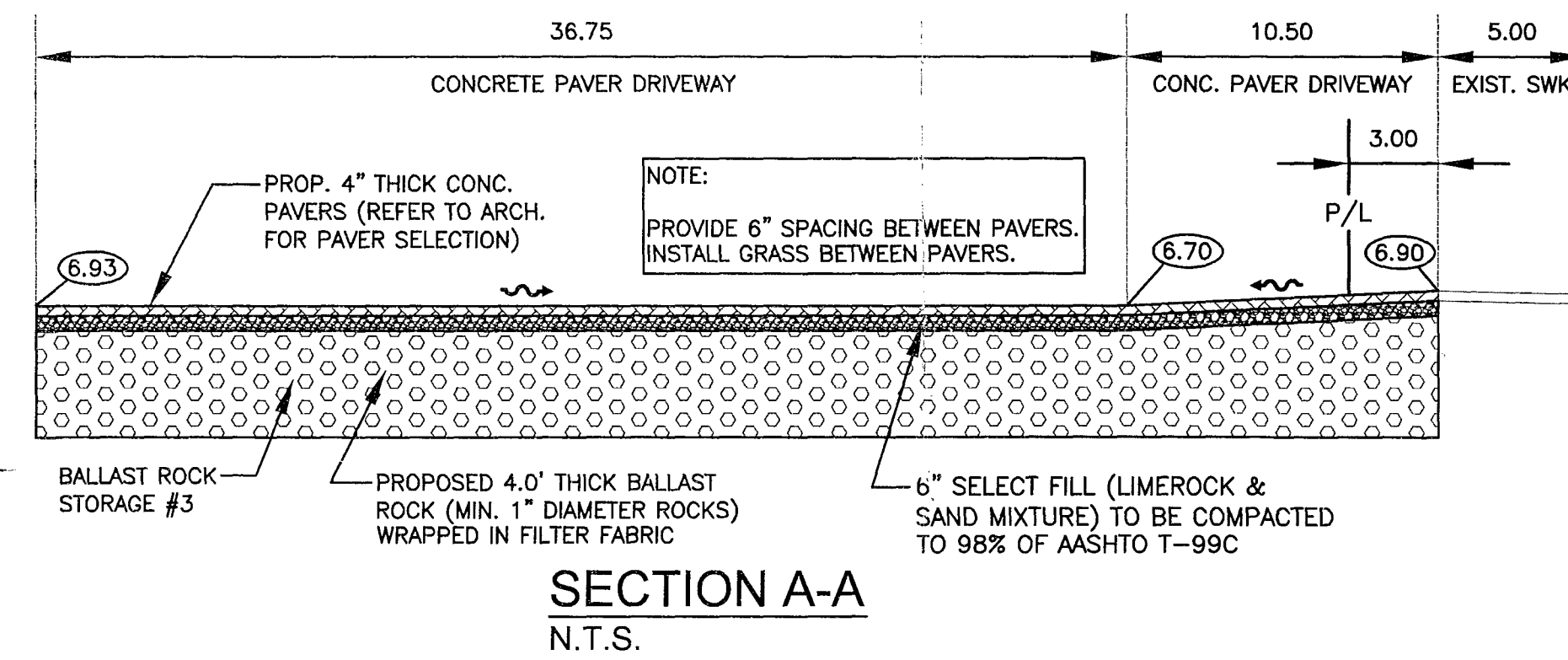
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SCALE: 1"=10'  
DRAWN BY: WILZ  
DESIGNED BY: WILZ  
DATE: 06/20/13  
CHECKED BY: SCH  
FIELD BOOK: N.A.

HOLLAND ENGINEERING INC.  
engineers  
3900 HOLLYWOOD BLVD, STE. 303 - HOLLYWOOD - FL - 33021  
(850)387-0371 • (850)387-0372 Fax  
SUSAN C. HOLLAND, PE  
Reg. no. 41831

NO.	DATE	BY	CHK'D	DESCRIPTION
1	6/07/13	WILZ	SCH	OWNER REVISIONS

PAVING, GRADING & DRAINAGE PLAN  
FOR  
DILIDO RESIDENCE  
808 W. DILIDO DRIVE  
MIAMI BEACH  
MIAMI-DADE COUNTY, FLORIDA 33139

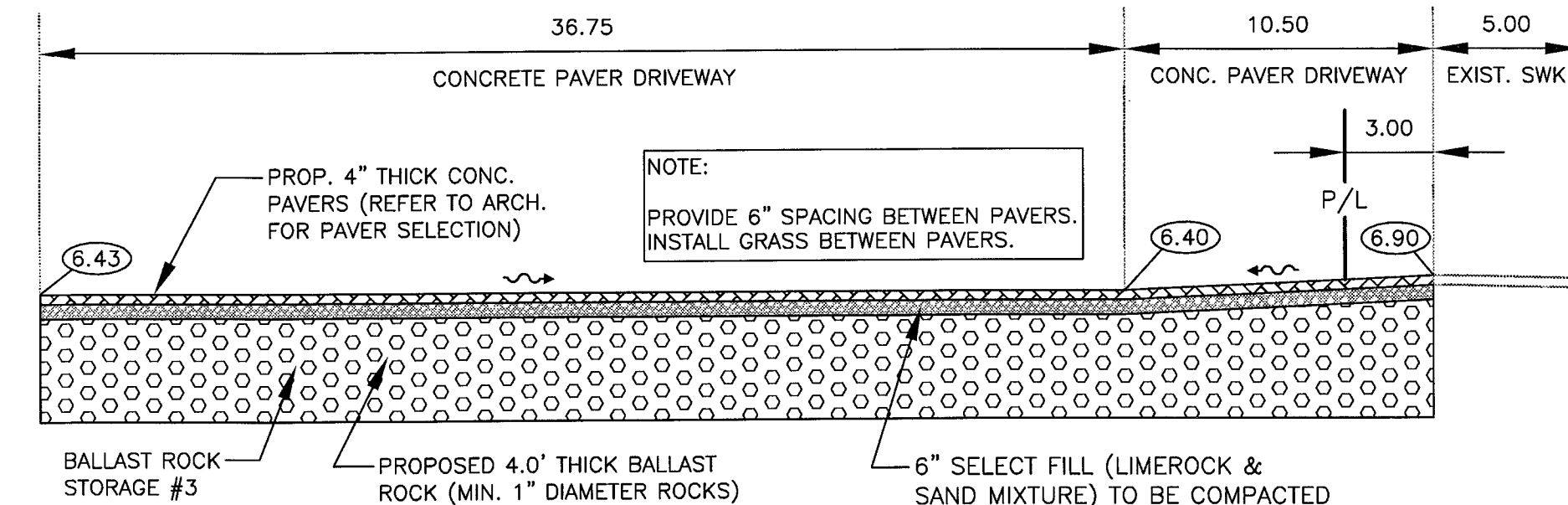
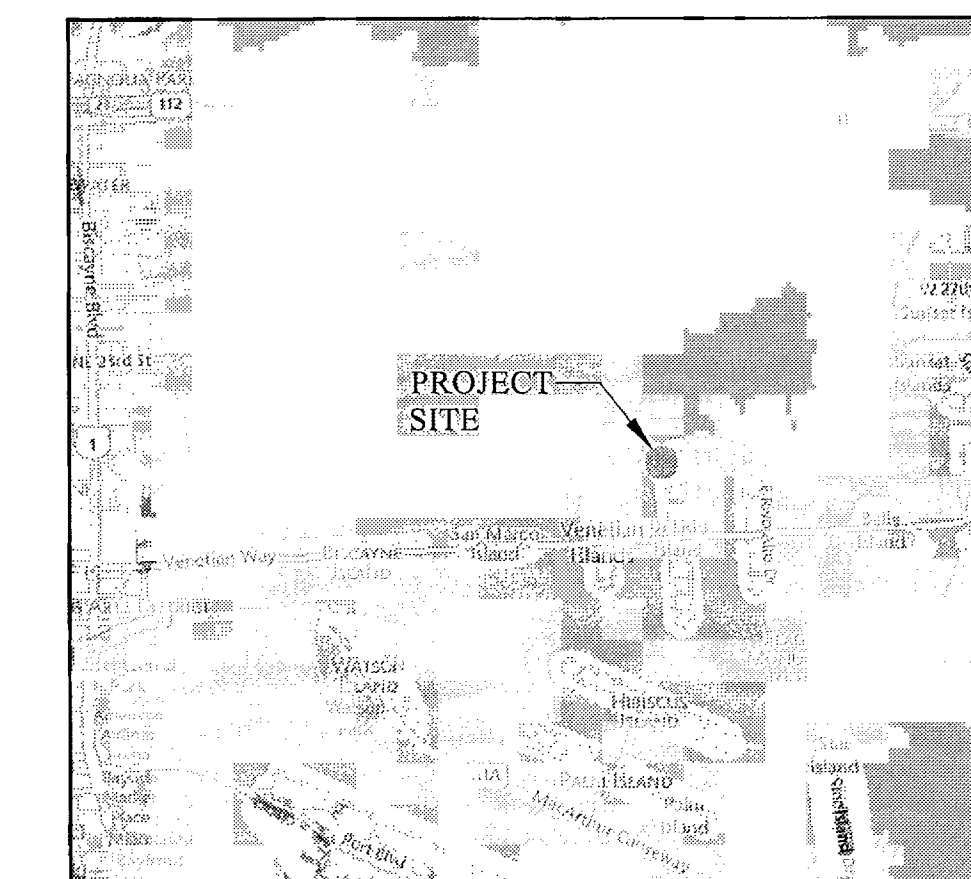
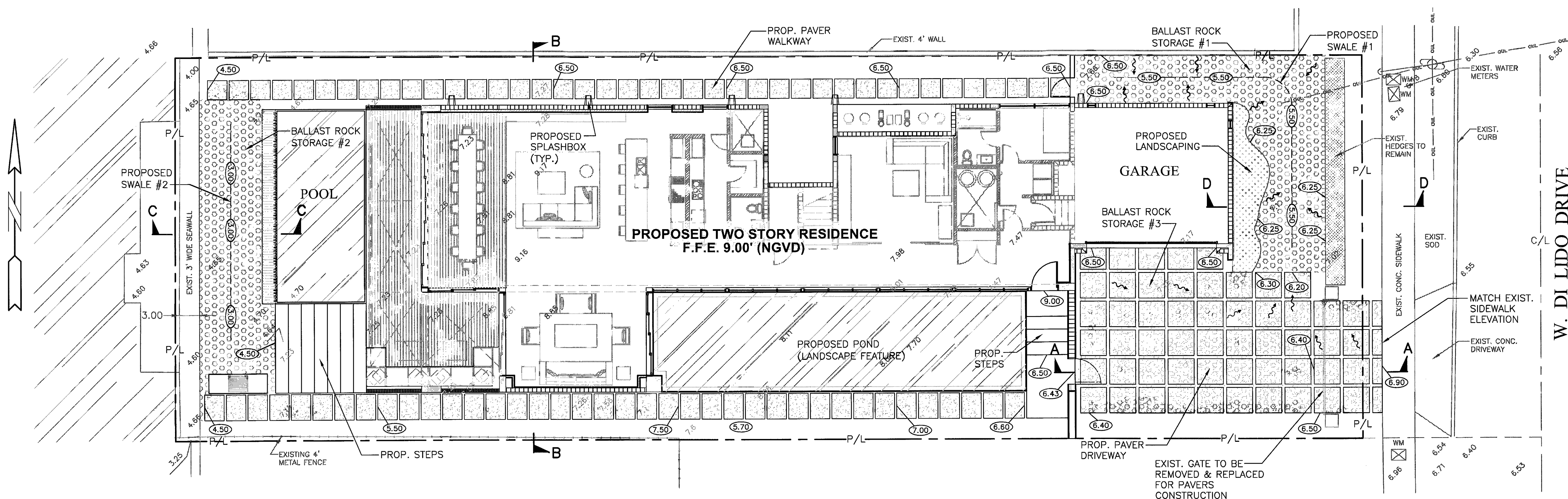
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SHEET NO.: C-1  
CAD FILE NO.: 13-30



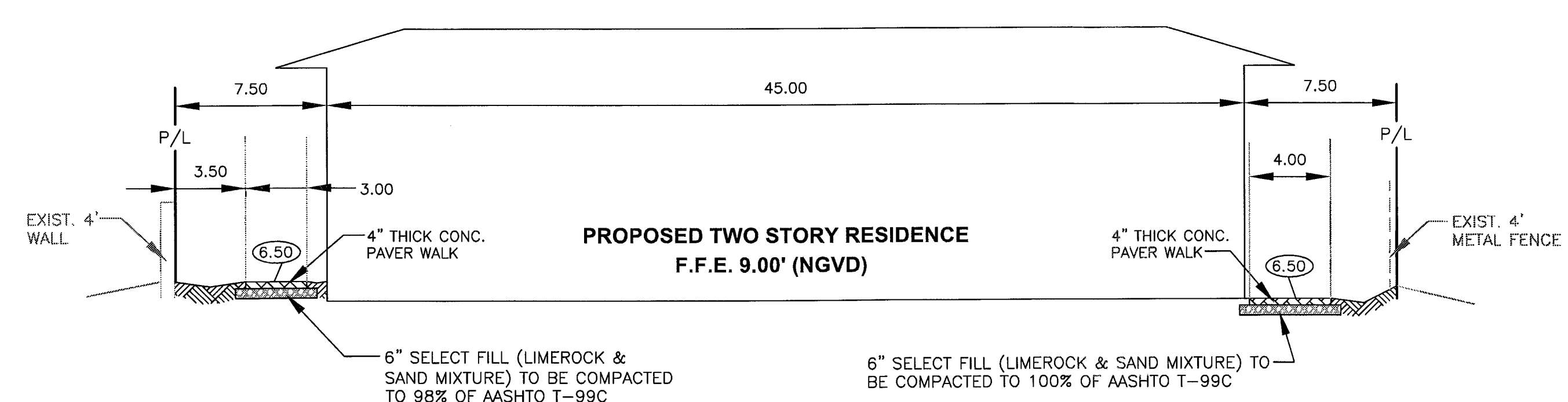
**DRAINAGE CALCULATIONS**  
SITE DATA:  
TOTAL PROJECT AREA = 10,980 SF  
IMPERVIOUS AREA = 7,381 SF  
PERVIOUS AREA = 3,599 SF  
DRAINAGE STORAGE REQUIRED:  
5 YEAR 1 DAY STORM = 6 IN  
(7,381 SF) X (6 IN) X (1 FT/12 IN) = 3,691 CF  
DRAINAGE STORAGE PROVIDED:  
TOTAL SWALES VOLUME = SWALE #1 + SWALE #2 + ROCK STORAGE #1 + ROCK STORAGE #2 + ROCK STORAGE #3  
= 211 CF + 336 CF + 1,126 CF + 224 CF + 2,112 CF = 4,009 CF  
STORAGE PROVIDED (4,009 CF) > STORAGE REQUIRED (3,691 CF)

- LEGEND**
- PROPOSED PAVERS
  - PROPOSED ELEVATION
  - PROPOSED SURFACE FLOW
  - EXISTING ELEVATION
  - EXISTING WATER METER
  - EXISTING POWER POLE

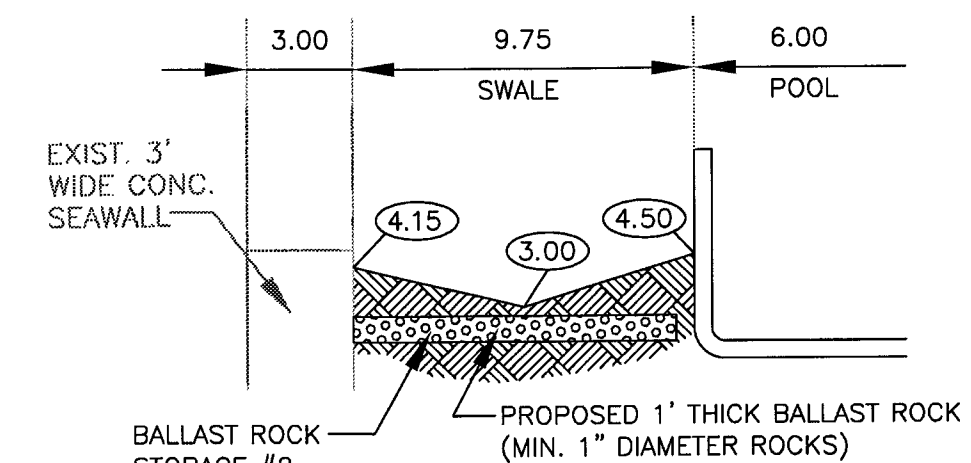




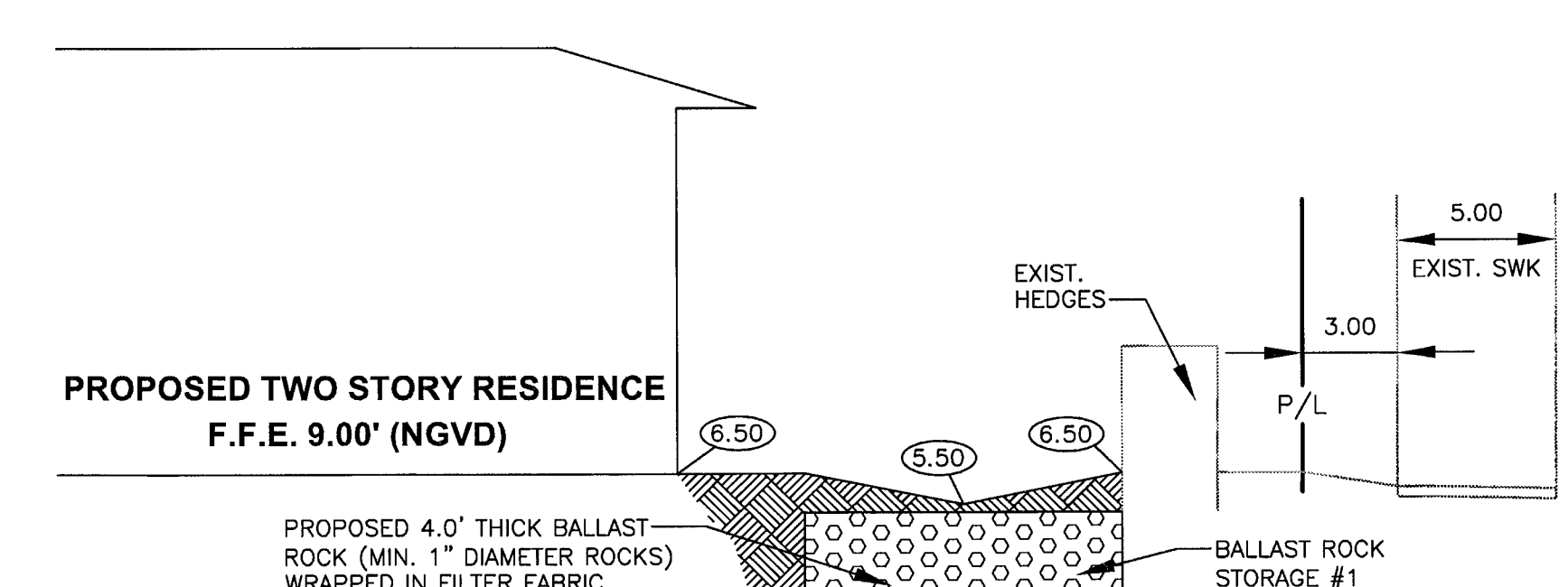
SECTION A-A  
N.T.S.



SECTION B-B  
N.T.S.



SECTION C-C  
N.T.S.



SECTION D-D  
N.T.S.

**DRAINAGE CALCULATIONS**

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 IMPERVIOUS AREA = 7,381 SF  
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DRAINAGE STORAGE REQUIRED:

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TOTAL SWALES VOLUME = SWALE #1 + SWALE #2 + ROCK STORAGE #1 + ROCK STORAGE #2 + ROCK STORAGE #3

$= 211 \text{ CF} + 336 \text{ CF} + 1,126 \text{ CF} + 224 \text{ CF} + 2,112 \text{ CF} = 4,009 \text{ CF}$

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- LEGEND**
- PROPOSED PAVERS
  - PROPOSED ELEVATION
  - PROPOSED SURFACE FLOW
  - EXISTING ELEVATION
  - EXISTING WATER METER
  - EXISTING POWER POLE

PAVING, GRADING & DRAINAGE PLAN  
 SCALE: 1"=10'

FINAL APPROVAL		FLA. REG. ENG. NO. 76036	
DRAWN BY: WILZ	SCALE: 1"=10'	DESIGNED BY: WILZ	DATE: 06/20/13
CHECKED BY: SCH	FIELD BOOK: N.A.		

**HOLLAND ENGINEERING INC.**  
 civil engineers  
 3900 HOLLYWOOD BLVD., STE. 303 - HOLLYWOOD - FL - 33021  
 (850)357-6371 • (850)357-6372 fax

**SUSAN C. HOLLAND, PE**  
 Reg. no. 41831

REVISIONS		DESCRIPTION	
NO.	DATE	BY	CHK'D
1	6/07/13	WILZ	SCH

**PAVING, GRADING & DRAINAGE PLAN FOR DILIDO RESIDENCE 808 W. DILIDO DRIVE MIAMI BEACH MIAMI-DADE COUNTY, FLORIDA 33139.**

NO. OF SHEETS: 1  
 SHEET NO.: C-1  
 CAD FILE NO. 13-30





THE LANDSCAPE CONTRACTOR SHALL MODIFY THE EXISTING IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE DURING CONSTRUCTION FOR ALL VEGETATION NOTED AS 'TO BE PROTECTED' AND FOR ALL TREES AND PALMS NOTED AS 'TO BE RELOCATED'. SHOP DRAWINGS OF TEMPORARY MODIFIED IRRIGATION SYSTEM SHALL BE PROVIDED TO OWNER AND LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.

COCONUT PALM & PODOCARPUS TREES  
ON ADJACENT PROPERTY

EXISTING 8' HEIGHT FICUS BENJAMINA HEDGE TO  
REMAIN AND BE PROTECTED DURING CONSTRUCTION

EXISTING QUEEN PALMS AND PYGMY DATE  
PALM LOCATED ON ADJACENT PROPERTY

#1, #2, #3, & #4 TO BE RELOCATED  
LANDSCAPE ARCHITECT TO SELECT A  
FRUIT TREES UNTIL CONSTRUCTION  
SHEET L-2 FOR FINAL LOCATIONS

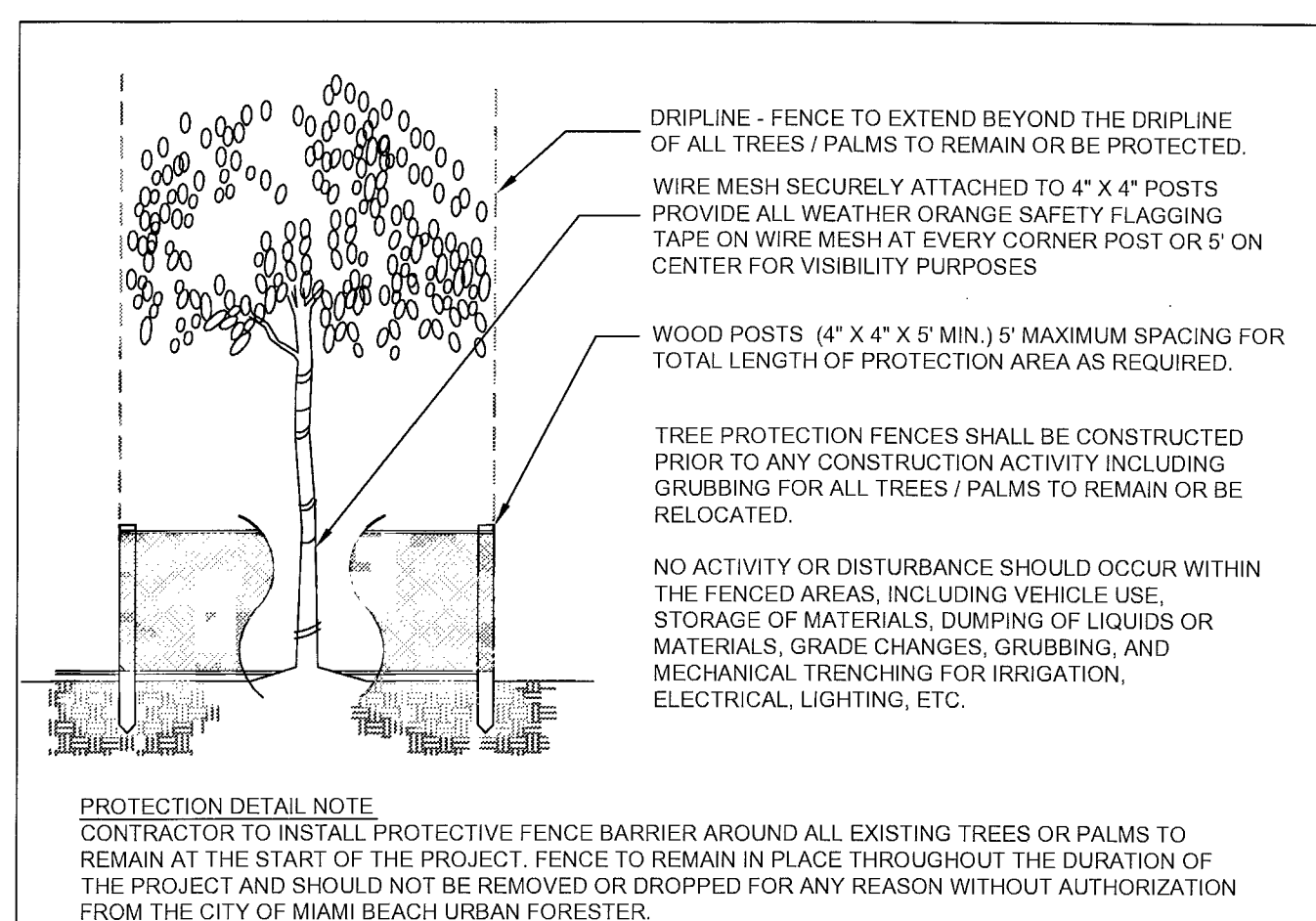
AUTO COURT

EXISTING MONTGOMERY PALMS #8 AND #9 TO BE REMOVED AND  
MITIGATED FOR AS PER THE MIAMI DADE COUNTY 'TREE PERMITTING  
PROGRAM'. SEE *TREE INVENTORY AND DISPOSITION CHART* THIS  
SHEET FOR MORE INFORMATION

— EXISTING FOXTAIL PALM #7 TO BE RELOCATED. SEE SHEET L-2  
FOR NEW LOCATION

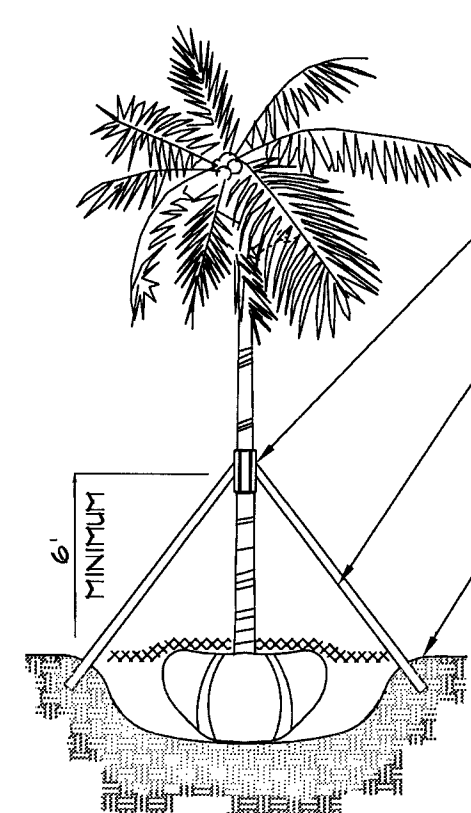
EXISTING 8' HEIGHT FICUS BENJAMINA HEDGE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION

— EXISTING 16' HEIGHT ARECA PALMS ON ADJACENT PROPERTY



## TREE / PALM PROTECTION DETAIL

N.T.S



TRANSPLANT OPERATIONS TO BE SUPERVISED BY AN ISA CERTIFIED ARBORIST.

WOOD BATTENS FOR SUPPORT. UTILIZE BURLAP TO PROTECT TRUNK. DO NOT NAIL TO PALM

WOOD BRACES PROVIDED - MINIMUM OF THREE.  
THE CONTRACTOR SHALL BE RESPONSIBLE TO ADD  
BRACING AS NECESSARY TO PROVIDE ADEQUATE  
SUPPORT. 4" X 4" AS NEEDED FOR ROYAL PALMS.

SET THE PALM NO DEEPER THAN ITS ORIGINAL  
CONDITION AND WATER TO ELIMINATE AIR POCKETS  
BACKFILL WITH A MIXTURE OF 50% NATIVE SOIL AND  
50% OF 50:50 TOPSOIL:SAND MIXTURE

SAUCER ALL AROUND FOR WATER RETENTION

POST TRANSPLANT WATERING TO PROVIDE MOISTURE AND REDUCE ANY EXCESSIVE STRESS DUE TO DESSICATION. WATERING TO BE ADJUSTED ACCORDING TO CONDITIONS AND AT THE SUPERVISION AND DIRECTION OF THE ISA CERTIFIED ARBORIST.

## PALM TRANSPLANT DETAIL

NTS

### EXISTING TREE INVENTORY & DISPOSITION CHART

NUMBER	COMMON NAME	BOTANICAL NAME	HT. X SPR.	D.B.H.	CONDITION	ACTION	CANOPY LOSS	COMMENTS
#1	Kaffir Lime Tree	<i>Citrus hystrix</i>	+/- 8' x 3'	+/- 2"	GOOD	RELOCATE	-	SEE SHEET L-2 FOR NEW LOCATIONS
#2	Lychee Fruit Tree	<i>Lychee chinensis</i>	+/- 12' x 5'	+/- 2"	GOOD	RELOCATE	-	SEE SHEET L-2 FOR NEW LOCATIONS
#3	Lychee Fruit Tree	<i>Lychee chinensis</i>	+/- 12' x 6'	+/- 2"	GOOD	RELOCATE	-	SEE SHEET L-2 FOR NEW LOCATIONS
#4	Lychee Fruit Tree	<i>Lychee chinensis</i>	+/- 12' x 5'	+/- 2"	GOOD	RELOCATE	-	SEE SHEET L-2 FOR NEW LOCATIONS
#6	Small Leaf Clusia	<i>Clusia guttifera</i>	+/- 8' x 5'	+/- 5"	GOOD	REMOVE	20 SF	MITIGATION PROVIDED. SEE SHEET L-2
#6	Small Leaf Clusia	<i>Clusia guttifera</i>	+/- 8' x 5'	+/- 5"	GOOD	REMOVE	20 SF	MITIGATION PROVIDED. SEE SHEET L-2
#7	Foxtail Palm	<i>Wodyetia binata</i>	+/- 18' x 12'	+/- 10"	GOOD	RELOCATE	-	PRESERVE & PROTECT DURING CONSTRUCTION
#8	Montgomery Palm	<i>Veitchia montgomeryana</i>	+/- 25' x 12'	+/- 12"	GOOD	REMOVE	113 SF	MITIGATION PROVIDED. SEE SHEET L-2
#9	Montgomery Palm	<i>Veitchia montgomeryana</i>	+/- 25' x 12'	+/- 12"	GOOD	REMOVE	113 SF	MITIGATION PROVIDED. SEE SHEET L-2

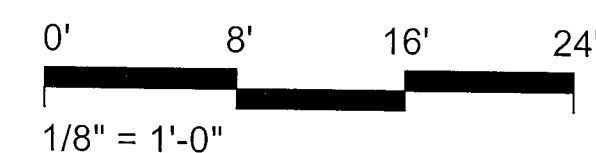
TOTAL CANOPY LOSS = 266 SQUARE FEET (REMOVAL OF TWO MONTGOMERY PALMS AND TWO SMALL LEAF CLUSIAS)  
CANOPY MITIGATION PROVIDED = 500 SQUARE FEET CREDIT for (1) NEW GUMBO LIMBO TREE, SEE SHEET L-2, AS PER MIAMI DADE COUNTY 'TREE PERMITTING GUIDELINES'

**TREE INVENTORY AND DISPOSITION PLAN NOTES**

1. EXISTING TREE, PALMS, AND VEGETATION INFORMATION AS INDICATED ON THIS SHEET HAS BEEN PREPARED AS AN OVERLAY ON THE 'EXISTING SITE SURVEY'. FOR FINAL LANDSCAPE DESIGN CONFIGURATION SEE SHEET L-2.

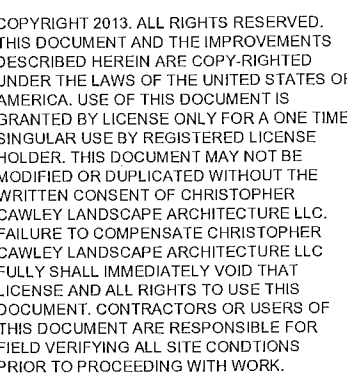
2. TEMPORARY IRRIGATION: THE LANDSCAPE CONTRACTOR SHALL MODIFY THE EXISTING IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE DURING CONSTRUCTION FOR ALL VEGETATION NOTED AS 'TO REMAIN AND BE PROTECTED' AND FOR ALL TREES AND PALMS NOTED 'TO BE RELOCATED'. SHOP DRAWINGS OF TEMPORARY MODIFIED IRRIGATION SYSTEM SHALL BE PROVIDED TO OWNER AND LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.

2. EXISTING SITE CONDITIONS HAVE BEEN FIELD VERIFIED. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.



## TREE INVENTORY / DISPOSITION PLAN





**CHRISTOPHER CAWLEY**  
LANDSCAPE ARCHITECTURE LLC  
Florida Landscape Architecture Business, LC 26000460  
780 NE 69th Street | Suite 1106 | Miami, FL 33138  
T 305.979.1585 | [www.christophercawley.com](http://www.christophercawley.com)

**Sebag Residence**  
808 West Dilido Drive, Miami Beach, Florida 33139

No.	Date	Description
		<div style="text-align: center;">             0 0 0 0 0              0 0 0 0 0              0 0 0 0 0           </div>

Professional Seal

Ch. Cawley  
11.06.13

CHRISTOPHER CAMPBELL

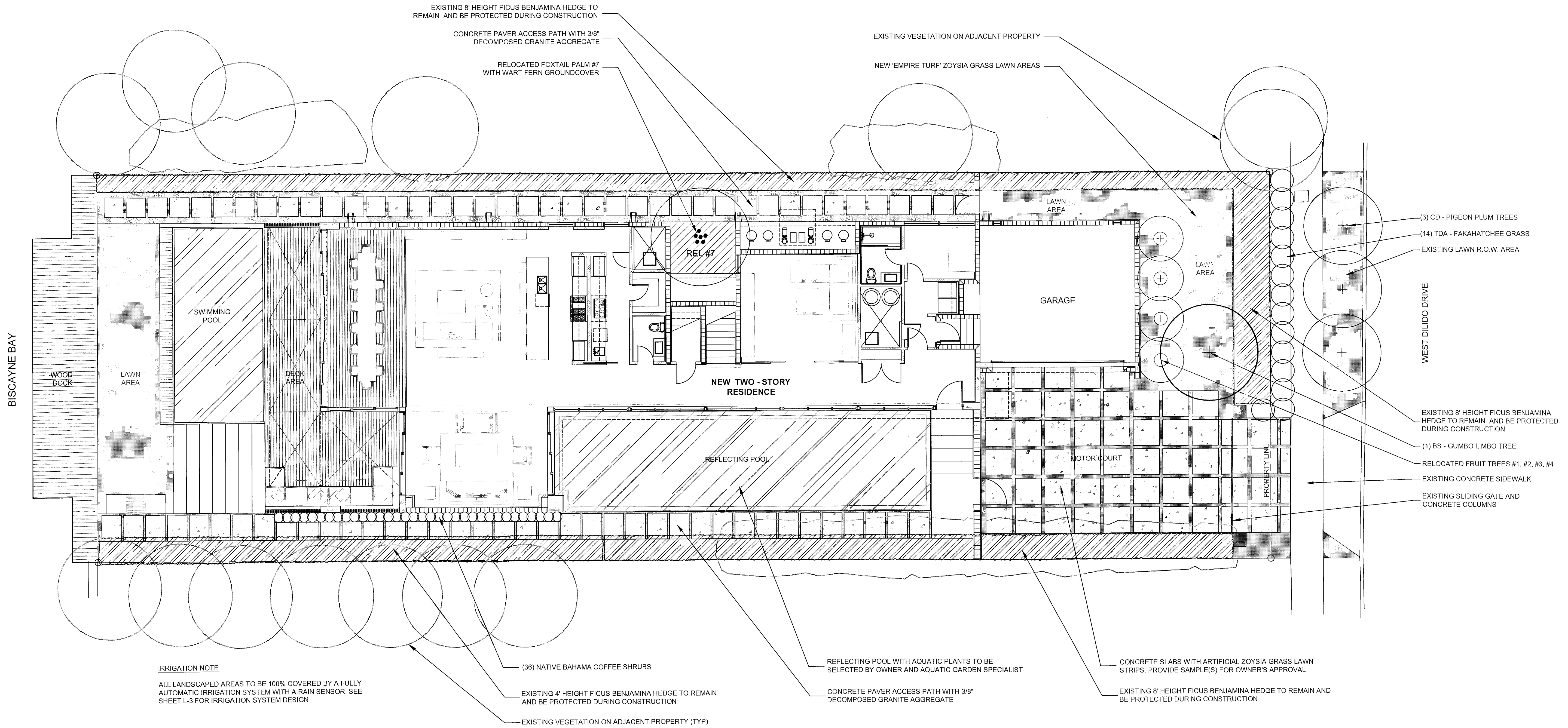
Title: Landscape Plan

Scale: As Noted

Drawing:

L-2

MIAMI BEACH LANDSCAPE PERMIT PLANS JUNE 24, 2013



## LANDSCAPE LEGEND

MIAMI - DADE COUNTY LANDSCAPE ORDINANCE CHAPTER 18-A (RESIDENTIAL VERSION)

ZONING DISTRICT: RS-3      LOT AREA: 10,750 SF

TREES

3 TREES REQUIRED PER LOT / 3 TREES PROVIDED MEETING MINIMUM REQUIREMENTS  
(1 NATIVE GUMBO LIMBO TREE, 2 LYCHEE FRUIT TREES)

NATIVE TREES

30% OF REQUIRED TREES OR .30 X 3 = .9 NATIVE TREES REQUIRED / 1 NATIVE TREE PROVIDED  
(1 NATIVE GUMBO LIMBO TREE)

SHRUBS  
 12. SUBURB

10 SHRUBS REQUIRED FOR EACH REQUIRED TREE or 10 X (3) = 30 REQUIRED / 36 SHRUBS PROVIDED  
(36 BAHAMA COFFEE PROVIDED ALONG SOUTHWEST CORNER OF RESIDENCE)

NATIVE SHRUBS  
88% OF TOTAL CL

30% OF TOTAL SHRUBS REQUIRED MUST BE NATIVE or .30 X 30 = 9 REQUIRED  
(36 BAHAMA COFFEE PROVIDED ALONG SOUTHWEST CORNER OF RESIDENCE)

LAWN AREA  
1,290 SF PRO

1,290 SF PROVIDED / AMOUNT OF LAWN AREA PROVIDED IS LESS THAN 50% OF OPEN SPACE

## IRRIGATION SYSTEM

100% COVERAGE PROVIDED PURSUANT TO MIAMI DADE CODE

**PLANTLIST - 808 West Dilido Drive**

SYM.	NATIVE	QTY.	COMMON NAME	BOTANICAL NAME	HEIGHT x SPREAD & SPECIFICATION
TREES					
BS	YES	1	GUMBO LIMBO TREE	Bursera simaruba	6" DBH minimum, field grown specimen to be selected
CD	YES	3	PIGEON PLUM TREE	Coccoloba diversifolia	14' height, 6" clear trunk, matched specimens
SHRUBS					
PSL	YES	36	BAHAMA COFFEE	Psychotria ligustrifolia	3 gal, 18" O.H, space to create consistent linear row
GROUNDCOVERS					
TDA	YES	14	FAKAHATCHEE GRASS	Tripsacum dactyloides	3 gallon, full, space to create consistent linear row
MIC	NO	As req.	WART FERN	Microsorium scolopendrium	1 gallon, full, space to create uniform planting area
SOD, AGGREGATE, & MULCH					
LAWN AREAS	"EMPIRE TURF" ZOYSIA GRASS - OVER 2" TOPSOIL BED, SEE PLANTING SPECIFICATIONS				
AGGREGATE & MULCH: 3/8" DECOMPOSED GRAY GRANITE OR SHALE, INSTALL OVER FILTER FABRIC IN WALKING AREAS					

## TREE INVENTORY AND DISPOSITION PLAN NOTES

1. THE PROPOSED LANDSCAPE DESIGN MEETS AND EXCEEDS THE LANDSCAPE CODE REQUIREMENTS AS STIPULATED IN CHAPTER 18-A, MIAMI DADE COUNTY LANDSCAPE ORDINANCE. SEE LANDSCAPE LEGEND THIS SHEET FOR MORE INFORMATION.

2. TEMPORARY IRRIGATION: THE LANDSCAPE CONTRACTOR SHALL MODIFY THE EXISTING IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE DURING CONSTRUCTION FOR ALL VEGETATION NOTED AS 'TO REMAIN AND BE PROTECTED' AND FOR ALL TREES AND PALMS NOTED 'TO BE RELOCATED'. SHOP DRAWINGS OF TEMPORARY MODIFIED IRRIGATION SYSTEM SHALL BE PROVIDED TO OWNER AND LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.

3. EXISTING SITE CONDITIONS HAVE BEEN FIELD VERIFIED. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.

0'                      8'                      16'                      24'

$$1/8'' = 1'-0''$$

## LANDSCAPE PLAN



No.	Date	Description

Professional Seal

*Christopher Cawley*  
11.06.13  
CHRISTOPHER CAWLEY, R.L.A.  
Florida License LA 16967(70)

Title: Irrigation Plan

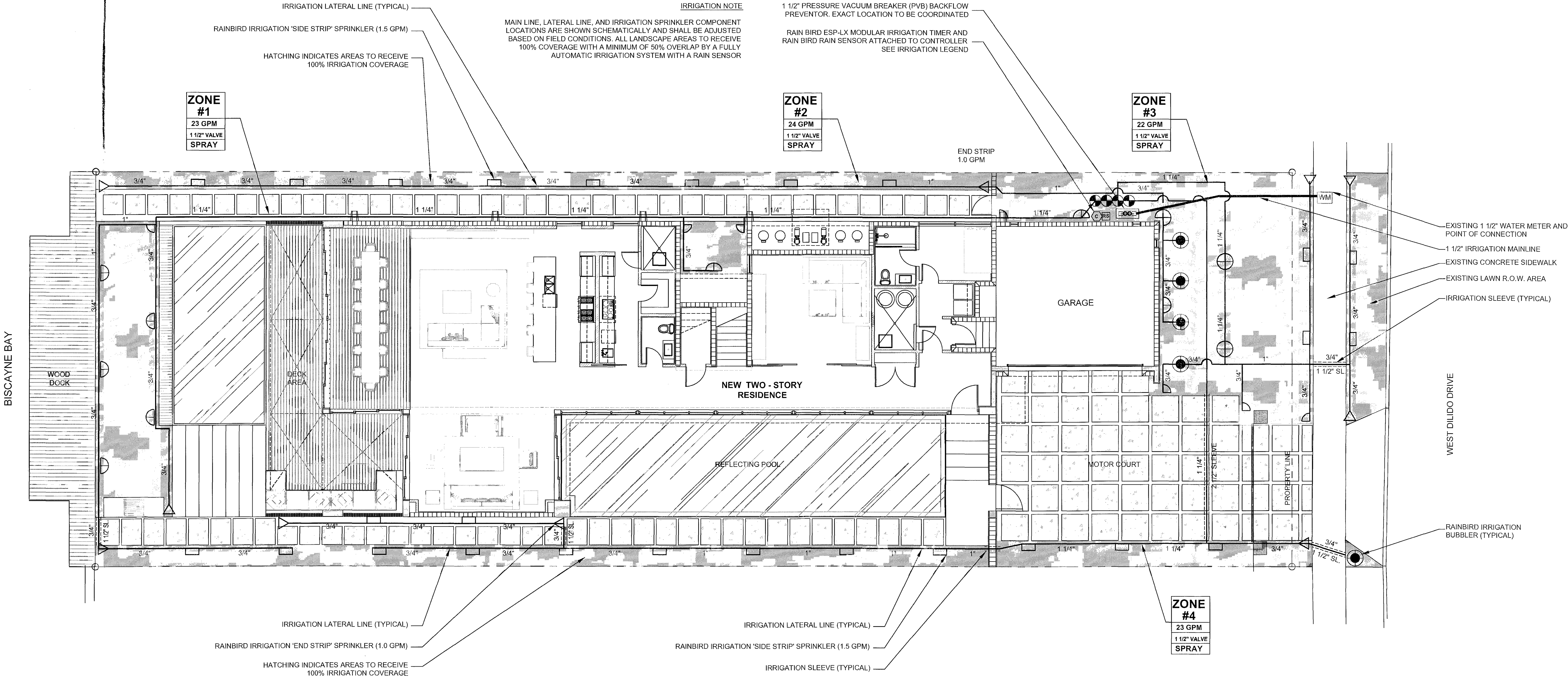
Scale: As Noted

Date: June 24, 2013

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L-3

MIAMI BEACH LANDSCAPE PERMIT PLANS JUNE 24, 2013



#### IRRIGATION NOTES

- Irrigation contractor shall provide, furnish, and install a fully automatic irrigation system which will comply with all local code, state code, & water management district (SWFMD) requirements.
- The irrigation contractor shall schedule an on-site pre-construction conference with the owner and the owner's authorized representative prior to commencement of installation of the irrigation system.
- Contractor shall install pop-up type heads. Spray type shall be rotor, impact, spray, or bubbler and shall be installed so as not to cause any overspray onto any paved surfaces, i.e. roads, sidewalks, etc. All fixtures shall be "Torco", "Rainbird" or an approved equal. All work shall be done in a professional manner as per manufacturer's specifications.
- All main supply line shall be pvc schedule 40 pipe. All pvc fittings shall be schedule 40. The mainline is shown schematically. Locate main lines in landscape areas where possible and sleeve under pavement where necessary. Mainlines shall be in the same trench with the lateral lines where possible.
- Contractor shall familiarize himself with the location of and avoid & protect all utility lines, ducts, buried cables and other utilities in the area. Contractor will be responsible for the repair, liability, and costs incurred in the damage or destruction of said utilities. Call U.N.C.L.E. 1-(800) 432-8770 48 hours prior to commencement of any work for proper utility location and clearances.
- The contractor shall secure all work with the project manager, landscape contractor and all other contractors to insure proper installation, scheduling, and procedure.
- The contractor shall coordinate with the project manager to provide electrical supply to the controller, pump, etc. as needed.
- The contractor shall be responsible to secure all permits as may be deemed necessary to perform the work. Entire system shall be installed in compliance with all local and state codes.
- All sleeves under pavement shall be buried per Florida Building Code, Appendix "F". All lateral sleeves under sidewalks shall be buried below walkways and shall be schedule 40 PVC. All sleeving shall be schedule 40 PVC pipe and shall be 2 times the main or lateral pipe size.
- The contractor shall connect the master valve (when applicable) and all electric valves to the controller and provide proper synchronization.
- All low voltage electric valves shall be #14 direct burial. All wires under roads to be placed in a separate 1" sleeve. Contractor shall provide a minimum of two extra wires for emergency post installation wiring.
- All line locations are approximate. The contractor shall adjust trenching and location of spray heads in the field for existing conditions, walks, utilities, structures, and plantings to provide and insure 100% coverage and 100% overlap.
- Contractor shall provide a one-year guarantee on all parts and a 90 day guarantee on labor from the date of final acceptance.
- The irrigation contractor shall record all changes made to the irrigation system during installation, and provide an as-built drawing to the owner's representative upon completion and acceptance of the work.
- The irrigation contractor shall instruct the owner or the owner's representative in the complete operation and maintenance of the system. The contractor shall furnish two copies of an irrigation system management manual prepared by the manufacturer and the system installer.

#### IRRIGATION LEGEND

**WATER SOURCE:**

- 1 1/2" WATER METER
- 1 1/2" PRESSURE VACUUM BREAKER (PVB) BACKFLOW PREVENTOR

**PROVIDE:**

- 1 1/2" MASTER CONTROL VALVE CONNECT DIRECTLY AFTER PVB TO CONTROL TOTAL SYSTEM SHUT OFF

**RAINBIRD ESP-LX MODULAR TIMER W/ RAINBIRD RSD SERIES RAIN SENSOR ATTACHED TO CONTROLLER. SEE THIS SHEET FOR LOCATION**

**1 1/2" ELECTRIC VALVES - RAINBIRD PEB SERIES OR APPROVED EQUAL, IN VALVE BOX**

**1 1/2" PVC Main Supply Line- Sch 40**

**LATERAL LINE (Sch. 160)**

**PIPE IN SLEEVE (See Sizing Chart)**

**PIPE CONNECTION**

**PIPE CROSSING**

**ZONE #1**  
25 GPM  
1" VALVE  
SPRAY

**ZONE DESIGNATION & INFORMATION**

**GALLONS PER MINUTE**

**VALVE SIZE**

**IRRIGATION TYPE**

**RAINBIRD POP UP SPRAY HEADS**  
QUARTER, HALF, FULL, RADIUS T.B.D.

**RAINBIRD END STRIP / SIDE STRIP**

**RAINBIRD BUBBLER**

**SPECIAL NOTES**  
A ROUGH INSPECTION IS REQUIRED BY THE CITY OF MIAMI BEACH PRIOR TO TRENCH BACKFILLING. A FINAL INSPECTION IS REQUIRED PRIOR TO COMPLETION OF THE IRRIGATION WORK. SOUTH FLORIDA WATER MANAGEMENT WATER RESTRICTIONS, PHASE II RESTRICTIONS ARE IN EFFECT. NEW LANDSCAPE SHALL BE EXEMPT PER SWFMD FOR A PERIOD OF SIXTY DAYS AFTER INSTALLATION WITH CONTRACTOR AND/OR OWNER TO ASSUME RESPONSIBILITY AFTER THAT INITIAL PERIOD.

FLORIDA BUILDING CODE- APPENDIX F PIPE INSTALLATION-DEPTH OF COVER	
VEHICLE TRAFFIC AREAS	
PIPE SIZE (INCHES)	DEPTH OF COVER (INCHES)
1/2" TO 2 1/2"	18" TO 24"
3" TO 5"	24" TO 30"
6" OR GREATER	30 TO 36"
NON-TRAFFIC AND NON-CULTIVATED AREAS	
PIPE SIZE (INCHES)	DEPTH OF COVER (INCHES)
1/2" TO 1 1/4"	6" TO 12"
1 1/2" TO 2"	12" TO 18"
2 1/2" TO 3"	18" TO 24"
4" OR LARGER	24" TO 36"

FLORIDA BUILDING CODE- APPENDIX F PART V- A-6	
WATER PIPE SIZE	SLEEVE SIZE
3/4"	1 1/2"
1"	2"
1 1/4"	2 1/2"
1 1/2"	3"
2"	4"
3"	6"
4"	8"
SLEEVES TO EXTEND A MIN. 3' BEYOND ALL PAVED AREAS, BACKFILL AND COMPACTION PER APPENDIX F	

0' 8' 16' 24'  
1/8" = 1'-0"

IRRIGATION PLAN



No.	Date	Description

Professional Seal

Title: Plant List and Details

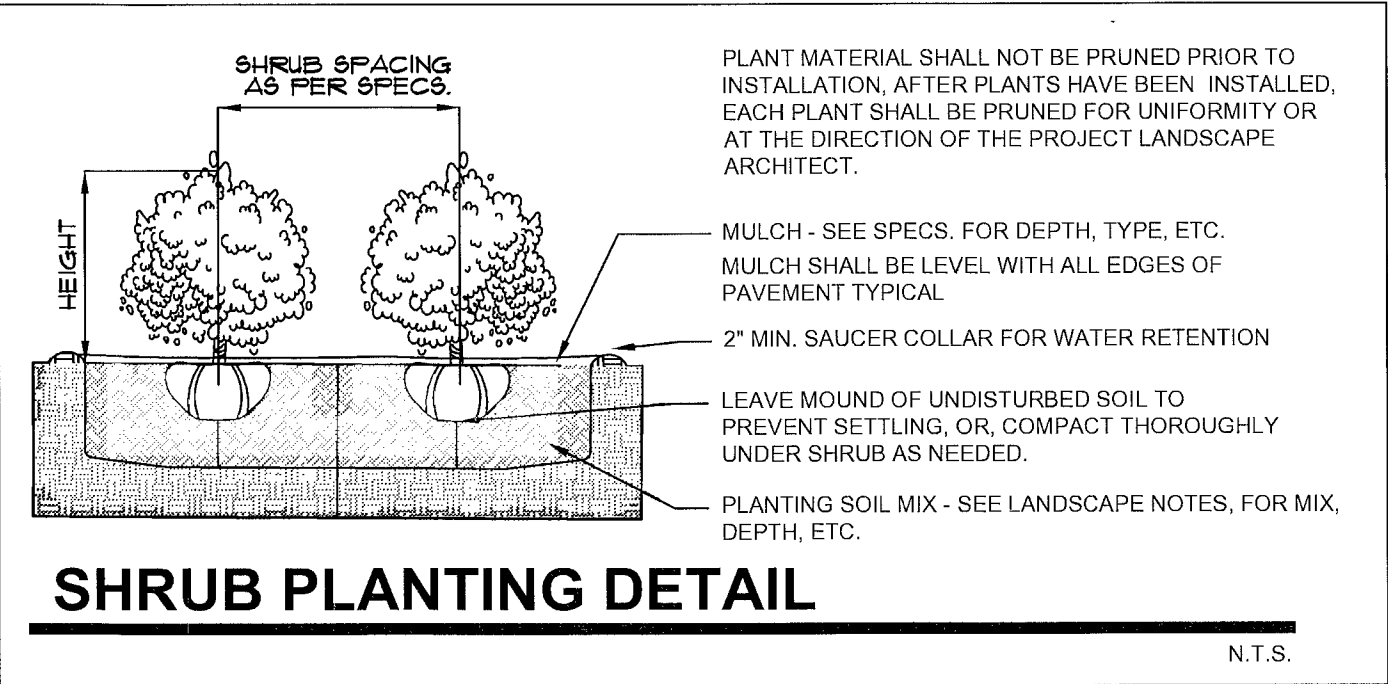
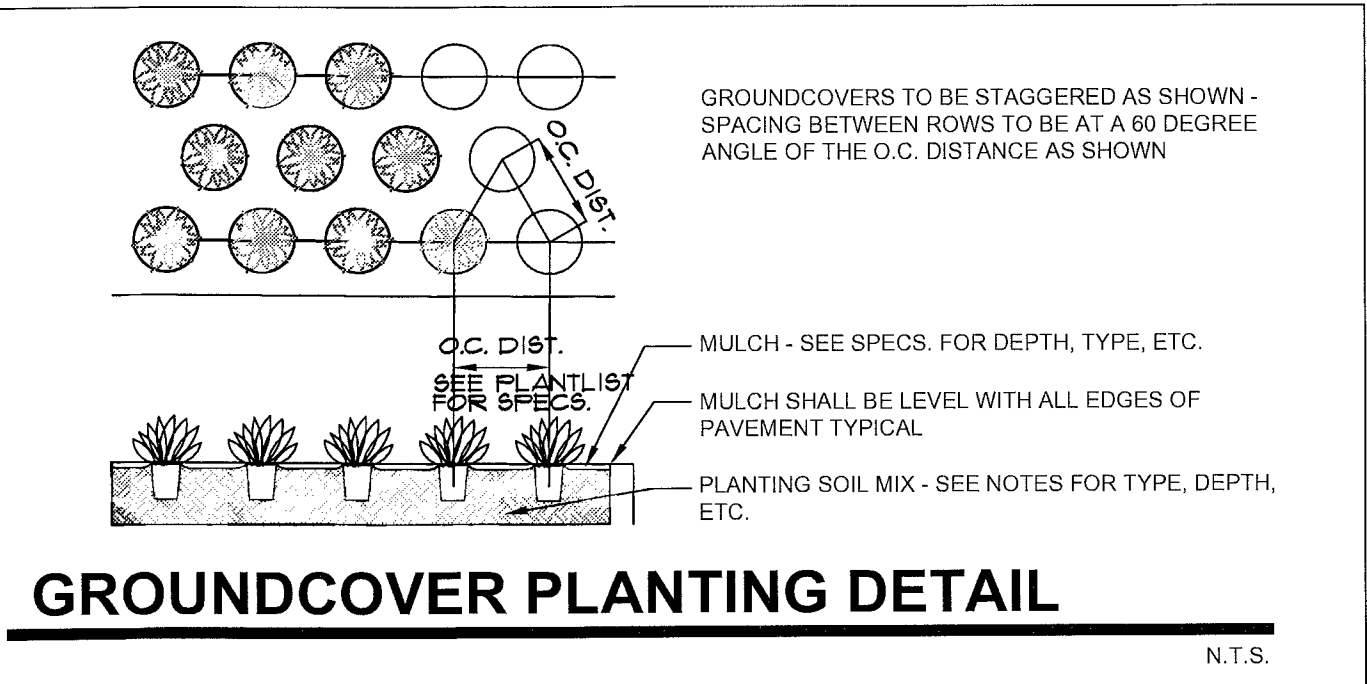
Scale: As Noted

Date: June 24, 2013

Drawing:

L-4

MIAMI BEACH LANDSCAPE PERMIT PLANS JUNE 24, 2013



## LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER.
  - CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF, AVOID, AND PROTECT ALL UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
  - TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ANY CHANGES TO R.O.W. (RIGHT OF WAY) MATERIAL IN REGARDS TO PLACEMENT OF SPECIES SHALL REQUIRE THE APPROVAL AND CONSULTATION OF THE CITY URBAN FORESTER AND OR CITY STAFF.**
- ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL:SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERMS AND OTHER LANDSCAPE AREAS.

**CARE SHALL BE TAKEN TO AVOID PLACEMENT OF CONSTRUCTION FILL, GRAVEL, AND OR DEBRIS OVER THE ROOTBALLS OF INSTALLED OR EXISTING TREES AND OR PALMS ON SITE.**

**SODDED-LAWN AREAS**  
2" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.

**GROUNDCOVER PLANTING BEDS:**  
6" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.

**SHRUB AND HEDGE PLANTING AREAS:**  
12" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.

**TREES, PALMS, SPECIMEN PLANT MATERIAL LOCATIONS:**  
**REMOVE ALL LIMEROCK PRESENT TO A DEPTH OF AT LEAST 30" BEFORE PLACING NEW PLANTING SOIL.** APPLY NEW CLEAN PLANTING SOIL IN PLANTING AREA AS REQUIRED

**LANDSCAPE ISLANDS AND BUILDING FOUNDATIONS:**  
EXCAVATE AND REMOVE ALL LIMEROCK, ROCKS, DEBRIS, ETC. TO A DEPTH OF 12" AND BACKFILL W/ 50:50 TOPSOIL:SAND MIX. BUILDING FOUNDATIONS SHALL BE THE SAME DEPTH TO A WIDTH OF 36" FROM THE BUILDING BASE.

5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL:SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.

6. THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50:50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL:SAND APPLICATION AND SUBSEQUENT PAYMENT. OTHER PLANTING SOIL MIXES TO BE ADDED, I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.

7. CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL SLEEVING AND PIPE ROUTING. ALL UNDERGROUND UTILITIES TO BE LOCATED BY DIALING 811 AS REQUIRED BY LAW.

8. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 2" WITH A SMALL GRAY GRANITE AGGREGATE FREE FROM WEEDS AND PESTS. NO 'CYPRESS MULCH' OR 'RED DYED MULCH' TO BE ACCEPTED. KEEP MULCH 3" AWAY FROM TREE OR PALM TRUNKS AS PER INDUSTRY RECOMMENDATIONS.

9. SOD SHALL BE 'EMPIRE TURF' ZOYSIA GRASS IN ALL LAWN AREAS AS SHOWN ON THE PLANS. SOD SHALL BE STRONGLY ROOTED, FREE FROM WEED, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLANS OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED SODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED. SOD SHALL CARRY A 5-MONTH WARRANTY.

10. ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS, AND SOD / LAWN SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.

11. **ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROWERS LANDSCAPE ASSOCIATION (FNGLA) AND ANSI A-300 (PART 6)-2012 TREE, SHRUB, AND OTHER WOODY PLANT MANAGEMENT STANDARD PRACTICES (PLANTING AND TRANSPLANTING). CONTRACTOR SHALL ENSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.**

**CONTRACTOR SHALL REMOVE ALL STAKES, POLES, WELLINGTON TAPE AND OR BRACING MATERIALS FROM ALL PALMS, TREES AND SHRUBS WITHIN 1 YEAR OF INSTALLATION.**

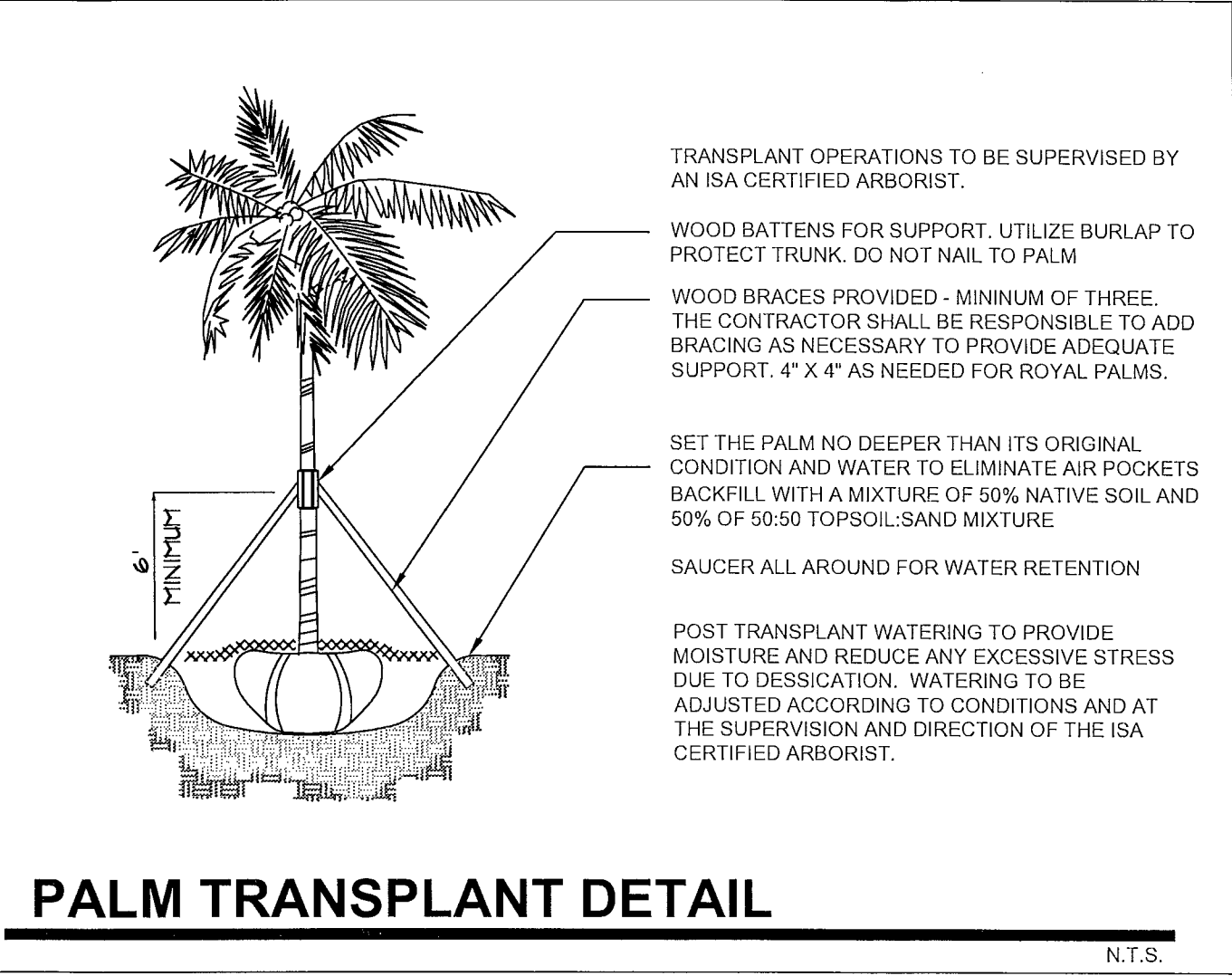
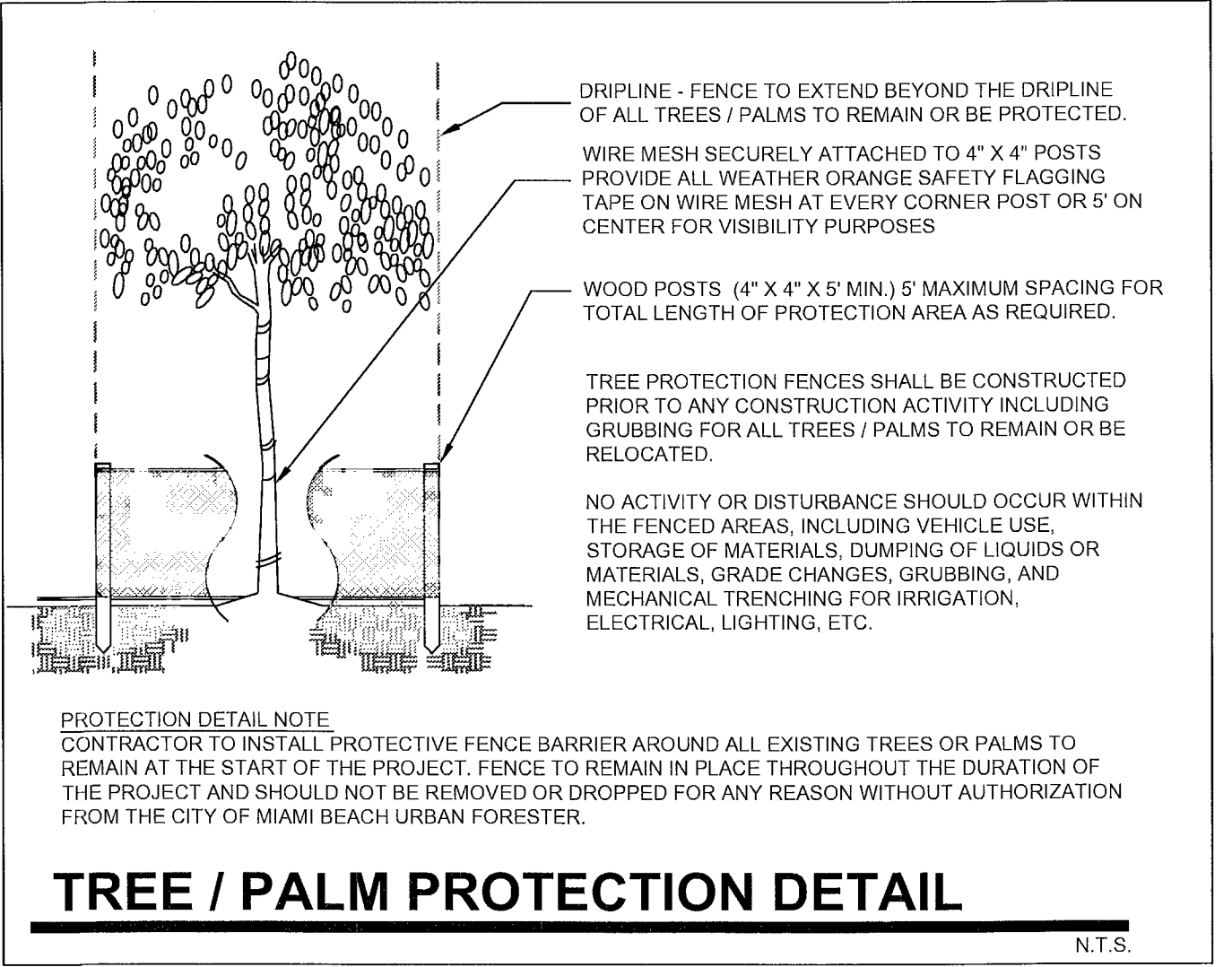
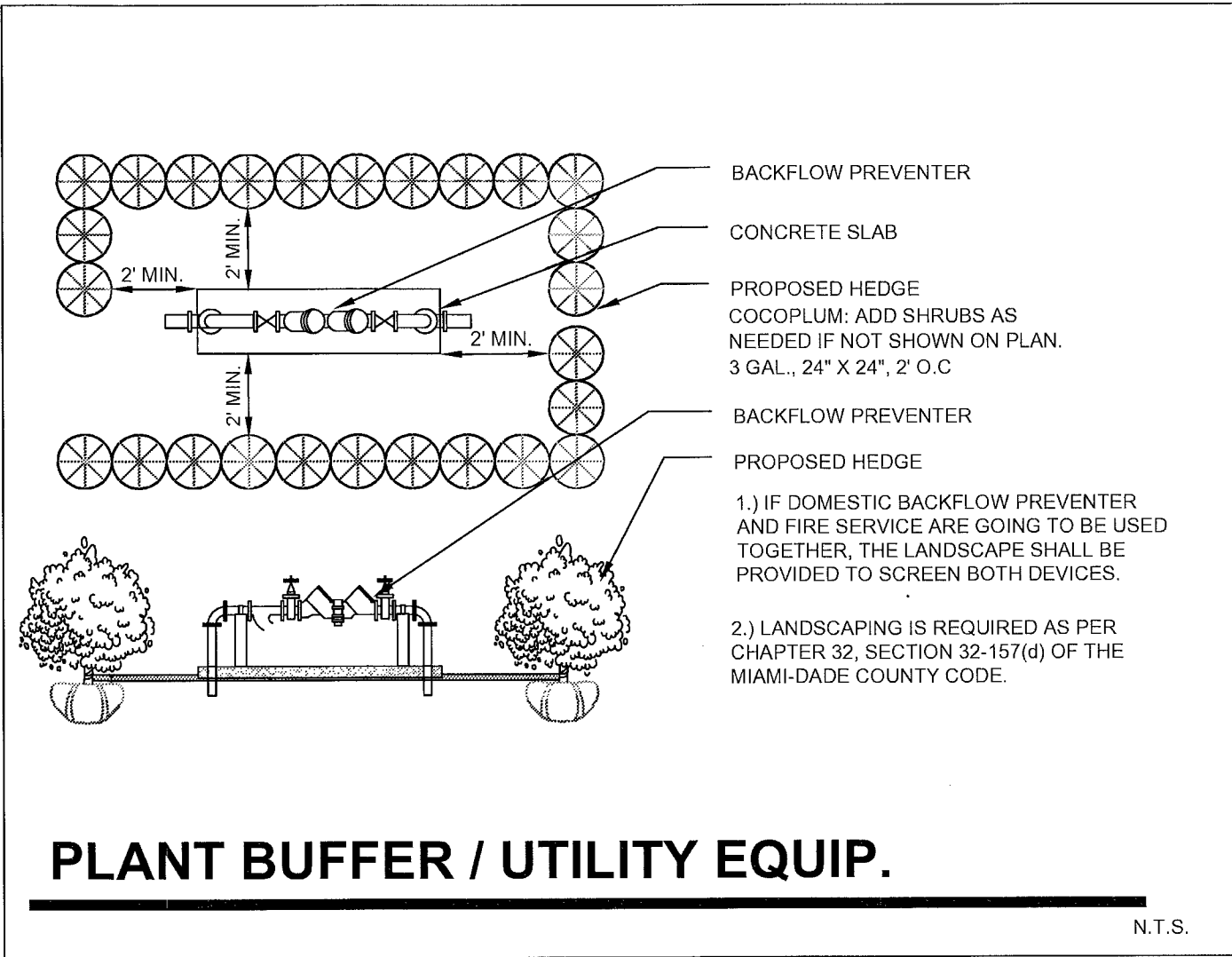
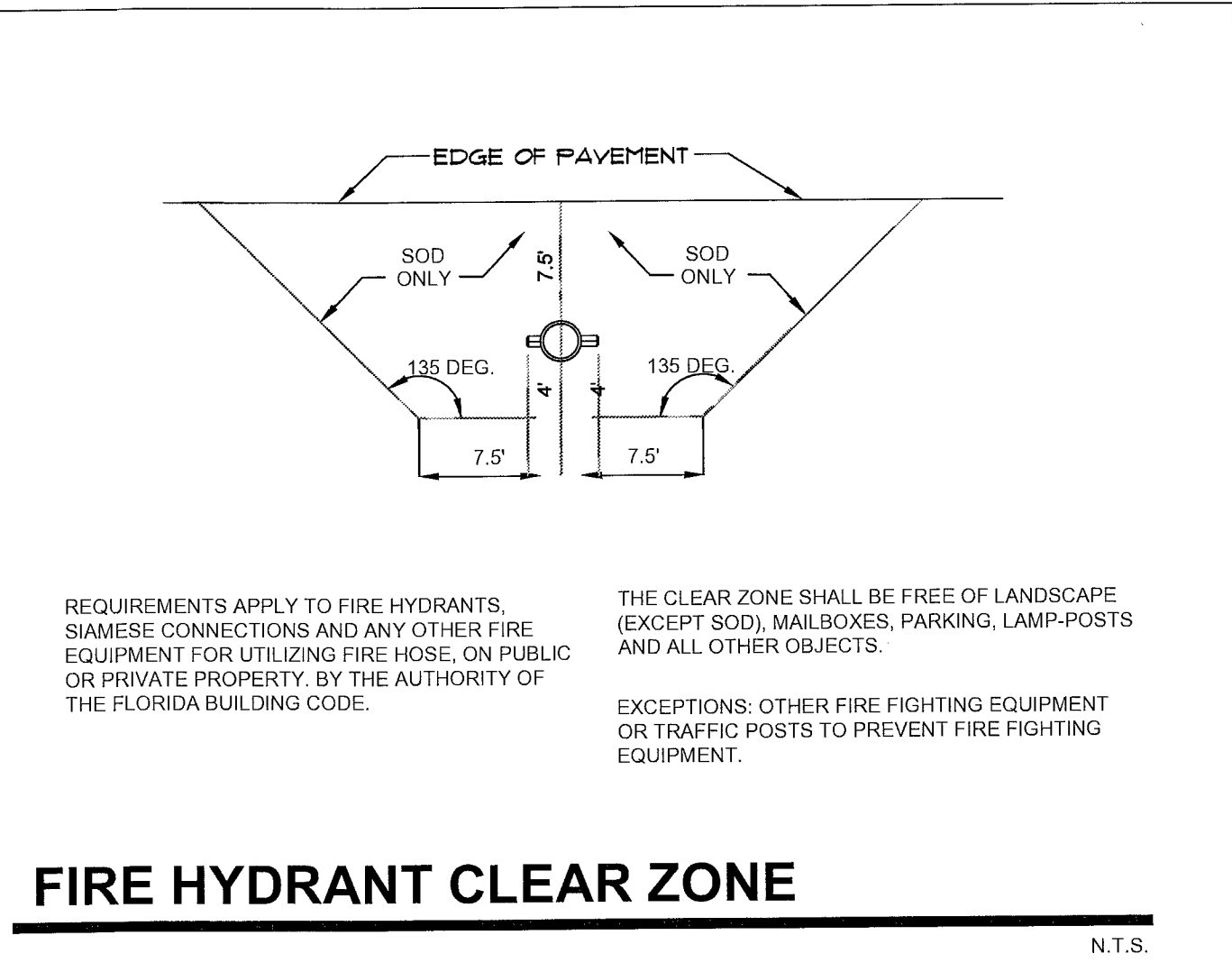
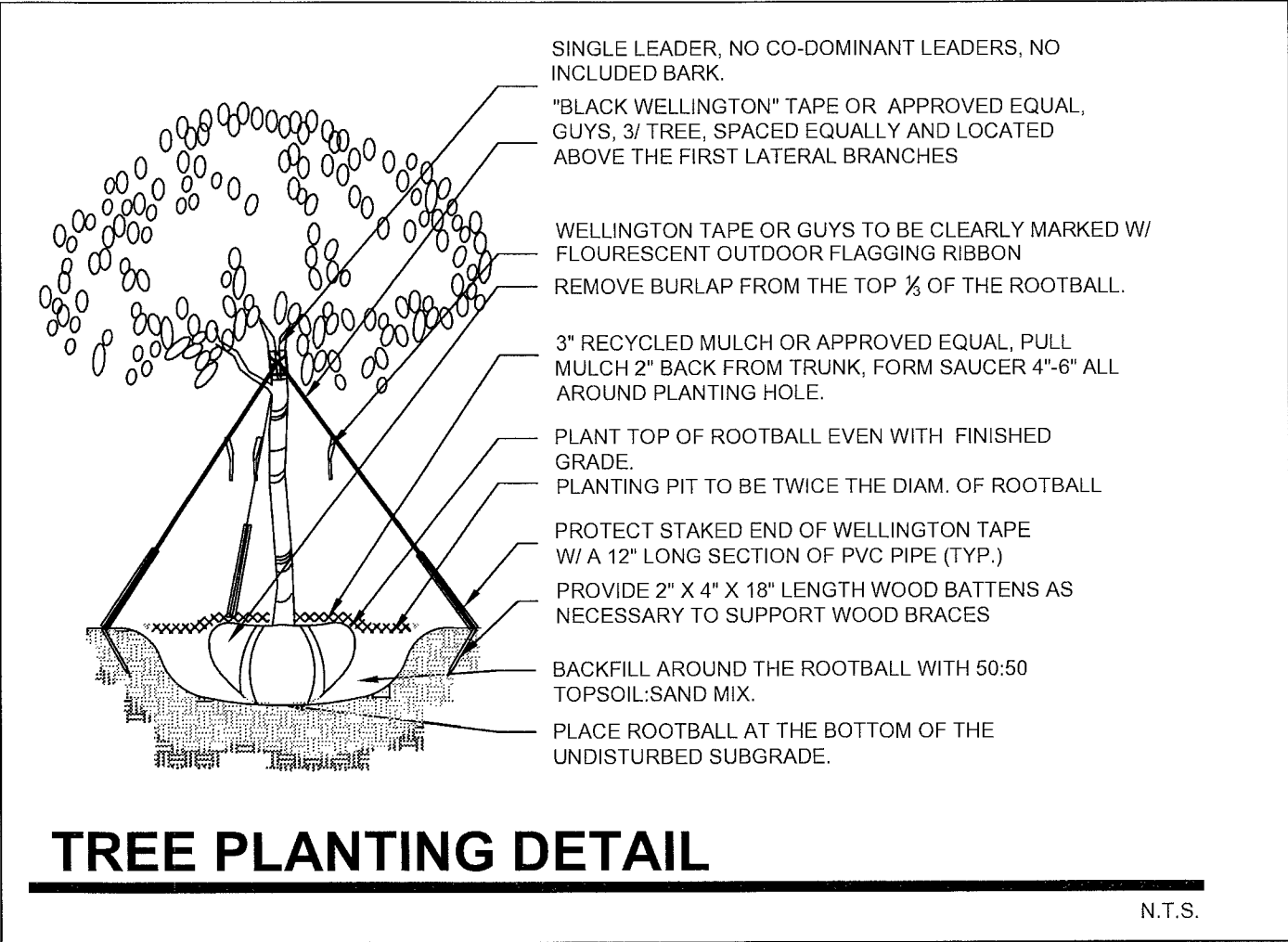
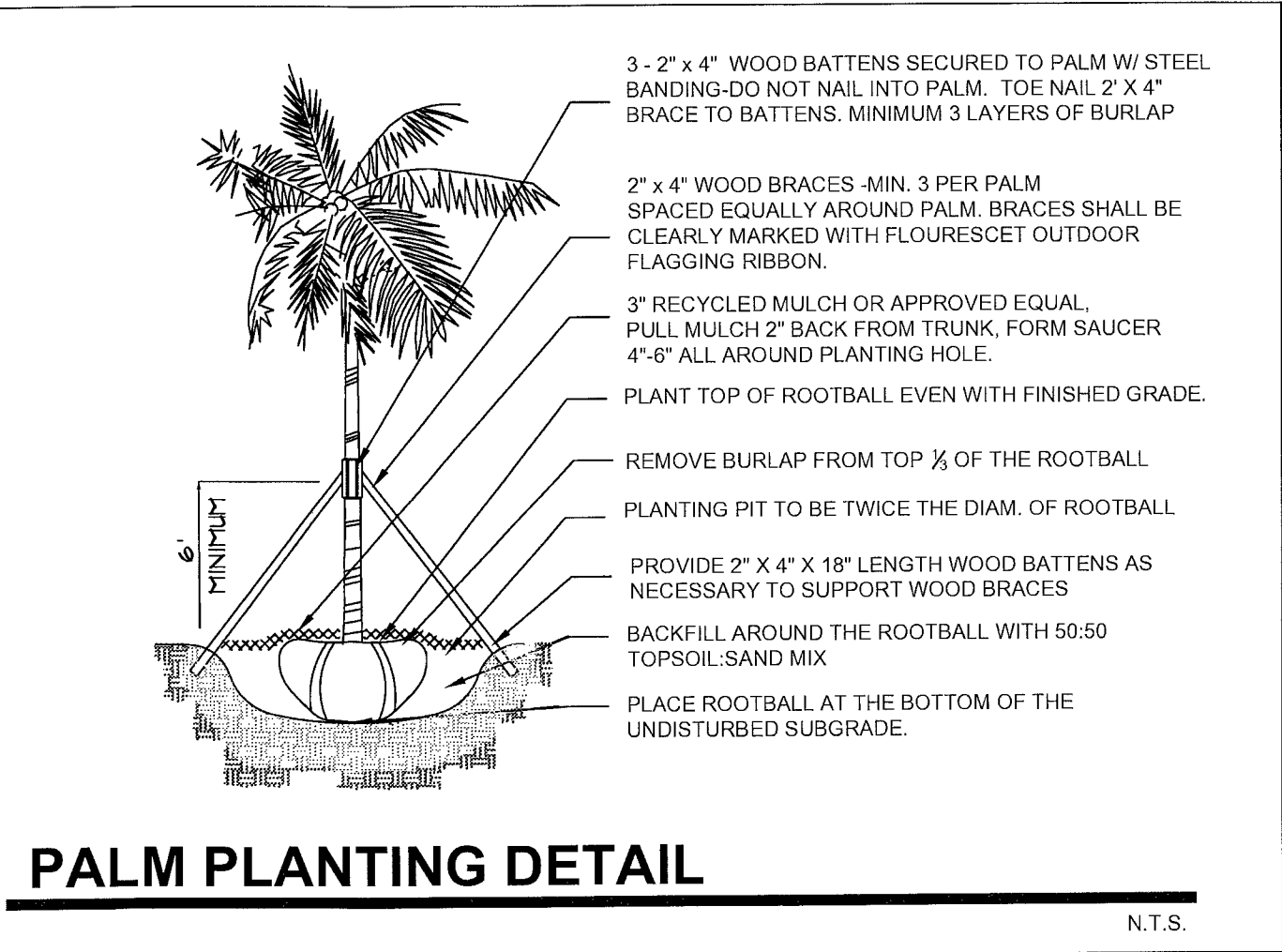
13. THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.

14. IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH 50% OVERLAP MINIMUM AND BE PROVIDED BY A FULLY AUTOMATIC IRRIGATION SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX 11" IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES.

15. IF NECESSARY, CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO ENSURE PROPER WATERING AND DURING INSTALLATION AND CONTRACTOR WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.

**A MINIMUM OF 6 MONTHS OF SUPPLEMENTAL HAND OR AUTOMATIC IRRIGATION SYSTEM WATERING SHALL BE REQUIRED TO AID IN NEW TREE OR PALM ESTABLISHMENT.**

16. FERTILIZATION: ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCAPE ARCHITECT. FERTILIZER SHALL BE OSMACOTE OR APPROVAL EQUAL.



## LANDSCAPE DETAILS NOTES

- CONTRACTOR SHALL REMOVE ALL STAKES, POLES, WELLINGTON TAPE AND / OR BRACING MATERIALS FROM ALL PALMS, TREES, AND SHRUBS, WITHIN (1) YEAR OF INSTALLATION. THIS NOTE IS APPLICABLE TO ALL PLANTING DETAILS ON THIS SHEET.
- EXISTING SITE CONDITIONS HAVE BEEN FIELD VERIFIED BY LANDSCAPE ARCHITECT.
- ALL LANDSCAPE AREAS TO BE 100% COVERED BY A FULLY AUTOMATIC IRRIGATION SYSTEM WITH RAIN SENSOR. CONTRACTOR TO PROVIDE SHOP DRAWING OF MODIFIED IRRIGATION SYSTEM TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- SHEETS L1, L2, L3, L4 TO BE UTILIZED FOR LANDSCAPE AND IRRIGATION PURPOSES ONLY. ALL SITE IMPROVEMENTS INCLUDING GRADING AND DRAINAGE TO BE BY OTHERS. REFER TO ARCHITECTURE AND ENGINEERING PLANS FOR ALL ADDITIONAL INFORMATION.







## LEGAL DESCRIPTION

LOT 19, BLOCK 3, 'DI LIDO ISLAND', ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 8, PAGE 36, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND AN EIGHT FOOT STRIP IN BISCAYNE BAY, LYING WEST OF AND ADJACENT TO THE WEST LINE OF SAID LOT.

PROPERTY ADDRESS:  
808 W. DILIDO DRIVE  
MIAMI BEACH, FL 33139

## PUBLIC WORKS NOTES

REMOVE & REPLACE CONCRETE SIDEWALK ALONG ENTIRE FRONTAGE OF PROPERTY

RECONSTRUCT SWALE ALONG ENTIRE FRONTAGE OF PROPERTY

MILL & RESURFACE 2" AVG. (TYPE S-III ASPHALT MIX) DRIVING LANE (10' WIDE) IN STREET ADJACENT TO PROPERTY ALONG ENTIRE FRONTAGE OF PROPERTY

ALL CONSTRUCTION, IMPROVEMENTS (INCLUDING LANDSCAPING AND IRRIGATION) AND/OR USE OF EQUIPMENT IN THE RIGHT-OF-WAY WILL REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS RIGHT-OF-WAY CONSTRUCTION PERMIT PRIOR TO START OF CONSTRUCTION

## SITE DATA

EXISTING LOT SIZE:	10,150 SQ. FT. (0.246 ACRES±)	(100%)
BLDG. LOT COVERAGE:	3,191 SQ. FT. (29.6%)	
MAIN HOUSE	3,109 SQ. FT.	
GARAGE	82 SQ. FT. (582 SQ. FT.)	(5.4%)
IMPERVIOUS GROUND COVER:	2,675 SQ. FT. (24.8%)	
COVERED DECKS/	582 SQ. FT.	
WALKWAYS/	1,268 SQ. FT.	
DRIVEWAYS	825 SQ. FT.	
WATER FEATURES:	1,365 SQ. FT. (12.7%)	
POOL	427 SQ. FT.	
PONDS	938 SQ. FT.	
LANDSCAPED AREA:	3,019 SQ. FT. (28.1%)	

## BUILDING DATA

MAIN HOUSE:		
FIRST FLOOR (AC)	2,990 SQ. FT.	
SECOND FLOOR (AC)	3,245 SQ. FT.	
GARAGE (NON AC)	582 SQ. FT.	
TOTAL (AC)	6,235 SQ. FT.	
TOTAL (NON AC)	582 SQ. FT.	
TOTAL:	6,817 SQ. FT.	
UNIT SIZE/LOT SIZE:	58%, 6,235 SQ. FT.	

## (INTERIORS)

## ZONING DATA

CLASSIFICATION:	R8-3	
FLOOD ZONE:	AE-3	
MIN. FLOOD ELEVATION (NGVD):	+9'-0"	+9'-0"
MAX. LOT COVERAGE:	30%, 3,225 SQ. FT. (35% W/ DRB APPROVAL)	29.6%, 3,191 SQ. FT.
MAIN HOUSE		
MAX. BUILDING HEIGHT:	25'-0" (30'-0" W/ DRB APPROVAL)	27'-6"
FRONT SETBACK:	20'-0"	20'-6"
REAR SETBACK:	26'-10"	27'-8"
SIDE SETBACKS:	15'-0"	15'-0" (7'-6"/7'-6")

## TERMITE PROTECTION NOTE

TERMITE PROTECTION SHALL BE PROVIDED BY FLORIDA REGISTERED TERMITICIDES OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION.

SOIL SHALL BE TERMITE TREATED PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL POST A WEATHER RESISTANT JOB BOARD TO RECEIVE DUPLICATE TREATMENT CERTIFICATES & SHALL DISPLAY PRODUCT USED, IDENTITY OF APPLICATOR, TIME & DATE OF TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION & NUMBER OF GALLONS USED.

## SURVEYOR NOTE

CONTRACTOR SHALL FIELD VERIFY, PRIOR TO CONSTRUCTION, THAT ALL SETBACKS ARE MET PER SITE PLAN AND THAT RESIDENCE AND ITS AMENITIES SIT ON SITE EXACTLY AS PER THIS SITE PLAN. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

## DRAINAGE NOTE

ALL DRAINAGE SHALL BE CONTAINED ON PROPERTY AND SHALL NOT DRAIN ONTO NEIGHBORING PROPERTY.

SLOPE GRADE AWAY FROM NEW CONSTRUCTION

## FLOOD ELEVATION NOTE:

ALL ELECTRICAL, MECHANICAL & PLUMBING EQUIPMENT IS TO BE ABOVE BASE FLOOD ELEVATION (+9'-0" NGVD) - ALL CONSTRUCTION & FINISH MATERIALS BELOW BASE FLOOD ELEVATION ARE TO BE FLOOD RESISTANT.

## APPLICABLE CODE NOTE:

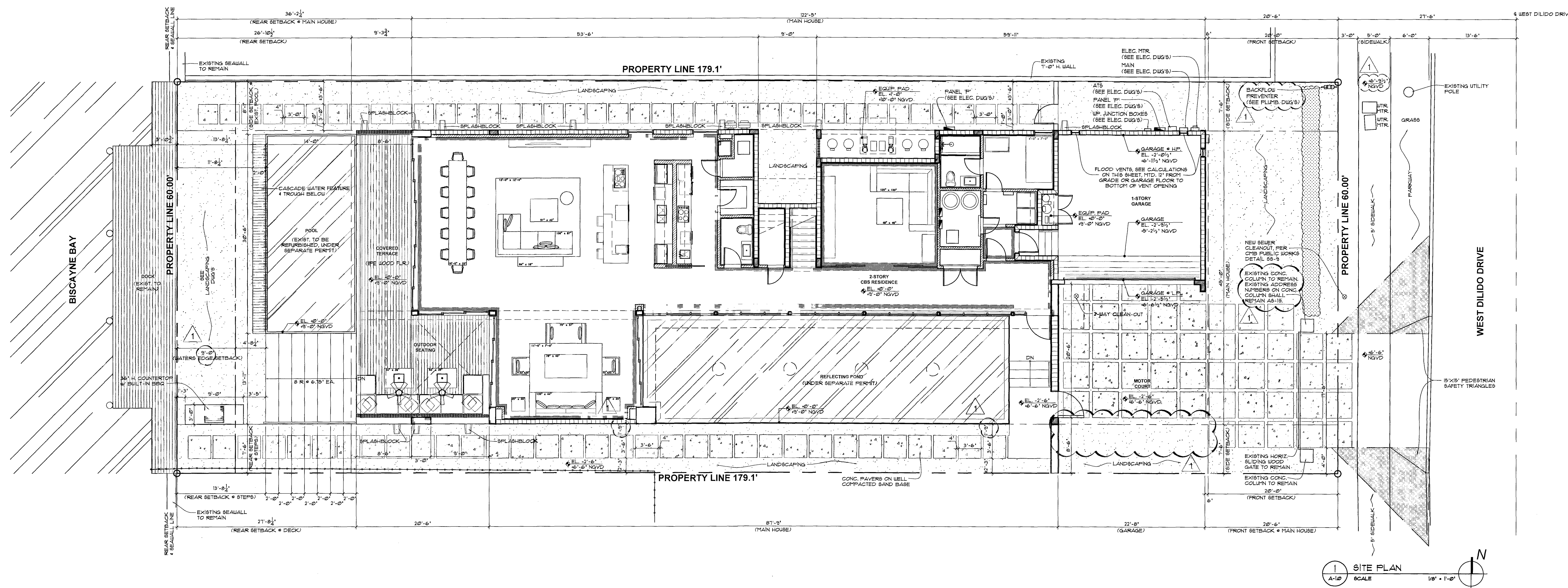
APPLICABLE CODE: FBC 2010 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. 2010 RESIDENTIAL.

## FLOOD VENT CALCULATIONS:

TOTAL GARAGE AREA = 481 SQ. FT.  
FLOOD VENT REQUIRED = 481 SQ. INCHES

ENGINEERED FLOOD VENTS = BLOCK WALL  
'SMART VENTS' = 200 SQ. INCHES EA.  
200 SQ. IN. x 3 VENTS = 600 SQ. INCHES

CALCULATIONS ARE BASED ON 'SMART VENT' MODEL  
1540-510, CERTIFICATION: FL5822-R2



**choeff + levy p.a.**  
architecture interior design

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## DILIDO RESIDENCE

808 WEST DILIDO DR. MIAMI BEACH, FL 33139

comm no.  
1241

date:  
09-30-13

revised:  
01-06-2014  
OWNER REV.

sheet no.

A-0.1

*[Signature]*  
JAN 23 2014



LEGAL DESCRIPTION	SITE DATA	BUILDING DATA	(INTERIORS)	ZONING DATA	REQUIRED /ALLOWED	PROVIDED
LOT 19, BLOCK 3, 'DILIDO ISLAND', ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 8, PAGE 36, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND AN EIGHT FOOT STRIP IN BISCAYNE BAY, LYING WEST OF AND ADJACENT TO THE WEST LINE OF SAID LOT.	EXISTING LOT SIZE: 10,150 SQ. FT. (0.246 ACRES±) (100%)	MAIN HOUSE: FIRST FLOOR (AC) 2,990 SQ. FT. SECOND FLOOR (AC) 3,245 SQ. FT. GARAGE (NON AC) 582 SQ. FT.		CLASSIFICATION: R9-3	R9-3	
PROPERTY ADDRESS: 808 W. DILIDO DRIVE, MIAMI BEACH, FL 33139	BLDG. LOT COVERAGE: 3,191 SQ. FT. (29.6%) MAIN HOUSE 3,103 SQ. FT. GARAGE 82 SQ. FT. (582 SQ. FT.) (5.4%)	TOTAL (AC) 6,235 SQ. FT. TOTAL (NON AC) 582 SQ. FT.		FLOOD ZONE: AE-9	AE-9	
	IMPERVIOUS GROUND COVER: 2,675 SQ. FT. (24.8%) COVERED DECKS/ WALKWAYS/ DRIVEWAYS 825 SQ. FT.	UNIT SIZE/LOT SIZE: 58%, 6,235 SQ. FT.		MIN. FLOOD ELEVATION (NGVD): +9'-0"	+9'-0"	+9'-0"
	WATER FEATURES: 1,365 SQ. FT. (12.7%) POOL 421 SQ. FT. PONDS 938 SQ. FT.			MAX. LOT COVERAGE: 30%, 3,225 SQ. FT. (35% W/ DRB APPROVAL)	29.6%, 3,191 SQ. FT.	
	LANDSCAPED AREA: 3,019 SQ. FT. (28.1%)			MAIN HOUSE		
				MAX. BUILDING HEIGHT: 25'-0" (30'-0" W/ DRB APPROVAL)	21'-6"	
				FRONT SETBACK: 20'-0"	20'-6"	
				REAR SETBACK: 26'-10" (15% LOT DEPTH)	21'-8"	
				SIDE SETBACKS: (25% LOT WIDTH=SUM OF BOTH SIDES, 1'-6" MIN.)	15'-0" (1'-6"/1'-6")	15'-0"

**PUBLIC WORKS NOTES**

REMOVE & REPLACE CONCRETE SIDEWALK ALONG ENTIRE FRONTAGE OF PROPERTY

RECONSTRUCT SWALE ALONG ENTIRE FRONTAGE OF PROPERTY

MILL & RESURFACE 2" AVG. (TYPE 3-III ASPHALT MIX) DRIVING LANE (10' WIDE) IN STREET ADJACENT TO PROPERTY ALONG ENTIRE FRONTAGE OF PROPERTY

ANY WORK OR IMPROVEMENT TO / FROM RIGHT-OF-WAY REQUIRES A SEPERATE CITY OF MIAMI BEACH PUBLIC WORKS RIGHT-OF-WAY CONSTRUCTION PERMIT

**TERMITE PROTECTION NOTE**

TERMITE PROTECTION SHALL BE PROVIDE BY FLORIDA REGISTERED TERMITICIDES OR OTHER APPROVED METHODS OF TERMITE PROTECTION. LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION.

SOIL SHALL BE TERMITE TREATED PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL POST A WEATHER RESISTANT JOB BOARD TO RECEIVE DUPLICATE TREATMENT CERTIFICATES & SHALL DISPLAY PRODUCT USED IDENTITY OF APPLICATOR, TIME & DATE OF TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION & NUMBER OF GALLONS USED.

**SURVEYOR NOTE**

CONTRACTOR SHALL FIELD VERIFY PRIOR TO CONSTRUCTION THAT ALL SETBACKS ARE MET PER SITE PLAN AND THAT RESIDENCE AND ITS AMENITIES SIT ON SITE EXACTLY AS PER THIS SITE PLAN. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

**DRAINAGE NOTE**

ALL DRAINAGE SHALL BE CONTAINED ON PROPERTY AND SHALL NOT DRAIN ONTO NEIGHBORING PROPERTY

SLOPE GRADE AWAY FROM NEW CONSTRUCTION

**FLOOD ELEVATION NOTE:**

ALL ELECTRICAL, MECHANICAL & PLUMBING EQUIPMENT IS TO BE ABOVE BASE FLOOD ELEVATION (+9'-0" NGVD) - ALL CONSTRUCTION & FINISH MATERIALS BELOW BASE FLOOD ELEVATION ARE TO BE FLOOD RESISTANT.

**APPLICABLE CODE NOTE:**

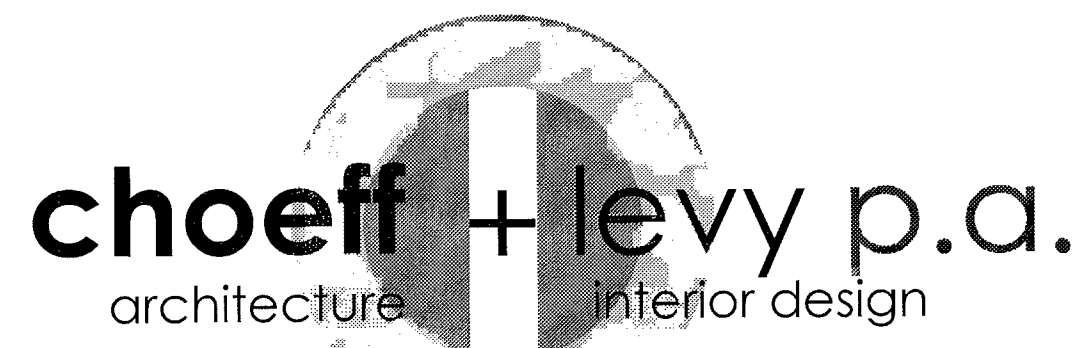
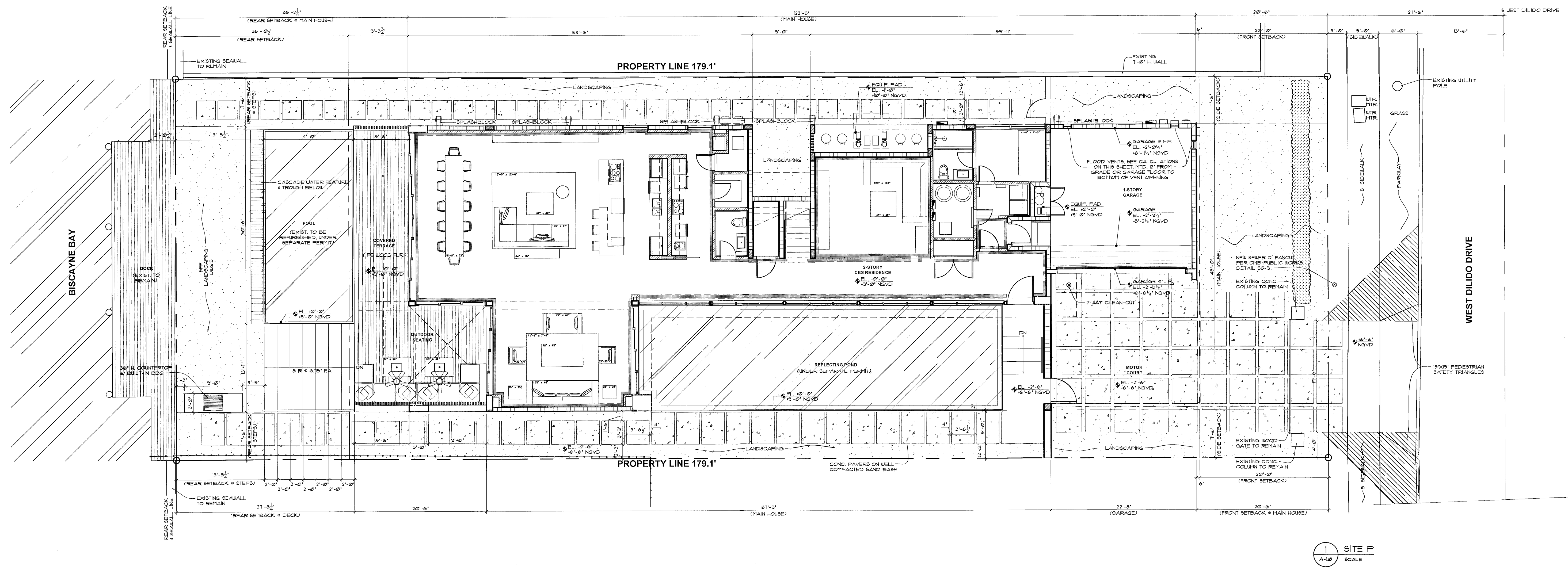
APPLICABLE CODE: FBC 2010 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. 2010 RESIDENTIAL.

**FLOOD VENT CALCULATIONS:**

TOTAL GARAGE AREA = 481 SQ. FT.  
FLOOD VENT REQUIRED = 481 SQ. INCHES

ENGINEERED FLOOD VENTS @ BLOCK WALL  
'SMART VENTS' = 200 SQ. INCHES EA.  
200 SQ. IN. x 3 VENTS = 600 SQ. INCHES

CALCULATIONS ARE BASED ON 'SMART VENT' MODEL 1540-510, CERTIFICATION: FL5822-R2



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**DILIDO RESIDENCE**

808 WEST DILIDO DR. MIAMI BEACH, FL 33139

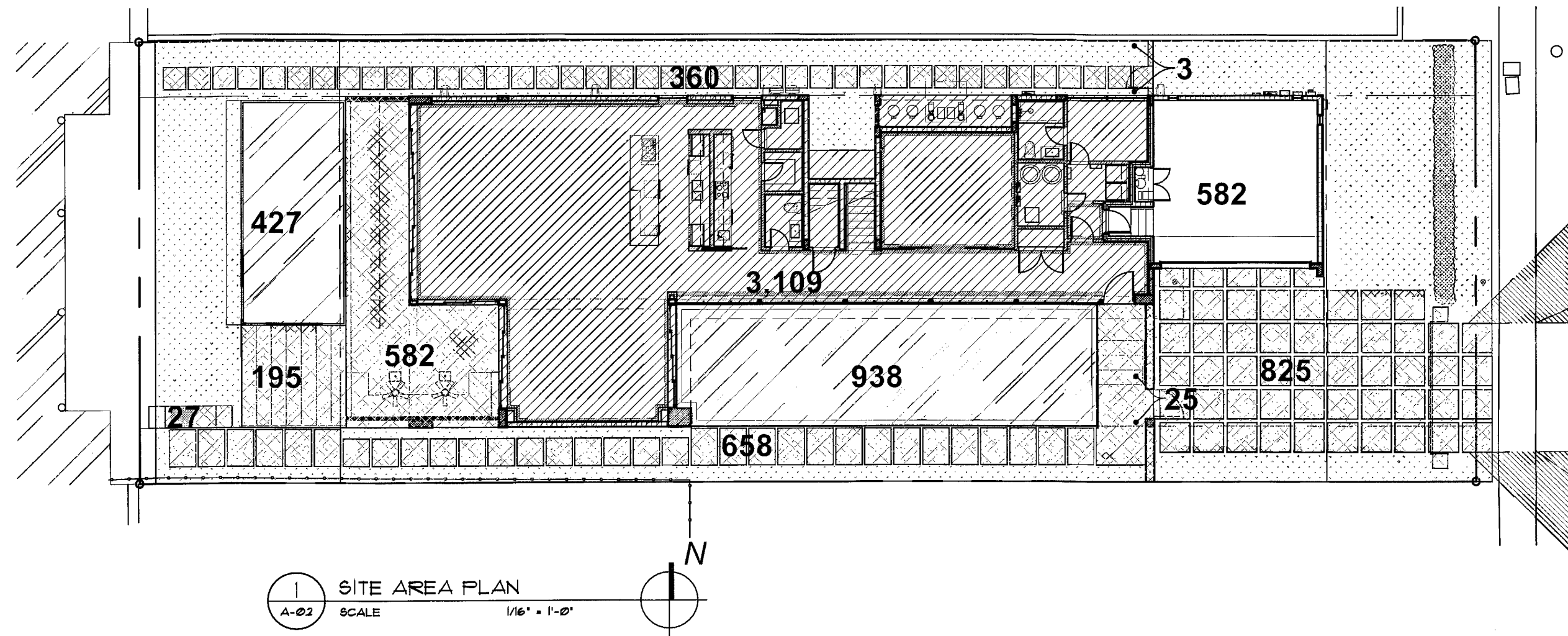
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09-30-13

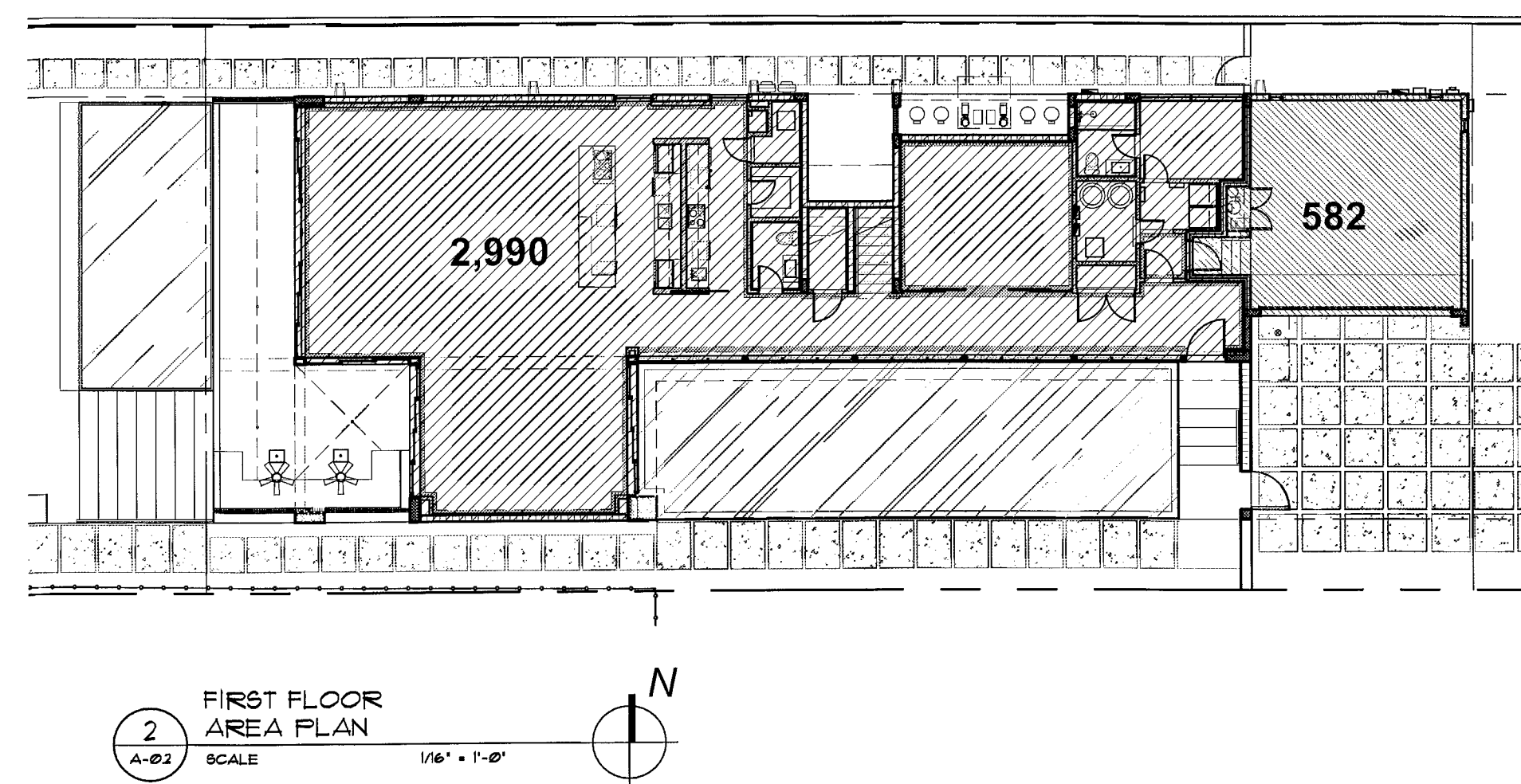
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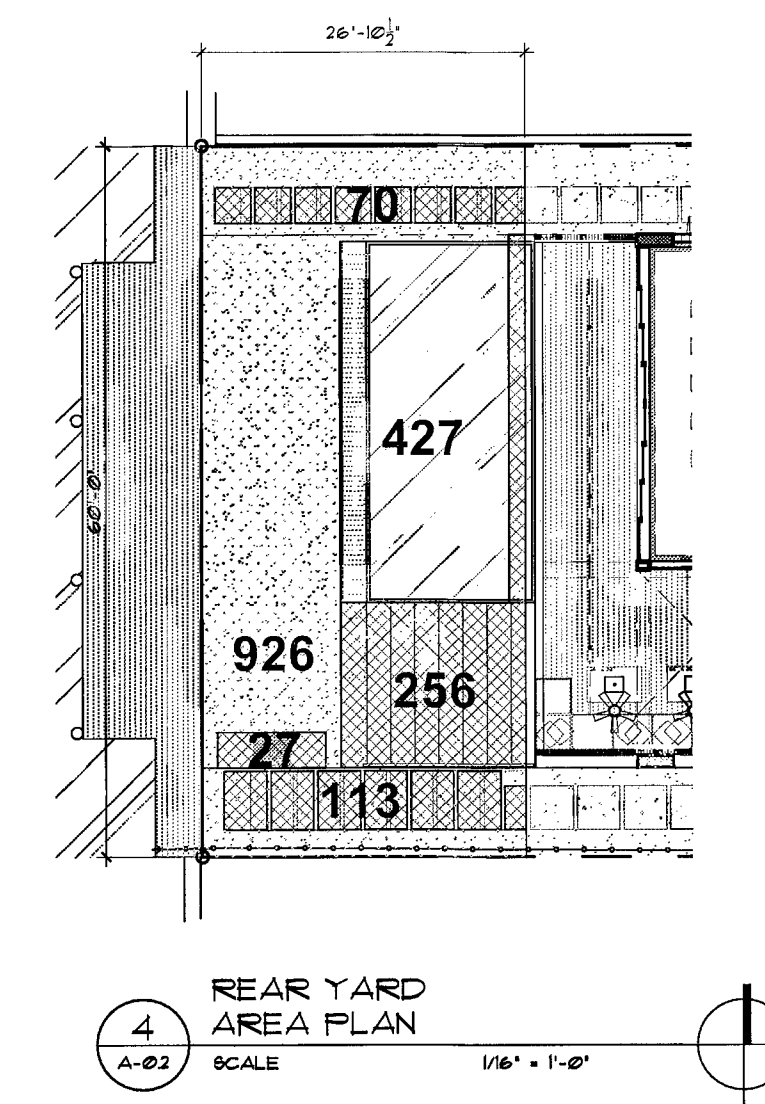




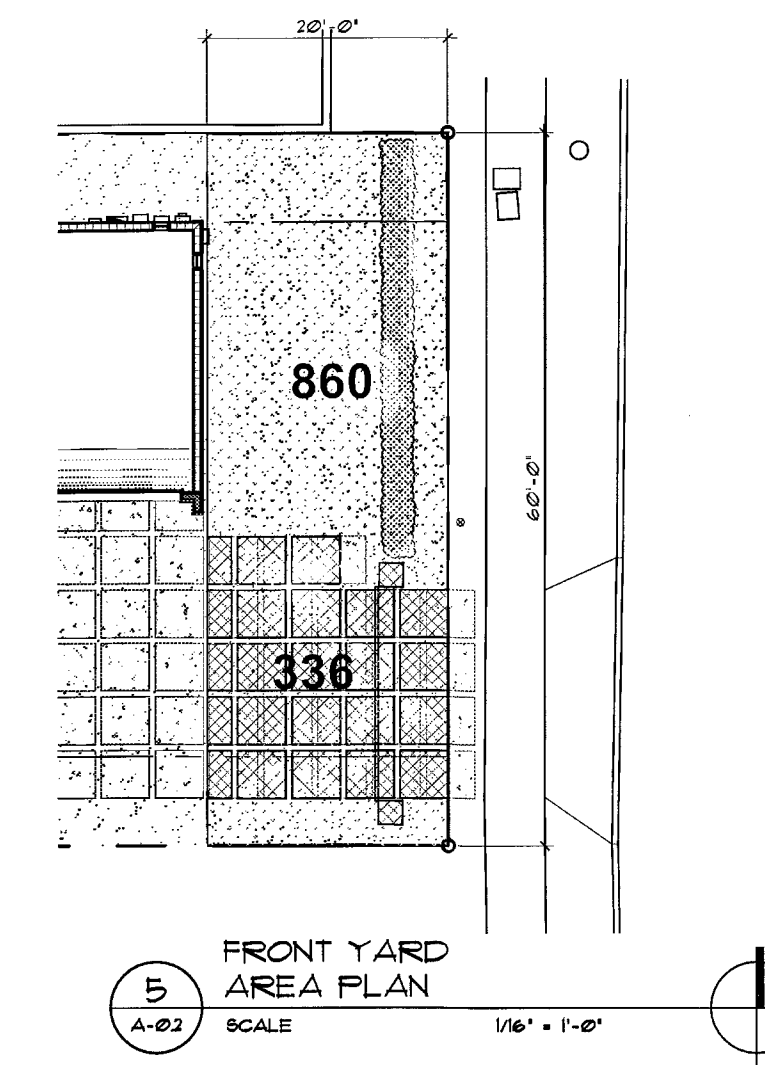
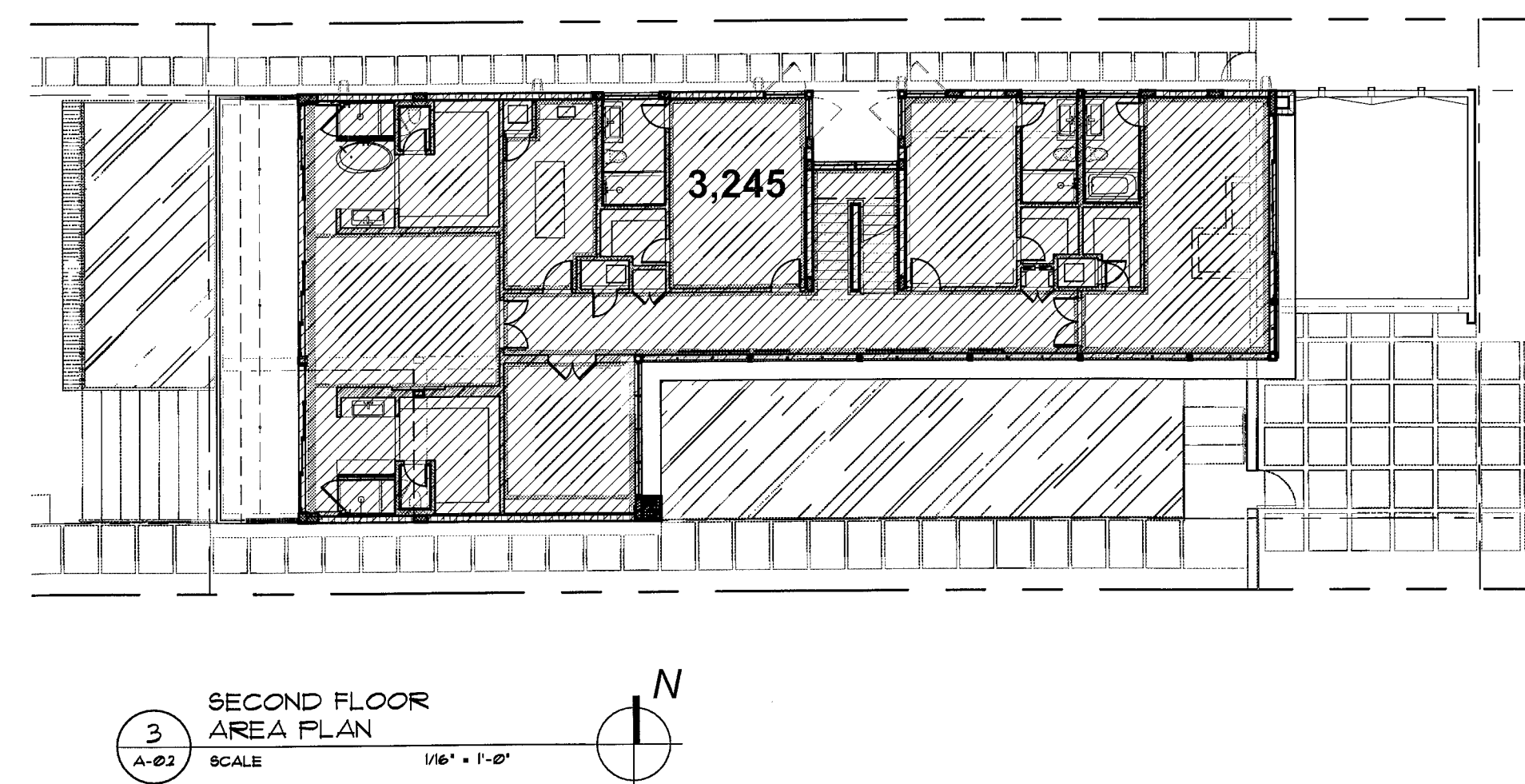
SITE DATA			
EXISTING LOT SIZE:	10,150 SQ. FT.	(100%)	
	(0.246 ACRES±)		
BLDG. LOT COVERAGE:	3,191 SQ. FT.	(29.6%)	
MAIN HOUSE	3,109 SQ. FT.		
GARAGE	82 SQ. FT. (582 SQ. FT.)	(5.4%)	
IMPERVIOUS GROUND COVER:	2,675 SQ. FT.	(24.8%)	
COVERED DECKS/	582 SQ. FT.		
WALK WAYS/	1,268 SQ. FT.		
DRIVE WAYS	825 SQ. FT.		
WATER FEATURES:	1,365 SQ. FT.	(12.7%)	
POOL	421 SQ. FT.		
PONDS	938 SQ. FT.		
LANDSCAPED AREA:	3,019 SQ. FT.	(28.1%)	



BUILDING DATA			REQUIRED / ALLOWED	PROVIDED
LOT SIZE:	10,150 SQ. FT.			
UNIT SIZE:	50% LOT AREA MAX.,	58%,		
	5,315 SQ. FT.	6,235 SQ. FT.		
AIR-CONDITIONED INTERIORS				
FIRST FLOOR (AC)		2,990 SQ. FT.		
SECOND FLOOR (AC)		3,245 SQ. FT.		
TOTAL (AC)		6,235 SQ. FT.		
NON-AIR-CONDITIONED INTERIORS				
GARAGE (NON AC)		582 SQ. FT.		
TOTAL (NON AC)		582 SQ. FT.		
TOTAL INTERIOR AREA (AC + NON AC):		6,817 SQ. FT.		



REAR SETBACK CALCULATIONS			
AREA:	1,610 SQ. FT.	100%	
DECK /			
ACCESSORY BLDG. AREA:	466 SQ. FT.	29%	
LANDSCAPE / POOL AREA:	1,144 SQ. FT.	71.0%	



FRONT SETBACK CALCULATIONS			
AREA:	1,200 SQ. FT.	100%	
IMPERVIOUS AREA:	336 SQ. FT.	28%	
LANDSCAPE AREA:	864 SQ. FT.	72%	

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revised:

sheet no.  
**A-0.2**

*[Signature]*  
OCT 06 2013

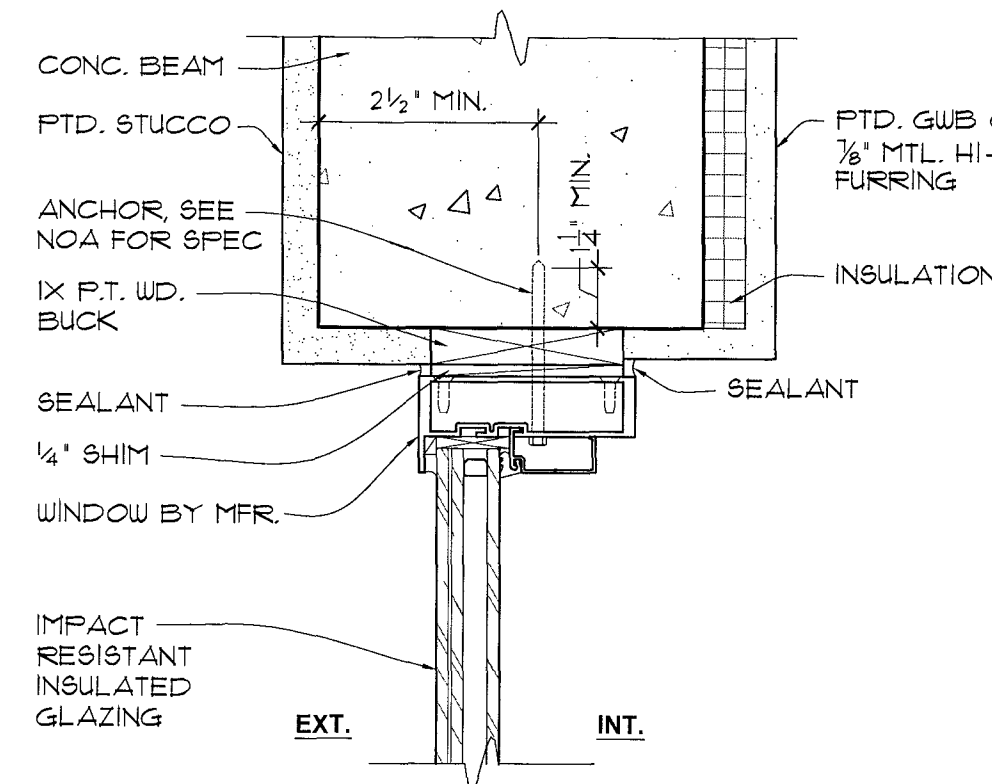


DOOR SCHEDULE															
DOOR #	QUANTITY	LOCATION	DOOR SIZES			TOTAL # OF PANELS	FIXED PANELS	JAMB	TYPE	MATERIAL			HARDWARE	REMARKS	
			DOOR HEIGHT	OPENING WIDTH	PANEL WIDTH (±)					DOOR / FRAME	GLAZING				
											TINT / FINISH	TYPE			
001	1	ENTRY DOOR	10'-0"	4'-0"	4'-0"	1	0	METAL	SWING	FRENCH	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	N/ THICK TO ACHIEVE MIN. 30-MINUTE FIRE RATING. PER FDSR 3023.1
002	1	UTILITY	8'-6"	3'-0"	3'-0"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
003	1	UTILITY / GARAGE	8'-0"	3'-4"	3'-0"	1	0	METAL	SWING	SOLID/FLUSH	BRONZE ALUM.	-	FIRE RATED	PRIVACY LOCK / DEADBOLT	
004	1	STAFF ROOM	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
005	1	STAFF BATHROOM	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
006	1	AHU #2 / HUH CLOSET	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
007	1	A/V CLOSET	8'-6"	5'-3"	2'-11½"	2	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
008	1	GYM. FLATROOM	9'-10"	11'-10"	4'-5½"	4	2	WOOD	SLIDING	SOLID/FLUSH	FTD. WOOD	-	-	TBD	
009	1	STORAGE	8'-6"	2'-8"	2'-8"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
010	1	POWDER ROOM	8'-6"	2'-8"	2'-8"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
011	1	SERVICE KITCHEN	9'-10"	3'-6"	3'-6"	1	0	WOOD	POCKET	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	POCKET INSTALLATION
012	1	PANTRY	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
013	1	AHU #1 CLOSET	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
014	1	DINING ROOM	10'-0"	13'-4"	3'-6"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
015	1	DINING ROOM	10'-0"	13'-4"	3'-6"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
016	1	DINING ROOM	10'-0"	11'-0"	3'-9"	3	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
017	1	LIVING ROOM	10'-0"	14'-2"	3'-8"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
018	1	LIVING ROOM	10'-0"	14'-2"	3'-8"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
019	1	GARAGE	8'-0"	20'-0"	20'-0"	1	0	METAL	ROLL UP	ALUMINUM	BRONZE ALUM.	-	IMPACT	PRIVACY LOCK	SEE MFR. DUG'S
021	1	BEDROOM #3	10'-0"	13'-8"	5'-0"	4	2	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
022	1	BATH #3	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
023	1	AHU #4 CLOSET	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
024	1	W.C. #3	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
025	1	BEDROOM #3	9'-10"	6'-6½"	6'-6½"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
026	1	BATH #2	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
027	1	W.C. #2	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
028	1	BEDROOM #2	8'-6"	3'-0"	3'-0"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
029	1	BEDROOM #1	8'-6"	3'-0"	3'-0"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
030	1	BATH #1	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
031	1	W.C. #1	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
032	1	A/V CLOSET	8'-6"	3'-5"	1'-8½"	2	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
033	1	AHU #3 CLOSET	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
034	1	MASSAGE ROOM	8'-6"	3'-0"	3'-0"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
035	1	HER BATH	8'-6"	2'-4"	2'-4"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
036	1	MASTER BEDROOM	10'-0"	13'-4"	3'-6"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
037	1	MASTER BEDROOM	10'-0"	13'-4"	3'-6"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
038	1	MASTER BEDROOM	10'-0"	15'-8"	4'-1"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
039	1	HIS BATH	8'-6"	2'-4"	2'-4"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
040	1	MASTER BEDROOM	8'-6"	5'-0"	2'-6"	2	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
041	1	OFFICE	8'-6"	5'-0"	2'-6"	2	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
042	1	AHU #5 CLOSET	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
043	1	LINEN CLOSET	8'-6"	3'-5"	1'-8½"	2	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	

WINDOW SCHEDULE															
MARK	QUANTITY	LOCATION	WINDOW SIZES			TOTAL # OF PANELS	TYPE	FRAME MATERIAL	GLASS TINT	GLASS TYPE	EGRESS TYPE		REMARKS		
			HEIGHT	OPENING WIDTH	PANEL WIDTH (±)						IMPACT RESISTANT	TEMPERED		YES	NO
(A)	1	FOYER / CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X		X			
(B)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X		X			
(C)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X		X			
(D)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X		X			
(E)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X		X			
(F)	1	KITCHEN	9'-10½"	4'-0"	4'-0"	1	FIXED	BRONZE/ALUM.	CLEAR	X		X			
(G)	1	SERVICE KITCHEN	9'-10½"	4'-0"	4'-0"	1	FIXED	BRONZE/ALUM.	CLEAR	X		X			
(H)	1	NOT IN USE	-	-	-	-	-	-	-						
(I)	1	NOT IN USE	-	-	-	-	-	-	-						
(J)	1	NOT IN USE	-	-	-	-	-	-	-						
(K)	1	STAFF BEDROOM	4'-4"	3'-1"	5'-6"	2	CASEMENT	BRONZE/ALUM.	CLEAR	X		X			
(L)	1	BEDROOM #3	9'-10½"	8'-2"	4'-1"	2	FIXED	BRONZE/ALUM.	CLEAR	X		X			
(M)	1	BEDROOM #3	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X		X			
(N)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X		X			
(O)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X		X			
(P)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X		X			
(Q)	1	OFFICE	9'-10½"	14'-2"	3'-6½"	4	FIXED	BRONZE/ALUM.	CLEAR	X		X			
(R)	1	BATH #1	3'-0"	6'-0"	6'-0"	1	FIXED	BRONZE/ALUM.	CLEAR	X		X			
(S)	1	BEDROOM #1	9'-10½"	4'-4"	4'-4"	1	FIXED/HUNG	BRONZE/ALUM.	CLEAR	X		X	PART OF LARGER ASSEMBLY, SEE ELEVATIONS. 4" MULLION BY MANUFACTURER		
(T)	1	NOT IN USE	-	-	-	-	-	-	-						
(T)	1	BEDROOM #1	9'-10½"	4'-4"	4'-4"	1	FIXED/HUNG	BRONZE/ALUM.	CLEAR	X		X	PART OF LARGER ASSEMBLY, SEE ELEVATIONS. 4" MULLION BY MANUFACTURER		
(U)	2	NOT IN USE	-	-	-	-	-	-	-						
(U)	2	STAIR	7'-10"	9'-0"	4'-6"	2	FIXED	BRONZE/ALUM.	CLEAR	X		X	PART OF LARGER ASSEMBLY, SEE ELEVATIONS. 4" MULLION BY MANUFACTURER		
(V)	2	STAIR	7'-10"	9'-0"	4'-6"	2	FIXED	BRONZE/ALUM.	CLEAR	X		X	PART OF LARGER ASSEMBLY, SEE ELEVATIONS. 2" MULLION BY MANUFACTURER		
(V)	1	BEDROOM #2	9'-10½"	4'-4"	4'-4"	1	FIXED/HUNG	BRONZE/ALUM.	CLEAR	X		X	PART OF LARGER ASSEMBLY, SEE ELEVATIONS. 4" MULLION BY MANUFACTURER		
(W)	1	NOT IN USE	-	-	-	-	-	-	-						
(W)	1	BEDROOM #2	9'-10½"	4'-4"	4'-4"	1	FIXED/HUNG	BRONZE/ALUM.	CLEAR	X		X	PART OF LARGER ASSEMBLY, SEE ELEVATIONS. 4" MULLION BY MANUFACTURER		
(X)	1	NOT IN USE	-	-	-	-	-	-	-						
(X)	1	BATH #2	3'-0"	6'-0"	6'-0"	2	FIXED	BRONZE/ALUM.	CLEAR	X		X			
(Y)	1	BATH #3	3'-0"	6'-0"	6'-0"	2	FIXED	BRONZE/ALUM.	CLEAR	X		X			
(Z)	1	BEDROOM #3	9'-10½"	5'-2"	2'-1"	2	FIXED	BRONZE/ALUM.	CLEAR	X		X			
(AA)	1	ENTRY	9'-10½"	1'-6"	1'-6"	1	FIXED	BRONZE/ALUM.	CLEAR	X		X			

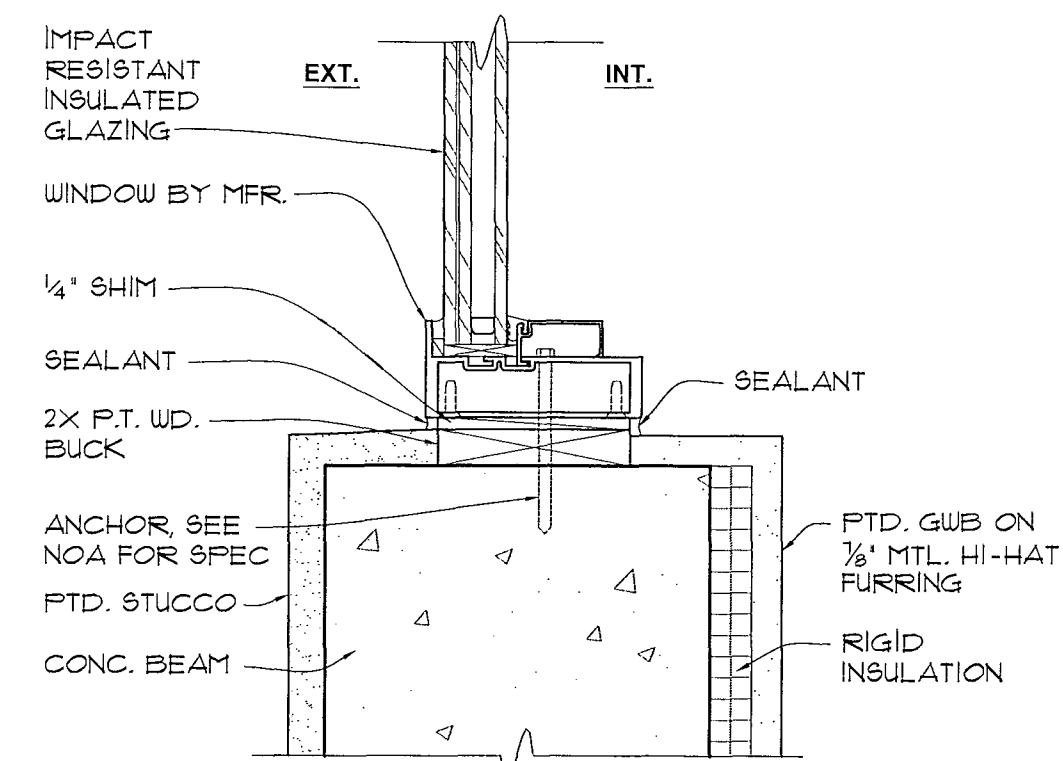
## WINDOW SCHEDULE

SCALE: 1/4"=1'-0"



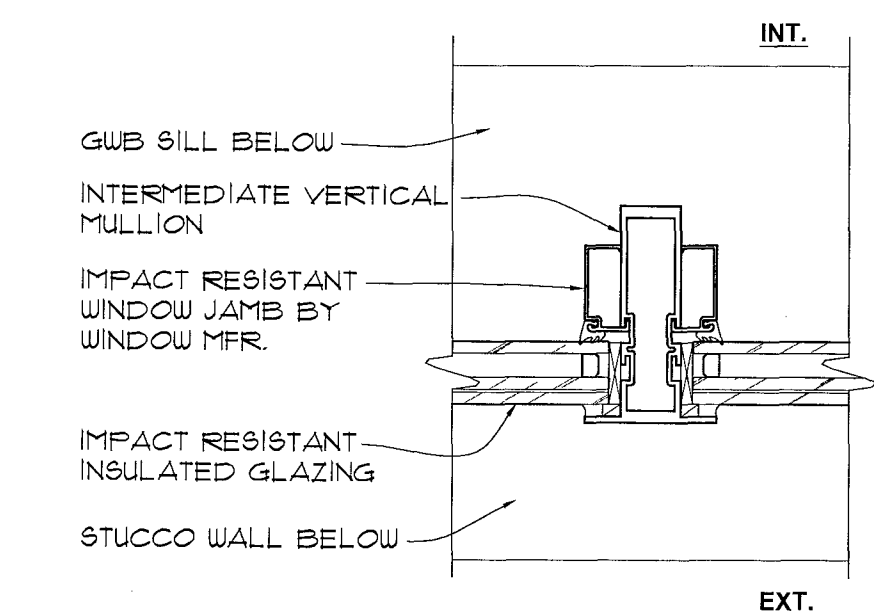
## WINDOW HEAD DETAIL @ STUCCO

SCALE: 3/4"=1'-0"



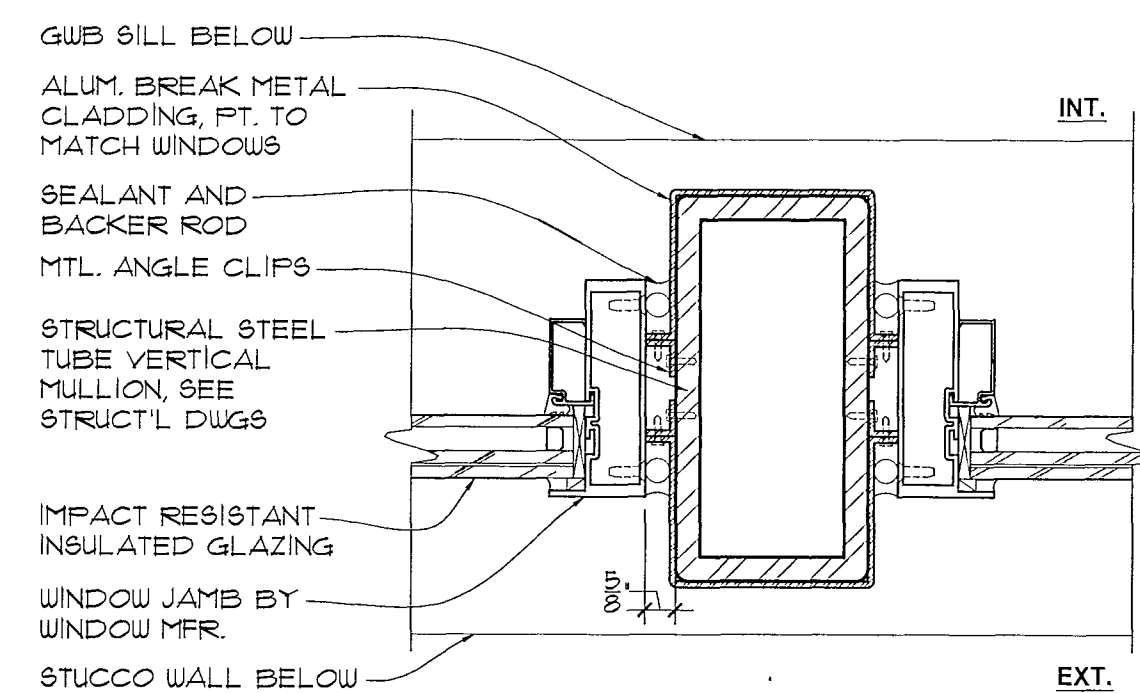
## WINDOW SILL DETAIL @ STUCCO

SCALE: 3/4"=1'-0"



## WINDOW INT. VERT. MULLION DETAIL

SCALE: 3/4"=1'-0"

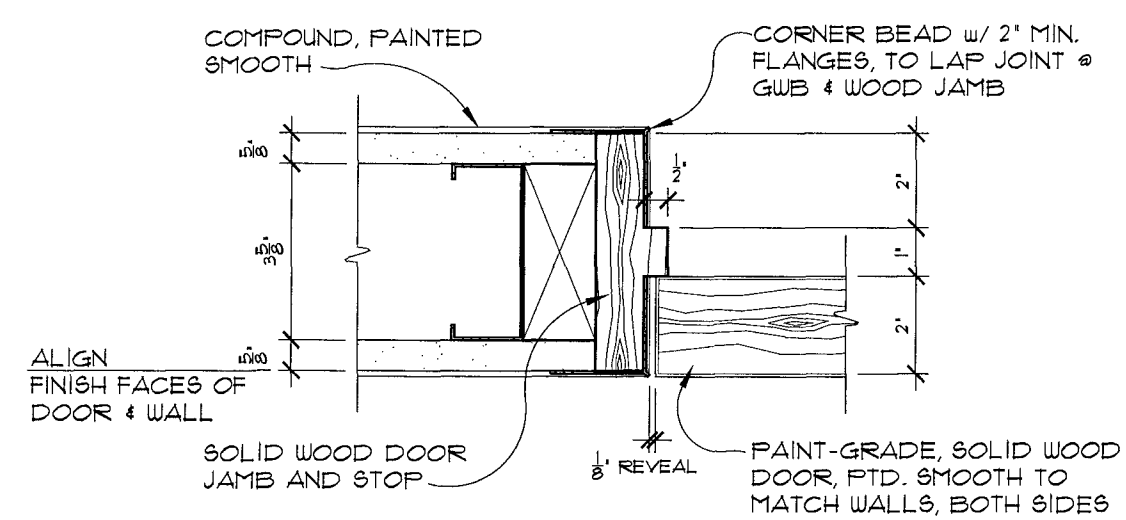


## WINDOW STRUCTURAL MULLION DETAIL

SCALE: 3/4"=1'-0"

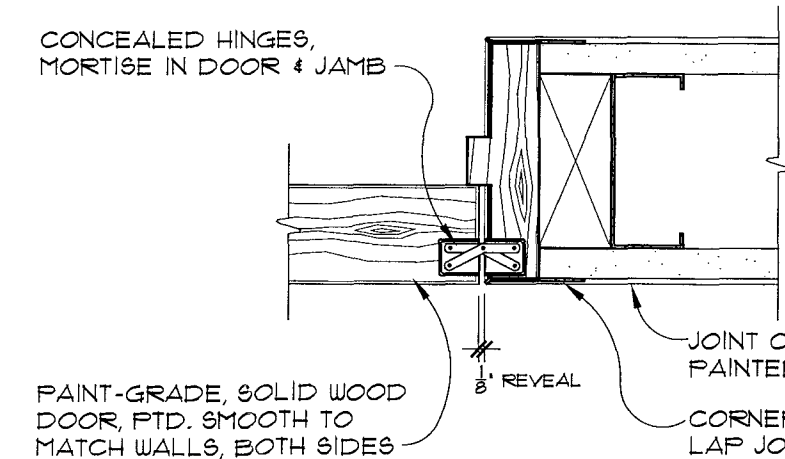
## DOOR SCHEDULE

SCALE: 1/4"=1'-0"



## TYP. DOOR JAMB DETAIL (HANDLE SIDE)

SCALE: 3/4"=1'-0"



## TYP. DOOR JAMB DETAIL (HINGE SIDE)

## BURGLAR INTRUSION WINDOWS AND HARDWARE:

1. LOCKS ON EXTERIOR DOOR SHALL BE CAPABLE OF RESISTING A FORCE OF 500 POUNDS APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN THE F.B.C.
2. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OR LOCKING COMBINATIONS. IF KEY-IN-THE-KNOB LOCK IS USED, THERE SHALL BE AN AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT OR INSERTS.
3. THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE 84"TE LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIR OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8" MINIMUM THROW BOLTS WITH INSERTS.
4. HINGES ON EXTERIOR OUT SWING DOORS SHALL HAVE NON-EXPOSED SCREWS. EXPOSED PINE SHALL NOT BE REMOVABLE.
5. SINGLE, SWINGING, EXTERIOR DOORS SHALL BE SOLID CORE OF NOT LESS THAN 1 3/8" THICK.
6. GLASS IN EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE 231J.
7. VISION PANELS IN EXTERIOR DOOR, OTHER THAN GLAZING WITHIN 40" OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOCKS AND SWINGING GLASS DOOR SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE - STANDARD 231J ON FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A SCOPE OR VISION PANELS.

## DOOR NOTE:

ALL EXTERIOR DOORS SHALL MEET MIAMI-DADE PRODUCT APPROVAL STANDARDS. CONTRACTOR SHALL SUBMIT SUPPORTING LITERATURE TO THE BUILDING DEPT. FOR APPROVAL PRIOR TO ORDERING & INSTALLATION.

## NOTE:

ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH F.B.C. SECTION 2410 THROUGH 2415. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING ALL NECESSARY PRODUCT APPROVALS AND REQUIRED SHOP DRAWINGS TO THE BUILDING DEPARTMENT.

## PERMIT NOTE:

WINDOWS & DOORS ARE NOT PART OF THIS PERMIT

## CONTRACTOR NOTE:

CONTRACTOR TO COORDINATE ALL EXTERIOR WINDOW & DOOR SIZES WITH FIXTURES, EQUIPMENT, AND ALL INTERIOR FINISHES (INCLUDING FINISHED DRYWALL & CONC. WALLS WITH SWITCHES) PRIOR TO ORDERING MANUFACTURING OR INSTALLING DOORS & WINDOWS.

## ROUGH OPENING NOTE:

CONTRACTOR SHALL VERIFY WINDOW AND DOOR MANUFACTURER THE ROUGH OPENING DIMENSIONS AND STEEL COLUMN LOCATIONS PRIOR TO ORDERING MANUFACTURING OR INSTALLING DOORS & WINDOWS.

## GLAZING NOTE:

ALL EXTERIOR GLAZING AT WINDOWS AND DOORS SHALL BE LARGE MIBBLE IMPACT RESISTANT WITH A U-VALUE OF 0.10 & A SHGC OF 0.23

## FIRESTOP NOTE:

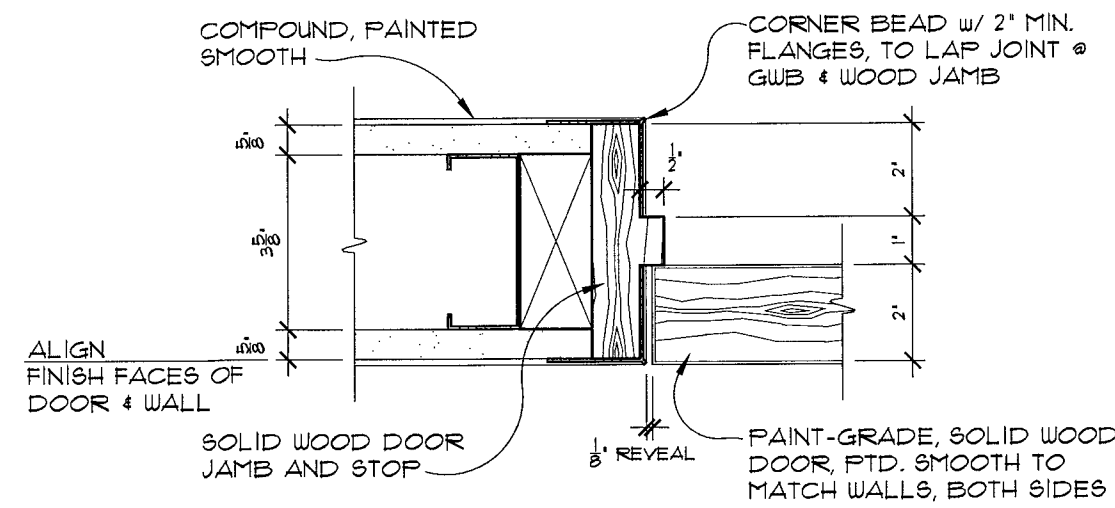
PROVIDE FIRE BLOCKING IN WALLS @ 8'-0" O.C. AND AS PER FBC 7010, R4409.1.



DOOR SCHEDULE															
DOOR #	QUANTITY	LOCATION	DOOR SIZES			TOTAL # OF PANELS	FIXED PANELS	JAMB	TYPE		MATERIAL			HARDWARE	REMARKS
			DOOR HEIGHT	OPENING WIDTH	PANEL WIDTH (±)						DOOR / FRAME	GLAZING			
												TINT / FINISH	TYPE		
001	1	ENTRY DOOR	10'-0"	4'-0"	4'-0"	1	0	METAL	SWING	FRENCH	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
002	1	UTILITY	8'-6"	3'-0"	3'-0"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
003	1	UTILITY / GARAGE	8'-0"	3'-4"	3'-0"	1	0	METAL	SWING	SOLID/FLUSH	BRONZE ALUM.	-	FIRE RATED	PRIVACY LOCK / DEADBOLT	1/4" THICK TO ACHIEVE MIN. 20-MINUTE FIRE RATING, PER FBCR 302.5J
004	1	STAFF ROOM	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
005	1	STAFF BATHROOM	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
006	1	AHU #2 / HUH CLOSET	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
007	1	A/V CLOSET	8'-6"	5'-3"	2'-1 1/2"	2	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
008	1	GYM PLAYROOM	9'-10"	11'-10"	4'-5 1/2"	4	2	WOOD	SLIDING	SOLID/FLUSH	PTD. WOOD	-	-	TBD	
009	1	STORAGE	8'-6"	2'-8"	2'-8"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
010	1	POWDER ROOM	8'-6"	2'-8"	2'-8"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	25" MIN. CLEAR OPENING
011	1	SERVICE KITCHEN	9'-10"	3'-6"	3'-6"	1	0	WOOD	POCKET	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	POCKET INSTALLATION
012	1	PANTRY	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
013	1	AHU #1 CLOSET	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
014	1	DINING ROOM	10'-0"	13'-4"	3'-6"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
015	1	DINING ROOM	10'-0"	13'-4"	3'-6"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
016	1	DINING ROOM	10'-0"	11'-0"	3'-9"	3	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
017	1	LIVING ROOM	10'-0"	14'-2"	3'-8"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
018	1	LIVING ROOM	10'-0"	14'-2"	3'-8"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
019	1	GARAGE	8'-0"	20'-0"	20'-0"	1	0	METAL	ROLL UP	ALUMINUM	BRONZE ALUM.	-	IMPACT	PRIVACY LOCK	SEE MFR DWG'S
020	1	BEDROOM #3	10'-0"	19'-8"	5'-0"	4	2	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
022	1	BATH #3	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
023	1	AHU #4 CLOSET	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
024	1	W.C. #3	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
025	1	BEDROOM #3	9'-10"	6'-6 1/2"	6'-6 1/2"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
026	1	BATH #2	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
027	1	W.C. #2	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
028	1	BEDROOM #2	8'-6"	3'-0"	3'-0"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
029	1	BEDROOM #1	8'-6"	3'-0"	3'-0"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
030	1	BATH #1	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
031	1	W.C. #1	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
032	1	A/V CLOSET	8'-6"	3'-5"	1'-8 1/2"	2	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
033	1	AHU #3 CLOSET	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
034	1	MESSAGE ROOM	8'-6"	3'-0"	3'-0"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
035	1	HER BATH	8'-6"	2'-4"	2'-4"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
036	1	MASTER BEDROOM	10'-0"	13'-4"	3'-6"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
037	1	MASTER BEDROOM	10'-0"	13'-4"	3'-6"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
038	1	MASTER BEDROOM	10'-0"	15'-8"	4'-1"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
039	1	HIS BATH	8'-6"	2'-4"	2'-4"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
040	1	MASTER BEDROOM	8'-6"	5'-0"	2'-6"	2	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
041	1	OFFICE	8'-6"	5'-0"	2'-6"	2	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
042	1	AHU #5 CLOSET	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
043	1	LINEN CLOSET	8'-6"	3'-5"	1'-8 1/2"	2	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	

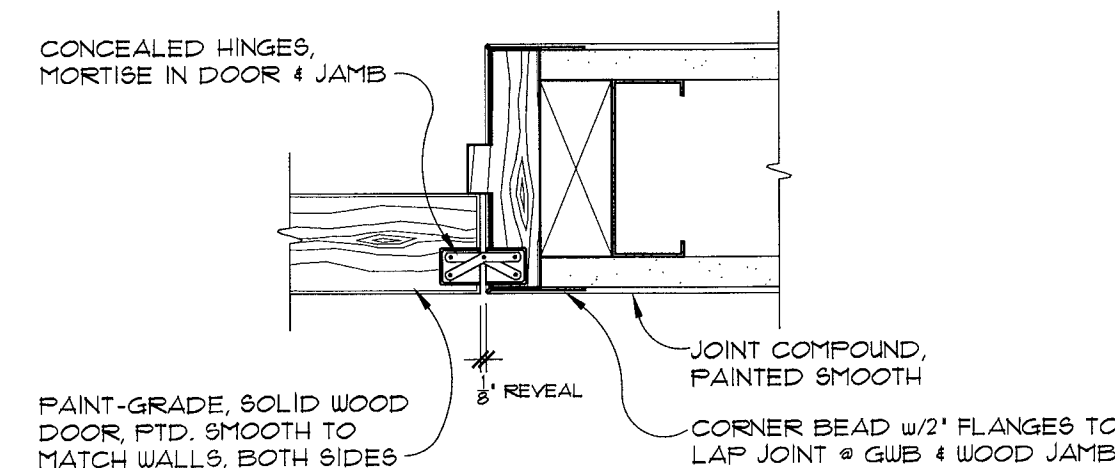
## DOOR SCHEDULE

SCALE: 1/4"=1'-0"



## TYP. DOOR JAMB DETAIL (HANDLE SIDE)

SCALE: 3/4"=1'-0"



## TYP. DOOR JAMB DETAIL (HINGE SIDE)

SCALE: 3/4"=1'-0"

## BURGLAR INTRUSION WINDOWS AND HARDWARE:

- LOCKS ON EXTERIOR DOOR SHALL BE CAPABLE OF RESISTING A FORCE OF 500 POUNDS APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN THE F.B.C.
- ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OF LOCKING COMBINATIONS. IF KEY-IN-THE-KNOB LOCK IS USED, THERE SHALL BE AN AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT OR INSERTS.
- THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIR OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8" MINIMUM THROW BOLTS WITH INSERTS.
- HINGES ON EXTERIOR OUT SWING DOORS SHALL HAVE NON-EXPOSED SCREWS. EXPOSED PINE SHALL NOT BE REMOVABLE.
- SINGLE, SWINGING, EXTERIOR DOORS SHALL BE SOLID CORE OF NOT LESS THAN 1 3/8" THICK.
- GLASS IN EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE 2911.
- VISION PANELS IN EXTERIOR DOOR, OTHER THAN GLAZING WITHIN 40" OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOCKS AND SWINGING GLASS DOOR SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE - STANDARD 2911 ON FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A SCOPE OR VISION PANELS.

## DOOR NOTE:

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## NOTE:

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## PERMIT NOTE:

WINDOWS & DOORS ARE NOT PART OF THIS PERMIT

## CONTRACTOR NOTE:

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## ROUGH OPENING NOTE:

CONTRACTOR SHALL VERIFY WINDOW AND DOOR MANUFACTURER THE ROUGH OPENING DIMENSIONS AND STEEL COLUMN LOCATIONS PRIOR TO ORDERING, MANUFACTURING OR INSTALLING DOORS & WINDOWS.

## GLAZING NOTE:

ALL EXTERIOR GLAZING AT WINDOWS AND DOORS SHALL BE LARGER MISSILE IMPACT RESISTANT WITH A U-VALUE OF 0.10 OR A SHGC OF 0.23

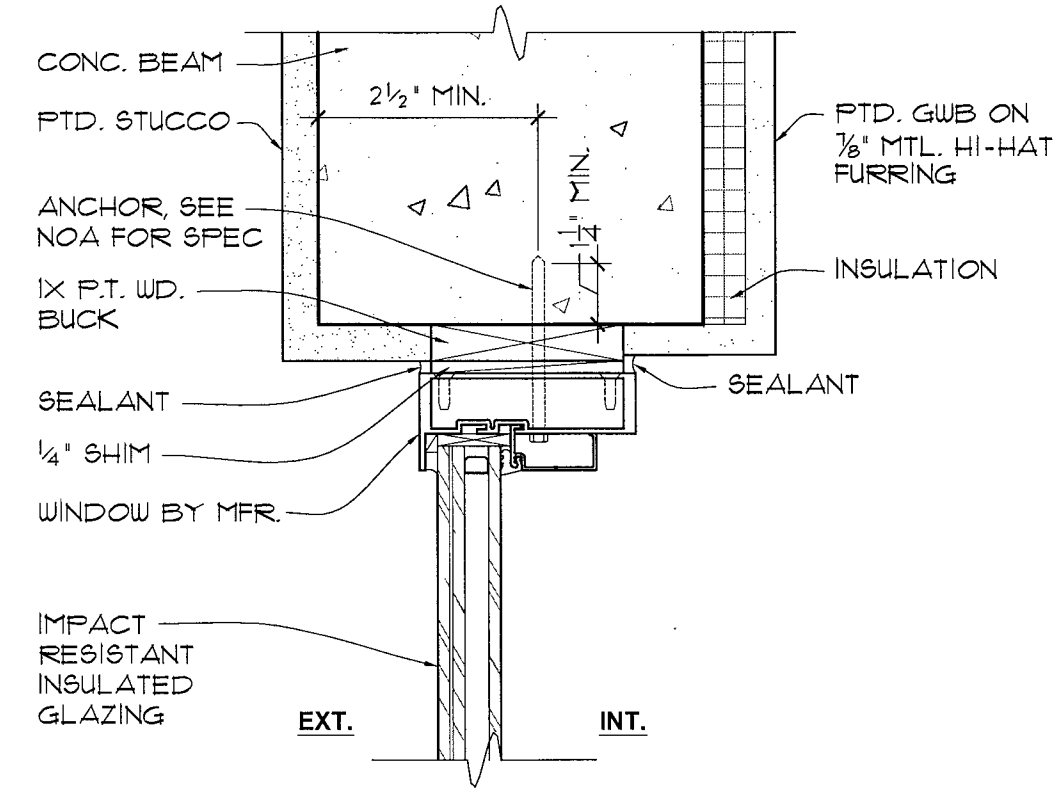
## FIRESTOP NOTE:

PROVIDE FIRE BLOCKING IN WALLS @ 8'-0" O.C. AND AS PER FBC 2010, R4409.1.

WINDOW SCHEDULE														
MARK	QUANTITY	LOCATION	WINDOW SIZES			TOTAL # OF PANELS	TYPE	FRAME MATERIAL	GLASS TINT	GLASS TYPE		IMPACT RESISTANT		REMARKS
			HEIGHT	OPENING WIDTH	PANEL WIDTH (±)					TEMPERED	YES	9		
(A)	1	FOYER / CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(B)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(C)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(D)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(E)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(F)	1	KITCHEN	9'-10½"	4'-0"	4'-0"	1	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(G)	1	SERVICE KITCHEN	9'-10½"	4'-0"	4'-0"	1	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(H)	1	NOT IN USE	-	-	-	-	-	-	-					
(I)	1	NOT IN USE	-	-	-	-	-	-	-					
(J)	1	NOT IN USE	-	-	-	-	-	-	-					
(K)	1	STAFF BEDROOM	4'-4"	3'-1"	5'-6"	2	CASEMENT	BRONZE/ALUM.	CLEAR	X			X	
(L)	1	BEDROOM #3	9'-10½"	8'-2"	4'-1"	2	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(M)	1	BEDROOM #3	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(N)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(O)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(P)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(Q)	1	OFFICE	9'-10½"	14'-2"	3'-6½"	4	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(R)	1	BATH #1	3'-0"	6'-0"	6'-0"	1	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(S)	1	BEDROOM #1	9'-10½"	4'-4"	4'-4"	1	FIXED/HUNG	BRONZE/ALUM.	CLEAR	X			X	PART OF LARGER ASSEMBLY, SEE ELEVATIONS, 4" MULLION BY MANUFACTURER
(T)	1	NOT IN USE	-	-	-	-	-	-	-					
(U)	2	BEDROOM #1	9'-10½"	4'-4"	4'-4"	1	FIXED/HUNG	BRONZE/ALUM.	CLEAR	X			X	PART OF LARGER ASSEMBLY, SEE ELEVATIONS, 4" MULLION BY MANUFACTURER
(V)	2	NOT IN USE	-	-	-	-	-	-	-					
(W)	2	STAIR	7'-10"	9'-0"	4'-6"	2	FIXED	BRONZE/ALUM.	CLEAR	X			X	PART OF LARGER ASSEMBLY, SEE ELEVATIONS, 4" MULLION BY MANUFACTURER
(X)	2	STAIR	7'-10"	9'-0"	4'-6"	2	FIXED	BRONZE/ALUM.	CLEAR	X			X	PART OF LARGER ASSEMBLY, SEE ELEVATIONS, 4" MULLION BY MANUFACTURER
(Y)	1	BEDROOM #2	9'-10½"	4'-4"	4'-4"	1	FIXED/HUNG	BRONZE/ALUM.	CLEAR	X			X	PART OF LARGER ASSEMBLY, SEE ELEVATIONS, 4" MULLION BY MANUFACTURER
(Z)	1	NOT IN USE	-	-	-	-	-	-	-					
(AA)	1	BEDROOM #2	9'-10½"	4'-4"	4'-4"	1	FIXED/HUNG	BRONZE/ALUM.	CLEAR	X			X	PART OF LARGER ASSEMBLY, SEE ELEVATIONS, 4" MULLION BY MANUFACTURER
(AB)	1	NOT IN USE	-	-	-	-	-	-	-					
(AC)	1	BATH #2	3'-0"	6'-0"	6'-0"	2	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(AD)	1	BATH #3	3'-0"	6'-0"	6'-0"	2	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(AE)	1	BEDROOM #3	9'-10½"	5'-2"	2'-1"	2	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(AF)	1	ENTRY	9'-10½"	1'-6"	1'-6"	1	FIXED	BRONZE/ALUM.	CLEAR	X			X	

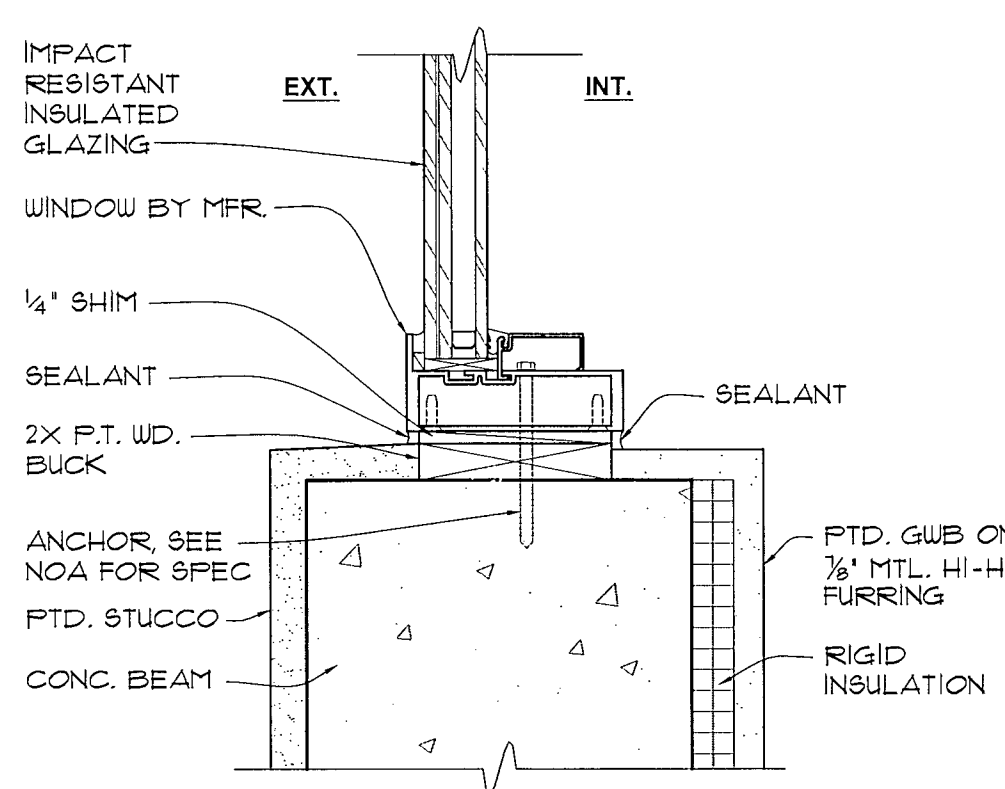
## WINDOW SCHEDULE

SCALE: 1/4"=1'-0"



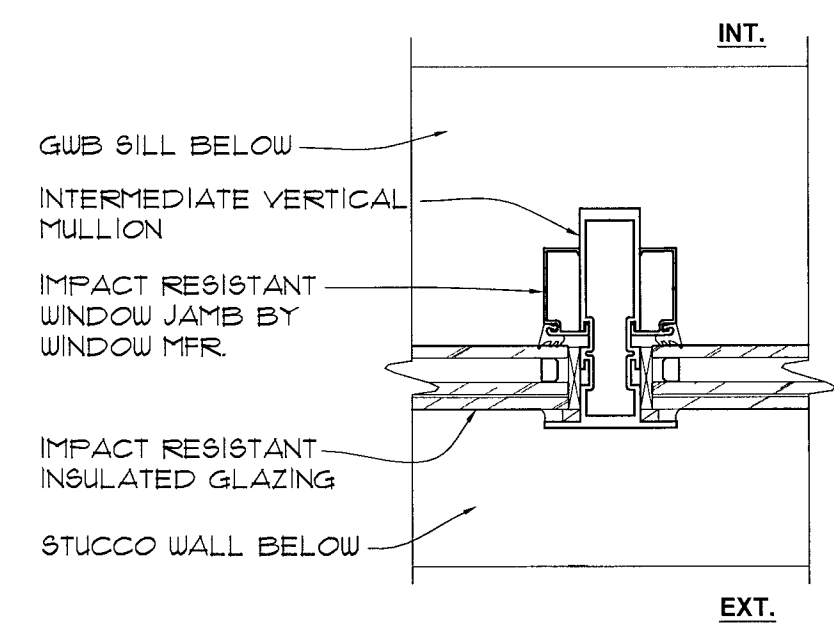
## WINDOW HEAD DETAIL @ STUCCO

SCALE: 3/4"=1'-0"



## WINDOW SILL DETAIL @ STUCCO

SCALE: 3/4"=1'-0"



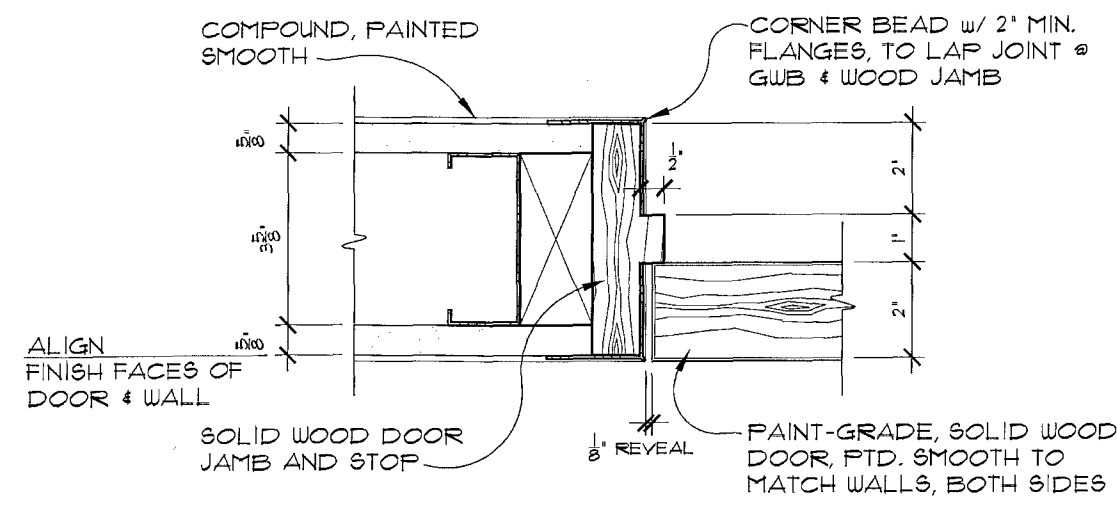
## WINDOW INT. VERT. MULLION DETAIL



DOOR SCHEDULE															
DOOR #	QUANTITY	LOCATION	DOOR SIZES			TOTAL # OF PANELS	FIXED PANELS	JAMB	TYPE	MATERIAL			HARDWARE	REMARKS	
			DOOR HEIGHT	OPENING WIDTH	PANEL WIDTH (±)					DOOR / FRAME	GLAZING				
											TINT / FINISH	TYPE			
01	1	ENTRY DOOR	10'-0"	4'-4"	4'-0"	1	0	METAL	SWING	FRENCH	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
02	1	UTILITY	8'-6"	3'-0"	3'-0"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
03	1	UTILITY / GARAGE	8'-0"	3'-4"	3'-0"	1	0	METAL	SWING	SOLID/FLUSH	BRONZE ALUM.	-	-	PRIVACY LOCK / DEADBOLT	
04	1	STAFF ROOM	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
05	1	STAFF BATHROOM	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
06	1	AHU #2 / HWH CLOSET	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
07	1	A/V CLOSET	8'-6"	6'-0"	3'-0"	2	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
08	1	GYM. PLAYROOM	9'-10"	11'-10"	4'-5½"	4	2	WOOD	SLIDING	SOLID/FLUSH	FTD. WOOD	-	-	TBD	
09	1	STORAGE	8'-6"	3'-0"	3'-0"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
10	1	POWDER ROOM	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
11	1	SERVICE KITCHEN	9'-10"	3'-6"	3'-6"	1	0	WOOD	POCKET	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	POCKET INSTALLATION
112	1	PANTRY	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
113	1	AHU #1 CLOSET	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
114	1	DINING ROOM	10'-0"	13'-4"	3'-6"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
115	1	DINING ROOM	10'-0"	13'-4"	3'-6"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
116	1	DINING ROOM	10'-0"	11'-0"	3'-3"	3	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
117	1	LIVING ROOM	10'-0"	14'-2"	3'-8"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
118	1	LIVING ROOM	10'-0"	14'-2"	3'-8"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
119	1	GARAGE	8'-0"	20'-0"	20'-0"	1	0	METAL	ROLL UP	ALUMINUM	BRONZE ALUM.	-	IMPACT	PRIVACY LOCK	SEE MFR. DUG'S
021	1	BEDROOM #3	10'-0"	19'-8"	5'-0"	4	2	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
022	1	BATH #3	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
023	1	AHU #4 CLOSET	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
024	1	W.I.C. #3	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
025	1	BEDROOM #3	9'-10"	6'-6½"	6'-6½"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
026	1	BATH #2	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
027	1	W.I.C. #2	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
028	1	BEDROOM #2	8'-6"	3'-0"	3'-0"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
029	1	BEDROOM #1	8'-6"	3'-0"	3'-0"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
030	1	BATH #1	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
031	1	W.I.C. #1	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
032	1	A/V CLOSET	8'-6"	3'-5"	1'-8½"	2	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
033	1	AHU #3 CLOSET	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
034	1	MASSAGE ROOM	8'-6"	3'-0"	3'-0"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
035	1	HER BATH	8'-6"	2'-4"	2'-4"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
036	1	MASTER BEDROOM	10'-0"	13'-4"	3'-6"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
037	1	MASTER BEDROOM	10'-0"	13'-4"	3'-6"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
038	1	MASTER BEDROOM	10'-0"	15'-8"	4'-1"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
039	1	HIS BATH	8'-6"	2'-4"	2'-4"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
040	1	MASTER BEDROOM	8'-6"	5'-0"	2'-6"	2	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
041	1	OFFICE	8'-6"	5'-0"	2'-6"	2	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	PRIVACY LOCK	
042	1	AHU #5 CLOSET	8'-6"	2'-6"	2'-6"	1	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	
043	1	LINEN CLOSET	8'-6"	3'-5"	1'-8½"	2	0	WOOD	SWING	SOLID/FLUSH	FTD. WOOD	-	-	STANDARD	

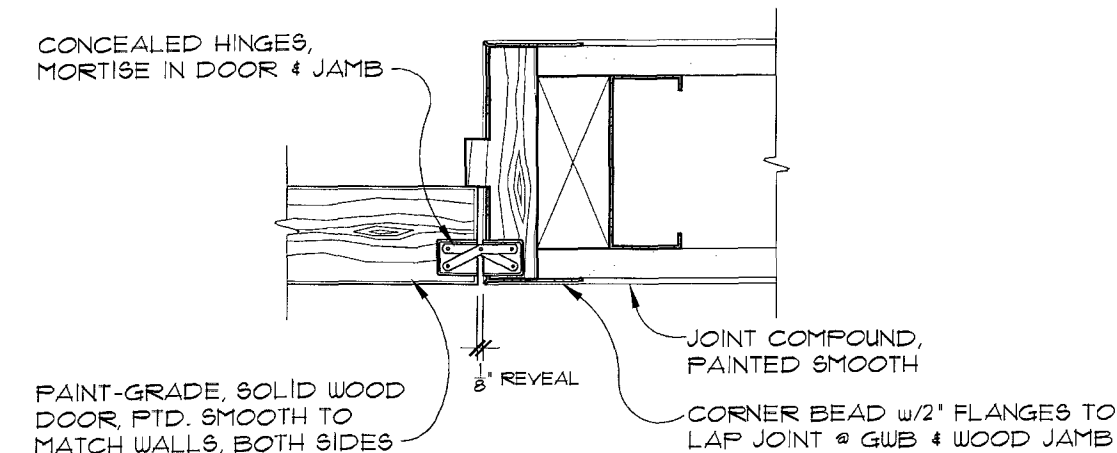
DOOR SCHEDULE

SCALE: 1/4"=1'-0"



TYP. DOOR JAMB DETAIL (HANDLE SIDE)

SCALE: 3/4"=1'-0"



TYP. DOOR JAMB DETAIL (HINGE SIDE)

SCALE: 3/4"=1'-0"

**BURGLAR INTRUSION WINDOWS AND HARDWARE:**

- LOCKS ON EXTERIOR DOOR SHALL BE CAPABLE OF RESISTING A FORCE OF 500 POUNDS APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN THE F.B.C.
- ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OF LOCKING COMBINATIONS. IF KEY-IN-THE-KNOB LOCK IS USED, THERE SHALL BE AN AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT OR INSERTS.
- THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIR OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8" MINIMUM THROW BOLTS WITH INSERTS.
- HINGES ON EXTERIOR OUT SWING DOORS SHALL HAVE NON-EXPOSED SCREWS. EXPOSED PINE SHALL NOT BE REMOVABLE.
- SINGLE, SWINGING, EXTERIOR DOORS SHALL BE SOLID CORE OF NOT LESS THAN 1 3/8" THICK.
- GLASS IN EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE 2511.
- VISION PANELS IN EXTERIOR DOOR, OTHER THAN GLAZING WITHIN 40" OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOCKS AND SWINGING GLASS DOOR SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE - STANDARD 2511 ON FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A SCOPE OR VISION PANELS.

**DOOR NOTE:**  
ALL EXTERIOR DOORS SHALL MEET MIAMI-DADE PRODUCT APPROVAL STANDARDS. CONTRACTOR SHALL SUBMIT SUPPORTING LITERATURE TO THE BUILDING DEPT. FOR APPROVAL PRIOR TO ORDERING & INSTALLATION.

**CONTRACTOR NOTE:**  
CONTRACTOR TO COORDINATE ALL EXTERIOR WINDOW & DOOR SIZES WITH FIXTURES, EQUIPMENT, AND ALL INTERIOR FINISHES (INCLUDING FINISHED DRYWALL & CONC. WALLS WITH SWITCHES) PRIOR TO ORDERING WINDOWS & DOORS.

**ROUGH OPENING NOTE:**  
CONTRACTOR SHALL VERIFY WINDOW AND DOOR MANUFACTURER THE ROUGH OPENING DIMENSIONS AND STEEL COLUMN LOCATIONS PRIOR TO ORDERING MANUFACTURING OR INSTALLING DOORS & WINDOWS.

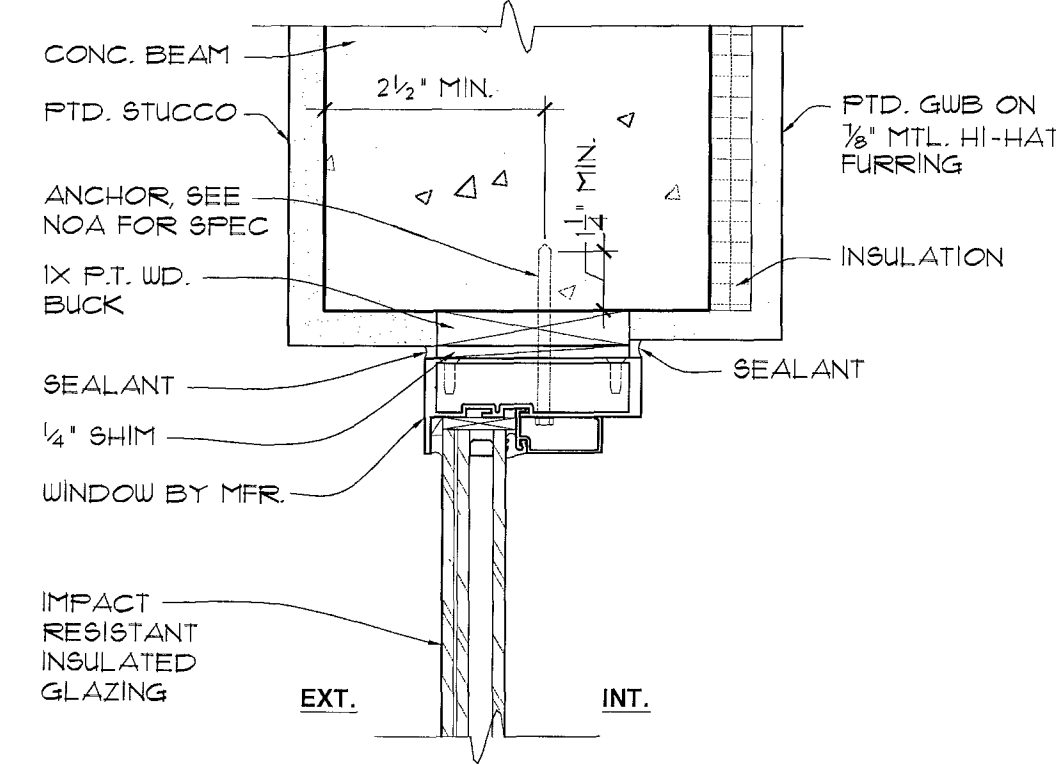
**GLAZING NOTE:**  
ALL EXTERIOR GLAZING AT WINDOWS AND DOORS SHALL BE LARGE MISSILE IMPACT RESISTANT WITH A U-VALUE OF 0.84 & A SHGC OF 0.23

**FIRESTOP NOTE:**  
PROVIDE FIRE BLOCKING IN WALLS @ 8'-0" O.C. AND AS PER FBC 2008, R4402.1.

WINDOW SCHEDULE														
MARK	QUANTITY	LOCATION	WINDOW SIZES			TOTAL # OF PANELS	TYPE	FRAME MATERIAL	GLASS TINT	GLASS TYPE		SCREENS TYPE		REMARKS
			HEIGHT	OPENING WIDTH	PANEL WIDTH (±)					IMPACT RESISTANT	TEMPERED	YES	NO	
(A)	1	FOYER / CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X		X		
(B)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X		X		
(C)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X		X		
(D)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X		X		
(E)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X		X		
(F)	1	KITCHEN	9'-10½"	4'-0"	4'-0"	1	FIXED	BRONZE/ALUM.	CLEAR	X		X		
(G)	1	SERVICE KITCHEN	9'-10½"	4'-0"	4'-0"	1	FIXED	BRONZE/ALUM.	CLEAR	X		X		
(H)	1	NOT IN USE	-	-	-	-	-	-	-					
(I)	1	NOT IN USE	-	-	-	-	-	-	-					
(J)	1	NOT IN USE	-	-	-	-	-	-	-					
(J)	1	STAFF BEDROOM	4'-6"	11'-0"	5'-6"	2	FIXED/CASEMENT	BRONZE/ALUM.	CLEAR	X		X		
(K)	1	BEDROOM #3	9'-10½"	8'-2"	4'-1"	2	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(L)	1	BEDROOM #3	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(M)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(N)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(O)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(P)	1	CORRIDOR	9'-10½"	11'-1½"	3'-8½"	3	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(Q)	1	OFFICE	9'-10½"	14'-2"	3'-6½"	4	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(R)	1	BATH #1	3'-0"	6'-0"	6'-0"	1	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(S)	1	BEDROOM #1	6'-4"	4'-4"	4'-4"	1	FIXED/CASEMENT	BRONZE/ALUM.	CLEAR	X		X		PART OF LARGER ASSEMBLY, SEE ELEVATIONS, 4" MULLION BY MANUFACTURER
(S)	1	BEDROOM #1	3'-4"	4'-4"	4'-4"	1	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(T)	1	BEDROOM #1	6'-4"	4'-4"	4'-4"	1	FIXED/CASEMENT	BRONZE/ALUM.	CLEAR	X		X		PART OF LARGER ASSEMBLY, SEE ELEVATIONS, 4" MULLION BY MANUFACTURER
(T)	1	BEDROOM #1	3'-4"	4'-4"	4'-4"	1	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(U)	2	STAIR	9'-10"	9'-0"	4'-6"	2	FIXED	BRONZE/ALUM.	CLEAR	X			X	PART OF LARGER ASSEMBLY, SEE ELEVATIONS, 2" MULLION BY MANUFACTURER
(U)	2	STAIR	6'-11"	9'-0"	4'-6"	2	FIXED	BRONZE/ALUM.	CLEAR	X			X	ELEVATIONS, 2" MULLION BY MANUFACTURER
(V)	1	BEDROOM #2	6'-4"	4'-4"	4'-4"	1	FIXED/CASEMENT	BRONZE/ALUM.	CLEAR	X		X		PART OF LARGER ASSEMBLY, SEE ELEVATIONS, 4" MULLION BY MANUFACTURER
(V)	1	BEDROOM #2	3'-4"	4'-4"	4'-4"	1	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(W)	1	BEDROOM #2	6'-4"	4'-4"	4'-4"	1	FIXED/CASEMENT	BRONZE/ALUM.	CLEAR	X		X		PART OF LARGER ASSEMBLY, SEE ELEVATIONS, 4" MULLION BY MANUFACTURER
(W)	1	BEDROOM #2	3'-4"	4'-4"	4'-4"	1	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(X)	1	BATH #2	3'-0"	6'-0"	6'-0"	2	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(Y)	1	BATH #3	3'-0"	6'-0"	6'-0"	2	FIXED	BRONZE/ALUM.	CLEAR	X			X	
(Z)	1	BEDROOM #3	9'-10½"	5'-2"	2'-1"	2	FIXED	BRONZE/ALUM.	CLEAR	X			X	
						</								

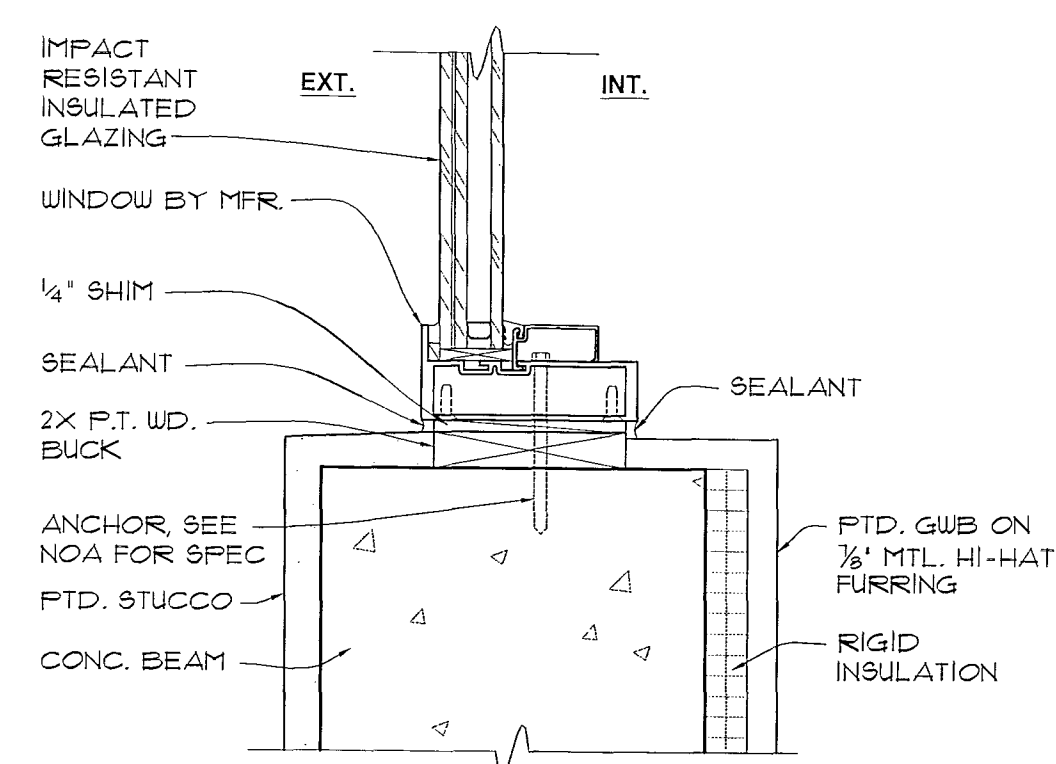
WINDOW SCHEDULE

SCALE: 1/4"=1'-0"



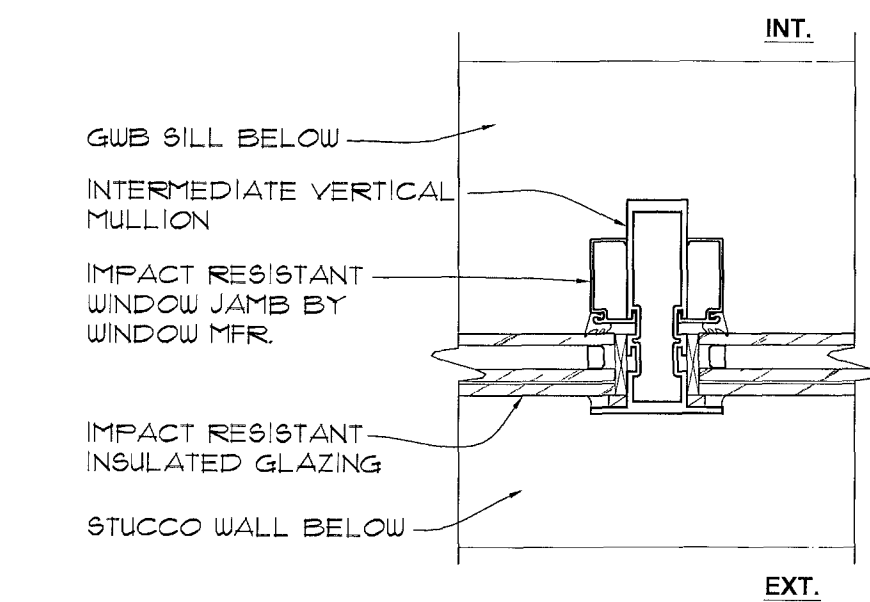
1 WINDOW HEAD DETAIL @ STUCCO

SCALE: 3/4"=1'-0"



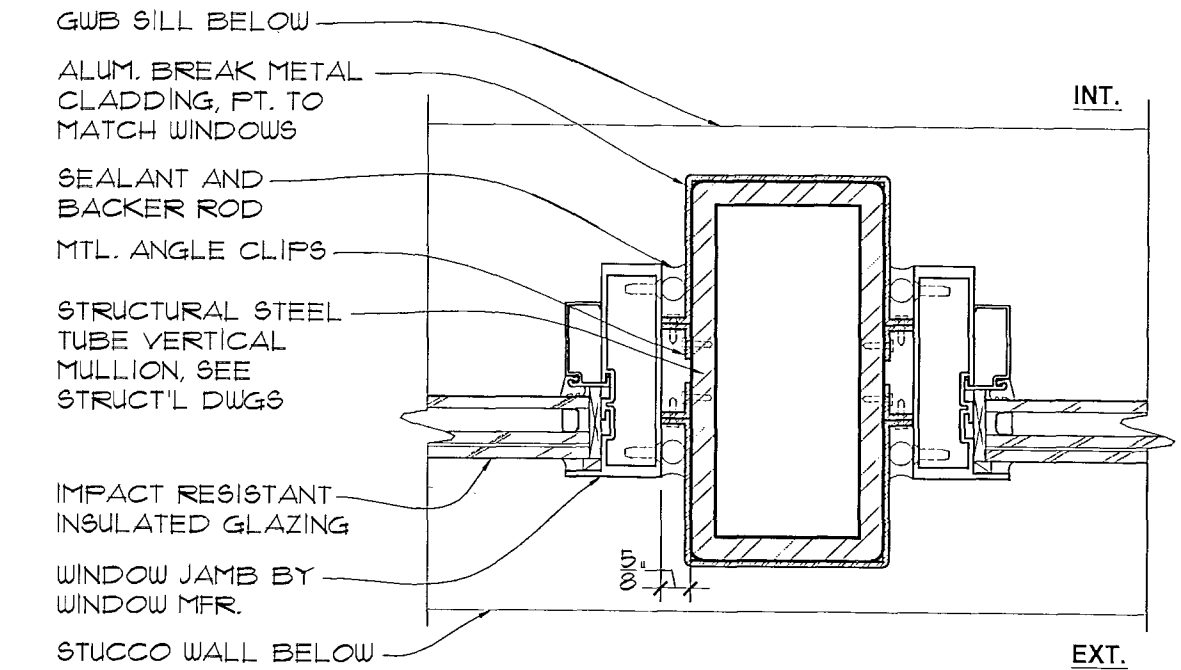
2 WINDOW SILL DETAIL @ STUCCO

SCALE: 3/4"=1'-0"



3 WINDOW INT. VERT. MULLION DETAIL

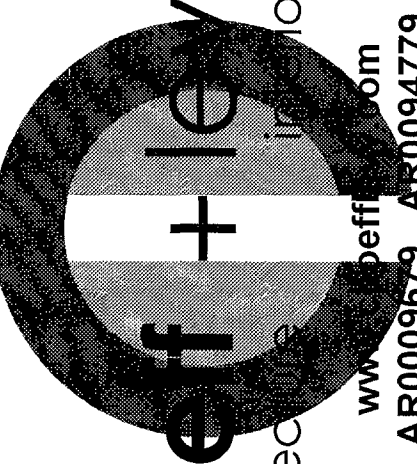
SCALE: 3/4"=1'-0"



4 WINDOW STRUCTURAL MULLION DETAIL

SCALE: 3/4"=1'-0"

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date:  
09-30-2013

revised:

sheet no.  
A-0.3