

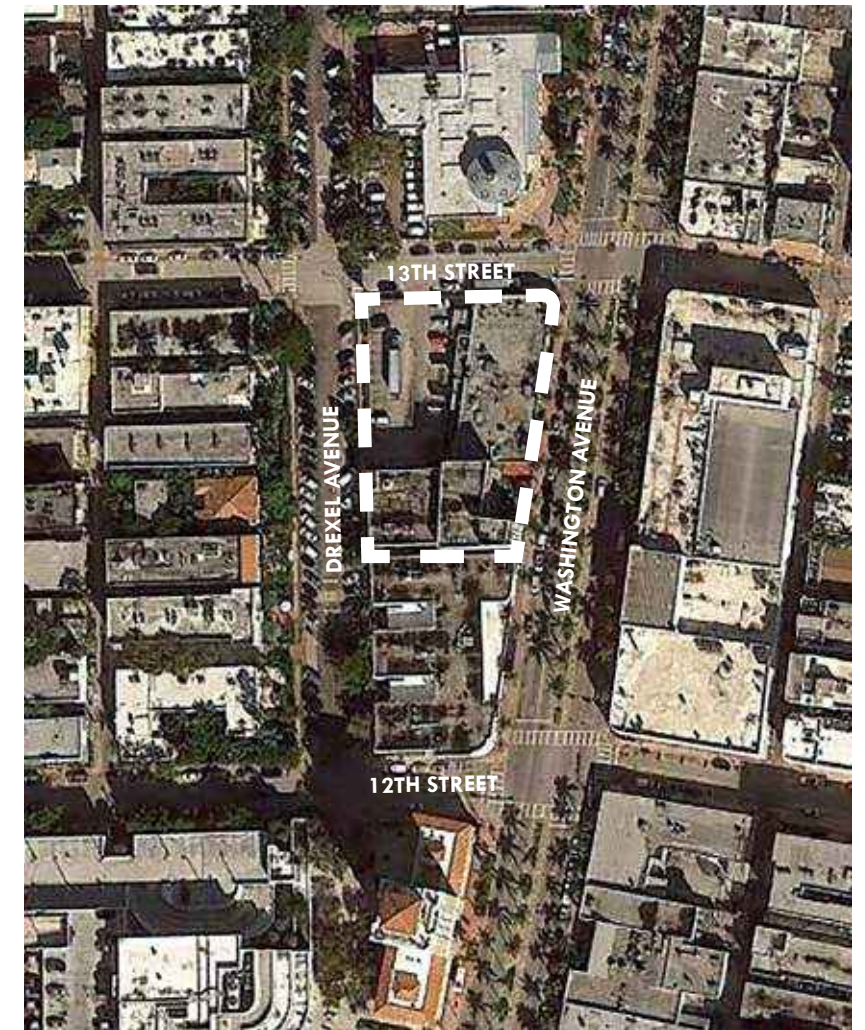
URBIN RETREAT
MIAMI BEACH

**HISTORIC PRESERVATION BOARD
PRESENTATION
JULY 31, 2020**

1234 WASHINGTON AVENUE
MIAMI BEACH



LOCATION MAP



AREA MAP



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.





URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

EXISTING AERIAL FROM WASHINGTON AVENUE



POST OFFICE CIRCA 1950



1956 MIAMI BEACH MICRO RETAIL



1956



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

HISTORIC CONTEXT: MIAMI BEACH



1970 WASHINGTON AVENUE FACADE SHOWING ORIGINAL CONFIGURATION AND MATERIALS



1965 VERTICALLY MOUNTED SIGN

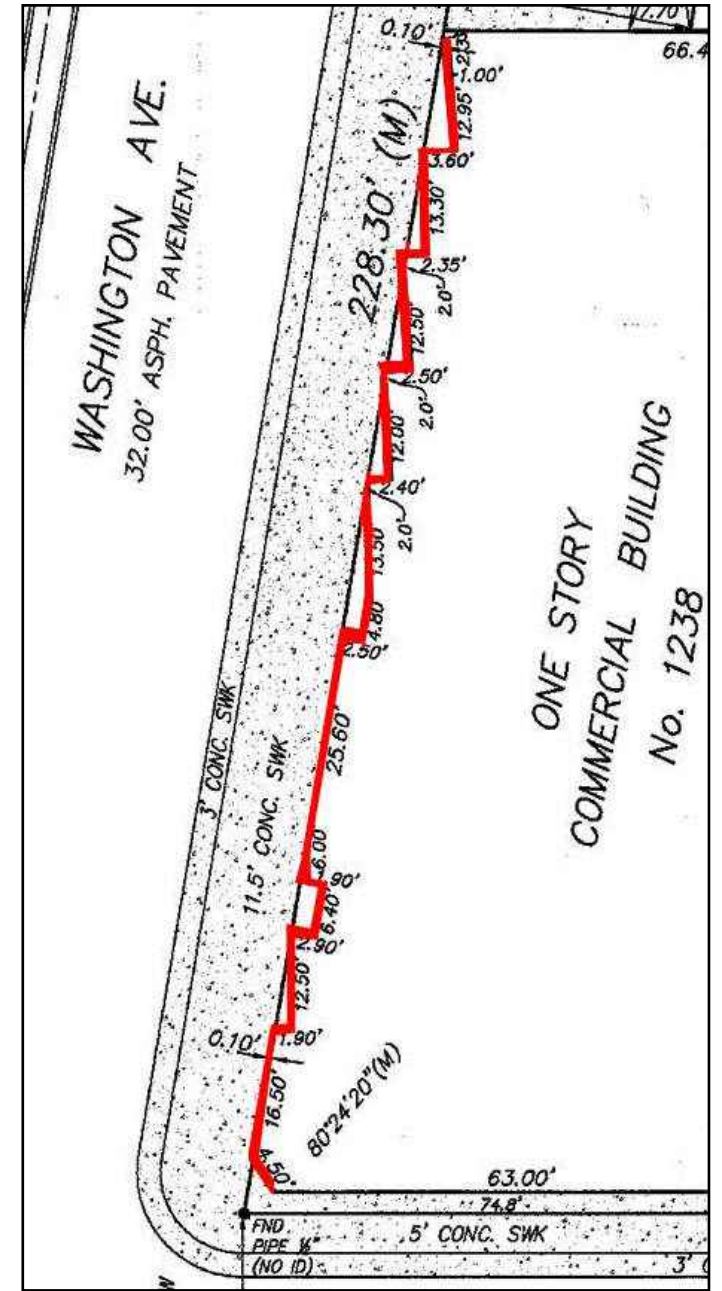


1963 PHOTO

1260 Washington Avenue
 Designed 1948 Edwin L. Robertson
 17'-0" Tall and 149'-0" Wide



1956 VIEW - RETAIL WAS ANGLED AND SMALLER SCALED - THIS BUILDING HAS BEEN SUBSTANTIALLY MODIFIED FROM ORIGINAL DESIGN - IT APPEARS THAT NO ORIGINAL GEOMETRY OR MATERIALS WERE KEPT IN EXISTING FACADE.



2004 HISTORIC SURVEY - ORIGINAL STOREFRONT PLAN



URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

HISTORIC CONTEXT: 1260 WASHINGTON AVENUE



2018



JULY 18, 2019



JULY 18, 2019



JULY 18, 2019



JULY 18, 2019



JULY 18, 2019



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

EXISTING CONDITIONS : 1260 WASHINGTON AVENUE



STRONG GEOMETRIC FORMS WITH ICONIC MIMO SIGNAGE AND PLAYFUL SWOOPING EYEBROW



ICONIC MIMO BRISE SOLEIL

1234 Washington Avenue
 Designed 1961 Maurice Weintraub
 Washington Federal Savings and Loan later First Nationwide Bank
 1989 - remodel of facade - 57'-0" Tall and 65'-0" Wide



URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

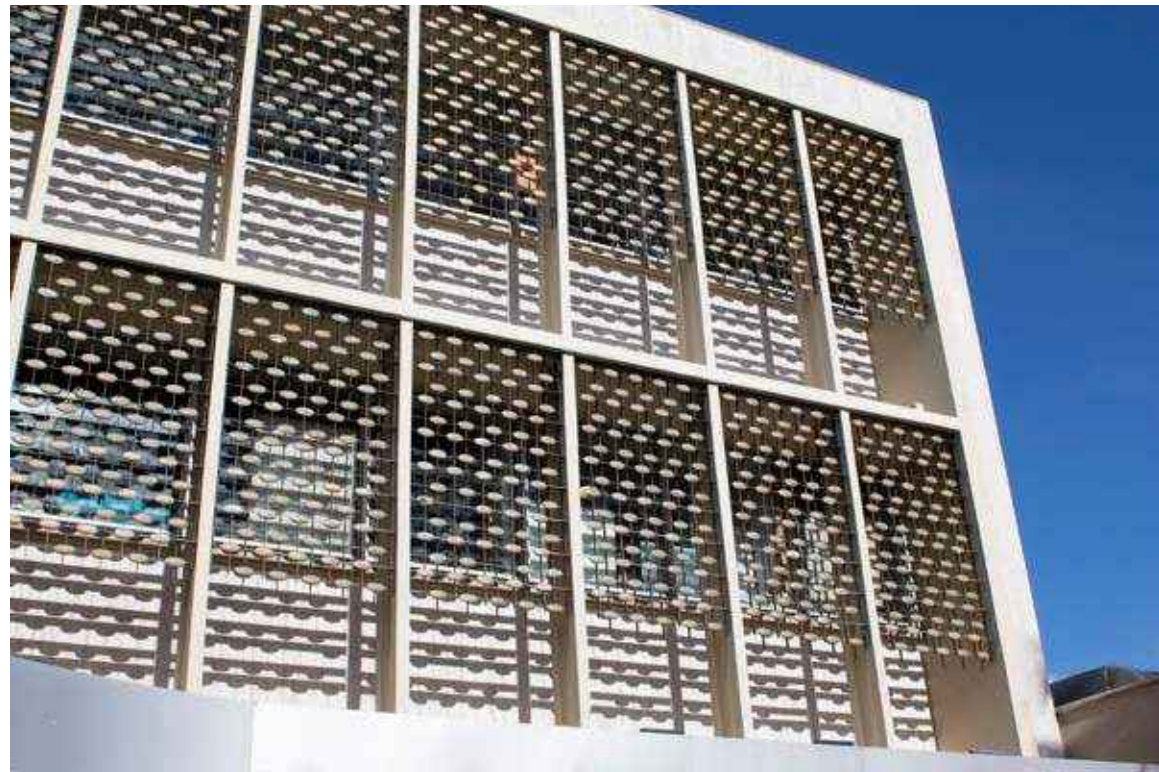
HISTORIC CONTEXT: 1234 WASHINGTON AVENUE



AUGUST 4, 2019



AUGUST 4, 2019



AUGUST 4, 2019



AUGUST 4, 2019



AUGUST 4, 2019



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

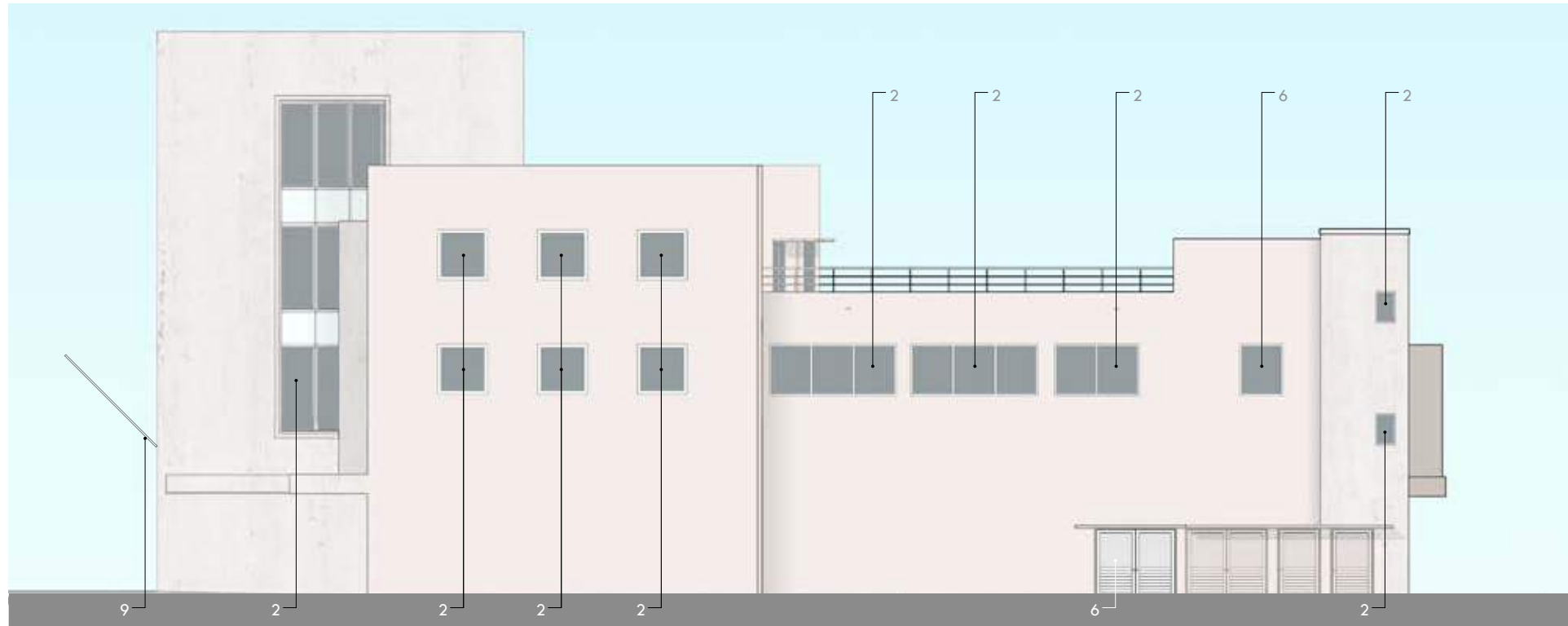


No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

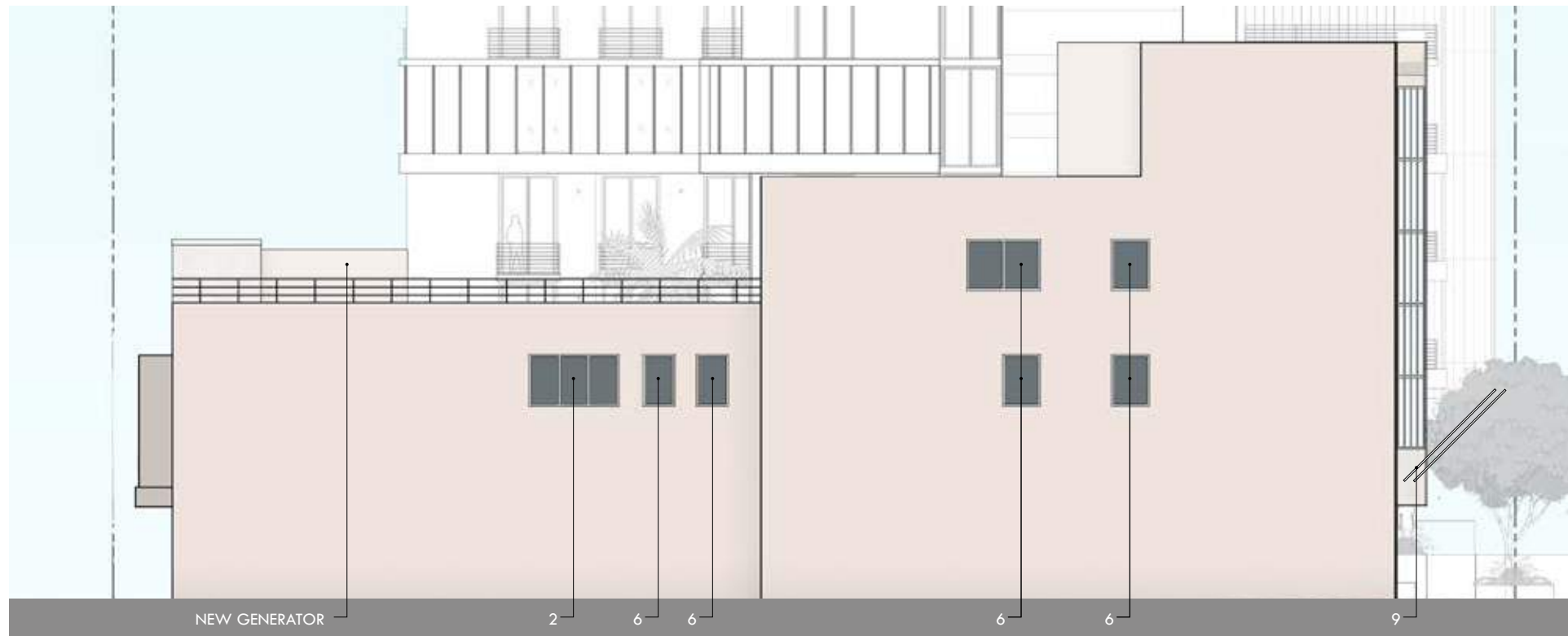
EXISTING CONDITIONS: 1234 WASHINGTON AVENUE

A-12.3

HISTORIC PRESERVATION BOARD - PRESENTATION - 31 JULY 2020



PROPOSED ELEVATION: NORTH



PROPOSED ELEVATION: SOUTH

HISTORIC PRESERVATION LEGEND

- 1 HISTORIC METAL BRISE SOLEIL TO BE RESTORED
- 2 EXISTING GLAZING TO BE REPLACED W/ CODE COMPLIANT SYSTEM
- 3 ORIGINAL HISTORIC RAIN SCREEN TO BE RESTORED AND INSTALLED W/ CODE COMPLIANT GLAZING
- 4 EXISTING STONE PANELS TO BE REPAIRED AS NEEDED
- 5 RESTORE ORIGINAL CANOPY
- 6 NEW GLASS OPENING TO MATCH EXISTING WINDOWS
- 7 NEW TOP RAILING TO ACHIEVE MIN. HEIGHT REQUIRED BY CODE
- 8 NEW RETRACTABLE ROOF
- 9 HISTORIC FLAG POLES TO BE RESTORED



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

PROPOSED OFFICE ELEVATIONS

SCALE: 1/16" = 1'-0"

A-12.18



PROPOSED ELEVATION: EAST



PROPOSED ELEVATION: WEST

HISTORIC PRESERVATION LEGEND

- 1 HISTORIC METAL BRISE SOLEIL TO BE RESTORED
- 2 EXISTING GLAZING TO BE REPLACED W/ CODE COMPLIANT SYSTEM
- 3 ORIGINAL HISTORIC RAIN SCREEN TO BE RESTORED AND INSTALLED W/ CODE COMPLIANT GLAZING
- 4 EXISTING STONE PANELS TO BE REPAIRED AS NEEDED
- 5 RESTORE ORIGINAL CANOPY
- 6 NEW GLASS OPENING TO MATCH EXISTING WINDOWS
- 7 NEW TOP RAILING TO ACHIEVE MIN. HEIGHT REQUIRED BY CODE
- 8 NEW RETRACTABLE ROOF
- 9 HISTORIC FLAG POLES TO BE RESTORED



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

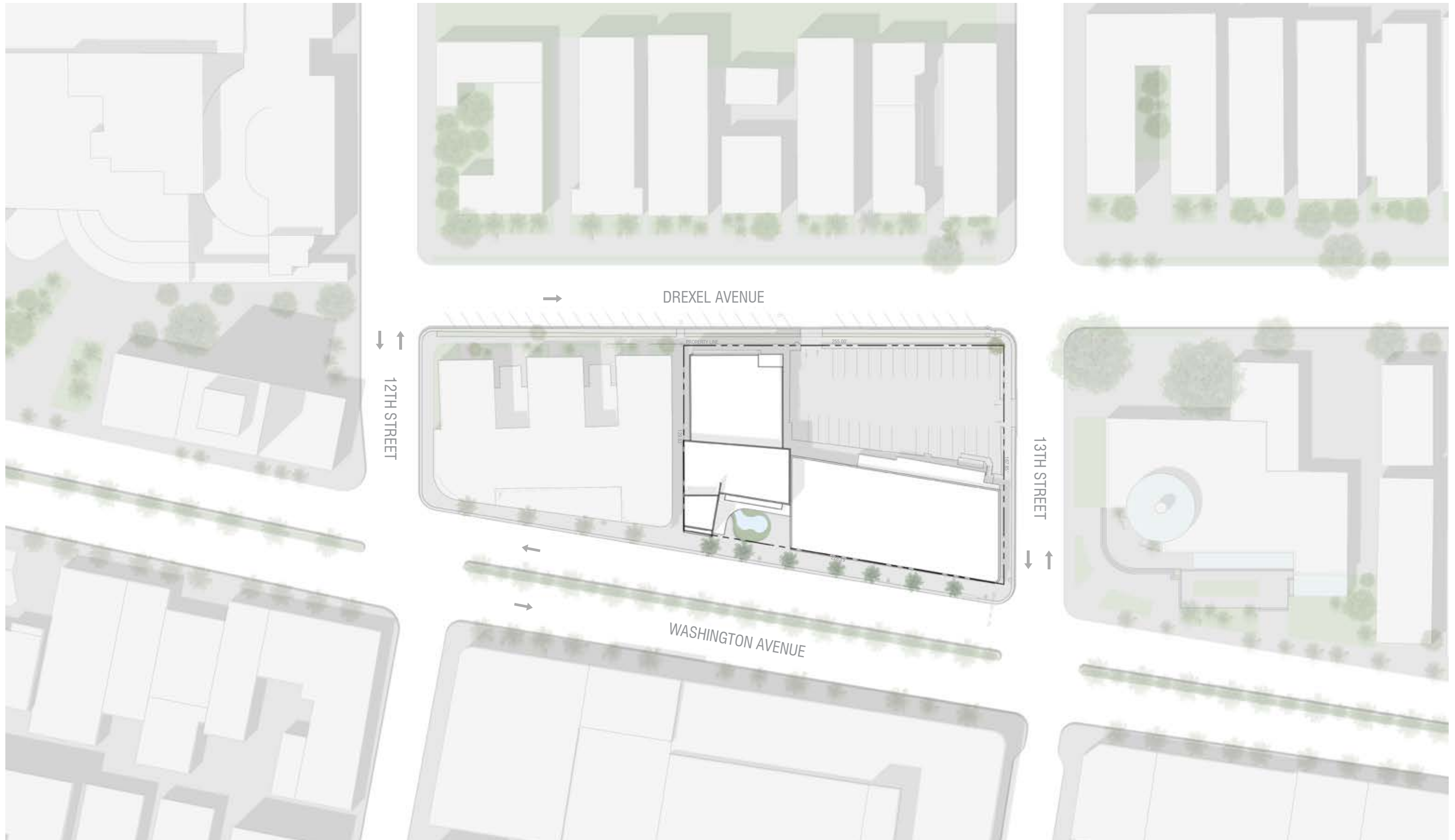


No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

PROPOSED OFFICE ELEVATIONS

SCALE: 1/16" = 1'-0"

A-12.19



URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.



EXISTING CONTEXT PLAN

SCALE: 1/64" = 1'-0"

A-12.20



- RETAIL ON STREET
- RETAIL SETBACK FROM STREET
- HOTEL / RESIDENTIAL
- CIVIC / EDUCATION
- PLAZA
- PARKING



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.



URBAN DIAGRAM - PROPOSED STREET FRONTAGE



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.



PROPOSED CONTEXT PLAN
SCALE: 1/64" = 1'-0"

A-12.21



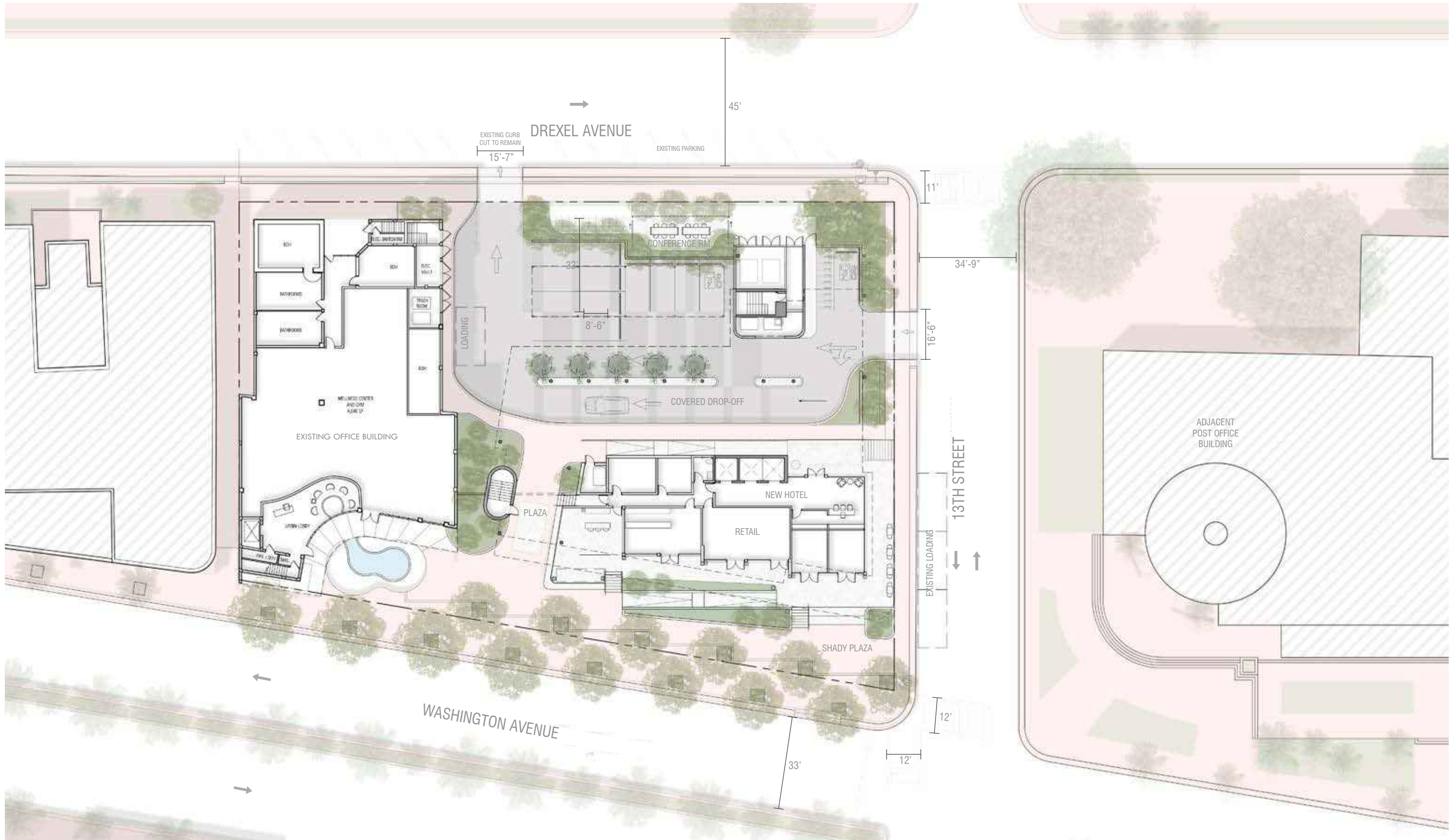
URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

PROPOSED AXONOMETRIC

A-12.26



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

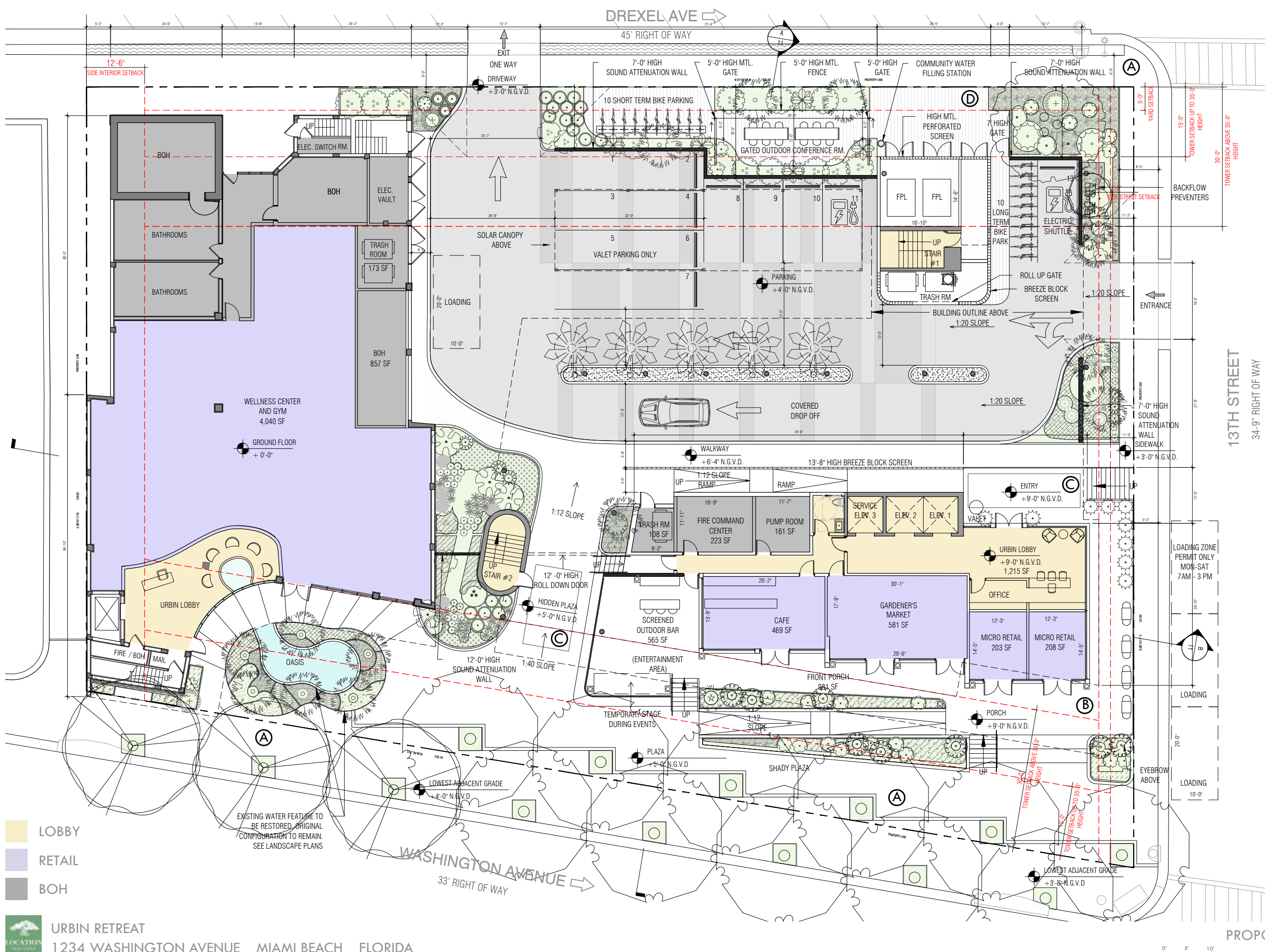


No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.



URBAN DIAGRAM
SCALE: 1/32" = 1'-0"

A-14.1



- LOBBY
- RETAIL
- BOH

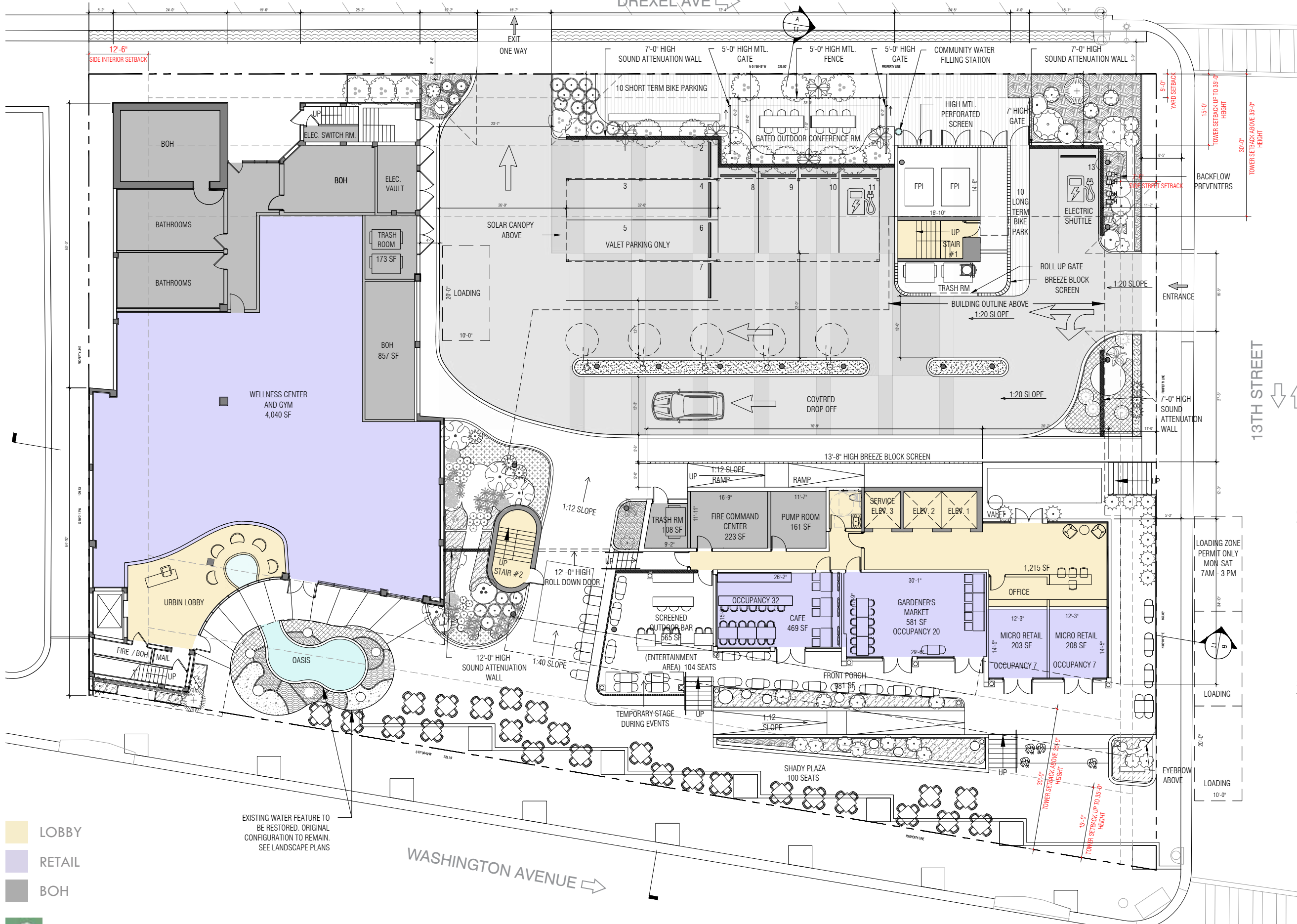
URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

- FLOORING MATERIALS
- (A) PINK MIAMI BEACH STANDARD SIDEWALK
 - (B) TERRAZZO
 - (C) TERRAZZO INLAY
 - (D) CONCRETE PERMEABLE PAVER
- 12 SPEAKERS TOTAL

PROPOSED GROUND FLOOR PLAN
 SCALE: 1:20

No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

DREXEL AVE



OCCUPANCY COUNT

MARKET	20
CAFE	32
MICRO RETAIL 1	7
MICRO RETAIL 2	7
TOTAL	66

*BASED ON CODE OCCUPANCY PER SF

SEATING COUNT

MARKET	20
CAFE	32
OUTDOOR BAR	82
SHADY PLAZA	100
MICRO RETAIL 1	0
MICRO RETAIL 2	0
TOTAL	234 SEATS

⊗ - 12 SPEAKERS TOTAL

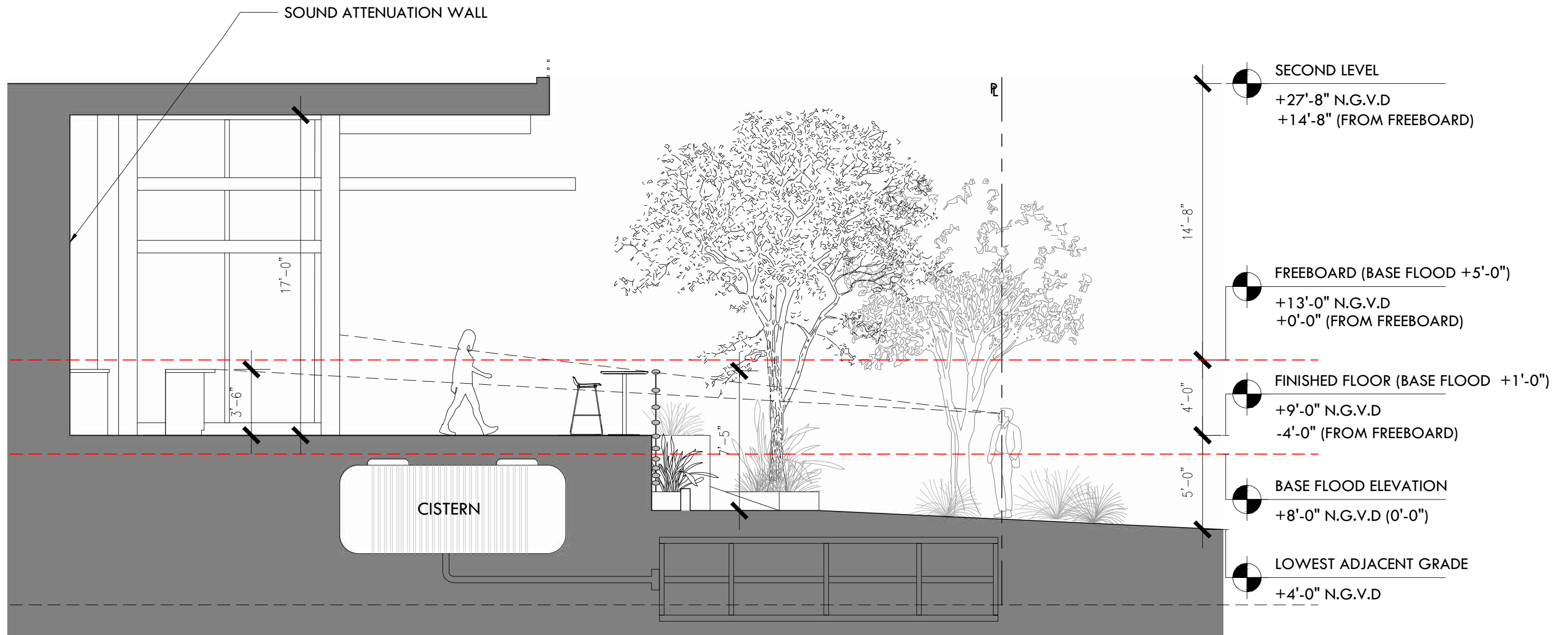
- LOBBY
- RETAIL
- BOH

EXISTING WATER FEATURE TO BE RESTORED. ORIGINAL CONFIGURATION TO REMAIN. SEE LANDSCAPE PLANS

URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

PROPOSED GROUND FLOOR PLAN - F.F.E.

0' 5' 10' 25' 50' SCALE: 1:20



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

GROUND FLOOR BAR SCREEN - SECTION DETAIL

SCALE: 3/16" = 1'-0"

A-44.1

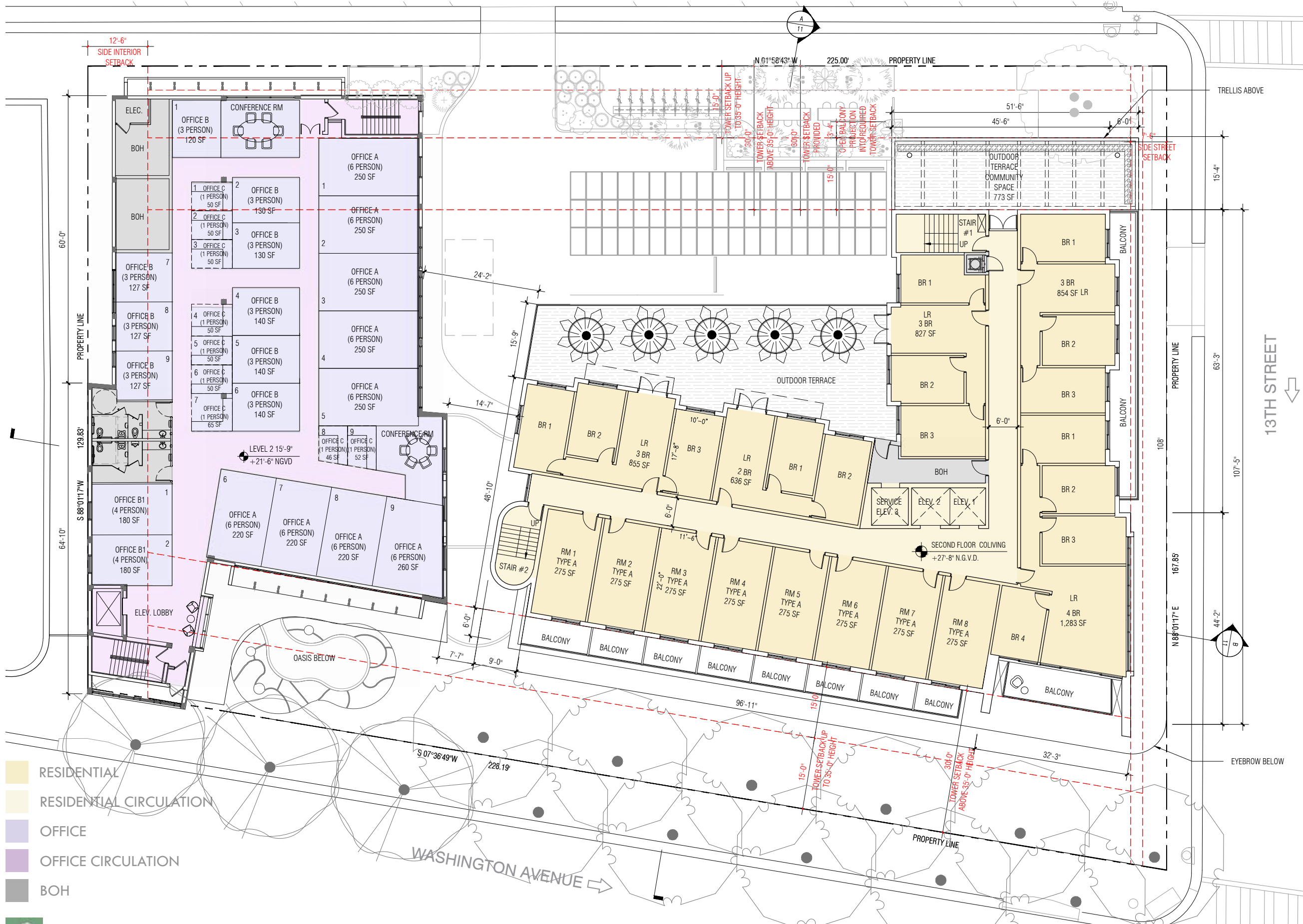


URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

PROPOSED VIEW FROM OASIS ON WASHINGTON AVENUE

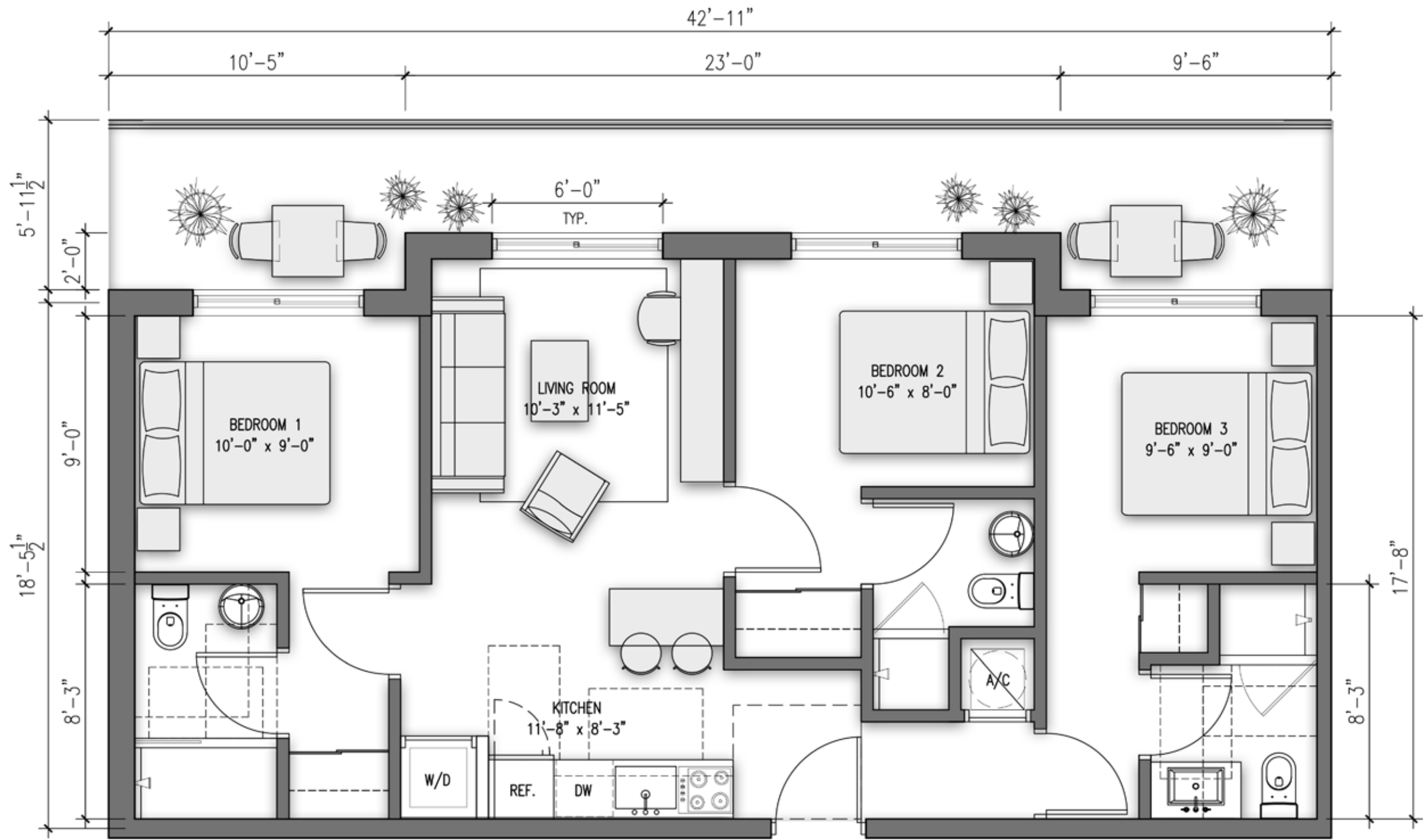


- RESIDENTIAL
- RESIDENTIAL CIRCULATION
- OFFICE
- OFFICE CIRCULATION
- BOH

URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

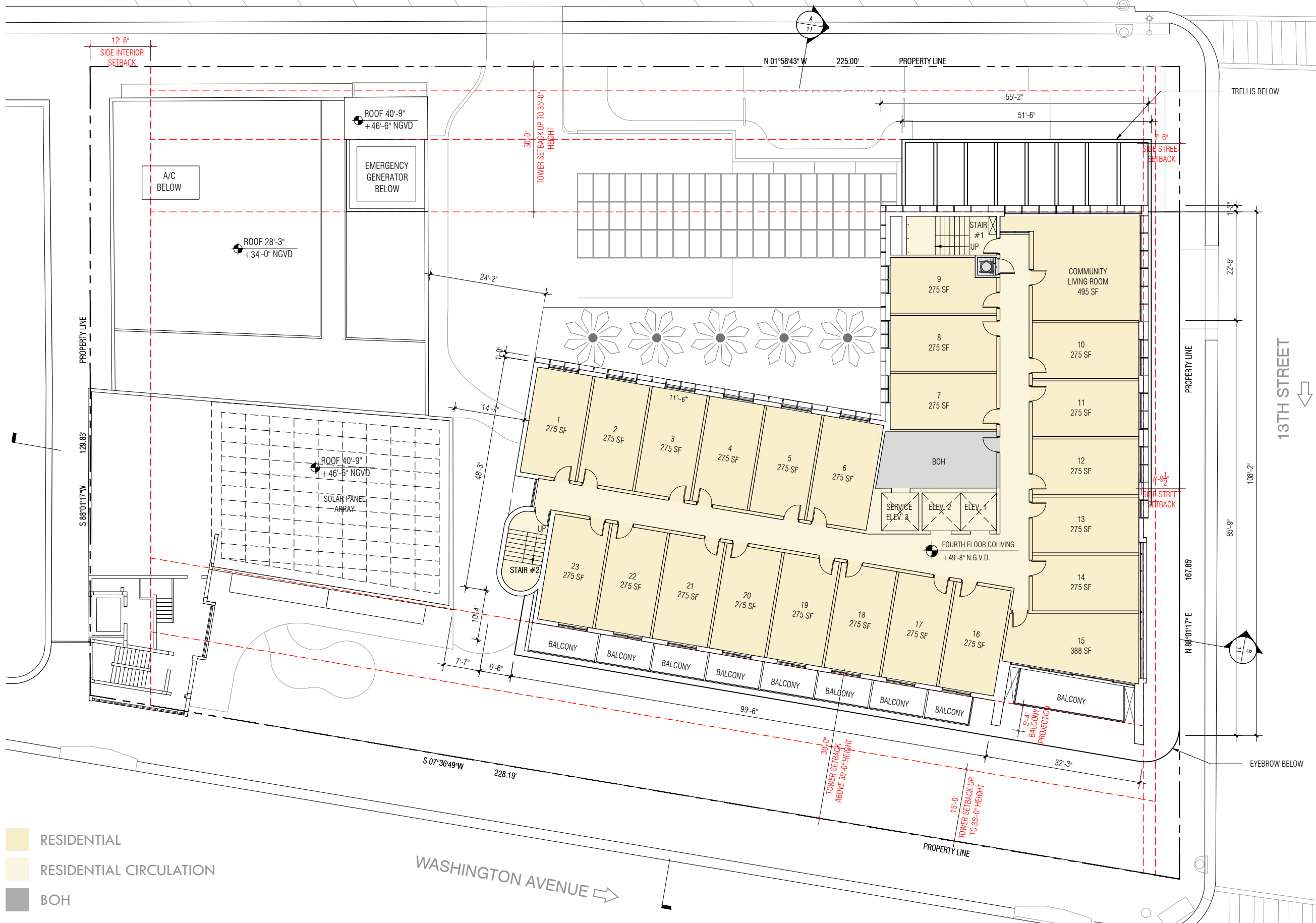
PROPOSED SECOND FLOOR: OFFICE & CO-LIVING

0' 5' 10' 25' 50' SCALE: 1:20



855 SQUARE FEET

DREXEL AVE



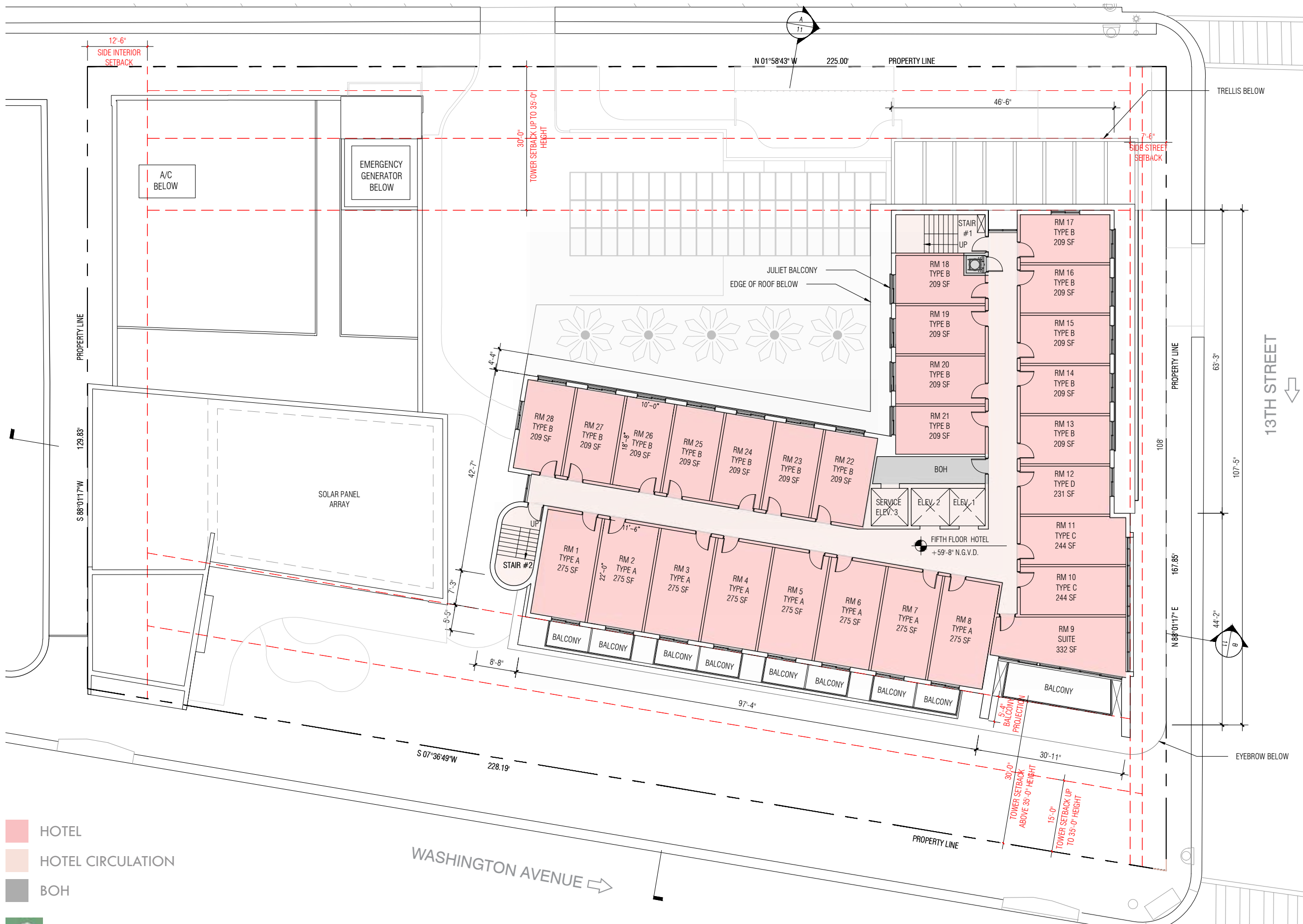
- RESIDENTIAL
- RESIDENTIAL CIRCULATION
- BOH

URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

TOUZET STUDIO
 No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

PROPOSED FOURTH FLOOR: CO-LIVING
 0' 5' 10' 25' 50' SCALE: 1:20

DREXEL AVE



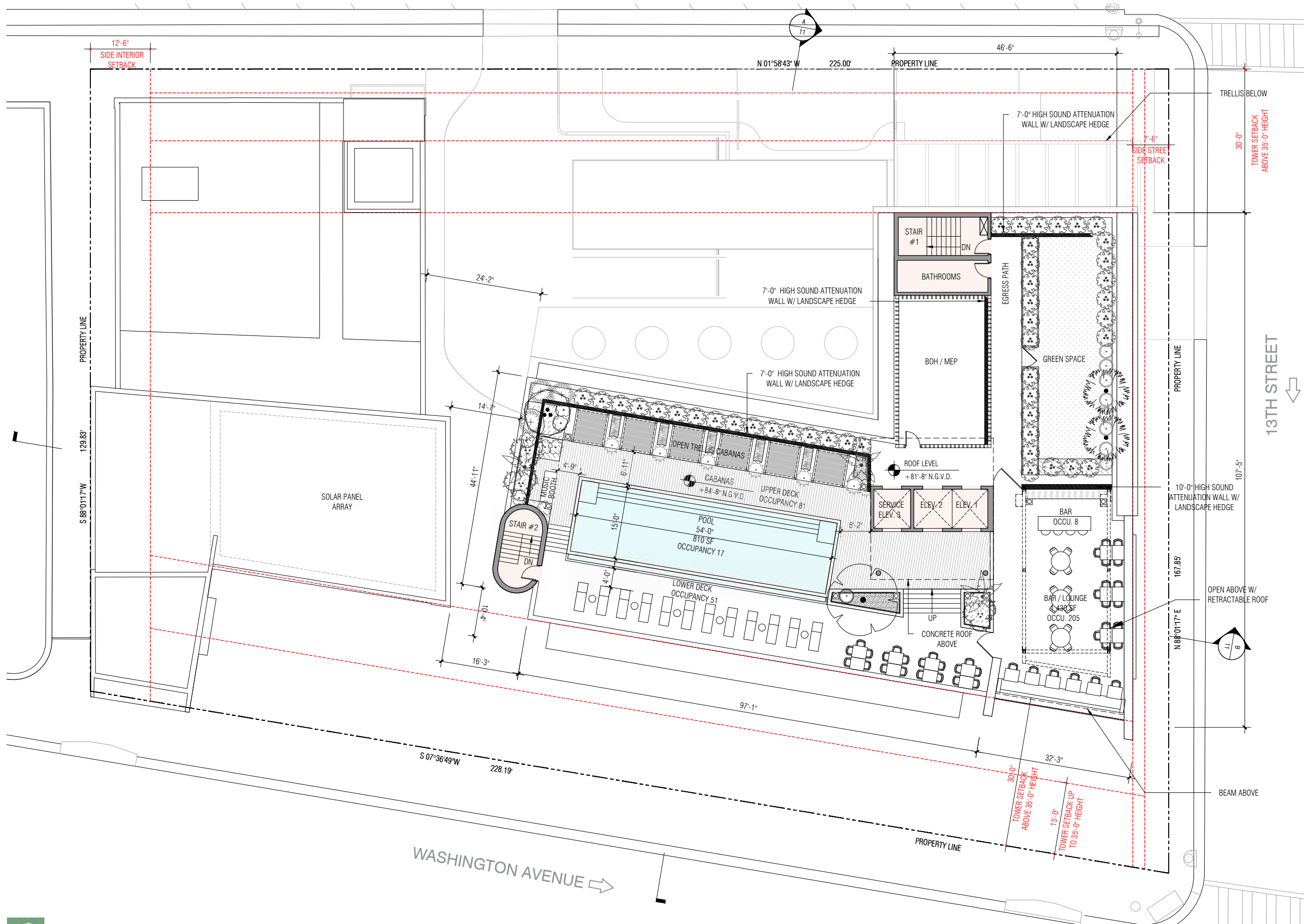
- HOTEL
- HOTEL CIRCULATION
- BOH

URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

TOUZET STUDIO
 No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

PROPOSED FIFTH FLOOR - HOTEL
 0' 5' 10' 25' 50' SCALE: 1:20





OCCUPANCY COUNT

UPPER DECK	81
LOWER DECK	51
POOL	17
BAR LOUNGE	205
TOTAL	354

*BASED ON CODE OCCUPANCY PER SF

SEATING COUNT

UPPER DECK	12 (2 PER CABANA)
LOWER DECK	12
POOL	0
BAR LOUNGE	63
TOTAL	87 SEATS

9 SPEAKERS TOTAL

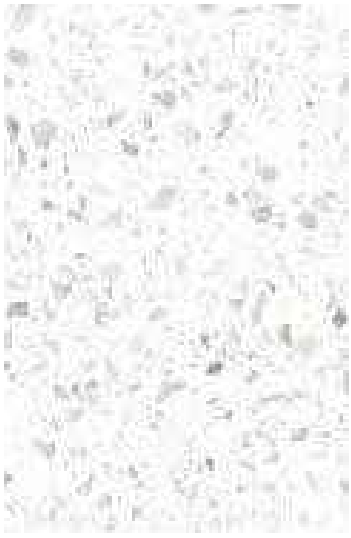
PROPOSED ROOF PLAN AND F.F.E.

0' 5' 10' 25' 50' SCALE: 1:20

URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

TOUZET STUDIO
No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

MIAMI BEACH INSPIRED

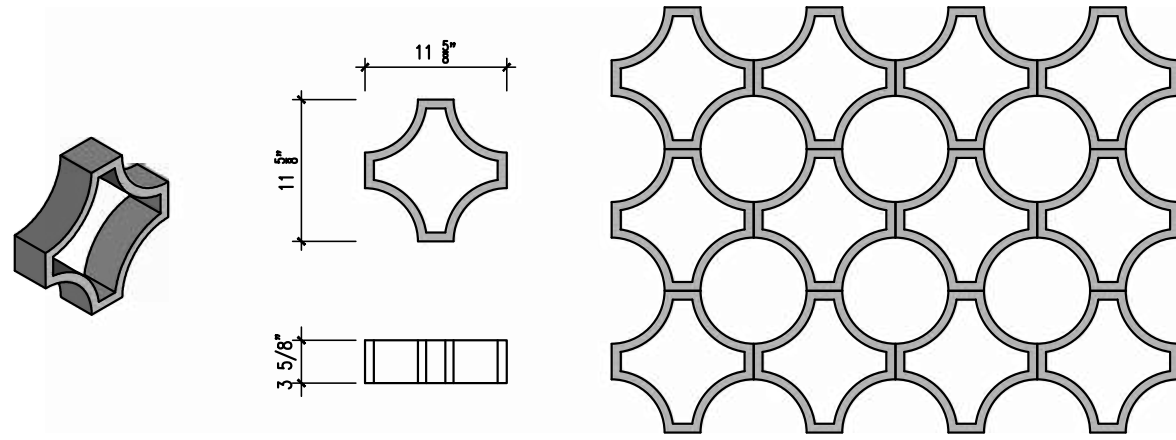


URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



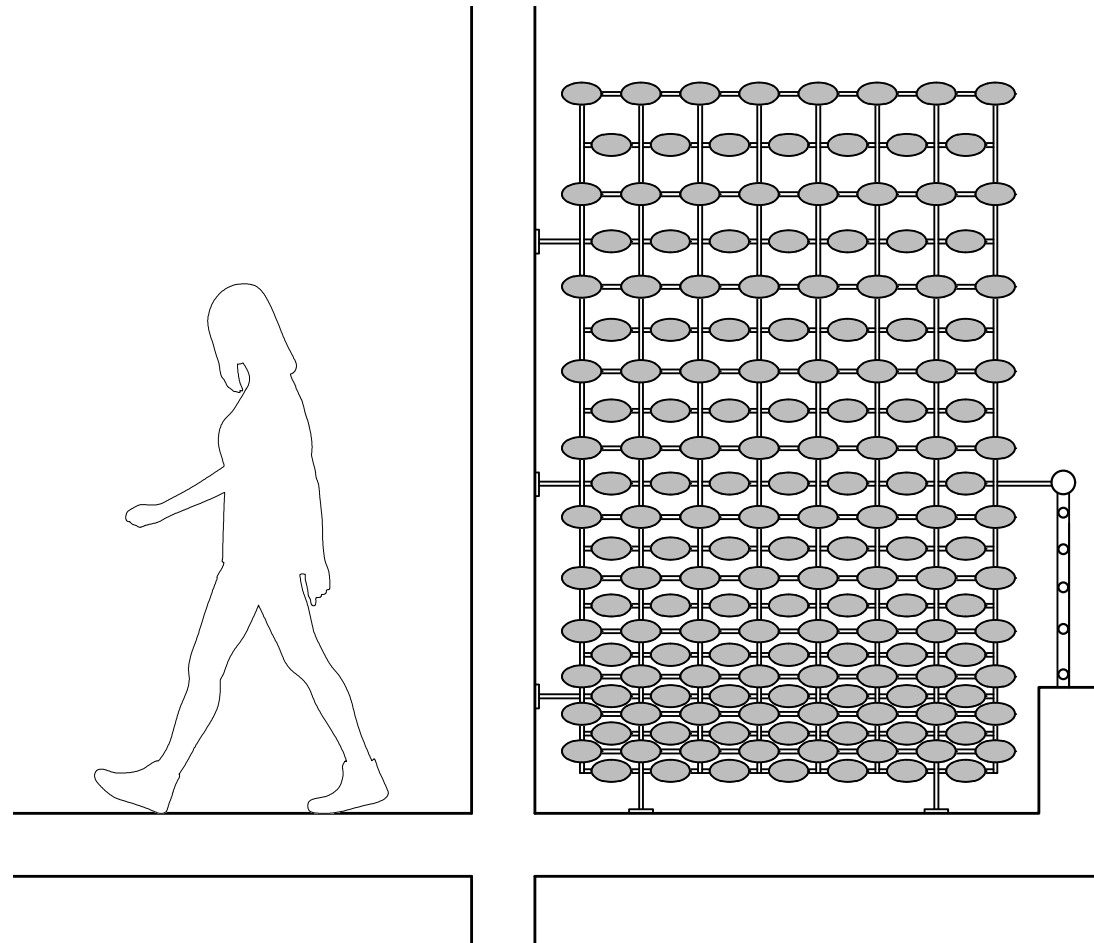
No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

MIAMI BEACH INSPIRATION



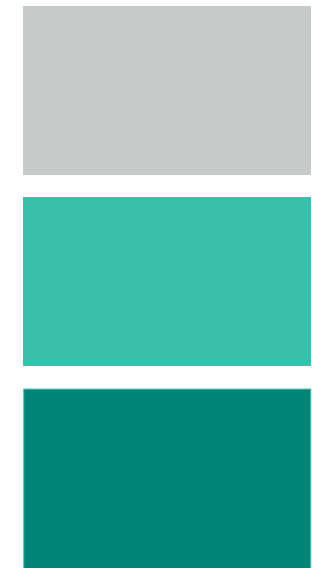
BREEZE BLOCK SCREENS ON GROUND FLOOR

SCALE: 3/4"=1'-0"



METAL SCREEN ON WASHINGTON AVENUE BALCONIES

SCALE: 1/2"=1'-0"



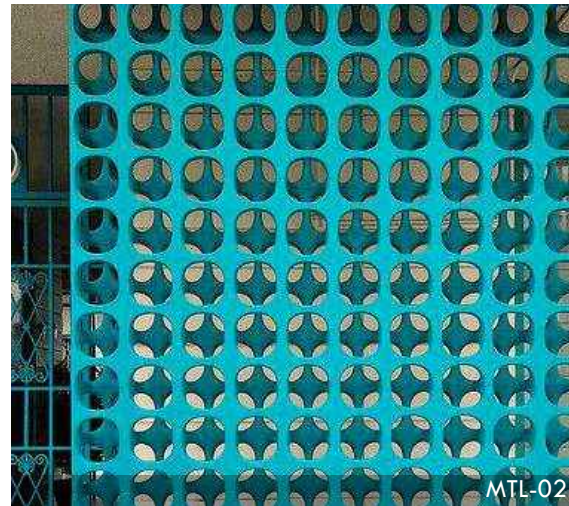
PANTONE COLOR OPTIONS

URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

SCREEN DETAILS
SCALE: N/A



MTL-01



MTL-02



MTL-04



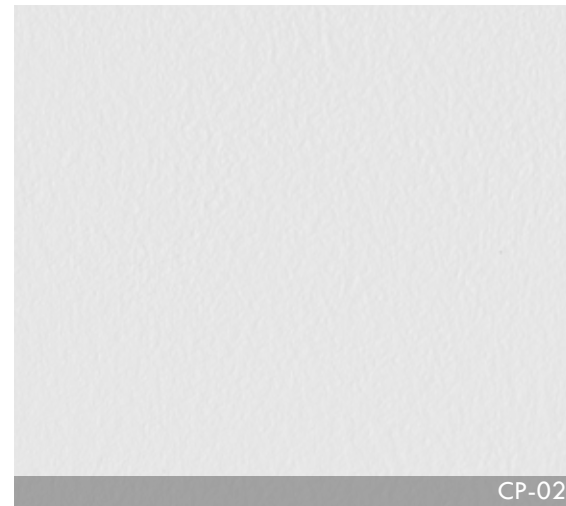
MTL-05



CNC-01



CP-01



CP-02



MTL-03 / MTL-6 / MTL-07



GL-01

MATERIAL LEGEND

- CP-01 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - MEDIUM GRAY
- CP-02 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - LIGHT GRAY
- CP-03 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - COLOR TBD
- CNC-01 CEMENT BREEZE BLOCK - PATTERN TBD
- CNC-02 CONCRETE EYEBROW W/ 5/8" EXTERIOR CEMENT PLASTER SMOOTH FINISH - WHITE
- CNC-03 SOUND ATTENUATION WALL - HEIGHTS VARY
- CNP-01 RETRACTABLE ROOF

- GL-01 LAMINATED TINTED GLASS UNITS W/ LARGE MISSILE IMPACT CLEAR INTERLAYER GRAY KYNAR FINISH ON METAL FRAME
- GL-02 TEMPERED FRITTED GLASS
- MTL-01 PRE-PATINATED COPPER PANELS
- MTL-02 DECORATIVE METAL SCREEN DIVIDERS - PATTERN TBD
- MTL-03 LIGHT GRAY CANOPY
- MTL-04 VERTICAL PANELS- GRAY AND WHITE
- MTL-05 VERTICAL LOUVERS - GRAY AND WHITE

- MTL-06 STRUCTURAL STEEL MEMBERS CLADDED IN ALUMINUM BREAK METAL FINISH TO MATCH STOREFRONT FRAMES
- MTL-07 METAL HANDRAIL / TOP RAIL
- MTL-08 METAL PERFORATED SCREEN - PATTERN TBD - HEIGHTS VARY
- PL-01 LANDSCAPE FEATURE
- PL-02 PLANTED TRELLIS STRUCTURE
- S-1 SOLAR CANOPY ON METAL GRAY FRAME
- T-1 MOSAIC TILE AND STUCCO PATTERN
- TS-01 TENANT SIGNAGE (UNDER SEPARATE SUBMITTAL)



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

PROPOSED MATERIAL PALETTE



METAL BRISE SOLEL



ALUMINUM PRE-PATINA PANELS



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

PREVIOUS - VIEW FROM WASHINGTON AVENUE



METAL BRISE SOLEIL



PRE-PATINATED PANELS



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

PROPOSED VIEW ON WASHINGTON AVENUE - LOOKING SOUTHWEST



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

PROPOSED VIEW ON WASHINGTON AVENUE - LOOKING NORTHWEST



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

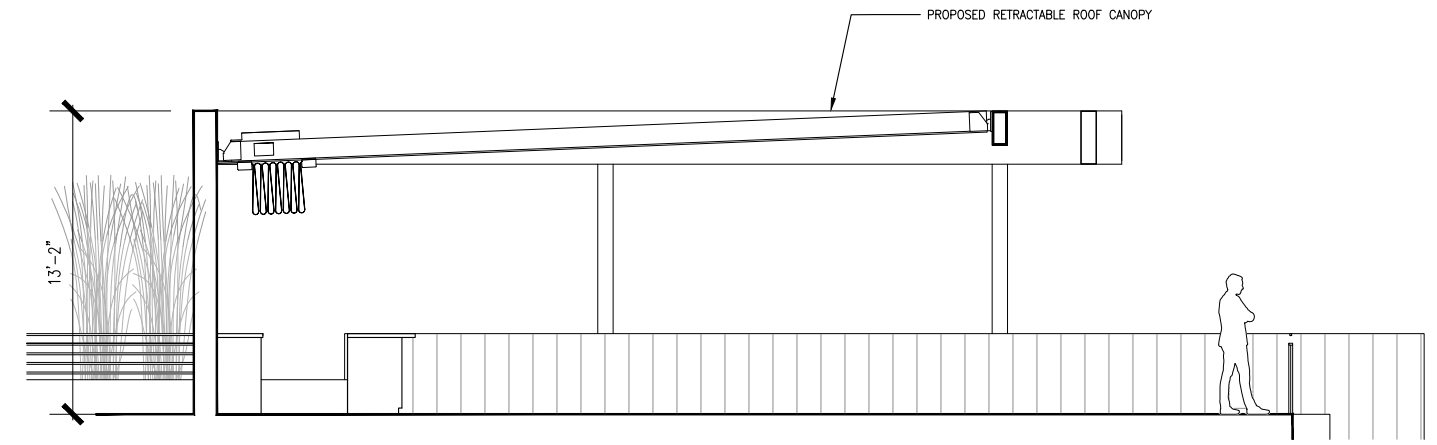


No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

PROPOSED ROOFTOP VIEW - LOOKING NORTH

A-37.3

HISTORIC PRESERVATION BOARD - PRESENTATION - 31 JULY 2020



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

ROOFTOP LEVEL - RETRACTABLE CANOPY DETAIL

SCALE: 1:20

A-50

HISTORIC PRESERVATION BOARD - PRESENTATION - 31 JULY 2020



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

PROPOSED CORNER VIEW ON WASHINGTON AVENUE

A-37.2

HISTORIC PRESERVATION BOARD - PRESENTATION - 31 JULY 2020

LANDSCAPE



Resiliency Diagram

Resiliency: working together as an ecosystem



Water

- Cisterns (Water Harvesting)
- Rain Gardens (Water Collection)
- Underground Drainage System (Water Management)
- Sustainable Irrigation Design (Water Conservation)
- Silva Cells (Water Re-use)



Culture / Community

- Community Gardens and Productive Landscapes
- Historical Miami (Celebrating Cultural Context)
- Flexible Outdoor Environments



Climate / Energy Costs

- Solar Panels (Capture Clean Energy)
- Canopy Trees (Reduce Heat Island Effect + Sequester Carbon)
- Canopy and Understory Trees (Improve Air Quality)
- Silva Cells (Increased Longevity of Street Trees)



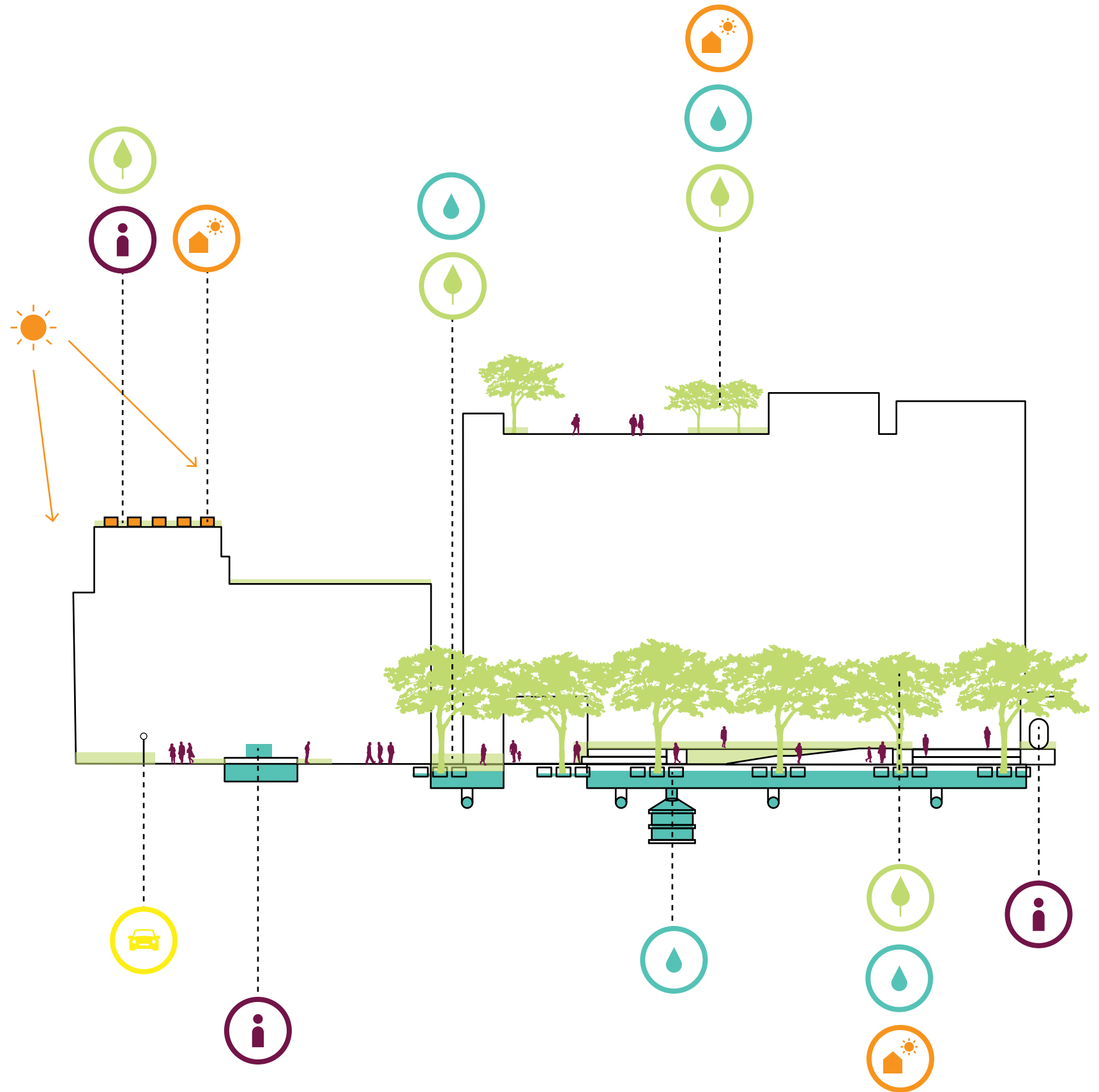
Vegetation

- Pollinator Species (Increase Biodiversity)
- Florida Friendly Landscaping
- Florida Native Plants (Natural Habitat Restoration)
- Silva Cells (Healthy Tree Growth and Roots' System)



Transportation

- Walkability
- Bicycle Share Station
- Vehicles (Autonomous and non)
- Ride Share
- Micromobility



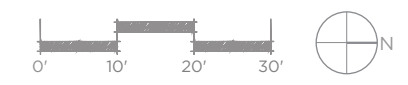
URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

RESILIENCY DIAGRAM



LEGEND

- ① Public Sidewalk "Miami Beach Red"
- ② Vehicular Entrance
- ③ Vehicular Exit
- ④ Signage
- ⑤ Shady Plaza with Green Buttonwood Grove
- ⑥ Concrete Step Seating
- ⑦ Oasis Garden with Restored Reflection Pool
- ⑧ Public Bike Rack Access
- ⑨ Outdoor Conference Room
- ⑩ Parking Area with Solar Canopy
- ⑪ Tiered Rain Garden
- ⑫ Second Floor Terrace with Trellis
- ⑬ Rooftop Food Garden
- ⑭ Green Space
- ⑮ Bar/Lounge with Retractable Roof
- ⑯ Rooftop Pool (810 SF)
- ⑰ Open Trellis Cabanas
- ⑱ Pool Cascade Edge
- ⑲ Pool Loungers on Lower Deck
- ⑳ Covered Drop-off
- ㉑ Ramp to Elevated Porch
- ㉒ Community Water Filling Station
- ㉓ Sound Attenuation Wall with Landscape Buffer



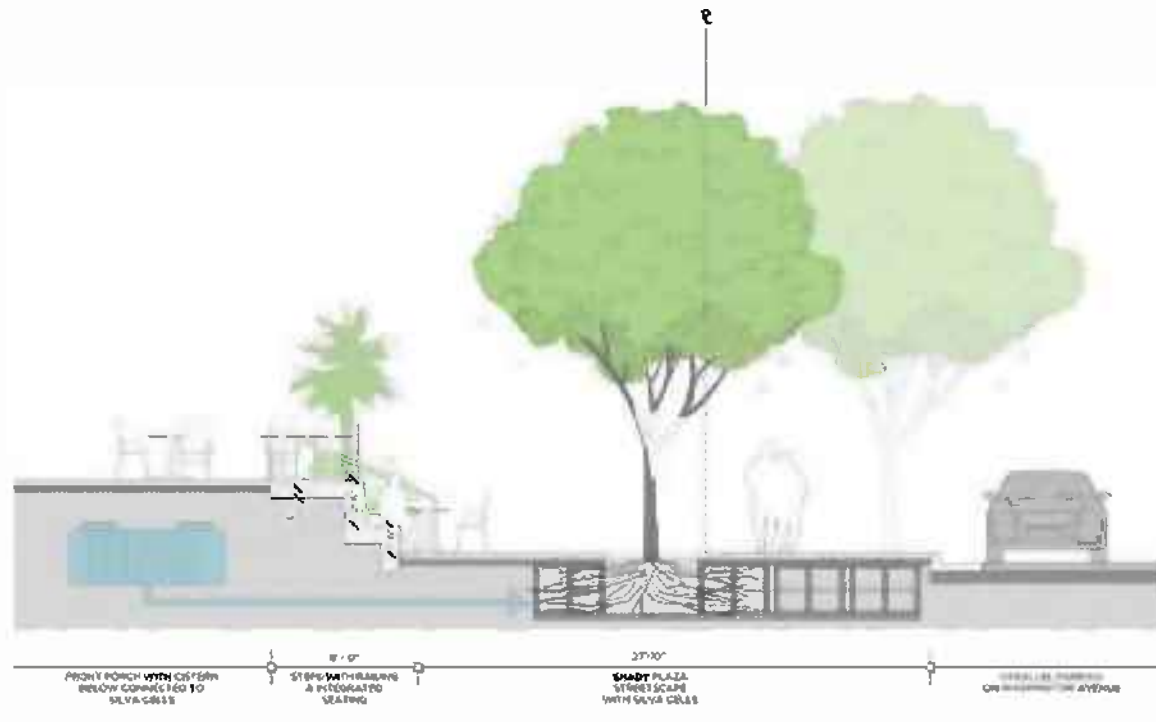
ILLUSTRATIVE SITE PLAN

URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

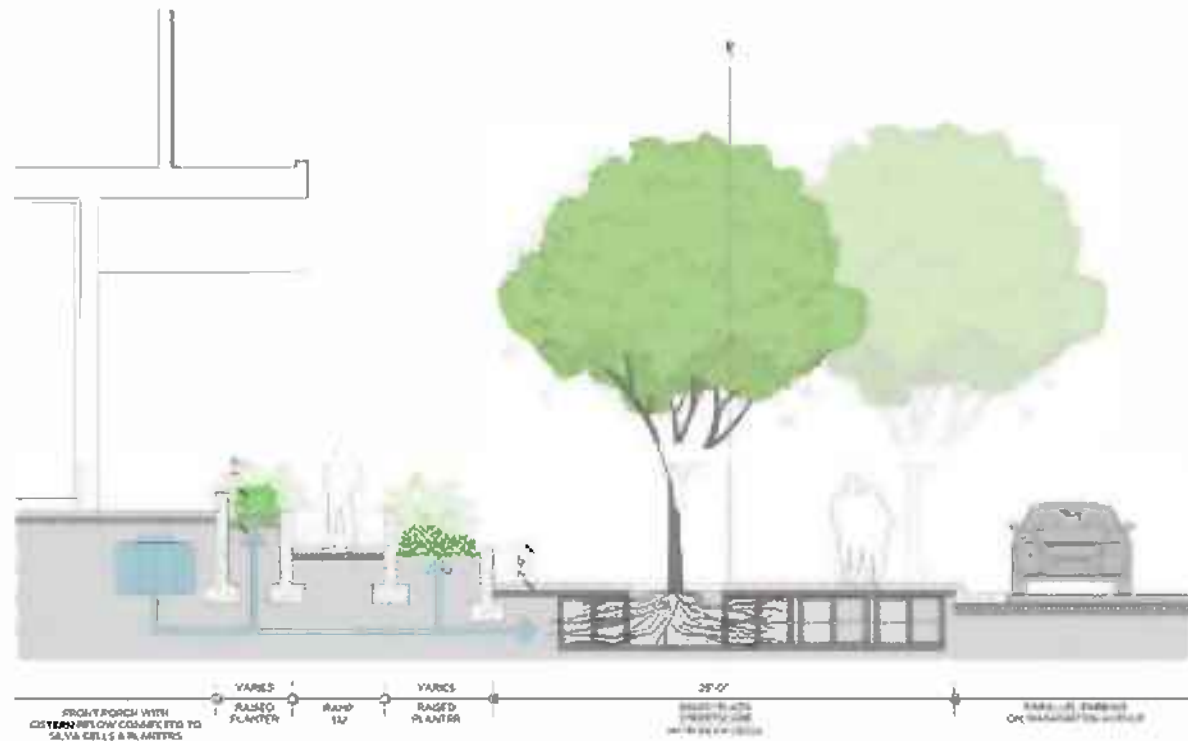
cadence No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Cadence Landscape Architects. All designs indicated in these drawings are property of Cadence LLC.



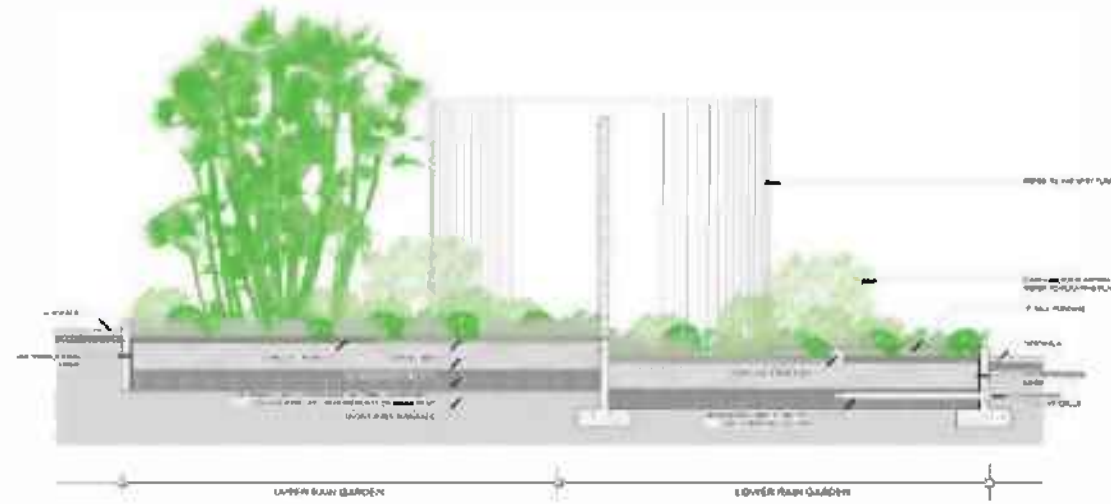
A SCREEN WALL AND PARKING LOT



B FRONT PORCH STEPS



C RAMP & SHADY PLAZA



D RAIN GARDEN



URBIN WORK



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

URBAN ACTIVATION ON DREXEL AVENUE



③ CHARGING DESK



③ CHARGING DESK



① BICYCLE DESK



⑧ WATER FILLING STATION

LEGEND

1. 10 SHORT TERM PARKING - BICYCLE DESK
2. 5' HIGH GATE
3. CHARGING DESK (OUTDOOR CONFERENCE ROOM)
4. 7' HIGH SOUND ATTENUATION WALL
5. SOLAR CANOPY
6. PERMEABLE PAVERS
7. MIAMI BEACH PINK SIDEWALK
8. COMMUNITY WATER FILLING STATION
9. ELECTRIC SHUTTLE
10. 10 LONG TERM BIKE PARKING



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



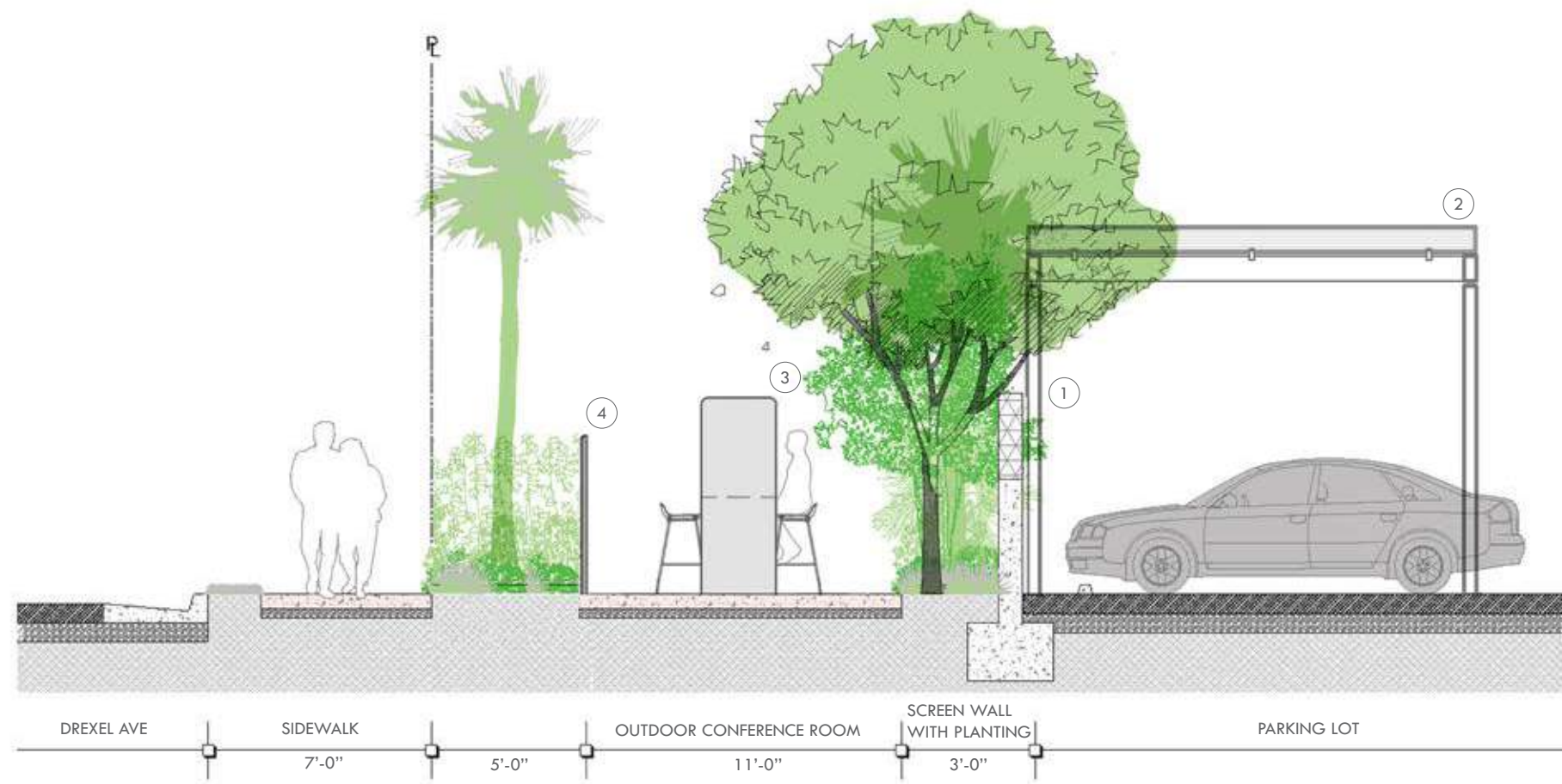
No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

URBAN ACTIVATION ON DREXEL AVENUE

SCALE: N/A

A-43

HISTORIC PRESERVATION BOARD - PRESENTATION - 31 JULY 2020



LEGEND

- 1. 7' SOUND ATTENUATION WALL
- 2. SOLAR CARPORT
- 3. OUTDOOR TABLE W/ SOLAR PHONE CHARGING STATION
- 4. 5' FENCE



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

DREXEL AVENUE - SECTION DETAIL

SCALE: N/A

A-44



VIEW FROM OUTDOOR CONFERENCE ROOM ON DREXEL



VIEW FROM DREXEL AVENUE

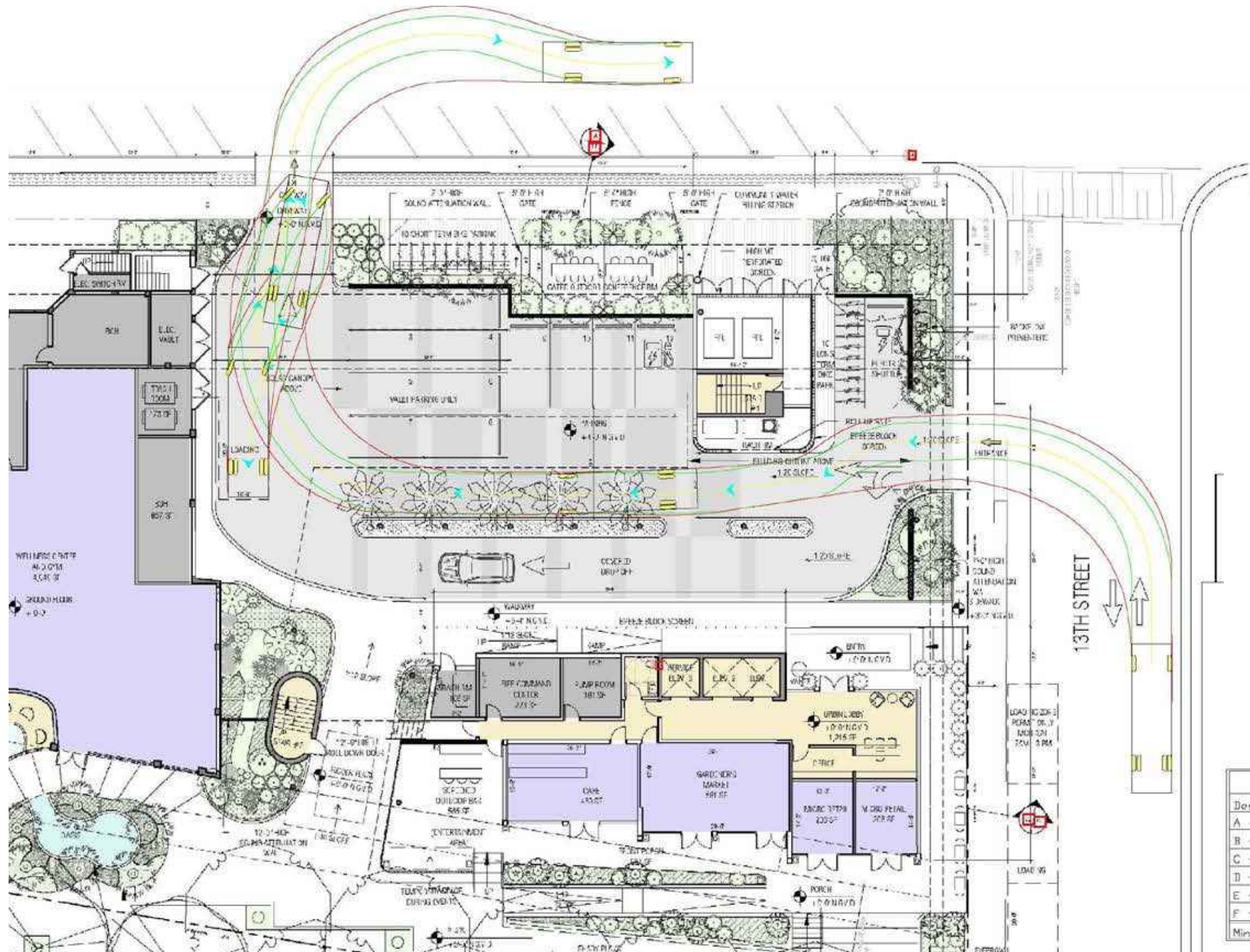
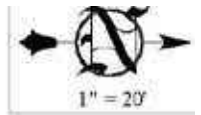


URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

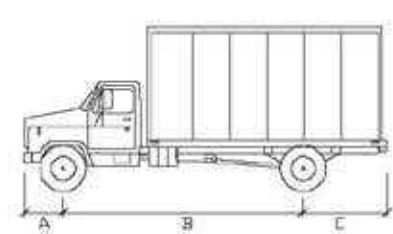


No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

PROPOSED SITE VIEWS ON DREXEL AVENUE



SINGLE UNIT TRUCK DETAIL



Description	GB Ft.	GBm M
A - Front Overhang	4.0	1.2
B - Wheelbase	20.0	6.1
C - Rear Overhang	6.0	1.8
D - Width	8.5	2.6
E - Track	8.5	2.6
F - Steering Angle (deg)	31.6	31.6
Minimum Turning Radius	37.8	11.5



PROJECT DATA

I. SITE DATA SUMMARY

ZONING CLASSIFICATION:	CD-2 COMMERCIAL, MEDIUM INTENSITY DISTRICT
HISTORIC DISTRICT	FLAMINGO PARK HISTORIC DISTRICT
FEMA ZONE	AE (EL. + 8.00' NGVD)
GROSS LOT AREA (2.0):	33,489 SF (0.7688 ACRE)
MAXIMUM F.A.R.	66,978 SF (2.0)

II. SETBACKS & YARD REQUIREMENTS

	REQUIRED	PROVIDED	VARIANCE
FRONT (Washington Ave):	up to 35' height 15'-0" above 35' height 30'-0"	15'-0" 30'-0"	
FRONT (Drexel Ave):	up to 35' height 15'-0" above 35' height 30'-0"	15'-0" 30'-0"	
SIDE STREET (13th Street):	7'-6"	7'-6"*	
SIDE INTERIOR (South Interior):	12'-6"	0'-0" EXISTING**	

III. F.A.R. SUMMARY

	ALLOWED	EXISTING	NEW CONSTRUCTION	PROVIDED
EXISTING OFFICE BUILDING:	NA	18,985 SF	NA	18,762 SF
NEW HOTEL AND CO-LIVE:	NA	NA	48,143 SF	48,143 SF
TOTAL F.A.R.:	66,978 SF	18,762 SF	48,143 SF	66,905 SF

IV. BUILDING STATISTICS

	ALLOWED	PROVIDED
NUMBER OF STORIES:	7	6
BUILDING HEIGHT (TOP OF ROOF SLAB)	75'-0" + 5'-0" FREEBOARD	71'-8" FROM FREEBOARD 84'-8" N.G.V.D.
BASE FLOOD ELEVATION	+8'-0"	
DESIGN BASE ELEVATION		+9'-0"

V. PROJECT GROSS AREA

EXISTING	NEW CONSTRUCTION
19,182 SF	82,622 SF

VI. PARKING

REQUIRED	PROVIDED
NA	11 SPACES WITH VALET SERVICE

VII. LOADING

REQUIRED	PROVIDED	WAIVER
4 (105 UNITS - 3 SPACES) (1618 SF - 1 SPACE)	1 OFF STREET 3 EXIST. ON STREET	CODE SECTION 130-101(D) TO REDUCE BY 3 THE OFF-STREET LOADING

*SUM OF THE SIDE SETBACKS SHALL EQUAL 16 % OF LOT WIDTH OR A MIN. OF SEVEN AND ONE HALF FEET UP TO 20 FEET

** RESIDENTIAL AND HOTEL USES: SUM OF THE SIDE SETBACKS SHALL EQUAL 16 % OF LOT WIDTH OR A MIN. OF SEVEN AND ONE-HALF FEET OR EIGHT % OF LOT WIDTH, WHICHEVER IS GREATER. WHEN ABUTTING A NONRESIDENTIAL OR NON-HOTEL USE, THE MIN. INTERIOR SIDE SETBACK SHALL BE SEVEN AND ONE-HALF FEET, AND THE MIN. SUM OF THE SIDE SETBACKS SHALL EQUAL 16% OF THE LOT WIDTH, UP TO 20 FEET.



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

PROJECT DATA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

URBIN RETREAT NEW CONSTRUCTION		URBIN RETREAT NEW CONSTRUCTION - balconies and site		URBIN RETREAT EXISTING BUILDING	
GROUND FLOOR		GROUND FLOOR		GROUND FLOOR	
Retail GSF	1,481 SF	Retail outdoor bar GSF	565 SF	Retail GSF	5,125 SF
Office GSF				Office GSF	455 SF
Residential GSF	1,552 SF	Residential porche GSF	981 SF	Residential GSF	
BOH GSF	483 SF	Site gross area (exterior paved)	18,098 SF	BOH GSF	1,803 SF
Lodging GSF				Lodging GSF	
SUB-TOTAL	3,496 SF	SUB-TOTAL	19,644 SF	SUB-TOTAL	7,383 SF
2ND FLOOR		2ND FLOOR		2ND FLOOR	
Office GSF				Office GSF	7,119 SF
Residential GSF	8,502 SF	Residential balconies GSF	3,202 SF	Residential GSF	
BOH GSF	158 SF			BOH GSF	411 SF
Lodging GSF				Lodging GSF	
SUB-TOTAL	8,660 SF	SUB-TOTAL	3,202 SF	SUB-TOTAL	7,530 SF
3RD FLOOR		3RD FLOOR		3RD FLOOR	
Office GSF				Office GSF	3,615 SF
Residential GSF	8,493 SF	Residential balconies GSF	1,152 SF	Residential GSF	
BOH GSF	167 SF	Office activated terrace GSF	907 SF	BOH GSF	
Lodging GSF				Lodging GSF	
SUB-TOTAL	8,660 SF	SUB-TOTAL	2,059 SF	SUB-TOTAL	3,615 SF
4TH FLOOR		4TH FLOOR		4TH FLOOR	
Office GSF				Office GSF	455 SF
Residential GSF		Residential balconies GSF	727 SF	Residential GSF	
BOH GSF	302 SF			BOH GSF	199 SF
Lodging GSF	9,002 SF			Lodging GSF	
SUB-TOTAL	9,304 SF	SUB-TOTAL	727 SF	SUB-TOTAL	654 SF
5TH FLOOR		5TH FLOOR		5TH FLOOR	
Office GSF				Office GSF	
Residential GSF				Residential GSF	
BOH GSF	172 SF			BOH GSF	
Lodging GSF	8,491 SF	Lodging balconies GSF	562 SF	Lodging GSF	
SUB-TOTAL	8,663 SF	SUB-TOTAL	562 SF	SUB-TOTAL	
6TH FLOOR		6TH FLOOR		6TH FLOOR	
Office GSF				Office GSF	
Residential GSF				Residential GSF	
BOH GSF	172 SF			BOH GSF	
Lodging GSF	8,491 SF	Lodging balconies GSF	1,108 SF	Lodging GSF	
SUB-TOTAL	8,663 SF	SUB-TOTAL	1,108 SF	SUB-TOTAL	
ROOF		ROOF		ROOF	
Office GSF				Office GSF	
Residential GSF				Residential GSF	
BOH GSF				BOH GSF	
Lodging GSF	758 SF	Roof open deck and pool SF	7,116 SF	Lodging GSF	
SUB-TOTAL	758 SF	SUB-TOTAL	7,116 SF	SUB-TOTAL	
SUB-TOTAL		SUB-TOTAL		SUB-TOTAL	
Retail GSF	1,481 SF	Retail outdoor bar GSF	565 SF	Retail GSF	5,125 SF
Office GSF	0 SF	Outdoor porche GSF	981 SF	Office GSF	11,844 SF
Residential GSF	18,547 SF	Residential balconies and terraces GSF	5,081 SF	Residential GSF	0 SF
BOH GSF	1,282 SF	Site GSF	18,098 SF	BOH GSF	2,413 SF
Lodging GSF	18,251 SF	Lodging balconies and roof deck GSF	9,693 SF	Lodging GSF	0 SF
TOTAL GROSS SF	48,204 SF	TOTAL GROSS SF	34,418 SF	TOTAL GROSS EXISTING SF	19,182 SF
		TOTAL GROSS NEW CONSTRUCTION SF			
		82,622 SF			



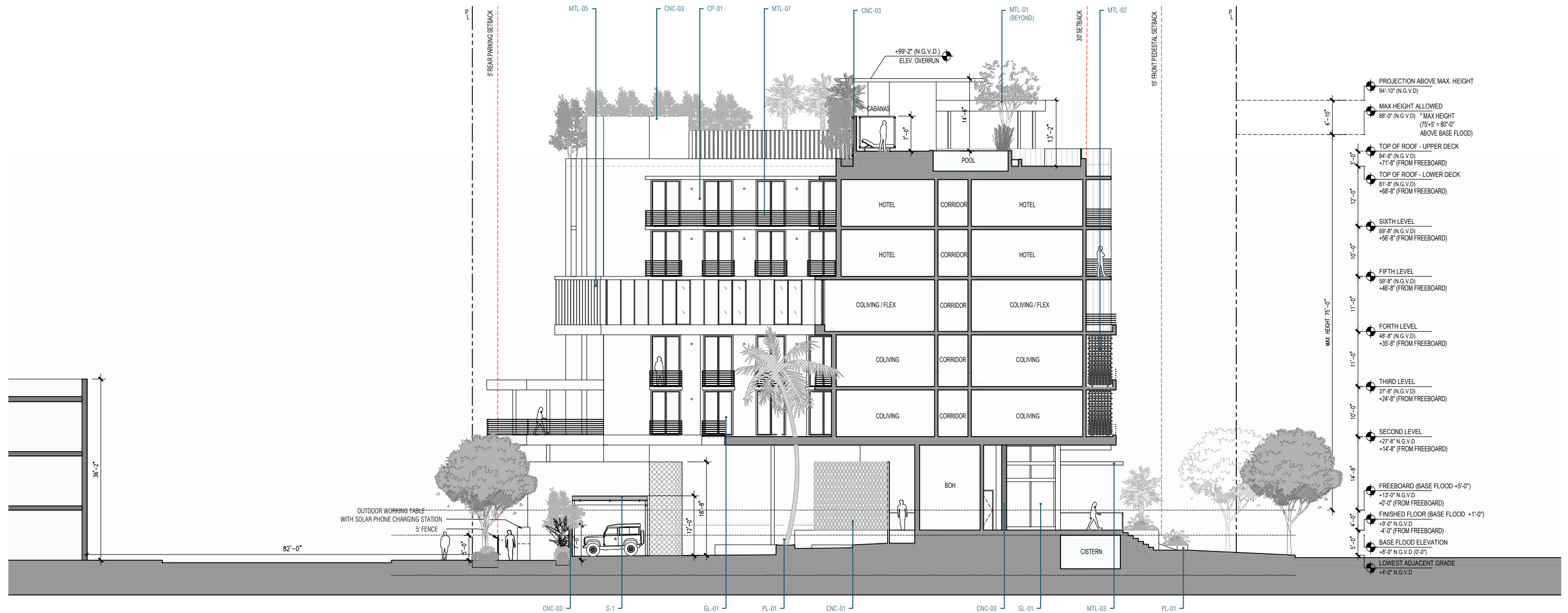
URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

AREA CALCULATIONS

A-12.25



MATERIAL LEGEND

CP-01	EXTERIOR CEMENT PLASTER - SMOOTH FINISH - MEDIUM GRAY	GL-01	LAMINATED TINTED GLASS UNITS W/ LARGE MISSILE IMPACT CLEAR INTERLAYER GRAY KYNAR FINISH ON METAL FRAME	MTL-06	STRUCTURAL STEEL MEMBERS CLADDED IN ALUMINUM BREAK METAL FINISH TO MATCH STOREFRONT FRAMES
CP-02	EXTERIOR CEMENT PLASTER - SMOOTH FINISH - LIGHT GRAY	GL-02	TEMPERED FRITTED GLASS	MTL-07	METAL HANDRAIL / TOP RAIL
CP-03	EXTERIOR CEMENT PLASTER - SMOOTH FINISH - COLOR TBD	MTL-01	PRE-PATINATED COPPER PANELS	MTL-08	METAL PERFORATED SCREEN - PATTERN TBD - HEIGHTS VARY
CNC-01	CEMENT BREEZE BLOCK - PATTERN TBD	MTL-02	DECORATIVE METAL SCREEN DIVIDERS - PATTERN TBD	PL-01	LANDSCAPE FEATURE
CNC-02	CONCRETE EYEBROW W/ 5/8\"/>				

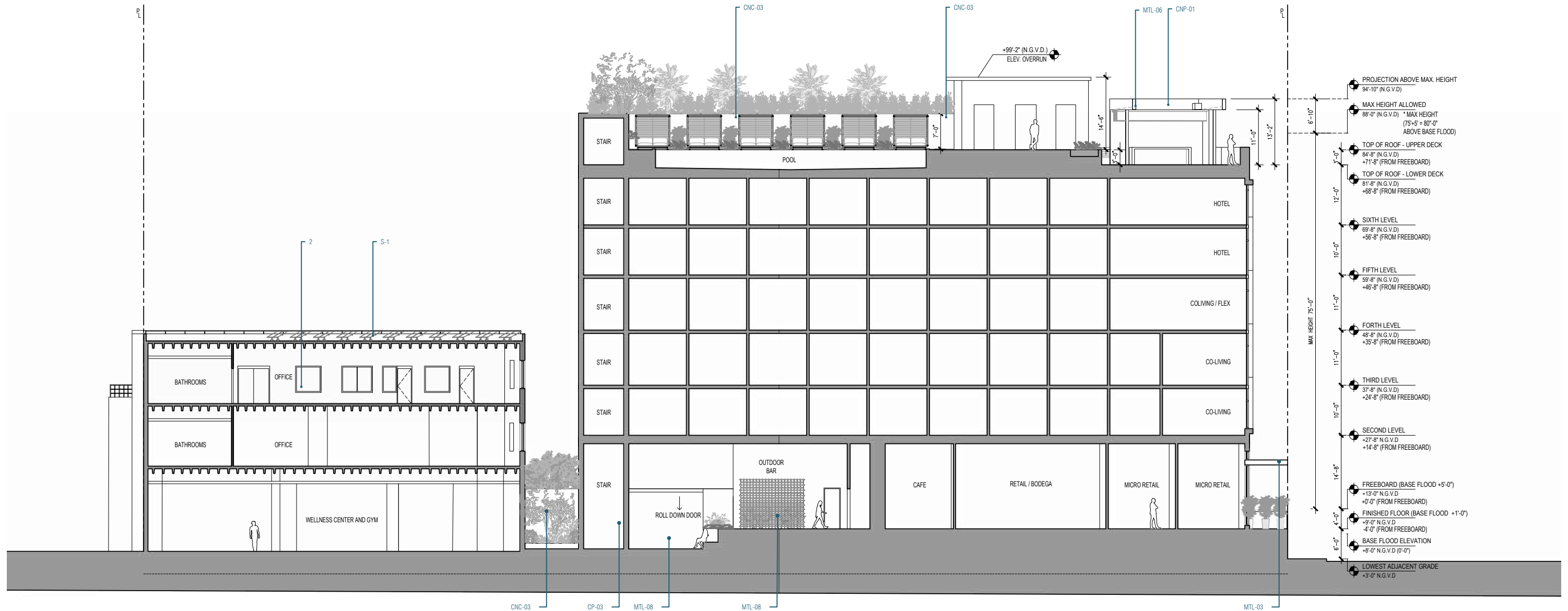


PROPOSED SECTION LOOKING NORTH

SCALE: 1:20

URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

TOUZET STUDIO
No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.



MATERIAL LEGEND

- | | |
|---|--|
| CP-01 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - MEDIUM GRAY | GL-01 LAMINATED TINTED GLASS UNITS W/ LARGE MISSILE IMPACT CLEAR INTERLAYER GRAY KYNAR FINISH ON METAL FRAME |
| CP-02 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - LIGHT GRAY | GL-02 TEMPERED FRITTED GLASS |
| CP-03 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - COLOR TBD | MTL-01 PRE-PATINATED COPPER PANELS |
| CNC-01 CEMENT BREEZE BLOCK - PATTERN TBD | MTL-02 DECORATIVE METAL SCREEN DIVIDERS - PATTERN TBD |
| CNC-02 CONCRETE EYEBROW W/ 5/8" EXTERIOR CEMENT PLASTER SMOOTH FINISH - WHITE | MTL-03 LIGHT GRAY CANOPY |
| CNC-03 SOUND ATTENUATION WALL - HEIGHTS VARY | MTL-04 VERTICAL PANELS- GRAY AND WHITE |
| CNP-01 RETRACTABLE ROOF | MTL-05 VERTICAL LOUVERS - GRAY AND WHITE |

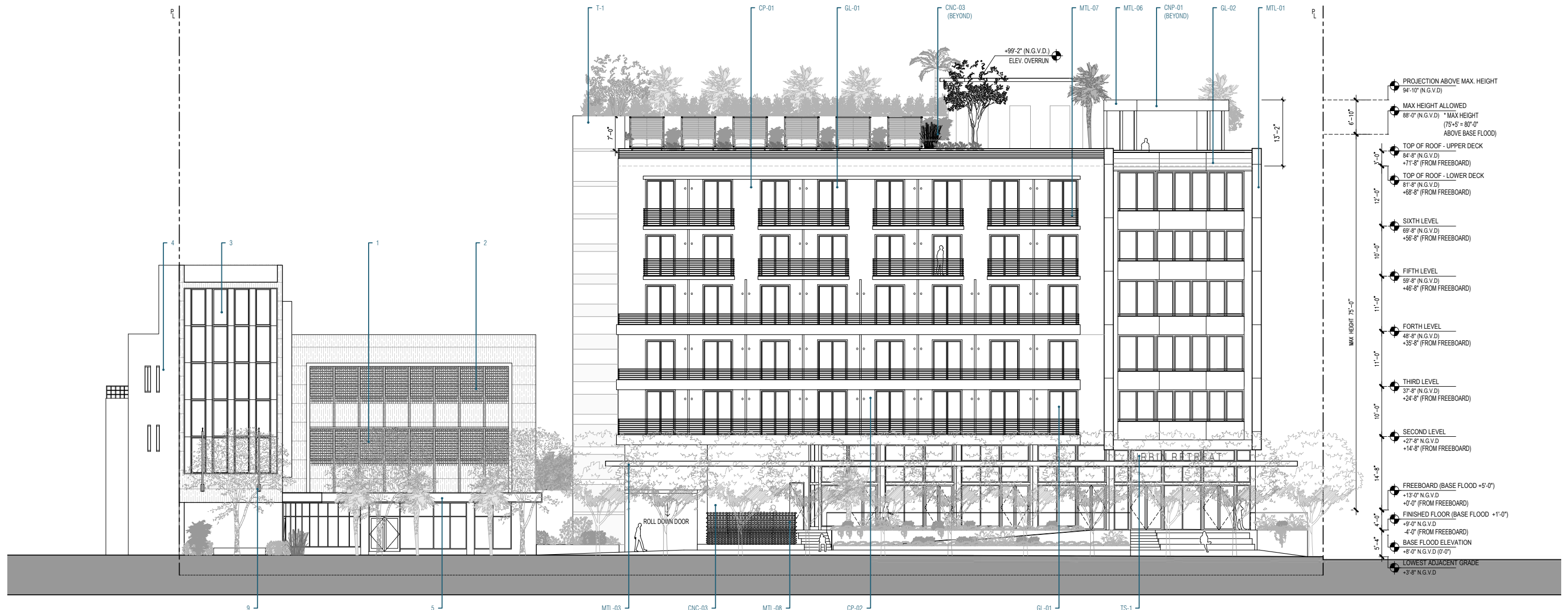
HISTORIC PRESERVATION LEGEND

- | | |
|---|--|
| 1 | HISTORIC METAL BRISE SOLEIL TO BE RESTORED |
| 2 | EXISTING GLAZING TO BE REPLACED W/ CODE COMPLIANT SYSTEM |
| 3 | ORIGINAL HISTORIC RAIN SCREEN TO BE RESTORED AND INSTALLED W/ CODE COMPLIANT GLAZING |
| 4 | EXISTING STONE PANELS TO BE REPAIRED AS NEEDED |
| 5 | RESTORE ORIGINAL CANOPY |
| 6 | NEW GLASS OPENING TO MATCH EXISTING WINDOWS |
| 7 | NEW TOP RAILING TO ACHIEVE MIN. HEIGHT REQUIRED BY CODE |
| 8 | NEW RETRACTABLE ROOF |
| 9 | HISTORIC FLAG POLES TO BE RESTORED |

URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

TOUZET STUDIO
 No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

0' 5' 10' 25' 50'
PROPOSED SECTION LOOKING WEST
 SCALE: 1:20



MATERIAL LEGEND

CP-01	5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - MEDIUM GRAY	GL-01	LAMINATED TINTED GLASS UNITS W/ LARGE MISSILE IMPACT CLEAR INTERLAYER GRAY KYNAR FINISH ON METAL FRAME	MTL-06	STRUCTURAL STEEL MEMBERS CLADDED IN ALUMINUM BREAK METAL FINISH TO MATCH STOREFRONT FRAMES
CP-02	5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - LIGHT GRAY	GL-02	TEMPERED FRITTED GLASS	MTL-07	METAL HANDRAIL / TOP RAIL
CP-03	5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - COLOR TBD	MTL-01	PRE-PATINATED COPPER PANELS	MTL-08	METAL PERFORATED SCREEN - PATTERN TBD - HEIGHTS VARY
CNC-01	CEMENT BREEZE BLOCK - PATTERN TBD	MTL-02	DECORATIVE METAL SCREEN DIVIDERS - PATTERN TBD	PL-01	LANDSCAPE FEATURE
CNC-02	CONCRETE EYEBROW W/ 5/8" EXTERIOR CEMENT PLASTER SMOOTH FINISH - WHITE	MTL-03	LIGHT GRAY CANOPY	PL-02	PLANTED TRELLIS STRUCTURE
CNC-03	SOUND ATTENUATION WALL - HEIGHTS VARY	MTL-04	VERTICAL PANELS- GRAY AND WHITE	S-1	SOLAR CANOPY ON METAL GRAY FRAME
CNP-01	RETRACTABLE ROOF	MTL-05	VERTICAL LOUVERS - GRAY AND WHITE	T-1	MOSAIC TILE AND STUCCO PATTERN
				TS-01	TENANT SIGNAGE (UNDER SEPARATE SUBMITTAL)

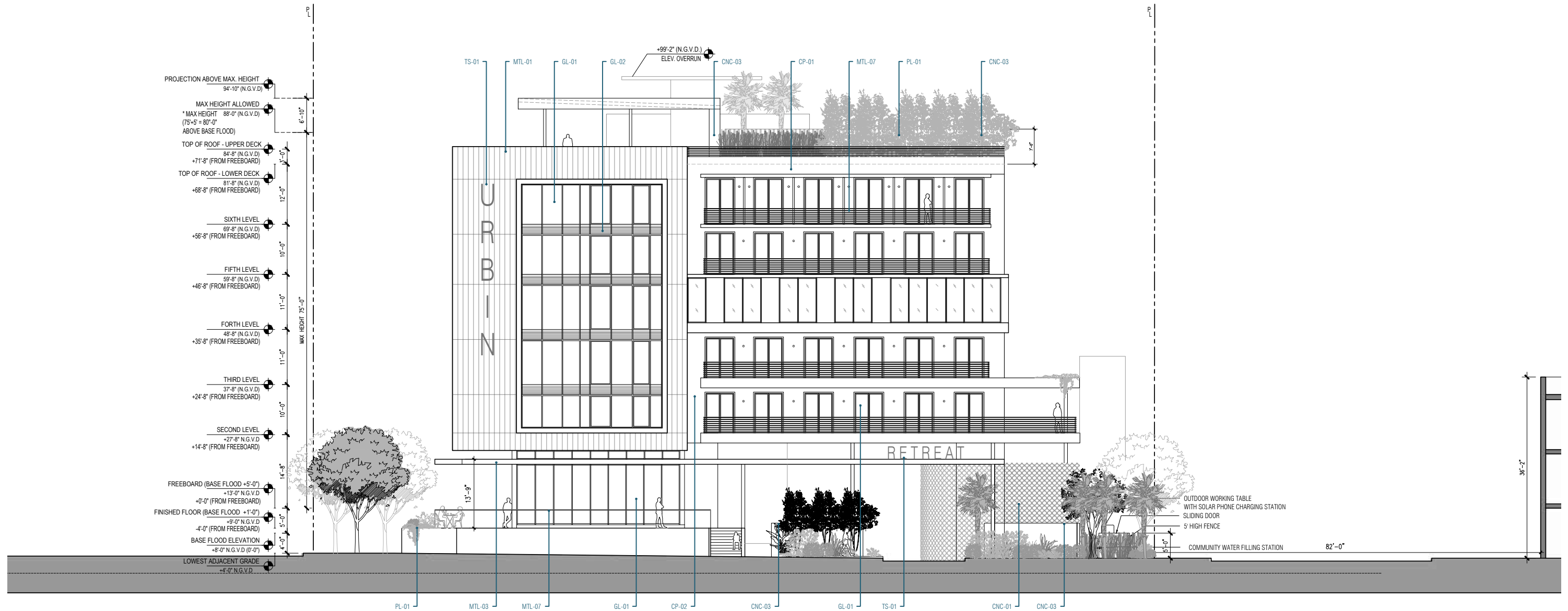
HISTORIC PRESERVATION LEGEND

- 1 HISTORIC METAL BRISE SOLEIL TO BE RESTORED
- 2 EXISTING GLAZING TO BE REPLACED W/ CODE COMPLIANT SYSTEM
- 3 ORIGINAL HISTORIC RAIN SCREEN TO BE RESTORED AND INSTALLED W/ CODE COMPLIANT GLAZING
- 4 EXISTING STONE PANELS TO BE REPAIRED AS NEEDED
- 5 RESTORE ORIGINAL CANOPY
- 6 NEW GLASS OPENING TO MATCH EXISTING WINDOWS
- 7 NEW TOP RAILING TO ACHIEVE MIN. HEIGHT REQUIRED BY CODE
- 8 NEW RETRACTABLE ROOF
- 9 HISTORIC FLAG POLES TO BE RESTORED

URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

PROPOSED ELEVATION: WASHINGTON AVENUE
 SCALE: 1:20

No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.



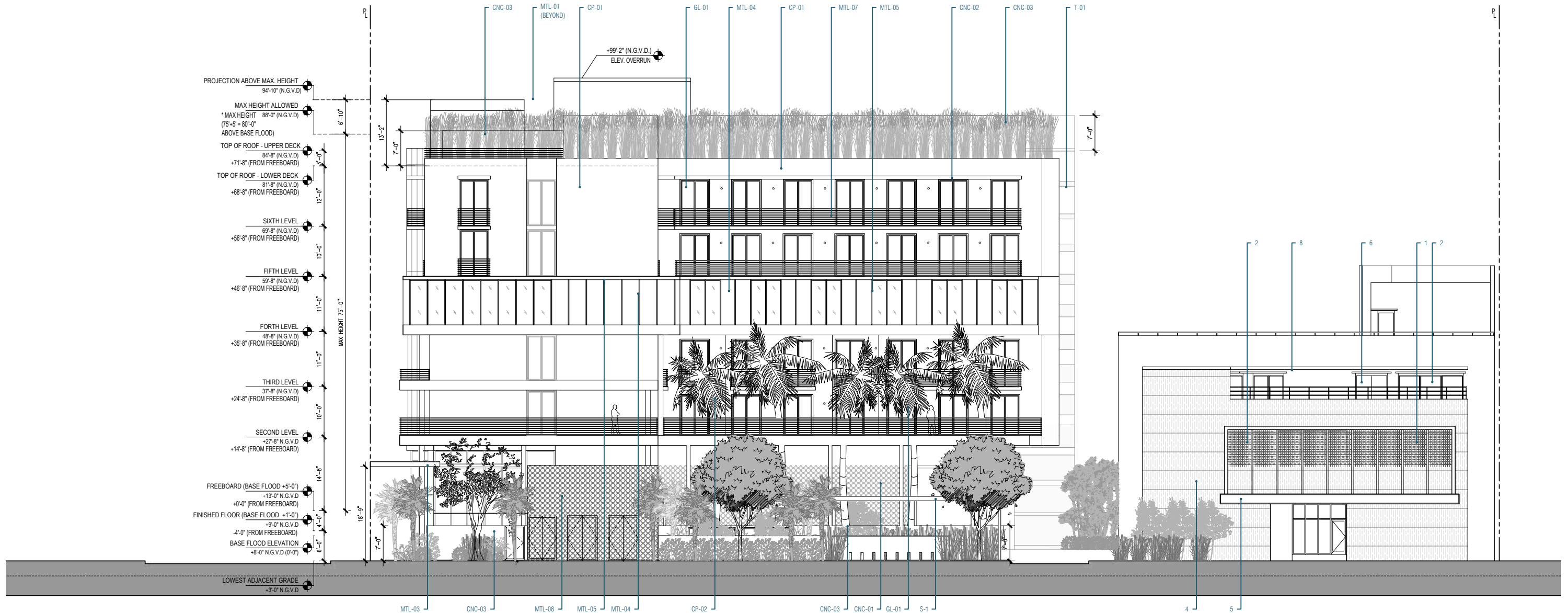
MATERIAL LEGEND

CP-01 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - MEDIUM GRAY	GL-01 LAMINATED TINTED GLASS UNITS W/ LARGE MISSILE IMPACT CLEAR INTERLAYER GRAY KYNAR FINISH ON METAL FRAME	MTL-06 STRUCTURAL STEEL MEMBERS CLADDED IN ALUMINUM BREAK METAL FINISH TO MATCH STOREFRONT FRAMES
CP-02 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - LIGHT GRAY	GL-02 TEMPERED FRITTED GLASS	MTL-07 METAL HANDRAIL / TOP RAIL
CP-03 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - COLOR TBD	MTL-01 PRE-PATINATED COPPER PANELS	MTL-08 METAL PERFORATED SCREEN - PATTERN TBD - HEIGHTS VARY
CNC-01 CEMENT BREEZE BLOCK - PATTERN TBD	MTL-02 DECORATIVE METAL SCREEN DIVIDERS - PATTERN TBD	PL-01 LANDSCAPE FEATURE
CNC-02 CONCRETE EYEBROW W/ 5/8" EXTERIOR CEMENT PLASTER SMOOTH FINISH - WHITE	MTL-03 LIGHT GRAY CANOPY	PL-02 PLANTED TRELLIS STRUCTURE
CNC-03 SOUND ATTENUATION WALL - HEIGHTS VARY	MTL-04 VERTICAL PANELS- GRAY AND WHITE	S-1 SOLAR CANOPY ON METAL GRAY FRAME
CNP-01 RETRACTABLE ROOF	MTL-05 VERTICAL LOUVERS - GRAY AND WHITE	T-1 MOSAIC TILE AND STUCCO PATTERN
		TS-01 TENANT SIGNAGE (UNDER SEPARATE SUBMITTAL)



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

PROPOSED ELEVATION: 13TH STREET
SCALE: 1:20



MATERIAL LEGEND

- CP-01 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - MEDIUM GRAY
- CP-02 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - LIGHT GRAY
- CP-03 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - COLOR TBD
- CNC-01 CEMENT BREEZE BLOCK - PATTERN TBD
- CNC-02 CONCRETE EYEBROW W/ 5/8" EXTERIOR CEMENT PLASTER SMOOTH FINISH - WHITE
- CNC-03 SOUND ATTENUATION WALL - HEIGHTS VARY
- CNP-01 RETRACTABLE ROOF

- GL-01 LAMINATED TINTED GLASS UNITS W/ LARGE MISSILE IMPACT CLEAR INTERLAYER GRAY KYNAR FINISH ON METAL FRAME
- GL-02 TEMPERED FRITTED GLASS
- MTL-01 PRE-PATINATED COPPER PANELS
- MTL-02 DECORATIVE METAL SCREEN DIVIDERS - PATTERN TBD
- MTL-03 LIGHT GRAY CANOPY
- MTL-04 VERTICAL PANELS- GRAY AND WHITE
- MTL-05 VERTICAL LOUVERS - GRAY AND WHITE

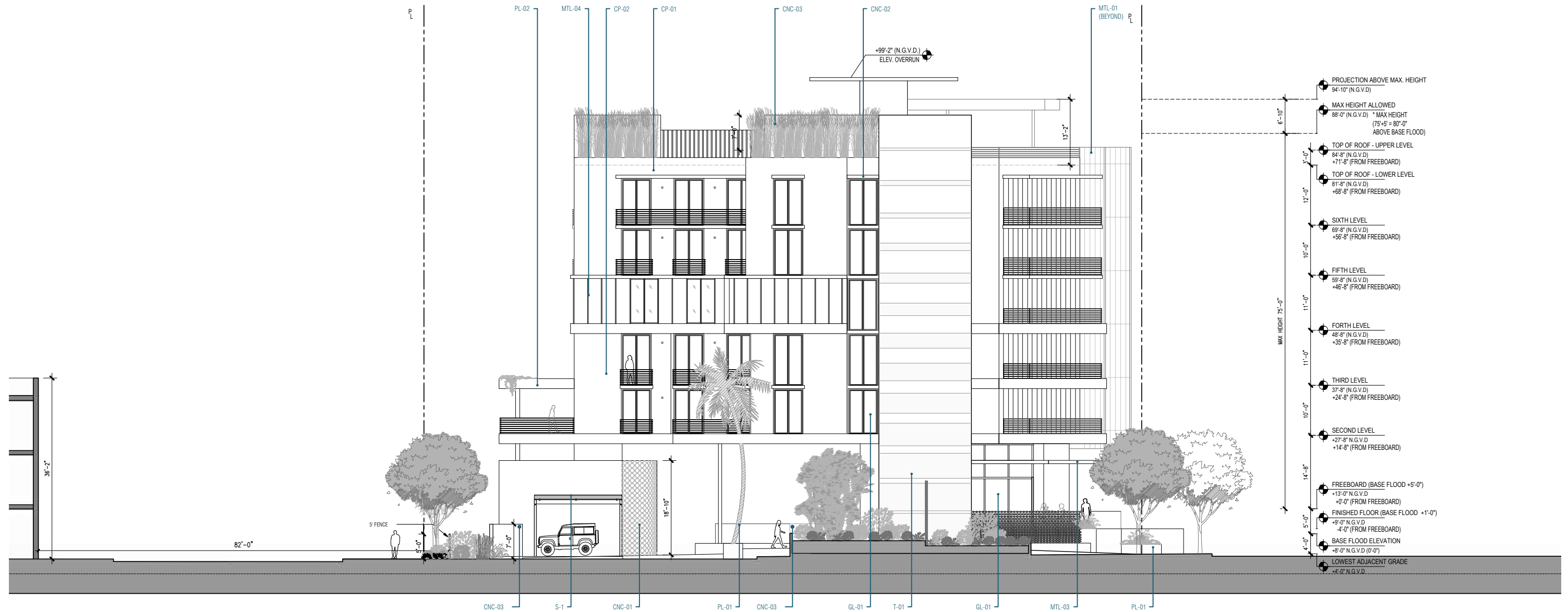
- MTL-06 STRUCTURAL STEEL MEMBERS CLADDED IN ALUMINUM BREAK METAL FINISH TO MATCH STOREFRONT FRAMES
- MTL-07 METAL HANDRAIL / TOP RAIL
- MTL-08 METAL PERFORATED SCREEN - PATTERN TBD - HEIGHTS VARY
- PL-01 LANDSCAPE FEATURE
- PL-02 PLANTED TRELLIS STRUCTURE
- S-1 SOLAR CANOPY ON METAL GRAY FRAME
- T-1 MOSAIC TILE AND STUCCO PATTERN
- TS-01 TENANT SIGNAGE (UNDER SEPARATE SUBMITTAL)

HISTORIC PRESERVATION LEGEND

- 1 HISTORIC METAL BRISE SOLEIL TO BE RESTORED
- 2 EXISTING GLAZING TO BE REPLACED W/ CODE COMPLIANT SYSTEM
- 3 ORIGINAL HISTORIC RAIN SCREEN TO BE RESTORED AND INSTALLED W/ CODE COMPLIANT GLAZING
- 4 EXISTING STONE PANELS TO BE REPAIRED AS NEEDED
- 5 RESTORE ORIGINAL CANOPY
- 6 NEW GLASS OPENING TO MATCH EXISTING WINDOWS
- 7 NEW TOP RAILING TO ACHIEVE MIN. HEIGHT REQUIRED BY CODE
- 8 NEW RETRACTABLE ROOF
- 9 HISTORIC FLAG POLES TO BE RESTORED

URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

0' 5' 10' 25' 50'
PROPOSED ELEVATION: DREXEL AVENUE
SCALE: 1:20



MATERIAL LEGEND

CP-01	EXTERIOR CEMENT PLASTER - SMOOTH FINISH - MEDIUM GRAY	GL-01	LAMINATED TINTED GLASS UNITS W/ LARGE MISSILE IMPACT CLEAR INTERLAYER GRAY KYNAR FINISH ON METAL FRAME	MTL-06	STRUCTURAL STEEL MEMBERS CLADDED IN ALUMINUM BREAK METAL FINISH TO MATCH STOREFRONT FRAMES
CP-02	EXTERIOR CEMENT PLASTER - SMOOTH FINISH - LIGHT GRAY	GL-02	TEMPERED FRITTED GLASS	MTL-07	METAL HANDRAIL / TOP RAIL
CP-03	EXTERIOR CEMENT PLASTER - SMOOTH FINISH - COLOR TBD	MTL-01	PRE-PATINATED COPPER PANELS	MTL-08	METAL PERFORATED SCREEN - PATTERN TBD - HEIGHTS VARY
CNC-01	CEMENT BREEZE BLOCK - PATTERN TBD	MTL-02	DECORATIVE METAL SCREEN DIVIDERS - PATTERN TBD	PL-01	LANDSCAPE FEATURE
CNC-02	CONCRETE EYEBROW W/ 5/8" EXTERIOR CEMENT PLASTER SMOOTH FINISH - WHITE	MTL-03	LIGHT GRAY CANOPY	PL-02	PLANTED TRELLIS STRUCTURE
CNC-03	SOUND ATTENUATION WALL - HEIGHTS VARY	MTL-04	VERTICAL PANELS- GRAY AND WHITE	S-1	SOLAR CANOPY ON METAL GRAY FRAME
CNP-01	RETRACTABLE ROOF	MTL-05	VERTICAL LOUVERS - GRAY AND WHITE	T-1	MOSAIC TILE AND STUCCO PATTERN
				TS-01	TENANT SIGNAGE (UNDER SEPARATE SUBMITTAL)

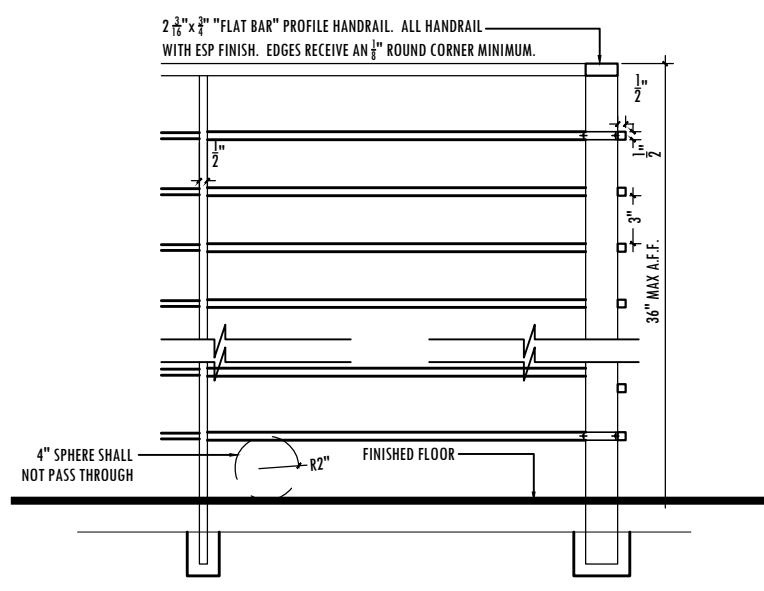
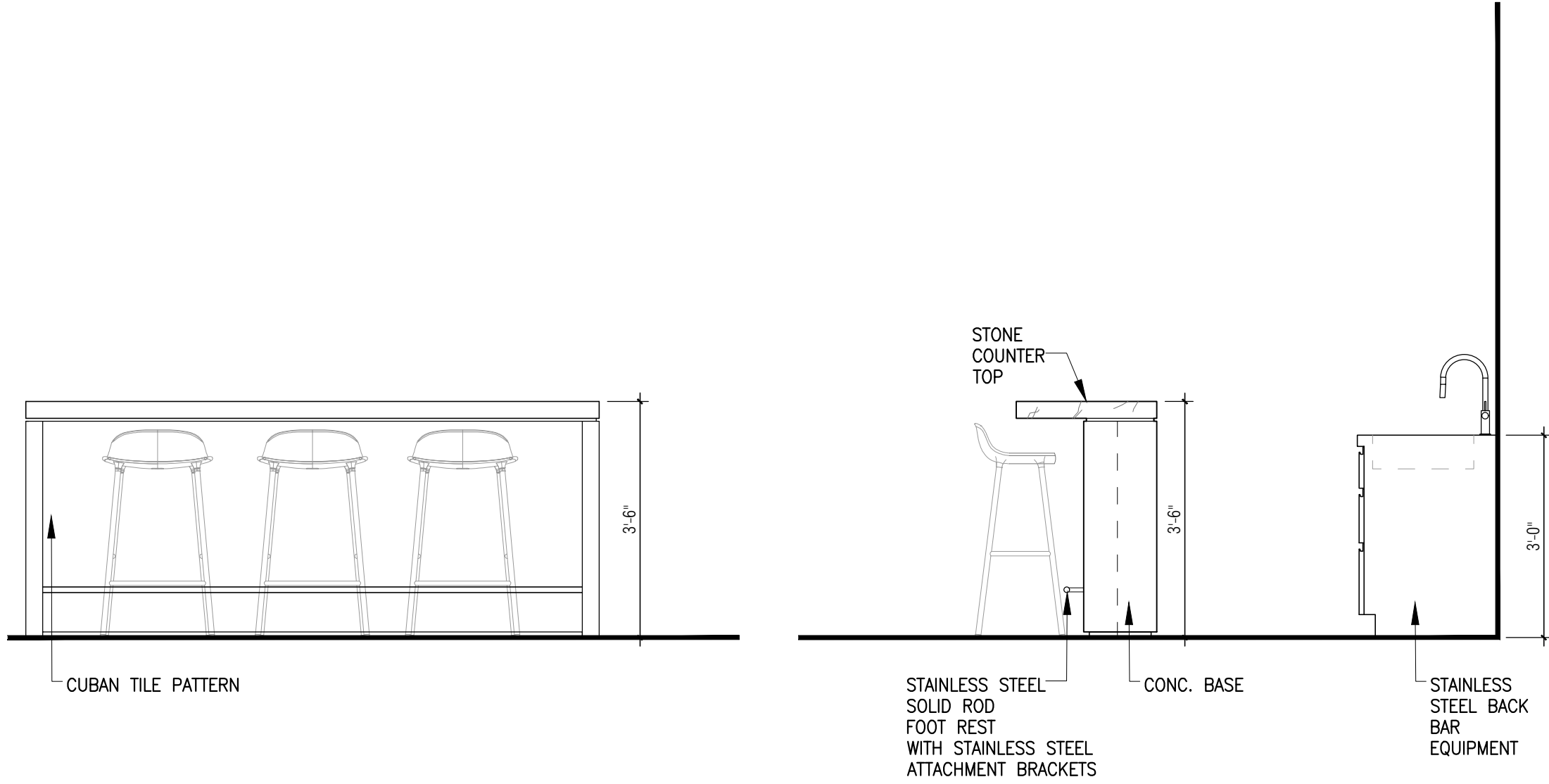
URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

PROPOSED SOUTH ELEVATION
 SCALE: 1:20

No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

A-34-0

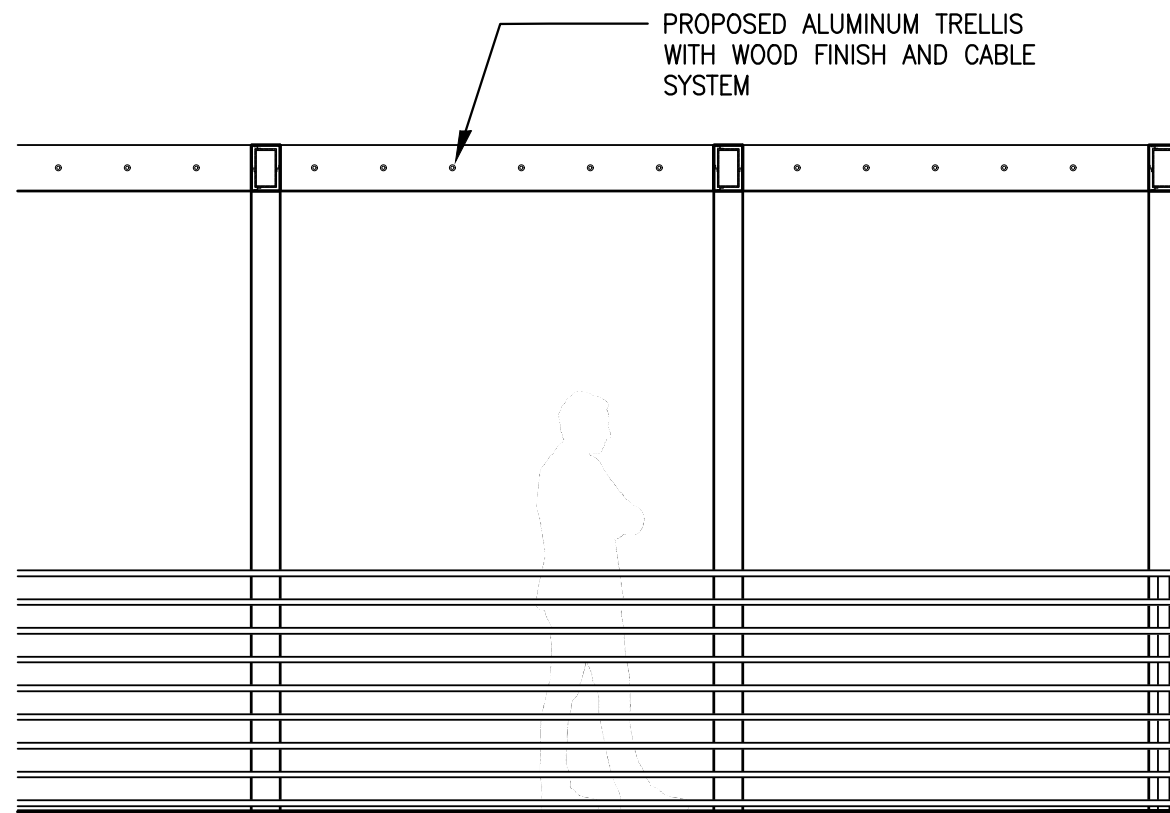
HISTORIC PRESERVATION BOARD - PRESENTATION - 31 JULY 2020



URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

GROUND FLOOR BAR AND GUARDRAIL DETAILS
 SCALE: 1/2"=1'-0"

TOUZET STUDIO
 No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

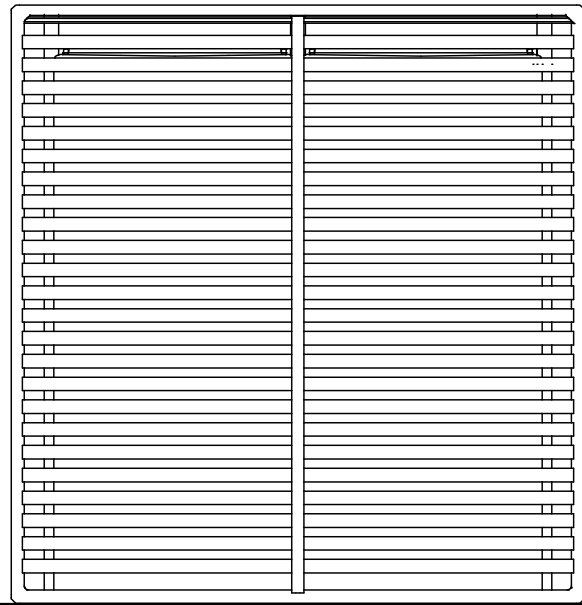


No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

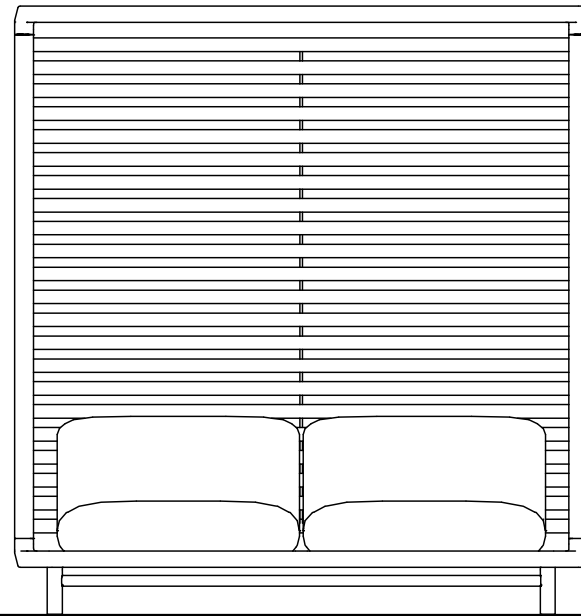
OUTDOOR TERRACE ON SECOND FLOOR - TRELLIS ROOF DETAIL

SCALE: 3/8" = 1'-0"

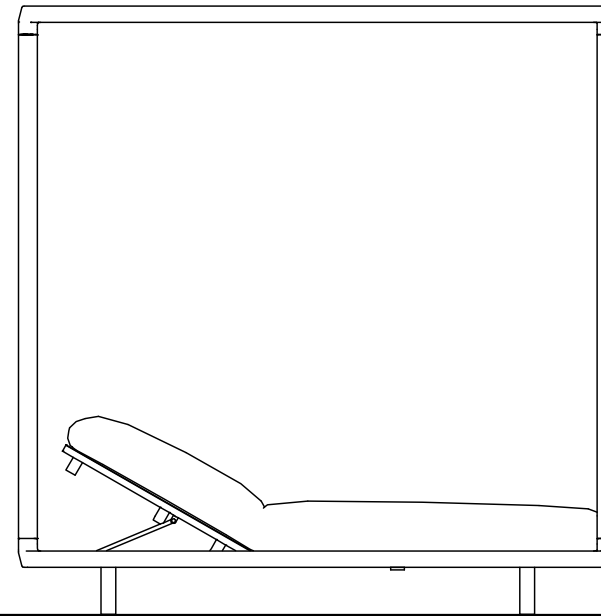
A-49



BACK



FRONT



SIDE



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

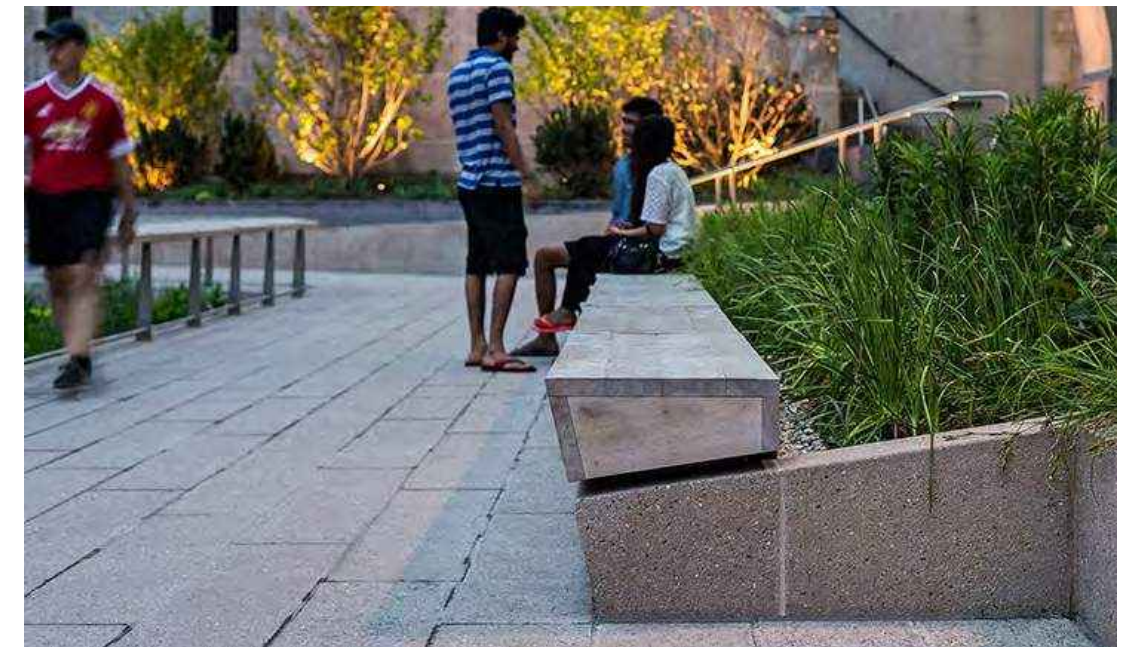


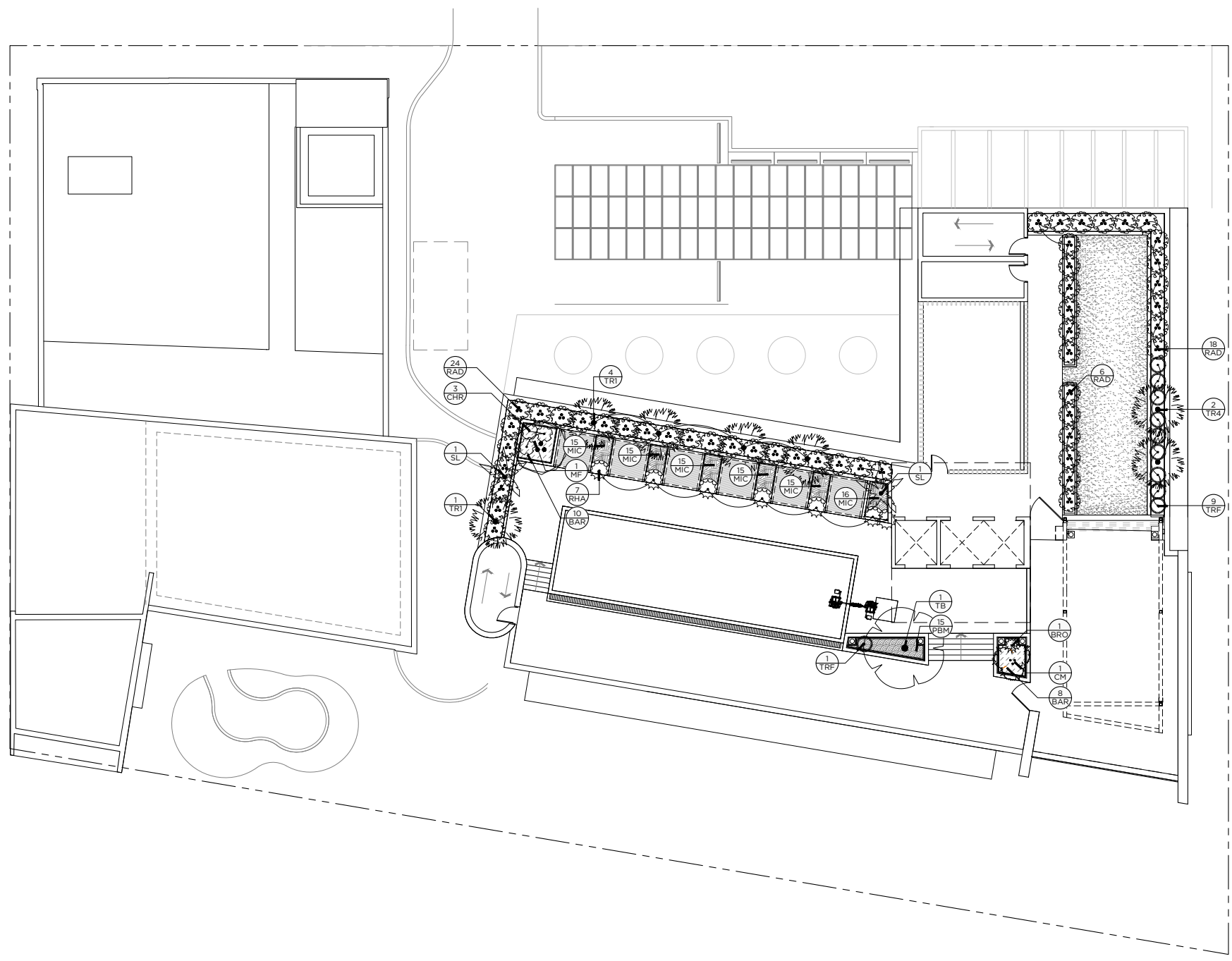
No copies, transmissions, reproductions or electronic manipulation of any portion of these drawings in whole or in part are to be made without the express written permission of Touzet Studio Design & Architecture. All designs indicated in these drawings are property of Touzet Studio Design & Architecture. All copyrights reserved (c) 2020.

ROOFTOP LEVEL - CABANA DETAILS

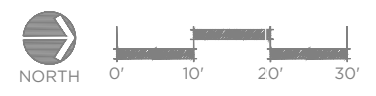
SCALE: 3/8"=1'0"

A-51






PLANT LIST - HOTEL ROOF			
TREES	QTY	BOTANICAL NAME	COMMON NAME
MF	1	Myrsine fragrans	Simpson's Stopper
TB	1	Tabebuia bahamensis	White Tabebuia
PALMS			
QTY	BOTANICAL NAME	COMMON NAME	
CH	1	Coccothrinax thalassina	Silver Palm
SL	5	Sabalera lutescens	Sabale Palm
TRI	5	Thrinax radiata	Florida Thatch Palm
TR4	2	Thrinax radiata	Florida Thatch Palm
SHRUBS			
QTY	BOTANICAL NAME	COMMON NAME	
CHR	3	Chrysobalanus icaco horizontalis	Horizontal Cocoplum
RAD	48	Radermachera sinica	China Doll
RHA	7	Rhaps excelsa	Lady Palm
BROMELIADS			
QTY	BOTANICAL NAME	COMMON NAME	
BRO	1	Assorted Bromeliads	Bromeliad
GRASSES			
QTY	BOTANICAL NAME	COMMON NAME	
TBF	10	Tripsacum floridanum	Florida Gamagrass
GROUND COVERS			
QTY	BOTANICAL NAME	COMMON NAME	
BAR	18	Mariera repens	Coral Creeper
MIC	91	Microsorium scolopendrum	Wax Fern
PBM	15	Philodendron 'Burla Mar'	Burla Mar Philodendron



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

LANDSCAPE PLAN - ROOF

Legend

-  Attracts hummingbirds
-  Food source and/or nesting site for small birds
-  Food source and/or shelter for small animals
-  Larval host plant for caterpillars
-  Attracts insect pollinators such as butterflies, moths, etc.
-  Florida Native

TREES AND PALMS

Leopard Tree
Cassipouira ferruginea





Green Buttonwood
Conocarpus erectus





Pitch Apple
Clusia major





White Tabebuia
Tabebuia roseo-Alba





Simpson's Stopper
Myrcianthes fragrans





Alexander Palm
Archontophoenix alexandrae





Miraguama Palm
Coccothrinax miraguama





Satake Palm
Sabalentia fukuensis





PALMS (CONT.)

Paurotis palm
Accolithapha wrightii





Florida Thatch Palm
Thrinax radiata





Old Man Palm
Coccothrinax crinita





Coconut Palm
Cocos nucifera





Lady Palm
Rhapsis excelsa





Dwarf Palmetto
Sabal minor





Silver Saw Palmetto
Serenoit repens





SHRUBS

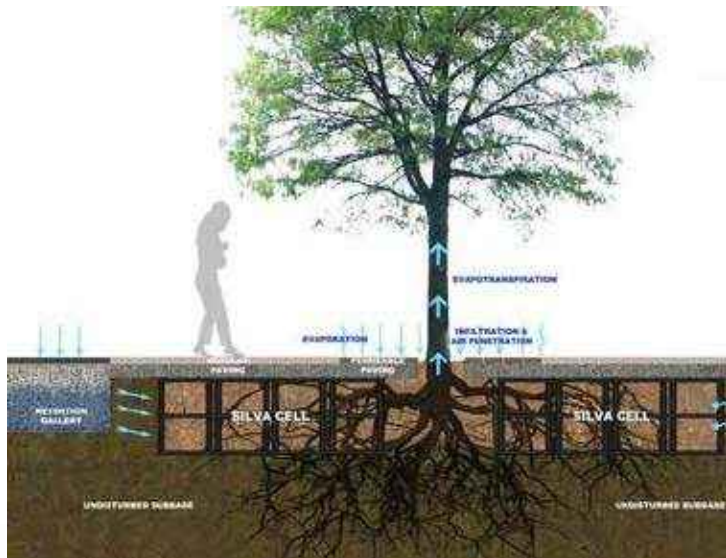
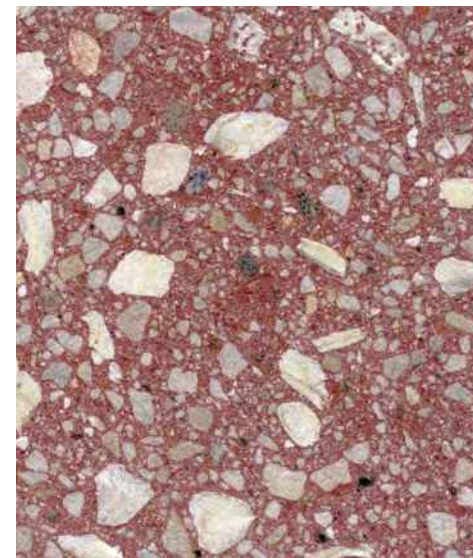
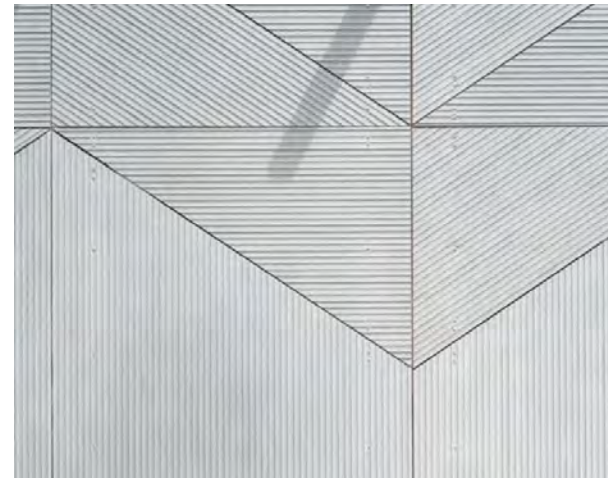


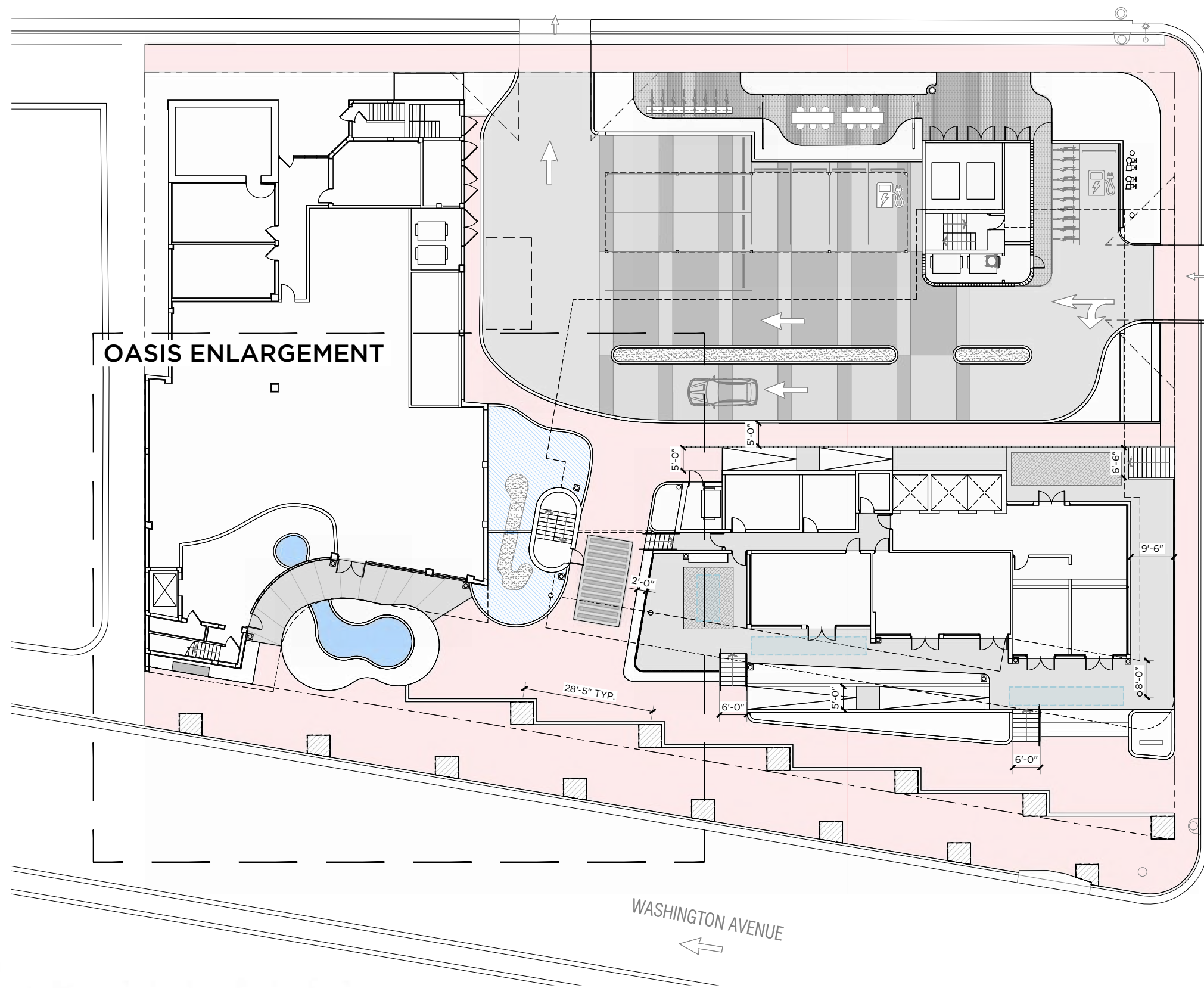
GRASSES, CYCADS AND FERNS



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

LANDSCAPE PLANTING PALETTE





HARDSCAPE LEGEND	
Symbol	Definition
	"Miami Beach Red" Concrete
	Concrete
	Textured Concrete
	Terrazzo
	Concrete Pavers Color: Alternating Grey Tones
	Terrazzo Tiles inlayed in Concrete
	Crushed Stone
	Silva Cell Suspended Pavement System
	Water Harvesting Cistern
	Rain Garden

HARDSCAPE NOTES:

- Information provided on this plan is general in nature; dimensions, areas, and distances are approximate and should be field verified prior to bidding. Discrepancies shall be reported to the landscape architect for resolution prior to starting work.
- The contractor is to thoroughly familiarize him/herself with all plans, specifications and the site prior to bidding. Failure to do so will not reduce the contractor's obligation to perform the work as described for the price bid.
- The contractor shall locate and verify the existence of all improvements and utilities (including those proposed with this project), i.e. irrigation, wastewater, water storm sewer, gas, underground electric, lighting conduit, pavement, etc. prior to starting work.
- The contractor is responsible for coordinating installation of material, equipment, irrigation sleeving, and lighting sleeving with other trades.
- No substitutions of material, equipment, furnishings, locations, etc. will be allowed without prior approval from the landscape architect.
- All materials, equipment, and furnishings shall be installed as per details.
- All materials, equipment, and furnishings shall be set plumb unless otherwise specified.
- The contractor to layout hardscape elements and verify layout with landscape architect prior to construction. Any discrepancies or conflicts with existing conditions or other drawings shall be reported to the landscape architect immediately for proper clarification or adjustment.

WATER EFFICIENCY NOTES:

- Recommended bioswale depth 6 to 18 inches. Civil to determine final depth. Drainage soil beneath swale shall be 18 inch minimum depth. Underneath drainage soil there should be a 12 inch depth of clean gravel/aggregate for water to infiltrate into perforated pipe, which will direct water to a storm drain and/or cistern(s). A 4 inch level of pea gravel shall be placed over clean gravel to filter additional pollutants and keep from clogging from soil above.
- Stormwater directed to cisterns will then drain to Silva Cells (Suspended Paver System) and be reused to irrigate raised planters.
- Rain water collection/Irrigation Systems shall supplement irrigation for new landscaping. New structures to include rainwater cistern(s) and system to provide at least 50 percent of exterior irrigation during the normal rainfall year.
- All sites utilizing a reuse water system shall install and maintain a backflow prevention device as required by water distribution system operator that will be supplying water to site.
- Civil to confirm and engineer detail of bioswale and cistern locations for final Construction Documentation.

