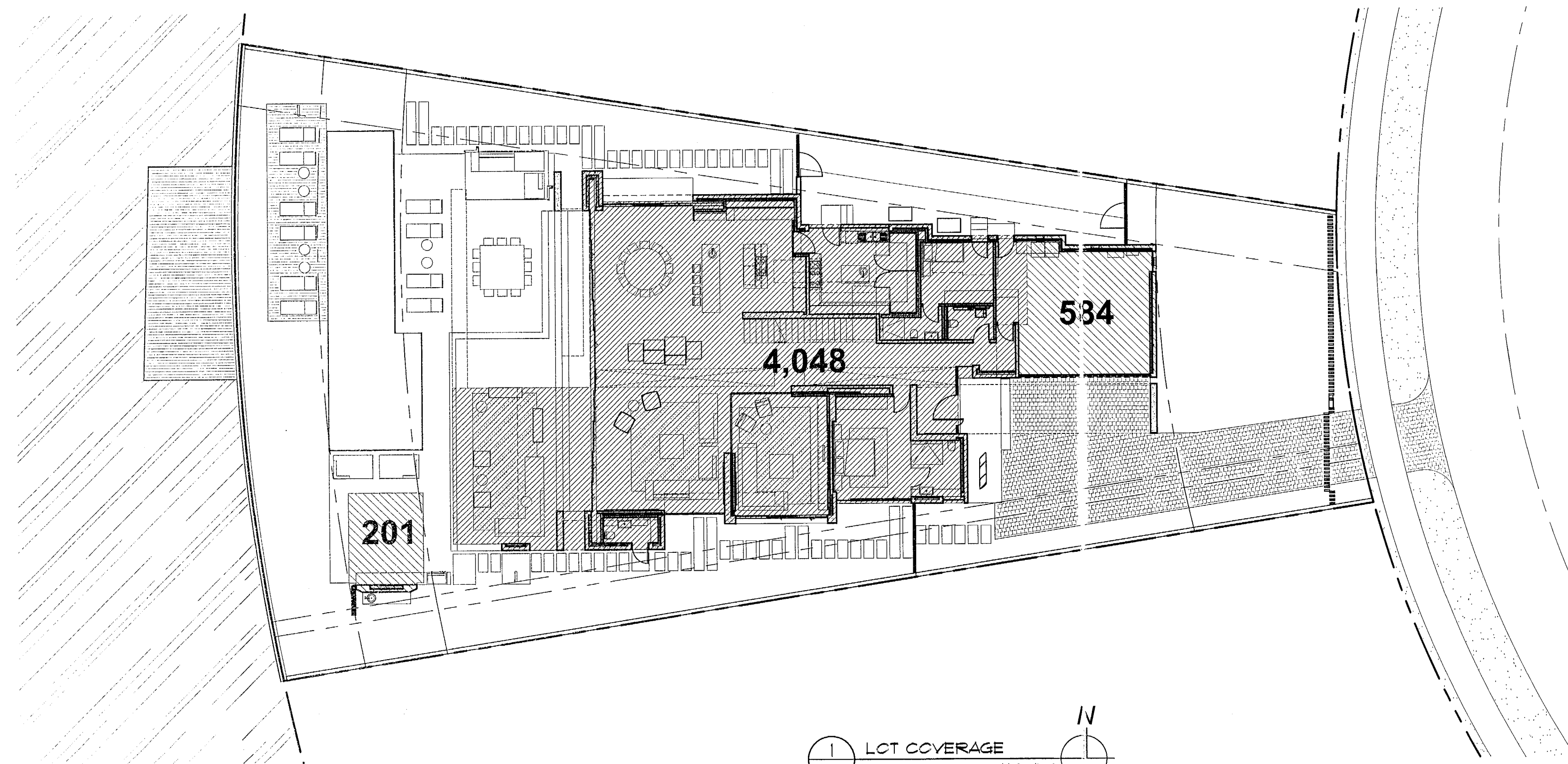
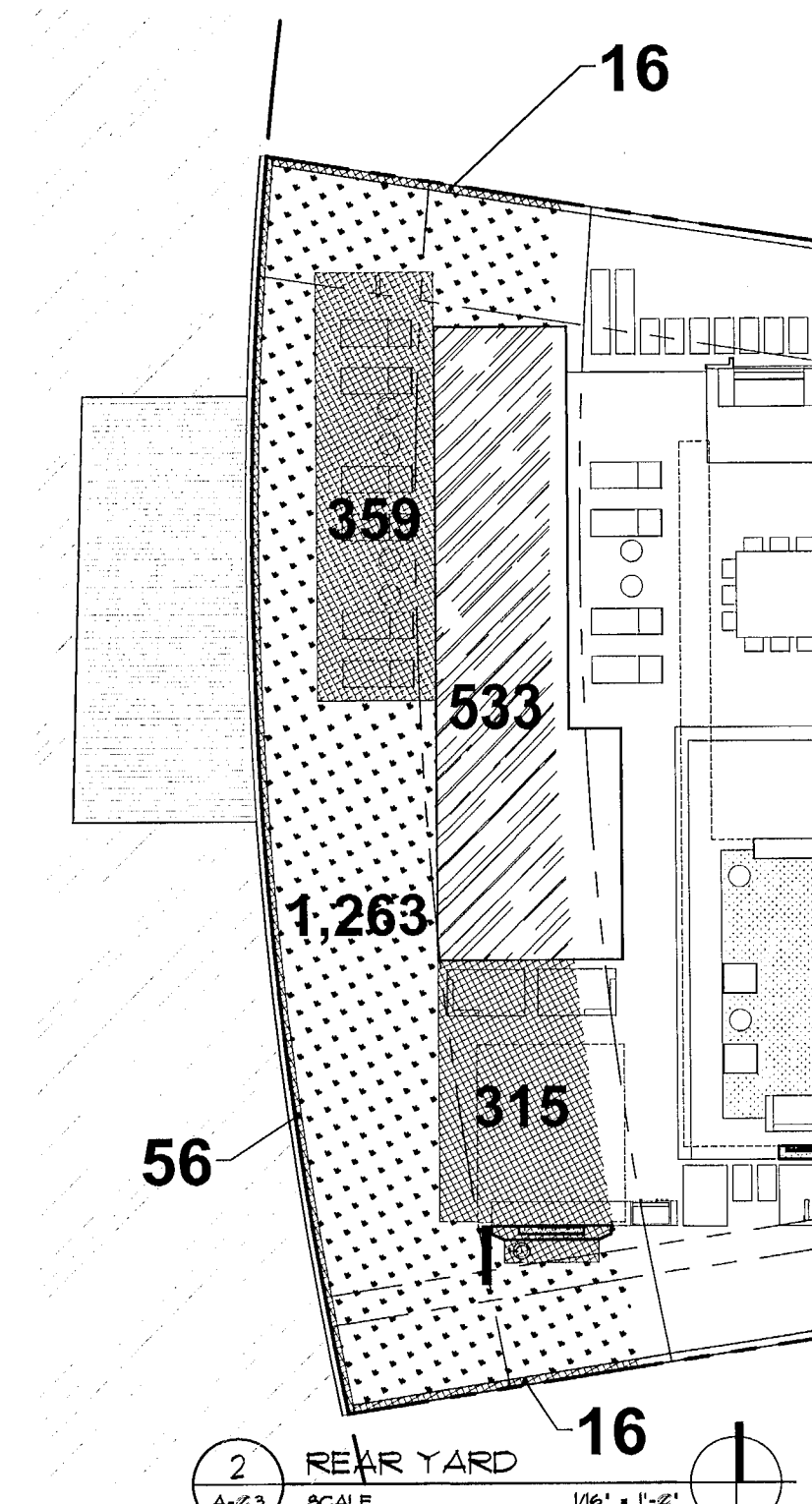


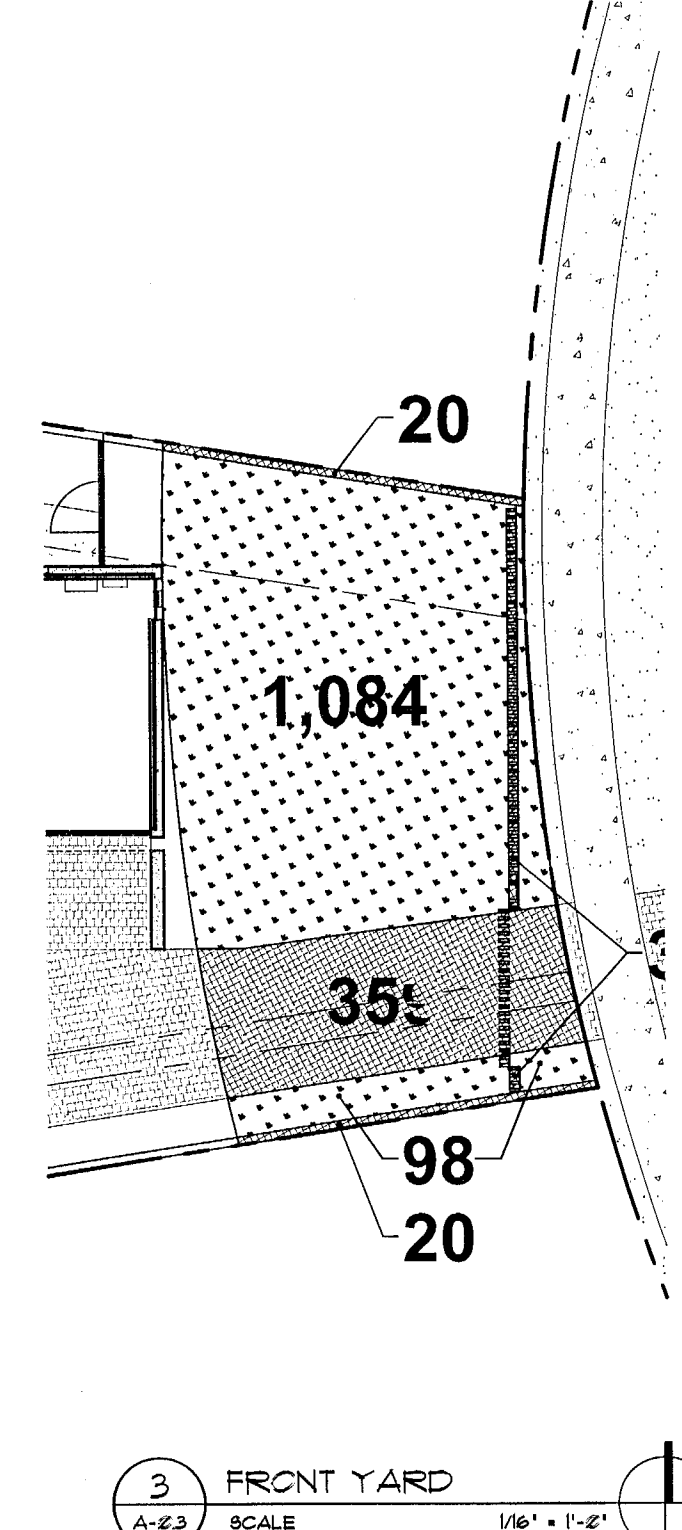
A-0.2



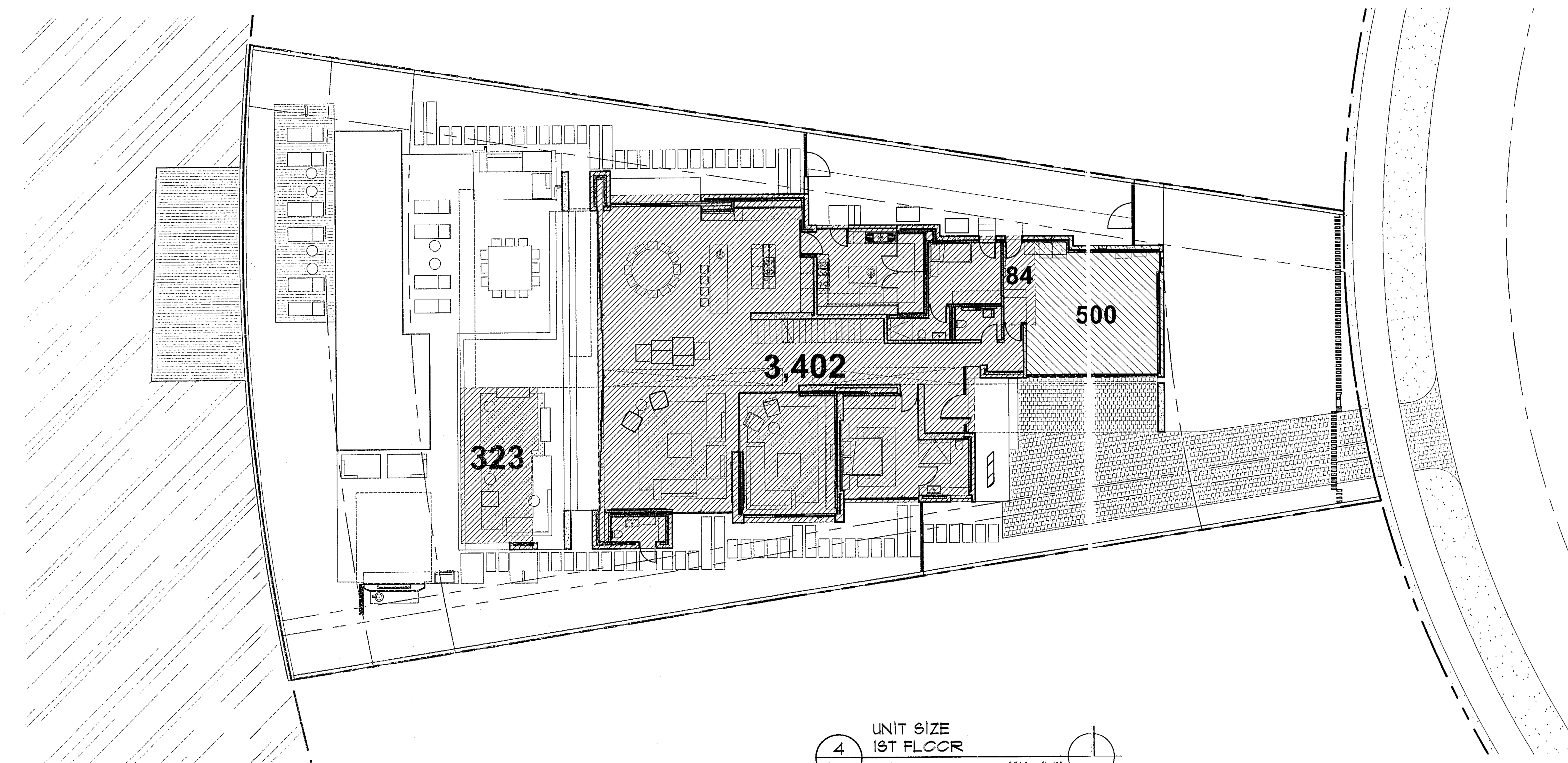
SITE DATA	
EXISTING LOT SIZE:	14,225 S.F. (100%)
BLDG LOT COVERAGE:	
MAIN HOUSE:	3,365 S.F.
GARAGE (584 SQFT - 500 SQFT)	84 S.F.
CABANA (201 SQFT, LESS 2% LOT SIZE)	0 S.F.
TOTAL BLDG LOT COVERAGE:	4,013 SQ. FT. (28.2%)



FRONT SETBACK CALCULATIONS	
AREA:	1,611 S.F. 100%
IMPERVIOUS AREA:	521 S.F.
LANDSCAPE AREA:	1,084 S.F. 67.3%

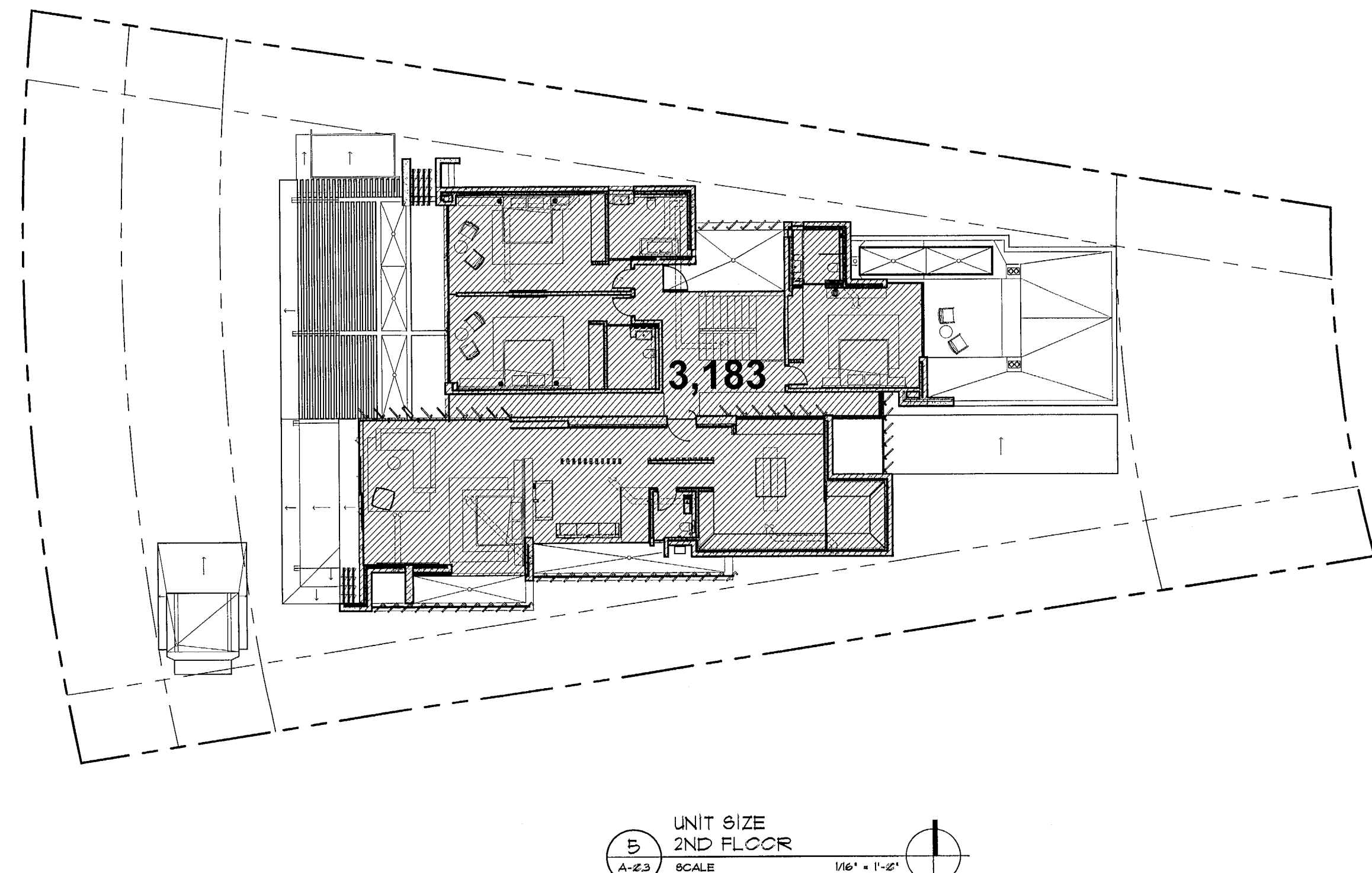


REAR SETBACK CALCULATIONS	
AREA:	2,564 S.F. 100%
IMPERVIOUS AREA:	1,608 S.F.
LANDSCAPE AREA:	1,796 S.F. 69.9%



BUILDING DATA	
MAIN HOUSE:	
FIRST FLOOR (AC)	3,402 S.F.
SECOND FLOOR (AC)	3,183 S.F.
TOTAL (AC)	6,585 S.F.
GARAGE (584 SQFT - 500 SQFT)	84 S.F.
BALCONIES & OVERHANGS	323 S.F.
TOTAL (NON AC)	407 S.F.
TOTAL UNIT SIZE (AC + NON AC)	6,992 SQ. FT. (49.2%)

FLOOR RATIO PERCENTAGE	
MAIN HOUSE:	
TOTAL FIRST FLOOR (VOLUMETRIC)	3,366 S.F.
TOTAL SECOND FLOOR (VOLUMETRIC)	3,183 S.F.
TOTAL:	79.8%



28 W DILIDO RESIDENCE
28 WEST DILIDO DR.
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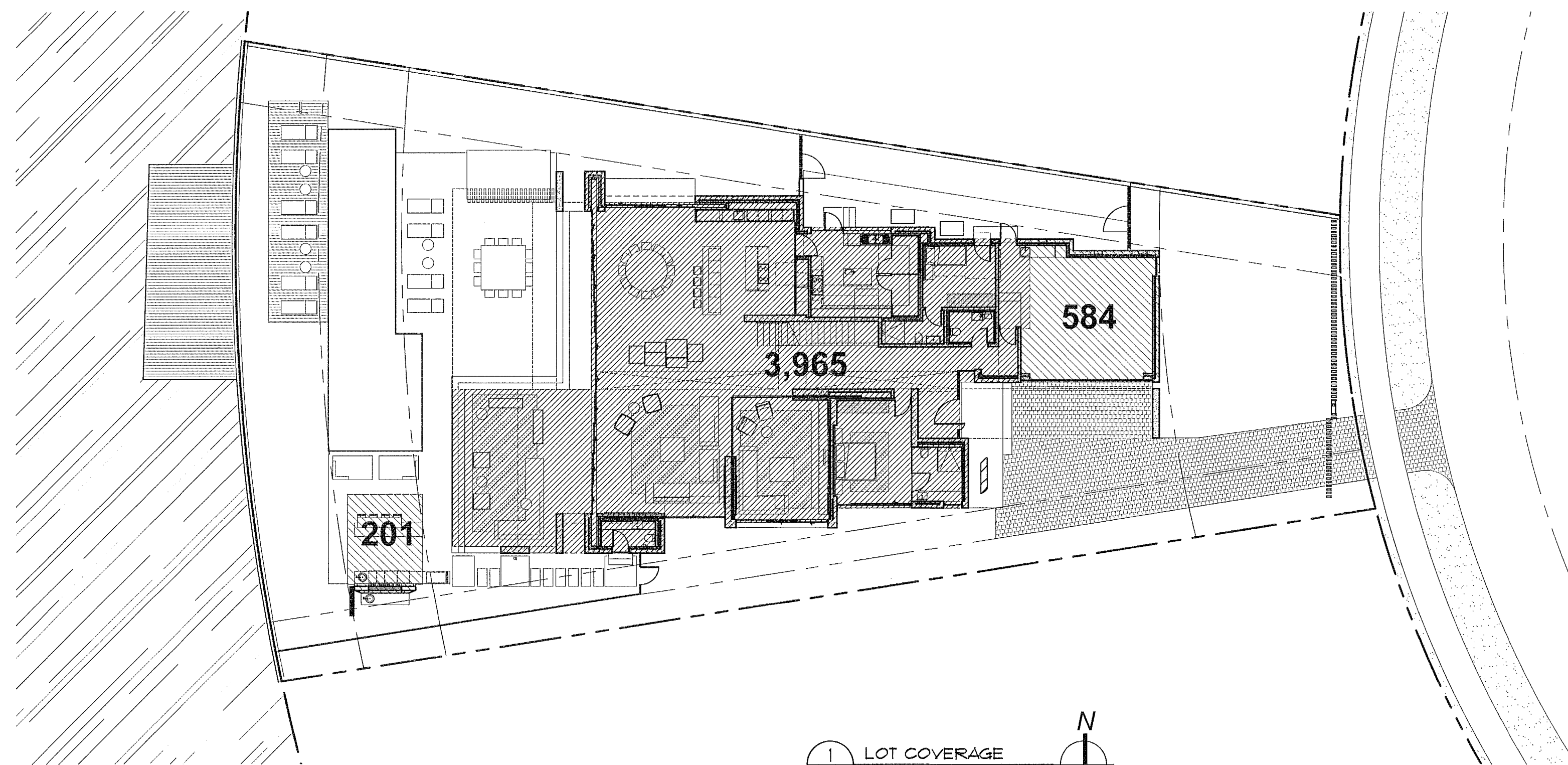
Raphael Levy
registered architect
AR0004779

comm no.
1652

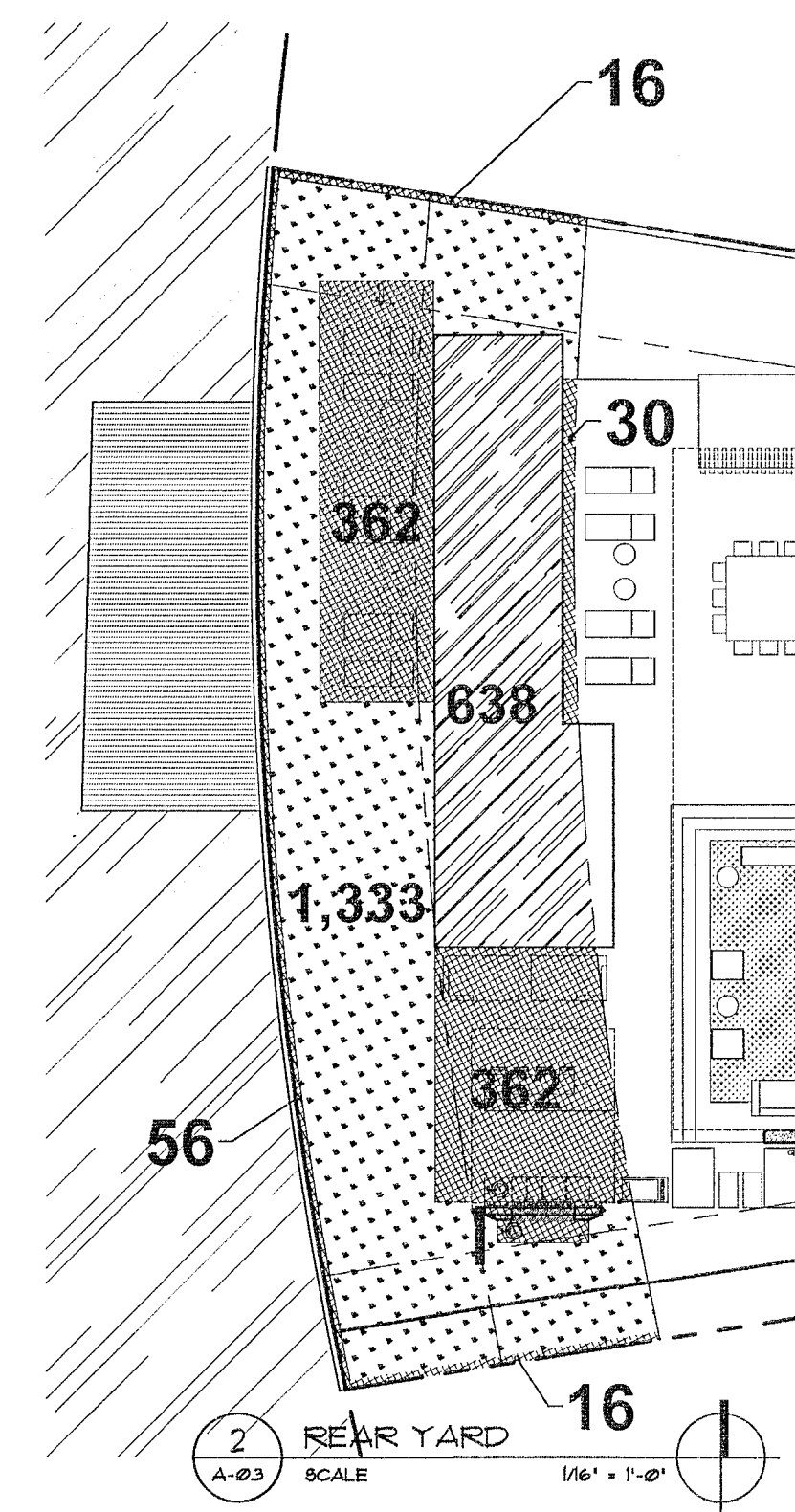
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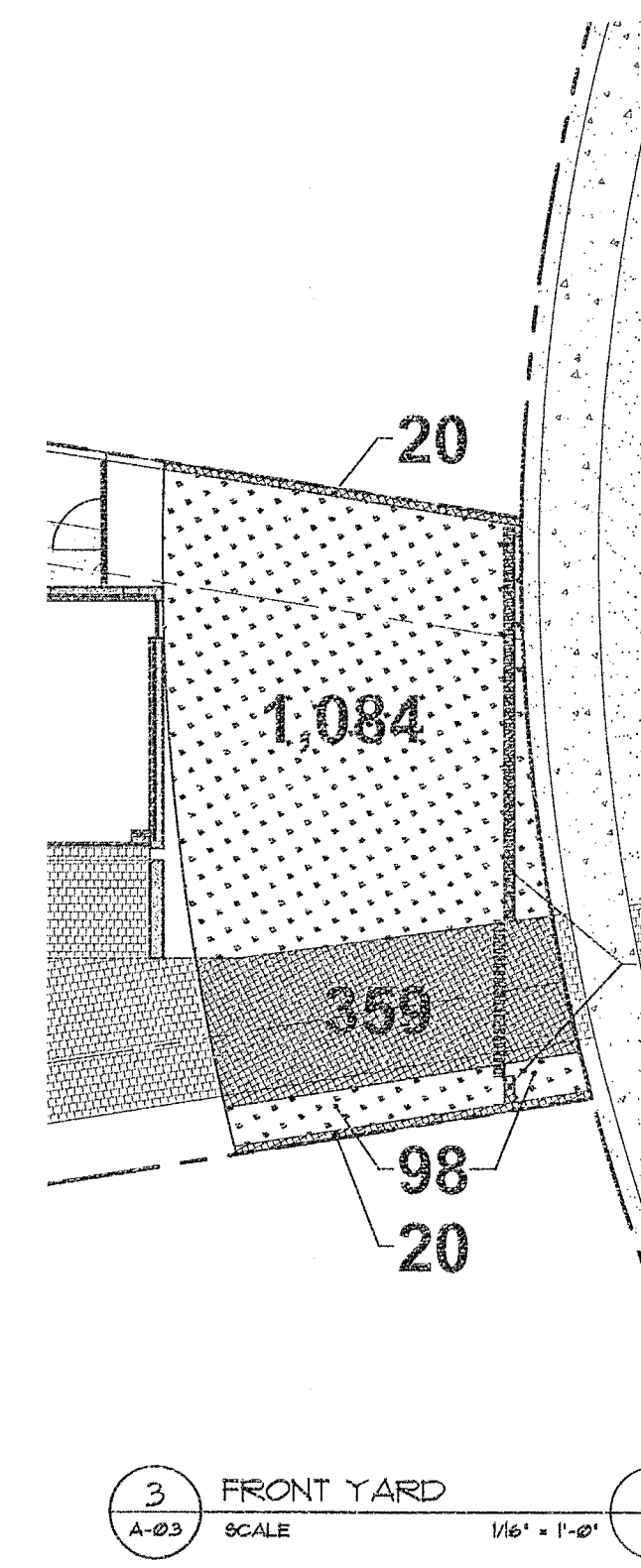
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A-0.3



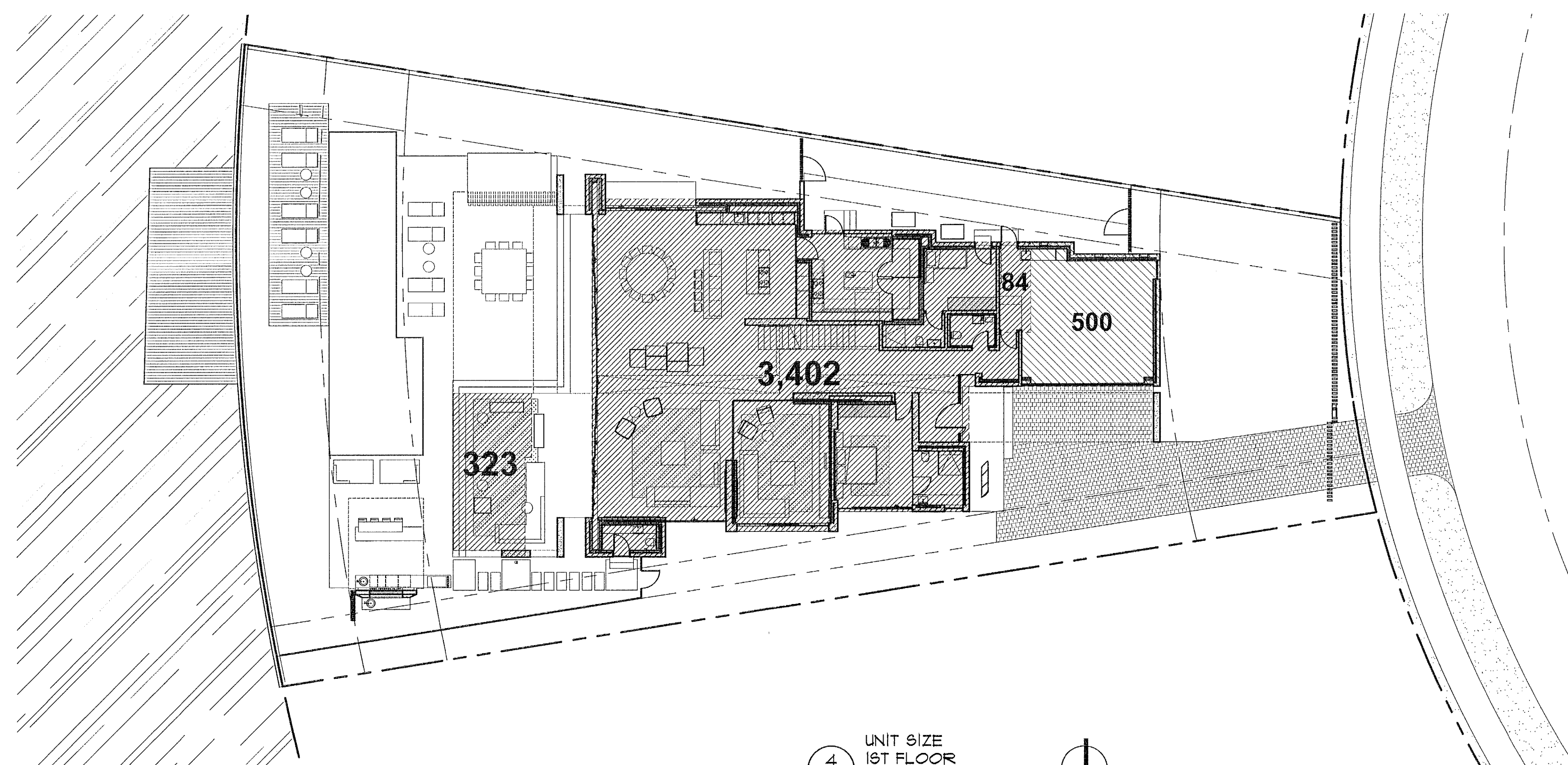
SITE DATA	
EXISTING LOT SIZE:	14,225 S. F. (100%)
BLDG. LOT COVERAGE:	
MAIN HOUSE	3,965 S. F.
GARAGE (584 SQFT - 500 SQFT)	84 S. F.
CABANA (201 SQFT, LESS 2% LOT SIZE)	0 S. F.
TOTAL BLDG. LOT COVERAGE:	4,049 SQ. FT. (28.2%)



REAR SETBACK CALCULATIONS	
AREA:	2,813 S. F. 100%
IMPERVIOUS AREA:	842 S. F.
LANDSCAPE AREA:	1,971 S. F. 70.1%

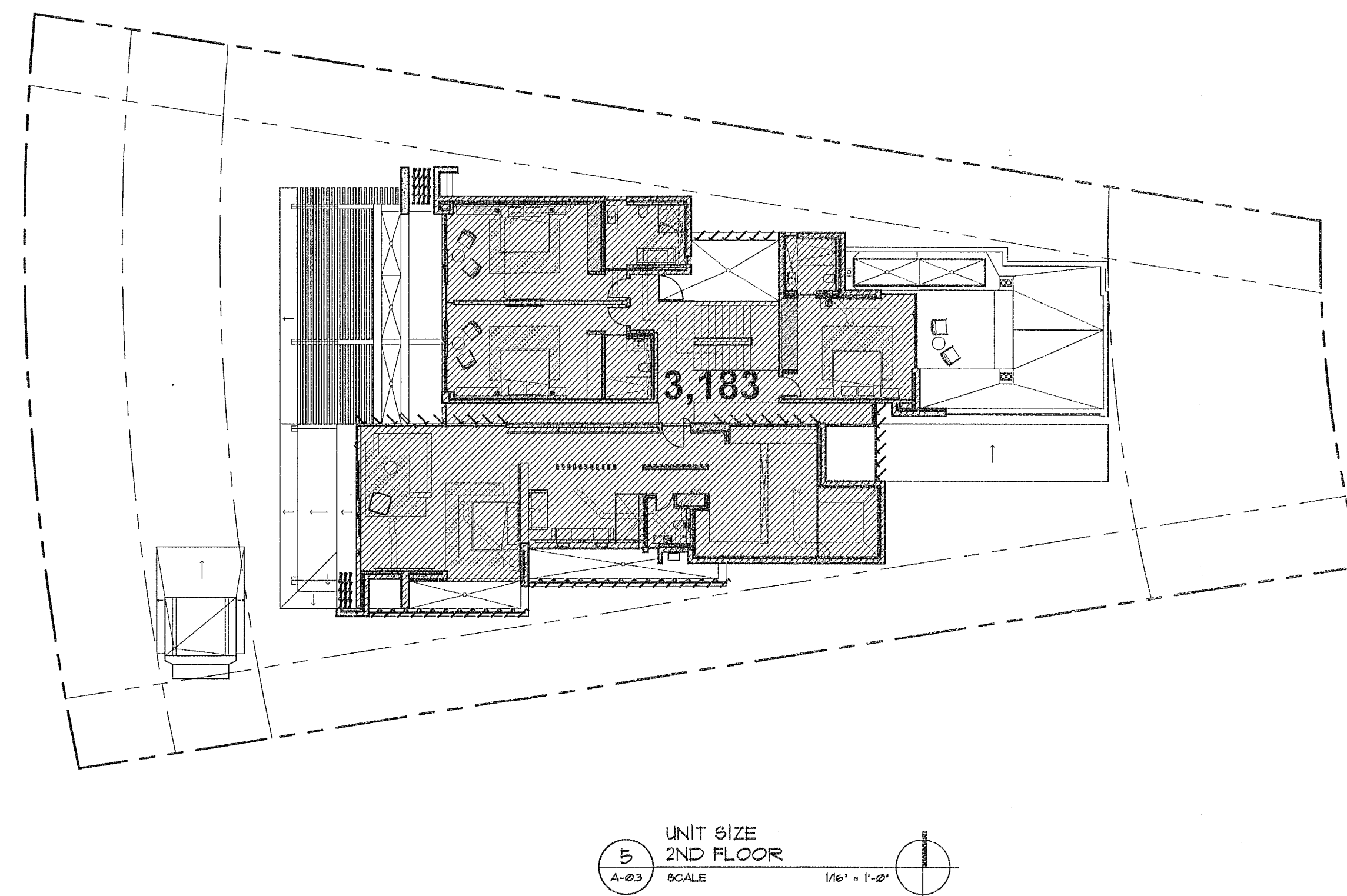


FRONT SETBACK CALCULATIONS	
AREA:	1,611 S. F. 100%
IMPERVIOUS AREA:	521 S. F.
LANDSCAPE AREA:	1,090 S. F. 67.3%



BUILDING DATA	
MAIN HOUSE:	
FIRST FLOOR (AC)	3,402 S. F.
SECOND FLOOR (AC)	3,183 S. F.
TOTAL (AC)	6,585 S. F.
GARAGE (584 SQFT - 500 SQFT)	84 S. F.
BALCONIES & OVERHANGS	323 S. F.
TOTAL (NON AC)	407 S. F.
TOTAL UNIT SIZE (AC + NON AC)	6,992 SQ. FT. (49.2%)

FLOOR RATIO PERCENTAGE	
MAIN HOUSE:	
TOTAL FIRST FLOOR (VOLUMETRIC)	3,926 S. F.
TOTAL SECOND FLOOR (VOLUMETRIC)	3,183 S. F.
TOTAL:	71.0%





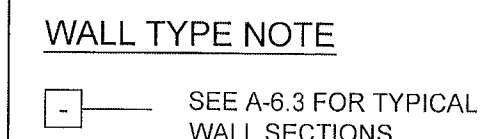
1st FLOOR PLAN

A-11

SCALE

$1/4" = 1'-0"$

N



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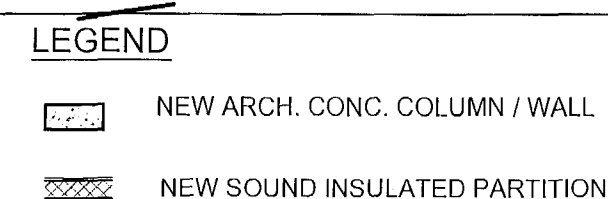
Raphael Levy
registered architect
AR0094779

date:
2/1/17

revised:

sheet no.

A-1.2



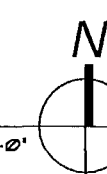
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APPLICABLE CODE NOTE:
APPLICABLE CODE: FBC 2014 RESIDENTIAL
ALL PLANS AND CALCULATIONS HAVE BEEN
PREPARED IN COMPLIANCE WITH F.B.C. 2014
RESIDENTIAL

WALL TYPE NOTE

SEE A-6.3 FOR TYPICAL WALL SECTIONS

1 2ND FLOOR PLAN
A-12 SCALE 1/4"





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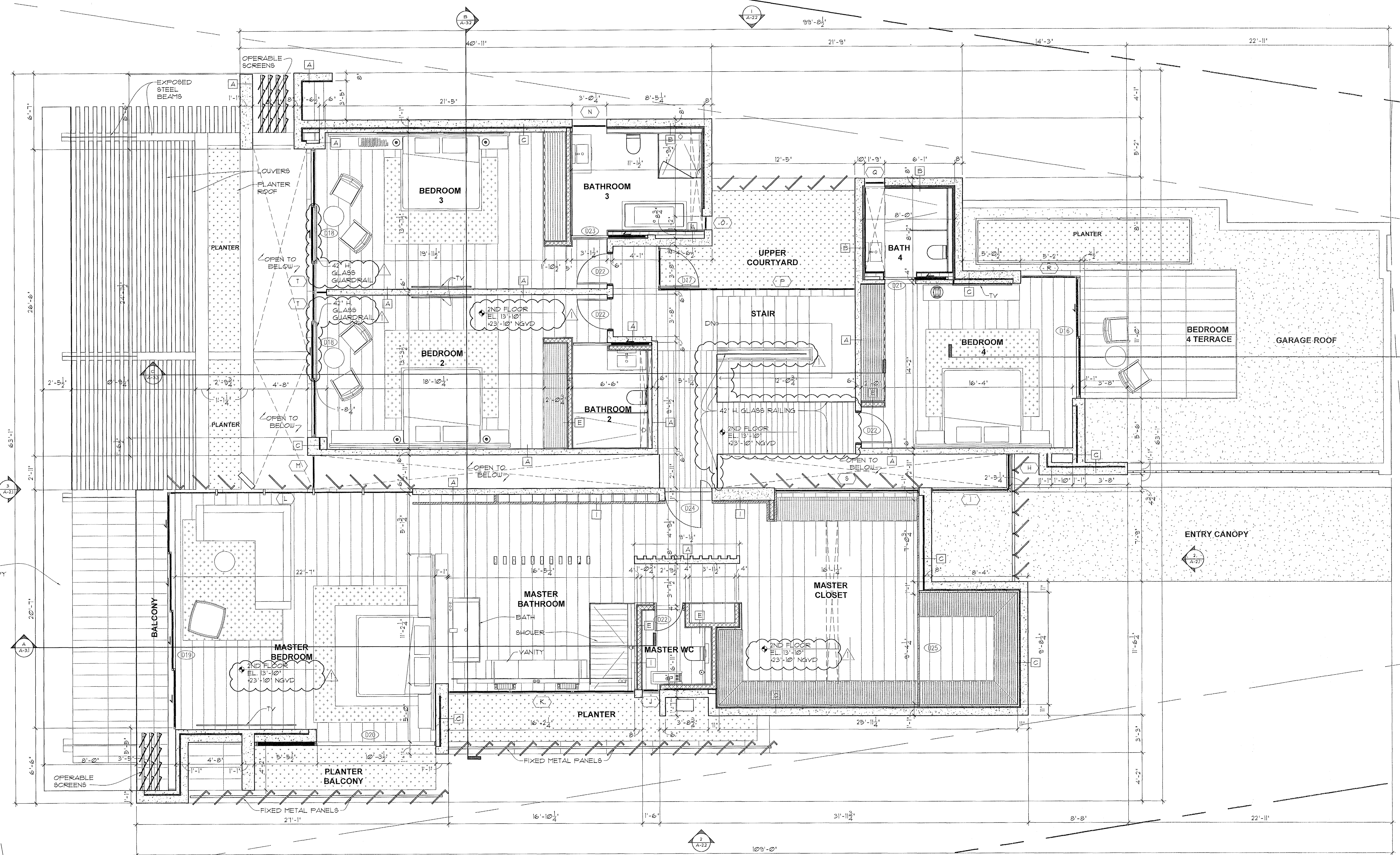
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A-1.2



LEGEND

	NEW ARCH. CONC. COLUMN / WALL
	NEW SOUND INSULATED PARTITION

APPLICABLE CODE NOTE:
APPLICABLE CODE: FBC 2014 RESIDENTIAL
ALL PLANS AND CALCULATIONS HAVE BEEN
PREPARED IN COMPLIANCE WITH F.B.C. 2014
RESIDENTIAL

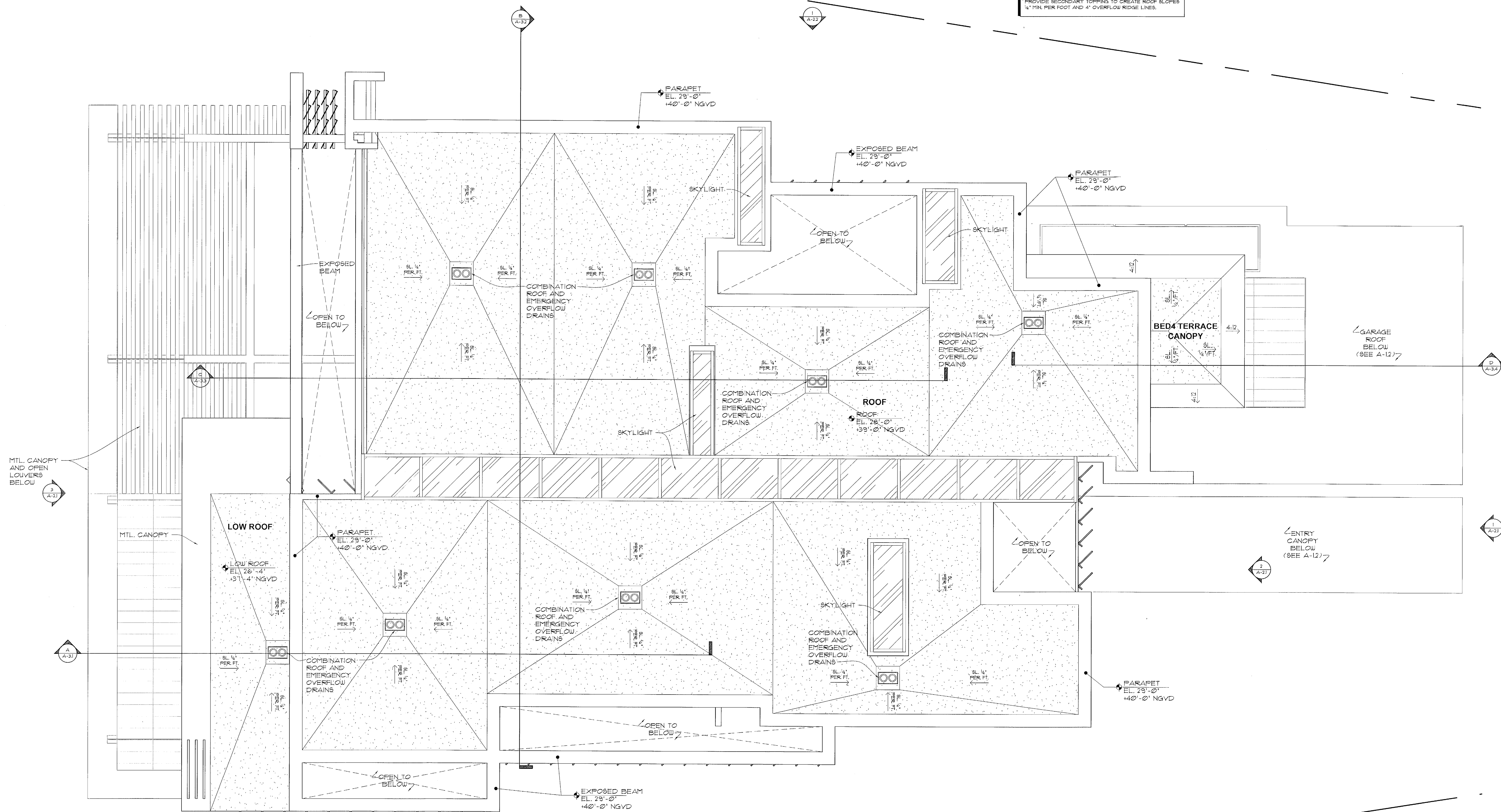
WALL TYPE NOTE
SEE A-6.3 FOR TYPICAL WALL SECTIONS

1 2ND FLOOR PLAN
A-12 SCALE 1/4" = 1'-0"

ROOF NOTE:
1. ALL ROOFING TO BE UNDER SEPARATE PERMIT.
2. CONTRACTOR SUBSTITUTIONS TO SPECIFICATIONS MUST BE SUBMITTED TO ARCHITECT FOR APPROVAL.

ROOF DRAIN NOTE:
ALL ROOF DRAINS TO BE FULLY SOUND INSULATED.
DESIGN RAINFALL RATE: TABLE 106.1 IN THE FBC 2014 (PLUMBING)

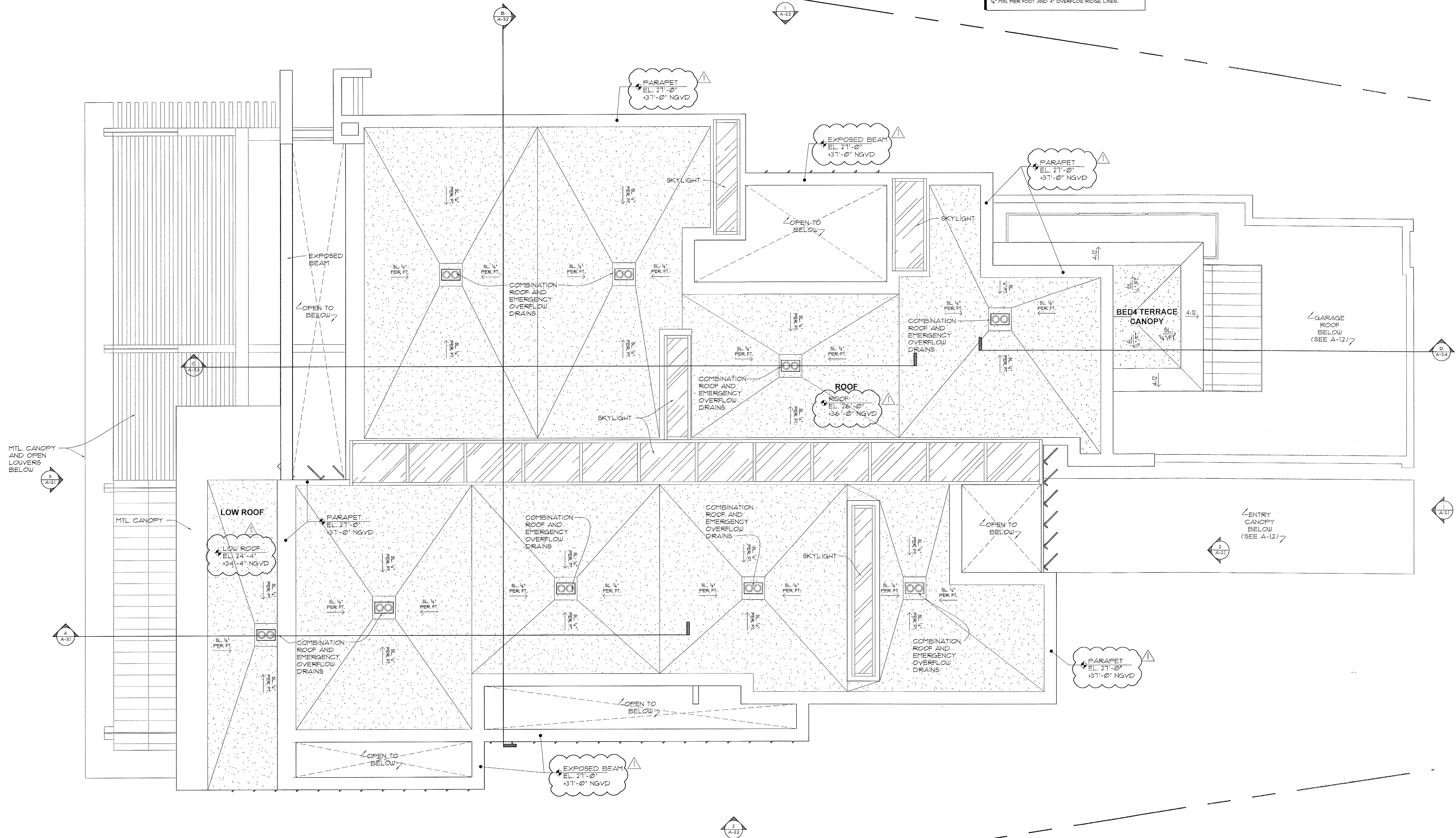
ROOF SLOPE NOTE:
ROOF SLOPES SHOWN ARE MINIMUM ALLOWABLE ROOF SLOPES. ROOF SLAB MIN. 8" SEE STRUCTURAL DUGS.
PROVIDE SECONDARY TOPPING TO CREATE ROOF SLOPES 1/4" MIN. PER FOOT AND 4" OVERFLOW RIDGE LINES.



ROOF NOTE:
1. ALL ROOFING TO BE UNDER SEPARATE PERMIT.
2. CONTRACTOR SUBSTITUTIONS TO SPECIFICATIONS MUST BE SUBMITTED TO ARCHITECT FOR APPROVAL.

ROOF DRAIN NOTE:
ALL ROOF DRAINS TO BE FULLY SOUND INSULATED.
DESIGN RAINFALL RATE: TABLE 10.6.1 IN THE FBC 2014 (PLUMBING)

ROOF SLOPE NOTE:
ROOF SLOPES SHOWN ARE MINIMUM ALLOWABLE ROOF SLOPES. ROOF SLOPES MIN. 1/4" SEE STRUCTURAL DWGS. PROVIDE SECONDARY TOPPING TO CREATE ROOF SLOPES 1/4" MIN. PER FOOT AND 4" OVERFLOW RIDGE LINES.



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28 WEST DILDO DR.
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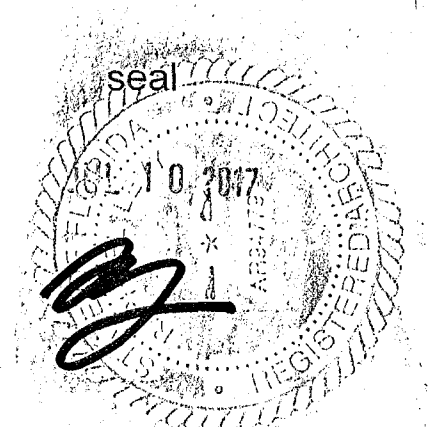
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sheet no.

A-1.3

1 ROOF PLAN
A-13 SCALE 1/4" = 1'-0"





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A-1.11

RCP LEGEND:

- RECESSED LIGHT FIXTURE
- LOW VOLTAGE
- JUNCTION BOX
- SMOKE DETECTORS
- EXHAUST FAN
- A/C DIFFUSER

CEILING HEIGHTS NOTE:
CEILING HEIGHTS GIVEN ARE FROM TOP OF SLAB TO BOTTOM OF CEILING FRAMING MEMBER. DIMENSIONS SHOWN DO NOT ACCOUNT FOR FLOOR & CLG. FINISHES.

CEILING HEIGHTS LEGEND:

- 9'-0" AFF.
- SEE DRAWINGS FOR CEILING HEIGHTS
- SEE DRAWINGS FOR CEILING HEIGHTS ARCHITECTURAL CONCRETE

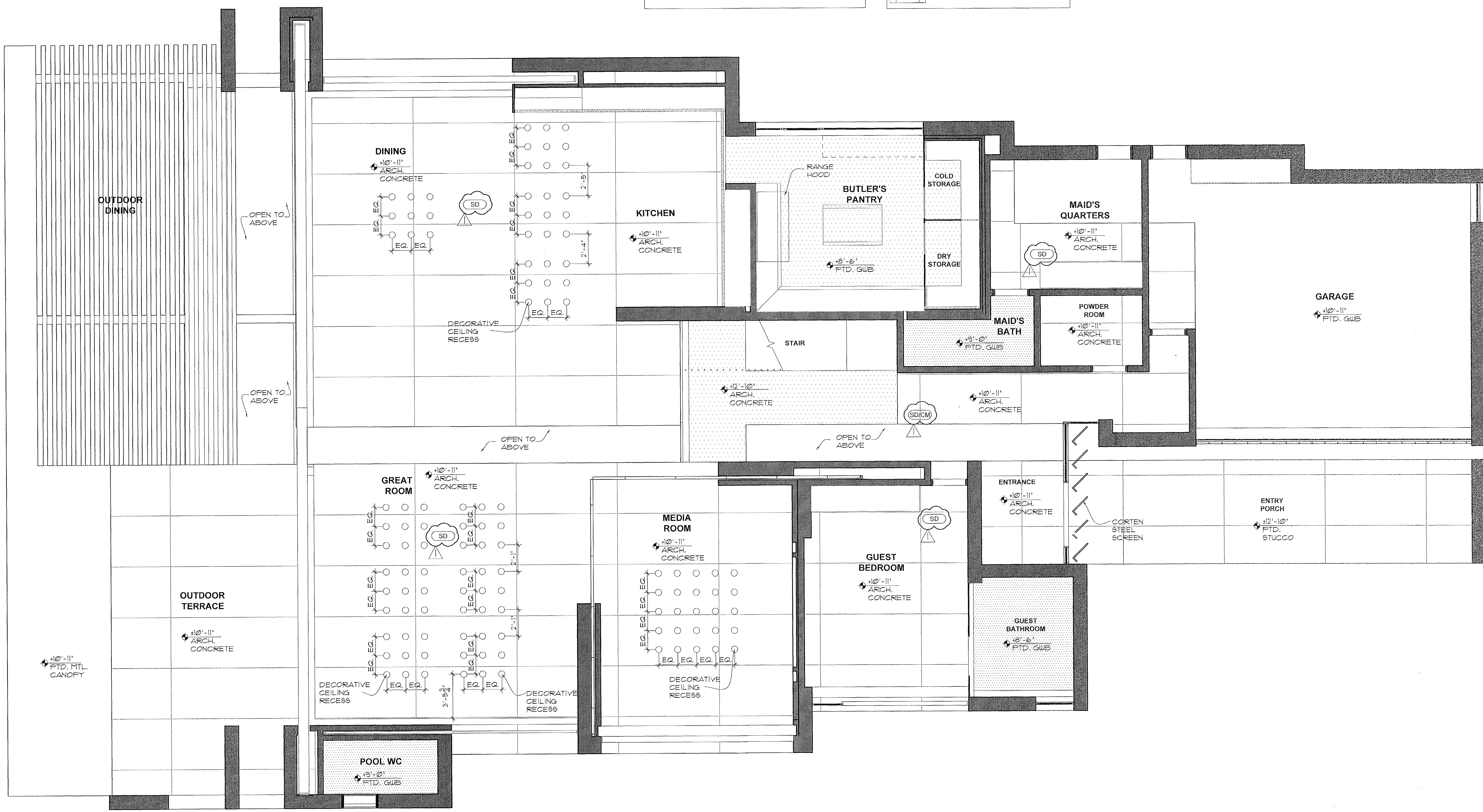
LIGHTING NOTE:
REFER TO ELECTRICAL DRAWINGS & LIGHTING PLANS BY INTERIOR DESIGNER FOR ADDITIONAL LIGHTS INCLUDING STEP LIGHTS, UPLIGHTS, FOND LIGHTS, POOL LIGHTS & LANDSCAPING LIGHTS.

NOTE:
A- WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NO GREATER THAN 200.
B- WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF GREATER THAN 450.

APPLICABLE CODE NOTE:
APPLICABLE CODE: FBC 2010 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH FBC 2010 RESIDENTIAL.

CEILING HEIGHTS NOTE:
CEILING HEIGHTS GIVEN ARE FROM TOP OF CONCRETE SLAB TO BOTTOM OF FRAMING MEMBER.

CONCRETE NOTE:
ALL FIXTURES & WIRING TO BE EMBEDDED IN CONCRETE SLABS MUST BE COORDINATED WITH STRUCTURAL PRIOR TO CONSTRUCTION - COORDINATE WITH ELECTRICAL & LOW VOLTAGE CONSULTANT DRAWINGS



2ND FLOOR REFLECTED
CEILING PLAN

1
A-121

SCALE 1/4" = 1'-0"

N

RCP LEGEND:

- RECESSED LIGHT FIXTURE
- ⊖ LOW VOLTAGE
- ⊕ JUNCTION BOX
- SD SMOKE DETECTORS
- EXHAUST FAN
- A/C DIFFUSER

CEILING HEIGHTS NOTE:
CEILING HEIGHTS GIVEN ARE FROM TOP OF SLAB TO BOTTOM OF CEILING FRAMING MEMBER. DIMENSIONS SHOWN DO NOT ACCOUNT FOR FLOOR & CLG. FINISHES.

CEILING HEIGHTS LEGEND:

- 9'-0" AFF.
- SEE DRAWING'S FOR CEILING HEIGHTS
- SEE DRAWING'S FOR CEILING HEIGHTS ARCHITECTURAL CONCRETE

LIGHTING NOTE:
REFER TO ELECTRICAL DRAWINGS & LIGHTING PLANS BY INTERIOR DESIGNER FOR ADDITIONAL LIGHTS INCLUDING STEP LIGHTS, UPLIGHTS, FOND LIGHTS, POOL LIGHTS & LANDSCAPING LIGHTS.

NOTE:
A- WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NO GREATER THAN 200.
B- WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED INDEX OF GREATER THAN 450.

APPLICABLE CODE NOTE:
APPLICABLE CODE: FBC 2010 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. 2010 RESIDENTIAL

CEILING HEIGHTS NOTE:
CEILING HEIGHTS GIVEN ARE FROM TOP OF CONCRETE SLAB TO BOTTOM OF FRAMING MEMBER.

CONCRETE NOTE:
ALL FIXTURES & WIRING TO BE EMBEDDED IN CONCRETE SLABS MUST BE COORDINATED WITH STRUCTURAL PRIOR TO CONSTRUCTION - COORDINATE WITH ELECTRICAL & LOW VOLTAGE CONSULTANT DRAWINGS



28 W DILDO RESIDENCE
28 WEST DILDO DR.
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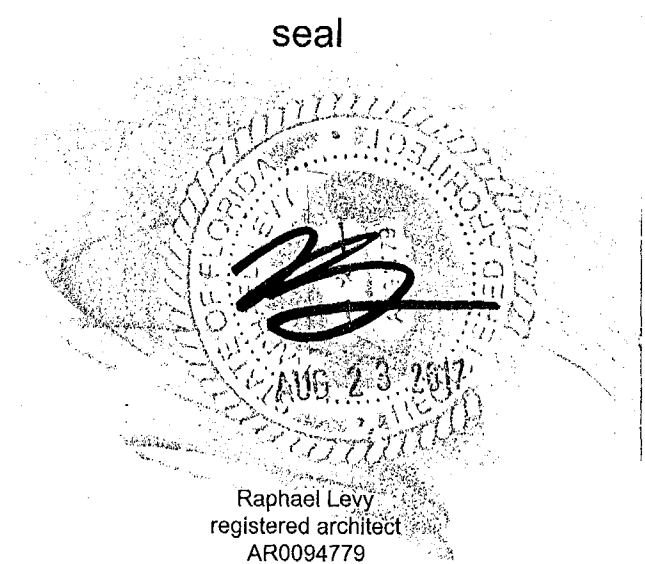
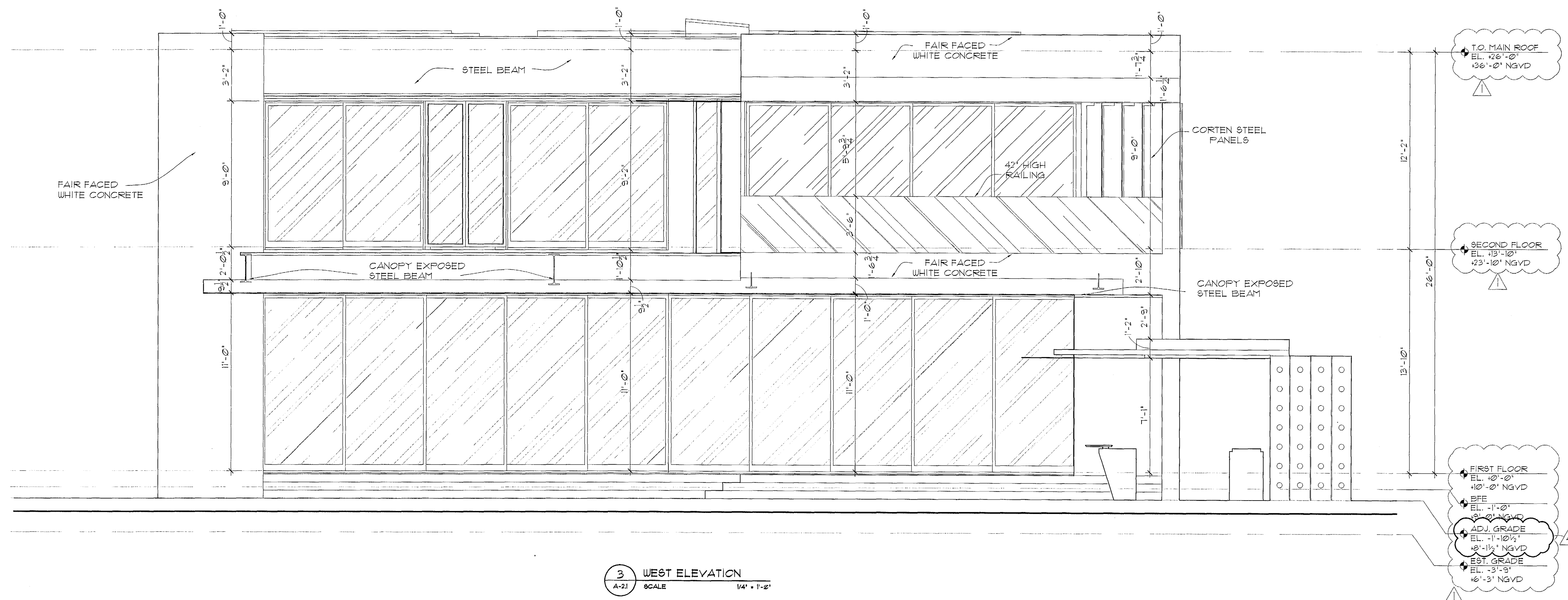
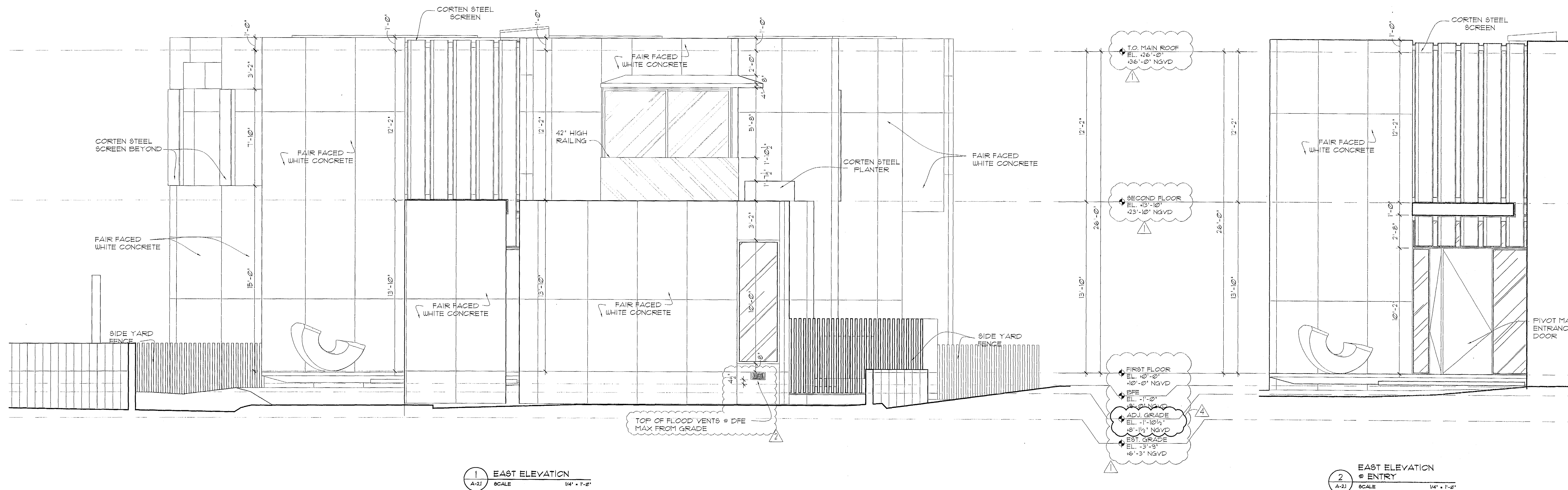
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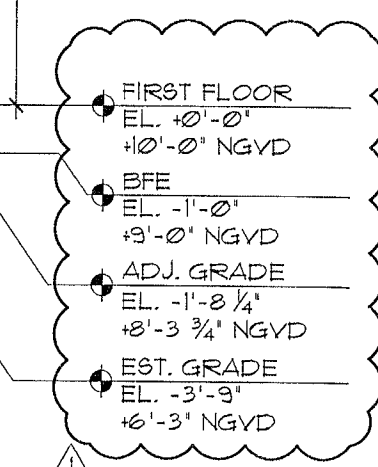
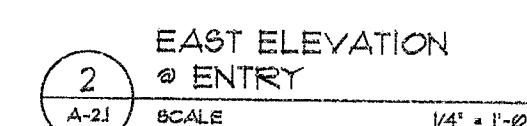
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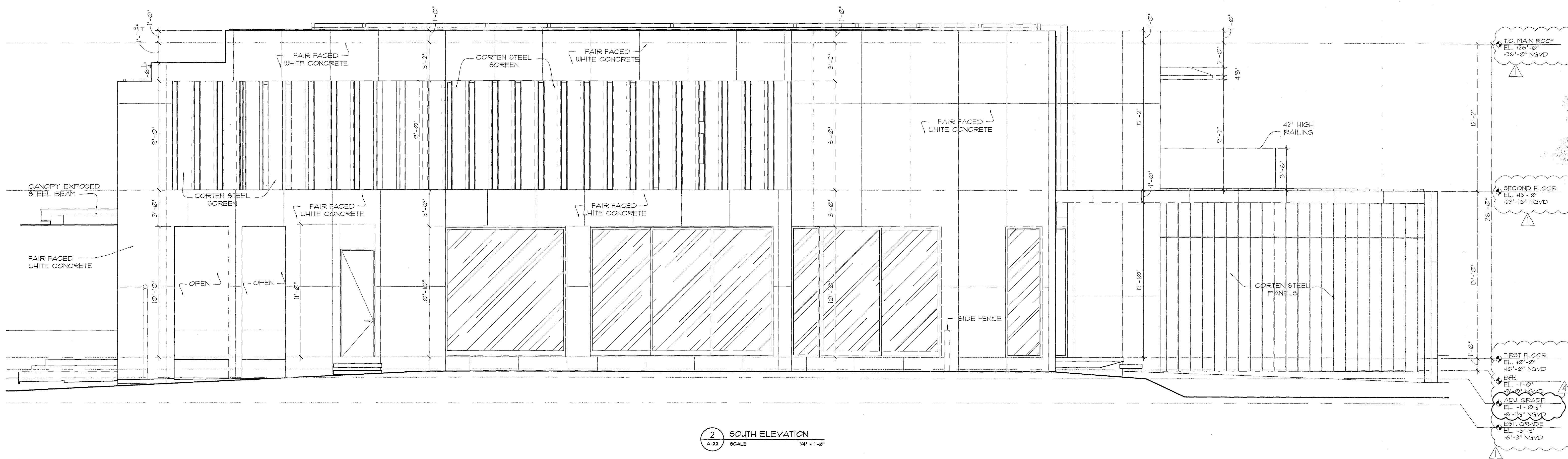
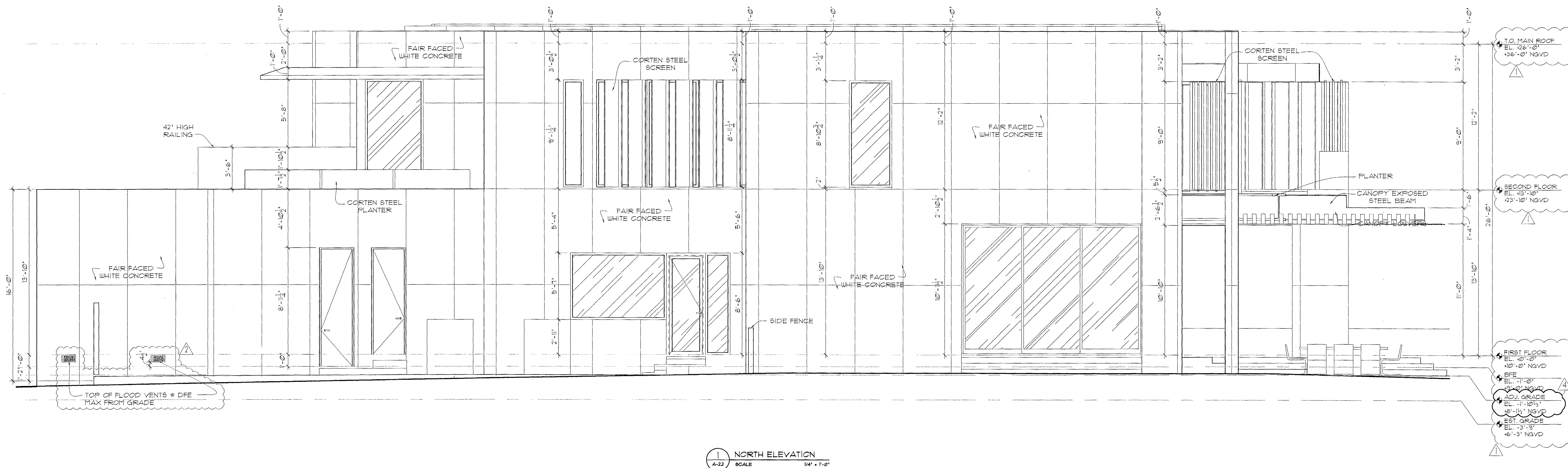
2ND FLOOR REFLECTED
CEILING PLAN
SCALE 1/4" = 1'-0"

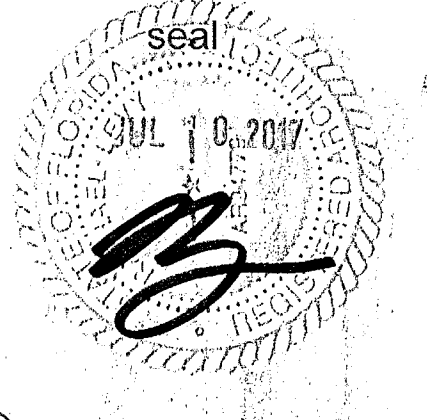
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- 04/01/17
B.D. COMMENTS
- 07/01/17
B.D. COMMENTS
- 08/22/17
B.D. COMMENTS









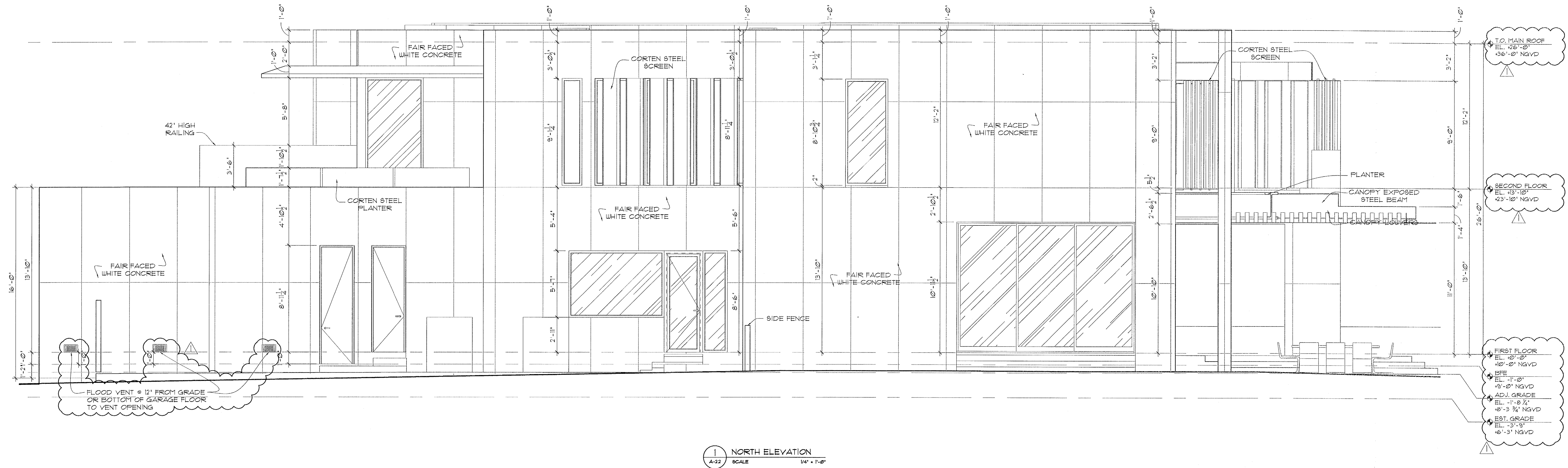
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2/1/17

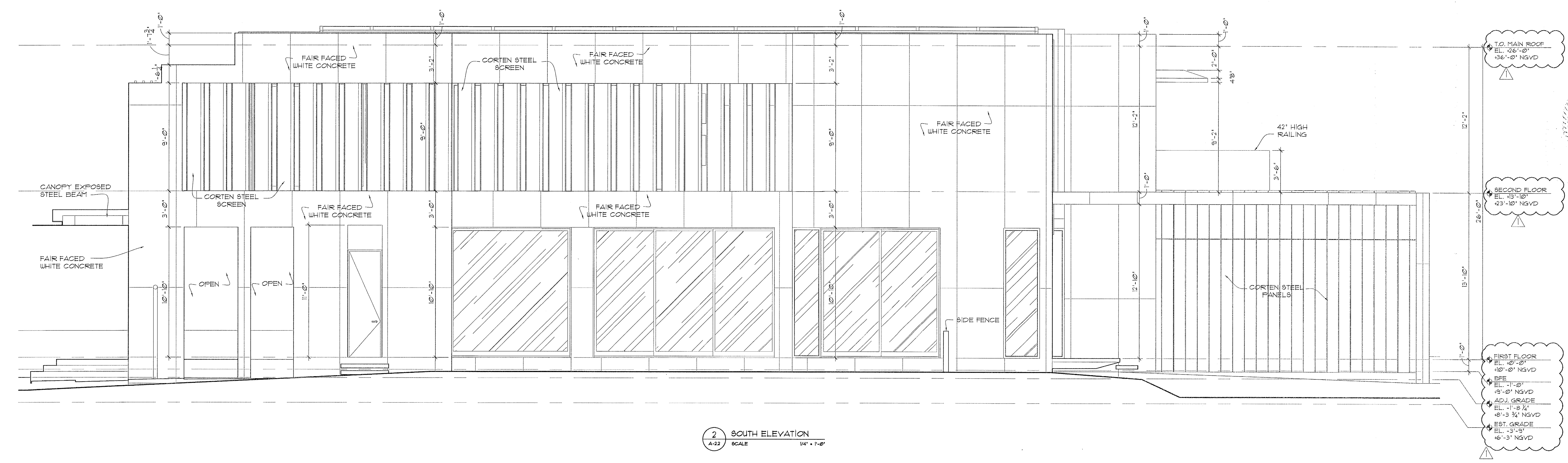
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04/10/17
B.D. COMMENTS

sheet no.
A-2.2



1 NORTH ELEVATION
SCALE 1/4\"/>



2 SOUTH ELEVATION
SCALE 1/4\"/>

A-3.1





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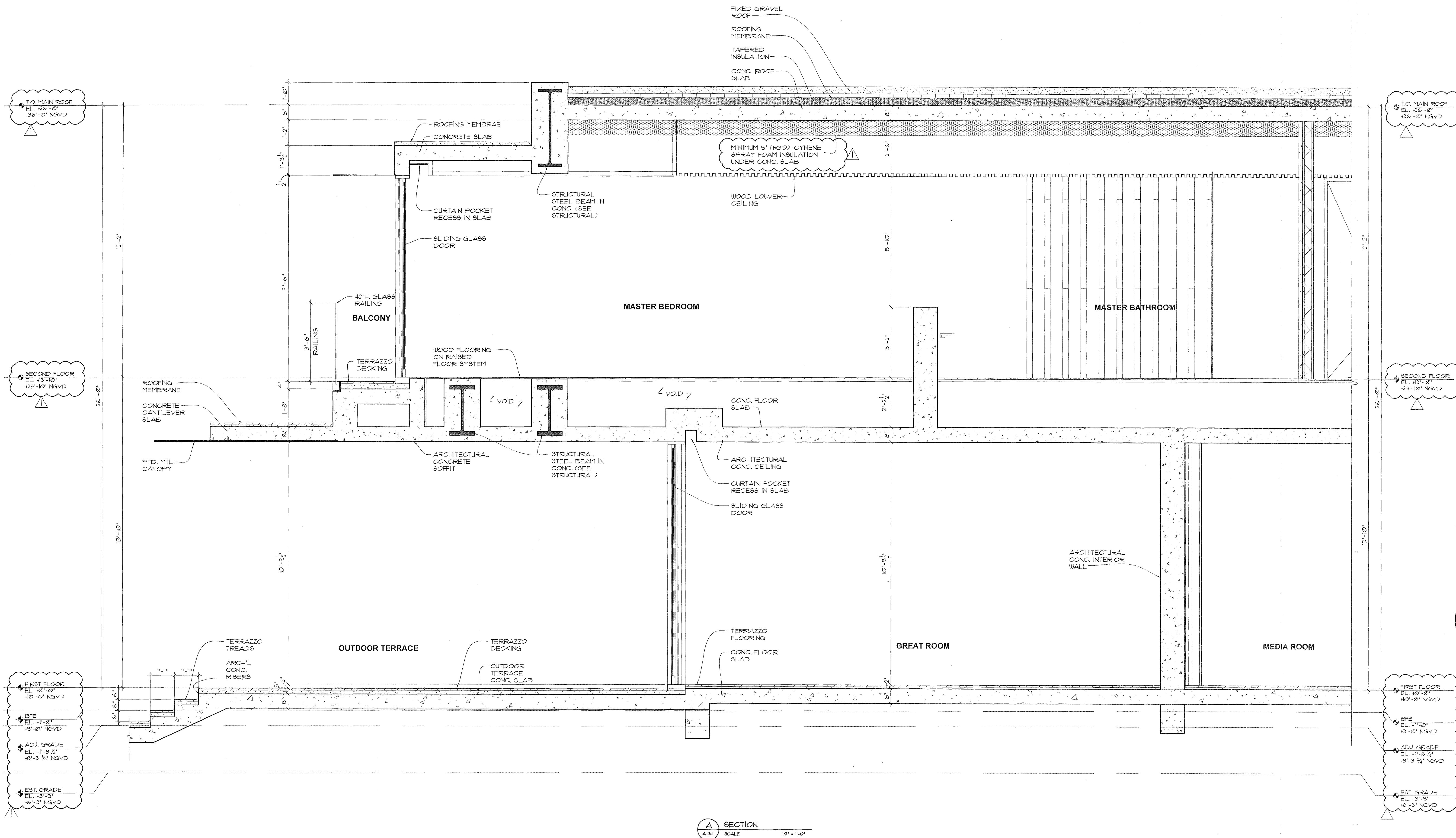
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04/01/17
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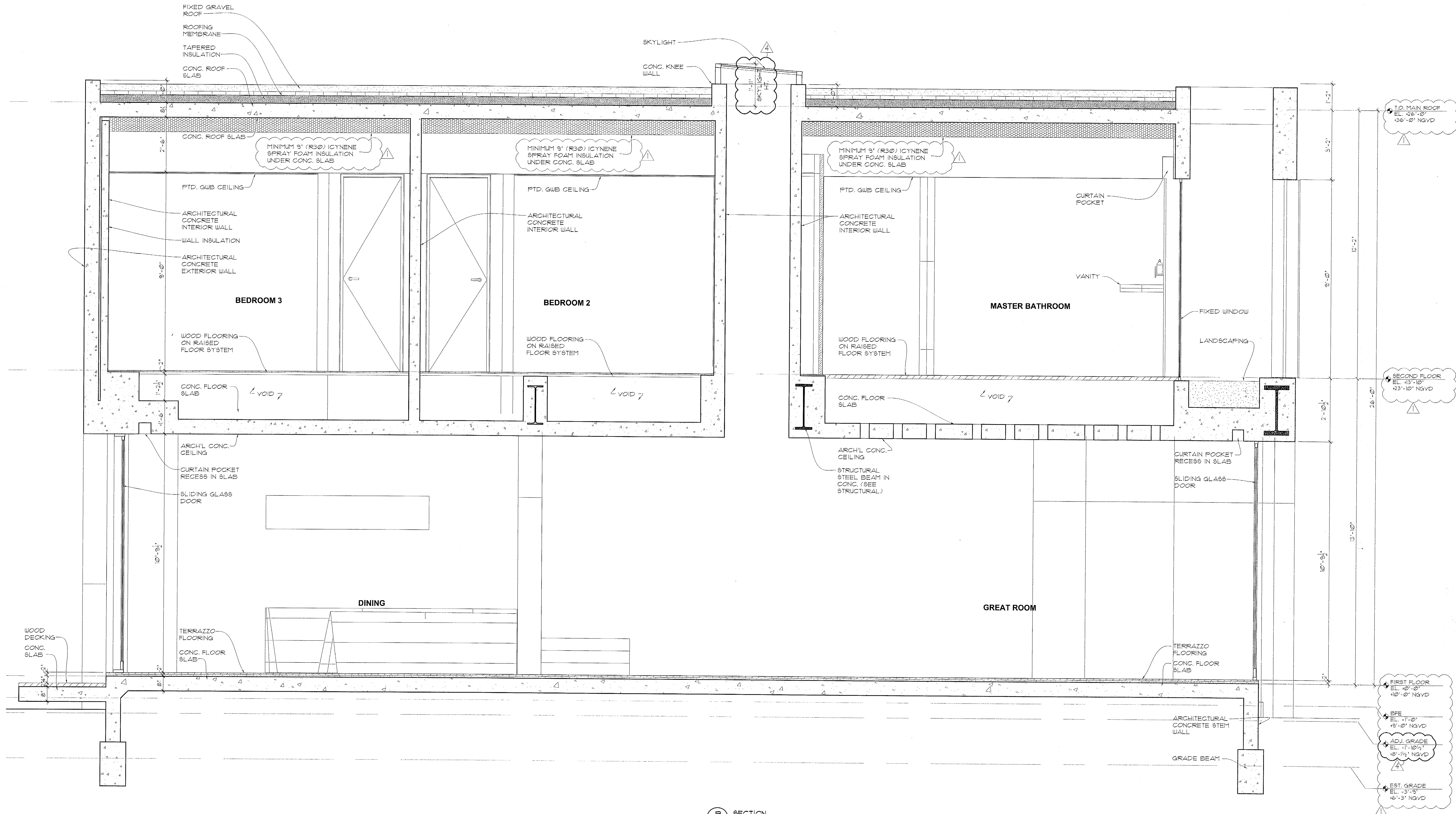
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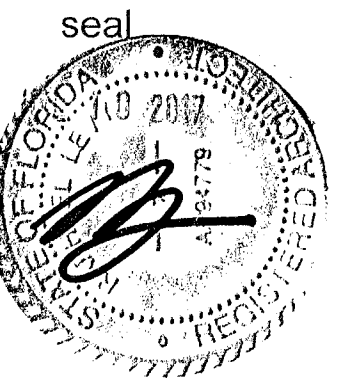




- 04/20/17
B.D. COMMENTS
- 08/22/17
B.D. COMMENTS



B SECTION
SCALE 1/2" = 1'-0"



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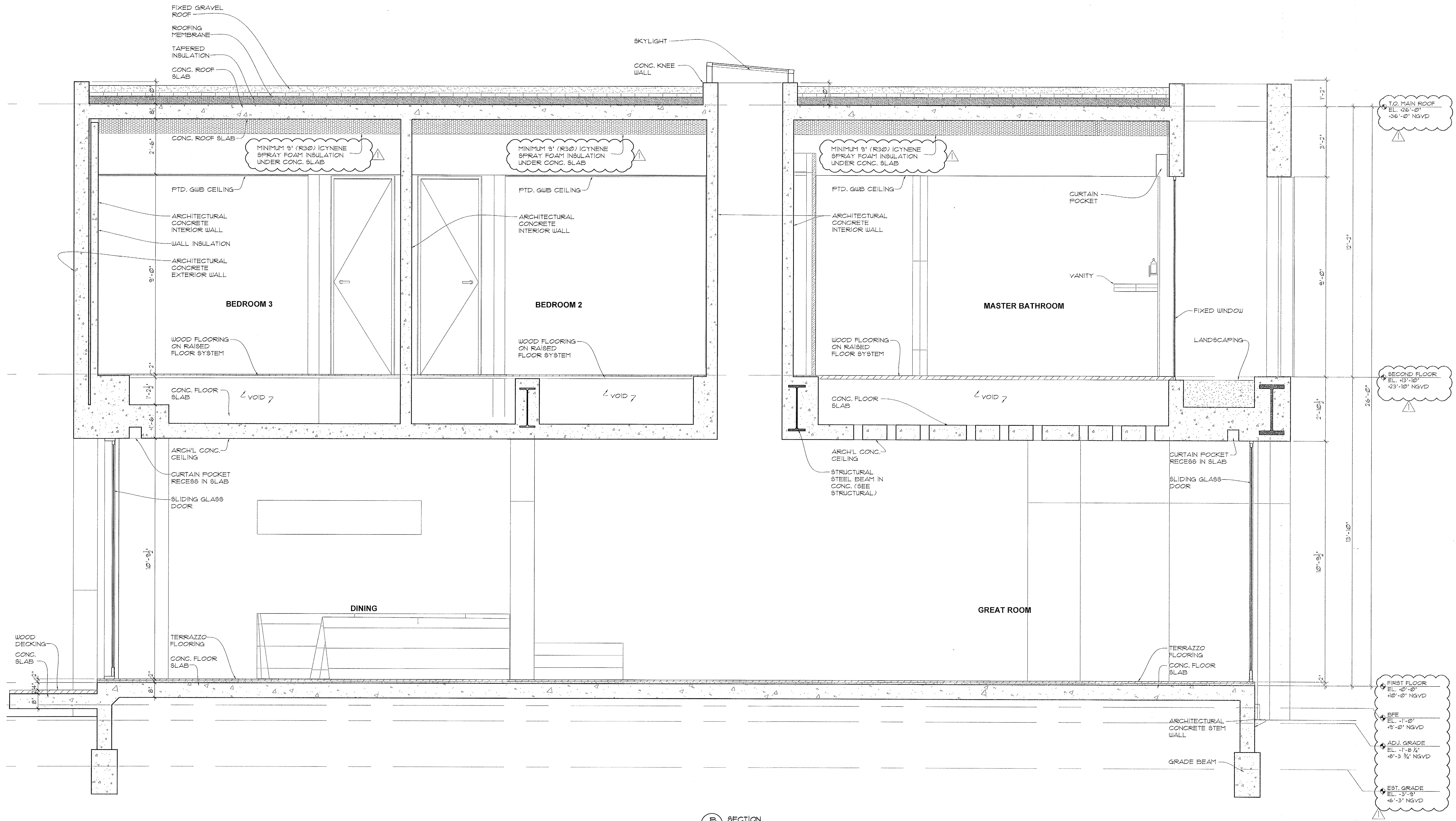
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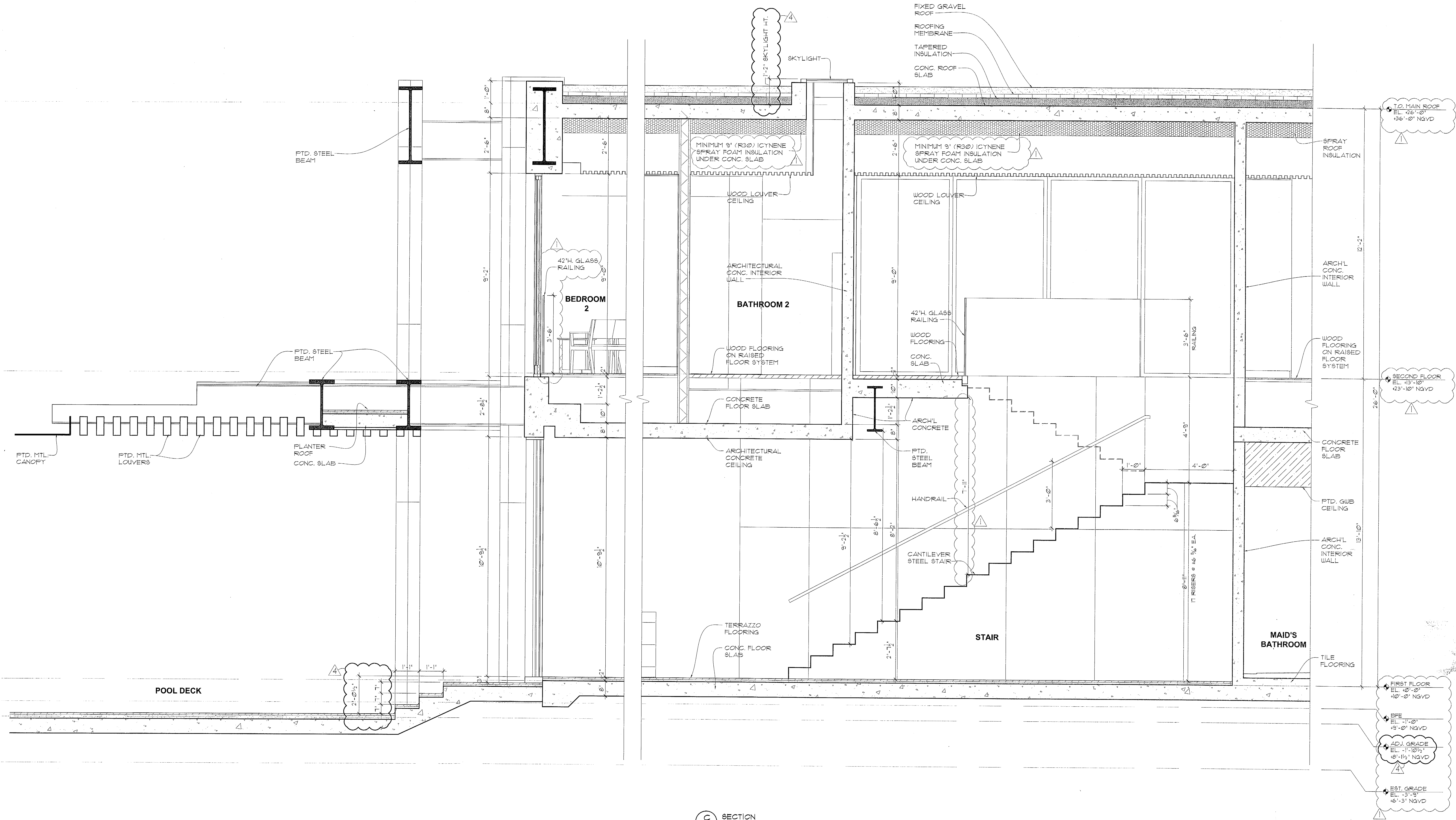
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B.D. COMMENTS

sheet no.

A-3.2



B SECTION
A-32
SCALE 1/2" = 1'-0"



SECTION
A-3.3
SCALE 1/2" = 1'-0"



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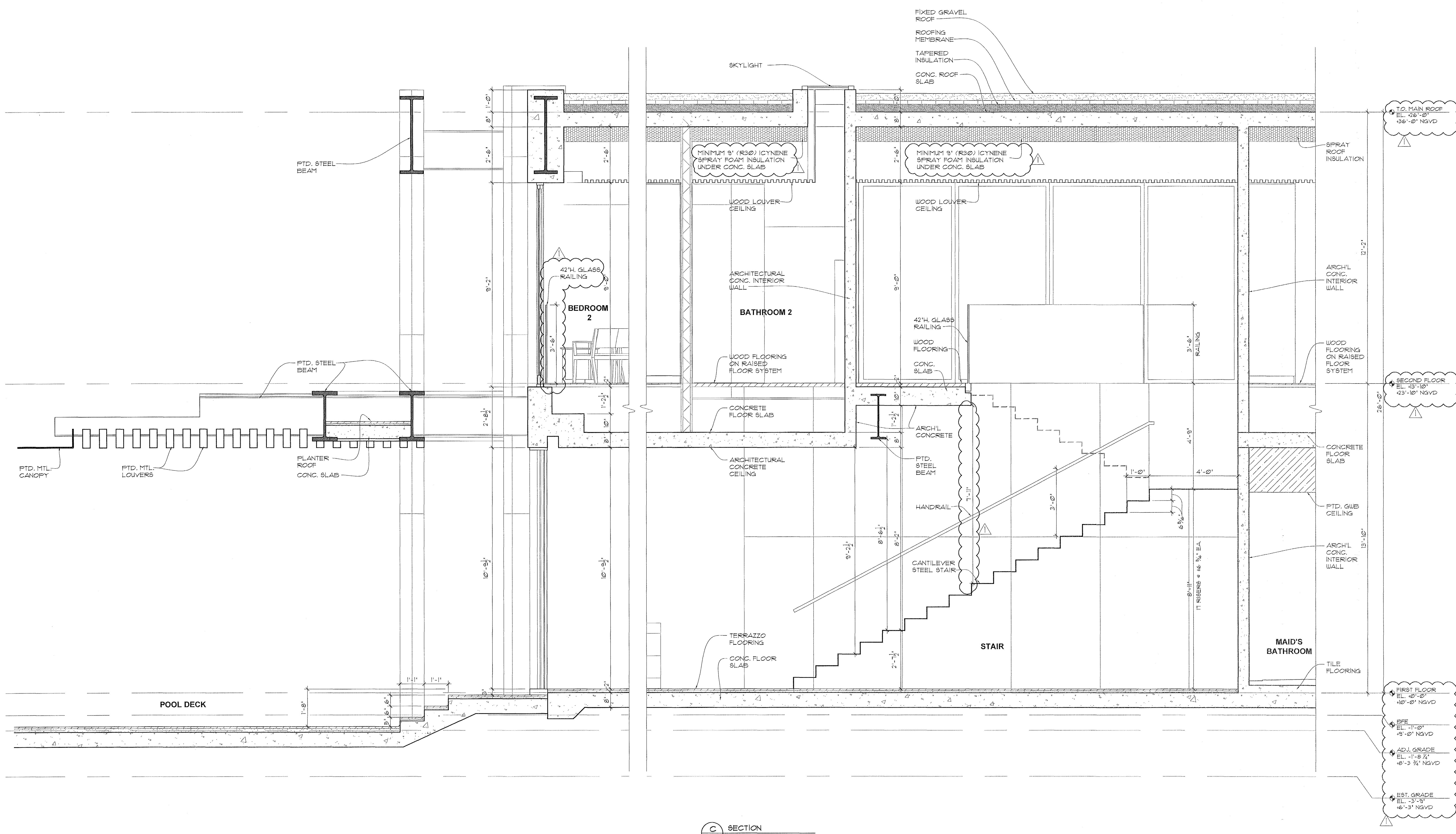
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2/1/17

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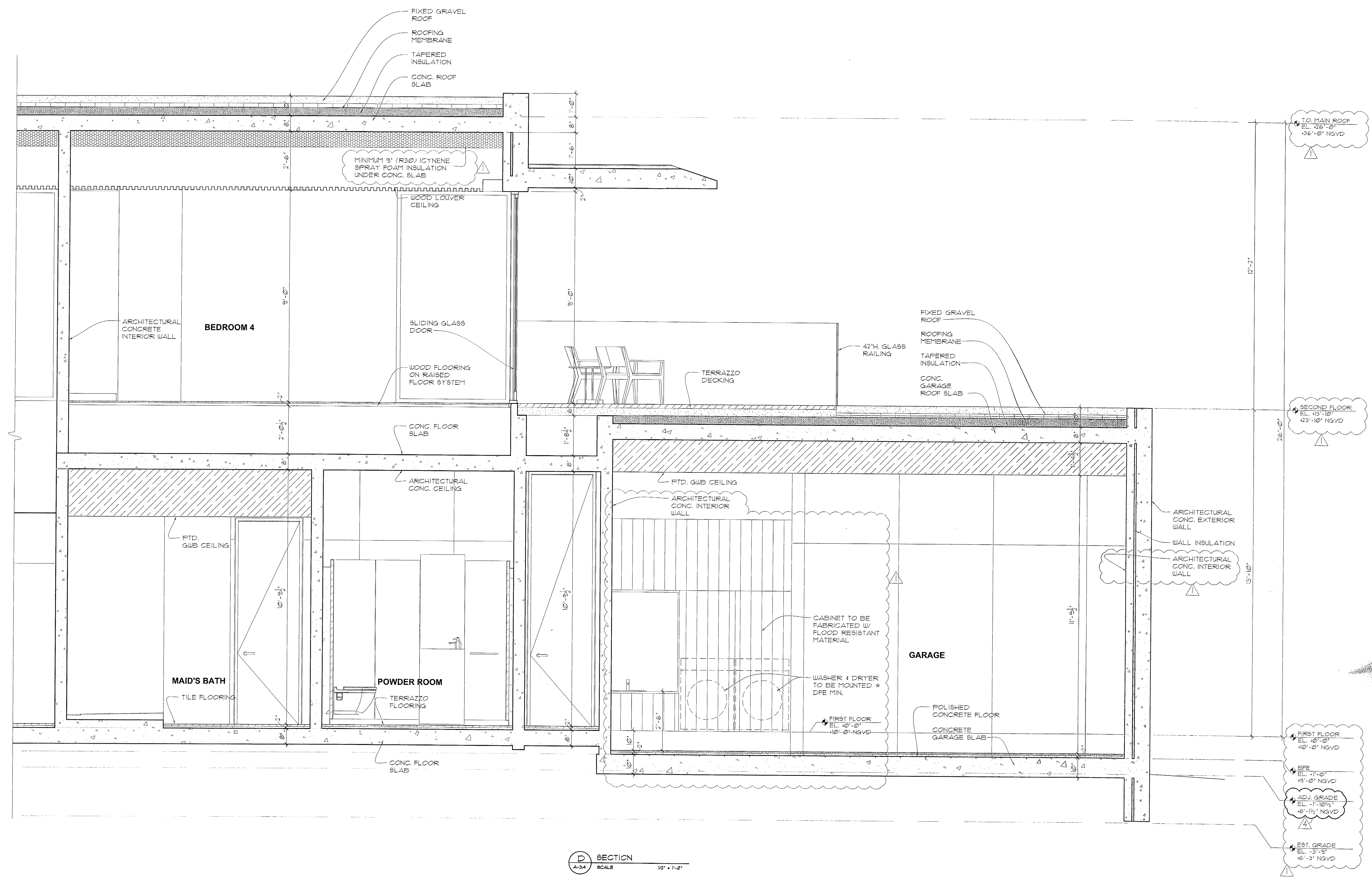
04/01/17
B.D. COMMENTS

sheet no.

A-3.3



SECTION A-3.3
SCALE 1/2" = 1'-0"



28 W DILDO RESIDENCE
28 WEST DILDO DR.
MIAMI BEACH, FL 33139

seal



comm no.
1652

date:
2/1/17

revised:

- 04/01/17
B.D. COMMENTS
- 08/22/17
B.D. COMMENTS

sheet no.
A-3.4



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1652

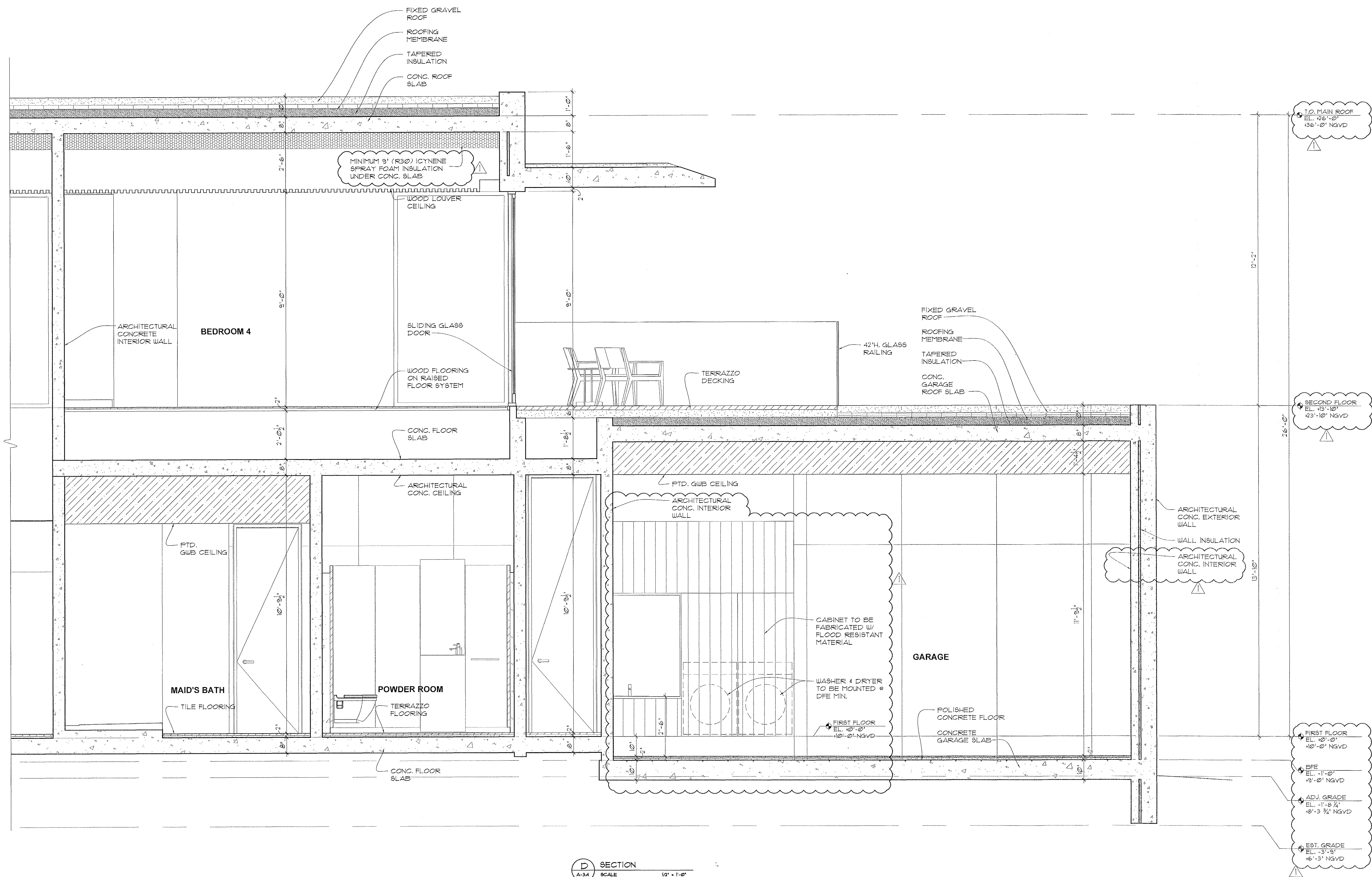
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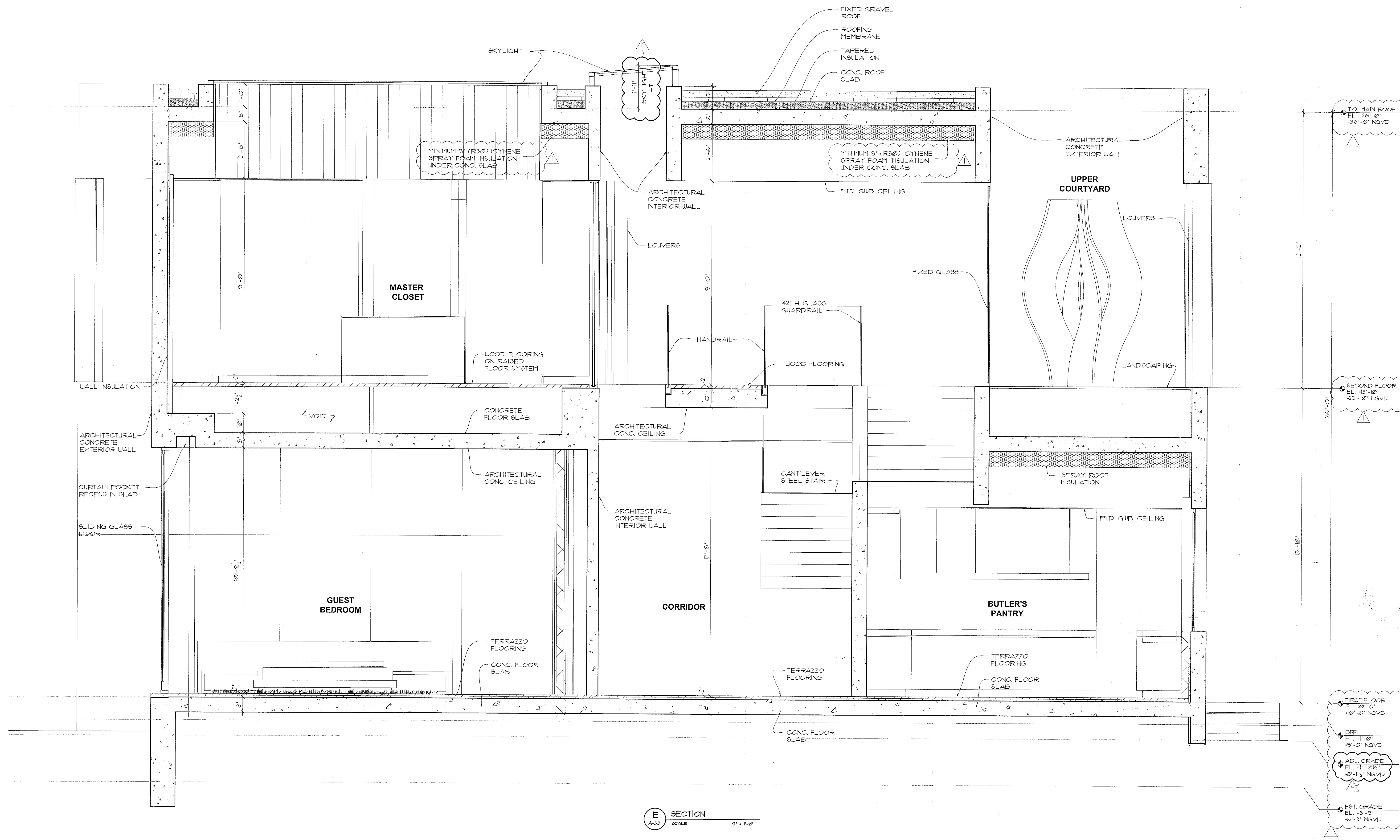
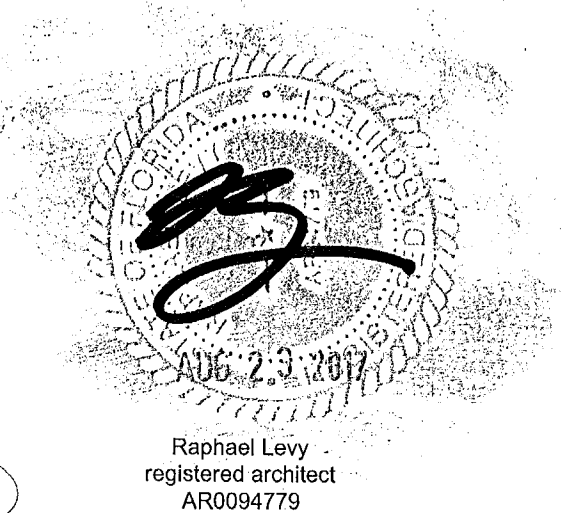
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04/01/17
B.D. COMMENTS

sheet no.

A-3.4





E SECTION
A-3.5 SCALE 1/2" = 1'-0"



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1652

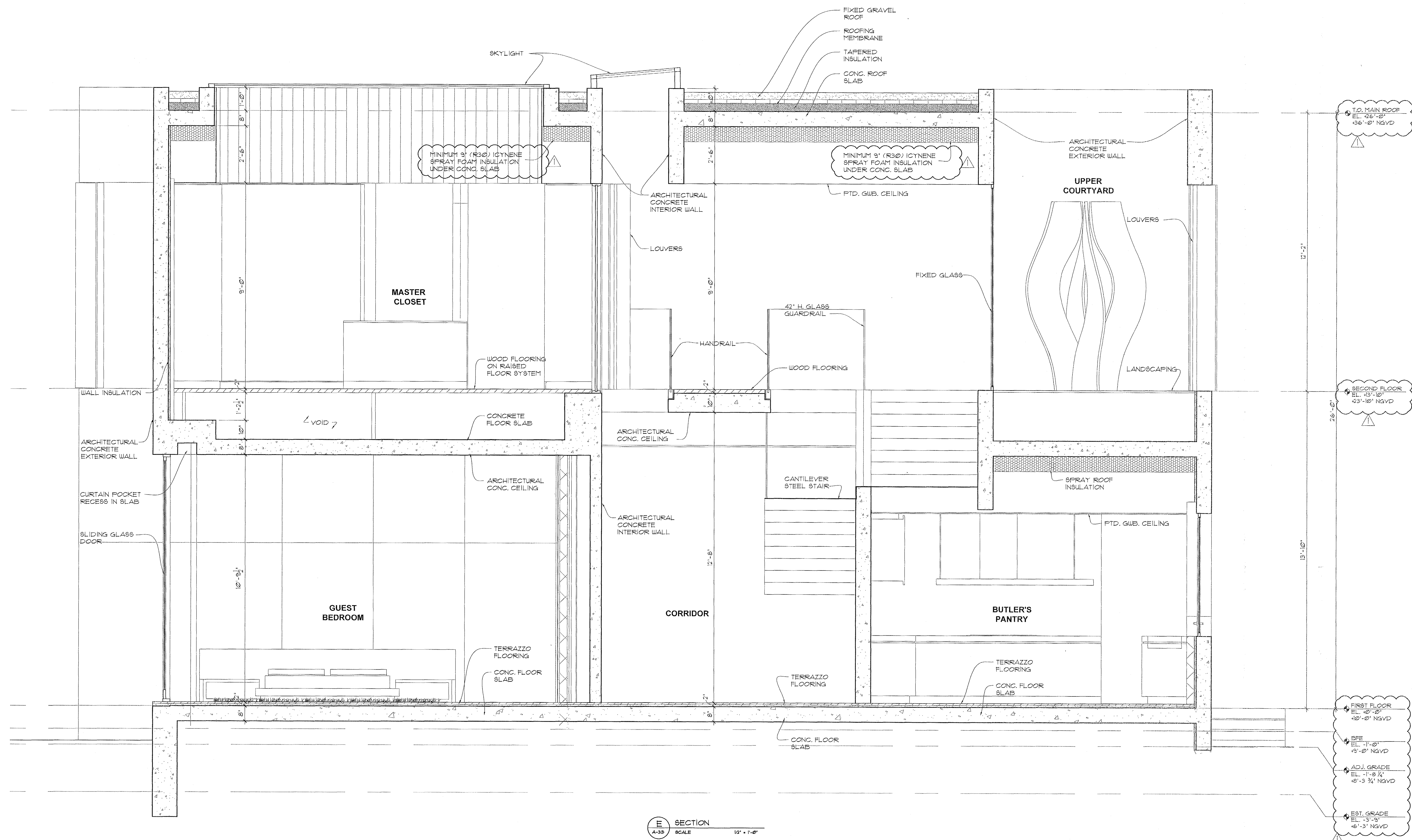
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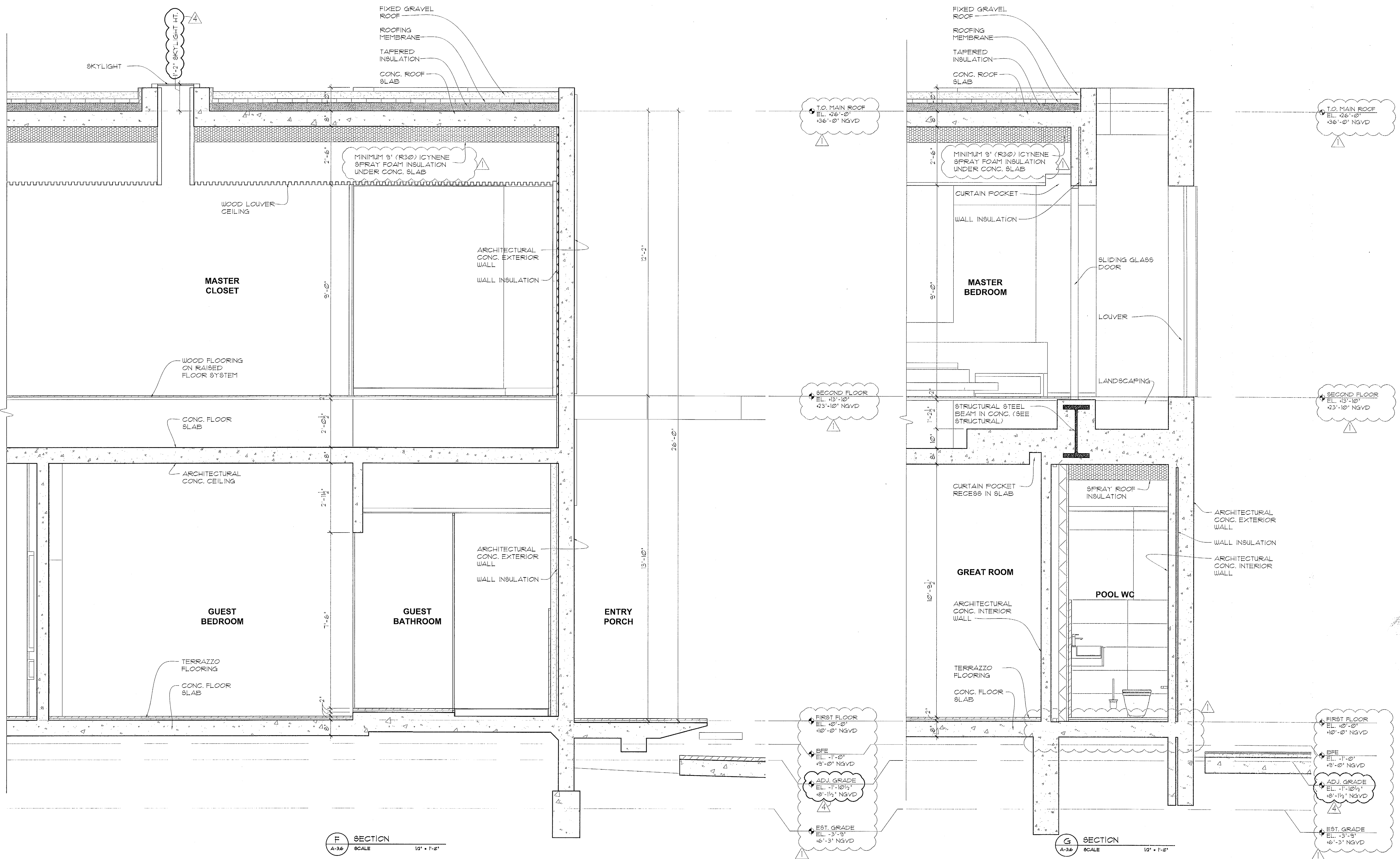
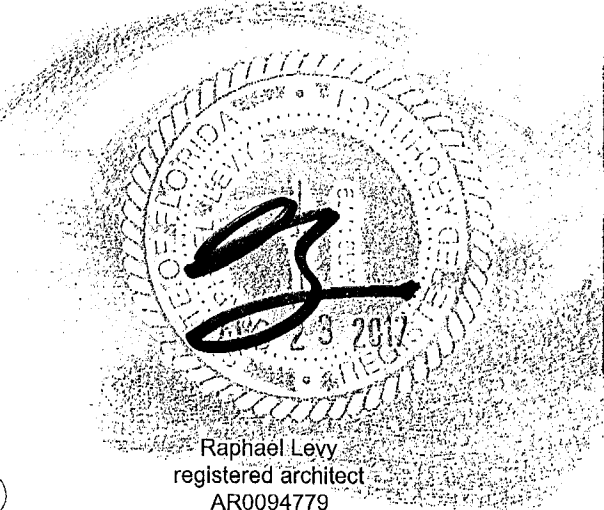
04/01/17
B.D. COMMENTS

sheet no.

A-3.5



E SECTION
A-3.5 SCALE 1/2" = 1'-0"





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1652

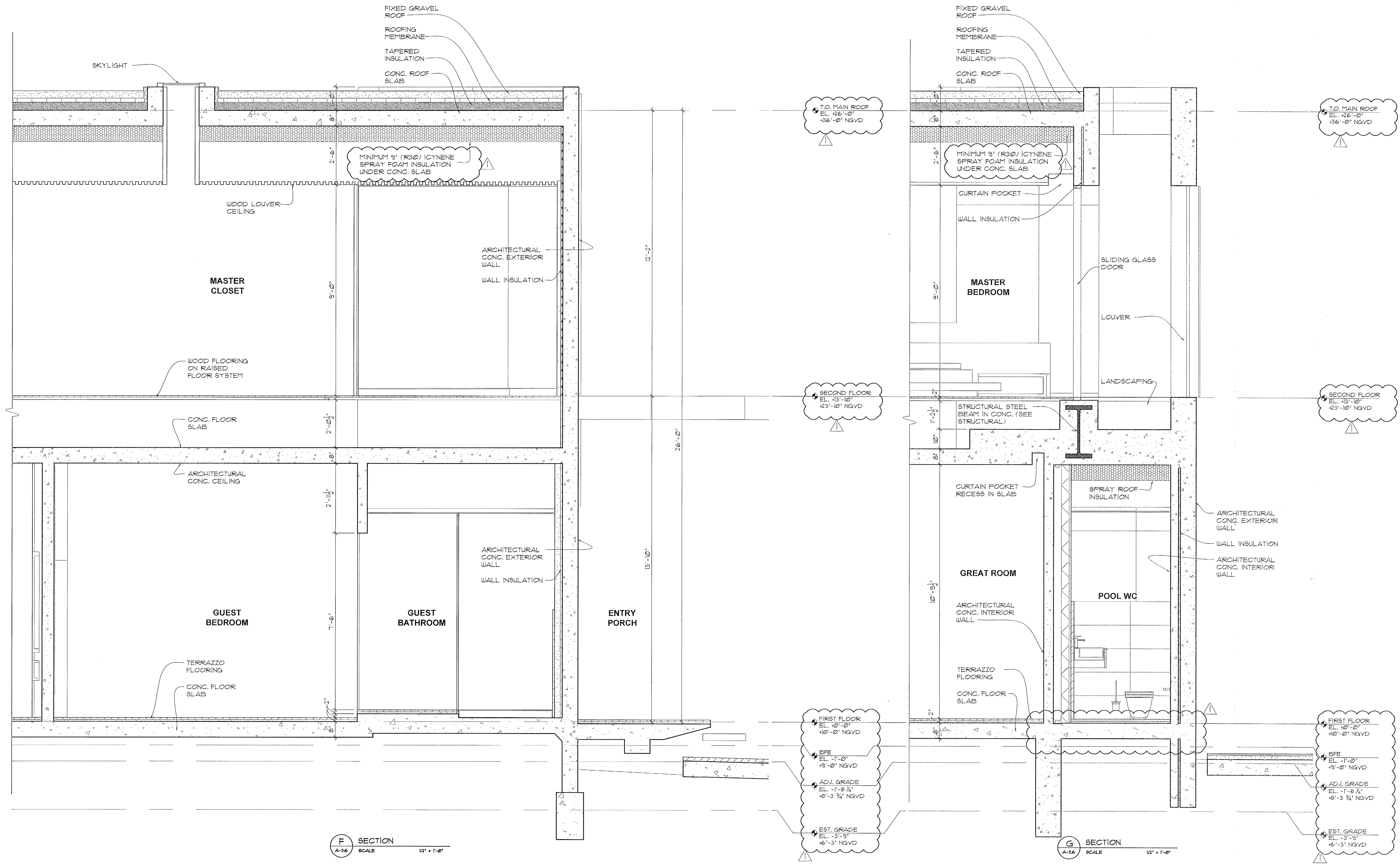
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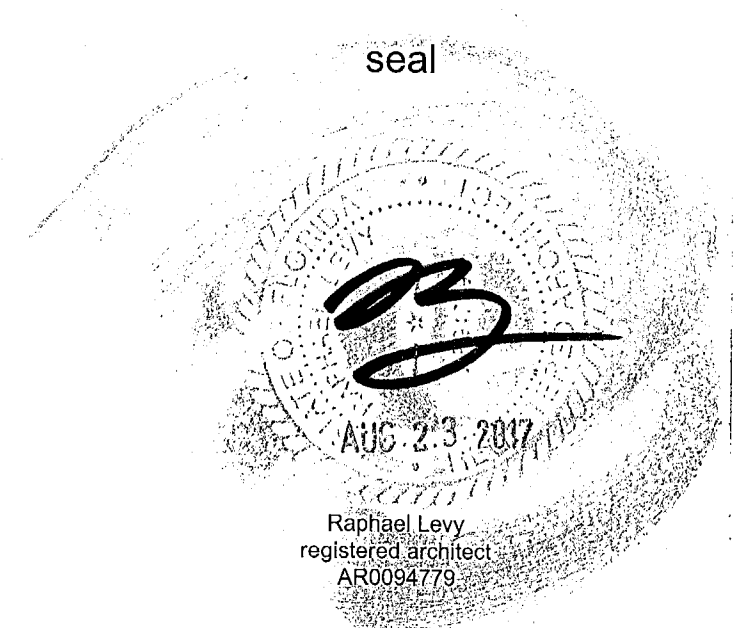
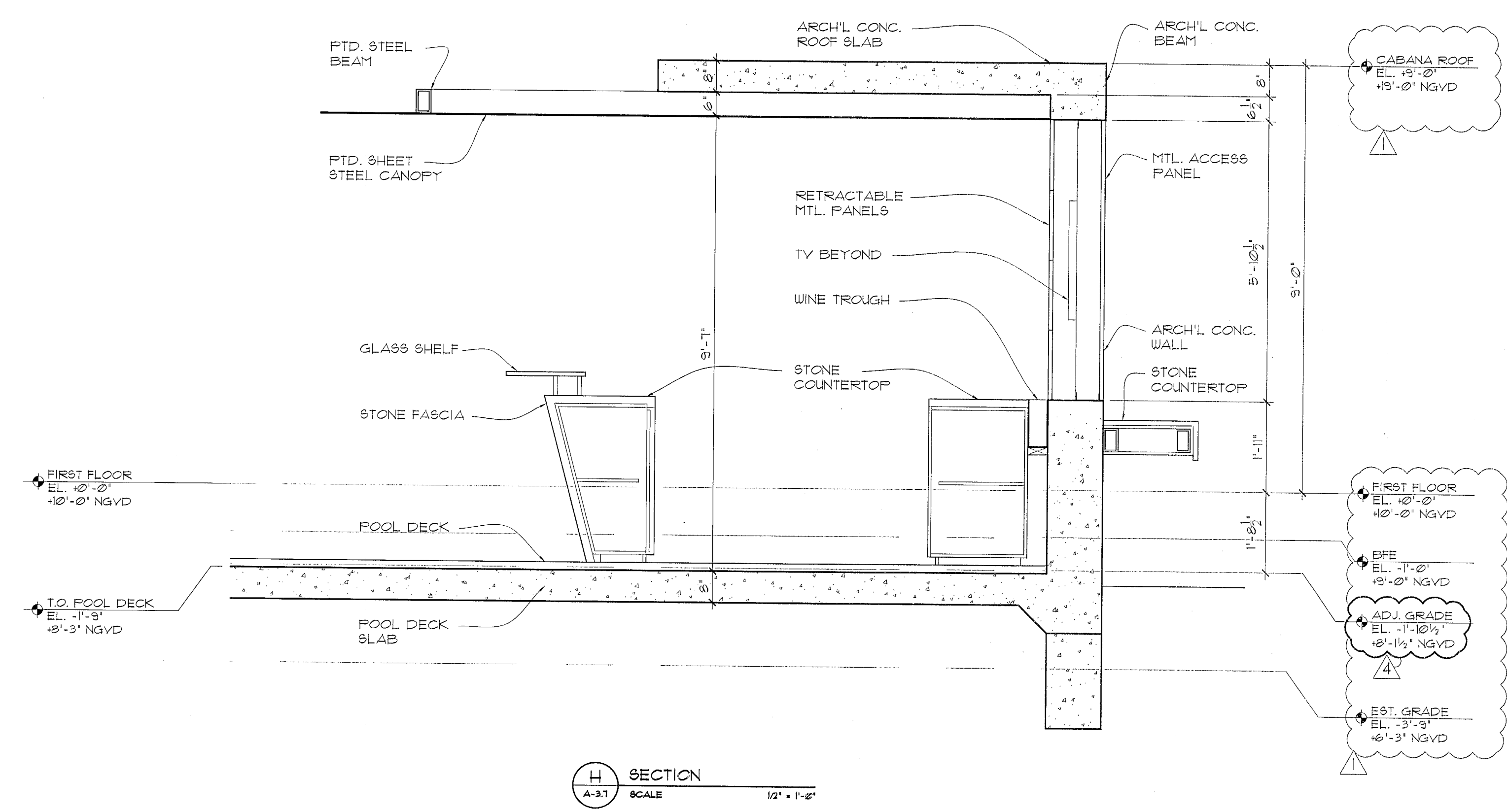
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B.D. COMMENTS

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A-3.6



28 W DILIDO RESIDENCE
28 WEST DILIDO DR.
MIAMI BEACH, FL 33139



comm no.
1652

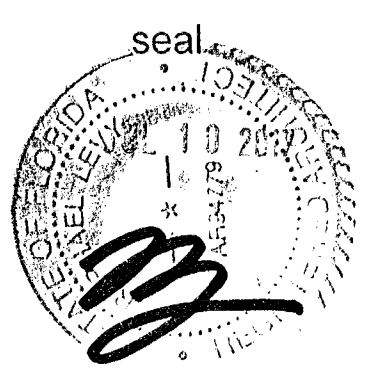
date:
2/1/17

revised:

04/01/17
B.D. COMMENTS

sheet no.
A-3.7

28 W DILIDO RESIDENCE
28 WEST DILIDO DR.
MIAMI BEACH, FL 33139



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AR0094779

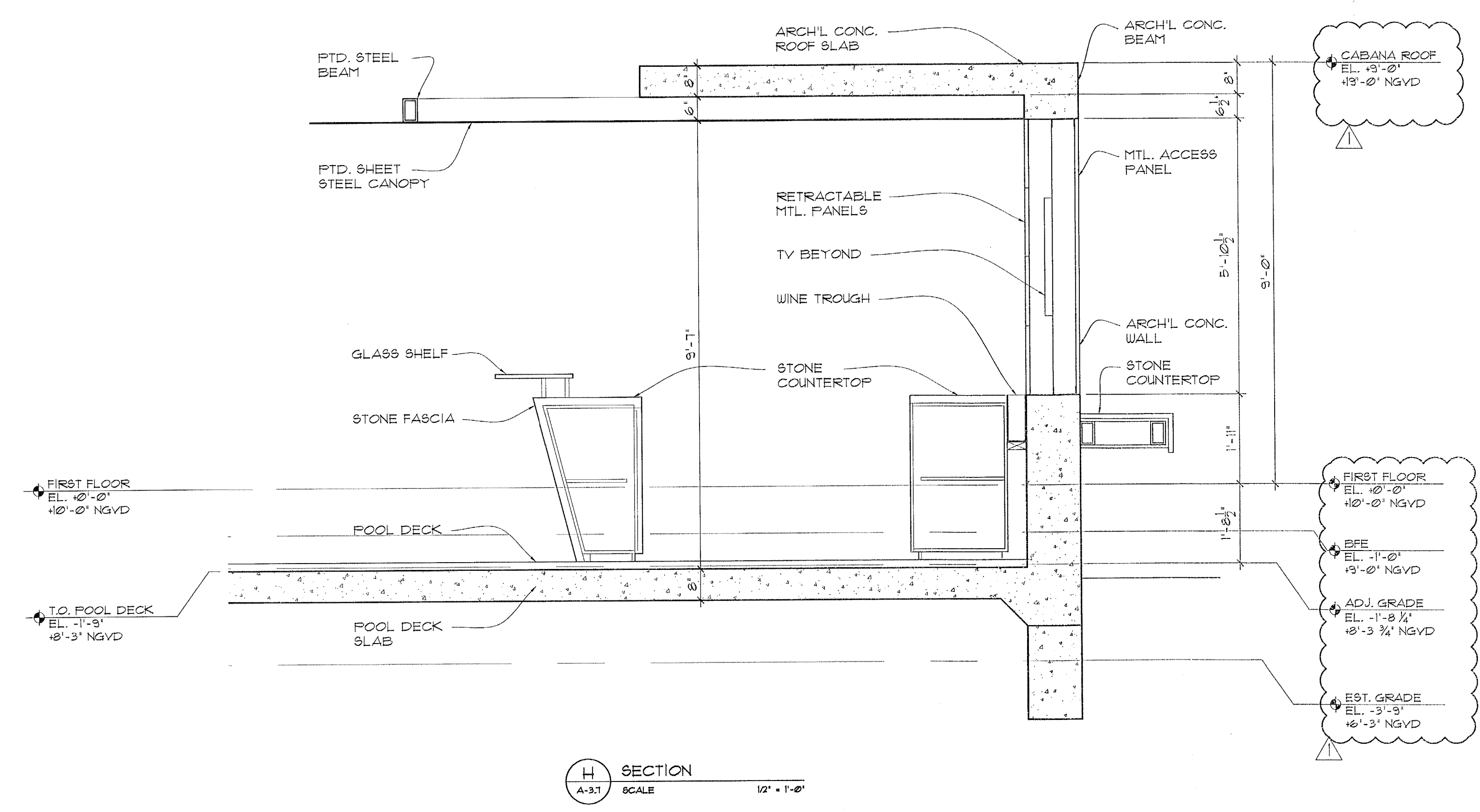
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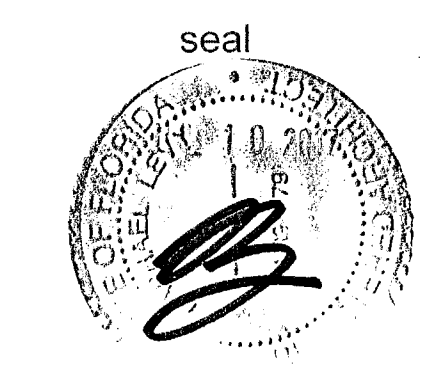
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2/1/17

revised:

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B.D. COMMENTS

sheet no.
A-3.7





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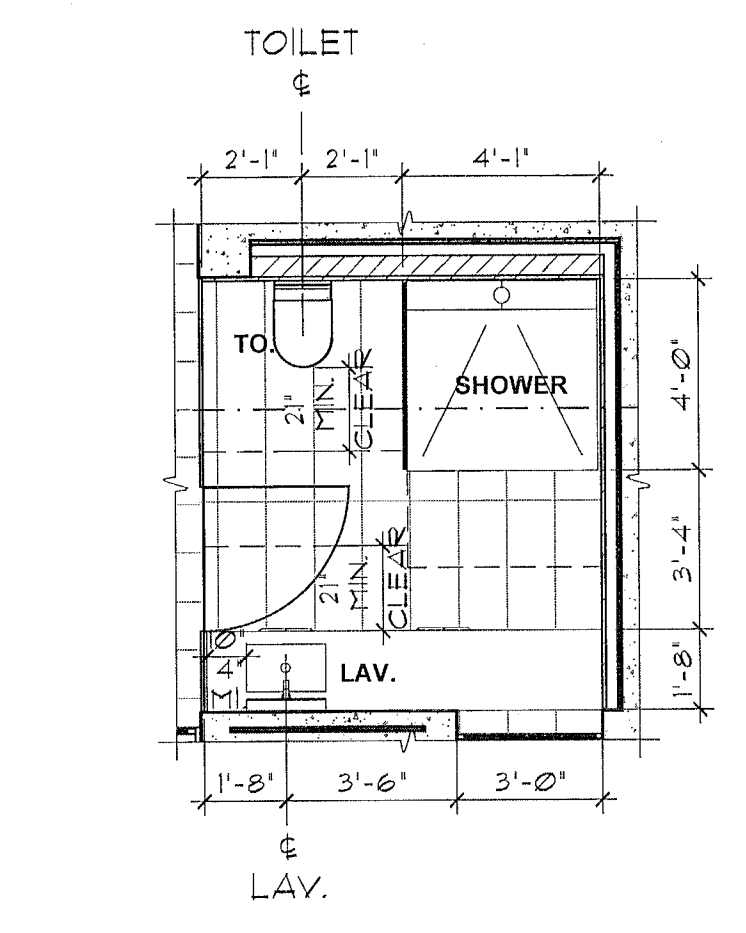
comm no.
1652

date:
2/1/17

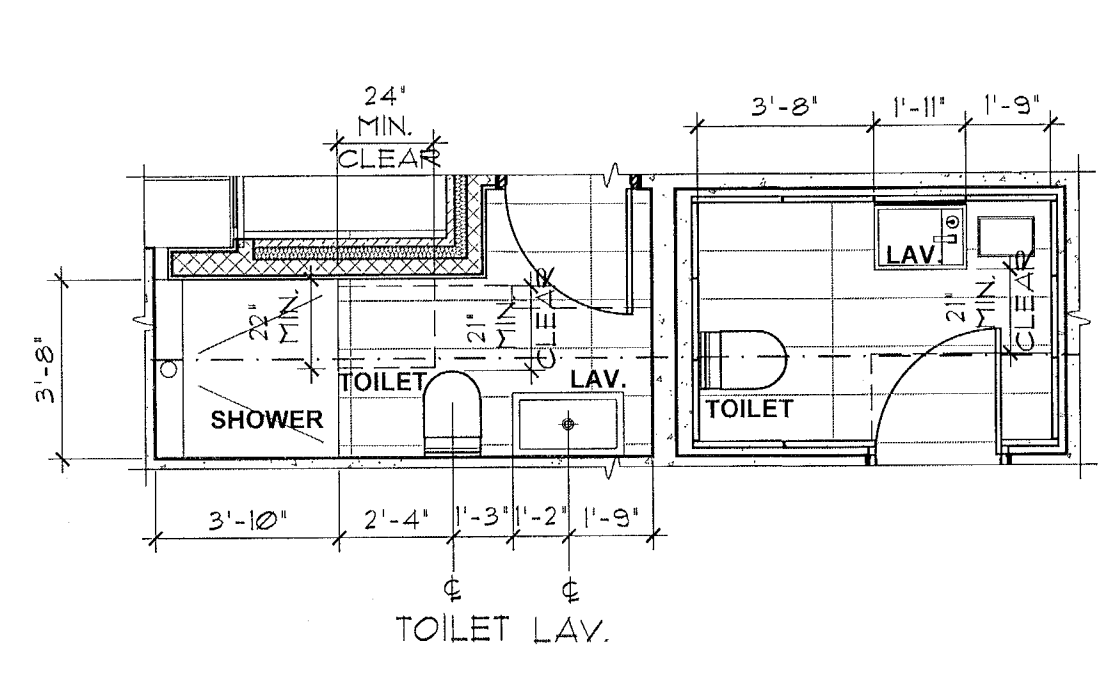
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04/01/17
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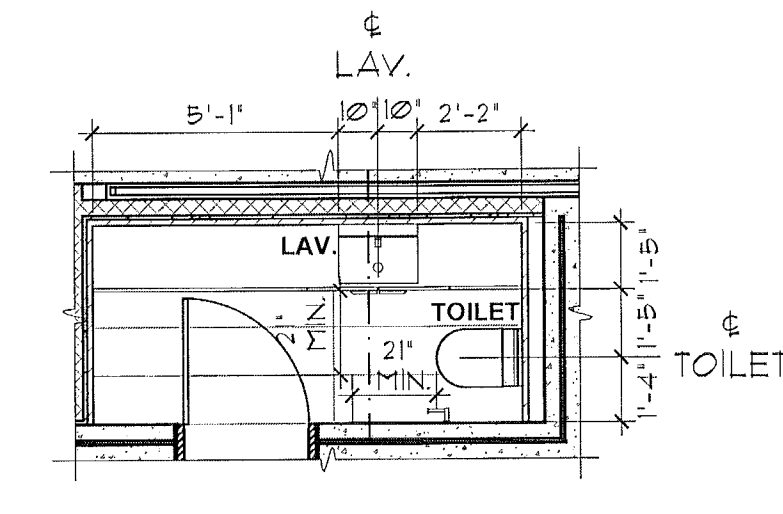
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A-4.1



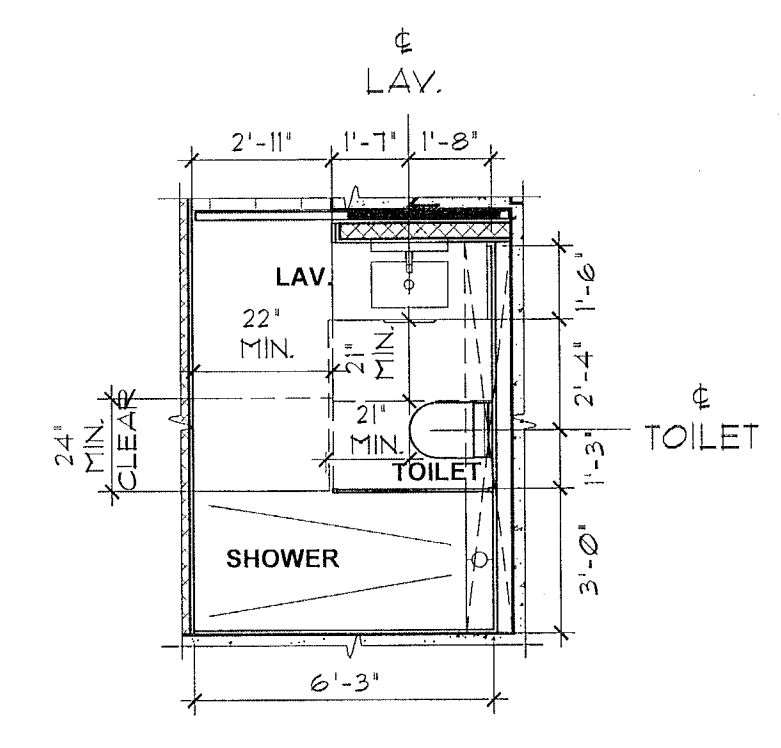
1 GUEST BATHROOM
FIXTURE CLEARANCES
SCALE 1/4" = 1'-0"
A-4.1



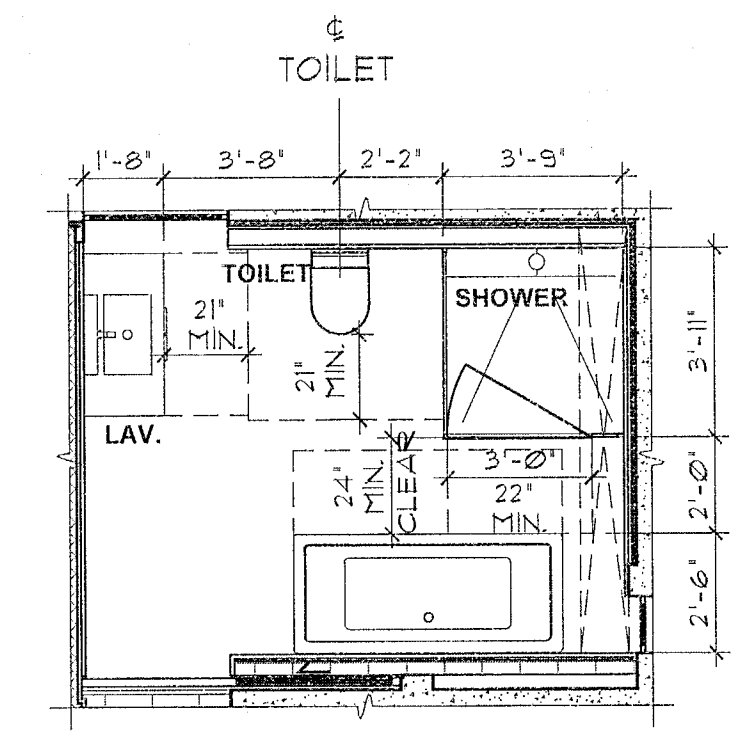
2 POWDER/MAIDS BATH
FIXTURE CLEARANCES
SCALE 1/4" = 1'-0"
A-4.1



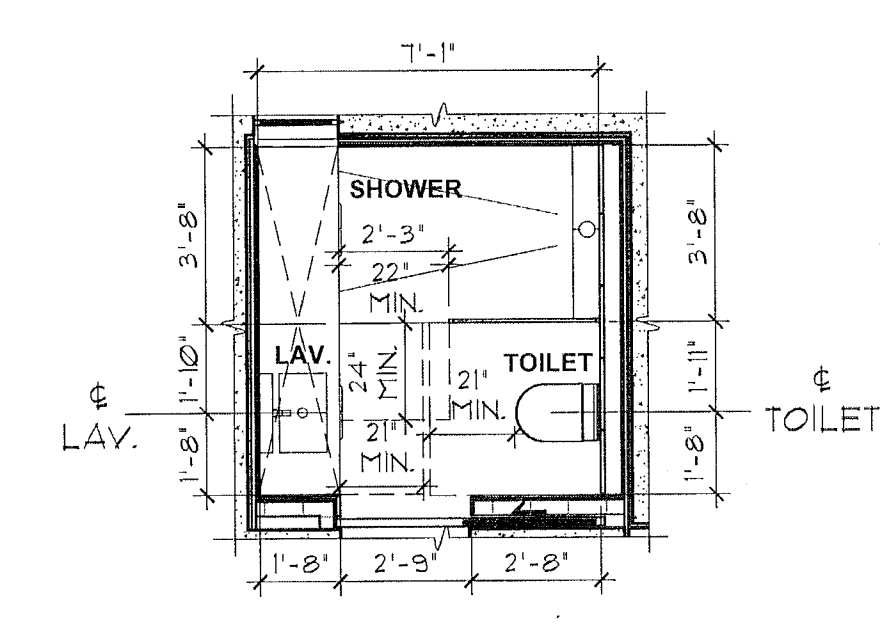
3 POOL WC
FIXTURE CLEARANCES
SCALE 1/4" = 1'-0"
A-4.1



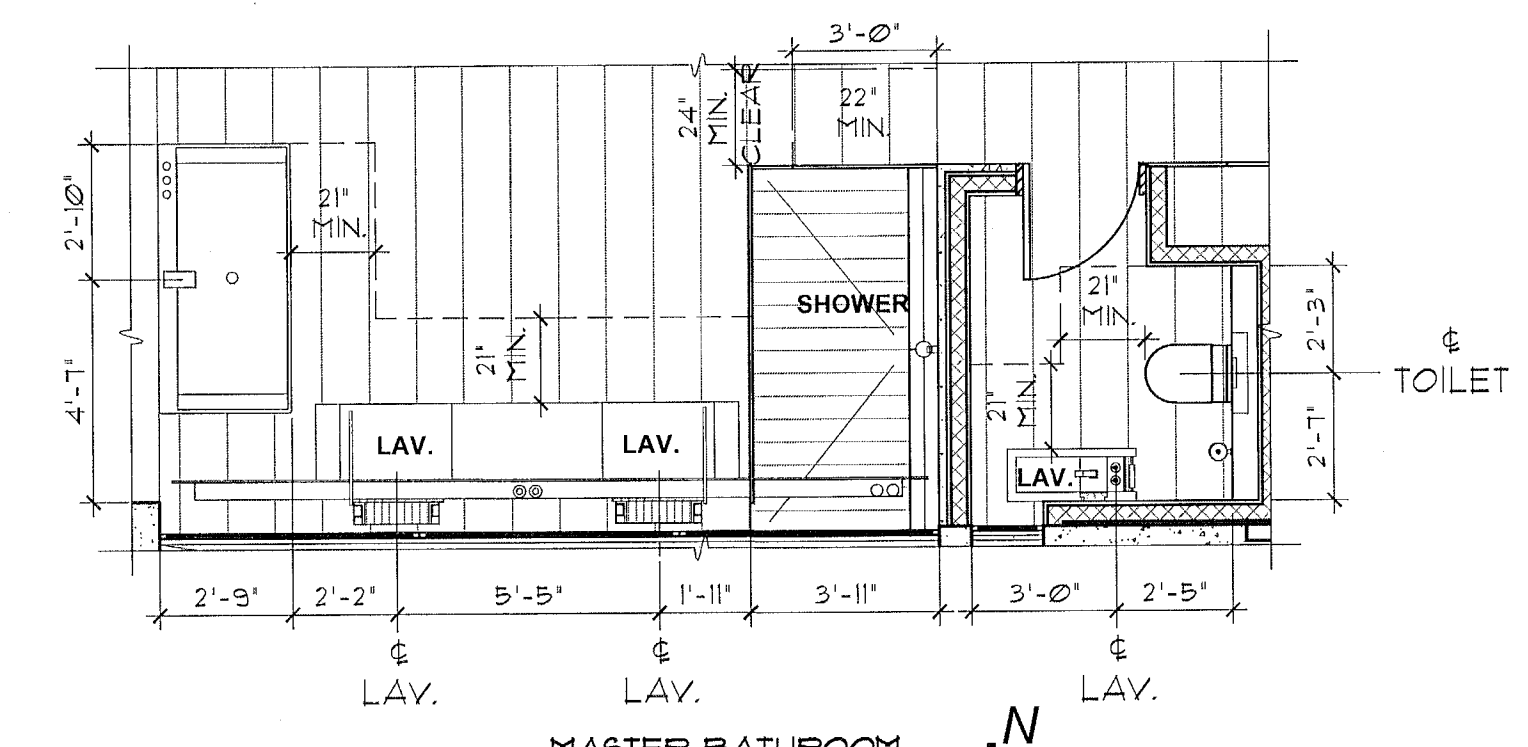
4 BATHROOM #2
FIXTURE CLEARANCES
SCALE 1/4" = 1'-0"
A-4.1



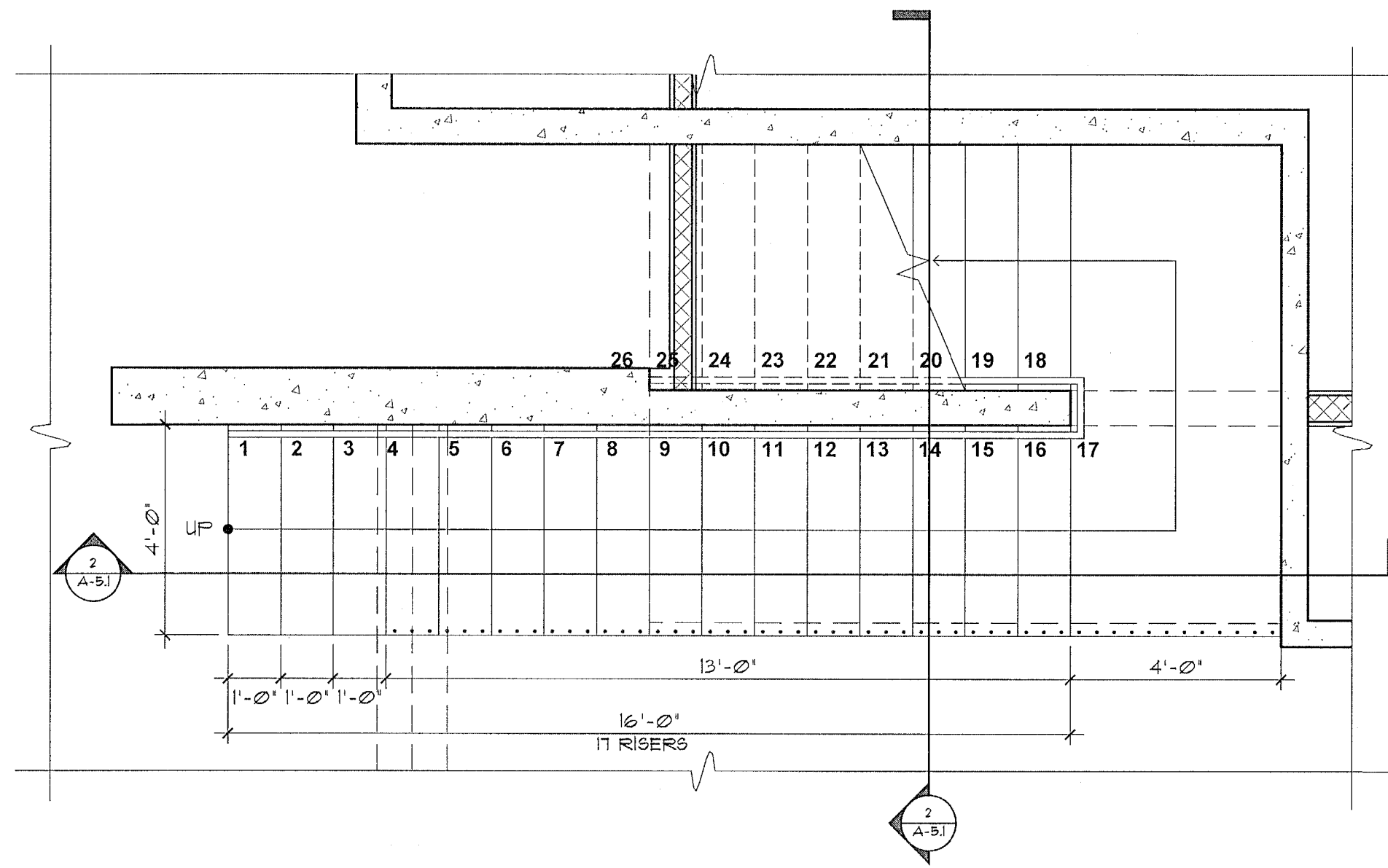
5 BATHROOM #3
FIXTURE CLEARANCES
SCALE 1/4" = 1'-0"
A-4.1



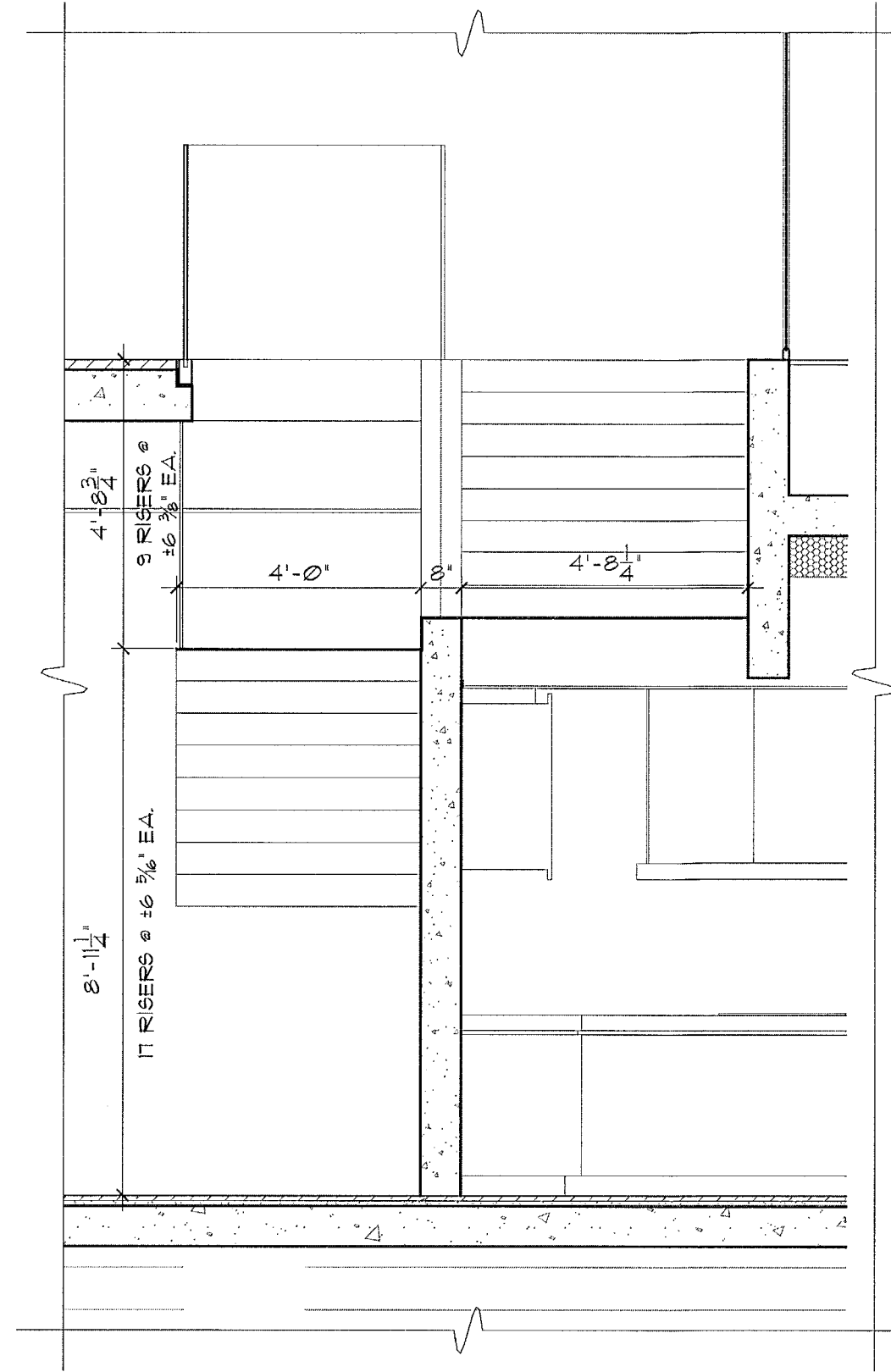
6 BATHROOM #4
FIXTURE CLEARANCES
SCALE 1/4" = 1'-0"
A-4.1



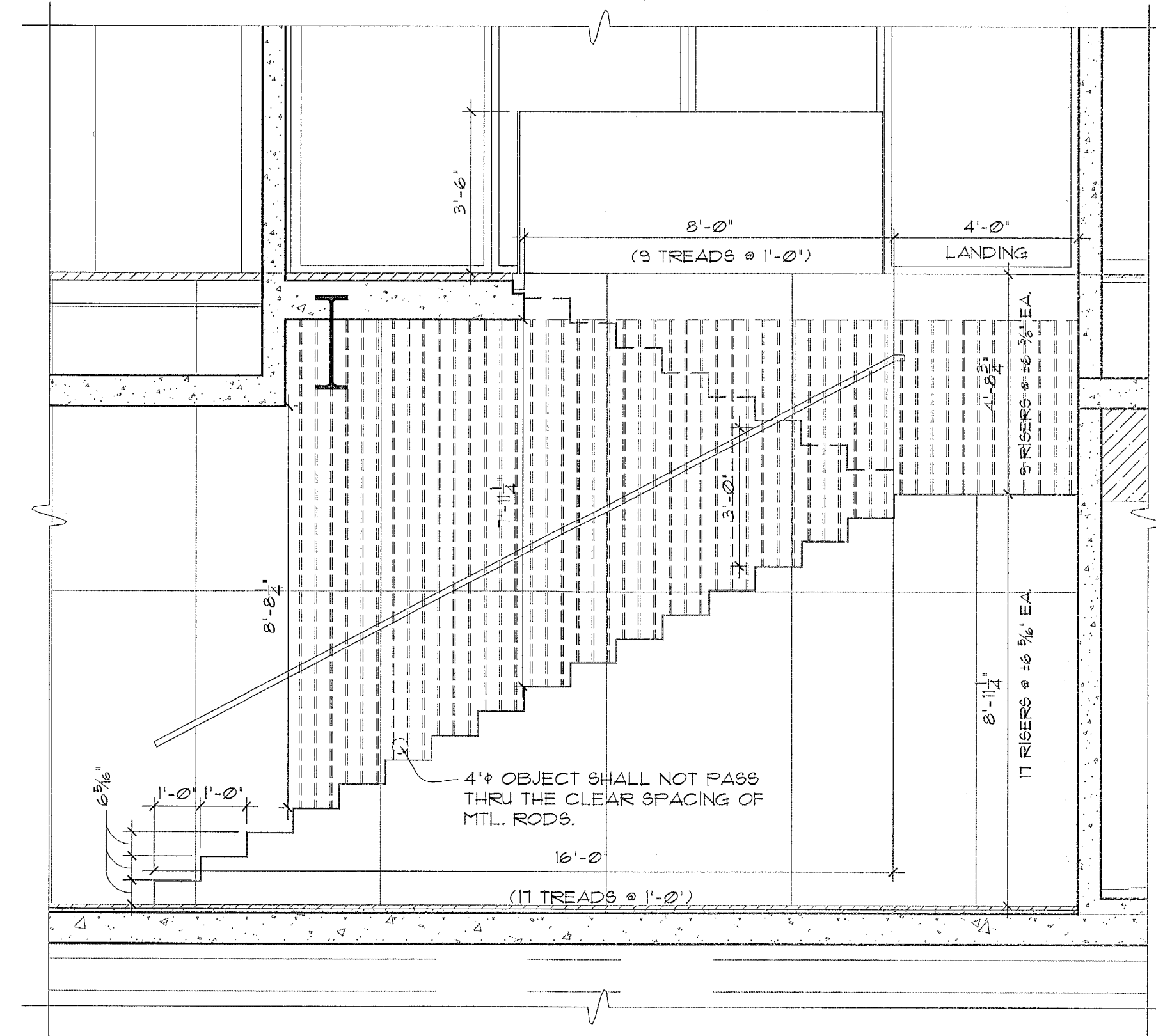
7 MASTER BATHROOM
FIXTURE CLEARANCES
SCALE 1/4" = 1'-0"
A-4.1



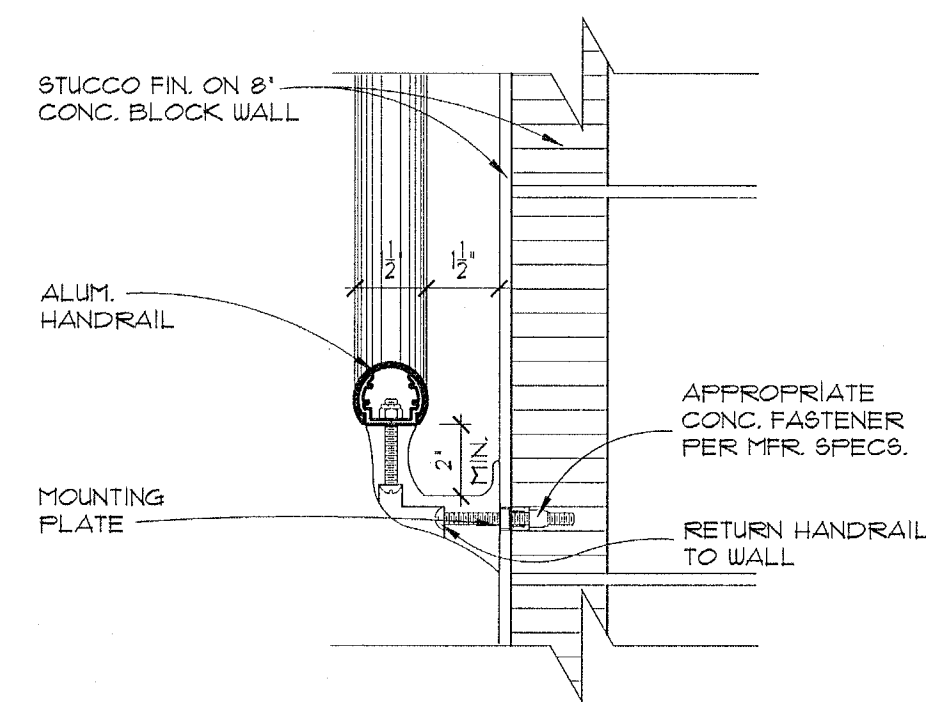
1
A-B
MAIN STAIRS
STEPS PLAN
SCALE 3/8" = 1'-0"



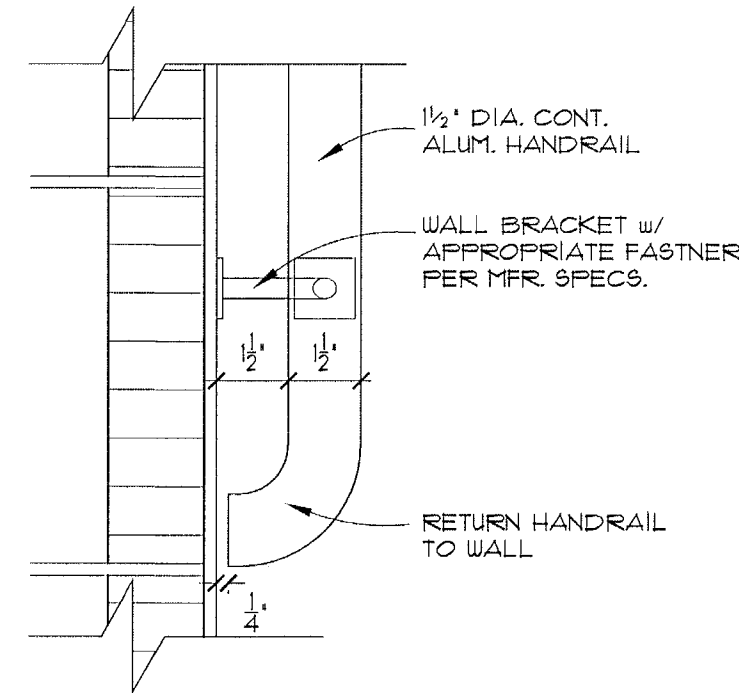
2
A-B
MAIN STAIRS
SECTION I
SCALE 3/8" = 1'-0"



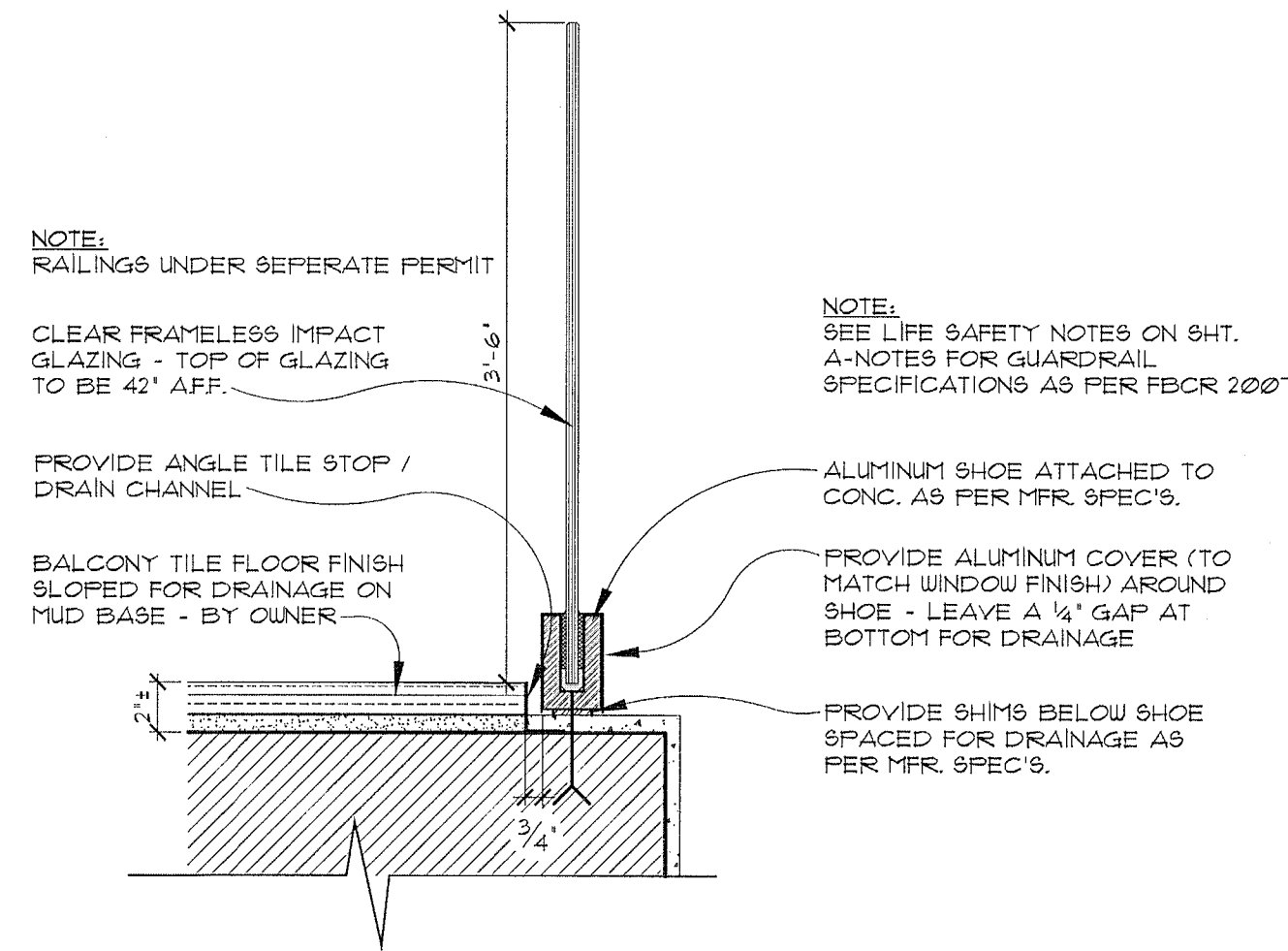
3
A-B
MAIN STAIRS
SECTION B
SCALE 3/8" = 1'-0"



4
A-B
TYPICAL CBS WALL
MOUNTED HANDRAIL
SCALE 3/8" = 1'-0"

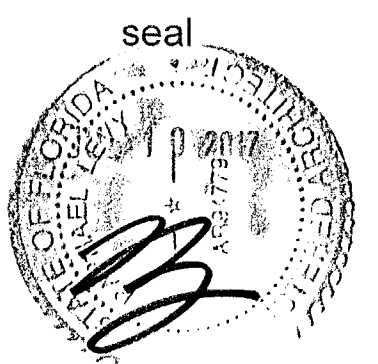


5
A-B
TYPICAL CBS WALL
HANDRAIL RETURN
SCALE 3/8" = 1'-0"



7
A-B
TYPICAL
GLASS GUARDRAIL
SCALE 3/8" = 1'-0"

28 W DILDO RESIDENCE
28 WEST DILDO DR,
MIAMI BEACH, FL 33139



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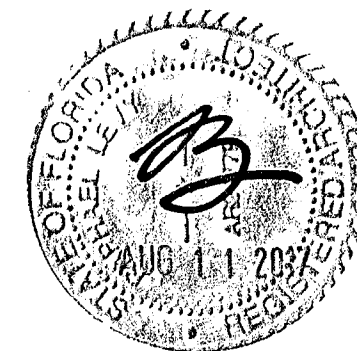
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A-5.1

seal



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1652

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2/1/17

revised:

01/01/17
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sheet no.

A-6.1

DOOR SCHEDULE

	DOOR #	QUANTITY	LOCATION	DOOR SIZES			TOTAL # OF PANELS	FIXED PANELS	JAMB	TYPE		MATERIAL			HARDWARE	REMARKS / NOA'S
				DOOR HEIGHT	OPENING WIDTH	PANEL WIDTH						DOOR / FRAME	GLAZING			
													TINIT / FINISH	TYPE		
FIRST FLOOR	(1)	1	ENTRANCE	10'-0"	5'-0"	5'-0"	1	Ø		PIVOT					PRIVACY LOCK / DEADBOLT	
	(2)	1	GARAGE	15'-0"	21'-10"	21'-10"	1	Ø	METAL	GARAGE	METAL					
	(3)	1	GARAGE	11'-0"	2'-11"	2'-11"	1	Ø	METAL	SWING	METAL				PRIVACY LOCK / DEADBOLT	
	(4)	1	MAID'S QUARTERS	10'-0"	3'-0"	3'-0"	1	Ø	METAL	SWING	METAL				PRIVACY LOCK / DEADBOLT	
	(5)	1	BUTLER'S PANTRY	9'-6"	3'-3"	3'-3"	1	Ø	METAL	SWING	METAL	GLASS	IMPACT		PRIVACY LOCK / DEADBOLT	
	(6)	1	DINING	12'-0"	15'-0"	EQ.	3	Ø	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT		PRIVACY LOCK / DEADBOLT	
	(7)	2	GREAT ROOM	12'-0"	23'-0"	EQ.	5	Ø	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT		PRIVACY LOCK / DEADBOLT	
	(8)	1	POOL WC	10'-0"	2'-11"	2'-11"	1	Ø	METAL	HORIZ. SLIDING	METAL					
	(9)	1	GREAT ROOM	12'-0"	10'-0"	10'-0"	1	Ø	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT		PRIVACY LOCK / DEADBOLT	
	(10)	1	MEDIA ROOM	12'-0"	15'-2"	EQ.	3	1	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT		PRIVACY LOCK / DEADBOLT	
SECOND FLOOR	(11)	1	GUEST BEDROOM	12'-0"	10'-0"	EQ.	2	Ø	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT		PRIVACY LOCK / DEADBOLT	
	(12)	1	GARAGE INTERIOR	10'-0"	3'-0"	3'-0"	1	Ø	METAL	SWING	METAL					
	(13)	3	POUNDER ROOM	10'-0"	3'-0"	3'-0"	1	Ø	WOOD	SWING	WOOD					
	(14)	1	BUTLER'S PANTRY	12'-0"	3'-8"	3'-8"	1	Ø	WOOD	SWING	WOOD					
	(15)	1	MEDIA ROOM	12'-0"	10'-0"	10'-0"	1	Ø	WOOD	HORIZ. SLIDING	WOOD					
	(16)	1	MEDIA ROOM	12'-0"	10'-6"	10'-6"	1	Ø	WOOD	HORIZ. SLIDING	WOOD					
	(17)	1	BEDROOM 4	10'-0"	10'-4"	EQ.	2	1	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT		PRIVACY LOCK / DEADBOLT	
	(18)	1	CORRIDOR	10'-0"	3'-4"	3'-4"	1	Ø	METAL	SWING	METAL	GLASS	IMPACT		PRIVACY LOCK / DEADBOLT	
	(19)	2	BEDROOMS 2&3	10'-0"	10'-0"	EQ.	2	1	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT		PRIVACY LOCK / DEADBOLT	
	(20)	1	MASTER BEDROOM	10'-0"	20'-2"	EQ.	1	Ø	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT		PRIVACY LOCK / DEADBOLT	
	(21)	1	MASTER BEDROOM	10'-0"	10'-4"	EQ.	1	Ø	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT		PRIVACY LOCK / DEADBOLT	
	(22)	1	BATH 4	10'-0"	3'-2"	3'-2"	1	Ø	WOOD	HORIZ. SLIDING	WOOD					PROVIDE PRIVACY LOCKS ON BATHROOMS
	(23)	4	BEDROOM 3	10'-0"	2'-10"	2'-10"	1	Ø	WOOD	SWING	WOOD					
	(24)	1	BATH 3	10'-0"	3'-0"	3'-0"	1	Ø	WOOD	HORIZ. SLIDING	WOOD					PROVIDE PRIVACY LOCKS ON BATHROOMS
	(25)	1	MASTER BEDROOM	10'-0"	4'-0"	4'-0"	1	Ø	WOOD	PIVOT	WOOD					

WINDOW SCHEDULE

MARK	QUANTITY	LOCATION	WINDOW SIZES			TOTAL # OF PANELS	TYPE	FRAME MATERIAL	GLASS TINT										GLASS TYPE	EXPOSE TYPE	REMARKS / NOA'S									
			HEIGHT	OPENING WIDTH	PANEL WIDTH				SINGLE HINGE	CASEMENT	HORIZONTAL ROLLING	FIXED	AWNING	EFF. BLACK	EFF. CLEAR	EFF. BRONZE	EFF. MAGNAN	OTHER				CLEAR	SOLAR GREEN	SOLAR GREY	SOLAR BRONZE	TINTED	REFLECTANT	THERMAL	TYPE	NO
A	1	ENTRANCE	12'-0"	2'-5"	2'-5"	1																								
B	1	ENTRANCE	10'-0"	4'-8"	4'-8"	1																								
C	1	ENTRANCE	10'-0"	1'-5"	1'-5"	1																								
D	1	GUEST BATH	12'-0"	3'-6"	3'-6"	1																								
E	1	GUEST BEDROOM	12'-0"	2'-4"	2'-4"	1																								
F	1	BUTLER'S PANTRY	9'-6"	2'-0"	2'-0"	1																								
G	1	BUTLER'S PANTRY	6'-11"	8'-0"	8'-0"	1																								
H	1	GARAGE	10'-0"	3'-5"	3'-5"	1																								
I	1	OPEN TO BELOW	13'-4"	2'-11"	2'-11"	1																								
J	1	OPEN TO BELOW	13'-4"	6'-6"	6'-6"	1																								
K	1	MASTER WC	10'-0"	1'-6"	1'-6"	1																								
L	1	MASTER BATH	10'-0"	16'-4"	EQ.	3																								
M	1	MASTER	10'-0"	21'-0"	EQ.	5																								
N	1	OPEN TO BELOW	13'-2"	2'-11"	2'-11"	1																								
O	1	BATHROOM 3	10'-0"	3'-0"	3'-0"	1																								
P	1	BATHROOM 3	10'-0"	1'-2"	1'-2"	1																								
Q	1	UPPER COURTYARD	10'-0"	17'-0"	EQ.	4																								
R	2	BATHROOM 4	10'-0"	1'-9"	1'-9"	1																								
S	1	BEDROOM 4	10'-0"	4'-9"	4'-9"	1																								
T	1	MASTER CLOSET	10'-2"	12'-4"	12'-4"	1																								
U	2	BEDROOM 3	10'-4"	2'-6"	2'-6"	1																								
V	1																													
W	1																													

BURGLAR INTRUSION WINDOWS AND BURGLAR INTRUSION HARDWARE

- LOCKS ON EXTERIOR DOOR SHALL BE CAPABLE OF RESISTING A FORCE OF 500 POUNDS APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN THE F.B.C.
- ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OF LOCKING COMBINATIONS. IF KEY-IN-THE-KNOB LOCK IS USED, THERE SHALL BE AN AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT OR INSERTS.
- THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIR OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8" MINIMUM THROW BOLTS WITH INSERTS.
- HINGES ON EXTERIOR OUT SWING DOORS SHALL HAVE NON-EXPOSED SCREWS. EXPOSED PINE SHALL NOT BE REMOVABLE.
- SINGLE, SWINGING, EXTERIOR DOORS SHALL BE SOLID CORE OF NOT LESS THAN 1 3/8" THICK.
- GLASS IN EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE 291.1.
- VISION PANELS IN EXTERIOR DOOR, OTHER THAN GLAZING WITHIN 40' OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOCKS AND SWINGING GLASS DOOR SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE - STANDARD 291.1 ON FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A SCOPE OR VISION PANELS.

DOOR NOTE:

ALL EXTERIOR DOORS SHALL MEET MIAMI-DADE PRODUCT APPROVAL STANDARDS. CONTRACTOR SHALL SUBMIT SUPPORTING LITERATURE TO THE BUILDING DEPT. FOR APPROVAL PRIOR TO ORDERING & INSTALLATION.

NOTE:

ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH F.B.C. SECTION 2410 THROUGH 2415. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING ALL NECESSARY PRODUCT APPROVALS AND REQUIRED SHOP DRAWINGS TO THE BUILDING DEPARTMENT.

CONTRACTOR NOTE:

CONTRACTOR TO COORDINATE ALL EXTERIOR WINDOW & DOOR SIZES WITH FIXTURES, EQUIPMENT, AND ALL INTERIOR FINISHES (INCLUDING FINISHED DRYWALL & CONC. WALLS WITH SWITCHES) PRIOR TO ORDERING WINDOWS & DOORS.

ROUGH OPENING NOTE:

CONTRACTOR SHALL VERIFY WINDOW AND DOOR MANUFACTURER THE ROUGH OPENING DIMENSIONS PRIOR TO ORDERING, MANUFACTURING OR INSTALLING DOORS & WINDOWS.

GLASS NOTE:

SEE MECHANICAL DRAWINGS & CALCULATIONS FOR SHADING COEFFICIENT OF CLEAR GLASS. LOE VALUES ARE AS FOLLOWS: SINGLE IMPACT, SHGC .40 OR BETTER, GLASS U-FACTOR .63, SKY LIGHT U-FACTOR .49 TO .63.

PERMIT NOTE:

WINDOWS & DOORS ARE NOT PART OF THIS PERMIT



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comm no.
1652

date:
2/1/17

revised:

sheet no.
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DOOR SCHEDULE

DOOR #	QUANTITY	LOCATION	DOOR SIZES			TOTAL # OF PANELS	FIXED P-PANELS	JAMB	TYPE	MATERIAL			HARDWARE	REMARKS / NOA'S
			DOOR HEIGHT	OPENING WIDTH	PANEL WIDTH					DOOR / FRAME	GLAZING			
											TINIT / FINISH	TYPE		
FIRST FLOOR	1	ENTRANCE	10'-0"	5'-0"	5'-0"	1	0		PIVOT				PRIVACY LOCK / DEADBOLT	
	2	GARAGE	15'-0"	21'-10"	21'-10"	1	0	METAL	GARAGE	METAL			PRIVACY LOCK / DEADBOLT	
	3	GARAGE	11'-0"	2'-11"	2'-11"	1	0	METAL	SWING	METAL			PRIVACY LOCK / DEADBOLT	
	4A	MAID'S QUARTERS	10'-0"	3'-0"	3'-0"	1	0	METAL	SWING	METAL			PRIVACY LOCK / DEADBOLT	
	4	BUTLER'S PANTRY	9'-6"	3'-3"	3'-3"	1	0	METAL	SWING	METAL	GLASS	IMPACT	PRIVACY LOCK / DEADBOLT	
	5	DINING	12'-0"	15'-0"	EQ.	3	0	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT	PRIVACY LOCK / DEADBOLT	
	6	GREAT ROOM	12'-0"	25'-0"	EQ.	5	0	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT	PRIVACY LOCK / DEADBOLT	
	7	POOL WC	10'-0"	2'-11"	2'-11"	1	0	METAL	HORIZ. SLIDING	METAL				
	8	GREAT ROOM	12'-0"	10'-0"	10'-0"	1	0	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT	PRIVACY LOCK / DEADBOLT	
	9	MEDIA ROOM	12'-0"	15'-2"	EQ.	3	1	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT	PRIVACY LOCK / DEADBOLT	
SECOND FLOOR	10	GUEST BEDROOM	12'-0"	10'-0"	EQ.	2	0	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT	PRIVACY LOCK / DEADBOLT	
	11	GARAGE INTERIOR	10'-0"	3'-0"	3'-0"	1	0	METAL	SWING	METAL				
	12	POUNDER ROOM	10'-0"	3'-0"	3'-0"	1	0	WOOD	SWING	WOOD				
	13	BUTLER'S PANTRY	12'-0"	3'-8"	3'-8"	1	0	WOOD	SWING	WOOD				
	14	MEDIA ROOM	12'-0"	10'-0"	10'-0"	1	0	WOOD	HORIZ. SLIDING	WOOD				
	15	MEDIA ROOM	12'-0"	10'-6"	10'-6"	1	0	WOOD	HORIZ. SLIDING	WOOD				
	16	BEDROOM 1 4	10'-0"	10'-4"	EQ.	2	1	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT	PRIVACY LOCK / DEADBOLT	
	17	CORRIDOR	10'-0"	3'-4"	3'-4"	1	0	METAL	SWING	METAL	GLASS	IMPACT	PRIVACY LOCK / DEADBOLT	
	18	BEDROOMS 2 & 3	10'-0"	10'-0"	EQ.	2	1	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT	PRIVACY LOCK / DEADBOLT	
	19	MASTER BEDROOM	10'-0"	20'-2"	EQ.	1	0	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT	PRIVACY LOCK / DEADBOLT	
	20	MASTER BEDROOM	10'-0"	10'-4"	EQ.	1	0	METAL	HORIZ. SLIDING	METAL	GLASS	IMPACT	PRIVACY LOCK / DEADBOLT	
	21	BATH 4	10'-0"	3'-2"	3'-2"	1	0	WOOD	HORIZ. SLIDING	WOOD				PROVIDE PRIVACY LOCKS ON BATHROOMS
	22	4 BEDROOM 3	10'-0"	2'-10"	2'-10"	1	0	WOOD	SWING	WOOD				
	23	BATH 3	10'-0"	3'-0"	3'-0"	1	0	WOOD	HORIZ. SLIDING	WOOD				PROVIDE PRIVACY LOCKS ON BATHROOMS
	24	MASTER BEDROOM	10'-0"	4'-0"	4'-0"	1	0	WOOD	PIVOT	WOOD				
25	CLOSET MASTER	10'-0"	4'-6"	4'-6"	1	0	WOOD	HORIZ. SLIDING	WOOD					

WINDOW SCHEDULE

MARK	QUANTITY	LOCATION	WINDOW SIZES			TOTAL # OF PANELS	TYPE		FRAME MATERIAL	GLASS TINT	GLASS TYPE	EXPOSED TYPE	REMARKS / NOA'S													
			HEIGHT	OPENING WIDTH	PANEL WIDTH		SINGLE HING	CASEPENT	SLIDING	FIXED	JANING	BWP BLACK		CLEAR AND	BWP BRONZE	BWP TITANIUM	OTHER	SOLAR GREEN	SOLAR GREY	SOLAR BRONZE	PAINTED	OTHER	TEMPERED	RESISTANT	YES	NO
FIRST FLOOR																										
A	1	ENTRANCE	12'-0"	2'-5"	2'-5"	1																				
B	1	ENTRANCE	10'-0"	4'-8"	4'-8"	1																				
C	1	ENTRANCE	10'-0"	1'-5"	1'-5"	1																				
D	1	GUEST BATH	12'-0"	3'-6"	3'-6"	1																				
DI	1	GUEST BEDROOM	12'-0"	2'-4"	2'-4"	1																				
E	1	BUTLER'S PANTRY	9'-6"	2'-0"	2'-0"	1																				
F	1	BUTLER'S PANTRY	6'-11"	8'-0"	8'-0"	1																				
G	1	GARAGE	12'-0"	3'-5"	3'-5"	1																				
H	1	OPEN TO BELOW	13'-4"	2'-11"	2'-11"	1																				
I	1	OPEN TO BELOW	13'-4"	6'-6"	6'-6"	1																				
J	1	MASTER WC	10'-0"	1'-6"	1'-6"	1																				
K	1	MASTER BATH	10'-0"	16'-4"	EG.	3																				
L	1	MASTER	10'-0"	21'-0"	EG.	5																				
M	1	OPEN TO BELOW	13'-2"	2'-11"	2'-11"	1																				
N	1	BATHROOM 3	10'-0"	3'-0"	3'-0"	1																				
O	1	BATHROOM 3	10'-0"	1'-2"	1'-2"	1																				
P	1	UPPER COURTYARD	10'-0"	17'-0"	EG.	4																				
Q	2	BATHROOM 4	10'-0"	1'-9"	1'-9"	1																				
R	1	BEDROOM 4	10'-0"	4'-9"	4'-9"	1																				
S	1	MASTER CLOSET	10'-2"	12'-4"	12'-4"	1																				
T	2	BEDROOM 3	10'-4"	2'-6"	2'-6"	1																				
U	1																									
V	1																									
W	1																									
SECOND FLOOR																										

BURGLAR INTRUSION WINDOWS AND BURGLAR INTRUSION HARDWARE

- LOCKS ON EXTERIOR DOOR SHALL BE CAPABLE OF RESISTING A FORCE OF 500 POUNDS APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN THE F.B.C.
- ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEY OPERATED FROM EXTERIOR WITH A MINIMUM OF 6000 POSSIBLE KEY CHANGES OF LOCKING COMBINATIONS. IF KEY-IN-THE-KNOB LOCK IS USED, THERE SHALL BE AN AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT OR INSERTS.
- THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIR OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8" MINIMUM THROW BOLTS WITH INSERTS.
- HINGES ON EXTERIOR OUT SWING DOORS SHALL HAVE NON-EXPOSED SCREWS. EXPOSED PINE SHALL NOT BE REMOVABLE.
- SINGLE, SWINGING, EXTERIOR DOORS SHALL BE SOLID CORE OF NOT LESS THAN 1 3/8" THICK.
- GLASS IN EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE 2911.
- VISION PANELS IN EXTERIOR DOOR OTHER THAN GLAZING WITHIN 40" OF THE INSIDE LOOKING ACTIVATING DEVICE OF LOCKS AND SWINGING GLASS DOOR SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE - STANDARD 2911 ON FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A SCOPE OR VISION PANELS.

DOOR NOTE:

ALL EXTERIOR DOORS SHALL MEET MIAMI-DADE PRODUCT APPROVAL STANDARDS. CONTRACTOR SHALL SUBMIT SUPPORTING LITERATURE TO THE BUILDING DEPT. FOR APPROVAL PRIOR TO ORDERING & INSTALLATION.

NOTE:

ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH F.B.C. SECTION 2410 THROUGH 2415. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING ALL NECESSARY PRODUCT APPROVALS AND REQUIRED SHOP DRAWINGS TO THE BUILDING DEPARTMENT.

CONTRACTOR NOTE:

CONTRACTOR TO COORDINATE ALL EXTERIOR WINDOW & DOOR SIZES WITH FIXTURES, EQUIPMENT, AND ALL INTERIOR FINISHES (INCLUDING FINISHED DRYWALL & CONC. WALLS WITH SWITCHES) PRIOR TO ORDERING WINDOWS & DOORS.

ROUGH OPENING NOTE:

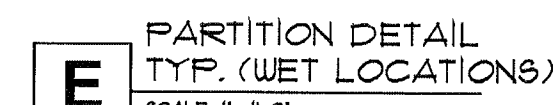
CONTRACTOR SHALL VERIFY WINDOW AND DOOR MANUFACTURER THE ROUGH OPENING DIMENSIONS PRIOR TO ORDERING, MANUFACTURING OR INSTALLING DOORS & WINDOWS.

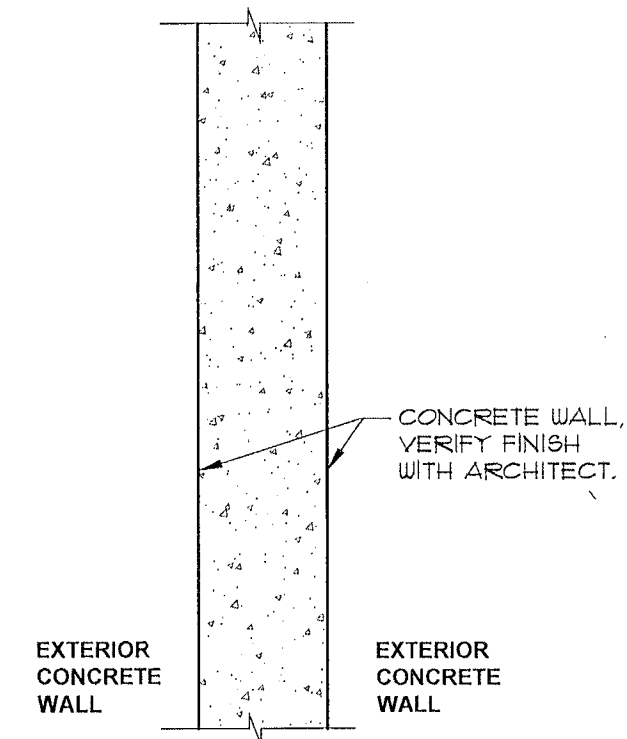
GLASS NOTE:

SEE MECHANICAL DRAWINGS & CALCULATIONS FOR SHADING COEFFICIENT OF CLEAR GLASS. LOE VALUES ARE AS FOLLOWS: SINGLE IMPACT, SHGC .40 OR BETTER; GLASS U-FACTOR .63, SKY LIGHT U-FACTOR .243 TO .232

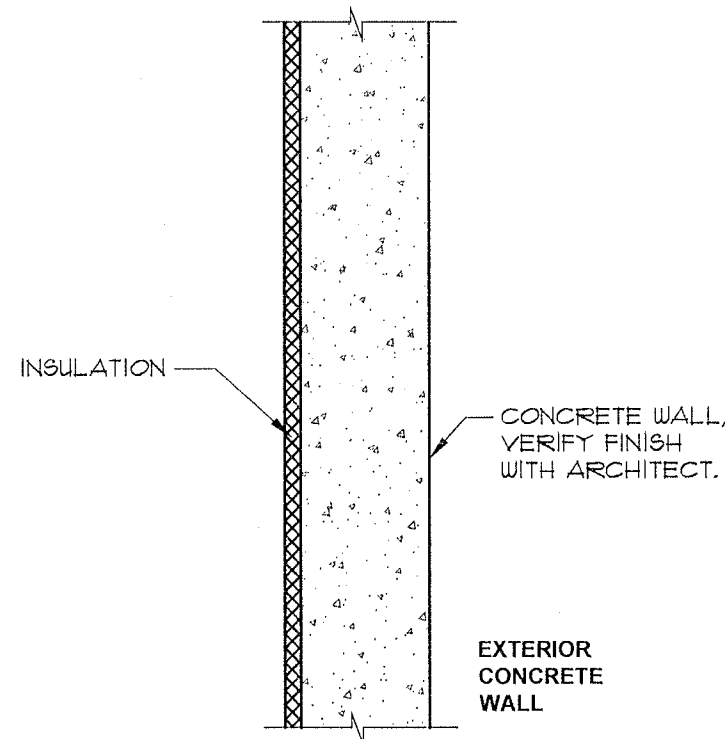
PERMIT NOTE:

WINDOWS & DOORS ARE NOT PART OF THIS PERMIT

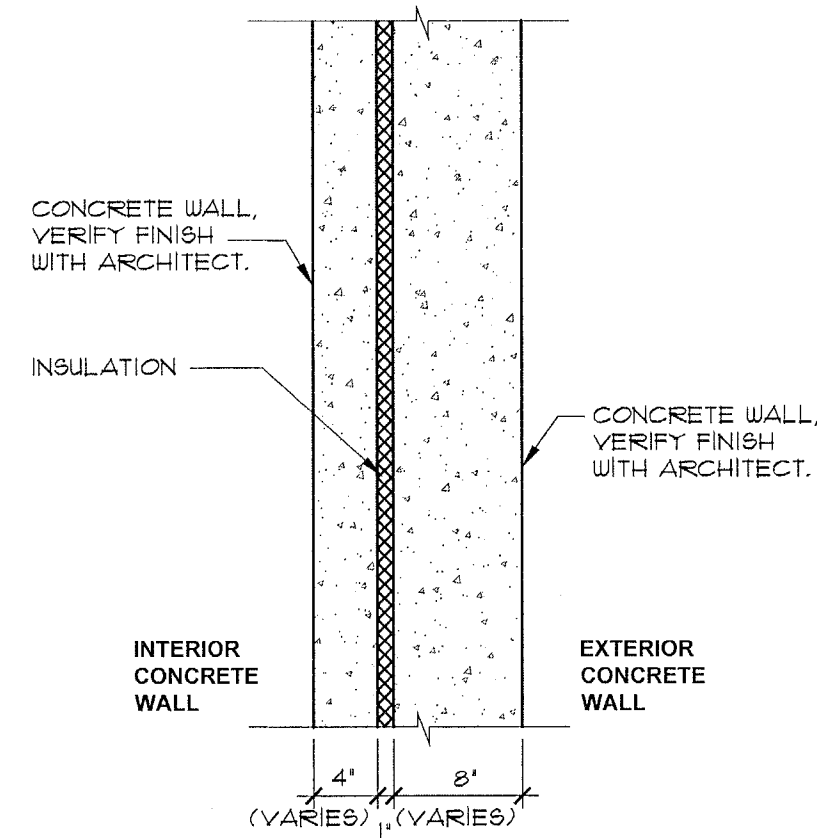




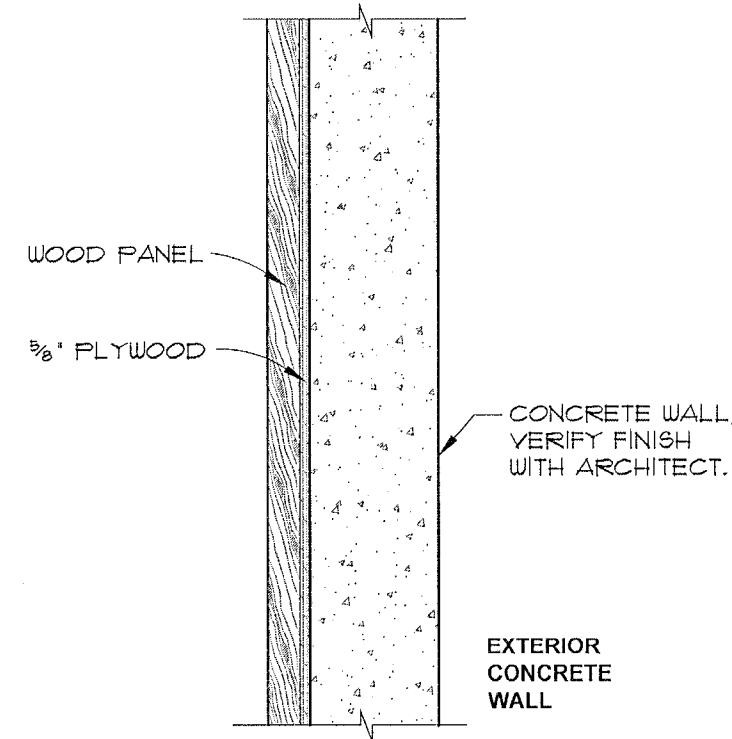
A CONCRETE WALL
SCALE: 1" = 1'-0"



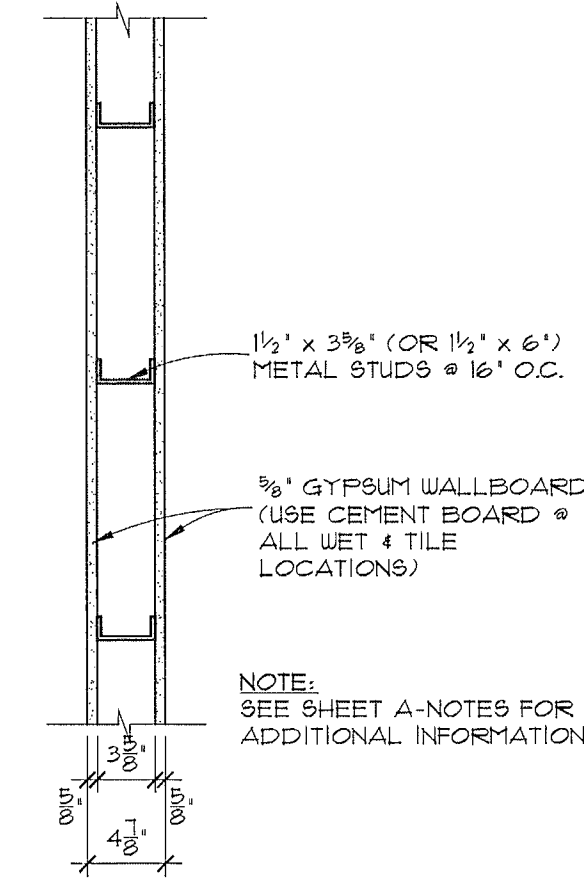
B CONCRETE WALL INSULATION
SCALE: 1" = 1'-0"



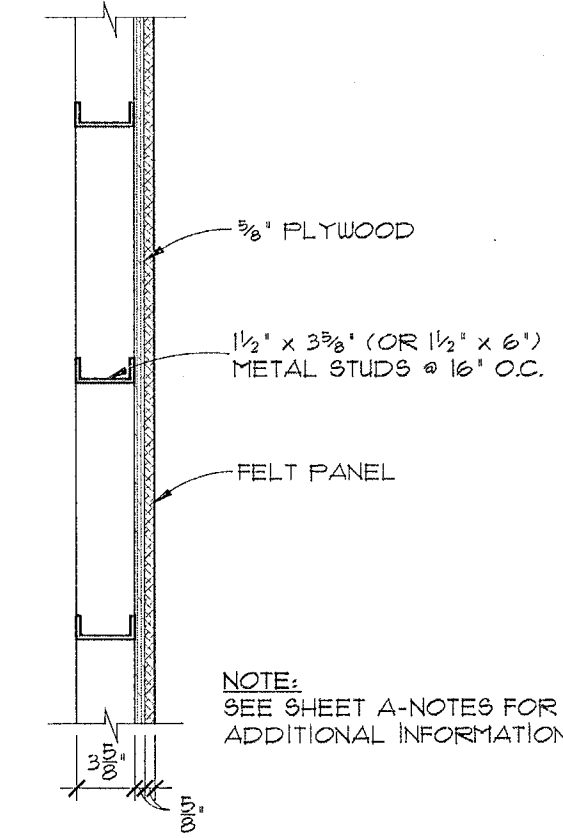
C CONCRETE WALL INSULATION SPACE
SCALE: 1" = 1'-0"



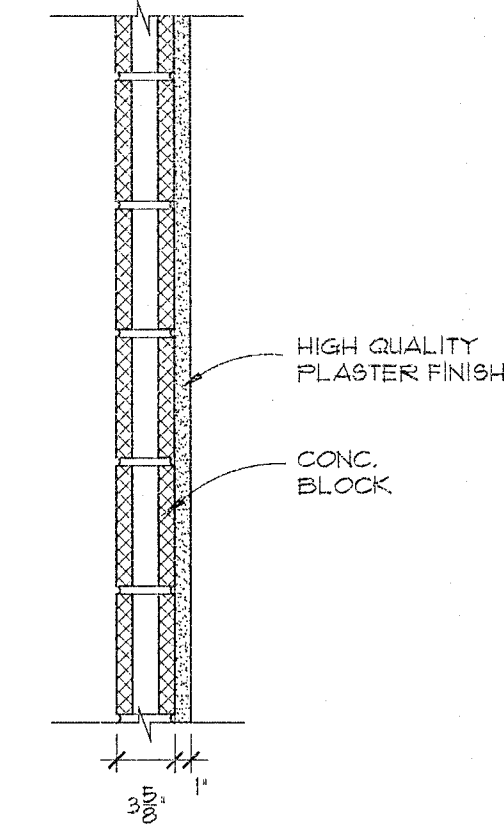
D CONCRETE WALL WOOD FINISH
SCALE: 1" = 1'-0"



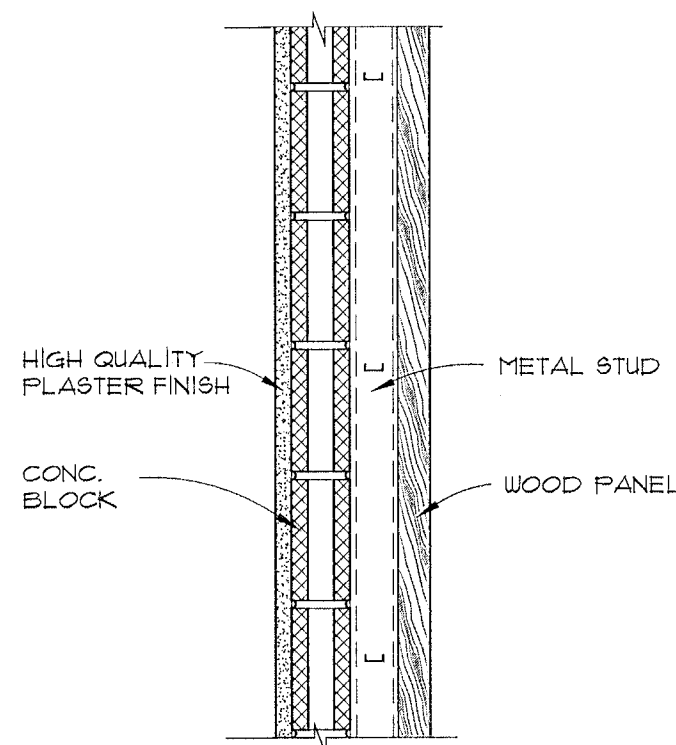
E PARTITION DETAIL TYP. (WET LOCATIONS)
SCALE: 1" = 1'-0"



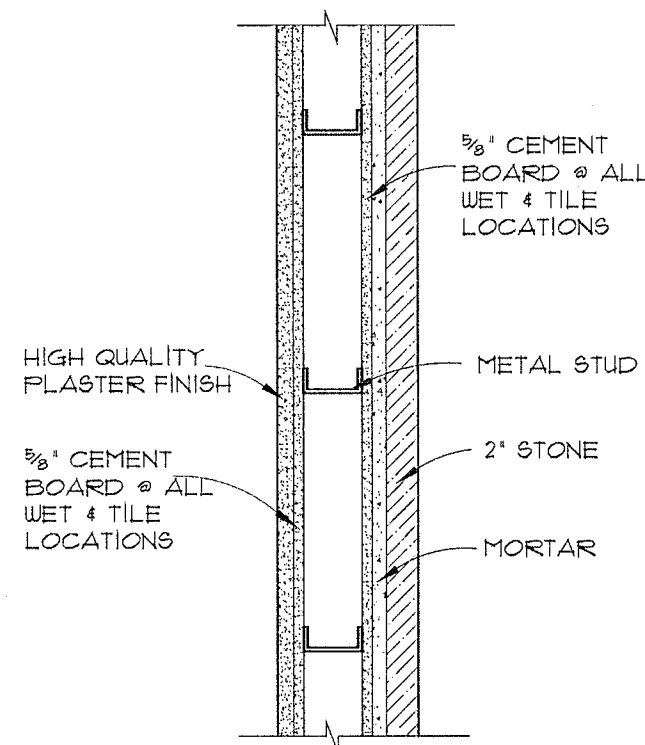
F PARTITION DETAIL FELT FINISH
SCALE: 1" = 1'-0"



G BLOCK WALL PLASTER FINISH
SCALE: 1" = 1'-0"



H BLOCK WALL WOOD FINISH
SCALE: 1" = 1'-0"



I PARTITION DETAIL STONE FINISH
SCALE: 1" = 1'-0"

28 W DILDO RESIDENCE

28 WEST DILDO DR.
MIAMI BEACH, FL 33139



Raphael Levy
registered architect
AR0094779

comm no.
1652

date:
2/1/17

revised:

sheet no.
A-6.2

BR1700900

DESIGN REVIEW BOARD
City of Miami Beach, Florida

MEETING DATE: July 07, 2017

FILE NO: DRB17-0133 (a.k.a. DRB16-0084)

PROPERTY: 28 West Dillido Drive

APPLICANT: Northpoint Properties II, LLC

LEGAL: Dillido Island Lot 11 of Block 1 and an 8 foot strip of land contiguous to southwestern border of same, according to Plat thereof as recorded in Plat Book 8, Page 38 of the Public Records of Miami-Dade County, Florida.

IN RE: The Application for design modifications to a previously issued Design Review Approval dated February 08, 2017, for the construction of a new two-story single-family home to replace an existing pre-1942 architecturally significant two-story home. Specifically, the applicant is requesting two design waivers (for height and second floor volume limitation).

ORDER

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

I. Design Review

- The Board has jurisdiction pursuant to Section 118-252(a) of the Miami Beach Code. The property is not located within a designated local historic district and is not an individually designated historic site.
- Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is inconsistent with Design Review Criteria 2, 3, 5, 6, 9 and 12 in Section 118-251 of the Miami Beach Code.
- The project would remain consistent with the criteria and requirements of Section 118-251 if the following conditions are met:
 - All of the original conditions of approval by this Board, as reflected in the Final Order dated February 08, 2017, pursuant to DRB16-0084, shall remain in effect except as modified and approved herein.

- Revised elevation, site plan, and floor plan drawings for the proposed new home at 28 West Dillido Drive shall be submitted, at a minimum, such drawings shall incorporate the following:
 - The 70% limitation for the second floor volume shall be waived as proposed, up to 80%, and shall not be increased further at time of permitting.
 - The proposed increase in height shall be permitted as proposed; the maximum height of the structure shall be 26'-0" when measured from BFE + freeboard (1'-0").
 - A copy of all pages of the recorded Final Order shall be scanned into the plans submitted for building permit, and shall be located immediately after the front cover page of the permit plans.
 - Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.

In accordance with Section 118-262, the applicant, or the city manager on behalf of the City Administration, or an affected person, Miami Design Preservation League or Dade Heritage Trust may seek review of any order of the Design Review Board by the City Commission, except that orders granting or denying a request for rehearing shall not be reviewed by the Commission.

II. Variance(s)

- No variance(s) were filed as part of this application.

III. General Terms and Conditions applying to both 'I. Design Review Approval and II. Variances' noted above.

- The final building plans shall meet all other requirements of the Land Development Regulations of the City Code.
- The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
- Satisfaction of all conditions is required for the Planning Department to give its approval on a Certificate of Occupancy, a Temporary Certificate of Occupancy or Partial Certificate of Occupancy may also be conditionally granted Planning Departmental approval.
- The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order

meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.

E. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.

F. Nothing in this order authorizes a violation of City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendations, which were amended and adopted by the Board, that the application is GRANTED for the above-referenced project subject to those certain conditions specified in Paragraph I, II, III of the Finding of Fact, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans, entitled "US_MIA_28W_DILIDO" as designed by SAOTA and prepared by Choeff Levy Fischman Architecture + Design signed, sealed, and dated 12/08/16 and notated as REV 9, and as approved by the Design Review Board, as determined by staff.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions of approval that must be satisfied prior to permit issuance, as set forth in this Order, have been met.

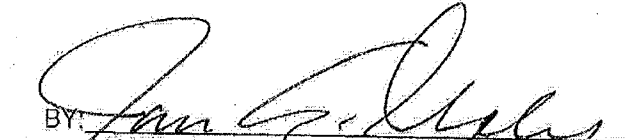
The issuance of the approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including final zoning approval. If adequate handicapped access is not provided on the Board approved plans, this approval does not mean that such handicapped access is not required. When requesting Building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

If the Full Building Permit for the project is not issued within eighteen (18) months of the meeting date at which the original approval was granted, the application will expire and become null and void, unless the applicant makes an application to the Board for an extension of time, in accordance with the requirements and procedures of Chapter 118 of the City Code, the granting of any such extension of time shall be at the discretion of the Board. If the Full Building Permit for the project shall expire for any reason (including but not limited to construction not commencing and continuing, with required inspections, in accordance with the applicable Building Code), the application will expire and become null and void.

In accordance with Chapter 118 of the City Code, the violation of any conditions and safeguards that are a part of this Order shall be deemed a violation of the land development regulations of the City Code. Failure to comply with this Order shall subject the application to Chapter 118 of the City Code, for revocation or modification of the application.

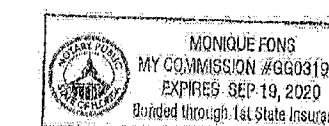
Dated this 13th day of July, 2017.

DESIGN REVIEW BOARD
THE CITY OF MIAMI BEACH, FLORIDA

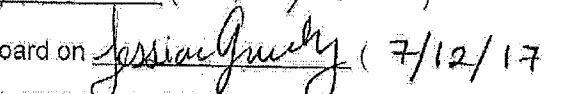
BY: 
JAMES G. MURPHY
CHIEF OF URBAN DESIGN
FOR THE CHAIR

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 13th day of July, 2017, by James G. Murphy, Chief of Urban Design, Planning Department, City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the Corporation. He is personally known to me.



NOTARY PUBLIC
Miami-Dade County, Florida
My commission expires: 9/12/2020

Approved As To Form:
City Attorney's Office:  (7/12/17)
Filed with the Clerk of the Design Review Board on  (7/12/17)
E:\PLAN\30613\DRB17-07-07-2017 Final Order\DRB17-0133 28 W DILIDO JUL17.F01.docx

28 W DILIDO RESIDENCE
28 WEST DILIDO DR,
MIAMI BEACH, FL 33139

seal

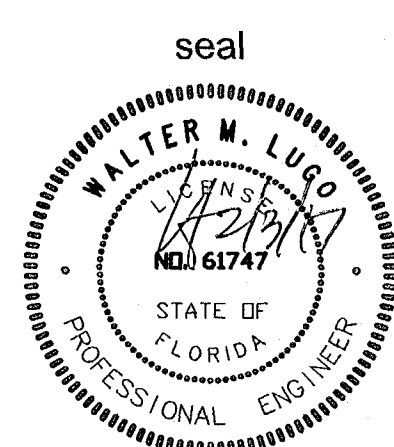


comm no.
1652

date:
2/1/17

revised:
07/01/17
B.D. COMMENTS

sheet no.
A-F.O.



WALTER M. LUGO P.E.
FL PE# 61747

comm no.
1652

date:
2/1/17

revised:

GENERAL NOTES AND SPECIFICATIONS

I. APPLICABLE CODES

1. ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT CITY OF MIAMI BEACH AND MIAMI-DADE COUNTY STANDARDS AS WELL AS ALL LOCAL, STATE, AND NATIONAL CODES AND REGULATORY REQUIREMENTS, AS APPLICABLE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
3. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER SITE FEATURES SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY BY OTHERS.
4. EXISTING UTILITIES TO BE ADJUSTED IN ACCORDANCE WITH PROPOSED GRADES AND REQUIREMENTS OF UTILITY OWNERS, AS REQUIRED.
5. EXISTING STRUCTURES, UTILITIES AND OTHER IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, TREES SUCH AS BUILDING SEWERS, DRAINS, WATER OR GAS PIPES, CONDUITS, POLES, WALLS, COLUMNS, ETC., WHETHER OR NOT SHOWN ON THE PLANS, ARE TO BE CAREFULLY PROTECTED FROM DAMAGE. IF DAMAGE OCCURS FROM WORK PERFORMED UNDER THIS CONTRACT, THE CONTRACTOR SHALL PROMPTLY REPAIR THE DAMAGED ITEM(S) TO THE CONDITION OF THE ITEM(S) PRIOR TO THE DAMAGE. THIS WORK SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
6. THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.
7. CONTRACTOR SHALL PRESERVE ALL STREET SIGNS, PARKING METERS, BENCHES, TRAFFIC CONTROL SIGNS, ETC. WHEN DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL REINSTALL OR DELIVER SAID PUBLIC PROPERTY TO THE COUNTY YARD.
8. THE CONTRACTOR SHALL COORDINATE HIS/HERS WORK WITH ANY OTHER UTILITY AND BUILDING TRADES WORKING ON THIS OR ADJACENT PROJECT.
9. ALL DITCH EXCAVATION SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE PROVISIONS OF THE FLORIDA TRENCH SAFETY ACT.
10. THE CONTRACTOR SHALL TAKE SPECIAL NOTE OF SOIL CONDITIONS THROUGHOUT THIS PROJECT. ANY SPECIAL SHORING, SHEETING OR OTHER PROCEDURES NECESSARY TO PROTECT ADJACENT PROPERTY, EITHER PUBLIC OR PRIVATE, DURING EXCAVATION OF SUBSOIL MATERIAL OR DURING THE FILLING OF ANY AREA, OR FOR ANY OPERATION DURING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

II. PRECONSTRUCTION RESPONSIBILITIES

1. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT ANY INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED AND UPON WHICH THEIR BIDS WILL BE BASED.
2. 48 HOURS BEFORE BEGINNING CONSTRUCTION IN THE AREA, THE CONTRACTOR SHALL NOTIFY SUNSHINE STATE CALL ONE OF FLORIDA, INC. AT 1-800-432-4770 AND ANY OTHER UTILITIES WHICH MIGHT BE AFFECTED.
3. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER, AND THE ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL APPLY FOR AND PROCURE ALL PERMITS AND LICENSES, PAY ALL CHARGES, TAXES, ROYALTIES & FEES, AND GIVE ALL NOTICES NECESSARY TO COMPLETE THIS PROJECT, (WITH THE EXCEPTION OF DRAINAGE AND WATER & SEWER APPROVALS FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND FDOT WHICH WILL BE OBTAINED BY THE ENGINEER OF RECORD.)
5. THE CONTRACTORS SHALL COORDINATE WITH UTILITY COMPANIES TO ARRANGE FOR ANY REMOVAL, RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK, IF APPLICABLE.
6. THE LOCATIONS OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL LOCATE AND EXPOSE ALL EXISTING UTILITIES TO BE CONNECTED SUFFICIENTLY AHEAD OF CONSTRUCTION TO ALLOW REDESIGN BY THE ENGINEER IF SUCH UTILITIES ARE FOUND TO BE DIFFERENT THAN THOSE SHOWN ON PLANS.

III. INSPECTION AND TESTING

- THE ENGINEER SHALL REQUIRE A COLOR T.V. SURVEY AND SHALL REQUIRE AN EXFILTRATION/INFILTRATION TEST PRIOR TO ACCEPTANCE. THE SURVEY AND TESTING SHALL BE AT THE CONTRACTOR'S EXPENSE.
- INSPECTIONS:
THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS:
- 1.) STORM DRAINAGE
 - 2.) SANITARY SEWER
 - 3.) WATER SYSTEM SUBGRADE - SUBMIT AND HAVE APPROVED DENSITIES PRIOR TO PLACEMENT OF ROCK.
 - 4.) LIMEROCK BASE - SUBMIT AND HAVE APPROVED DENSITIES AND AS-BUILTS PRIOR TO THE PLACEMENT OF ANY ASPHALT.
 - 5.) ASPHALTIC CONCRETE
 - 6.) FINAL WALK-TROUGH INSPECTION
 - 7.) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL APPLICABLE REGULATORY AGENCIES FOR INSPECTION REQUIREMENTS.

IV. SHOP DRAWINGS

1. PRIOR TO CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD FOR THE FOLLOWING ITEMS: WATER/SEWER MAIN PIPING AND ASSOCIATED FITTINGS, CATCH BASINS AND ALL OTHER DRAINAGE STRUCTURES, DRAINAGE PIPE, BALLAST ROCK, EXFILTRATION TRENCH FILTER FABRIC. IN ADDITION, SOME CITIES, COUNTIES, STATE AND/OR NATIONAL REGULATORY AGENCIES REQUIRE THEIR OWN INDIVIDUAL REVIEW AND APPROVAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY SHOP DRAWING APPROVALS IF REQUIRED.

V. TEMPORARY FACILITIES

1. TEMPORARY FACILITIES
 - A. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, AND ELECTRICITY, DURING CONSTRUCTION.
 - B. THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE ACCESS ENTRANCE TO COMMERCIAL PROPERTIES AT ALL TIMES, IF APPLICABLE.

- C. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF CONSTRUCTION, IF APPLICABLE.
2. TRAFFIC REGULATION
 - A. THE CONTRACTOR SHALL PROVIDE ALL WARNING SIGNALS, SIGNS, LIGHTS AND FLAG PERSONS AS NECESSARY FOR THE MAINTENANCE OF TRAFFIC WITHIN PUBLIC RIGHT-OF-WAYS IN ACCORDANCE WITH M.U.T.C.D. AND FDOT.
 - B. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
 - C. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT THE EXPRESS PERMISSION OF THE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT.

VI. PROJECT CLOSE OUT:

1. CLEANING UP
 - A. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEANUP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEPED BROOM CLEAN.
 - B. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS/HER WORK, EQUIPMENT AND/OR EMPLOYEES TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.
 - C. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, MAILBOXES, SIGNS AND ANY OTHER IMPROVEMENTS REMOVED DURING CONSTRUCTION WITH THE SAME TYPE OF MATERIAL AND TO THE CONDITION WHICH EXISTED PRIOR TO THE BEGINNING OF OPERATIONS.
 - D. WHERE MATERIAL OR DEBRIS HAVE WASHED OR FLOWED INTO, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
 - E. ALL DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATED MATERIAL, DEMOLITION, VEGETATION, RUBBISH AND DEBRIS SHALL BE MADE OUTSIDE THE LIMITS OF CONSTRUCTION AT A LEGAL DISPOSAL SITE PROVIDED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, WITH THE PRIOR APPROVAL OF THE ENGINEER. MATERIAL CLEARED FROM THE SITE SHALL NOT BE DEPOSITED ON ADJACENT AND/OR NEARBY PROPERTY.
2. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
3. PROJECT RECORD DOCUMENTS
 - A. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.
 - B. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH AS-BUILT GRADES AND LOCATIONS OF FINISHED PAVEMENT, SIDEWALKS, CURBS, AND ALL PHYSICAL IMPROVEMENTS. SUCH GRADES SHALL BE OBTAINED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF FLORIDA, AND SHALL DOCUMENT THE INTENT OF THE PROPOSED GRADES SHOWN ON THE PLANS. THIS SHALL BE DONE AT NO COST TO THE OWNER.
4. CONTRACTOR TO REPLACE ALL FOUND PIPES WITH NAIL AND DISKS.

VII. STORM DRAINAGE

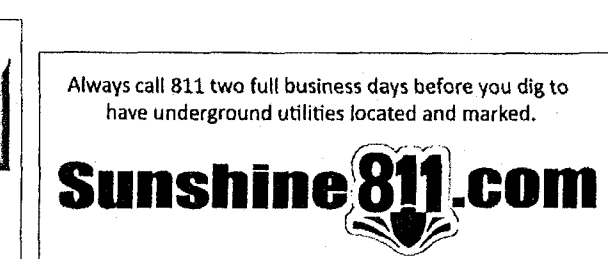
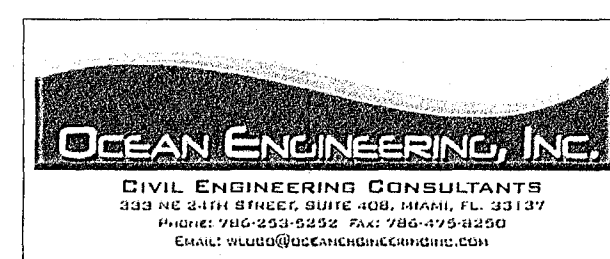
- GENERAL
1. THE TRENCH FILTER FABRIC SHALL BE SELECTED FROM THE MANUFACTURERS AND FABRIC TYPES APPROVED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT. IT SHALL BE USED TO WRAP ALL SIDES, BOTTOM AND TOP OF THE EXFILTRATION TRENCH. THE TOP SECTION OF THE MATERIAL SHALL BE LAPPED A MINIMUM OF 12 INCHES AND THE CONTRACTOR SHALL TAKE EXTREME CARE IN BACKFILLING TO AVOID BUNCHING OF THE FABRIC.
 2. SOLID AND PERFORATED STORM DRAINAGE PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E.) SELECTED FROM THE MANUFACTURES AND TYPES APPROVED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT. PERFORATED PIPE SHALL TERMINATE 4'-0" FROM THE DRAINAGE STRUCTURE. THE REMAINING 4'-0" SHALL BE NON-PERFORATED PIPE.
 3. PROVIDE A MINIMUM PROTECTIVE COVER OF 24 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
 4. THE CONTRACTOR SHALL PROTECT COMPLETED DRAINAGE STRUCTURES AND EXFILTRATION TRENCH SYSTEMS FROM CONTAMINATION OF SILT AND CONSTRUCTION DEBRIS. PLACE PLYWOOD ON, OR FILTER FABRIC BETWEEN, THE FRAME AND INLET GRATE UNTIL CONSTRUCTION OPERATIONS ARE FINISHED.

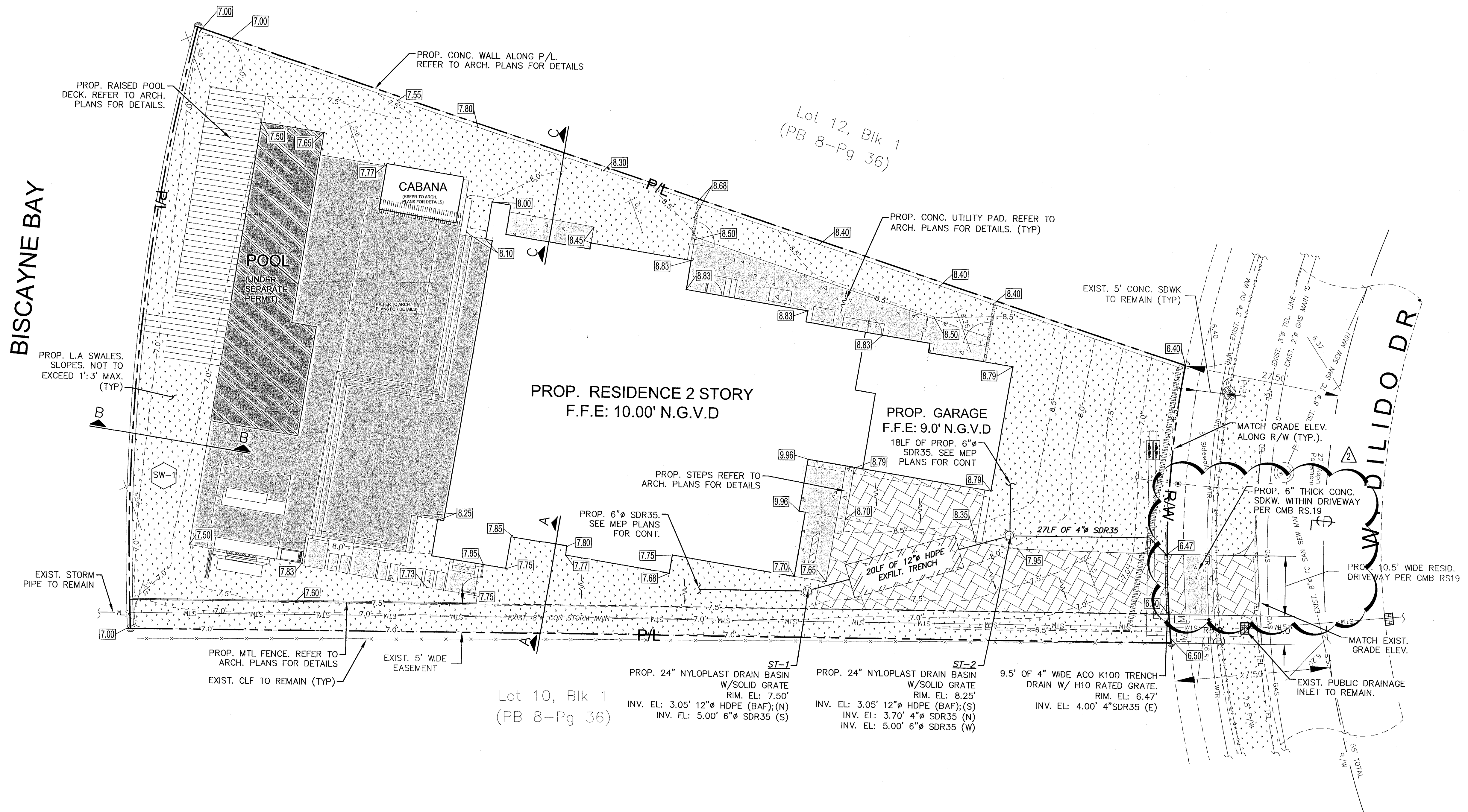
VII. PAVING

1. GENERAL
 - A. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
 - B. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
 - C. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.
 - D. PROPOSED ASPHALT PAVEMENT SHALL BE CONNECTED TO EXISTING AS PER CITY OF MIAMI BEACH STANDARD DETAILS. CONTRACTOR SHALL MATCH EXISTING ELEVATIONS ON NEW SIDEWALK OR NEW PAVEMENT.
 - E. CONTRACTOR SHALL REMOVE AND DISPOSE OF THE EXISTING CONC. CURB, CURB & GUTTER, SIDEWALK AND ASPHALT WHERE NEW SIDEWALK, CURB & GUTTER AND MEDIAN IS PROPOSED TO BE CONSTRUCTED.
 - F. NONE OF THE EXISTING LIMEROCK BASE THAT IS REMOVED IS TO BE INCORPORATED INTO THE PROPOSED LIMEROCK BASE.
 - G. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY, CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT INSPECTOR OR THE GEOTECHNICAL ENGINEER.

VIII. PAVEMENT MARKINGS AND TRAFFIC SIGNS

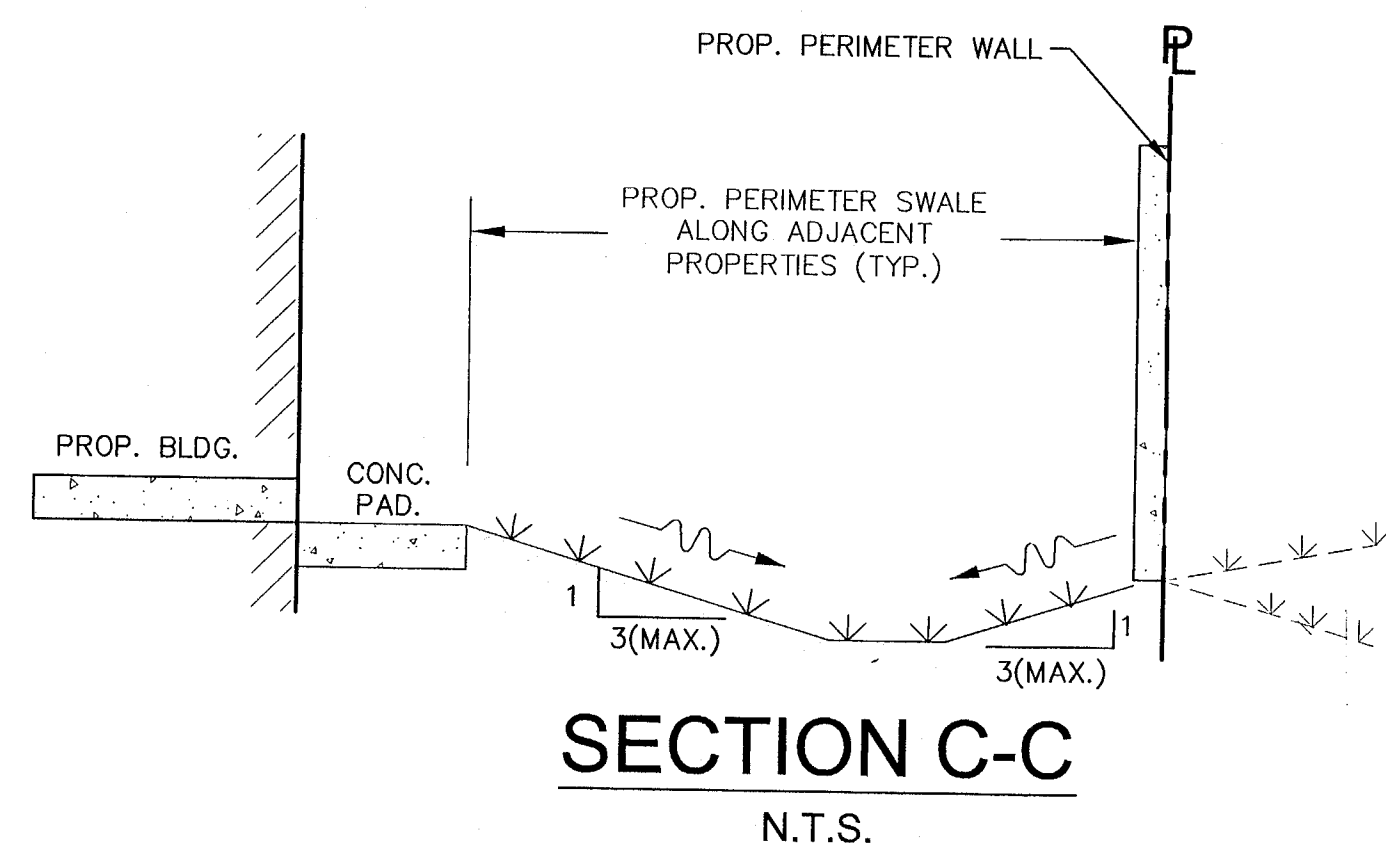
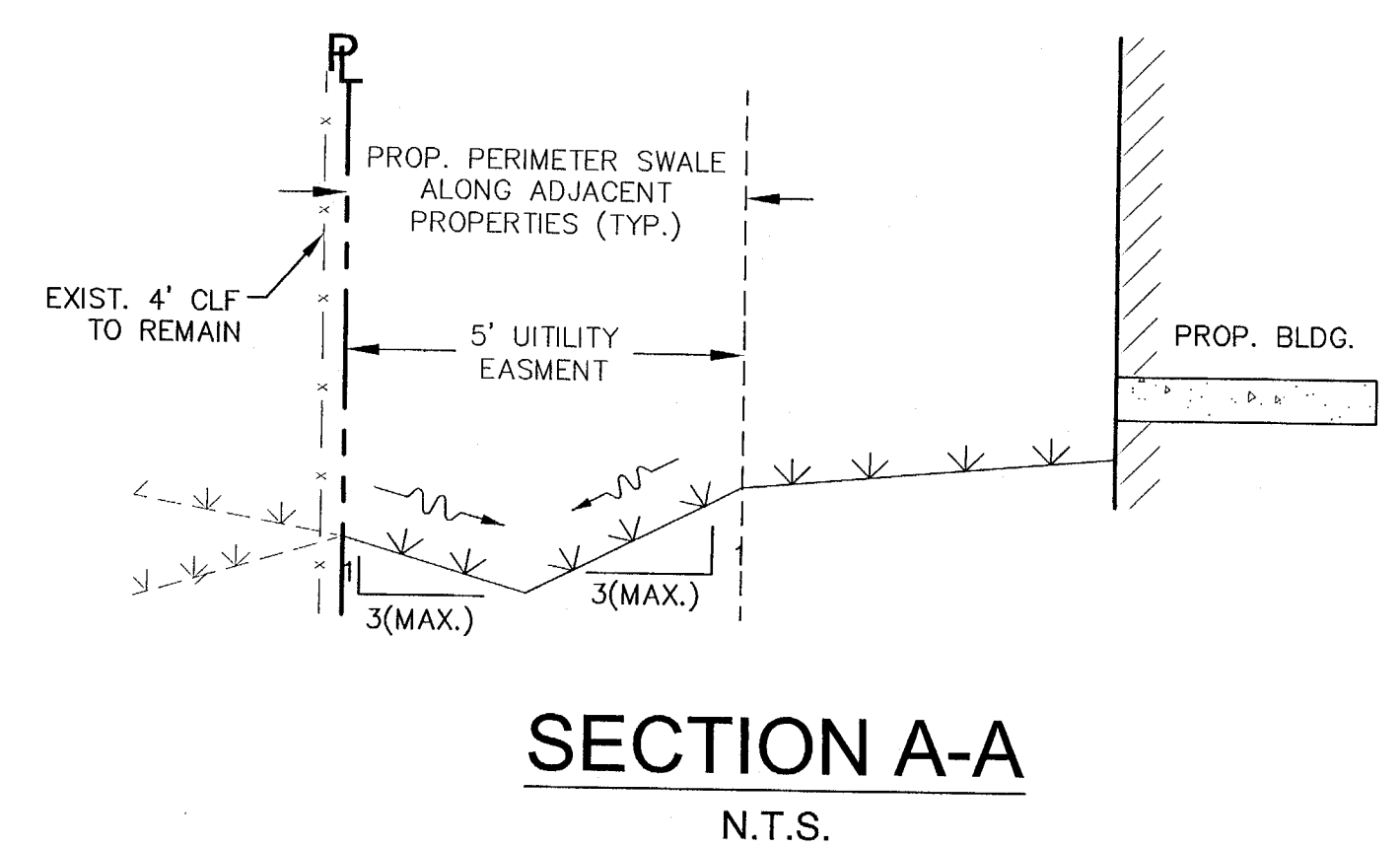
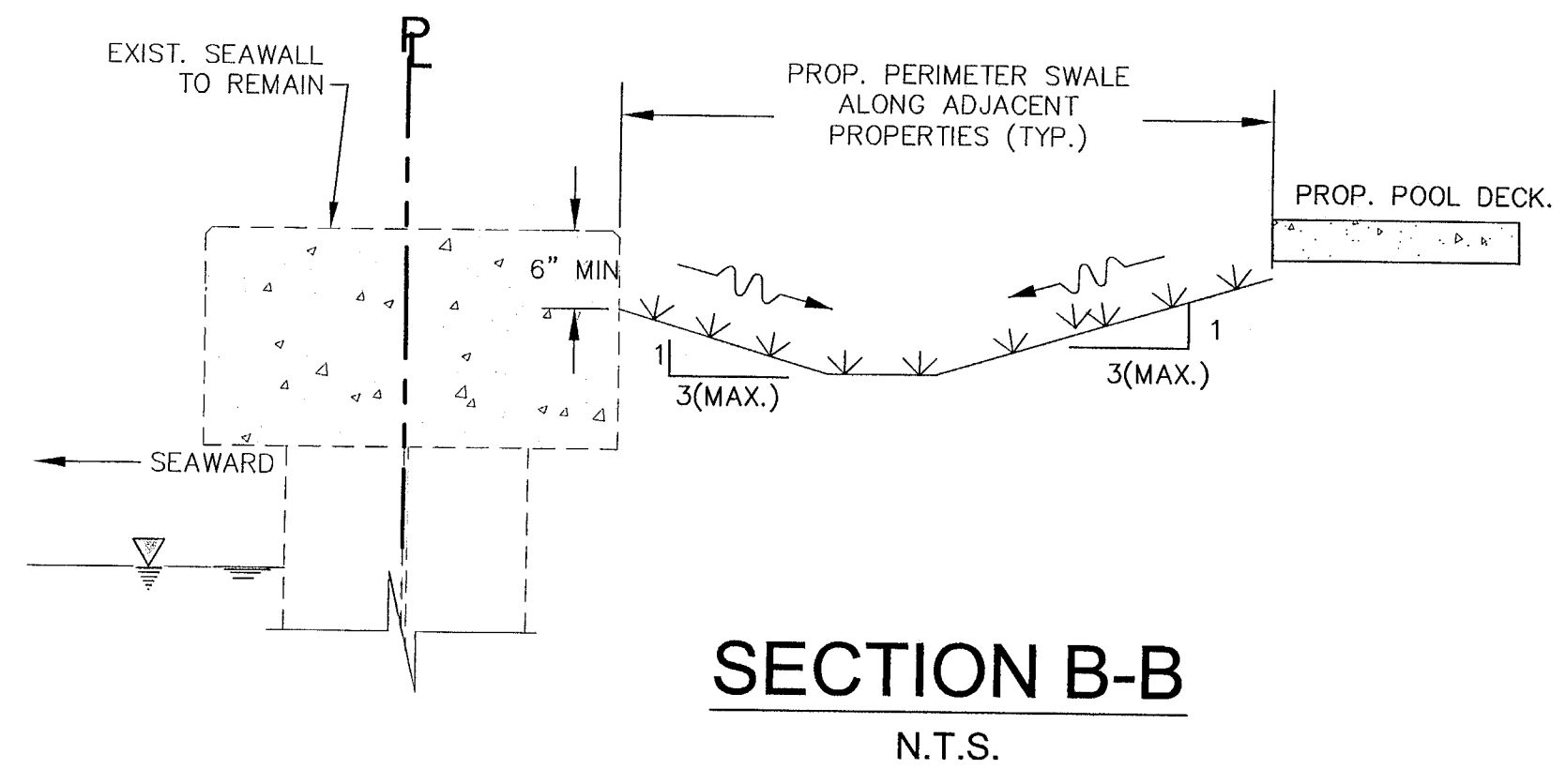
1. PAVEMENT MARKINGS
 - A. INSTALLATION OF ALL PAVEMENT MARKINGS SHALL BE MADE IN ACCORDANCE WITH FDOT STANDARDS.
 - B. MATERIALS: (1) WHERE THE PLANS CALL FOR PAINTED PAVEMENT MARKINGS (P), INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. (2) WHERE THE PLANS CALL FOR THERMOPLASTIC PAVEMENT MARKINGS (T), INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 - C. PROTECTION: THE CONTRACTOR SHALL NOT ALLOW TRAFFIC ONTO NEWLY APPLIED PAVEMENT STRIPING/MARKINGS UNTIL THEY ARE SUFFICIENTLY DRY TO PERMIT VEHICLES TO CROSS THEM WITHOUT DAMAGE. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REMOVE AND REPLACE ANY PORTION OF THE PAVEMENT STRIPING/MARKINGS DAMAGED BY PASSING TRAFFIC OR FROM ANY OTHER CAUSE.
2. TRAFFIC SIGNS
 - A. INSTALLATION: TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.), PART II, IN LOCATIONS SHOWN ON PLANS.
 - B. MATERIALS: FOLLOW SECTION NO. 700, HIGHWAY SIGNING, OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND M.U.T.C.D.





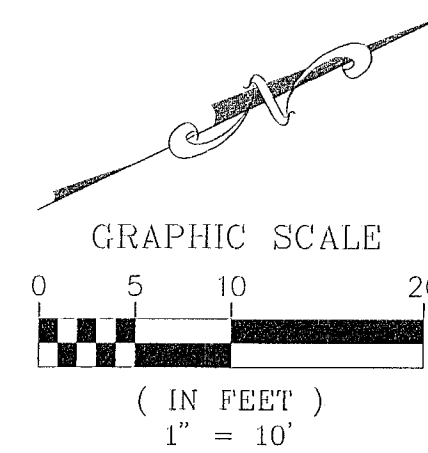
- LEGEND:**
- R/W LINE / PROPERTY LINE
 - CENTER LINE
 - EXISTING CURBING
 - EXISTING ELEVATIONS (N.G.V.D)
 - DIRECTION OF SURFACE RUNOFF
 - PROPOSED GRADE ELEVATION (NGVD)
 - PROPOSED SWALE AREA
 - PROPOSED EXFIL. TRENCH (SEE C400 FOR DETAILS)
 - PROPOSED LANDSCAPE AREA. REFER TO LA PLANS FOR DETAILS.
 - PROPOSED CONCRETE PAVEMENT (SEE ARCH. PLANS FOR DETAILS)
 - PROPOSED CONCRETE WALKWAY (SEE ARCH. PLANS FOR DETAILS)
 - PROPOSED PAVERS (SEE ARCH. PLANS FOR DETAILS)
 - PROPOSED POOL DECK. (SEE ARCH. PLANS FOR DETAILS)
 - PROPOSED POOL. (SEE ARCH. PLANS FOR DETAILS)

- NOTE:**
- ALL WALKWAYS TO BE CONSTRUCTED WITH 2% TRANSVERSE SLOPE.
 - ANY PROPOSED CONSTRUCTION JOINTS ARE TO BE SAW CUT AND MATCH PROPOSED GRADE ELEVATIONS.
 - ALL PROPOSED GRADING SHALL BE SLOPED TOWARDS THE NEAREST PROPOSED SWALE AREA.



comm no.
1652
date:
2/1/17

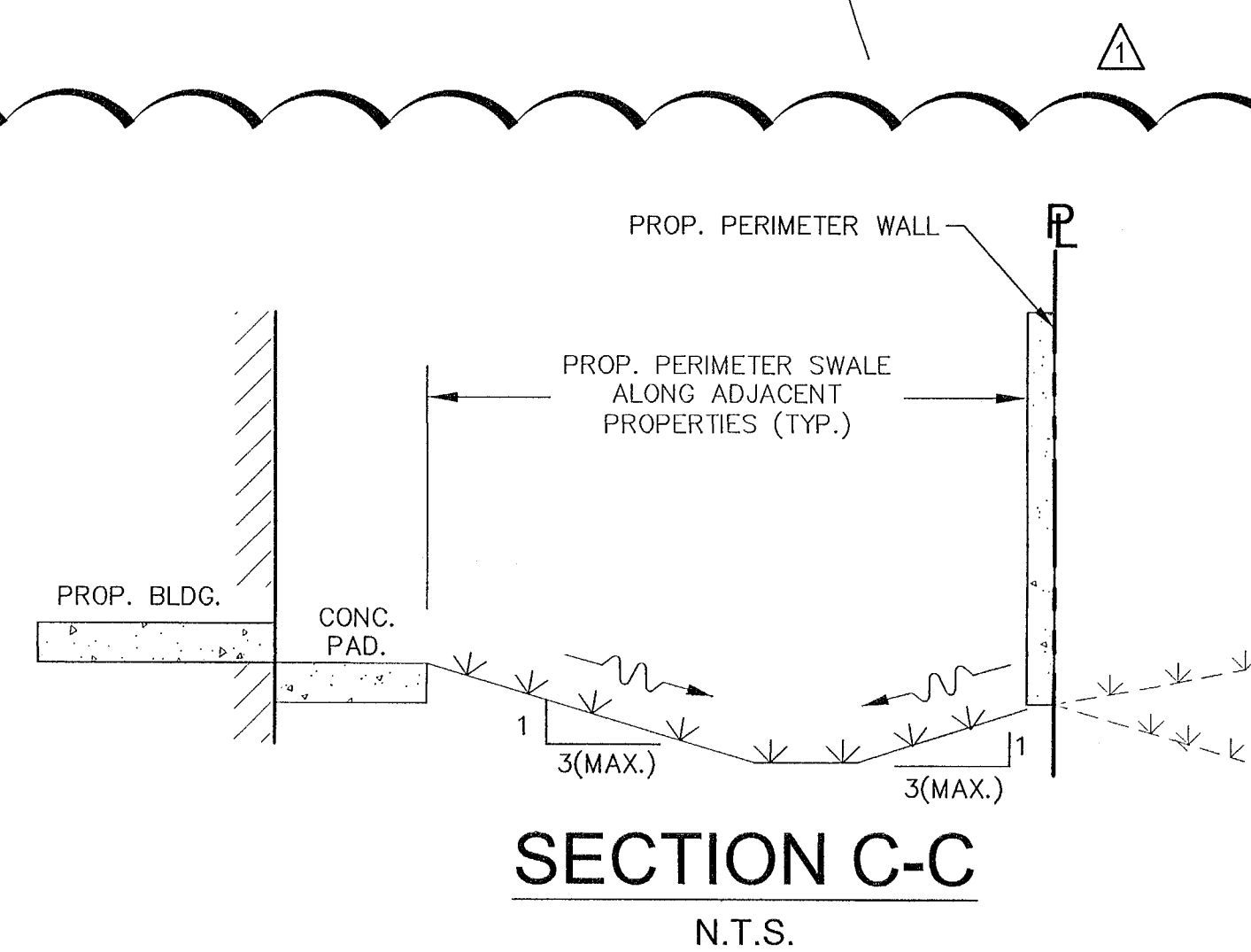
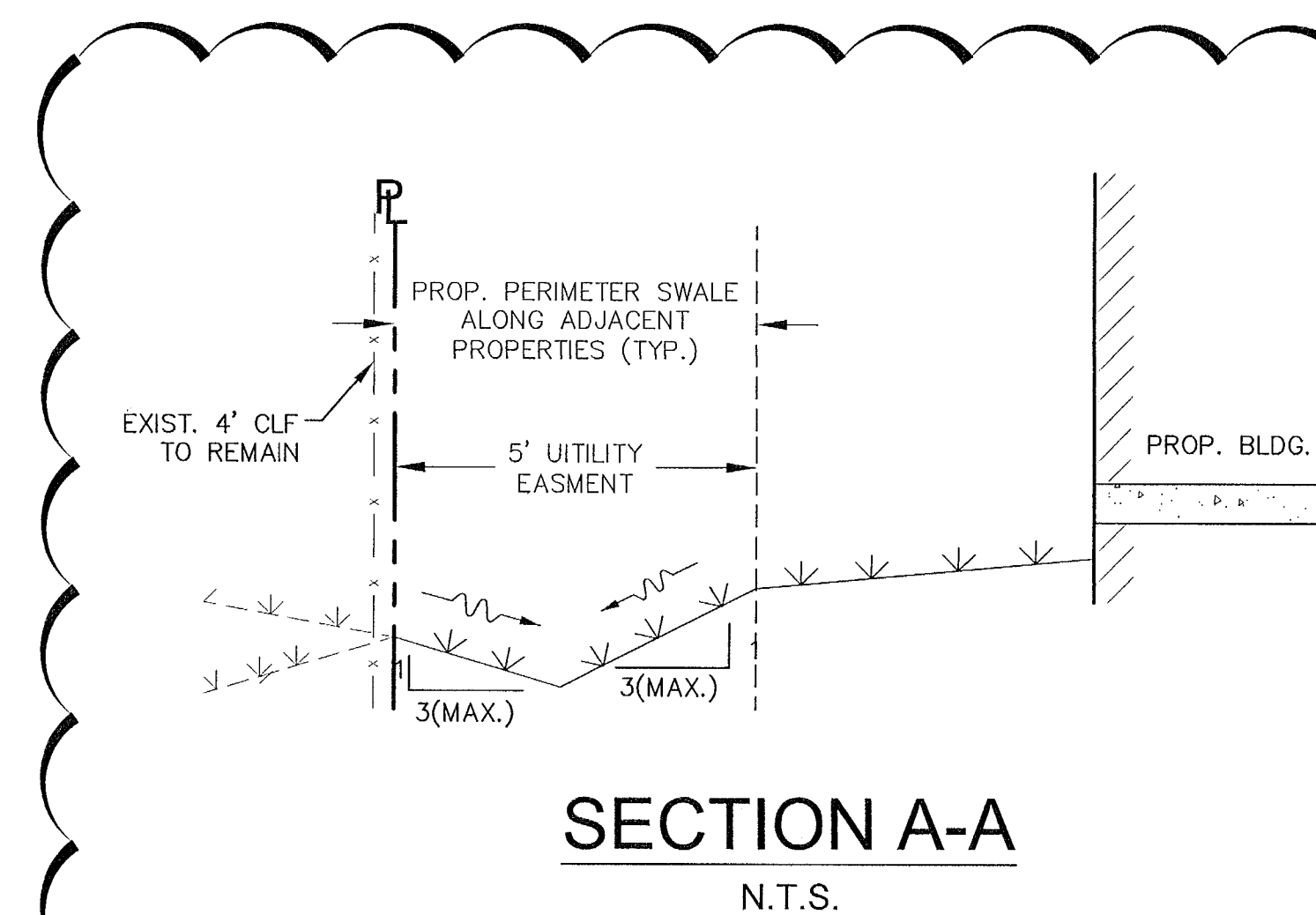
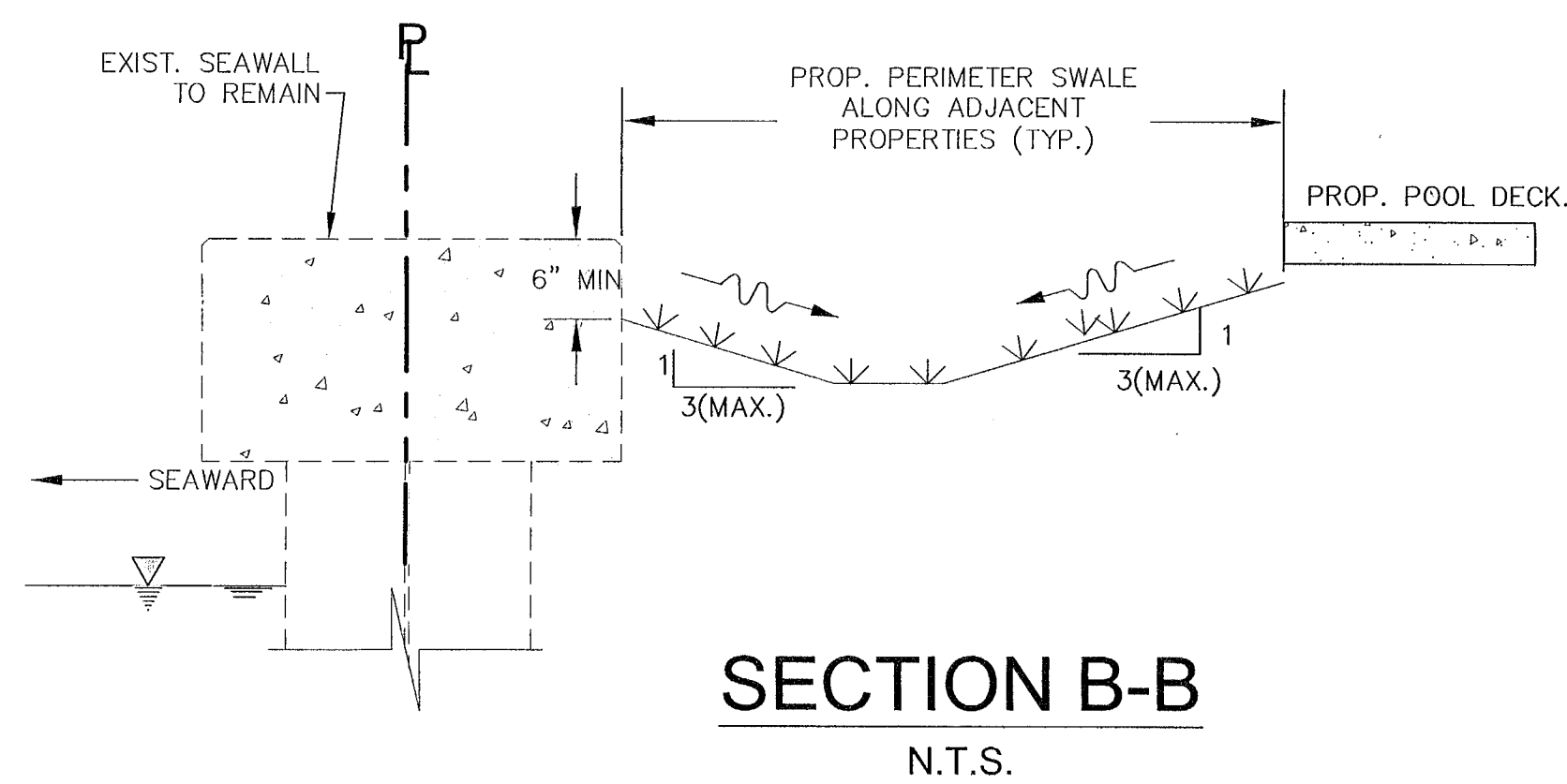
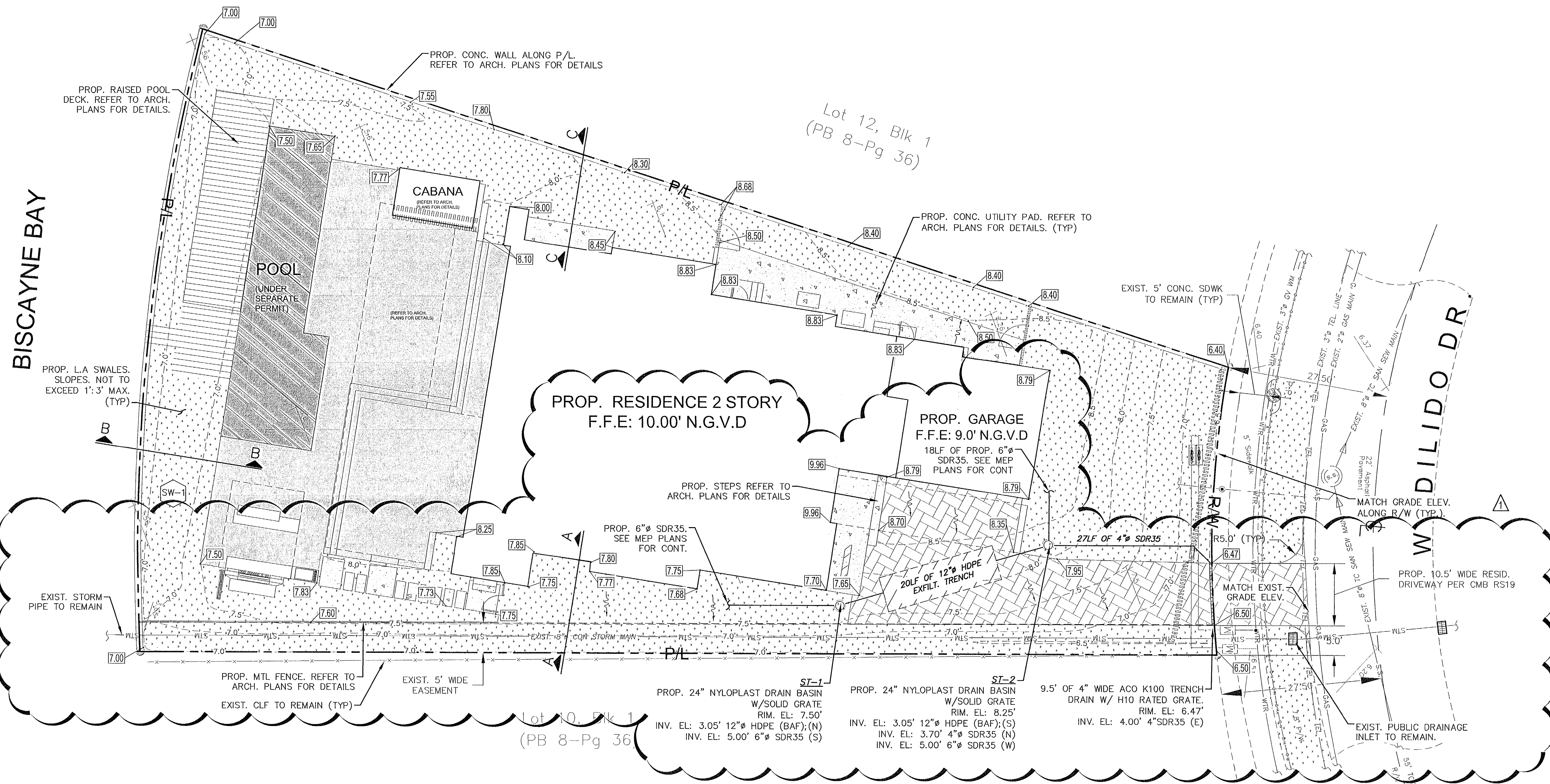
- revised:**
- 1 CITY COMMENTS 7/10/17
 - 2 CITY COMMENTS 8/3/17



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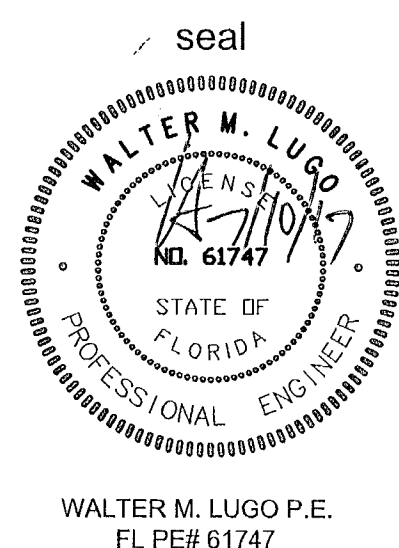
- R/W LINE / PROPERTY LINE
- CENTER LINE
- EXISTING CURBING
- EXISTING ELEVATIONS (N.G.V.D.)
- DIRECTION OF SURFACE RUNOFF
- PROP. GRADE ELEVATION (NGVD)
- PROP. SWALE AREA
- PROP. EXFILTRATION TRENCH (SEE C400 FOR DETAILS)
- PROP. LANDSCAPE AREA. REFER TO LA PLANS FOR DETAILS.
- PROP. CONCRETE PAVEMENT (SEE ARCH. PLANS FOR DETAILS)
- PROP. CONCRETE WALKWAY (SEE ARCH. PLANS FOR DETAILS)
- PROP. PAVERS (SEE ARCH. PLANS FOR DETAILS)
- PROP. POOL DECK. (SEE ARCH. PLANS FOR DETAILS)
- PROP. POOL. (SEE ARCH. PLANS FOR DETAILS)

- NOTE:
- ALL WALKWAYS TO BE CONSTRUCTED WITH 2% TRANSVERSE SLOPE.
 - ANY PROPOSED CONSTRUCTION JOINTS ARE TO BE SAW CUT AND MATCH PROPOSED GRADE ELEVATIONS.
 - ALL PROPOSED GRADING SHALL BE SLOPED TOWARDS THE NEAREST PROPOSED SWALE AREA.



28 W DILIDO RESIDENCE
28 WEST DILIDO DR.
MIAMI BEACH, FL 33139

PAVING GRADING AND
DRAINAGE PLAN



WALTER M. LUGO P.E.
FL PE# 61747

comm no.
1652

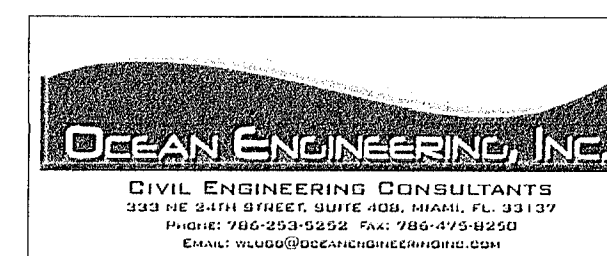
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2/1/17

revised:

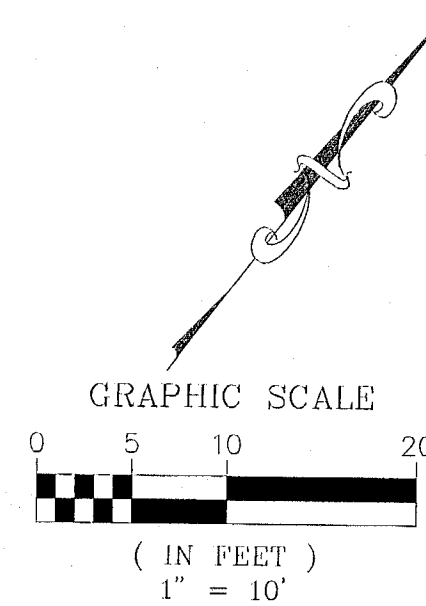
CITY COMMENTS 7/10/17

sheet no.

C200



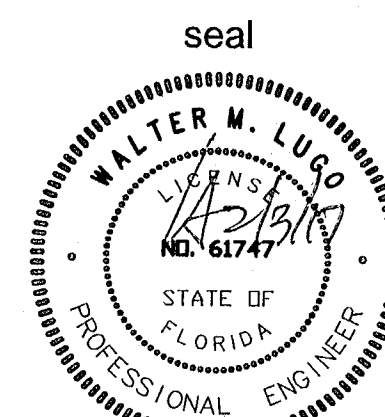
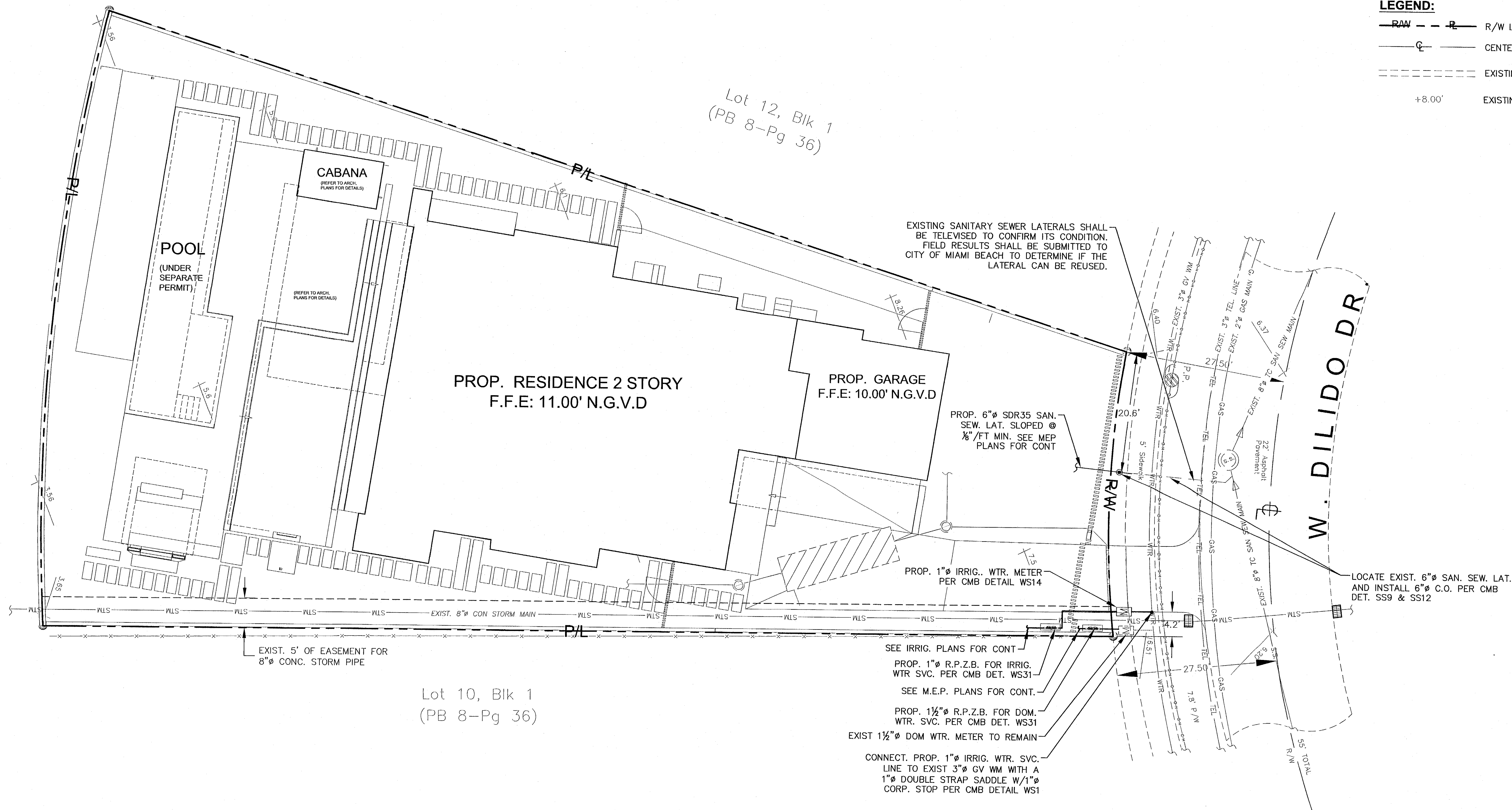
Always call 811 two full business days before you dig to have underground utilities located and marked.
Sunshine811.com



LEGEND:

--- R/W LINE / PROPERTY LINE
--- CENTER LINE
--- EXISTING CURBING
+8.00' EXISTING ELEVATIONS (NGVD)

BISCAYNE BAY



WALTER M. LUGO P.E.
FL PE# 61747

comm no.
1652

date:
2/1/17

revised:

sheet no.

C300