SEBAG RESIDENCE

A REAL PROPERTY.

808 WEST DILIDO DRIVE

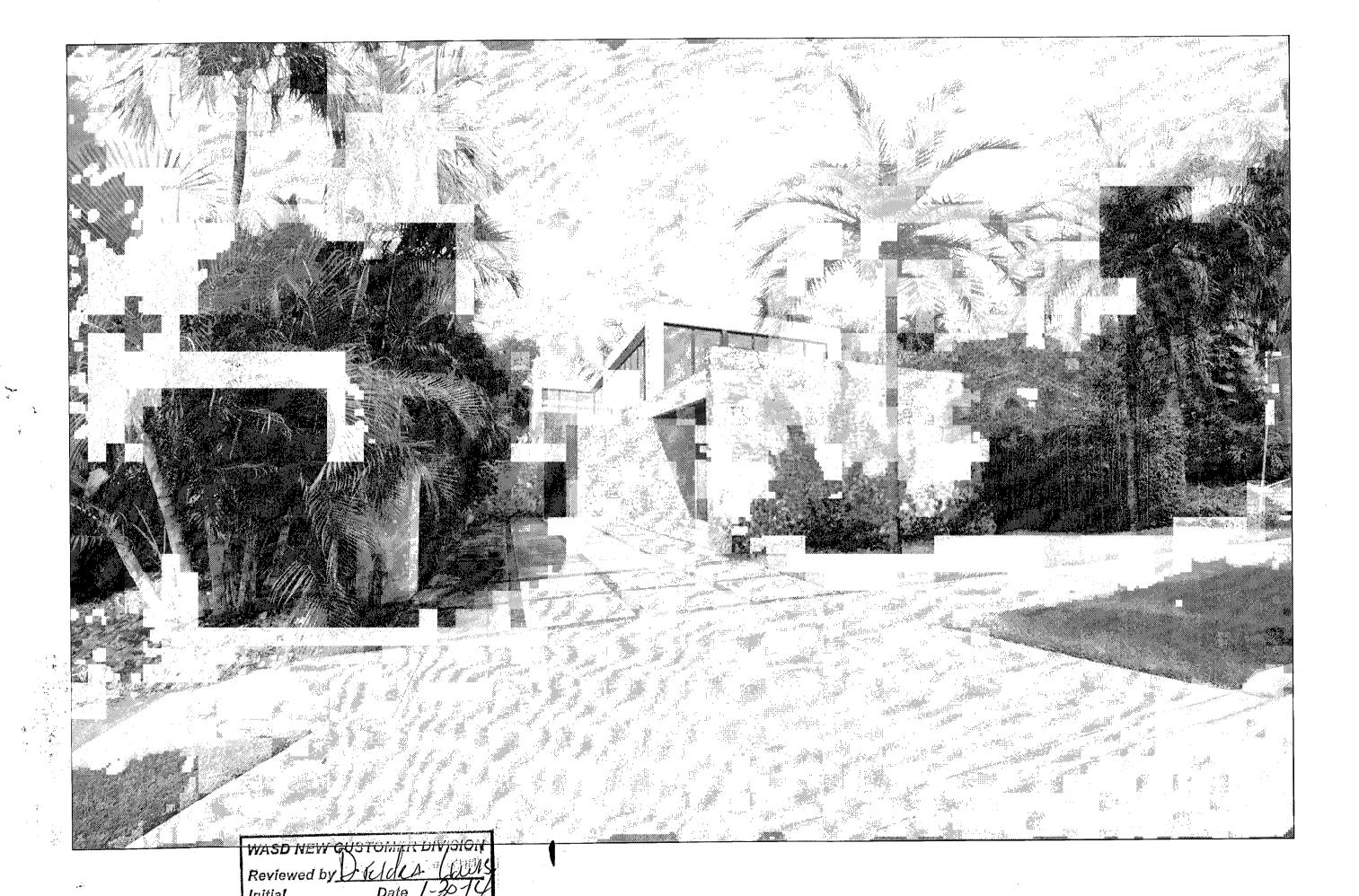
VERIFICATION FORM

8425 biscayne blvd, suite 201

miami, florida 33138

Required Not Required

Required Not Required



interior design

www.choefflevy.com

AR0009679 AR0094779

Phone: 305.434.8338

Fax: 305.892.5292

CLIENT

808 WEST DILIDO DRIVE

ARCHITECT

CHOEFF + LEVY P.A. 8425 BISCAYNE BLVD. SUITE 201 MIAMI, FL 33138 (305) 434-8338

STRUCTURAL ENGINEER

MANUEL I. ORTEGA P.E. 360 MERIDIAN AVE SUITE #3C MIAMI BEACH, FL 33139 (786) 419-2853

MEP ENGINEER

YIDAL & ASSOCIATES INC. 2234 N.E. 2nd AVE MIAMI, FL 33137 (305) 571-1860

LANDSCAPE ARCHITECTURE

CHRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC 780 NE 79 th. STREET SUITE 1106 MIAMI, FL 33138 (305) 979-1585 LC 26000460

CIVIL ENGINEER

HOLLAND ENGINEERING 3900 HOLLYWOOD BLYD. SUITE 303 HOLLYWOOD, FL 33021 (954) 367-0371 REG. #76036

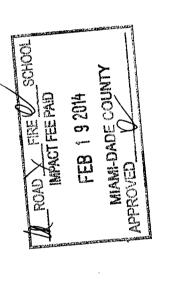
24 HOUR EMERGENCY CONTACT

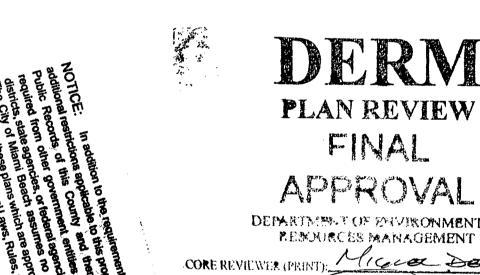
EMMANUEL SEBAG 808 W. DILIDO DRIVE MIAMI BEACH, FL 33139 (305) 319-9979 (m)

DILIDO RESIDENCE

808 WEST DILIDO DR. MIAMI BEACH, FL 33139

MIAMI BEACH, FLORIDA





APPROVAL DEPARTMENT OF ENVIRONMENTAL REMAIRCES MANAGEMENT CORE REVIEWER (PRINT): MIGGE DE ANITS

OFFICE COPY CITY OF MIAMI BEACH APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING: ZONING: PLUMBING: ELECTRICAL: MECHANICAL FIRE PREVENTION: FLOOD: PUBLIC WORKS: STRUCTURAL: ELEVATOR:

Derm Number: 2013-1127-1317-1123
Contact Name: TANIA RAHMER
Contact Phone: (305)303-0029
Folio: 02-3232-011-0490
Project Name: SEBORG - DILIDO RESIDENCE
Date Received: 11/27/2013

1241

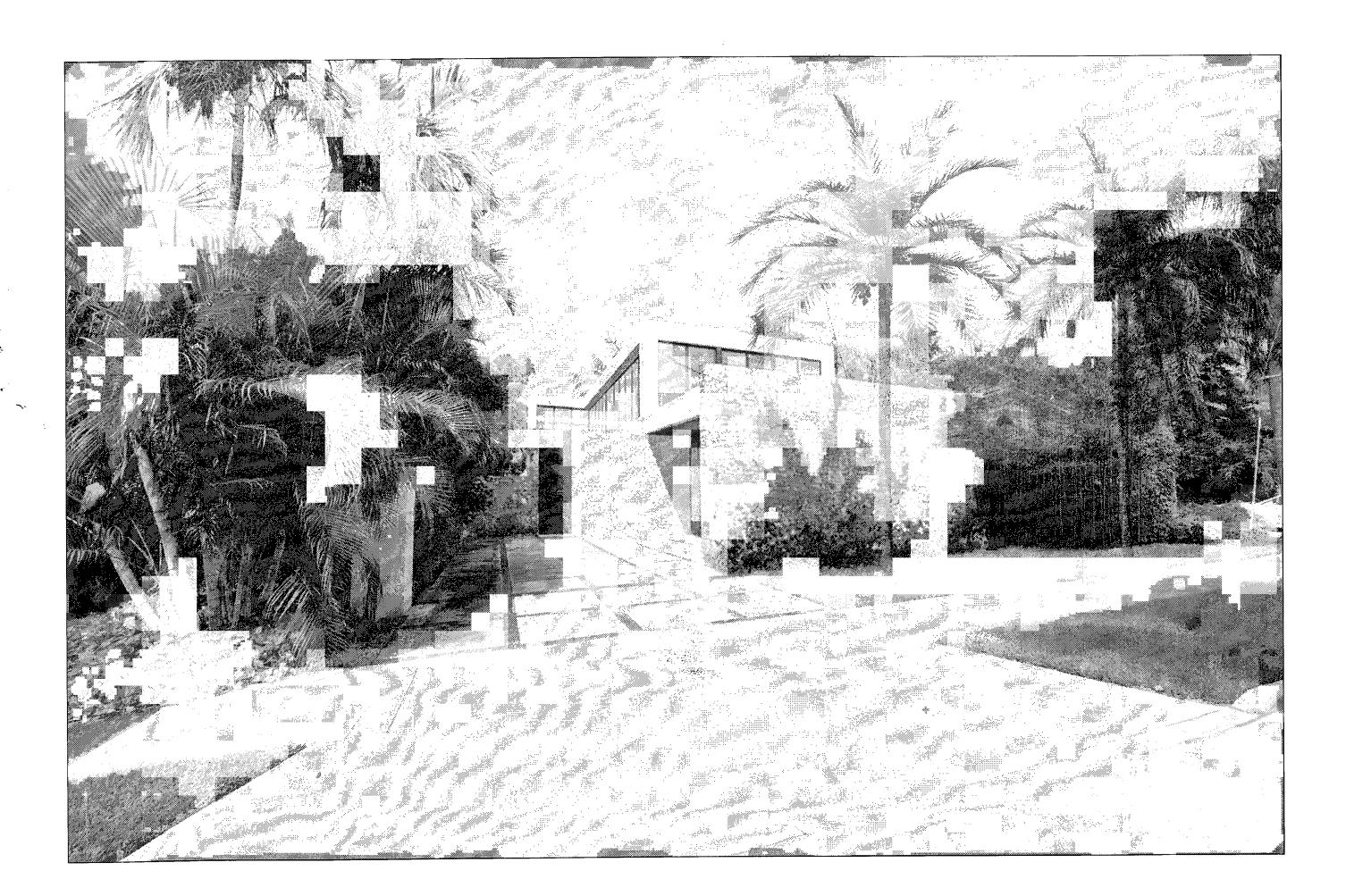
date: 09-30-13 revised:

sheet no.

COVER

SEBAG RESIDENCE

808 WEST DILIDO DRIVE



CLIENT

(305) 434-8338

STRUCTURAL ENGINEER

MANUEL I. ORTEGA P.E. 360 MERIDIAN AVE SUITE #3C MIAMI BEACH, FL 33139 (786) 419-2853

MEP ENGINEER

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24 HOUR EMERGENCY CONTACT

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DILIDO RESIDENCE

808 WEST DILIDO DR. MIAMI BEACH, FL 33139

MIAMI BEACH, FLORIDA

Miami Beach Building Department NOTICE – A separate permit is required for the indicated items: Awnings
Doors/Windows Docks/Piers/Seawalls Elevators Generators Kitchen hoods Roofing/Waterproofing Shutters/Flood Panels Pools/Spas/Water Features POOL DECK V PAVEKS

> OFFICE COPY CONTROL MIAMI BEACH APPROVED FOR PERMIT BY ZONING: PLUMBING: ELECTRICAL MECHANICAL: FIRE PREVENTION:
> FLOOD:
> PUBLIC WORKS:
> STRUCTURAL:

comm no. 1241

revised:

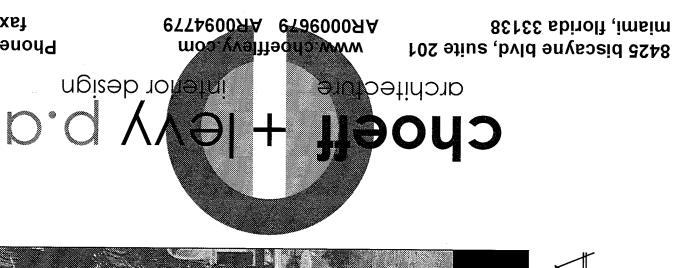
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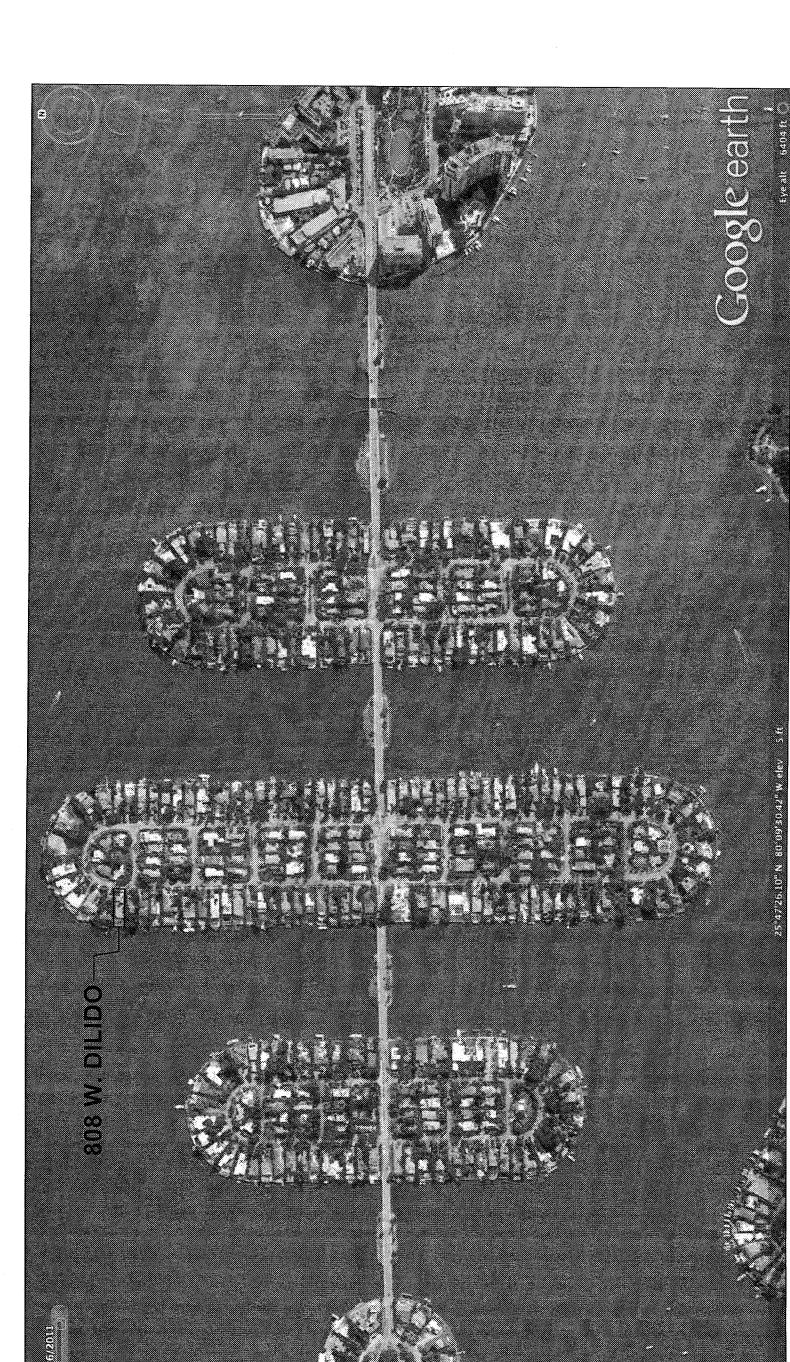
Phone: 305.434.8338 www.choefflevy.com AR0009679 AR0094779 8425 biscayne blvd, suite 201 Fax: 305.892.5292 miami, florida 33138

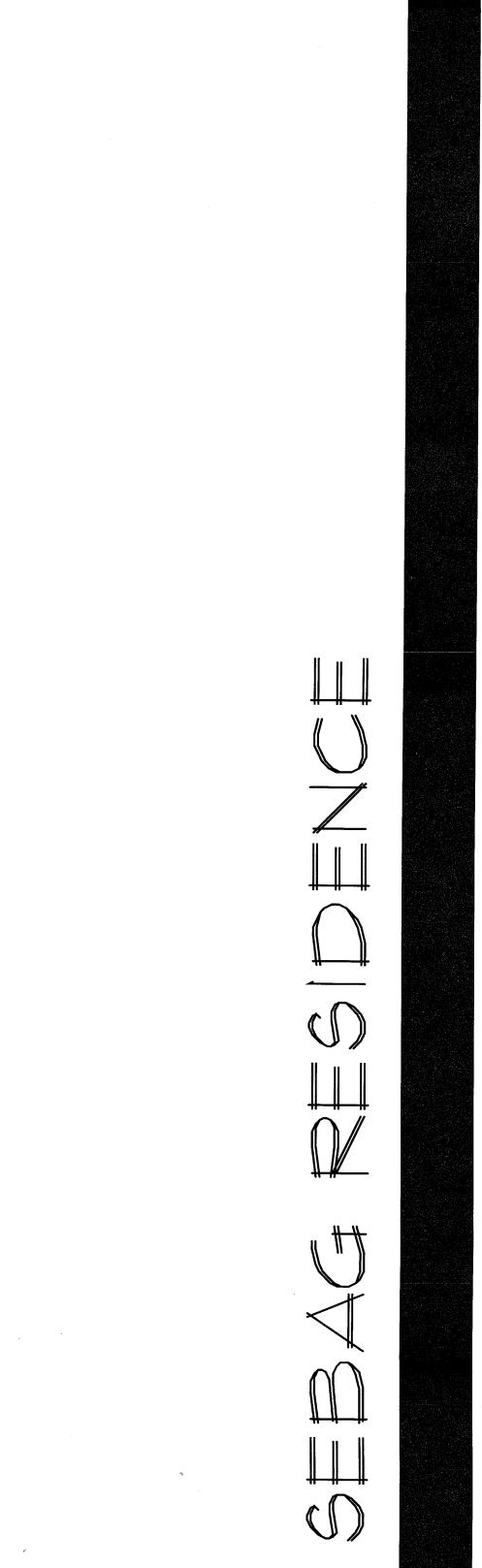
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SITE WORK NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY, PRIOR TO CONSTRUCTION, THAT ALL SETBACKS ARE MET AS PER SITE PLAN AND THAT RESIDENCE AND ITS AMENITIES SIT ON SITE EXACTLY AS PER SITE PLAN.
- 2. ALL CONCRETE SLABS ON GRADE WITH ENCLOSED AIR CONDITIONED SPACES ABOVE ARE TO HAVE A 6 MIL POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6" PLACED BETWEEN THE BOTTOM OF SLAB & THE BASE COURSE OR PREPARED SUBGRADE
- 3. EXISTING SEAWALL TO BE REPAIRED AS NECESSARY -BY OTHERS / UNDER SEPERATE PERMIT
- 4. ALL DRAINAGE SHALL BE MAINTAINED ON PROPERTY & SHALL NOT DRAIN INTO NEIGHBORING PROPERTIES
- 5. TERMITE PROTECTION SHALL BE PROVIDED BY FLORIDA REGISTERED TERMITICIDES OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION
- SOIL SHALL BE TERMITE TREATED PRIOR TO CONSTRUCTION

CONTRACTOR SHALL POST A WEATHER RESISTANT JOB BOARD TO RECEIVE DUPLICATE TREATMENT CERTIFICATES & SHALL DISPLAY PRODUCT USED IDENTITY OR APPLICATOR, TIME & DATE OF TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION & NUMBER OF GALLONS USED

LIFE SAFETY NOTES

- 1. ALL INTERIOR GLAZING CALLED OUT FOR IN THESE PLANS IS TO BE CATEGORY II SAFETY GLASS AS PER FBC RESIDENTIAL 2001 SECTION 2406
- 2. HANDRAILS SHALL BE CONSTRUCTED FOR A
 CONCENTRATED LOAD OF 200 LBS. APPLIED AT ANY
 POINT IN ANY DIRECTION HANDRAILS MUST TERMINATE
 INTO WALL OR POST HANDRAILS MUST COMPLY WITH
 FBC R311.5.6 SHOP DRAWINGS TO BE PROVIDED BY
 RAIL MFR. (SEE DETAIL 1 / SHEET A-13)
- 3. GAURDRAILS TO BE 3'-6" HIGH ABOVE FINISHED FLOOR RAILING SHALL NOT ALLOW PASSAGE OF A 4" SPHERE, TYP, 6" AT TRIANGULAR OPENINGS FORMED BY TREAD, RISER AND BOTTOM RAIL OF RAILING AT STAIR. RAILING SHALL BE CONSTRUCTED TO RESIST A CONCENTRATED LOAD OF 200 LBS. APPLIED AT ANY POINT IN ANY DIRECTION MFR. TO PROVIDE SHOP DRAWINGS PRIOR TO MANUFACTURING FOR ARCHITECT'S & BUILDING DEPT'S. APPROVALS RAILS TO COMPLY WITH FBC R312 & R4403.7.3
- 4. GLASS RAILINGS TO BE CLEAR SEAMLESS TEMPERED SAFETY GLASS (PROVIDE IMPACT GLASS AT ALL EXTERIOR LOCATIONS) RAILINGS MANUFACTURER TO SUBMIT SHOP DRAWINGS FOR APPROVAL UNDER SEPARATE PERMIT.
- 5. ANY OPENINGS IN RAILING OR BETWEEN RAILING &
 STRUCTURE ARE TO REJECT A 4" + SPHERE & BOTTOM 6"
 OF RAILING IS TO REJECT A 2" + SPHERE

CONSTRUCTION NOTES

- 1. ALL CONCRETE SLAB EDGES & BEAMS SUPPORTING EXTERIOR WALLS SHALL BE RECESSED 3/4" BELOW TOP OF SLAB FOR A WIDTH OF THE EXTERIOR WALL
- 2. ALL SLAB & BEAM PENETRATIONS ARE TO BE SLEEVED
- 3. COORDINATE WITH ELECTRICAL, AV & LOW VOLTAGE DRAWINGS PRIOR TO FORMING OR POURING CONCRETE SLABS, WALLS OR COLUMNS. PROVIDE FOR EMBEDMENTS OF LIGHT FIXTURES & SPEAKERS AS PER MFR. SPEC'S.
- 4. TYPICAL EXTERIOR WALL CONSTRUCTION TO BE 8" CONCRETE BLOCK W/STUCCO ON EXTERIOR & 5/8" G.W.B. ON 1/8" METAL HI-HAT FURRING @ 16" O.C. ON INTERIOR PROVIDE AL-FOIL INSULATION MIN. R=5 (SEE MECHANICAL SPECIFICATIONS).
 PROVIDE HORIZONTAL FIRE BLOCKING EVERY 8'-0" OF WALL TO COMPLY W/SECTION 4409.7.2 OF THE F.B.C. RESIDENTIAL.
- 5. ALL INTERIOR PARTITIONS TO BE 11/2 "x35%" MTL. STUDS
 (OR 2x4 WOOD STUDS) @ 16" O.C. FACED w/ 5/8" G.W.B. PROVIDE HORIZONTAL FIRE BLOCKING EVERY 8'-0" OF WALL
 TO COMPLY w/SECTION 4409.7.2 OF THE F.B.C. RESIDENTIAL.
- 6. PROVIDE FULL, THICK, BATT SOUND INSULATION AT ALL INTERIOR PARTITIONS SHOWN ON FLOOR PLANS.
- 7. ALL INTERIOR PARTITIONS AT ALL WALL HUNG CABINET LOCATIONS PROVIDE (2) 2"x6" OR (2) 2"x4" WOOD MEMBERS BACKING TO COMPLY W/SECTION 2318.1.15.1 FBC
- 8. STEEL STUDS SUPPORTING WALL HUNG PLUMBING FIXTURES SHALL BE DOUBLED OR NOT LESS THAN 20 GAUGE WITH A MINIMUM EFFECTIVE MOMENT OF INERTIA EQUAL TO 0.864" FBC R4411.4.5.1
- 9. PROVIDE CEMENT BOARD IN LIEU OF GYPSUM WALL BOARD AT ALL PARTITIONS LOCATED IN WET AREAS
- 10.ALL DROPPED CEILINGS TO BE 1/2" G.W.B. ON 11/2" x11/2" 20 GAUGE METAL STUDS @ 16" O.C. PROVIDE BATT INSULATION (MIN. R-30) AT ALL 2nd. FLOOR CEILINGS
- 11. PROVIDE A HIGH QUALITY SMOOTH PLASTER / PAINT (WHITE) FINISH AT ALL UNDERSIDE OF FLOOR / ROOF SLABS AT CURTAIN POCKET LOCATIONS WITHOUT A DROPPED CEILING
- 12. ALL POOL & SPA TO BE FINISHED WITH DIAMOND-BRITE, COLOR TO BE SELECTED BY OWNER (UNDER SEPARATE PERMIT).
- 13. ALL ELECTRICAL, MECHANICAL & PLUMBING EQUIPMENT IS TO BE ABOVE BASE FLOOD ELEVATION (+9'-0" NGVD)
- 14. ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION (+9'-0" NGVD) MUST BE FLOOD-DAMAGE-RESISTANT MATERIAL AS PER FEMA TECHNICAL BULLETIN 2/2008.
- 15. ALL ROOFS & OVERHANGS ARE TO BE FINISHED WITH
 "SOPREMA" WATERPROOFING OR OTHER APPROVED
 EQUIVALENT AS PER MANUFACTURER SPECIFICATIONS, PROVIDE
 SEALANT + PRIMER (UNDER SEPARATE PERMIT)
- 16.ANY AIR EXHAUST AND INTAKE OPENINGS WHICH TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS OR GRILLES WITH OPENINGS BETWEEN 1/4" AND 1/2" AS PER F.B.C. R303.5
- 17. PROVIDE SMOKE ALARMS (DETECTORS) ON EACH SLEEPING ROOM, IMMEDIATE VICINITY OF SLEEPING AREAS, AND ON EACH ADDITIONAL STORY. THEY SHALL BE INTERCONNECTED. FBCR 314. REFER TO M.E.P. DRAWINGS.
- 18. PROVIDE CARBON MONOXIDE ALARMS FOR BUILDINGS WITH A FIREPLACE AND ATTACHED GARAGE AND FOSSIL FUEL BURNING HEATERS, FIXTURES OR APPLIANCES, LOCATED WITHIN 10 FEET OF ALL SLEEPING AREAS.
 FBCR 315. REFER TO M.E.P. DRAWINGS.
- 19. CONTRACTOR SHALL PERFORM AN IMPERMEABILITY TEST ON ALL TERRACES/BALCONIES FOR A PERIOD OF NO LESS THAN 24 HOURS.
- 20.ALL CONCRETE SLABS ON GRADE OF ENCLOSED AIR CONDITIONED SPACES ARE TO HAVE A 6 MIL POLYETHYLENE OR APPROVED VAPOR BARRIER WITH JOINTS LAPPED NO LEGG THAN 6", PLACED BETWEEN THE SLAB & THE BASE COURSE OR PREPARED SUB-GRADE.
- 21. ALL ROOF DRAINS SHALL BE FULLY SOUND INSULATED.
- CLASSIFICATION OF FOR FLOOD-RESISTANT DESIGN AND CONSTRUCTION IS 2.
- ALL ENCLOSED AREAS THAT ARE BELOW BASE FLOOD ELEVATION SHALL ONLY BE USED FOR PARKING, BUILDING ACCESS OR STORAGE.
- FLOOD OPENINGS SHALL NOT BE LESS THAN 3 INCHES IN ANY DIRECTION IN THE PLANE OF THE WALL.

FLOOD

FINISH NOTES

- 1. <u>ROOFING:</u>
 "SOPREMA" OR OTHER APPROVED EQUIVALENT, WHITE (COORDINATE FINISH COLOR W/ EXTERIOR WALL PAINT COLOR PRIOR TO CONSTRUCTION)
- 2. EXTERIOR WALL FINISHES:
 HIGH QUALITY SMOOTH STUCCO FINISH W/CHINA WHITE PAINT (VERIFY
 SELECTED SOPREMA WATERPROOFING MATCHES)
- 3. ALL MARBLE COORDINATE TYPE WITH OWNER (1"-114" THICK W/4" LATICRETE MORTAR)
 - PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL
- 4. INTERIOR PAINT FINISHES:

BENJAMIN MOORE CHINA WHITE INTERIOR LATEX PAINT. ALL WALL FINISHES TO BE FLAT AND WASHABLE. ALL BASEBOARDS, DOORS, AND TRIMS TO BE SEMI-GLOSS.

5. GARAGE TO RECEIVE BROOM FINISH ON CONCRETE SLAB (GARAGE FLOORS SURFACES SHALL BE OF APPROVED NON-COMBUSTIBLE MATERIAL, FBCR 309.1)

(+9'-0" NGYD) MUST BE FLOOD-RESISTANT

- 6. ALL EXTERIOR DOORS & WINDOWS TO RECEIVE "BRONZE" ALUMINUM FINISH.
- 7. ALL KITCHEN CABINETRY, COUNTERTOPS & APPLIANCES BY TO BE COORDINATED W/OWNER
- LIGHT FIXTURES

 9. ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION

8. COORDINATE / YERIFY WITH OWNER & INTERIOR DESIGNER FOR ALL

- 10. ALL EXTERIOR STEEL COLUMNS TO RECEIVE CLADDING TO MATCH DOORS & WINDOWS
- 11. THESE SPECIFICATIONS ARE ONLY TO BE USED AS A GUIDE FOR DETERMINING MAXIMUM ALLOWANCES. THE OWNER AND ARCHITECT SHALL BE CONSULTED PRIOR TO FINAL SELECTIONS AND ORDERING OF EACH ITEM SPECIFIED, OR ANY FINISH INVOLVED WITH THIS RESIDENCE.
- 12. WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL 273 AS PER F.B.C.R. 302.9
- 13. INSULATION MATERIALS, FACINGS, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OF UL 273 AS PER F.B.C.R. 302.10

FLOOD-RESISTANT DESIGN NOTES

1. CLASSIFICATION OF STRUCTURE FOR FLOOD-RESISTANT
DESIGN AND CONSTRUCTION IS 2

- 2. ALL ENCLOSED AREAS THAT ARE BELOW BASE FLOOD ELEVATION SHALL ONLY BE USED FOR PARKING, BUILDING ACCESS OR STORAGE.
- 3. FLOOD OPENINGS SHALL NOT BE LESS THAN 3 INCHES IN ANY DIRECTION IN THE PLANE OF THE WALL.
- 4. FLOOD OPENING COVERS SHALL ALLOW THE AUTOMATIC FLOW OF FLOODWATERS INTO AND OUT OF THE ENCLOSED AREA.

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OF RAILING IS TO REJECT A 2" & SPHERE "4 MOTTOR & BABHA8 4"4 A TOBLER OF BRATOM 6" 5. ANY OPENINGS IN RAILING OR BETWEEN RAILING &

SEPARATE PERMIT.

SUBMIT SHOP DRAWINGS FOR APPROVAL UNDER EXTERIOR LOCATIONS) RAILINGS MANUFACTURER TO SAFETY GLASS (PROVIDE IMPACT GLASS AT ALL 4. GLASS RAILINGS TO BE CLEAR SEAMLESS TEMPERED

ELEQTTS

APPROVALS - RAILS TO COMPLY WITH FBC R312 & TO MANUFACTURING FOR ARCHITECT'S & BUILDING DEPT'S. DIRECTION - MFR, TO PROVIDE SHOP DRAWINGS PRIOR TNA NI TNIO9 TNA TA QELIPPA .281 QQS 70 QAO_ SHALL BE CONSTRUCTED TO RESIST A CONCENTRATED RISER AND BOTTOM RAIL OF RAILING AT STAIR, RAILING TYP, 6"\$ AT TRIANGULAR OPENINGS FORMED BY TREAD, RAILING SHALL NOT ALLOW PASSAGE OF A 4"4 SPHERE, 3, GAURDRAILS TO BE 3'-6" HIGH ABOVE FINISHED FLOOR -

RAIL MFR. (SEE DETAIL 1 / SHEET A-13) FBC R311,5,6 - SHOP DRAWINGS TO BE PROVIDED BY INTO WALL OR POST - HANDRAILS MUST COMPLY WITH POINT IN ANY DIRECTION - HANDRAILS MUST TERMINATEV CONCENTRATED LOAD OF 200 LBS, APPLIED AT ANY 2. HANDRAILS SHALL BE CONSTRUCTED FOR A

RESIDENTIAL 2007 SECTION 2406 IS TO BE CATEGORY II SAFETY GLASS AS PER FBC ALL INTERIOR GLAZING CALLED OUT FOR IN THESE PLANS

LIFE SAFETY NOTES

GALLONS USED

CHEMICAL USED, PERCENT CONCENTRATION & NUMBER OF TIME & DATE OF TREATMENT, SITE LOCATION, AREA TREATED, SHALL DISPLAY PRODUCT USED IDENTITY OR APPLICATOR, BOARD TO RECEIVE DUPLICATE TREATMENT CERTIFICATES & CONTRACTOR SHALL POST A WEATHER RESISTANT JOB

SOIL SHALL BE TERMITE TREATED PRIOR TO CONSTRUCTION

PREVENTATIVE TREATMENT TO NEW CONSTRUCTION OF TERMITE PROTECTION LABELED FOR USE AS A REGISTERED TERMITICIDES OR OTHER APPROVED METHODS 5. TERMITE PROTECTION SHALL BE PROVIDED BY FLORIDA

NOT DRAIN INTO NEIGHBORING PROPERTIES 4, ALL DRAINAGE SHALL BE MAINTAINED ON PROPERTY & SHALL

BY OTHERS / UNDER SEPERATE PERMIT

3. EXISTING SEAWALL TO BE REPAIRED AS NECESSARY -

SUBGRADE

BOTTOM OF SLAB & THE BASE COURSE OR PREPARED JOINTS LAPPED NOT LESS THAN 6" PLACED BETWEEN THE POLYETHYLENE OR APPROVED VAPOR RETARDER WITH CONDITIONED SPACES ABOVE ARE TO HAVE A 6 MIL 2. ALL CONCRETE SLABS ON GRADE WITH ENCLOSED AIR

SITE PLAN RESIDENCE AND ITS AMENITIES SIT ON SITE EXACTLY AS PER HAT ALL SETBACKS ARE MET AS PER SITE PLAN AND THAT CONTRACTOR SHALL FIELD VERIFY, PRIOR TO CONSTRUCTION,

SITE WORK NOTES

WINDOWS ARE UNDER SEPARATE PERMIT.

WATER FEATURES, GENERATOR, HORIZ, ROLLING GATES, 2. ROOFING, WATERPROOFING, RAILINGS, POOL, CASCADING

FIREPLACE, GARAGE DOOR, EXTERIOR DOORS &

IN COMPLIANCE WITH F.B.C. RESIDENTIAL 2010, V ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED.

PERMIT NOTES

21. ALL ROOF DRAINS SHALL BE FULLY SOUND INSULATED.

COURSE OR PREPARED SUB-GRADE. ESS THAN 6", PLACED BETWEEN THE SLAB & THE BASE OR APPROVED VAPOR BARRIER WITH JOINTS LAPPED NO CONDITIONED SPACES ARE TO HAVE A 6 MIL POLYETHYLENE 20,ALL CONCRETE SLABS ON GRADE OF ENCLOSED AIR

19, CONTRACTOR SHALL PERFORM AN IMPERMEABILITY TEST ON

BURNING HEATERS, FIXTURES OR APPLIANCES, LOCATED WITHIN FIREPLACE AND ATTACHED GARAGE AND FOSSIL FUEL

314, REFER TO ME.P. DRAWINGS. ADDITIONAL STORY, THEY SHALL BE INTERCONNECTED, FBCR ROOM, IMMEDIATE VICINITY OF SLEEPING AREAS, AND ON EACH

OPENINGS BETWEEN 1/4" AND 1/5" AS PER F.B.C. R3Ø3.5 CORROSION-RESISTANT SCREENS, LOUVERS OR GRILLES WITH OUTDOORS SHALL BE PROTECTED WITH

SEALANT + PRIMER (UNDER SEPARATE PERMIT)

"SOPREMA" WATERPROOFING OR OTHER APPROVED 15, ALL ROOFS & OVERHANGS ARE TO BE FINISHED WITH

1419-9" NGYD) MUST BE FLOOD-DAMAGE-RESISTANT MATERIAL 14. ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION

13. ALL ELECTRICAL, MECHANICAL & PLUMBING EQUIPMENT 15 TO

TA SEA 12 7009 / 90017 70 3018930NU JJA TA HSINI7 II. PROVIDE A HIGH QUALITY SMOOTH PLASTER / PAINT (WHITE)

6-30) AT ALL 2nd, FLOOR CEILINGS METAL STUDS @ 16" O.C. - PROVIDE BATT INSULATION (MIN. ID, ALL DROPPED CEILINGS TO BE 1/2" G.W.B. ON 1/2"X1/2" 20 GAUGE

8. STEEL STUDS SUPPORTING WALL HUNG PLUMBING FIXTURES

BACKING TO COMPLY W/SECTION 23/8,1/15,1 FBC

INTERIOR PARTITIONS SHOWN ON FLOOR PLANS.

(OB 5×4 MOOD 21ND2) @ 10, CT FACED W/ 5/8" G.W.B. -

TO COMPLY W/SECTION 4409,72 OF THE F.B.C. RESIDENTIAL. NOULATION MIN, R=5 (SEE MECHANICAL SPECIFICATIONS) BLOCK W/STUCCO ON EXTERIOR & 5/8" G.W.B. ON 78" METAL

4. TYPICAL EXTERIOR WALL CONSTRUCTION TO BE 8" CONCRETE

COLUMNS. PROVIDE FOR EMBEDMENTS OF LIGHT FIXTURES \$ PRIOR TO FORMING OR POURING CONCRETE SLABS, WALLS OR 3. COORDINATE WITH ELECTRICAL, AV & LOW VOLTAGE DRAWINGS

2. ALL SLAB & BEAM PENETRATIONS ARE TO BE SLEEVED

CONSTRUCTION NOTES

18910H 72

ALL TERRACES/BALCONIES FOR A PERIOD OF NO LESS THAN

FBCR 315, REFER TO ME.P. DRAWINGS, IN FEET OF ALL SLEEPING AREAS.

A HTIM SANIDE OF BOY PLANDE ALARMS FOR BUILDINGS WITH A

IT PROVIDE SMOKE ALARMS (DETECTORS) ON EACH SLEEPING

IS, ANY AIR EXHAUST AND INTAKE OPENINGS WHICH TERMINATE

EQUIVALENT AS PER MANUFACTURER SPECIFICATIONS, PROVIDE

AS PER FEMA TECHNICAL BULLETIN 2/2008.

BE ABOVE BASE FLOOD ELEVATION (+9'-0" NGVD)

COLOR TO BE SELECTED BY OWNER (UNDER SEPARATE 12. ALL POOL & SPA TO BE FINISHED WITH DIAMOND-BRITE,

CURTAIN POCKET LOCATIONS WITHOUT A DROPPED CEILING

ALL PARTITIONS LOCATED IN WET AREAS 9, PROVIDE CEMENT BOARD IN LIEU OF GYPSUM WALL BOARD AT

FBC R4411,4,5,1 MINIMUM EFFECTIVE MOMENT OF INERTIA EQUAL TO 0.864" -SHALL BE DOUBLED OR NOT LESS THAN 20 GAUGE WITH A

LOCATIONS PROVIDE (2) 2"x6" OR (2) 2"x4" WOOD MEMBERS

T. ALL INTERIOR PARTITIONS AT ALL WALL HUNG CABINET

6. PROVIDE FULL, THICK, BATT SOUND INSULATION AT ALL

TO COMPLY W/SECTION 4409,7,2 OF THE F.B.C. RESIDENTIAL. PROVIDE HORIZONTAL FIRE BLOCKING EVERY 8'-@" OF WALL 5. ALL INTERIOR PARTITIONS TO BE 11/2 "x3/8" MTL. STUDS

PROVIDE HORIZONTAL FIRE BLOCKING EVERY 8'-Ø" OF WALL HI-HAT FURRING @ 16" O.C. ON INTERIOR - PROVIDE AL-FOIL

SPEAKERS AS PER MFR. SPEC'S.

MIDTH OF THE EXTERIOR WALL WALLS SHALL BE RECESSED 34" BELOW TOP OF SLAB FOR A I ALL CONCRETE SLAB EDGES & BEAMS SUPPORTING EXTERIOR

SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER A5TM FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A A BYAH JIAHS ERERIALS, FACINGS, VAPOR RETARDERS SHALL HAVE A

6-84 OF UL 273 AS PER F.B.C.R. 302.10

E-84 OR UL 273 AS PER F.B.C.R. 302.9 SMOKE-DEVELOPMENT INDEX NOT GREATER THAN 450 AS PER ASTM CLASSIFICATION OF NOT GREATER THAN 200 AND A

IS, WALL AND CEILING FINISHES SHALL HAVE A FLAME-SPREAD

BERIDENCE

OF EACH ITEM SPECIFIED, OR ANY FINISH INVOLVED WITH THIS SHALL BE CONSULTED PRIOR TO FINAL SELECTIONS AND ORDERING DETERMINING MAXIMUM ALLOWANCES, THE OWNER AND ARCHITECT II. THESE SPECIFICATIONS ARE ONLY TO BE USED AS A GUIDE FOR

DOOKS & MINDOMS IQ. ALL EXTERIOR STEEL COLUMNS TO RECEIVE CLADDING TO MATCH

(+3,-0" NGVD) MUST BE FLOOD-RESISTANT 3. ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION

SANTXIA THOLL

COOKDING IED WY OMNEK 7. ALL KITCHEN CABINETRY, COUNTERTOPS & APPLIANCES BY TO BE

8. COORDINATE / VERIFY WITH OWNER & INTERIOR DESIGNER FOR ALL

6. ALL EXTERIOR DOORS & WINDOWS TO RECEIVE "BRONZE" ALUMINUM

NON-COMBUSTIBLE MATERIAL, FBCR 309,1) (GARAGE FLOORS SURFACES SHALL BE OF APPROVED P. GARAGE TO RECEIVE BROOM FINISH ON CONCRETE SLAB

AND ITRIMS TO BE SEMI-GLOSS. FINISHES TO BE FLAT AND WASHABLE, ALL BASEBOARDS, DOORS, BENJAMIN MOORE CHINA WHITE INTERIOR LATEX PAINT, ALL WALL

PROVIDE SAMPLE TO ARCHITECT FOR APPROVAL

(AATAOM ETEROPIAA)

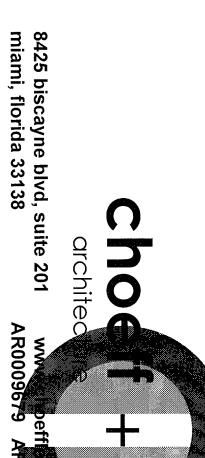
4, INTERIOR PAINT FINISHES:

3. ALL MARBLE - COORDINATE TYPE WITH OWNER (1"-14" THICK W/4"

SELECTED SOPREMA WATERPROOFING MATCHES) HIGH QUALITY SMOOTH STUCCO FINISH WITH PAINT (VERIFY 2. EXTERIOR WALL FINISHES:

CONSTRUCTION FINISH COLOR W/ EXTERIOR WALL PAINT COLOR PRIOR TO "SOPREMA" OR OTHER APPROVED EQUIVALENT, WHITE (COORDINATE BOOFING:

FINISH NOTES



Clean Out

Guard Pole

Chain Link Fence

LOCATION SKETCH

NOT TO SCALE

Right-of-Way Line

Temporary Benchmark

Sidewalk

Typical

Valley Gutter

Wood Fence

Parking Spaces

1

Telephone Manhole

Monitoring Well

Parking Meter

R/W

SWK.

V.G. (TYP.)

P/S

T.B.M.

SURVEYOR'S NOTES:

1. Field Survey was completed on: November 11th, 2012.

2. LEGAL DESCRIPTION:

Lot 22, Block 3, "DI LIDO ISLAND", according to the Plat thereof, recorded in Plat Book 8, Page 36, of the Public Records of Miami-Dade County, Florida, and an eight foot strip in Biscayne Bay, lying West of and adjacent to the West line of said Lot.

Containing 10,500 Square Feet or 0.24 Acres more or less by calculations.

The above Legal Description provided by client.

3. SOURCES OF DATA:

AS TO HORIZONTAL CONTROL:

North Arrow and Bearings refer to an assumed value of North along the East property line of the Subject property, Miami-Dade County, Florida. This line is considered well-established and monumented.

AS TO VERTICAL CONTROL:

By scaled determination the subject property lies in Flood Zone AE, Base Flood Elev. 9, feet, as per Federal Emergency Management Agency (FEMA) Community—Panel Number 120651, Map No. 12086C0316, Suffix L, Firm Index Date: 09—11—2009, Firm Panel Effective/Revised Date: 09-11-2009.

An accurate Zone determination should be made by the preparer of the map, the Federal Emergency Management Agency, or the Local Government Agency having jurisdiction over such matters prior to any judgments being made from the Zone as noted. The referenced Federal Emergency Management Agency Map states in the notes to the user that "this map is for insurance purposes only".

The vertical control element of this survey was derived from the National Geodetic Vertical Datum, (N.G.V.D. 1929.)

Benchmark used: Miami-Dade Benchmark: D-171, Elevation=7.71' Location: Venetian Causeway & Di Lido Island.

4. ACCURACY:

The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement.

5. LIMITATIONS:

The above Legal Description provided by client.

Since no other information other than what is cited in the Sources of Data was furnished, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map or contained within this Report that may be found in the Public Records of Miami-Dade County, or the records of any other public and private entities as their jurisdictions may appear. The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual who may appear in public records. No excavation or determination was made as to how the Subject Property is served by utilities. No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

This notice is required by the "Minimum Technical Standards for Land Surveying in the State of Florida," pursuant to Rule 5J-17 of the Florida Administrative Code.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY: That the Boundary Survey of the above described property is true and correct to the best of my knowledge and belief as recently surveyed under my direction. Further, there are no above ground encroachments unless shown. This survey meets the minimum technical standards set forth by the Florida Board of Professional Surveyors and Mappers, in Chapter 5J—17, Florida Administrative Code, pursuant to section 472.027 Florida Statutes. Examination of the abstract of title will have to be made to determine recorded instruments, if any, affecting the property. Location and identification of utilities adjacent to the property were not secured as such information was not requested. Ownership is subject to opinion of

J. BONFILL & ASSOCIATES, INC. Florida Certificate of Authorization No. LB 3398

QUAN J. BONFILL PROFESSIONAL SURVEYOR AND MAPPER No. 3179 STATE OF FLORIDA

Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party



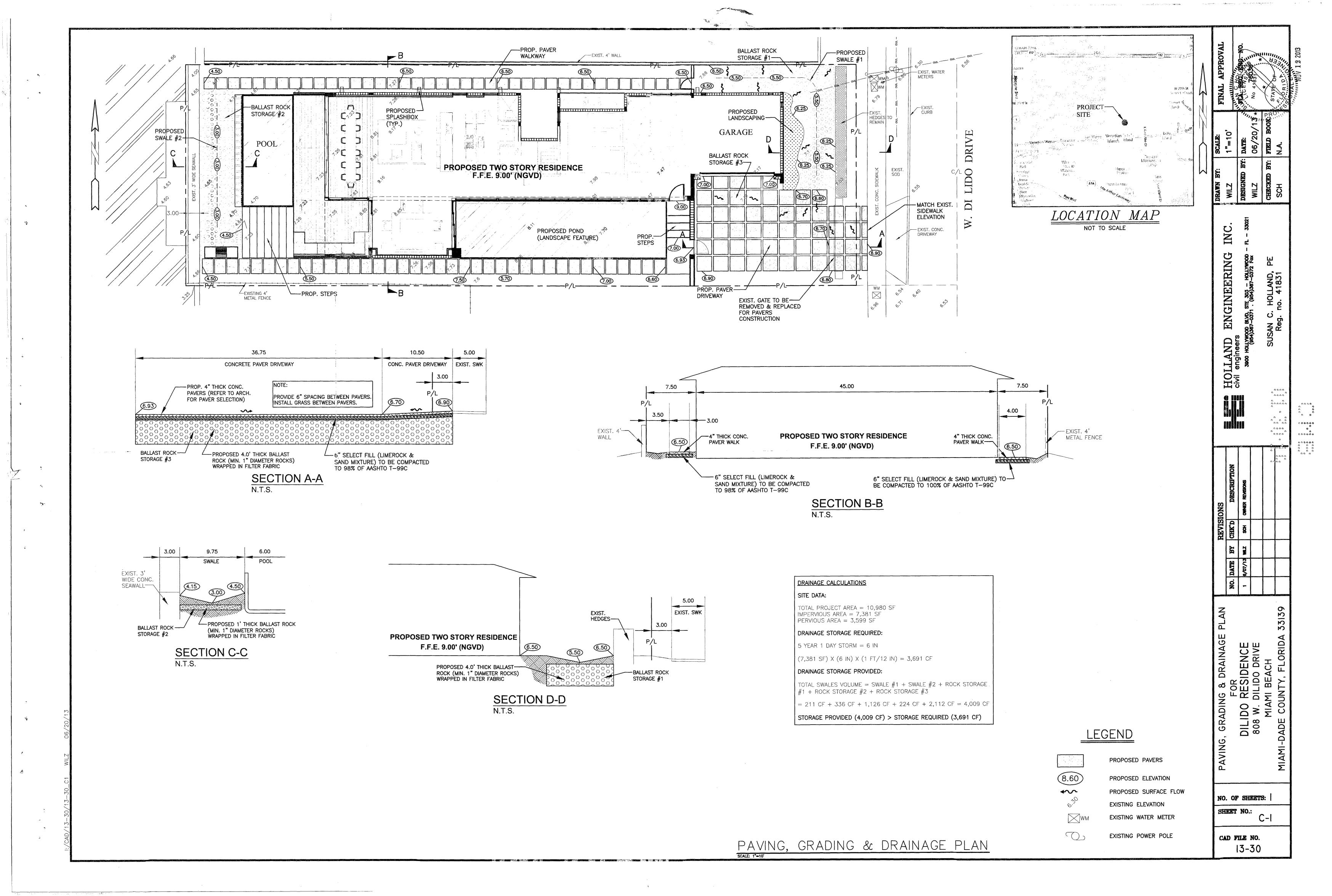
J. Bonfill & Associates, Inc.
REGISTERED LAND SURVEYORS & MAPPERS
Florida Certificate of Authorization LB3398
7100 S.W. 99th Avenue Suite 104
Miami, Florida 33173 (305) 598-8383

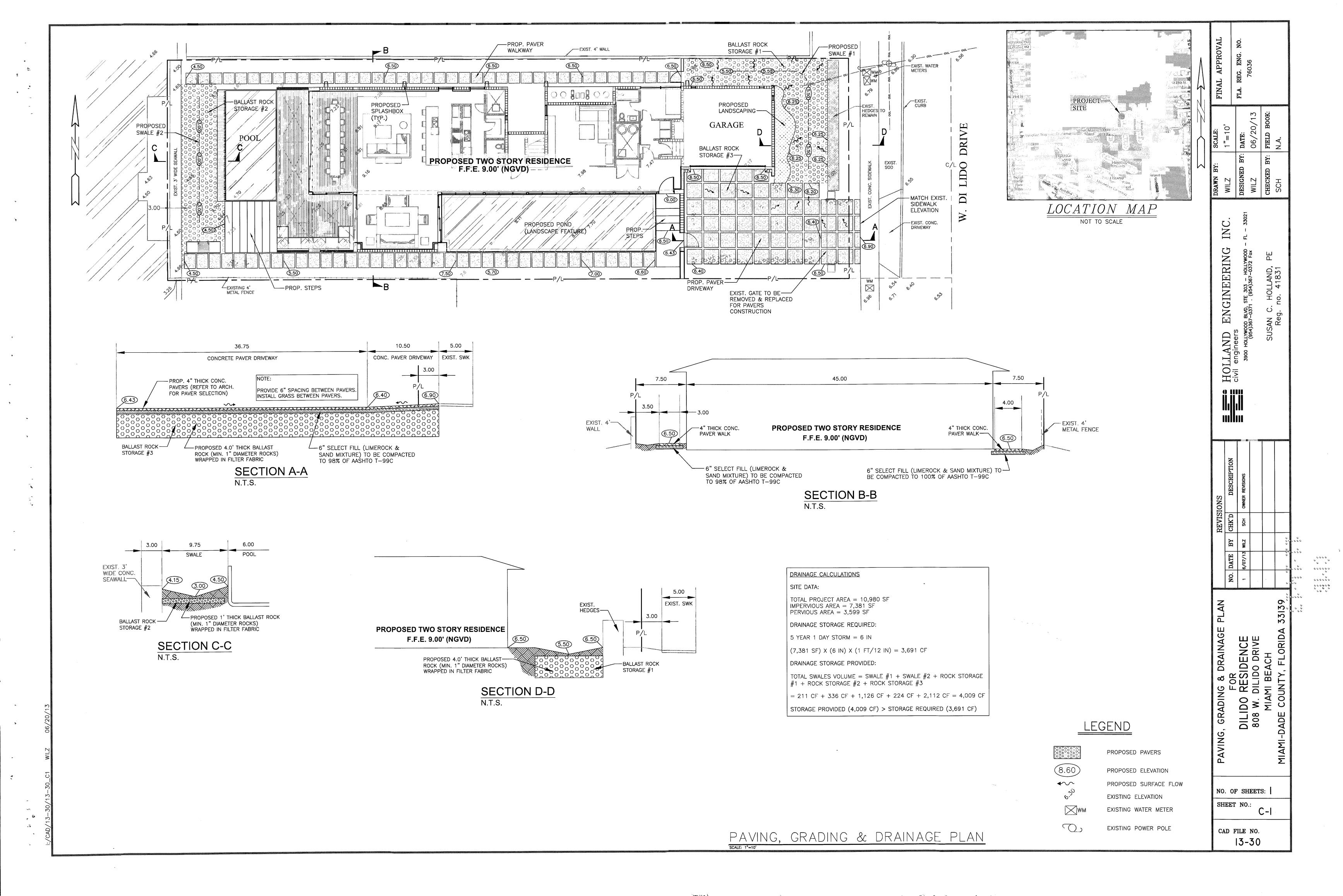
808 W. DI LIDO DRIVE, MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA 33139

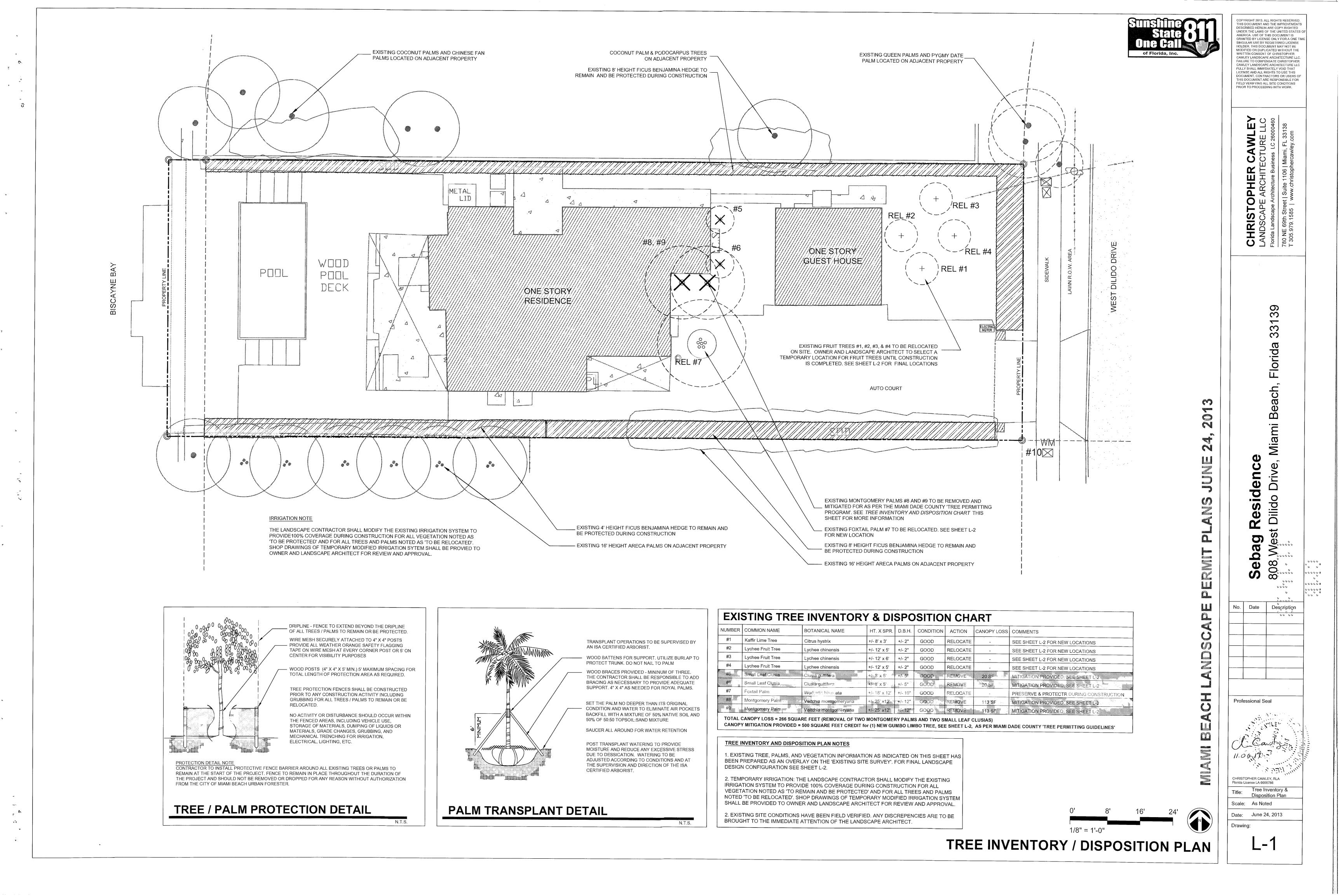
REVISIONS

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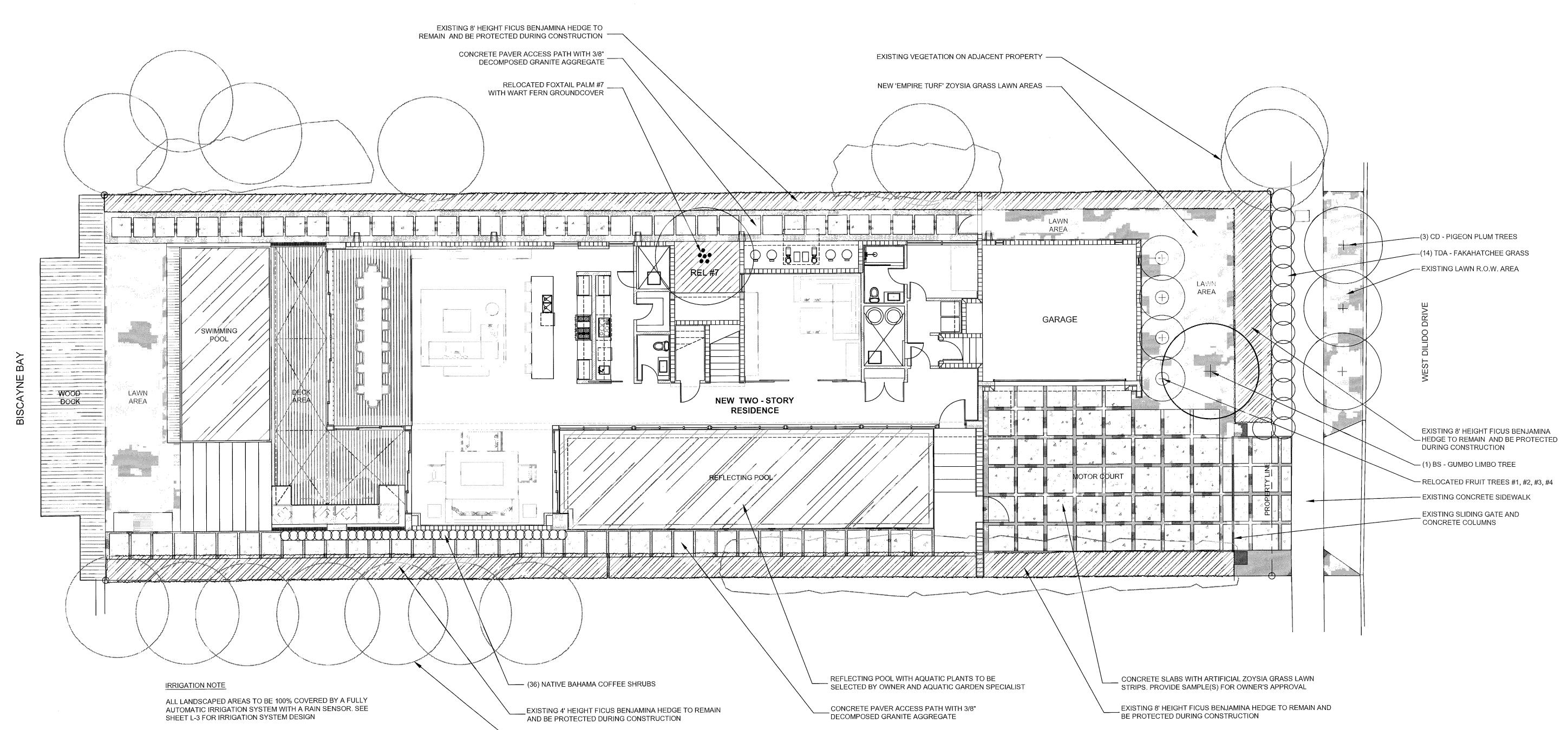
roject: 12-0272 13-0409 11-11-2013 Drawn: G.P, J.S. Checked: J.B. AS SHOWN Field Book: ON FILE SHEET 1 OF 1











LANDSCAPE LEGEND

MIAMI - DADE COUNTY LANDSCAPE ORDINANCE CHAPTER 18-A (RESIDENTIAL VERSION)

ZONING DISTRICT: RS-3 LOT AREA: 10,750 SF

--- EXISTING VEGETATION ON ADJACENT PROPERTY (TYP)

TREES

3 TREES REQUIRED PER LOT / 3 TREES PROVIDED MEETING MINIMUM REQUIREMENTS (1 NATIVE GUMBO LIMBO TREE, 2 LYCHEE FRUIT TREES)

NATIVE TREES
30% OF REQUIRED TREES OR .30 X 3 = .9 NATIVE TREES REQUIRED / 1 NATIVE TREE PROVIDED

(1 NATIVE GUMBO LIMBO TREE)

10 SHRUBS REQUIRED FOR EACH REQUIRED TREE or 10 X (3) = 30 REQUIRED / 36 SHRUBS PROVIDED

(36 BAHAMA COFFEE PROVIDED ALONG SOUTHWEST CORNER OF RESIDENCE)

30% OF TOTAL SHRUBS REQUIRED MUST BE NATIVE or .30 X 30 = 9 REQUIRED (36 BAHAMA COFFEE PROVIDED ALONG SOUTHWEST CORNER OF RESIDENCE)

1,290 SF PROVIDED / AMOUNT OF LAWN AREA PROVIDED IS LESS THAN 50% OF OPEN SPACE

IRRIGATION SYSTEM
100% COVERAGE PROVIDED PURSUANT TO MIAMI DADE CODE

PLANTLIST - 808 West Dilido Drive SYM. NATIVE QTY. COMMON NAME BOTANICAL NAME TREES

1 GUMBO LIMBO TREE YES Bursera simaruba 6" DBH minimum, field grown specimen to be selected YES 3 PIGEON PLUM TREE 14' height, 6' clear trunk, matched specimens Coccoloba diversifolia SHRUBS PSL YES 36 BAHAMA COFFEE Psychotria ligustrifolia 3 gal, 18" O.H, space to create consistent linear row GROUNDCOVERS TDA YES 14 FAKAHATCHEE GRASS Tripsacum dactyloides 3 gallon, full, space to create consistent linear row 1 gallon, full, space to create uniform planting area MIC NO As req. WART FERN Microscorum scolopendrium

HEIGHT x SPREAD & SPECIFICATION

SOD, AGGREGATE, & MULCH LAWN AREAS | 'EMPIRE TURF' ZOYSIA GRASS - OVER 2" TOPSOIL BED, SEE PLANTING SPECIFICATIONS

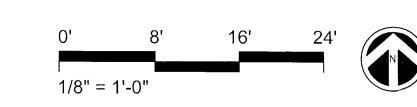
AGGREGATE & MULCH: 3/8" DECOMPOSED GRAY GRANITE OR SHALE, INSTALL OVER FILTER FABRIC IN WALKING AREAS

TREE INVENTORY AND DISPOSITION PLAN NOTES

1. THE PROPOSED LANDSCAPE DESIGN MEETS AND EXCEEDS THE LANDSCAPE CODE REQUIREMENTS AS STIPULATED IN CHAPTER 18-A, MIAMI DADE COUNTY LANDSCAPE ORDINANCE. SEE LANDSCAPE LEGEND THIS SHEET FOR MORE INFORMATION.

2. TEMPORARY IRRIGATION: THE LANDSCAPE CONTRACTOR SHALL MODIFY THE EXISTING IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE DURING CONSTRUCTION FOR ALL VEGETATION NOTED AS 'TO REMAIN AND BE PROTECTED' AND FOR ALL TREES AND PALMS NOTED 'TO BE RELOCATED'. SHOP DRAWINGS OF TEMPORARY MODIFIED IRRIGATION SYSTEM SHALL BE PROVIDED TO OWNER AND LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.

3. EXISTING SITE CONDITIONS HAVE BEEN FIELD VERIFIED. ANY DISCREPENCIES ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.



LANDSCAPE PLAN

SCRIBED HEREIN ARE COPY-RIGHTED UNDER THE LAWS OF THE UNITED STATES (AMERICA, USE OF THIS DOCUMENT IS GRANTED BY LICENSE ONLY FOR A ONE TIMI SINGULAR USE BY REGISTERED LICENSE HOLDER. THIS DOCUMENT MAY NOT BE MODIFIED OR DUPLICATED WITHOUT THE WRITTEN CONSENT OF CHRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC. FAILURE TO COMPENSATE CHRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC FULLY SHALL IMMEDIATELY VOID THAT LICENSE AND ALL RIGHTS TO USE THIS DOCUMENT, CONTRACTORS OR USERS C THIS DOCUMENT ARE RESPONSIBLE FOR FIELD VERIFYING ALL SITE CONDITIONS

PRIOR TO PROCEEDING WITH WORK.

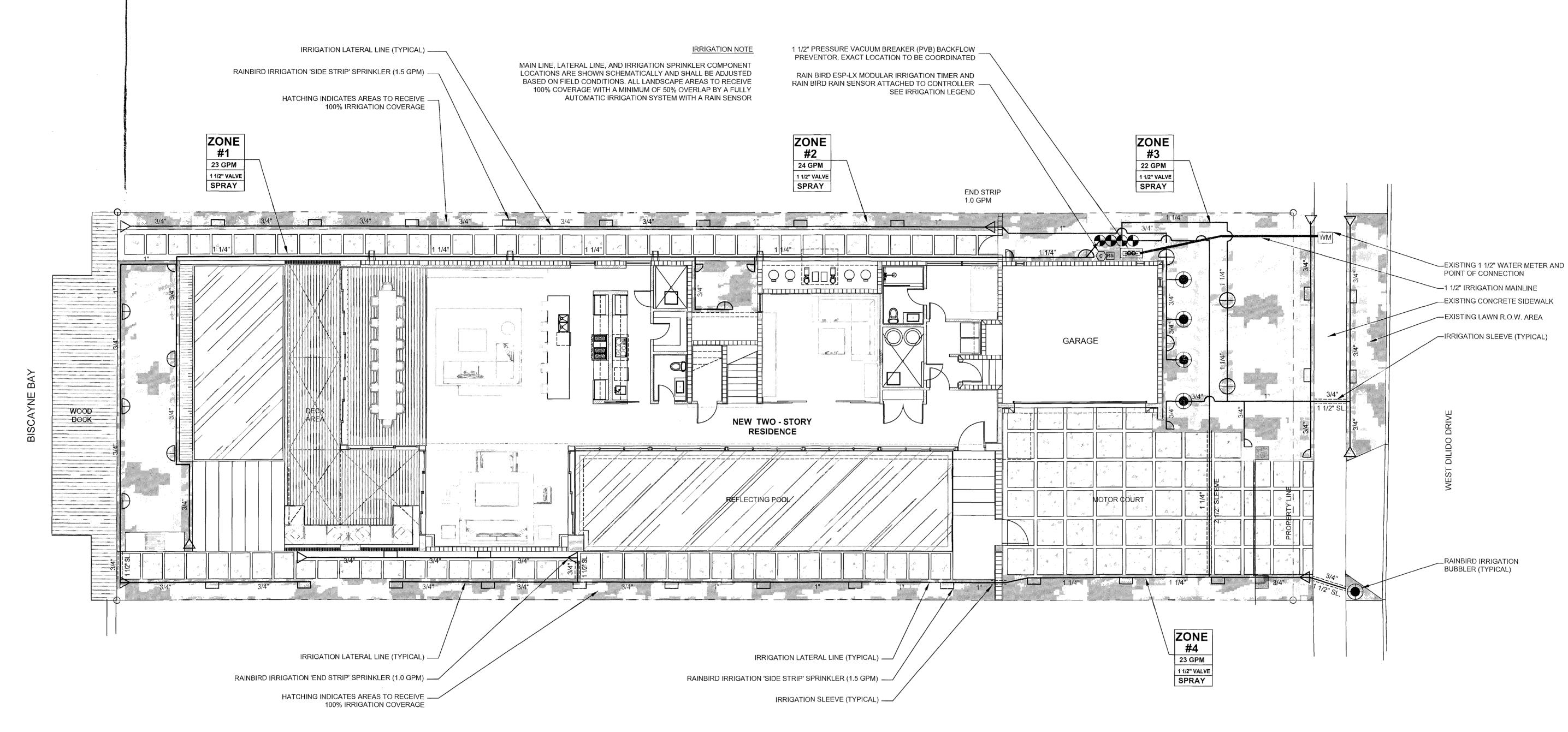
TOPHER
APE ARCHITE CHRIST LANDSCA Florida

> No. Date Description Professional Seal

CHRISTOPHER CAWLEY, RLA Florida License LA 6666786 Title: Landscape Plan Scale: As Noted

Date: June 24, 2013





IRRIGATION NOTES

- 1. Irrigation contractor shall provide, furnish, and install a fully automatic irrigation system which will comply with all local code, state code, & water management district (SWFMD) requirements.
- 2. The irrigation contractor shall schedule an on-site pre-construction conference with the owner and the owner's authorized representative prior to commencement of installation of the irrigation system.
- 3. Contractor shall install pop-up type heads. Spray type shall be rotor, impact, spray, or bubbler and shall be installed so as not to cause any overspray onto any paved surfaces, i.e. roads, sidewalks, etc. All fixtures shall be "Toro", "Rainbird" or an approved equal. All work shall be done in a professional manner as per manufacturer's specifications.
- 4. All main supply line shall be pvc schedule 40 pipe. All pvc fittings shall be schedule 40. The mainline is shown schematically. Locate main lines in landscape areas where possible and sleeve under pavement where necessary. Mainlines shall be in the same trench with the lateral lines where possible.
- 5. Contractor shall familiarize himself with the location of and avoid & protect all utility lines, ducts, buried cables and other utilities in the area. Contractor will be responsible for the repair, liability, and costs incurred in the damage or destruction of said utilities. Call U.N.C.L.E. 1-(800) 432-8770 48 hours prior to commencment of any work for proper utility location and clearances.
- 6. The contractor shall secure all work with the project manager, landscape contractor and all other contractors to insure proper installation, scheduling, and procedure.
- 7. The contractor shall coordinate with the project manager to provide electrical supply to the controller, pump, etc. as needed.

- The contractor shall be responsible to secure all permits as may be deemed necessary to perform the work. Entire system shall be installed in compliance with all local and state codes.
- 9. All sleeves under pavement shall be buried per Florida Building Code, Appendix "F". All lateral sleeves under sidewalks shall be buried below walkways and shall be schedule 40 PVC. All sleeving shall be schedule 40 PVC pipe and shall be 2 times the main or lateral pipe size.
- 10. The contractor shall connect the master valve (when applicable) and all electric valves to the controller and provide proper synchronization.
- 11. All low voltage electric valves shall be #14 direct burial. All wires under roads to be placed in a sperarate 1" sleeve. Contractor shall provide a minimum of two extra wires for emergency post installation wiring.
- 12. All line locations are approximte. The contractor shall adjust trenching and location of spray heads in the field for existing conditions, walks, utilities, structures, and plantings to provide and insure 100% coverage and 100% overlap.
- 13. Contractor shall provide a one-year guarantee on all parts and a 90 day guarantee on labor from the date of final acceptance..
- 14. The irrigation contractor shall record all changes made to the irrigation system during installation, and provide an as-built drawing o the owner's representative upon completion and acceptance of the work.
- 15. The irrigation contractor shall instruct the owner or the owner's representative in the complete operation and maintenance of the system. The contractor shall furnish two copies of an irrigation system management manual prepared by the manufacturer and the system installer.

IRRIGATION LEGEND



WATER SOURCE: - 1 1/2" WATER METER - 1 1/2" PRESSURE VACUUM BREAKER (PVB) BACKFLOW PREVENTOR

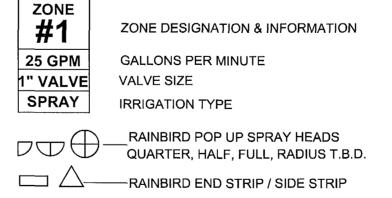
PROVIDE: 1 1/2" MASTER CONTROL VALVE CONNECT DIRECTLY AFTER PVB TO CONTROL TOTAL SYSTEM SHUT OFF

RAINBIRD ESP-LX MODULAR TIMER C RS W/ RAINBIRD RSD SERIES RAIN SENSOR ATTACHED TO CONTROLLER. SEE THIS SHEET FOR LOCATION

1 1/2" ELECTRIC VALVES - RAINBIRD PEB SERIES OR APPROVED EQUAL, IN VALVE BOX 1 1/2" PVC Main Supply Line- Sch 40

LATERAL LINE (Sch. 160) PIPE in SLEEVE (See Sizing Chart) PIPE CONNECTION

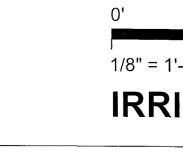
PIPE CROSSING

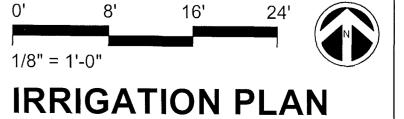


-RAINBIRD BUBBLER

A ROUGH INSPECTION IS REQUIRED BY THE CITY OF MIAMI BEACH PRIOR TO TRENCH BACKFILLING. A FINAL INSPECTION IS REQUIRED PRIOR TO COMPLETION OF THE IRRIGATION WORK. SOUTH FLORIDA WATER MANAGEMENT WATER RESTRICTIONS, 'PHASE II RESTRICTIONS' ARE IN EFFECT. NEW LANDSCAPE SHALL BE EXEMPT PER SFWMD FOR A PERIOD OF SIXTY DAYS AFTER INSTALLATION WITH CONTRACTOR AND/OR OWNER TO ASSUME RESPONSIBILITY AFTER THAT INITIAL PERIOD.

	DING CODE- APPENDIX F TION-DEPTH OF COVER	FLORIDA BUILDING CODE- APPENDIX PART V- A-6		
VEHICLE	TRAFFIC AREAS	WATER PIPE SIZE	SLEEVE SIZE	
PIPE SIZE (INCHES)	DEPTH OF COVER (INCHES)	3/4"	1 1/2"	
1/2" TO 2 1/2"	18" TO 24"	1"	2"	
3" TO 5"	24" TO 30"	1 1/4"	2 1/2"	
6" OR GREATER	30 TO 36"	1 1/2"	3"	
NON-TRAFFIC AN	ND NON-CULTIVATED AREAS	2"	4"	
PIPE SIZE (INCHES)	DEPTH OF COVER (INCHES)	3"	6"	
1/2" TO 1 1/4"	6" TO 12"	4"	8"	
1 1/2" TO 2"	12" TO 18"	SLEEVES TO EXTEND A MIN. 3' BEYOND ALL		
2 1/2" TO 3"	18" TO 24"	PAVED AREAS, BACKFILL AND COMPACTION		
4" OR LARGER	24" TO 36"	PER APPENDIX F		





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No. Date Description Professional Seal

IRISTOHER CAWLEY, RLA Florida License LA 6666786 Title: Irrigation Plan Scale: As Noted June 24, 2013

N

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Date: June 24, 2013 Drawing:

PLANT MATERIAL SHALL NOT BE PRUNED PRIOR TO SHRUB SPACING AS PER SPECS. INSTALLATION, AFTER PLANTS HAVE BEEN INSTALLED. GROUNDCOVERS TO BE STAGGERED AS SHOWN -EACH PLANT SHALL BE PRUNED FOR UNIFORMITY OR SPACING BETWEEN ROWS TO BE AT A 60 DEGREE AT THE DIRECTION OF THE PROJECT LANDSCAPE ANGLE OF THE O.C. DISTANCE AS SHOWN ARCHITECT. - MULCH - SEE SPECS. FOR DEPTH, TYPE, ETC. MULCH SHALL BE LEVEL WITH ALL EDGES OF PAVEMENT TYPICAL - 2" MIN. SAUCER COLLAR FOR WATER RETENTION —— MULCH - SEE SPECS. FOR DEPTH, TYPE, ETC. — MULCH SHALL BE LEVEL WITH ALL EDGES OF LEAVE MOUND OF UNDISTURBED SOIL TO

SHRUB PLANTING DETAIL

PREVENT SETTLING, OR, COMPACT THOROUGHLY

- PLANTING SOIL MIX - SEE LANDSCAPE NOTES, FOR MIX,

UNDER SHRUB AS NEEDED.

3 - 2" x 4" WOOD BATTENS SECURED TO PALM W/ STEEL BANDING-DO NOT NAIL INTO PALM. TOE NAIL 2' X 4" BRACE TO BATTENS. MINIMUM 3 LAYERS OF BURLAP 2" x 4" WOOD BRACES -MIN. 3 PER PALM SPACED EQUALLY AROUND PALM. BRACES SHALL BE CLEARLY MARKED WITH FLOURESCET OUTDOOR FLAGGING RIBBON. 3" RECYCLED MULCH OR APPROVED EQUAL, PULL MULCH 2" BACK FROM TRUNK, FORM SAUCER 4"-6" ALL AROUND PLANTING HOLE. — PLANT TOP OF ROOTBALL EVEN WITH FINISHED GRADE. — REMOVE BURLAP FROM TOP ⅓ OF THE ROOTBALL . PLANTING PIT TO BE TWICE THE DIAM. OF ROOTBALL PROVIDE 2" X 4" X 18" LENGTH WOOD BATTENS AS NECESSARY TO SUPPORT WOOD BRACES BACKFILL AROUND THE ROOTBALL WITH 50:50 TOPSOIL:SAND MIX PLACE ROOTBALL AT THE BOTTOM OF THE UNDISTURBED SUBGRADE. PALM PLANTING DETAIL

GROUNDCOVER PLANTING DETAIL

PAVEMENT TYPICAL

- PLANTING SOIL MIX - SEE NOTES FOR TYPE, DEPTH,

SINGLE LEADER, NO CO-DOMINANT LEADERS, NO INCLUDED BARK. "BLACK WELLINGTON" TAPE OR APPROVED EQUAL GUYS, 3/ TREE, SPACED EQUALLY AND LOCATED ABOVE THE FIRST LATERAL BRANCHES WELLINGTON TAPE OR GUYS TO BE CLEARLY MARKED W/ FLOURESCENT OUTDOOR FLAGGING RIBBON REMOVE BURLAP FROM THE TOP 1/3 OF THE ROOTBALL. 3" RECYCLED MULCH OR APPROVED EQUAL, PULL MULCH 2" BACK FROM TRUNK, FORM SAUCER 4"-6" ALL AROUND PLANTING HOLE. — PLANT TOP OF ROOTBALL EVEN WITH FINISHED PLANTING PIT TO BE TWICE THE DIAM. OF ROOTBALL PROTECT STAKED END OF WELLINGTON TAPE W/ A 12" LONG SECTION OF PVC PIPE (TYP.) PROVIDE 2" X 4" X 18" LENGTH WOOD BATTENS AS NECESSARY TO SUPPORT WOOD BRACES BACKFILL AROUND THE ROOTBALL WITH 50:50 PLACE ROOTBALL AT THE BOTTOM OF THE UNDISTURBED SUBGRADE. TREE PLANTING DETAIL

PLANT BUFFER / UTILITY EQUIP.

BACKFLOW PREVENTER CONCRETE SLAB COCOPLUM: ADD SHRUBS AS NEEDED IF NOT SHOWN ON PLAN. 3 GAL., 24" X 24", 2' O.C **BACKFLOW PREVENTER** PROPOSED HEDGE 1.) IF DOMESTIC BACKFLOW PREVENTER AND FIRE SERVICE ARE GOING TO BE USED TOGETHER. THE LANDSCAPE SHALL BE PROVIDED TO SCREEN BOTH DEVICES. 2.) LANDSCAPING IS REQUIRED AS PER CHAPTER 32, SECTION 32-157(d) OF THE MIAMI-DADE COUNTY CODE.

LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER.

2. CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF, AVOID, AND PROTECT ALL UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.

3. TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ANY CHANGES TO R.O.W. (RIGHT OF WAY) MATERIAL IN REGARDS TO PLACEMENT OF SPECIES SHALL REQUIRE THE APPROVAL AND CONSULTATION OF THE CITY URBAN FORESTER AND OR

4. ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL:SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERMS AND OTHER LANDSCAPE AREAS.

CARE SHALL BE TAKEN TO AVOID PLACEMENT OF CONSTRUCTION FILL, GRAVEL, AND OR DEBRIS OVER THE ROOTBALLS OF INSTALLED OR EXISTING TREES AND OR PALMS ON SITE.

2" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.

6" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.

SHRUB AND HEDGE PLANTING AREAS

12" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.

TREES, PALMS, SPECIMEN PLANT MATERIAL LOCATIONS: REMOVE ALL LIMEROCK PRESENT TO A DEPTH OF AT LEAST 30"BEFORE PLACING NEW **PLANTING SOIL.** APPLY NEW CLEAN PLANTING SOIL IN PLANTING AREA AS REQUIRED

LANDSCAPE ISLANDS AND BUILDING FOUNDATIONS: EXCAVATE AND REMOVE ALL LIMEROCK, ROCKS, DEBRIS. ETC. TO A DEPTH OF 12" AND BACKFILL W/ 50:50 TOPSOIL:SAND MIX. BUILDING FOUNDATIONS SHALL BE THE SAME DEPTH TO A WIDTH OF 36" FROM THE BUILDING BASE.

5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL:SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.

6. THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50:50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL:SAND APPLICATION AND SUBSEQUENT PAYMENT. OTHER PLANTING SOIL MIXES TO BE ADDED, I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.

> DRIPLINE - FENCE TO EXTEND BEYOND THE DRIPLINE OF ALL TREES / PALMS TO REMAIN OR BE PROTECTED.

WIRE MESH SECURELY ATTACHED TO 4" X 4" POSTS

PROVIDE ALL WEATHER ORANGE SAFETY FLAGGING

CENTER FOR VISIBILITY PURPOSES

TAPE ON WIRE MESH AT EVERY CORNER POST OR 5' ON

WOOD POSTS (4" X 4" X 5' MIN.) 5' MAXIMUM SPACING FOR

TOTAL LENGTH OF PROTECTION AREA AS REQUIRED.

TREE PROTECTION FENCES SHALL BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING

GRUBBING FOR ALL TREES / PALMS TO REMAIN OR BE

NO ACTIVITY OR DISTURBANCE SHOULD OCCUR WITHIN

THE FENCED AREAS, INCLUDING VEHICLE USE,

MATERIALS, GRADE CHANGES, GRUBBING, AND

MECHANICAL TRENCHING FOR IRRIGATION,

ELECTRICAL, LIGHTING, ETC.

STORAGE OF MATERIALS, DUMPING OF LIQUIDS OR

7. CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL SLEEVING AND PIPE ROUTING. ALL UNDERGROUND UTILITIES TO BE LOCATED BY DIALING 811 AS REQUIRED BY LAW.

8. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 2" WITH A SMALL GRAY GRANITE AGGREGATE FREE FROM WEEDS AND PESTS. NO 'CYPRESS MULCH' OR 'RED DYED MULCH' TO BE ACCEPTED. KEEP MULCH 3" AWAY FROM TREE OR PALM TRUNKS AS PER INDUSTRY RECOMMENDATIONS.

9. SOD SHALL BE 'EMPIRE TURF' ZOYSIA GRASS IN ALL LAWN AREAS AS SHOWN ON THE PLANS. SOD SHALL BE STRONGLY ROOTED, FREE FROM WEED, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLANS OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED SODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED. SOD SHALL CARRY A 5-MONTH WARRANTY.

10. ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS, AND SOD / LAWN SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.

11. ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROWERS LANDSCAPE ASSOCIATION (FNGLA) AND ANSI A-300 (PART 6)-2012 TREE, SHRUB, AND OTHER WOODY PLANT MANAGEMENT STANDARD PRACTICES (PLANTING AND TRANSPLANTING). CONTRACTOR SHALL ENSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.

CONTRACTOR SHALL REMOVE ALL STAKES, POLES, WELLINGTON TAPE AND OR BRACING MATERIALS FROM ALL PALMS, TREES AND SHRUBS WITHIN 1 YEAR OF INSTALLATION.

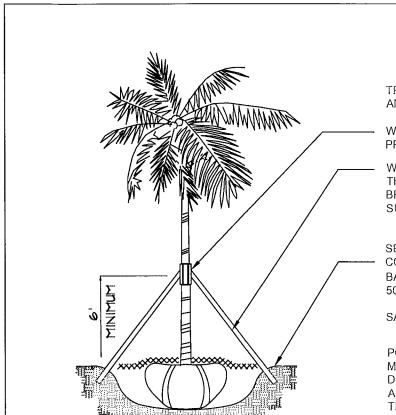
13. THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.

14. IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH 50% OVERLAP MINIMUM AND BE PROVIDED BY A FULLY AUTOMATIC IRRIGATION SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX "F" IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES.

15. IF NECESSARY, CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO ENSURE PROPER WATERING-IN DURING INSTALLATION AND CONTRACTOR WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.

A MINIMUM OF 6 MONTHS OF SUPPLEMENTAL HAND OR AUTOMATIC IRRIGATION SYSTEM WATERING SHALL BE REQUIRED TO AID IN NEW TREE OR PALM ESTABLISHMENT.

16. FERTILIZATION: ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCPAE ARCHITECT. FERTILIZER SHALL BE OSMACOTE OR APPROVAL EQUAL.



TRANSPLANT OPERATIONS TO BE SUPERVISED BY AN ISA CERTIFIED ARBORIST.

WOOD BATTENS FOR SUPPORT. UTILIZE BURLAP TO PROTECT TRUNK. DO NOT NAIL TO PALM WOOD BRACES PROVIDED - MININUM OF THREE. THE CONTRACTOR SHALL BE RESPONSIBLE TO ADD BRACING AS NECESSARY TO PROVIDE ADEQUATE SUPPORT. 4" X 4" AS NEEDED FOR ROYAL PALMS.

SET THE PALM NO DEEPER THAN ITS ORIGINAL CONDITION AND WATER TO ELIMINATE AIR POCKETS BACKFILL WITH A MIXTURE OF 50% NATIVE SOIL AND 50% OF 50:50 TOPSOIL:SAND MIXTURE

POST TRANSPLANT WATERING TO PROVIDE MOISTURE AND REDUCE ANY EXCESSIVE STRESS DUE TO DESSICATION. WATERING TO BE ADJUSTED ACCORDING TO CONDITIONS AND AT THE SUPERVISION AND DIRECTION OF THE ISA CERTIFIED ARBORIST.

PALM TRANSPLANT DETAIL

2. EXISTING SITE CONDITIONS HAVE BEEN FIELD VERIFIED BY LANDSCAPE ARCHITECT.

TREE / PALM PROTECTION DETAIL

3. ALL LANDSCAPE AREAS TO BE 100% COVERED BY A FULLY AUTOMATIC IRRIGATION SYSTEM WITH RAIN SENSOR. CONTRACTOR TO PROVIDE SHOP DRAWING OF MODIFIED IRRIGATION SYSTEM TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.

4. SHEETS L1, L2, L3, L4 TO BE UTILIZED FOR LANDSCAPE AND IRRIGATION PURPOSES ONLY. ALL SITE IMPROVEMENTS INCLUDING GRADING AND DRAINAGE TO BE BY OTHERS. REFER TO ARCHITECTURE AND ENGINEERING PLANS FOR ALL ADDITIONAL INFORMATION.

LANDSCAPE DETAILS NOTES

FROM THE CITY OF MIAMI BEACH URBAN FORESTER.

1. CONTRACTOR SHALL REMOVE ALL STAKES, POLES, WELLINGTON TAPE AND / ORBRACING MATERIALS FROM ALL PALMS, TREES, AND SHRUBS, WITHIN (1) YEAR OF INSTALLATION. THIS NOTE IS APPLICABLE TO ALL PLANTING DETAILS ON THIS SHEET.

CONTRACTOR TO INSTALL PROTECTIVE FENCE BARRIER AROUND ALL EXISTING TREES OR PALMS TO

REMAIN AT THE START OF THE PROJECT. FENCE TO REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT AND SHOULD NOT BE REMOVED OR DROPPED FOR ANY REASON WITHOUT AUTHORIZATION

PLANT LIST, NOTES, DETAILS

SAUCER ALL AROUND FOR WATER RETENTION

Professional Seal

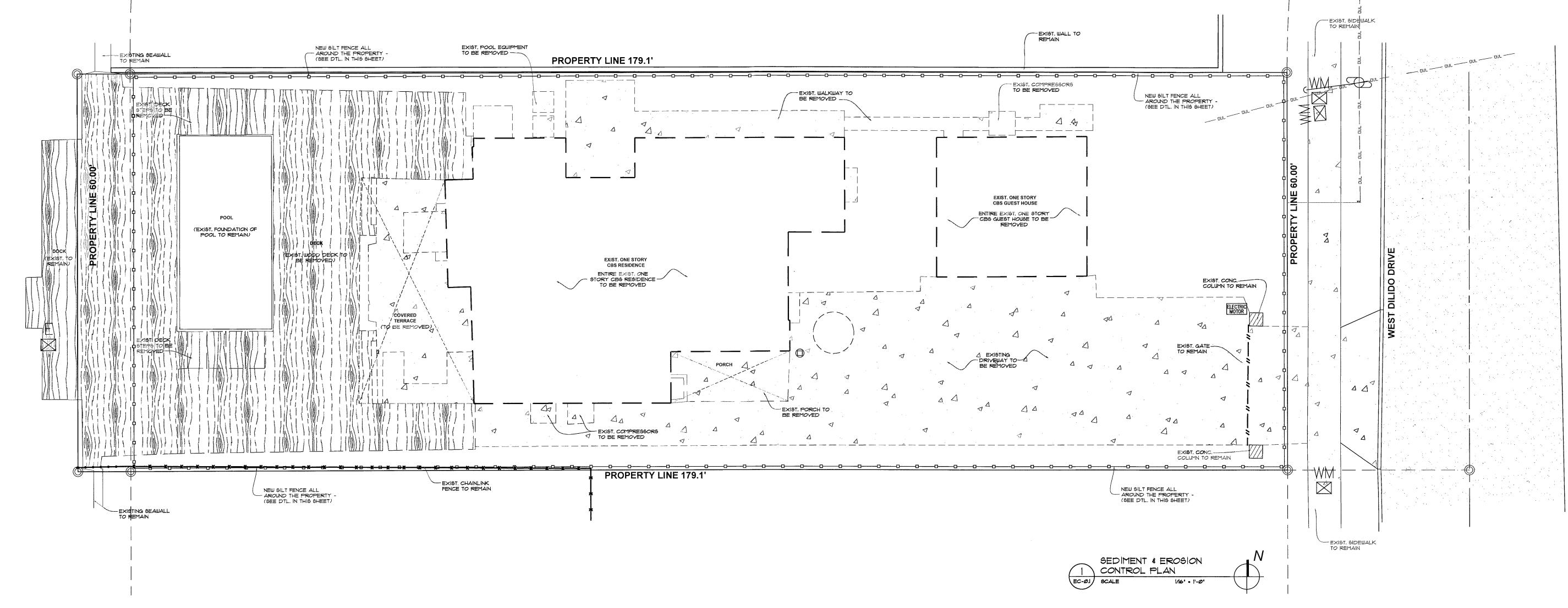
11.06.13 CHRISTOHER CAWLEY, RLA 🚎 📢 Florida License LA 6666786

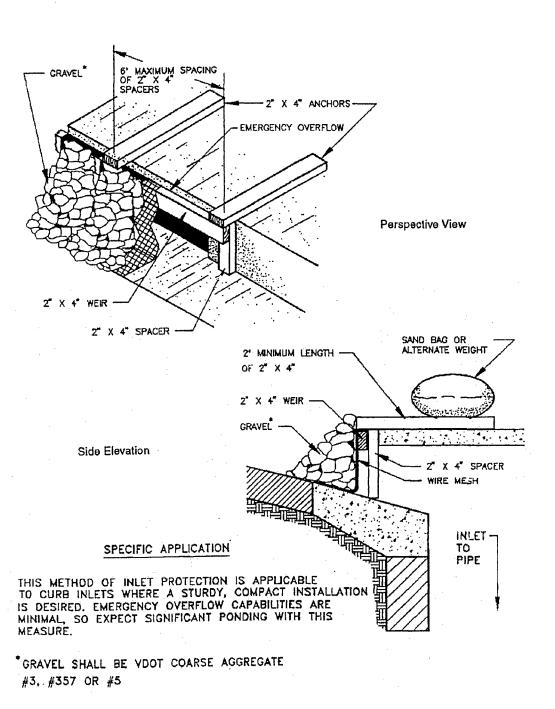
Title: Plant List and Details Scale: As Noted

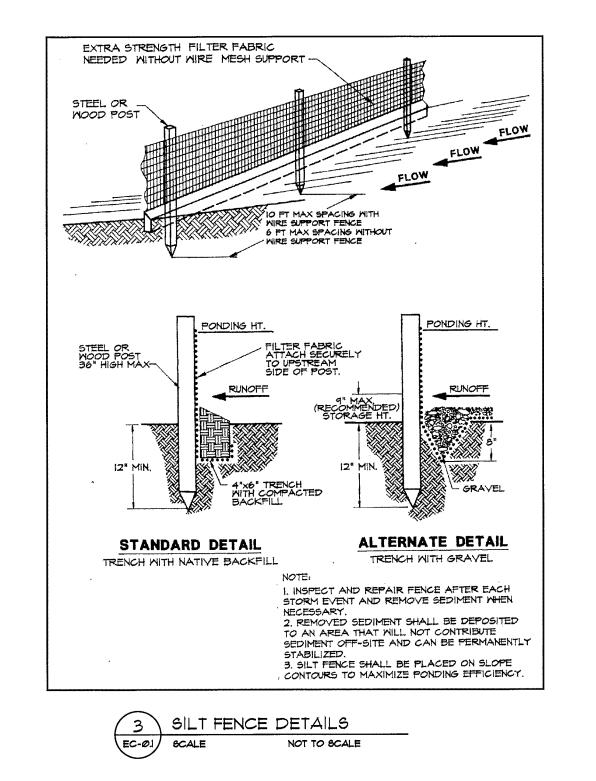
THE CLEAR ZONE SHALL BE FREE OF LANDSCAPE REQUIREMENTS APPLY TO FIRE HYDRANTS, (EXCEPT SOD), MAILBOXES, PARKING, LAMP-POSTS SIAMESE CONNECTIONS AND ANY OTHER FIRE AND ALL OTHER OBJECTS. EQUIPMENT FOR UTILIZING FIRE HOSE, ON PUBLIC OR PRIVATE PROPERTY. BY THE AUTHORITY OF THE FLORIDA BUILDING CODE. **EXCEPTIONS: OTHER FIRE FIGHTING EQUIPMENT** OR TRAFFIC POSTS TO PREVENT FIRE FIGHTING FOUIPMENT. FIRE HYDRANT CLEAR ZONE

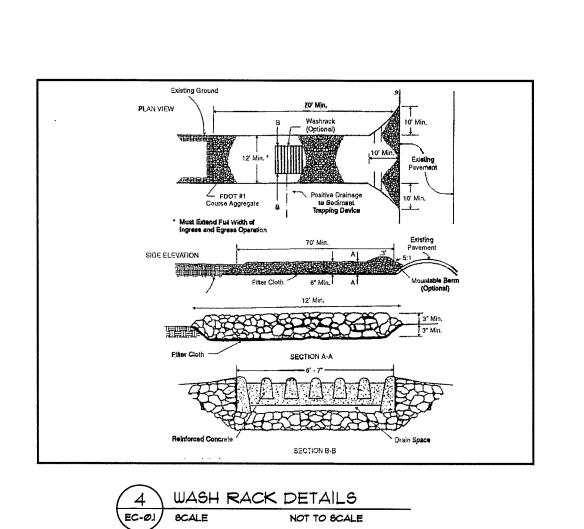
EDGE OF PAYEMENT

SOD









EROSION & SEDIMENT CONTROL NOTE:

THE FOLLOWING ARE BEST MANAGEMENT PRACTICES (BMP'S) DETAILS & SPEC'S, IN ADDITION TO THE STANDARDS PER FDOT INDEX 100-104, AS WELL AS PER FLORIDA'S EROSION & SEDIMENT CONTROL MANUAL, & ARE ONLY A SUGGESTED APPROACH DEVELOPED FOR USE BY THE OWNER/CONTRACTOR TO ASSIST THEM IN IMPLEMENTING APPROPRIATE POLLUTION PREVENTION TECHNIQUES TO COMPLY W/ FL NPDES STORM WATER CONSTRUCTION ACTIVITY, AS ESTABLISHED BY FDEP.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE & IMPLEMENT THE BEST MANAGEMENT PRACTICES THAT ARE APPROPRIATE FOR THE PROJECT'S SITE SPECIFIC CONDITIONS DURING THE LIFE OF THE CONSTRUCTION ACTIVITIES.

APPLICABLE CODE NOTE:

APPLICABLE CODE: FBC 2010 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. 2010 RESIDENTIAL.

DRAINAGE NOTE

ALL DRAINAGE SHALL BE CONTAINED ON PROPERTY AND SHALL NOT DRAIN ONTO NEIGHBOURING PROPERTY AND/OR RIGHT-OF-WAY

SLOPE GRADE AWAY FROM NEW CONSTRUCTION

GENERAL NOTE:

ALL EXISTING STRUCTURES, LANDSCAPE FEATURES, DRIVEWAYS, WALKWAYS, SITE WALL AND PLANTERS AND OTHER SITE IMPROVEMENTS ARE TO BE DEMOLISHED FOR NEW CONSTRUCTION. ANY CLARIFICATIONS NEEDED FOR DEMOLITION ON THE PROPERTY IS TO BE DIRECTED TO THE ARCHITECT.



AR0009679 AR0094779

8425 biscayne blvd, suite 201

miami, florida 33138

2 SEDIMENT FILTER DETAIL

revised: 1 01-06-2014 B.D. REV.

DILIDO RESIDENCE

808 WEST DILIDO DR. MIAMI BEACH, FL 33139

www.choefflevy.com Phone: 305.434.8338

Fax: 305.892.5292

LOT 19, BLOCK 3, 'DI LIDO ISLAND", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 8, PAGE 36, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND AN EIGHT FOOT STRIP IN BISCAYNE BAY, LYING WEST OF AND ADJACENT TO THE WEST LINE OF SAID LOT.

PROPERTY ADDRESS: 808 W. DILIDO DRIVE. MIAMI BEACH, FL 33139

PUBLIC WORKS NOTES

REMOVE & REPLACE CONCRETE SIDEWALK ALONG ENTIRE FRONTAGE OF PROPERTY

RECONSTRUCT SWALE ALONG ENTIRE FRONTAGE OF PROPERTY

MILL & RESURFACE 2" AVG. (TYPE S-III ASPHALT MIX) DRIVING LANE (10' WIDE) IN STREET ADJACENT TO PROPERTY ALONG ENTIRE FRONTAGE OF PROPERTY

ALL CONSTRUCTION, IMPROVEMENTS (INCLUDING LANDSCAPING AND IRRIGATION) AND/OR USE OF EQUIPMENT (IN THE RIGHT-OF-WAY WILL REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS RIGHT-OF-WAY CONSTRUCTION PERMIT PRIOR TO START OF CONSTRUCTION

SITE DATA		
EXISTING LOT SIZE:	10,750 SQ. FT. (0.246 ACRES±)	(100%)
BLDG. LOT COVERAGE: MAIN HOUSE	3,191 SQ. FT. 3,109 SQ. FT.	(29.6%)
	32 SQ. FT. (582 SQ FT)	(5.4%)
IMPERVIOUS GROUND COVERED DECKS/ WALK WAYS/ DRIVE WAYS	ER: 2,675 SQ. FT. 582 SQ. FT. 1,268 SQ. FT. 825 SQ. FT.	(24.8%)
WATER FEATURES: POOL PONDS	1,365 SQ. FT. 427 SQ. FT. 938 SQ. FT.	(12.7%)
LANDSCAPED AREA:	3,019 SQ. FT.	(28.1%)

TERMITE PROTECTION NOTE

TO NEW CONSTRUCTION.

CHEMICAL USED, PERCENT

CONSTRUCTION.

TERMITE PROTECTION SHALL BE PROVIDE BY FLORIDA REGISTERED TERMITICIDES OR OTHER

APPROVED METHODS OF TERMITE PROTECTION

SOIL SHALL BE TERMITE TREATED PRIOR TO

CONTRACTOR SHALL POST A WEATHER RESISTANT

JOB BOARD TO RECEIVE DUPLICATE TREATMENT

CERTIFICATES & SHALL DISPLAY PRODUCT USED

IDENTITY OF APPLICATOR, TIME & DATE OF

TREATMENT, SITE LOCATION, AREA TREATED,

CONCENTRATION & NUMBER OF GALLONS USED.

LABELED FOR USE AS A PREVENTATIVE TREATMENT

	BUILDING DATA	(INTERIORS)
0%)	MAIN HOUSE: FIRST FLOOR (AC)	2,990 SQ. FT.
6%)	SECOND FLOOR (AC) GARAGE (NON AC)	3,245 SQ. FT. 582 SQ. FT.
4%)	TOTAL (AC)	6,235 SQ. FT.
.8%)	TOTAL (NON AC)	582 SQ. FT.
	TOTAL:	6,817 SQ. FT.
	UNIT SIZE/LOT SIZE:	58%, 6,235 SQ. FT.
2.7%)		·

CONTRACTOR SHALL FIELD VERIFY, PRIOR TO CONSTRUCTION, THAT ALL SETBACKS ARE MET PER SITE PLAN AND THAT RESIDENCE AND ITS AMNENITIES SIT ON SITE EXACTLY AS PER THIS SITE PLAN. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

DRAINAGE NOTE

SURVEYOR NOTE

ALL DRAINAGE SHALL BE CONTAINED ON PROPERTY AND SHALL NOT DRAIN ONTO NEIGHBORING PROPERTY

SLOPE GRADE AWAY FROM NEW CONSTRUCTION

FLOOD ELEVATION NOTE:

ALL ELECTRICAL, MECHANICAL & PLUMBING EQUIPMENT IS TO BE ABOVE BASE FLOOD ELEVATION (+9'-0" NGVD) - ALL CONSTRUCTION & FINISH MATERIALS BELOW BASE FLOOD ELEVATION ARE TO BE FLOOD RESISTANT.

APPLICABLE CODE NOTE:

APPLICABLE CODE: FBC 2010 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. 2010 RESIDENTIAL.

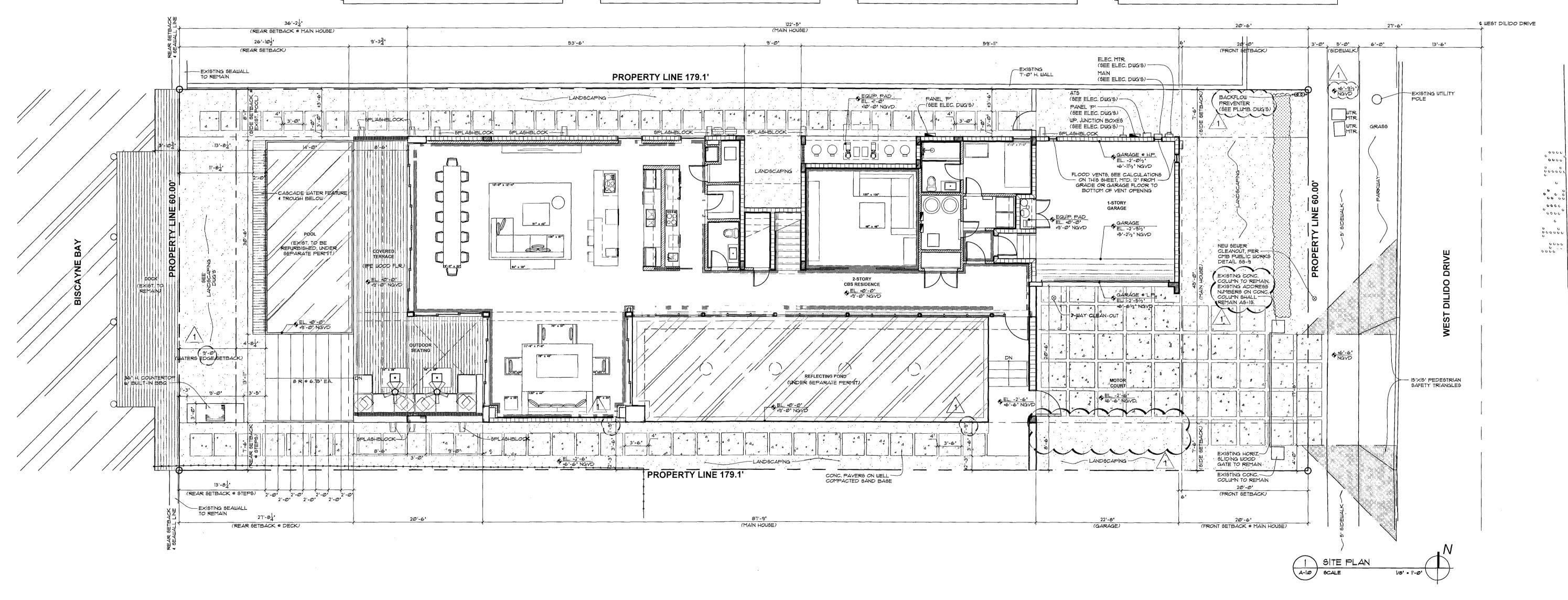
REQUIRED PROVIDED /ALLOWED ZONING DATA CLASSIFICATION: RS-3 FLOOD ZONE: AE-9 MIN. FLOOD ELEVATION (NGVD): +9'-0" +9'-0" MAX, LOT COVERAGE: 30%, 3,225 SQFT 29.6%, 3,191 SQFT (35% W/ DRB APPROVAL) MAIN HOUSE MAX, BUILDING HEIGHT: 25'-Ø" 27'-6" (30'-0" W/ DRB APPROVAL) FRONT SETBACK: 2Ø'-Ø" 20'-6" REAR SETBACK: 26'-10" 2寸'-8" (15% LOT DEPTH) SIDE SETBACKS: 15'-0" (25% LOT WIDTH=SUM OF (7'-6"/7'-6") BOTH SIDES, 7'-6" MIN.)

FLOOD VENT CALCULATIONS:

TOTAL GARAGE AREA = 487 SQ. FT. FLOOD VENT REQUIRED = 481 SQ, INCHES

ENGINEERED FLOOD VENTS @ BLOCK WALL "SMART VENTS" = 200 SQ. INCHES EA. 200 SQ. IN. x 3 YENTS = 600 SQ. INCHES

CALCULATIONS ARE BASED ON "SMART VENT" MODEL 1540-510, CERTIFICATION: FL#5822-R2



choeff + levy p.a.

architecture interior design

8425 biscayne blvd, suite 201

miami, florida 33138

www.choefflevy.com Phone: 305.434.8338 AR0009679 AR0094779 Fax: 305.892.5292

DILIDO RESIDENCE 808 WEST DILIDO DR. MIAMI BEACH, FL 33139 comm no. 1241



date: 09-30-13

revised: 1 01-06-2014

OWNER REV.

sheet no.

LOT 19, BLOCK 3, 'DI LIDO ISLAND", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 8, PAGE 36, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND AN EIGHT FOOT STRIP IN BISCAYNE BAY, LYING WEST OF AND ADJACENT TO THE WEST LINE OF SAID LOT.

PROPERTY ADDRESS: 808 W. DILIDO DRIVE. MIAMI BEACH, FL 33139

PUBLIC WORKS NOTES

REMOVE & REPLACE CONCRETE SIDEWALK ALONG ENTIRE FRONTAGE OF PROPERTY

RECONSTRUCT SWALE ALONG ENTIRE FRONTAGE OF PROPERTY

MILL & RESURFACE 2" AVG. (TYPE S-III ASPHALT MIX) DRIVING LANE (10' WIDE) IN STREET ADJACENT TO PROPERTY ALONG ENTIRE FRONTAGE OF PROPERTY

ANY WORK OR IMPROVEMENT TO / FROM RIGHT-OF-WAY REQUIRES A SEPERATE CITY OF MIAMI BEACH PUBLIC WORKS RIGHT-OF-WAY CONSTRUCTION PERMIT

SITE DATA		
EXISTING LOT SIZE:	10,750 SQ. FT. (0.246 ACRES±)	(100%)
BLDG. LOT COVERAGE: MAIN HOUSE	3,191 SQ. FT. 3,109 SQ. FT.	
GARAGE	82 SQ, FT, (582 SQ FT)	(5.4%)
IMPERVIOUS GROUND CO COVERED DECKS/ WALK WAYS/ DRIVE WAYS	2,675 SQ. FT. 582 SQ. FT. 1,268 SQ. FT. 825 SQ. FT.	(24.8%)
WATER FEATURES: POOL PONDS	1,365 SQ. FT. 427 SQ. FT. 938 SQ. FT.	(12.7%)
LANDSCAPED AREA:	3,019 SQ. FT.	(28.1%)

TERMITE PROTECTION NOTE

TO NEW CONSTRUCTION.

CHEMICAL USED, PERCENT

CONSTRUCTION.

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FLORIDA REGISTERED TERMITICIDES OR OTHER

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SOIL SHALL BE TERMITE TREATED PRIOR TO

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JOB BOARD TO RECEIVE DUPLICATE TREATMENT

CERTIFICATES & SHALL DISPLAY PRODUCT USED

IDENTITY OF APPLICATOR, TIME & DATE OF

TREATMENT, SITE LOCATION, AREA TREATED,

CONCENTRATION & NUMBER OF GALLONS USED.

LABELED FOR USE AS A PREVENTATIVE TREATMENT

SURVEYOR NOTE

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(INTERIORS)

2,990 SQ. FT.

3,245 SQ. FT.

6,235 SQ. FT.

582 SQ. FT.

6,817 SQ. FT.

6,235 SQ. FT.

58%

582 SQ. FT.

APPLICABLE CODE NOTE:

APPLICABLE CODE: FBC 2010 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. 2010 RESIDENTIAL.

ZONING DATA	REQUIRED /ALLOWED	PROVIDE
CLASSIFICATION:	R 6-3	
FLOOD ZONE:	AE-9	
MIN. FLOOD ELEVATION (NGVD):	+91 - Ø11	+91-01
MAX. LOT COVERAGE: 30 (35% W/ DRB		29.6%, 3,191 SQFT
MAIN HOUSE		
MAX. BUILDING HEIGHT: (30'-0" W/ DRB	25'-Ø" APPROVAL)	27'-6"
FRONT SETBACK:	20"-0"	20'-6"
REAR SETBACK: (15% LOT DEPTH)	26 = 10 "	27'-8"
SIDE SETBACKS: (25% LOT WIDTH=SUM OF	151-0"	5'-@" (7'-6"/7'-6")

FLOOD VENT CALCULATIONS:

BOTH SIDES, 7'-6" MIN.)

TOTAL GARAGE AREA = 481 SQ. FT. FLOOD YENT REQUIRED = 487 SQ. INCHES

ENGINEERED FLOOD YENTS @ BLOCK WALL "SMART VENTS" = 200 SQ. INCHES EA. 200 SQ. IN. x 3 YENTS = 600 SQ. INCHES

CALCULATIONS ARE BASED ON "SMART VENT" MODEL 1540-510, CERTIFICATION: FL#5822-R2

\$ WEST DILIDO DRIVE (REAR SETBACK @ MAIN HOUSE) 9'-3<mark>3</mark>' 5'-0' , 5'-0' , 6'-0' , (SIDEWALK (REAR SETBACK) --- EXISTING SEAWALL **PROPERTY LINE 179.1'** -EXISTING UTILITY € EQUIP. PAD -EL. +1'-Ø' +1Ø'-Ø! NGVD LANDSCAPING ----LANDSCAPING-SPLASHBLOCK SPLASHBLOCK SPLASHBLOCK SPLASHBLOCK -. 13'-8¹ GARAGE & H.P. +6'-111/2" NGVD FLOOD VENTS, SEE CALCULATIONS
ON THIS SHEET, MTD. 12* FROM
GRADE OR GARAGE FLOOR TO LANDSCAPING BOTTOM OF VENT OPENING - CASCADE WATER FEATURE 120° x 120° 4 TROUGH BELOW / GARAGE EL. -2'-9½' +5'-2½' NGVD (EXIST. TO BE REFURBISHED, UNDER SEPARATE PERMIT (IPE LLOOD FLR NEW SEWER CLEANOUS, PER CMB PUBLIC WORKS DETAIL 95-9 2-STORY
CBS RESIDENCE

EL. +0'-0'
+9'-0' NGVD EXISTING CONC.—— COLUMN TO REMAIN #3'-0" NGVD REFLECTING POND - 15'X15' PEDESTRIAN 36" H. COUNTERTO W/BUILT-IN BBQ -SAFETY TRIANGLES PROPERTY LINE 179.1' EXISTING WOOD --EXISTING CONC. — COLUMN TO REMAIN CONC. PAYERS ON WELL COMPACTED SAND BASE 20'-0' (FRONT SETBACK) (REAR SETBACK @ STEPS) 2'-0' 2'-0' 2'-0' 2'-0' 2'-0' --- EXISTING SEAWALL TO REMAIN 97'-9' (38UOH NIAM) 20'-6"
(FRONT SETBACK ® MAIN HOUSE (REAR SETBACK @ DECK)

BUILDING DATA

FIRST FLOOR (AC)

GARAGE (NON AC)

SECOND FLOOR (AC)

MAIN HOUSE:

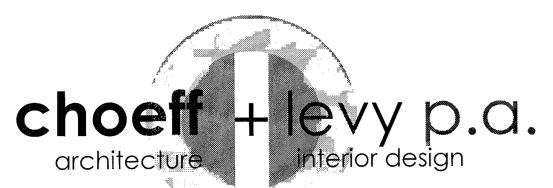
TOTAL (AC)

TOTAL:

TOTAL (NON AC)

UNIT SIZE/LOT SIZE:

SITE P A-1.0 SCALE



DILIDO RESIDENCE

1241

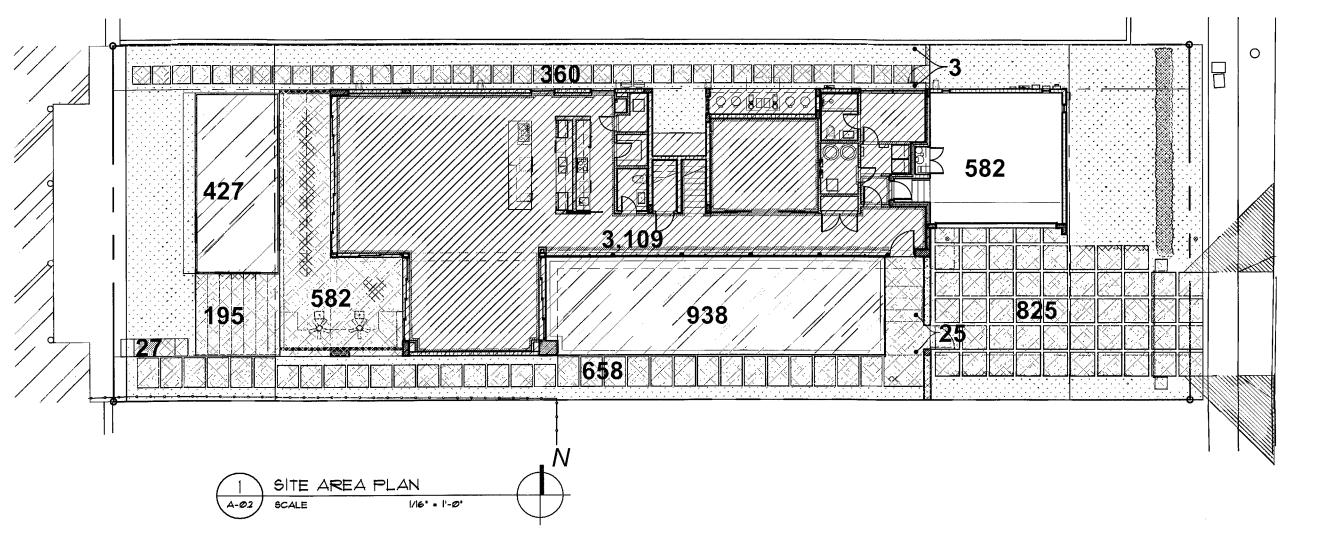
09-30-13

rev

8425 biscayne blvd, suite 201 miami, florida 33138

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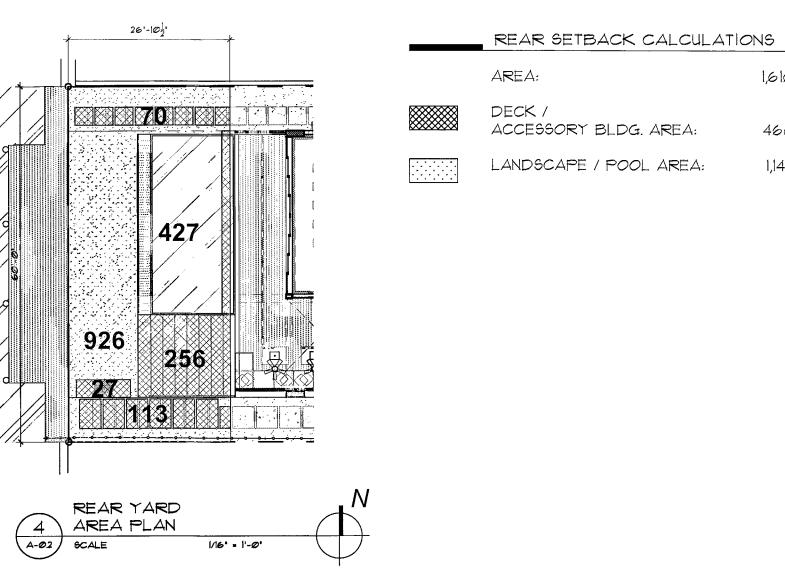
Phone: 305.434.8338 Fax: 305.892.5292 808 WEST DILIDO DR. MIAMI BEACH, FL 33139

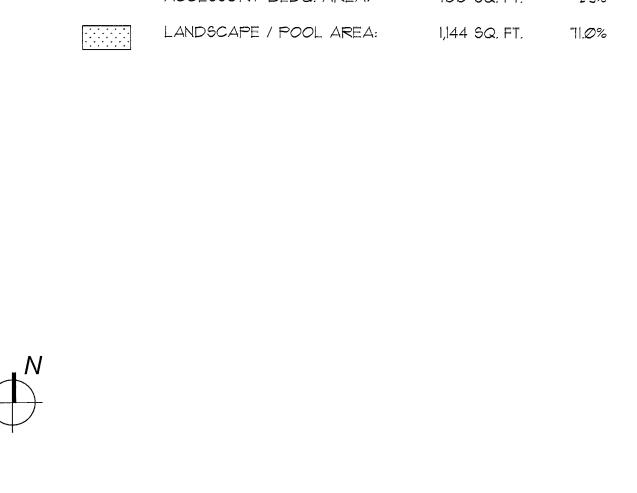


SITE DATA		
EXISTING LOT SIZE:	10,750 SQ.FT. (0.246 ACRES±)	(100%)
BLDG. LOT COYERAGE: MAIN HOUSE	3,191 SQ. FT. 3,109 SQ. FT.	(29.6%)
GARAGE	82 SQ. FT. (582 SQ FT)	(5.4%)
IMPERVIOUS GROUND CO COVERED DECKS/ WALK WAYS/ DRIVE WAYS	2,675 SQ. FT. 582 SQ. FT. 1,268 SQ. FT. 825 SQ. FT.	(24.8%)
WATER FEATURES: POOL PONDS	1,365 SQ. FT. 427 SQ. FT. 938 SQ. FT.	(12.7%)
LANDSCAPED AREA:	3,019 SQ. FT.	(28.1%)

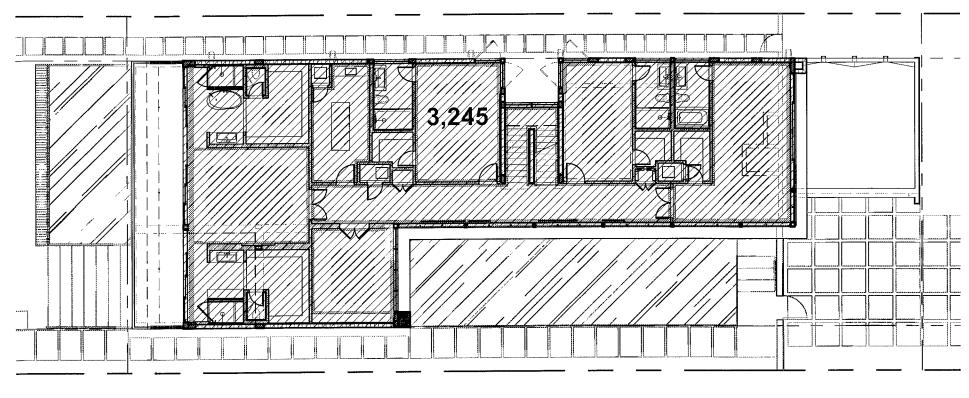
2,990	582
FIRST FLOOR AREA PLAN SCALE 1/6' = 1'-0'	

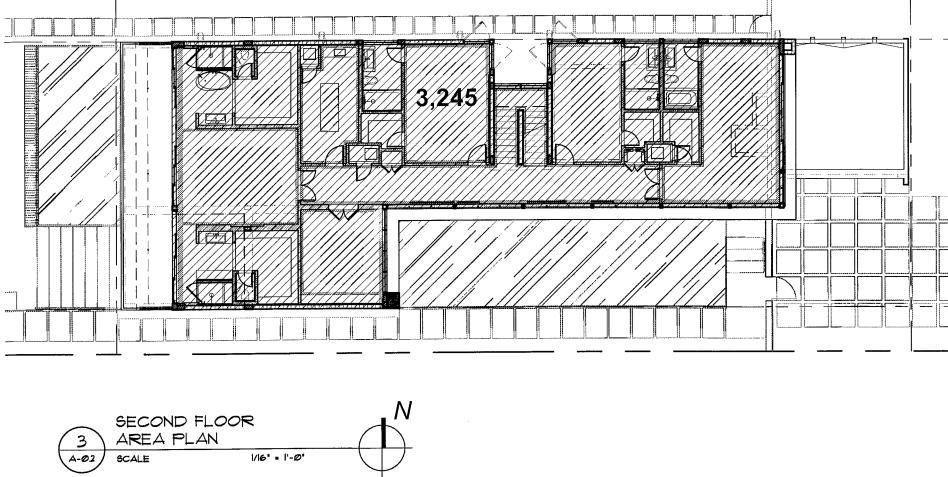
BUILDING	·	REQUIRED (ALLOWED	PROVI	DED
 LOT SIZE:	1 <i>0</i> ,7	50 SQ. FT.		
UNIT SIZE:	50% LOT AF 5,3	REA MAX., 575 SQ. FT.	6,235 SG	58%, 2. FT.
FIRST FLO	ONED INTERIOR DOR (AC) FLOOR (AC)	: S	2,99Ø SG 3,245 SG	
TOTAL (A	4C)		6,235 SG	≀. FT.
	DITIONED INTE (NON AC)	:RIORS	582 SG	⊋. FT.
TOTAL (N	ION AC)		582 SG	⊋. FT.
TOTAL INTERIO	OR AREA (AC	+ NON AC):	6,817 50	⊋. FT.

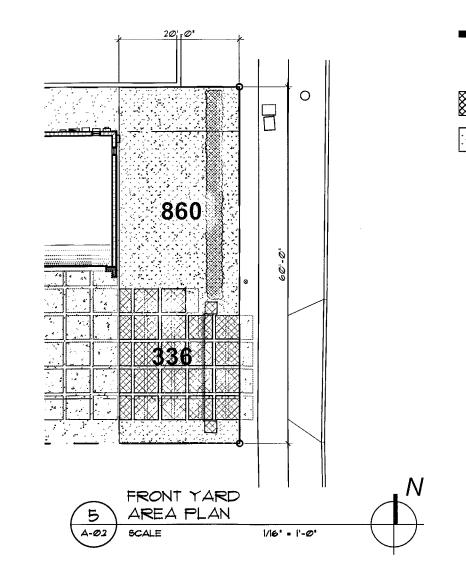




1,610 SQ. FT. 100%







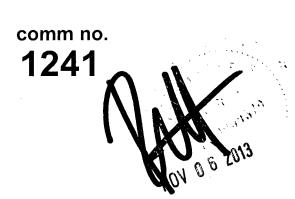
AREA:	1,200 SQ.
IMPERVIOUS AREA:	336 SQ.
LANDSCAPE AREA:	864 SQ.

FRONT SETBACK CALCULATIONS

choeff + levy p.a.

architecture interior design www.choefflevy.com AR0009679 AR0094779 8425 biscayne blvd, suite 201 miami, florida 33138 Phone: 305.434.8338 Fax: 305.892.5292

DILIDO RESIDENCE 808 WEST DILIDO DR. MIAMI BEACH, FL 33139



date: 09-30-13

A-0.2

72%

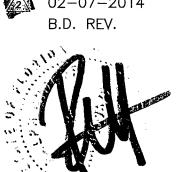
PTD. GWB ON

1/2' MTL. HI-HAT

FURRING

INSULATION

RIGID



sheet no.

4	WINDOW STRUCTURAL MULLION DETAIL	ĺ
W-0.3	SCALE: 3'=1'-0'	

WINDOW SILL DETAIL

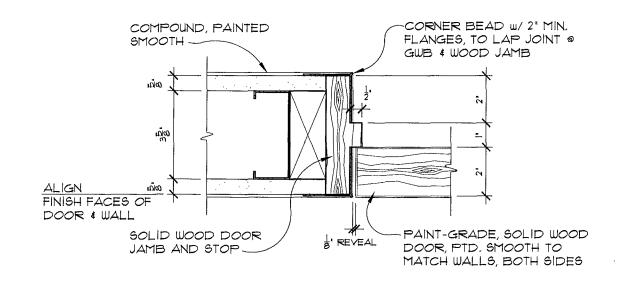
@ STUCCO

SCALE: 3'=1'-0'

	DC	OR:	SCHEDULE					- · 								
DOTAL Communication Comm	1 1	È	LOCATION	DOOR SIZ	ES			S	JAMB	TYPE	MATERIAL			HARDWARE	REMARKS	
PACE Color Color	Ö K	A T T	-				<u>ዋ</u> ሆ									INE IMINO
	B	ng N				1 '	4	Q_			·	DOOR / FRAME	TINT /	TYPE		
	<u>D1</u>	1	ENTRY DOOR	10'-0"	4'-0"	4'-0"	1		METAL	SWING	FRENCH	BRONZE ALUM.				
Section Sect	D2	1	UTILITY	8'-6'	3'-@"	3'-Ø'	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-		
	<u>D3</u>	1	UTILITY / GARAGE	8'-Ø"	3'-4'	3'-@'	1	0	METAL	SWING	SOLID/FLUSH	BRONZE ALUM.	-	FIRE RATED		136' THICK TO ACHIEVE MIN. 20-MINUTE FIRE RATING. PER FBCR 302.5.1
ALU 97 - LU CLOSET	D4	1	STAFF ROOM	8'-6'	2'-6'	2'-6'	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-		
AVCLOSET	(D5)	l	STAFF BATHROOM	8'-6'	7) E	21-81	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
Section Sect	<u>D6</u>	1	AHU *2 / HWH CLOSET	8'-6'	2'-6'	2'-6'	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
STORAGE	D7	1	A/Y CLOSET	8'-6'	5'-3"	2'-71/2'	2	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
	D8	1	GYM, PLAYROOM	9'-10'	17'-10"	4'-51/2"	4	2	WOOD	SLIDING	SOLID/FLUSH	PTD. WOOD	-		TBD	
September Sept		1	STORAGE	8'-6'	2'-8"	2'-8'		0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
		1	POWDER ROOM	8'-6'	2'-8'	2'-8'	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	29" MIN. CLEAR OPENING
Second		1	SERVICE KITCHEN	9'-10'	3'-6"	3'-6"	1	0	WOOD	POCKET	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	POCKET INSTALLATION
	\vdash	1	PANTRY	8'-6'	2'-6'	2'-6'		0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-		STANDARD	
	+	1	AHU #1 CLOSET	8'-6'	2'-6"	2'-6'	1	0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-		
	\vdash	1	DINING ROOM	10'-0"	13'-4"	3'-6"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	DEADBOLT	
DINNING ROCH	\vdash	1		10'-0"	13'-4"	3'-6'	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	DEADBOLT	
		1	 	10'-0"	11'-0'	3'-9"	3	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	ļ	DEADBOLT	
		1	LIVING ROOM	10'-0"	14'-2"	3'-8"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	DEADBOLT	
② BEDROOM 9 19-6" 19-6" 2-6" 2-6" 1 0 1000 5000	i	1	LIVING ROOM	10'-0"	14'-2"	3'-8"	4	1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT		
	(D19)	1	GARAGE	8'-0"	20'-0"	20'-0"	1	0	METAL	ROLL UP	ALUMINUM	BRONZE ALUM.	-	IMPACT	PRIVACY LOCK	SEE MFR. DUG'S
								_								
								_							PPIVACY LOCK /	
		<u> </u>					4						CLEAR	IMPACT	DEADBOLT	
		 			 		1	\dashv	· · · · · · · · · · · · · · · · · · ·				-	-		
		<u> </u>	-				1						-	-		
		1											-	-		
		1			 	 		-+							·	
BEDROOM B-6 3-6 3-6 3-6 1 6 WOOD BUING SOLIDALUSH PTD. WOOD - PRIVACT LOCK		1	-										<u> </u>	 		
	<u> </u>	1						\dashv								
BATH B'-6' 2'-6' 2'-6' 1 0	 	1						-+								
		1														
1	-	1		ļ				\dashv								
3		1					-							-		
MASSAGE ROOM		1				<u> </u>										
HER BATH 8'-6' 2'-4' 2'-4' 1 0 WOOD SWING SOLID/FLUSH PTD. WOOD - - FRIVACY LOCK		1														
MASTER BEDROOM 10'-0' 13'-4' 3'-6' 4 1 METAL 9LIDING GLASS BRONZE ALUM. CLEAR MPACT PRIVACY LOCK / DEADBOLT MASTER BEDROOM 10'-0' 13'-4' 3'-6' 4 1 METAL 9LIDING GLASS BRONZE ALUM. CLEAR MPACT PRIVACY LOCK / DEADBOLT MASTER BEDROOM 10'-0' 15'-6' 4'-1' 4 1 METAL 9LIDING GLASS BRONZE ALUM. CLEAR MPACT PRIVACY LOCK / DEADBOLT MASTER BEDROOM 10'-0' 15'-6' 2'-4' 1 0 WOOD 9WING 90LID/FLUSH PTD. WOOD - PRIVACY LOCK MASTER BEDROOM 8'-6' 5'-0' 2'-6' 2 0 WOOD 9WING 90LID/FLUSH PTD. WOOD - PRIVACY LOCK MASTER BEDROOM 8'-6' 5'-0' 2'-6' 2 0 WOOD 9WING 90LID/FLUSH PTD. WOOD - PRIVACY LOCK MASTER BEDROOM 8'-6' 5'-0' 2'-6' 2 0 WOOD 9WING 90LID/FLUSH PTD. WOOD - PRIVACY LOCK MASTER BEDROOM 8'-6' 5'-0' 2'-6' 2 0 WOOD 9WING 90LID/FLUSH PTD. WOOD - PRIVACY LOCK MASTER BEDROOM 8'-6' 5'-0' 2'-6' 2 0 WOOD 9WING 90LID/FLUSH PTD. WOOD - PRIVACY LOCK MASTER BEDROOM 8'-6' 5'-0' 2'-6' 2 0 WOOD 9WING 90LID/FLUSH PTD. WOOD - PRIVACY LOCK MASTER BEDROOM 9'-6' 5'-0' 2'-6' 2 0 WOOD 9WING 90LID/FLUSH PTD. WOOD - 9WING 90LID/FLUSH		1														
		1					\vdash	1							PRIVACY LOCK /	
MASTER BEDROOM 10'-0' 15'-8' 4'-1' 4 1 METAL SLIDING GLASS BRONZE ALUM. CLEAR IMPACT PRIVACY LOCK DEADBOLT DEADBOLT PRIVACY LOCK DEADBOLT DEADBOLT PRIVACY LOCK DEADBOLT		1					 	 							DEADBOLT PRIVACY LOCK /	
1 HIS BATH 8'-6' 2'-4' 2'-4' 1 Ø WOOD SWING SOLID/FLUSH PTD. WOOD PRIVACY LOCK 140 I MASTER BEDROOM 8'-6' 5'-Ø' 2'-6' 2 Ø WOOD SWING SOLID/FLUSH PTD. WOOD PRIVACY LOCK 141 I OFFICE 8'-6' 5'-Ø' 2'-6' 2 Ø WOOD SWING SOLID/FLUSH PTD. WOOD PRIVACY LOCK 142 I AHU *5 CLOSET 8'-6' 2'-6' 1 Ø WOOD SWING SOLID/FLUSH PTD. WOOD STANDARD	 	1						+							PRIVACY LOCK /	
MASTER BEDROOM 8'-6' 5'-0' 2'-6' 2 0 WOOD SWING SOLID/FLUSH PTD. WOOD PRIVACY LOCK		1						 								
(1) 1 OFFICE 8'-6' 5'-0' 2'-6' 2 0 WOOD SWING SOLID/FLUSH PTD. WOOD - - PRIVACY LOCK (1) 1 AHU *5 CLOSET 8'-6' 2'-6' 2'-6' 1 0 WOOD SWING SOLID/FLUSH PTD. WOOD - - STANDARD	 	<u>-</u>					 	\dashv								
1 AHU #5 CLOSET 8'-6' 2'-6' 1 Ø WOOD SWING SOLID/FLUSH PTD. WOOD STANDARD		1						\dashv								
		1			 		 									
	 	<u>'</u>		· · · · · · · · · · · · · · · · · · ·			\vdash									
						1 - 5/2	-	$\tilde{+}$								

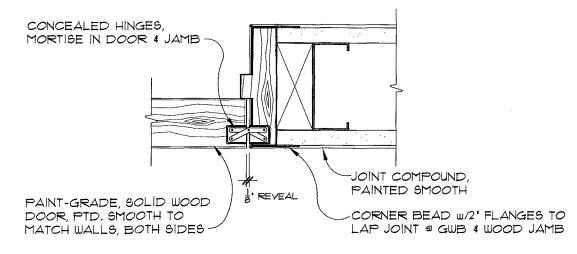
DOOR SCHEDULE

SCALE: 1/4"=1'-0"



TYP. DOOR JAMB DETAIL (HANDLE SIDE)

SCALE: 3"=1'-0"



TYP. DOOR JAMB DETAIL (HINGE SIDE)

BURGLAR INTRUSION WINDOWS AND HARDWARE:

LOCKS ON EXTERIOR DOOR SHALL BE CAPABLE OF RESISTING A FORCE OF 500 POUNDS APPLIED IN ANY MOYABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN THE F.B.C.

2. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OF LOCKING COMBINATIONS. IF KEY-IN-THE-KNOB LOCK IS USED, THERE SHALL BE AN AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT OR INSERTS.

THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIR OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8' MINIMUM THROW BOLTS WITH INSERTS.

- 4. HINGES ON EXTERIOR OUT SWING DOORS SHALL HAVE NON-EXPOSED SCREWS. EXPOSED PINE SHALL NOT BE REMOVABLE.
- 5. SINGLE, SWINGING, EXTERIOR DOORS SHALL BE SOLID CORE OF NOT LESS THAN 1 3/8" THICK.
- 6. GLASS IN EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE 297.1.
- 1. VISION PANELS IN EXTERIOR DOOR, OTHER THAN GLAZING WITHIN 40" OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOCKS AND SWINGING GLASS DOOR SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE STANDARD 291.1 ON FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A SCOPE OR VISION

DOOR NOTE:

ALL EXTERIOR DOORS SHALL MEET MIAMI-DADE PRODUCT APPROVAL STANDARDS. CONTRACTOR SHALL SUBMIT SUPPORTING LITERATURE TO THE BUILDING DEPT. FOR APPROVAL PRIOR TO ORDERING & INSTALLATION.

ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH F.B.C. SECTION 2410 THROUGH 2415. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING ALL NECESSARY PRODUCT APPROVALS AND REQUIRED SHOP DRAWINGS TO THE BUILDING DEPARTMENT.

PERMIT NOTE:

WINDOWS & DOORS ARE NOT PART OF THIS PERMIT

CONTRACTOR NOTE:

CONTRACTOR TO COORDINATE ALL EXTERIOR WINDOW & DOOR SIZES WITH FIXTURES, EQUIPMENT, AND ALL INTERIOR FINISHES (INCLUDING FINISHED DRYWALL @ CONC. WALLS WITH SWITCHES) PRIOR TO ORDERING WINDOWS & DOORS.

ROUGH OPENING NOTE:

GLAZING NOTE:

CONTRACTOR SHALL VERIFY W/WINDOW AND DOOR MANUFACTURER THE ROUGH OPENING DIMENSIONS AND STEEL COLUMN LOCATIONS PRIOR TO ORDERING, MANUFACTURING OR INSTALLING DOORS # WINDOWS.

ALL EXTERIOR GLAZING AT WINDOWS AND DOORS SHALL BE LARGE MISSLE IMPACT RESISTANT WITH A U-VALUE OF 0.70 & A SHGC OF 0.23

AND AS PER FBC 2010, R4409.7.

PROVIDE FIRE BLOCKING IN WALLS @ 8'-0" O.C.

a STUCCO SCALE: 3'=1'-0'

WINDOW SCHEDULE

LOCATION

FOYER / CORRIDOR

CORRIDOR

CORRIDOR

CORRIDOR

CORRIDOR

KITCHEN

SERVICE KITCHEN

NOT IN USE NOT IN USE

NOT IN USE

STAFF BEDROOM

BEDROOM #3

BEDROOM *3

CORRIDOR

CORRIDOR

CORRIDOR

CORRIDOR

OFFICE

BATH #

BEDROOM *

NOT IN USE

BEDROOM *

NOT IN USE

STAIR

STAIR

BEDROOM #2

NOT IN USE

BEDROOM *2

NOT IN USE

BATH *2

BATH *3

BEDROOM #3

WINDOW SIZES

HEIGHT

9'-101/2"

9'-101/2"

9'-101/2"

9'-101/2"

9'-101/2"

4'-4"

9'-101/2"

9'-101/2"

9'-101/2"

9'-101/2"

9'-101/2"

9'-101/2"

9'-101/2"

3'-Ø"

9'-101/2"

9'-101/2"

ד'-1Ø"

7'-10"

9'-101/2"

9'-101/2"

3'-Ø'

3'-0"

9'-101/2"

9'-1012"

OPENING

11'-1/2'

11'-11/2"

11'-11/2"

11'-11/2"

11'-11/2"

4'-0"

3'-1**'**

8'-2"

11'-11/2"

11'-11/2 '

11'-11/2"

11'-11/2"

11'-11/2"

|4'-2**"**

6'-0"

4'-4"

4'-4"

9'-Ø**"**

9'-0"

4'-4"

4'-4"

6'-0"

6'-0"

5'-2"

1'-6"

WIDTH

PANEL

WIDTH (±)

3'-81/2"

3'-81/2"

3'-81/2"

3'-81/2"

3'-81/2"

4'-Ø"

4'-Ø"

5'-6"

4'-1"

3'-81/2"

3'-81/2"

3'-81/2"

3'-81/2"

3'-81₂"

3'-61/2"

6'-0"

4'-4"

4'-4"

4'-6"

4'-6"

4'-4"

4'-4"

6'-0"

6'-0"

2'-7"

1'-6"

TYPE

FIXED

FIXED

FIXED

FIXED

FIXED

FIXED

FIXED

-

-

CASEMENT

FIXED

FIXED

FIXED

FIXED

FIXED

FIXED

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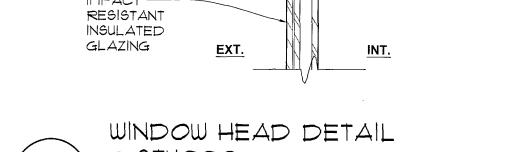
FIXED

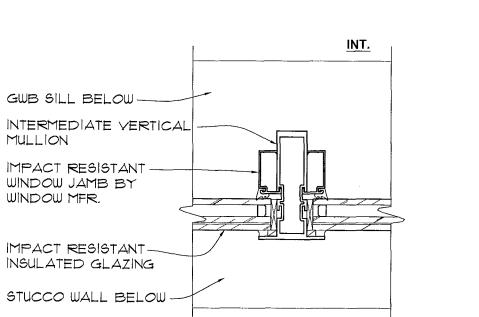
FIXED

GWB SILL BELOW ---INTERMEDIATE VERTICAL MULLION IMPACT RESISTANT WINDOW JAMB BY WINDOW MFR. IMPACT RESISTANT-INSULATED GLAZING

WINDOW INT. YERT, MULLION DETAIL SCALE: 3'=1'-0'

WINDOW SCHEDULE SCALE: 1/4"=1'-0" CONC. BEAM . PTD. GWB ON PTD. STUCCO-1/8" MTL. HI-HAT FURRING ANCHOR, SEE -NOA FOR SPEC INSULATION IX P.T. WD. BUCK SEALANT -WINDOW BY MFR. IMPACT -RESISTANT INSULATED





EXT.

GLASS EGRESS TYPE TYPE

REMARKS

PART OF LARGER

ASSEMBLY, SEE LEVATIONS, 4' MULLION

BY MANUFACTURER PART OF LARGER

ASSEMBLY, SEE ELEYATIONS, 4" MULLION

BY MANUFACTURER PART OF LARGER

ASSEMBLY, SEE ELEVATIONS, 2° MULLION

BY MANUFACTURER PART OF LARGER

ASSEMBLY, SEE ELEVATIONS. 4' MULLION

BY MANUFACTURER PART OF LARGER

ASSEMBLY, SEE ELEVATIONS. 4' MULLION

BY MANUFACTURER

TYPE

GLASS TINT

CLEAR

CLEAR

CLEAR

CLEAR

CLEAR

CLEAR

CLEAR

-

-

CLEAR

IMPACT

RESISTANT

INSULATED

14" SHIM ---

SEALANT -

2× P.T. WD. -

ANCHOR, SEE

PTD. STUCCO -

CONC. BEAM -

NOA FOR SPEC

BUCK

4-0.3

GWB SILL BELOW -

MATCH WINDOWS

MTL. ANGLE CLIPS-

STRUCTURAL STEEL

IMPACT RESISTANT

WINDOW JAMB BY

STUCCO WALL BEL

WINDOW MFR.

INSULATED GLAZING

TUBE VERTICAL

MULLION, SEE

STRUCT'L DWGS

SEALANT AND-

BACKER ROD

ALUM, BREAK METAL CLADDING, PT. TO

WINDOW BY MFR. -

GLAZING-

MATERIAL

BRONZE/ALUM

BRONZE/ALUM.

BRONZE/ALUM

BRONZE/ALUM.

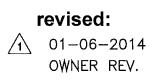
BRONZE/ALUM.

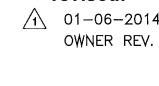
BRONZE/ALUM.

BRONZE/ALUM.

-

BRONZE/ALUM.







sheet no:

WINDOW SCHEDULE GLASS EGRESS TYPE TYPE WINDOW SIZES LOCATION FRAME U TYPE GLASS TINT MATERIAL

		\ _					DA NA	("E	MATERIAL	GLASS TIRT	111	-		_	
	./	1					Ω π								REMARKS
	MARK	QUANTI:					*				¥				
	Σ	정			OPENING	PANEL	TOTAL				IMPACT RESISTANT		ရှု		
-	<u></u>	1		HEIGHT	WIDTH	WIDTH (±)	1					#		<u>S</u>	
	\triangle		FOYER / CORRIDOR	9'-101/2"	11'-11/2'	3'-81/2"	3	FIXED	BRONZE/ALUM.	CLEAR	×			×	
-	(B)		CORRIDOR	9'-101/2"	11'-11/2"	3'-81/2"	3	FIXED	BRONZE/ALUM.	CLEAR	×			×	
-	\bigcirc	1	CORRIDOR	9'-101/2"	11'-11/2"	3'-81/2"	3	FIXED	BRONZE/ALUM.	CLEAR	×			×	
-	\bigcirc		CORRIDOR	9'-101/2"	11'-11/2"	3'-81/2"	3	FIXED	BRONZE/ALUM.	CLEAR	×			×	
	(E)	1	CORRIDOR	9'-101/2"	11'-11/2"	3'-81/2"	3	FIXED	BRONZE/ALUM.	CLEAR	×			\times	
	F	1	KITCHEN	9'-101/2"	4'-0"	4'-0"		FIXED	BRONZE/ALUM.	CLEAR	×			×	
	(G)	1	SERVICE KITCHEN	9'-101/2"	4'-Ø"	4'-0"	1	FIXED	BRONZE/ALUM.	CLEAR	×		_	×	
	$\overline{\mathbb{H}}$	1	NOT IN USE	-	-	-	-	-	-	-					
		1	NOT IN USE	-	-	-	-	-	-	-				_	
		1	NOT IN USE	-	-	<u>.</u>	-	-	-	-				_	
-	<u>(J)</u>	1	STAFF BEDROOM	4'-4"	3'-1'	5'-6"	2	CASEMENT	BRONZE/ALUM.	CLEAR	×		×		
	(K)	1	BEDROOM *3	9'-101/2"	8'-2"	4'-1"	2	FIXED	BRONZE/ALUM.	CLEAR	×			×	
		1	BEDROOM *3	9'-101/2"	11'-11/2"	3'-81/2"	3	FIXED	BRONZE/ALUM.	CLEAR	×			×	
	M	1	CORRIDOR	9'-101/2"	11'-11/2"	· 3'-81/2"	3	FIXED	BRONZE/ALUM.	CLEAR	×			×	
<u>[</u>	$\langle N \rangle$	1	CORRIDOR	9'-101/2"	11'-11/2'	3'-81/2"	3	FIXED	BRONZE/ALUM.	CLEAR	×			×	
	0	1	CORRIDOR	9'-101/2"	11'-11/2"	3'-81/2"	3	FIXED	BRONZE/ALUM.	CLEAR	×			×	
	P	1	CORRIDOR	9'-101/2"	11'-11/2"	3'-81/2"	3	FIXED	BRONZE/ALUM.	CLEAR	×			×	
	Q	1	OFFICE	9'-101/2"	14'-2"	3'-61/2"	4	FIXED	BRONZE/ALUM.	CLEAR	×			×	
	R	1	BATH *1	3'-Ø"	6'-0"	6'-0"	1	FIXED	BRONZE/ALUM.	CLEAR	×			×	
$\angle 1 \sqrt{1}$	(E)	1	BEDROOM #	9'-101/2"	4'-4"	4'-4"	1	FIXED/HUNG	BRONZE/ALUM.	CLEAR	×		×		PART OF LARGER ASSEMBLY, SEE
(J	•		NOT IN USE	<u>-</u>	_	-	-	-	-	-					ELEYATIONS, 4' MULLION BY MANUFACTURER
(1	(T)·	1	BEDROOM *I	9'-101/2"	4'-4"	4'-4"	1	FIXED/HUNG	BRONZE/ALUM.	CLEAR	×		×		PART OF LARGER ASSEMBLY, SEE
(1	•		NOT IN USE	-	-	-	-	-	-	-					ELEVATIONS, 4' MULLION BY MANUFACTURER
()	(u)·	2	STAIR	T'-1Ø*	9'-0"	4'-6"	2	FIXED	BRONZE/ALUM.	CLEAR	×			×	PART OF LARGER ASSEMBLY, SEE
((ul)	2	STAIR	"שו-יד	9'-0"	4'-6"	2	FIXED	BRONZE/ALUM.	CLEAR	×			×	ELEVATIONS, 2' MULLION BY MANUFACTURER
Ţ	$\langle V \rangle$	1	BEDROOM *2	9'-101/2"	4'-4"	4'-4"	1	FIXED/HUNG	BRONZE/ALUM.	CLEAR	×		×		PART OF LARGER ASSEMBLY, SEE
(1	•		NOT IN USE	-	-	-	-		-	-					ELEVATIONS, 4' MULLION BY MANUFACTURER
\int	$\langle \mathbb{W} \rangle$	1	BEDROOM *2	9'-101/2"	4'-4"	4'-4"	1	FIXED/HUNG	BRONZE/ALUM.	CLEAR	×		×		PART OF LARGER ASSEMBLY, SEE
([ر		NOT IN USE	-	-	-	-	-	-	-					ELEVATIONS, 4' MULLION BY MANUFACTURER
ĺ	$\langle \times \rangle$	1	BATH *2	3'-0"	6'-0"	6'-0"	2	FIXED	BRONZE/ALUM.	CLEAR	×			×	
	$\langle \Upsilon \rangle$	1	BATH *3	3'-Ø"	6'-0 '	6'-0"	2	FIXED	BRONZE/ALUM.	CLEAR	×			×	
[$\langle z \rangle$	1	BEDROOM *3	9'-101/2"	5'-2"	2'-7"	2	FIXED	BRONZE/ALUM.	CLEAR	×			×	
<u> </u>		1	ENTRY	9'-101/2"	1'-6"	1'-6"	1	FIXED	BRONZE/ALUM.	CLEAR	×			×	

PTD. GWB ON

FURRING

INSULATION

%" MTL. HI-HAT

3" MIN. CLEAR OPENING OCKET INSTALLATION SEE MFR. DWG'S WINDOW SCHEDULE

DOOR SCHEDULE

SCALE: 1/4"=1'-0"

SCALE: 3"=1'-0"

DOOR SCHEDULE

LOCATION

ENTRY DOOR

STAFF ROOM

A/V CLOSET

STORAGE

PANTRY

UTILITY / GARAGE

STAFF BATHROOM

GYM. PLAYROOM

POWDER ROOM

AHU #1 CLOSET

DINING ROOM

DINING ROOM

DINING ROOM

LIVING ROOM

LIVING ROOM

BEDROOM *3

AHU *4 CLOSET

BEDROOM *3

BEDROOM #2

BEDROOM *

A/Y CLOSET

HER BATH

HIS BATH

AHU *3 CLOSET

MASSAGE ROOM

MASTER BEDROOM

MASTER BEDROOM

MASTER BEDROOM

MASTER BEDROOM

1HU #5 CLOSET

INEN CLOSET

BATH #

BATH *3

W.I.C. #3

BATH *2

GARAGE

SERVICE KITCHEN

AHU #2 / HWH CLOSET

UTILITY

DOOR SIZES

DOOR

HEIGHT

10'-0"

8'-6"

8'-Ø"

8'-6"

8'-6'

8'-6"

8'-6"

9'-10"

8'-6"

8'-6"

9'-10'

8'-6"

8'-6'

10'-0"

10'-0"

10'-0"

10'-0"

10'-0"

8'-Ø"

10'-0"

8'-6"

8'-6"

9'-10'

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8'-6"

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8'-6'

8'-6'

8'-6"

8'-6"

8'-6'

10'-0"

10'-0"

10'-0"

8'-6'

8'-6'

8'-6'

8'-6'

OPENING

4'-Ø"

3'-Ø**'**

3'-4"

2'-6"

2'-6"

2'-6"

5'-3**'**

17'-10"

2'-8'

2'-8**'**

3'-6"

2'-6"

2'-6

13'-4"

13'-4"

11'-0'

14'-2"

14'-2"

2**0**'-**0'**

19'-8"

2'-6'

2'-6'

2'-6'

6'-61/2"

2'-6"

2'-6"

3'-Ø**'**

3'-Ø**'**

2'-6"

2'-6'

3'-5"

2'-6"

3'-Ø**'**

2'-4"

13'-4"

13'-4"

15'-8**"**

2'-4"

5'-Ø**"**

5'-Ø**"**

2'-6

3'-5"

WIDTH

PANEL

WIDTH (±)

4'-0"

3'-Ø**'**

3'-Ø**'**

2'-6'

2'-6"

2'-6"

2'-71/2"

4'-51/2"

2'-8'

2'-8"

3'-6"

2'-6"

2'-6"

3'-6"

3'-6**"**

3'-9"

3'-8**"**

3'-8**"**

20'-0**"**

5'-Ø"

2'-6"

2'-6"

2'-6"

6'-61/2"

2'-6'

2'-6'

3'-Ø**'**

3'-Ø**'**

2'-6'

2'-6'

1'-81/2"

2'-6

3'-Ø**'**

2'-4"

3'-6"

3'-6"

4'-1"

2'-4"

2'-6"

2'-6"

2'-6

1'-81/2"

o JAMB

METAL

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ROLL UP

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SWING

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SLIDING

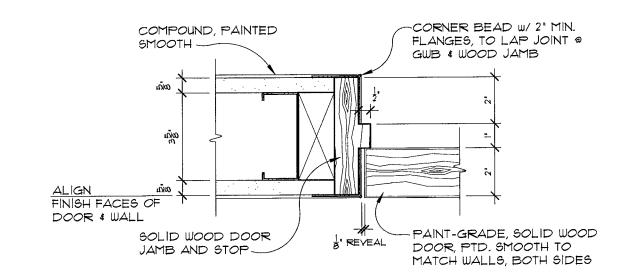
SWING

SWING

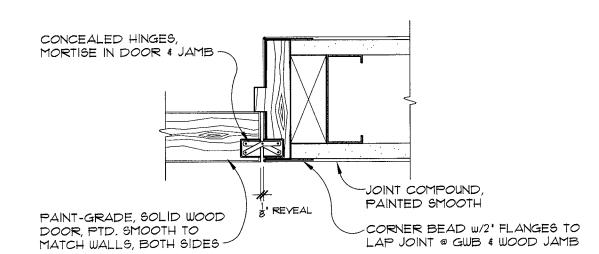
SWING

SWING

SWING



TYP. DOOR JAMB DETAIL (HANDLE SIDE)



TYP. DOOR JAMB DETAIL (HINGE SIDE) SCALE: 3"=1'-0"

BURGLAR INTRUSION WINDOWS AND HARDWARE

MATERIAL

BRONZE ALUM.

PTD. WOOD

BRONZE ALUM.

PTD. WOOD

PTD. WOOD

PTD. WOOD

PTD. WOOD

PTD, WOOD

PTD. WOOD

PTD. WOOD

PTD. WOOD

PTD, WOOD

PTD. WOOD

BRONZE ALUM.

BRONZE ALUM.

BRONZE ALUM.

BRONZE ALUM

BRONZE ALUM.

BRONZE ALUM.

BRONZE ALUM.

PTD. WOOD

PTD. WOOD

PTD, WOOD

PTD. WOOD

BRONZE ALUM.

BRONZE ALUM.

BRONZE ALUM.

PTD. WOOD

PTD. WOOD

PTD. WOOD

PTD. WOOD

PTD. WOOD

FRENCH

SOLID/FLUSH

GLASS

GLASS

GLASS

GLASS

GLASS

ALUMINUM

GLASS

SOLID/FLUSH

GLASS

GLASS

GLASS

SOLID/FLUSH

SOLID/FLUSH

SOLID/FLUSH

SOLID/FLUSH

SOLID/FLUSH

DOOR / FRAME GLAZING

TINT /

FINISH

CLEAR

TYPE

IMPACT

FIRE RATED

IMPACT

IMPACT

IMPACT

IMPACT

IMPACT

IMPACT

HARDWARE

PRIVACY LOCK

DEADBOLT STANDARD

RIVACY LOCK /

DEADBOLT PRIVACY LOCK

PRIVACY LOCK

STANDARD

STANDARD

TBD

STANDARD

PRIVACY LOCK

STANDARD

STANDARD

STANDARD

RIVACY LOCK

DEADBOLT RIVACY LOCK

DEADBOLT RIVACY LOCK

DEADBOLT

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PRIVACY LOCK

RIVACY LOCK

PRIVACY LOCK ,

DEADBOLT

DEADBOLT

PRIVACY LOCK

PRIVACY LOCK

PRIVACY LOCK

STANDARD

STANDARD

REMARKS

13%' THICK TO ACHIEVE MIN. 20-MINUTE FIRE RATING. PER FBCR 302.5.1

LOCKS ON EXTERIOR DOOR SHALL BE CAPABLE OF RESISTING A FORCE OF 500 POUNDS APPLIED IN ANY

MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN THE F.B.C. 2. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OF LOCKING COMBINATIONS. IF KEY-IN-THE-KNOB LOCK IS USED, THERE SHALL BE AN AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT OR INSERTS.

3. THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIR OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8' MINIMUM THROW BOLTS WITH INSERTS.

- 4. HINGES ON EXTERIOR OUT SWING DOORS SHALL HAVE NON-EXPOSED SCREWS. EXPOSED PINE SHALL NOT BE REMOVABLE.
- 5. SINGLE, SWINGING, EXTERIOR DOORS SHALL BE SOLID CORE OF NOT LESS THAN 1 3/8" THICK.
- 6. GLASS IN EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE 297.1.
- I. VISION PANELS IN EXTERIOR DOOR, OTHER THAN GLAZING WITHIN 40° OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOCKS AND SWINGING GLASS DOOR SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE - STANDARD 297.1 ON FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A SCOPE OR VISION PANELS.

DOOR NOTE:

DEPARTMENT.

ORDERING & INSTALLATION.

ALL EXTERIOR DOORS SHALL MEET MIAMI-DADE PRODUCT APPROVAL STANDARDS. CONTRACTOR SHALL SUBMIT SUPPORTING LITERATURE TO THE BUILDING DEPT. FOR APPROVAL PRIOR TO

ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH F.B.C. SECTION 2410 THROUGH 2415. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING ALL NECESSARY PRODUCT APPROVALS AND REQUIRED SHOP DRAWINGS TO THE BUILDING

PERMIT NOTE:

WINDOWS & DOORS ARE NOT PART OF THIS PERMIT

CONTRACTOR NOTE:

CONTRACTOR TO COORDINATE ALL EXTERIOR WINDOW & DOOR SIZES WITH FIXTURES, EQUIPMENT, AND ALL INTERIOR FINISHES (INCLUDING FINISHED DRYWALL @ CONC. WALLS WITH SWITCHES) PRIOR TO

ROUGH OPENING NOTE:

CONTRACTOR SHALL YERIFY W/WINDOW AND DOOR MANUFACTURER THE ROUGH OPENING DIMENSIONS AND STEEL COLUMN LOCATIONS PRIOR TO # WINDOWS.

PROVIDE FIRE BLOCKING IN WALLS @ 8'-0" O.C. AND AS PER FBC 2010, R4409.7.

ORDERING WINDOWS & DOORS.

ORDERING, MANUFACTURING OR INSTALLING DOORS **GLAZING NOTE:**

ALL EXTERIOR GLAZING AT WINDOWS AND DOORS SHALL BE LARGE MISSLE IMPACT RESISTANT WITH A U-VALUE OF (0.70) A SHGC OF 0.23

WINDOW INT. SCALE: 3'=1'-0' K-0.3

CONC. BEAM -

PTD. STUCCO-

ANCHOR, SEE

IX P.T. WD.

SEALANT

1/4" SHIM -

IMPACT

RESISTANT

INSULATED

GLAZING

BUCK

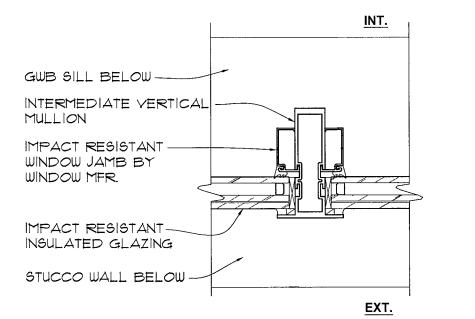
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WINDOW BY MFR.

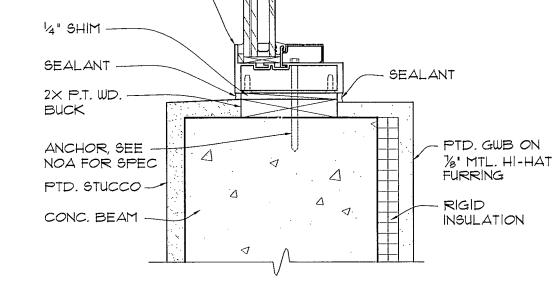
a STUCCO

SCALE: 3'=1'-0'

WINDOW HEAD DETAIL



YERT, MULLION DETAIL





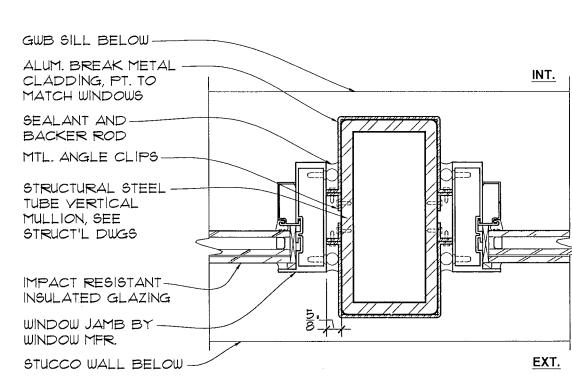
IMPACT

RESISTANT

INSULATED

WINDOW BY MFR. -

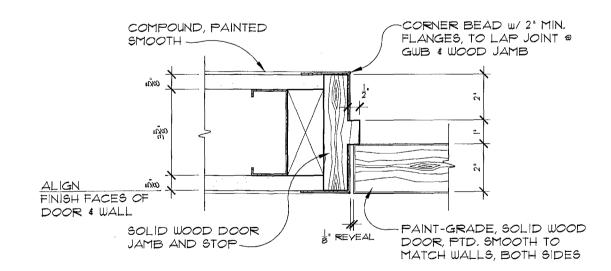
GLAZING-





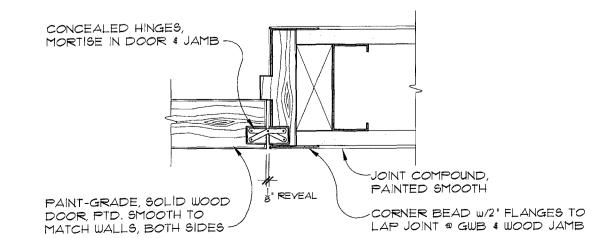
DC	OR	SCHEDULE					. <u></u> .						······································	
LOCATION			DOOR SIZ	OR SIZES		S ANELS	JAMB	TYPE		MATERIAL		HARDWARE	REMARKS	
DOOR R	AUANTITY		DOOR HEIGHT	OPENING	PANEL	TOTAL # OF P				DOOR / FRAME	GLAZING TINT /			
(D1)	<u>.</u>	ENTRY DOOR	10'-0"	WIDTH 4'-4"	WIDTH (±)			SWING			FINISH	TYPE	PRIVACY LOCK /	
	1	ENTRY DOOR	8'-6'	<u> </u>	3'-0"	10	METAL		FRENCH	BRONZE ALUM.	CLEAR	IMPACT	DEADBOLT	
	1	UTILITY	8'-0"	3'-0"			WOOD	SWING	SOLID/FLUSH	PTD, WOOD	-	-	STANDARD PRIVACY LOCK /	
03		UTILITY / GARAGE	8'-6'		3'-0"	1 0	METAL	SWING	SOLID/FLUSH	BRONZE ALUM.	-	-	DEADBOLT	
D4 (5)		STAFF ROOM		2'-6"	2'-6"	10	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	+	PRIVACY LOCK	
D5	1	STAFF BATHROOM	8'-6"	2'-6"	2'-6"	10	WOOD	SWING	SOLID/FLUSH	PTD, WOOD	-	-	PRIVACY LOCK	
<u>06</u>		AHU #2 / HWH CLOSET	8'-6"	2'-6"	2'-6"	10	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
07	!	A/Y CLOSET	8'-6'	6'-0'	3'-@"	2 0	WOOD	SWING	SOLID/FLUSH	PTD, WOOD		-	STANDARD	
08		GYM. PLAYROOM	9'-10'	17'-10"	4'-51/2'	4 2	WOOD	SLIDING	SOLID/FLUSH	PTD, WOOD	-	-	TBD	
<u>D9</u>		STORAGE	8'-6'	3'-0"	3'-0"	1 0	WOOD	SWING	SOLID/FLUSH	PTD, WOOD	-	-	STANDARD	
(D10)		POWDER ROOM	8'-6'	2'-6"	2'-6"	10	WOOD	SWING	SOLID/FLUSH	PTD, WOOD	-	-	PRIVACY LOCK	
(II)		SERVICE KITCHEN	9'-10'	3'-6"	3'-6"	1 0	WOOD	POCKET	SOLID/FLUSH	PTD, WOOD	-	-	STANDARD	POCKET INSTALLATIO
(D12)		PANTRY	8'-6'	2'-6"	2'-6"	1 0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
①13)		AHU *1 CLOSET	8'-6'	2'-6"	2'-6"	10	WOOD	SWING	SOLID/FLUSH	PTD, WOOD	-	-	STANDARD PRIVACY LOCK /	
D14)		DINING ROOM	10'-0"	13'-4"	3'-6"	4 1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	DEADBOLT	
<u>(D15)</u>	1	DINING ROOM	Ø'-Ø"	13'-4"	3'-6"	4 1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
D16	1	DINING ROOM	Ø'-Ø" 	11'-0"	3'-9"	3 1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
D17)		LIVING ROOM	10'-0"	14'-2"	3'-8'	4 1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	All 14
D18	1	LIVING ROOM	10'-0"	14'-2"	3'-8'	4 1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
D19	11	GARAGE	8'-0"	20'-0"	20'-0"	10	METAL	ROLL UP	ALUMINUM	BRONZE ALUM.	-	IMPACT	PRIVACY LOCK	SEE MFR. DWG'S
(1)21	1	DEDDOOM #3	10'-0"	19'-8'	5'-0'	4 2	METAL	SLIDING	GLASS	BEOLITE ALLIM	CLEAD	IMPACT	PRIVACY LOCK /	
D21)	1	BEDROOM #3			2'-6"			SWING		BRONZE ALUM.	CLEAR		DEADBOLT	
D22	1	BATH #3	8'-6'	2'-6"		1 0	WOOD	SWING:	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
D23	1	AHU #4 CLOSET	8'-6'	2'-6"	2'-6"	1 0	WOOD	7/3	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
D24)		W.I.C. #3	8'-6'	2'-6"	2'-6"	1 0	WOOD	A.W	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
D25	1	BEDROOM #3	9'-10'	6'-61/2"	6'-6/2"	10	WOOD	SWING W	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
D26	<u> </u>	BATH *2	8'-6'	2'-6"	2'-6"	1 0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
D27)		W.I.C. #2	8'-6'	2'-6"	2'-6"	1 0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
D28	<u> </u>	BEDROOM #2	8'-6'	3'-0"	3'-0"	10	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-		PRIVACY LOCK	
D29		BEDROOM #	8'-6'	3'-0"	3'-0"	1 0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
D30		BATH #	8'-6'	2'-6"	2'-6"	1 0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
D31)		W.I.C. #1	8'-6'	2'-6"	2'-6"	1 0	WOOD	SWING	SOLIDÆLUSH	PTD. WOOD	-	••	STANDARD	
D32		A/Y CLOSET	8'-6'	3'-5 '	1'-81/2"	2 0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	•	-	STANDARD	
D33		AHU #3 CLOSET	8'-6'	2'-6"	2'-6"	1 0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
D34		MASSAGE ROOM	8'-6'	3'-0"	3'-0"	1 0	WOOD	SWING	SOLIDÆLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
D35	1	HER BATH	8'-6'	2'-4"	2'-4'	1 0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
D36	1	MASTER BEDROOM	10'-0"	13'-4"	3'-6"	4 1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
D37	1	MASTER BEDROOM	10'-0"	13'-4"	3'-6"	4 1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
D38	1	MASTER BEDROOM	10'-0"	15'-8"	4'-1"	4 1	METAL	SLIDING	GLASS	BRONZE ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
D39	1	HIS BATH	8'-6'	2'-4"	2'-4'	10	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
D40	1	MASTER BEDROOM	8'-6'	5'-0'	2'-6"	2 0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
D41)	1	OFFICE	8'-6'	5'- Ø'	2'-6"	2 0	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	PRIVACY LOCK	
D42	1	AHU *5 CLOSET	8'-6'	2'-6"	2'-6"	10	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	
D43	1	LINEN CLOSET	8'-6'	3'-5 '	1'-81/2"	2 Ø	WOOD	SWING	SOLID/FLUSH	PTD. WOOD	-	-	STANDARD	

DOOR SCHEDULE SCALE: 1/4"=1'-0"



TYP, DOOR JAMB DETAIL (HANDLE SIDE)

SCALE: 3"=1'-0"



TYP. DOOR JAMB DETAIL (HINGE SIDE) SCALE: 3"=1'-0"

BURGLAR INTRUSION WINDOWS AND HARDWARE:

LOCKS ON EXTERIOR DOOR SHALL BE CAPABLE OF RESISTING A FORCE OF 500 POUNDS APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN THE F.B.C.

2. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OF LOCKING COMBINATIONS. IF KEY-IN-THE-KNOB LOCK IS USED, THERE SHALL BE AN AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT OR INSERTS.

3. THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIR OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8" MINIMUM THROW BOLTS WITH INSERTS.

- 4. HINGES ON EXTERIOR OUT SWING DOORS SHALL HAVE NON-EXPOSED SCREWS. EXPOSED PINE SHALL NOT BE REMOVABLE.
- 5. SINGLE, SWINGING, EXTERIOR DOORS SHALL BE SOLID CORE OF NOT LESS THAN 1 3/8" THICK.
- 6. GLASS IN EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE 297.I.
- 7. VISION PANELS IN EXTERIOR DOOR, OTHER THAN GLAZING WITHIN 40" OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOCKS AND SWINGING GLASS DOOR SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS

INSTITUTE - STANDARD 291,1 ON FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A SCOPE OR VISION

ALL EXTERIOR DOORS SHALL MEET MIAMI-DADE PRODUCT APPROVAL STANDARDS. CONTRACTOR SHALL SUBMIT SUPPORTING LITERATURE TO THE BUILDING DEPT. FOR APPROVAL PRIOR TO ORDERING & INSTALLATION.

ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH F.B.C. SECTION 2410 THROUGH 2415. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING ALL NECESSARY PRODUCT APPROVALS AND REQUIRED SHOP DRAWINGS TO THE BUILDING DEPARTMENT.

PERMIT NOTE:

WINDOWS & DOORS ARE NOT PART OF THIS PERMIT

CONTRACTOR NOTE:

CONTRACTOR TO COORDINATE ALL EXTERIOR WINDOW & DOOR SIZES WITH FIXTURES, EQUIPMENT, AND ALL INTERIOR FINISHES (INCLUDING FINISHED DRYWALL @ CONC. WALLS WITH SWITCHES) PRIOR TO ORDERING WINDOWS & DOORS.

ROUGH OPENING NOTE:

CONTRACTOR SHALL VERIFY W/WINDOW AND DOOR MANUFACTURER THE ROUGH OPENING DIMENSIONS AND STEEL COLUMN LOCATIONS PRIOR TO ORDERING, MANUFACTURING OR INSTALLING DOORS # WINDOWS.

ALL EXTERIOR GLAZING AT WINDOWS AND DOORS SHALL BE LARGE MISSLE IMPACT RESISTANT WITH A U-VALUE OF 0.84 & A SHGC OF 0.23

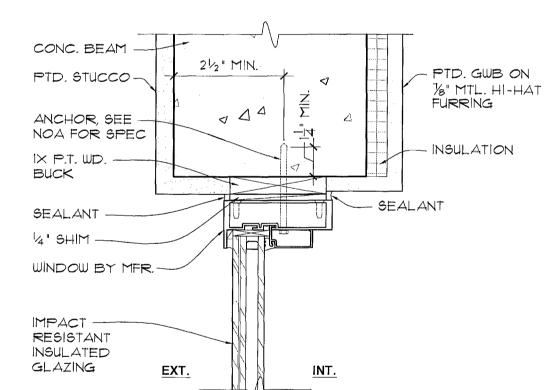
FIRESTOP NOTE: PROVIDE FIRE BLOCKING IN WALLS @ 8'-0" O.C. AND AS PER FBC 2010, R4409.7.

LOCATION WINDOW SIZES GLASS EGRESS TYPE TYPE TYPE GLASS TINT MATERIAL REMARKS OPENING PANEL HEIGHT WIDTH WIDTH (±) FOYER / CORRIDOR 9'-101/2" 11'-11/2" FIXED BRONZE/ALUM. CLEAR 3'-81/2" CORRIDOR 9'-101/2" 11'-11/2 " 3'-81/2" FIXED BRONZE/ALUM, CLEAR CORRIDOR 9'-101/2" 11'-11/2" 3'-81/2" FIXED BRONZE/ALUM. CLEAR CORRIDOR 9'-101/2" 11'-1½* BRONZE/ALUM. 3'-81/2" FIXED CLEAR CORRIDOR 11'-11/2" FIXED BRONZE/ALUM CLEAR 9'-101/2" 3'-81/2" KITCHEN 4'-0" 9'-101/2" 4'-0" BRONZE/ALUM CLEAR SERVICE KITCHEN 9'-101/2" 4'-0" FIXED BRONZE/ALUM CLEAR NOT IN USE NOT IN USE NOT IN USE STAFF BEDROOM 4'-6" 11'-0" 5'-6" FIXED/CASEMEN BRONZE/ALUM CLEAR BEDROOM *3 8'-2" 4'-1" FIXED BRONZE/ALUM 9'-101/2" CLEAR BEDROOM *3 ||'-1½' FIXED BRONZE/ALUM 9'-101/2" 3'-81/2" CLEAR CORRIDOR 9'-101/2" 11'-11/2" 3'-81/2" FIXED BRONZE/ALUM CLEAR CORRIDOR 11'-11/2" BRONZE/ALUM 9'-101/2" 3'-81/2' CLEAR CORRIDOR BRONZE/ALUM. 9'-101/2" 11'-1/2" 3'-81/2" CORRIDOR 9'-101/2" 11'-11/2" 3'-81/2" FIXED BRONZE/ALUM CLEAR OFFICE 9'-101/2" 14'-2" 3'-61/2" FIXED BRONZE/ALUM. BATH *1 3'-Ø" 6'-0" 6'-0" FIXED BRONZE/ALUM. CLEAR PART OF LARGER BEDROOM # FIXED/CASEMENT BRONZE/ALUM. CLEAR 6'-4" 4'-4" 4'-4**"** ASSEMBLY, SEE ELEVATIONS, 4' MULLION BEDROOM # 3'-4" BRONZE/ALUM. 4'-4" 4'-4" FIXED CLEAR BY MANUFACTURER PART OF LARGER CLEAR BEDROOM # 6'-4" 4'-4" 4'-4" FIXED/CASEMENT BRONZE/ALUM. ASSEMBLY, SEE ELEVATIONS, 4' MULLION BEDROOM # 3'-4" 4'-4" FIXED 4'-4" BRONZE/ALUM. CLEAR BY MANUFACTURER PART OF LARGER CLEAR BRONZE/ALUM. 9'-10" 9'-Ø" 4'-6" FIXED ASSEMBLY, SEE ELEVATIONS. 2' MULLION STAIR 6'-1" 9'-0" 4'-6" FIXED BRONZE/ALUM. CLEAR BY MANUFACTURER PART OF LARGER BEDROOM *2 BRONZE/ALUM. CLEAR 6'-4" 4'-4" 4'-4" IXED/CASEMENT ASSEMBLY, SEE ELEVATIONS. 4' MULLION BEDROOM *2 3'-4" 4'-4" BRONZE/ALUM. FIXED CLEAR BY MANUFACTURER PART OF LARGER BEDROOM *2 CLEAR 4'-4" IXED/CASEMEN BRONZE/ALUM. 6'-4" ASSEMBLY, SEE ELEVATIONS, 4' MULLION BEDROOM #2 3'-4" BRONZE/ALUM. CLEAR BY MANUFACTURER BATH *2 CLEAR 3'-Ø" FIXED BRONZE/ALUM. BATH *3 CLEAR 3'-Ø" 6'-0" 6'-0" FIXED BRONZE/ALUM. BEDROOM #3 5'-2" 2'-7" BRONZE/ALUM. CLEAR FIXED 9'-101/2"

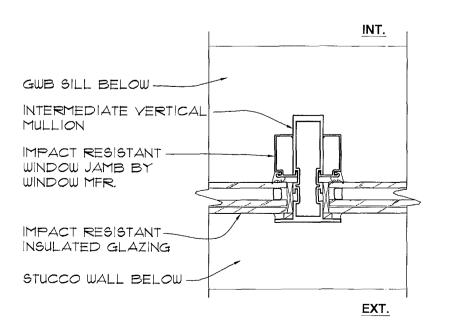
WINDOW SCHEDULE

SCALE: 1/4"=1'-0"

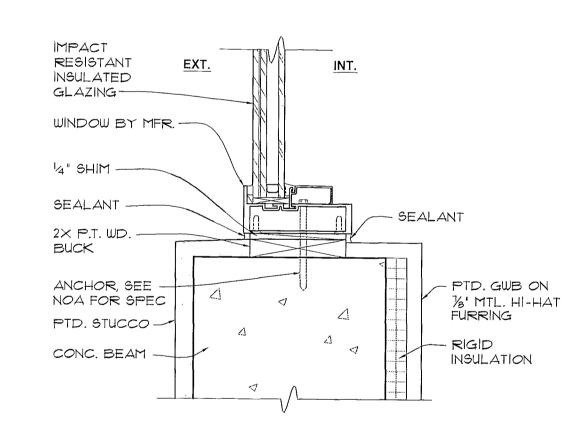
WINDOW SCHEDULE



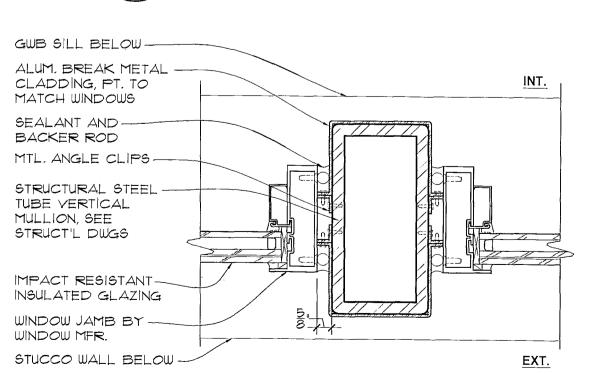
WINDOW HEAD DETAIL a STUCCO SCALE: 3"=1'-@"



WINDOW INT. YERT, MULLION DETAIL SCALE: 3"=1'-@"







WINDOW STRUCTURAL MULLION DETAIL SCALE: 3'=1'-0'

DILID



comm no. 1241

date: 09-30-2013

revised:

sheet no.

