CASABLANCA

4424 NORTH BAY ROAD MIAMI BEACH, FL 33140

DRB20-0551 FINAL SUBMITTAL - MAY 11, 2020



SCOPE OF WORK: NEW 2-STORY SINGLE FAMILY HOME WITH WAIVER FOR HEIGHT OF SLOPED ROOF, WAIVER FOR ADDITIONAL OPEN SPACE FOR NORTH SIDE.

ARCHITECT KOBI KARP ARCHITECTURE AND INTERIOR DESIGN, INC.

2915 BISCAYNE BLVD. SUITE 200 MIAMI, FLORIDA 33137 T: 305.573.1818

DRB FIRST SUBMITTAL	04-20-2020	
ORB FINAL SUBMITTAL	05-11-2020	
DRB SHEETS REVISION	05-20-2020	
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Owner:
Name
Address 4424 N BAY F

CASABLANCA

4424 N. BAY RD. MIAMI, FLORIDA

Consultant Name Address Address Tel·

Consultant
Name
Address
Address
Tel:

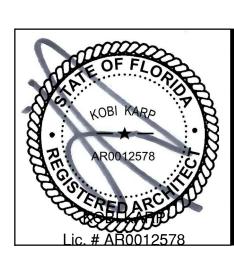
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Architect of Record:
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COVER PAGE

	Date:	05-11-2020	Sheet No.
	Scale:		A0 (
	Project:	2016	, (0.

SINGLE FAMIL	Y RESIDENTIAL - ZON	NING DATA SHEET -	FILE no. DRB20)-0551
ITEM ZONING INFORMATION #				
1 ADDRESS:	4424 NORTH BAY ROAD, MIAMI BEAC	CH, FL 33140		
2 FOLIO NUMBER(S):	02-3222-011-0250			
3 BOARD AND FILE NUMBERS:	N/A			
4 YEAR BUILT:	N/A	ZONING DISTRICT:		RS-3 (SINGLE-FAMILY)
5 BASE FLOOD ELEVATION:	8'-0" NGVD	FUTURE GRADE VALUE IN NGVD :		N/A
6 GRADE:	2.5' NGVD	ADJUSTED GRADE :		+5.25 NGVD
7 LOT AREA:	15,856 SF	GROUND FLOOR ELEVATION:		+10' NGVD
8 LOT WIDTH:	99'-4"	LOT DEPTH:		160'-4"
9 MAX LOT COVERAGE SF AND % ALLOWED:	4,757 SF (30%)	PROPOSED LOT COVERAGE SF AND %:		3,894 SF (24.55%)
10 EXISTING LOT COVERAGE SF AND %:	N/A	PROPOSED GARAGE SF:		556 SF (500 SF REDUCTION FOR UNIT SIZE ANI LOT COVERAGE)
11 PROPOSED FRONT YARD OPEN SPACE SF AND %:	1,001 SF (50.20%)	PROPOSED REAR YARD OPEN SPACE SF AI	ND %:	1,703.5 SF (70.36%)
12 MAX UNIT SIZE SF AND % ALLOWED:	7,928 SF (50%)	PROPOSED UNIT SIZE SF AND %:		6,988 SF (44.07%)
13 EXISTING FIRST FLOOR UNIT SIZE SF AND %:	N/A	PROPOSED FIRST FLOOR UNIT SIZE %:		3,867 SF (24.38%)
14 EXISTING SECOND FLOOR UNIT SIZE SF AND %:	N/A	PROPOSED SECOND FLOOR VOLUMETRIC UNIT S SF AND %	SIZE	N/A
15	N/A	PROPOSED SECOND FLOOR UNIT SIZE SF AND %	:	3,121 SF (19.68%)
16 EXISTING UNIT SIZE	N/A	N/A PROPOSED ROOF FLOOR AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):		N/A
	REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17 HEIGHT:	24'- FLAT ROOFS	N/A	N/A	N/A
	27'- SLOPED ROOFS	N/A	31'-0"	WAIVER #1: +4'-0"
				WAIVER #2: TWO STORY ELEVATION DOE NOT MEET FULL REQUIREMENTS OF SID OPEN SPACE ON NORTH SIDE.
18 SETBACKS:				
19 FRONT FIRST LEVEL:	20'-0"	N/A	N/A	NONE
20 FRONT SECOND LEVEL:	30'-0"	N/A	30'-0"	NONE
21 SIDE 1: NORTH	12'-5"	N/A	12'-7"	NONE
22 SIDE 2: SOUTH	12'-5"	N/A	12'-5"	NONE
23 REAR:	24'-1" (15%)	N/A	25'-0"	NONE
ACCESSORY STRUCTURE SIDE 1:	7'-6"	N/A	N/A	NONE
24 ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A	N/A	N/A	NONE
25 ACCESSORY STRUCTURE REAR:	N/A	N/A	N/A	NONE
26 SUM OF SIDE YARD:	24'-10" (25%)	N/A	25'-5.5"	NONE
27 LOCATED WITHIN A LOCAL HISTORIC DISTRICT):	<u> </u>	NO		
28 DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESI	DENCE SITE?	NO		
29 DETERMINED TO BE ARCHITECTURALLY SIGNIFICANT?	· · · _ · · · · ·	NO		

NOTES: IF NOT APPLICABLE WRITE N/A

LEGAL DESCRIPTION
LOT 29, BLOCK 1, NAUTILUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 95, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

NOTHING SHALL BE ERECTED, PLACED, PARKED, PLANTED, OR ALLOWED TO GROW IN SUCH A MANNER WITHIN A 15'-0" TRIANGLE OF VISIBILITY SO AS TO MATERIALLY IMPEDE VISION BETWEEN A HEIGHT OF 2'-0" AND 8'-0" ABOVE AVERAGE GRADE (2.5' N.G.V.D.) MEASURED AT THE DRIVEWAY OR AT THE TRIANGLE OF VISIBILITY AND INTERSECTION

THE SIDE OF THE PROPERTY SHALL BE GRADED IN A MANNER TO RETAIN ALL

RAINWATER ON THE PROPERTY WITH THE USE OF INTERCEPTOR SWALES AROUND THE PERIMETER OF THE SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES AND THE AREA ADJACENT TO THE CANAL WILL BE GRADED TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO THE CANAL

SWIMMING POOL SHALL BE PROVIDED WITH A BARRIER COMPLYING WITH SECTION R4101.17.1.1 THROUGH R4101.17.1.14 OF THE FLORIDA BUILDING CODE, 2010 RESIDENTIAL. POOL, EQUIPMENT AND POOL BARRIER ARE UNDER A SEPARATE PERMIT

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	IR-2	IRRIGATION DETAILS & NOTES

Rev.	Date	Rev.	D
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DRB FINAL SUBMITTAL			
DRB SHEETS REVISION	05-20-2020		

CASABLANCA 4424 N. BAY RD. MIAMI, FLORIDA

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Consultant: Name Address Address

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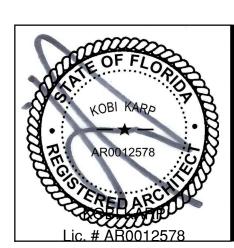
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Architect of Record:
Kobi Karp Architecture and Interior Design, Inc. 2915 Biscayne Boulevard, Suite #200 Miami, Florida 33137 USA
Tel: +1(305) 573 1818

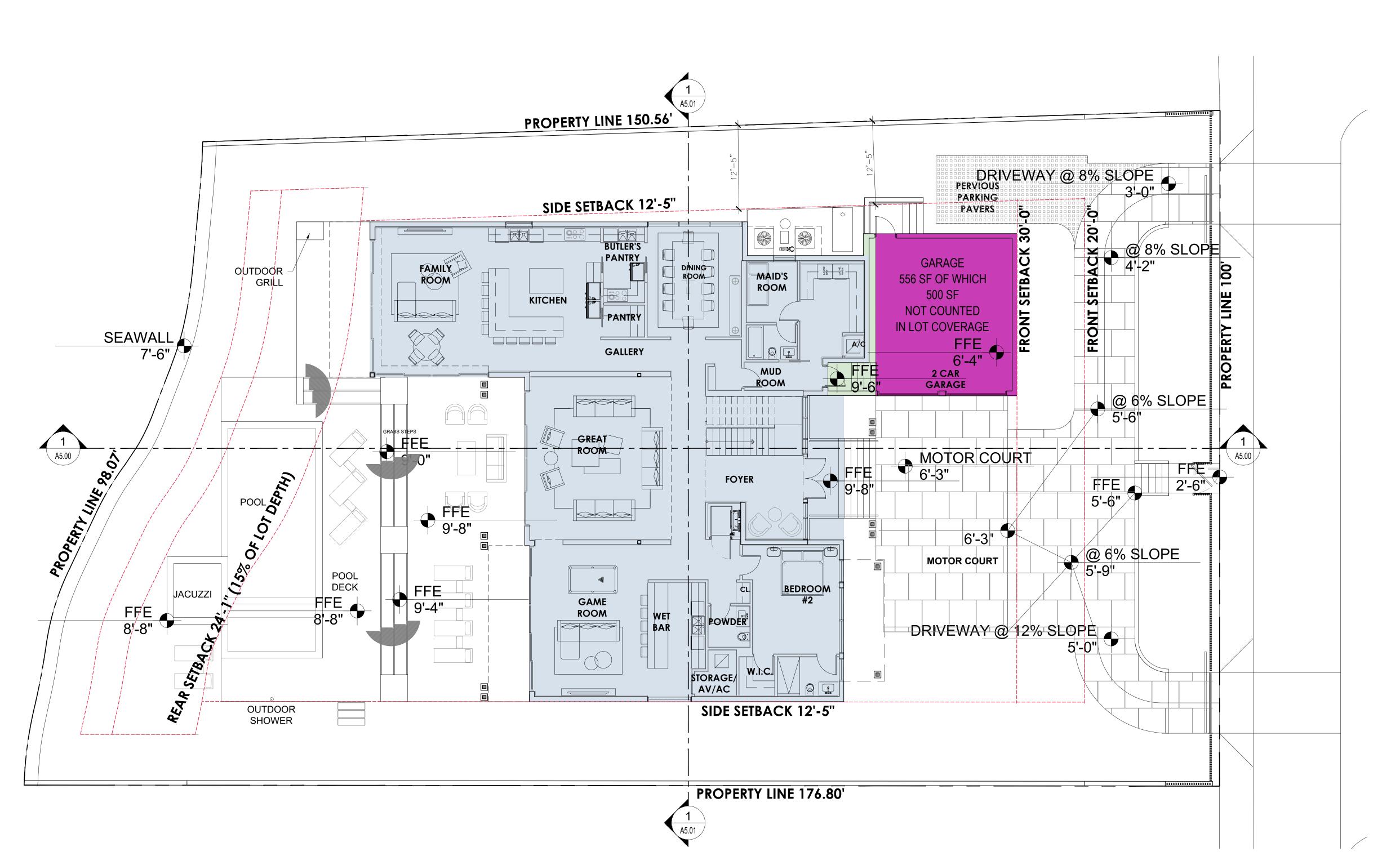
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DATA SHEET PROPOSED DESIGN

	Date:	05-11-2020	Sheet No.
_	Scale:		A0.01
	Project:	2016	, (0.01





LOT COVERAGE:

GARAGE PORTION COUNTED IN LOT COVERAGE 56 SF (0.35%)

GARAGE PORTION NOT COUNTED IN LOT COVERAGE

TOTAL LOT COVERAGE PROPOSED

4,757 SF (30%)

500 SF

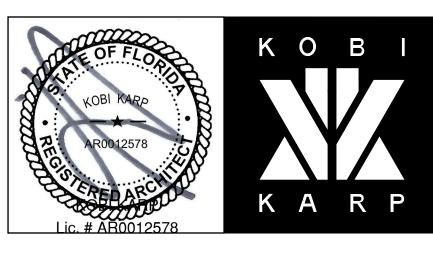
3,837 SF (24.19%)

3,894 SF (24.55%)

ALLOWED

MAIN HOUSE

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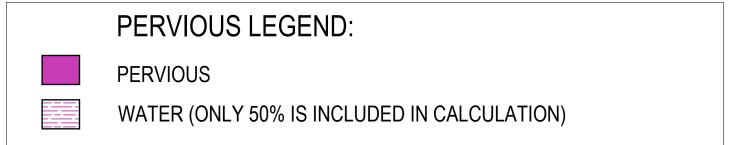


LOT COVERAGE / PERVIOUS PROPOSED DESIGN

Date: 05-11-2020 Sheet No.

Scale: A0.06

Project: 2016



FRONT YARD LANDSCAPE CALCULATIONS:

1,994 SF FRONT YARD (20'-0" FRONT YARD) 997 SF MINIMUM REQUIRED LANDSCAPE AREA IN FRONT YARD (50% PER 142.106 (1)(d)OF ZONING CODE) PROVIDED LANDSCAPE AREA IN FRONT YARD 1,012 SF (50.75%)

2,986 SF FRONT YARD (30'-0" FRONT YARD) 1,634 SF (54.72%) PROVIDED LANDSCAPE AREA IN FRONT YARD

REAR YARD LANDSCAPE CALCULATIONS:

REAR YARD 2,421 SF 1,695 SF MINIMUM LANDSCAPE AREA IN REAR YARD (70% PER 142.106 (3) OF ZONING CODE) PROVIDED LANDSCAPE AREA IN REAR YARD 1,574 SF 50% OF POOL AREA (260 SF x 50%) = TOTAL REAR YARD LANDSCAPE PROVIDED 1,704 SF (70.38%)





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DRB FINAL SUBMITTAL	05-11-2020		
DRB SHEETS REVISION	05-20-2020		
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		INTERIOR DESIGN, INC. AIA. (c	
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4424 N. BAY RD. MIAMI, FLORIDA

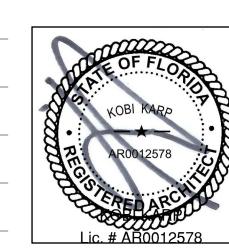
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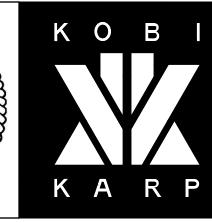
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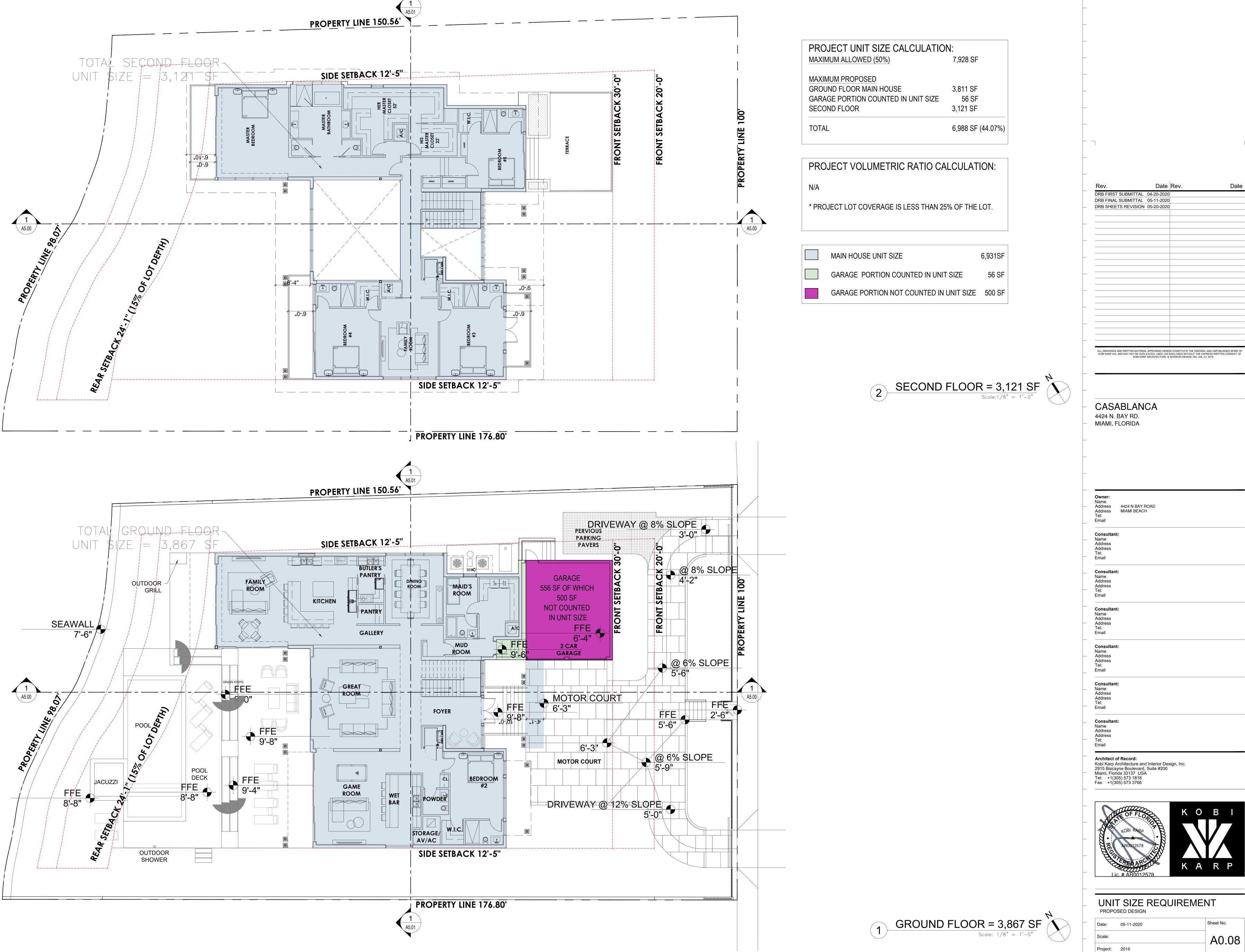
Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
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LOT COVERAGE / PERVIOUS PROPOSED DESIGN

Scale: A0.07 Project: 2016



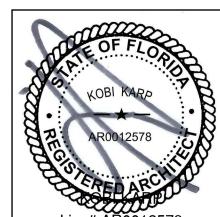
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DRB FINAL SUBMITTAL	05-11-2020		
DRB SHEETS REVISION	05-20-2020		

CASABLANCA

4424 N BAY ROAD

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UNIT SIZE REQUIREMENT PROPOSED DESIGN

Date: 05-11-2020 A0.08



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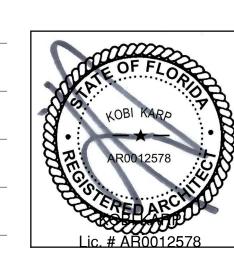
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AXONOMETRIC VIEW PROPOSED DESIGN

Date: 05-11-2020 Sheet No.

Scale: A0.09



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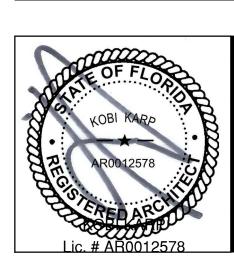
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AXONOMETRIC VIEW PROPOSED DESIGN



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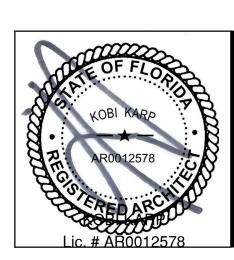
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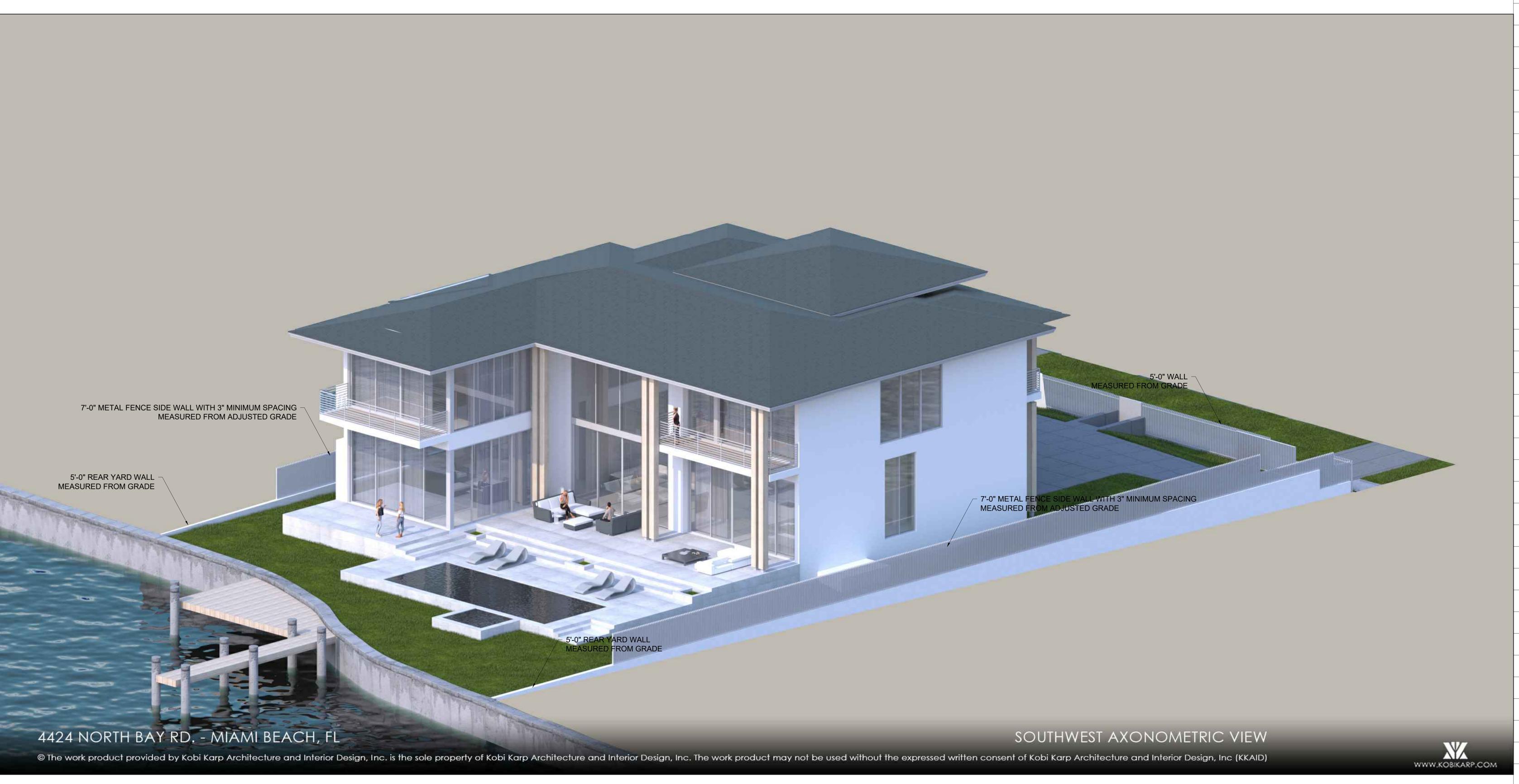




AXONOMETRIC VIEW PROPOSED DESIGN

Date: 05-11-2020 Sheet No.

Scale: A0.1



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4424 N BAY ROAD

Owner: Name Address Address Tel: Email

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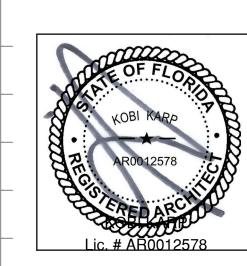
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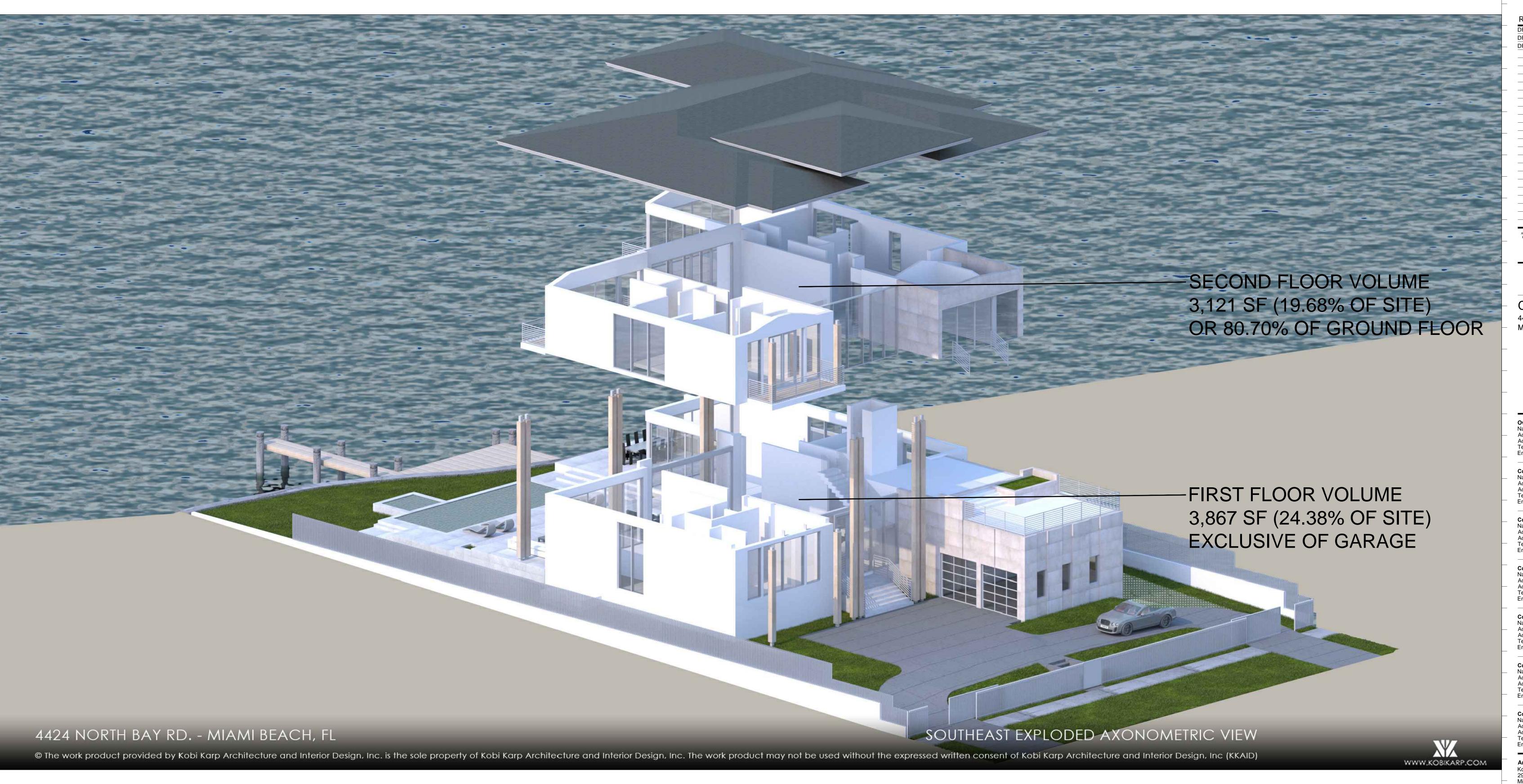
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AXONOMETRIC VIEW PROPOSED DESIGN

Sheet No. Project: 2016



Rev.	Date	Rev.	Date
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CASABLANCA
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MIAMI, FLORIDA

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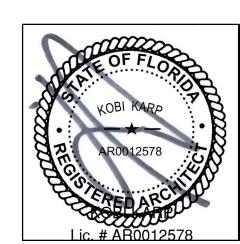
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1 EXPLODED AXONOMETRIC VIEW

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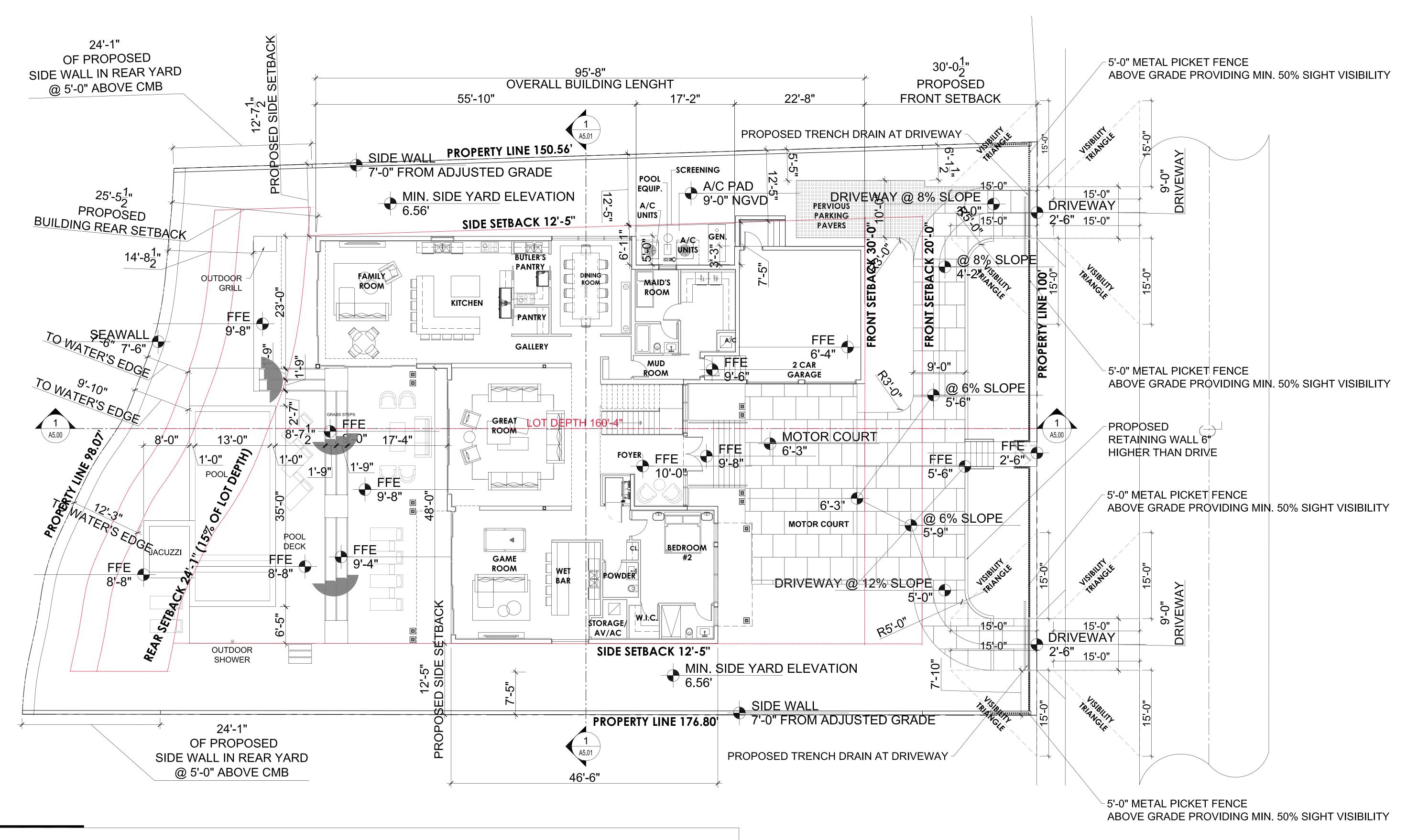


EXPLODED AXONOMETRIC VIEW PROPOSED DESIGN

Date: 05-11-2020 Sheet No.

Scale: A0.13

Project: 2016



PUBLIC WORKS:

A. REPLACE THE SIDEWALK ALONG THE ENTIRE STREET FRONTAGE OF THE PROPERTY.

RECONSTRUCT THE SWALE / SOD ALONG THE ENTIRE FRONTAGE OF THE PROPERT

. MILL AND RESURFACE 2 INCHES AVERAGE USING TYPE S-III ASPHALT MIX DESIGN ON THE DRIVING LANE (9 FEET WIDE).

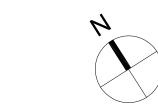
D. LANDSCAPING IMPROVEMENTS WITHIN THE RIGHT OF WAY REQUIRE PRELIMINARY APPROVALS FROM CMB PLANNING DEPARTMENT AND PARKS (GREEN MANAGMENT). DEPARTMENT PRIOR TO APPLYING FOR A PUBLIC WORKS DEPARTMENT RIGHT OF WAY CONSTRUCTION PERMIT.

E. ALL CONSTRUCTION AND / OR USE OF EQUIPMENT IN THE RIGHT OF WAY AND / OR EASEMENTS WILL REQUIRE A SEPARATE PUBLIC WORKS DEPARTMENT PERMIT PRIOR OR COMMENCEMENT OF CONSTRUCTION

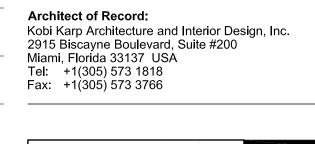
NOTE:

NO SCREENING IN ANY REQUIRED YARD.





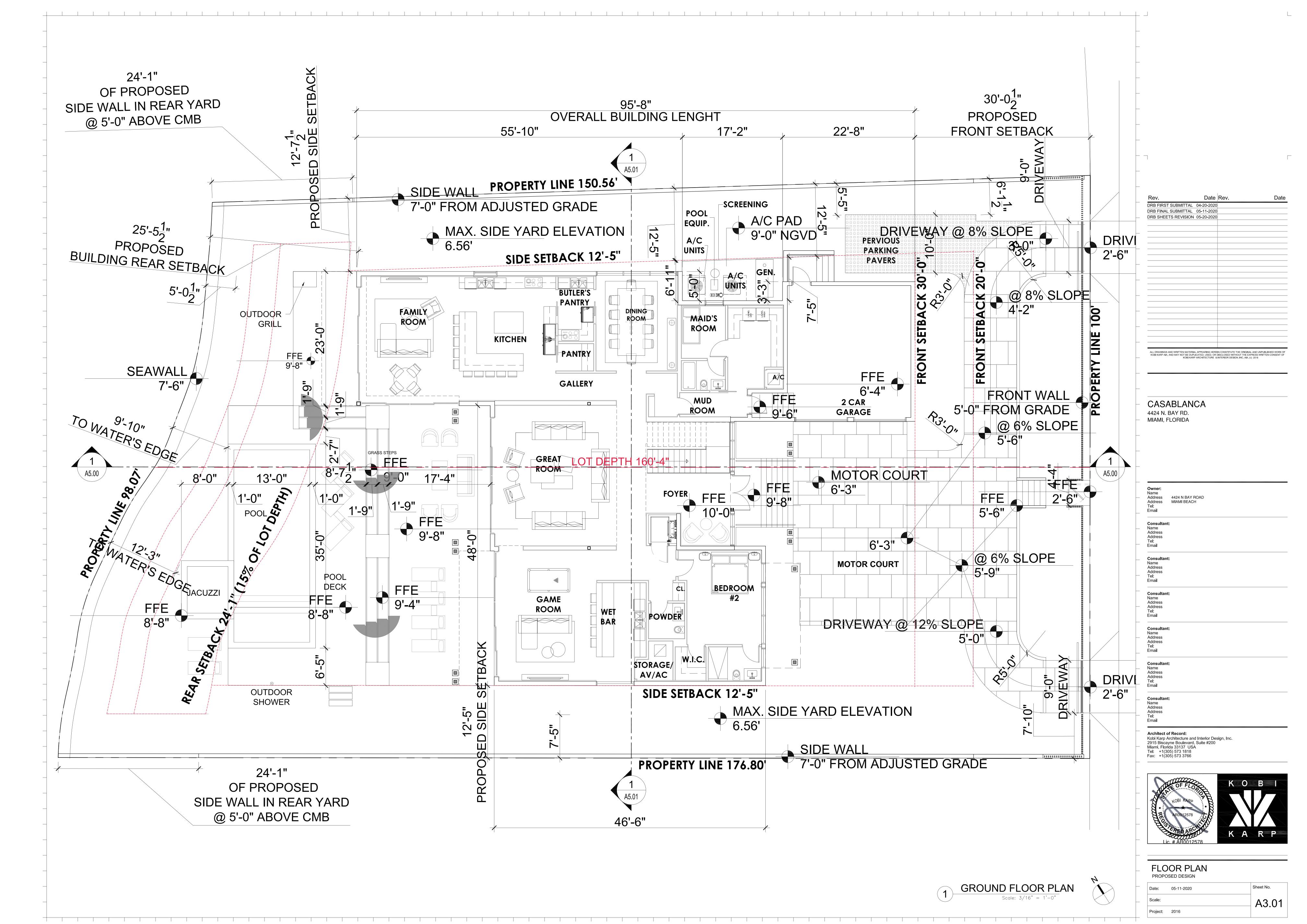
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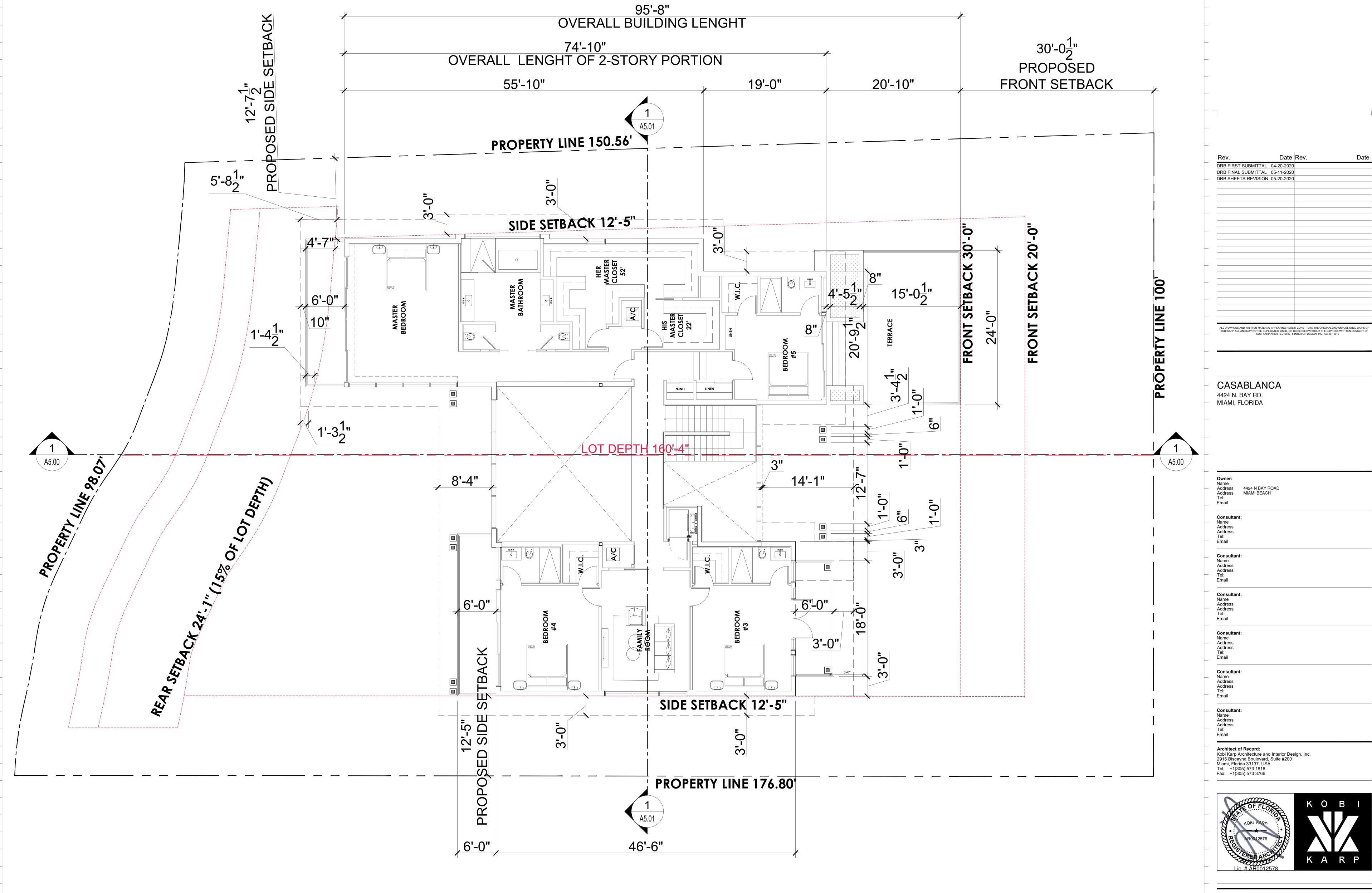




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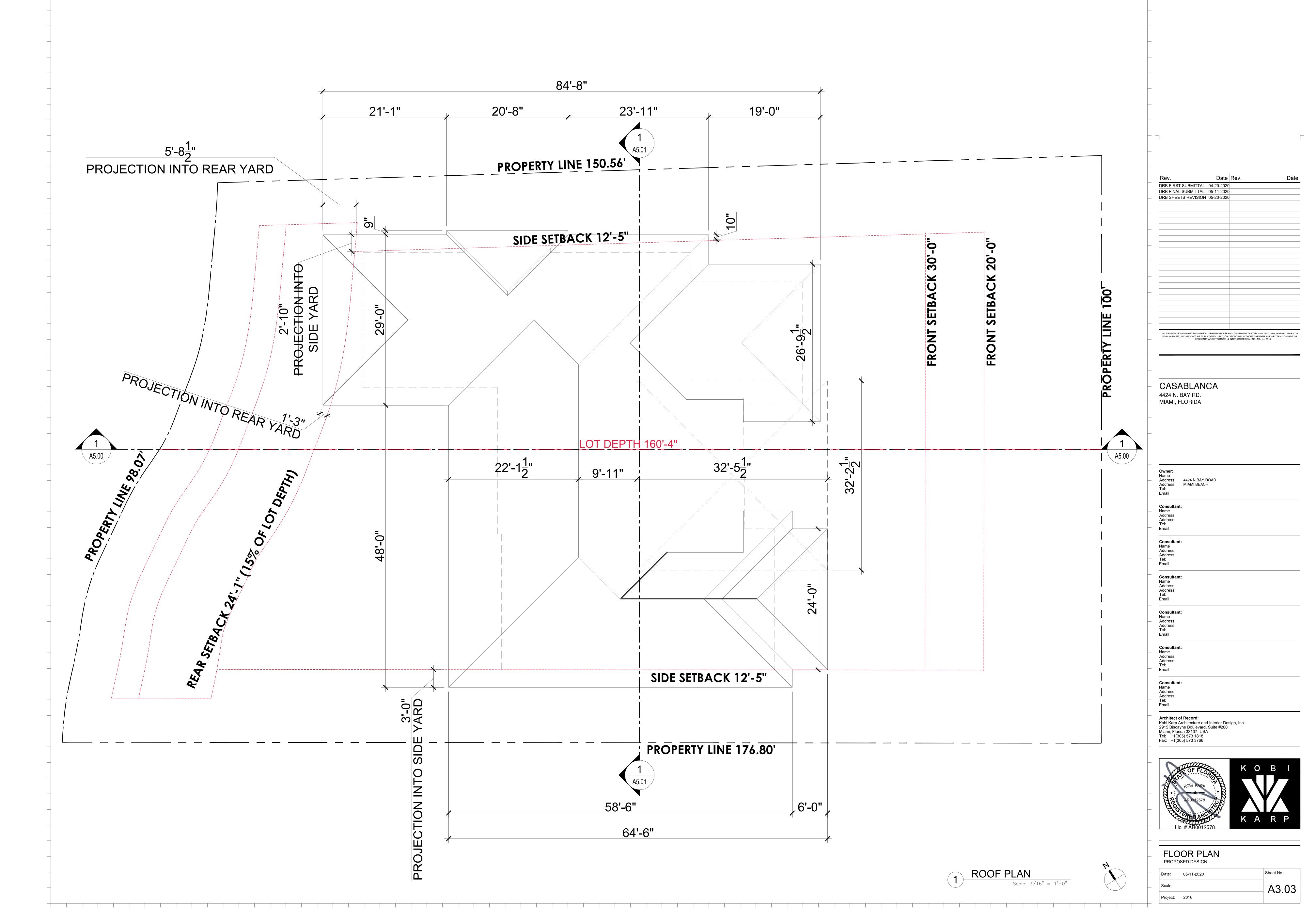
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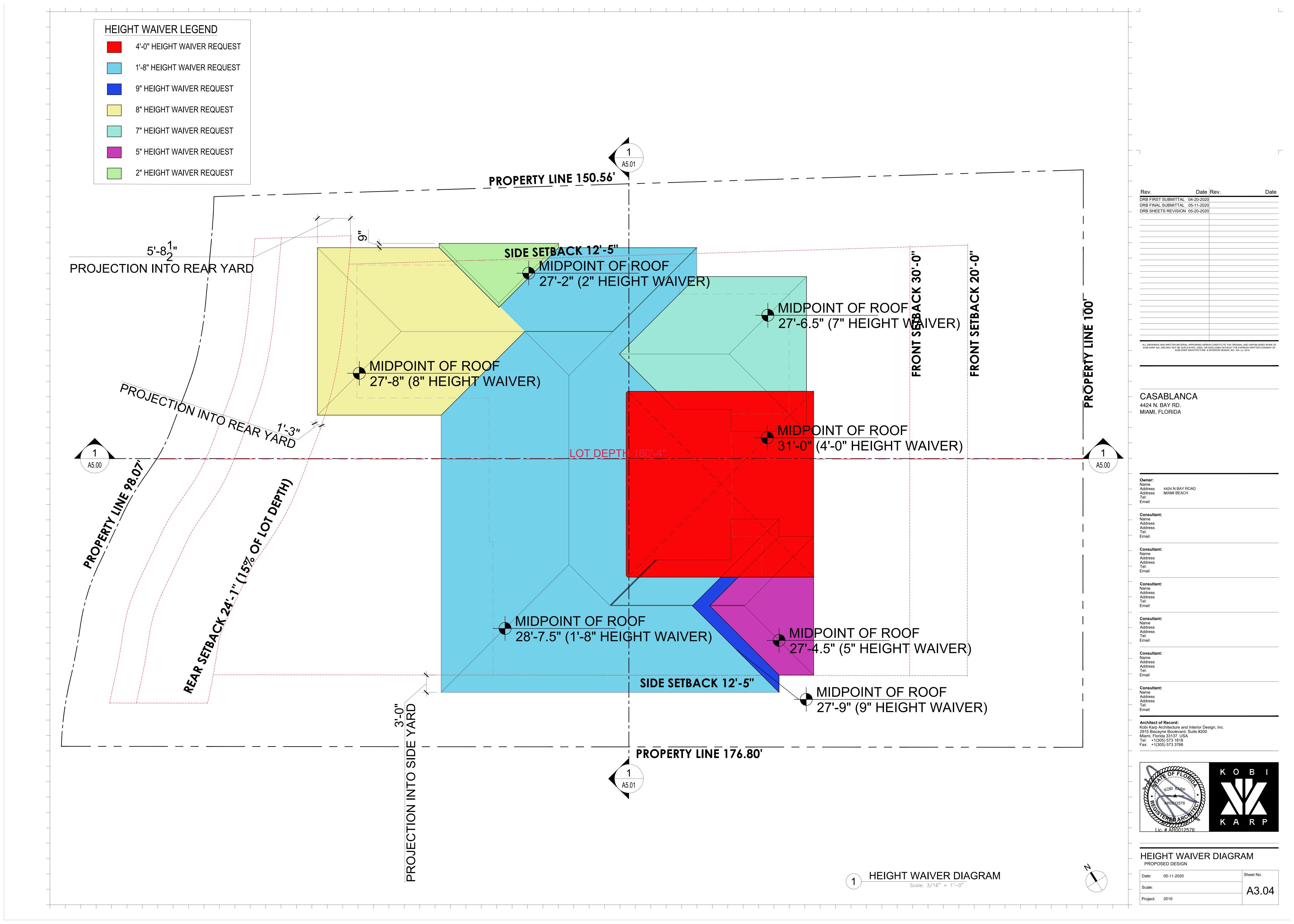


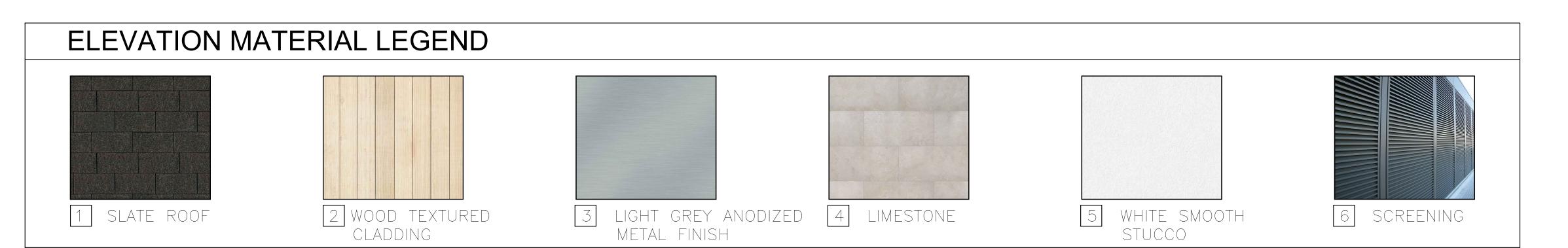


FLOOR PLAN PROPOSED DESIGN

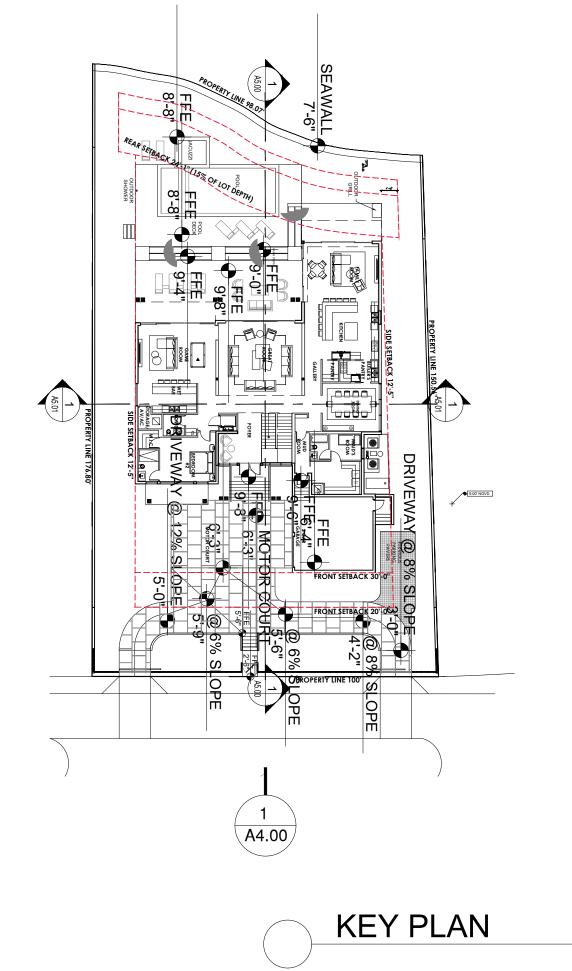
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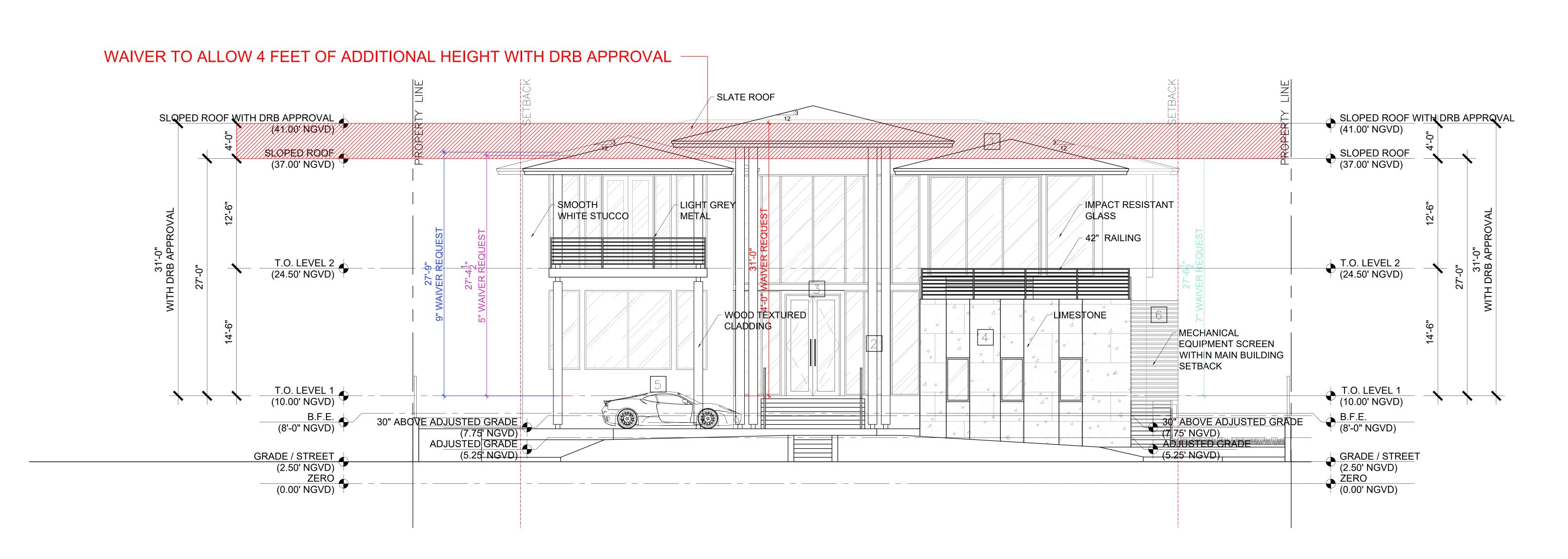












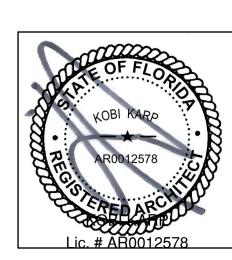
Rev.	Date	Rev.	Date
DRB FIRST SUBMITTAL	04-20-2020		
DRB FINAL SUBMITTAL	05-11-2020		
DRB SHEETS REVISION	05-20-2020		
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Owner: Name Address 4424 N BAY ROAD MIAMI BEACH Address Tel: Email Consultant: Name Address Address Tel: Email

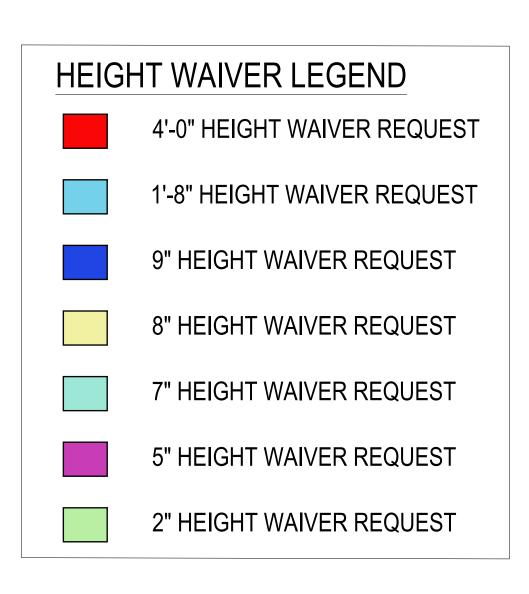
Architect of Record:
Kobi Karp Architecture and Interior Design, Inc. 2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

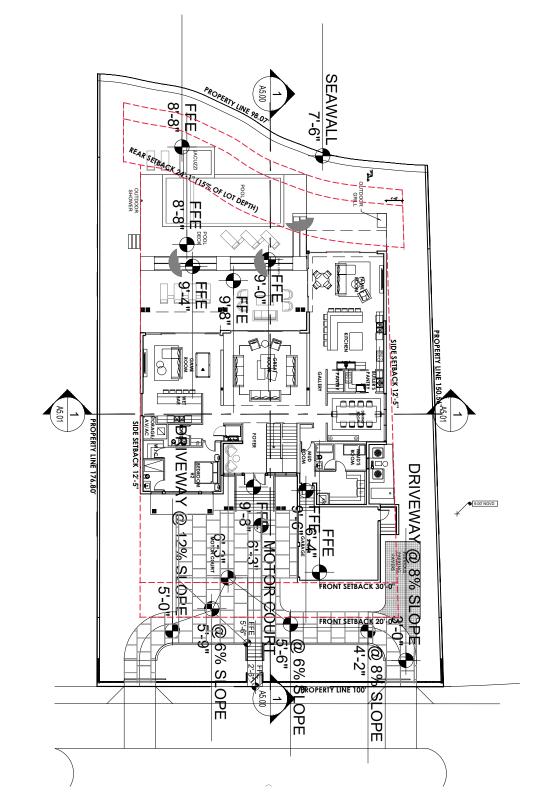




ELEVATIONS PROPOSED DESIGN







KEY PLAN

Scale: N.T.S

WAIVER TO ALLOW 4 FEET OF ADDITIONAL HEIGHT WITH DRB APPROVAL — SLATE ROOF SLOPED ROOF WITH DRB APPROVAL (37.00' NGVD) SLOPED ROOF (37.00' NGVD) GLASS SMOOTH 42" RAILING - 42" RAILING WHITE STUCCO - LIGHT GREY T.O. LEVEL 2 (24.50' NGVD) T.O. LEVEL 2 (24.50' NGVD) METAL MULLIONS IMPACT RESISTANT IMPACT RESISTANT -GLASS WOODTEXTURED CLADDING T.O. LEVEL 1 (10.00' NGVD) T.O. LEVEL 1 (10.00' NGVD) 30" ABOVE ADJUSTED GRADE
(7.75' NGVD)
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(5.25' NGVD) 30" ABOVE ADJUSTED GRADE (7.75' NGVD) ADJUSTED GRADE (5.25' NGVD) GRADE / STREET (2.50' NGVD) GRADE / STREET (2.50' NGVD) ZERÓ (0.00' NGVD) (0.00' NGVD)

DRB FIRST SUBMITTAL 04-20-2020

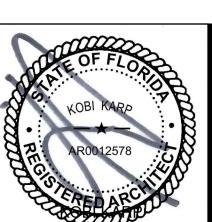
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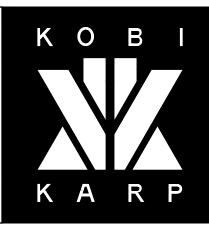
DRB SHEETS REVISION 05-20-2020

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CASABLANCA
4424 N. BAY RD.
MIAMI, FLORIDA

Owner: Name Address 4424 N BAY ROAD MIAMI BEACH Address Tel: Consultant: Name Address Address Tel: Email Consultant: Name Address Address Tel: Consultant: Name Address Address Tel: Email Architect of Record:
Kobi Karp Architecture and Interior Design, Inc. 2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766





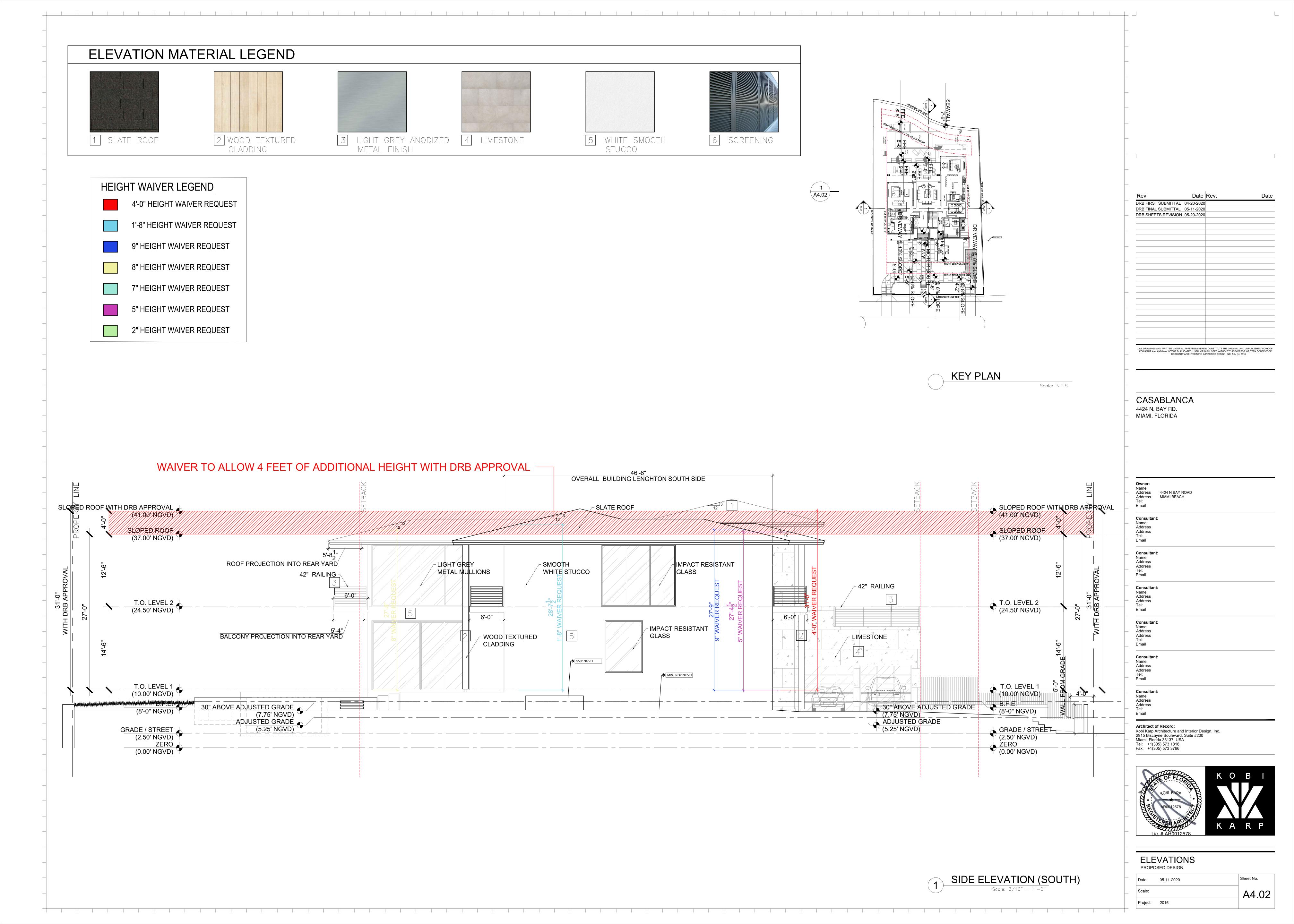
ELEVATIONS PROPOSED DESIGN

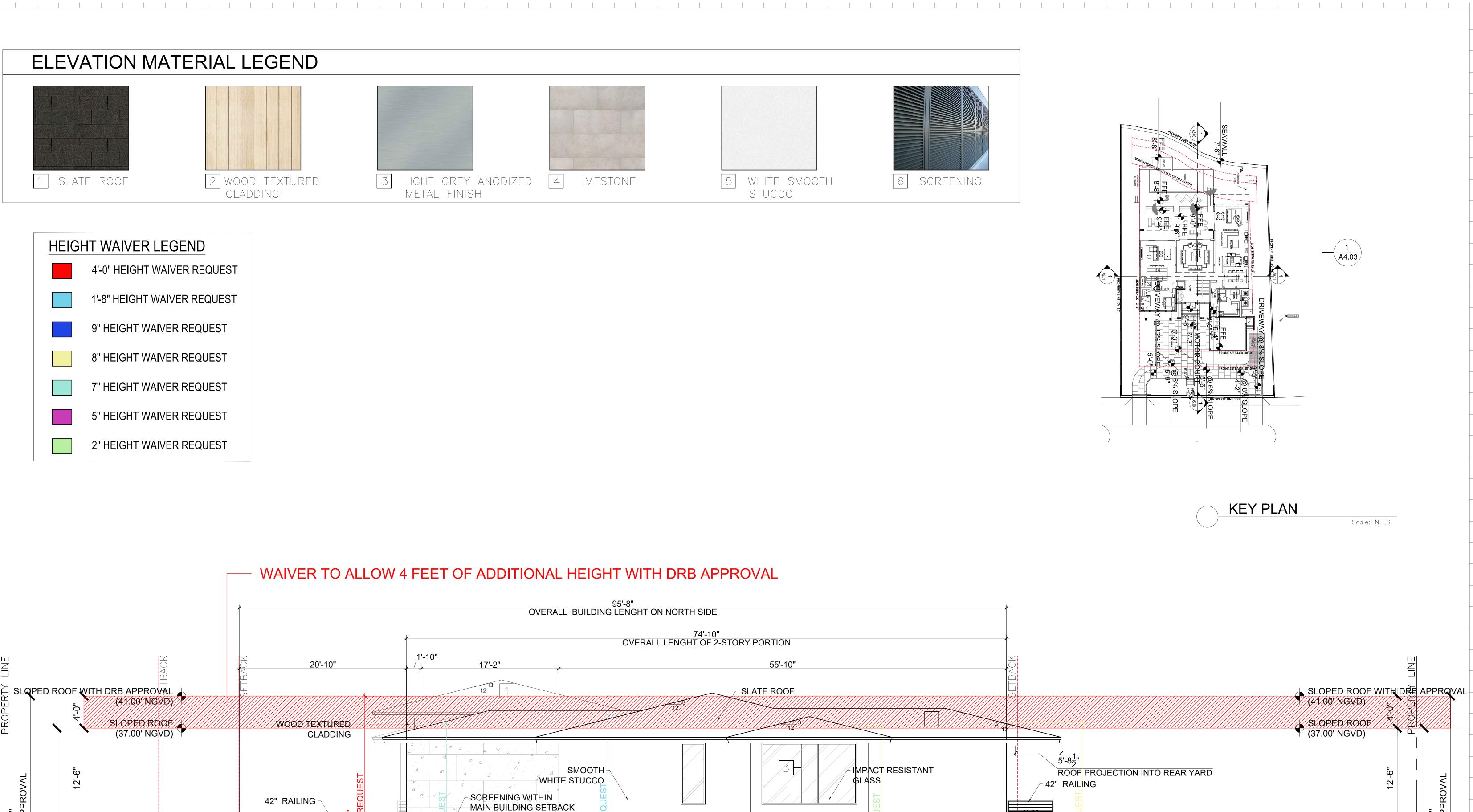
PROPOSED DESIGN

ate: 05-11-2020

REAR ELEVATION

Scale: 3/16" = 1'-0





IMPACT RESISTANT

- SMOOTH

WHITE STUCCO

BALCONY PROJECTION INTO REAR YARD

30" ABOVE ADJUSTED GRADE

(7.75' NGVD)

ADJUSTED GRADE

(5.25' NGVD)

STACKED A/C UNITS

GENERATOR

30" ABOVE ADJUSTED GRADE

(7.75' NGVD)

ADJUSTED GRADE

(5.25' NGVD)

WITHIN MAIN BUILDING SETBACK

/- LIGHT GREY

METAL MULLIONS

T.O. LEVEL 2 (24.50' NGVD)

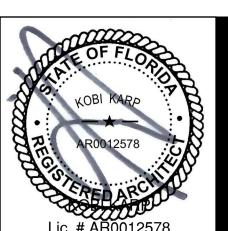
T.O. LEVEL 1 (10.00' NGVD)

GRADE / STREET (2.50' NGVD)

ZERÓ (0.00' NGVD)

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Kobi Karp Architecture and Interior Design, Inc. 2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

DRB FINAL SUBMITTAL 05-11-2020





ON (NORTH)

T.O. LEVEL 2 (24.50' NGVD)

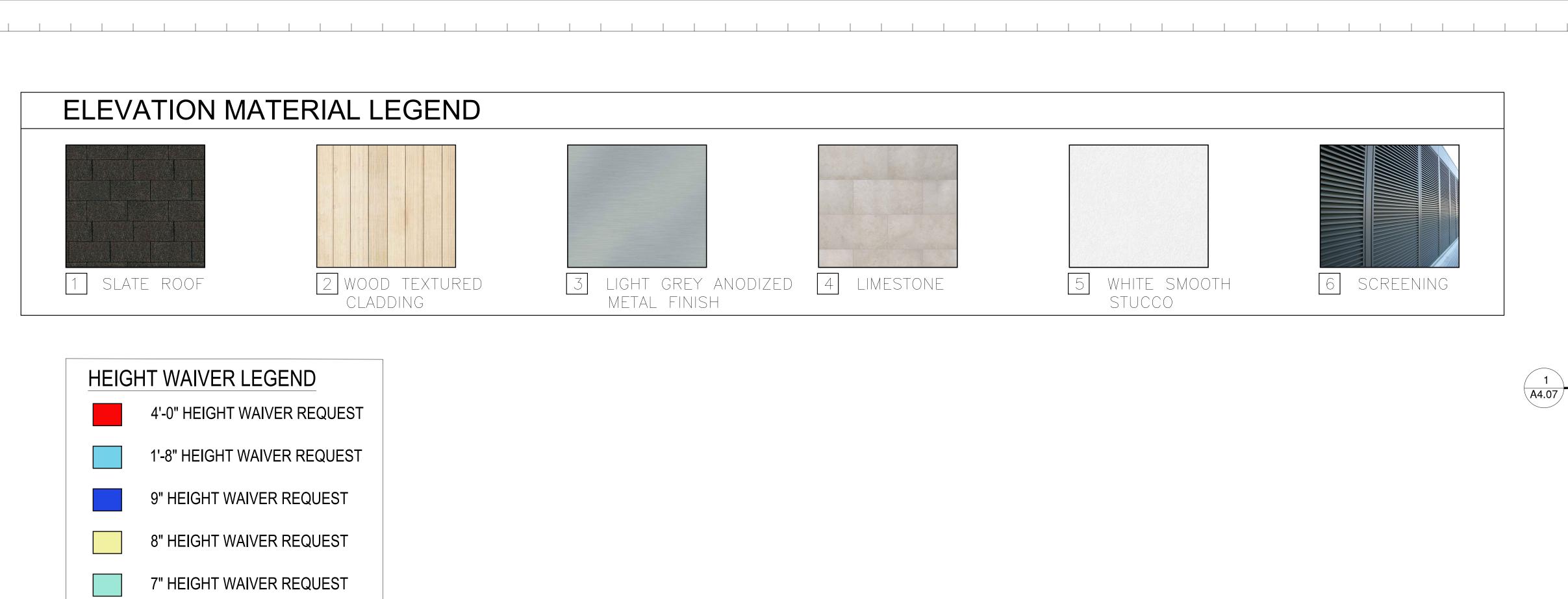
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GRADE / STREET
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ELEVATIONS
PROPOSED DESIGN

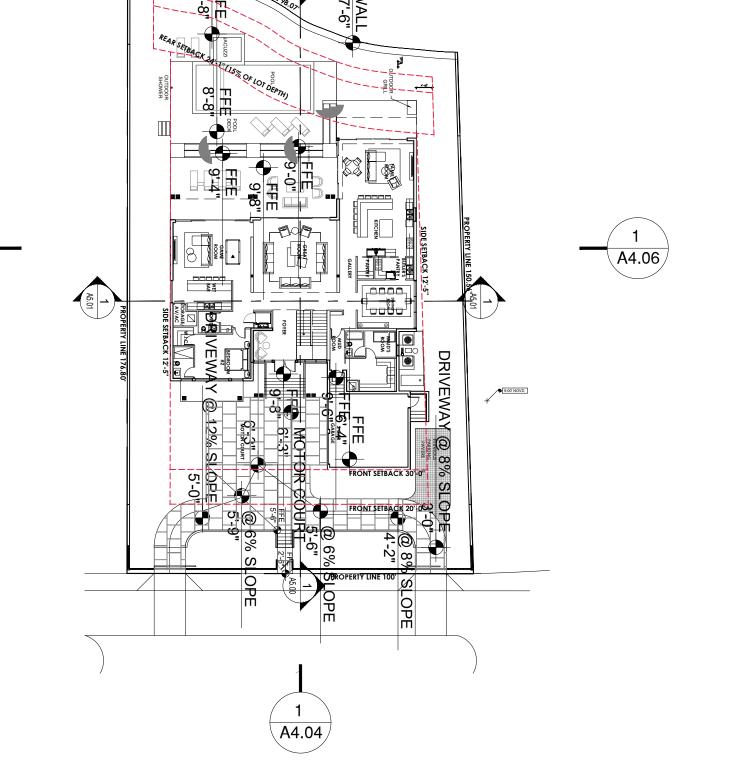
Date: 05-11-2020 Sheet No.

Scale: A4.03

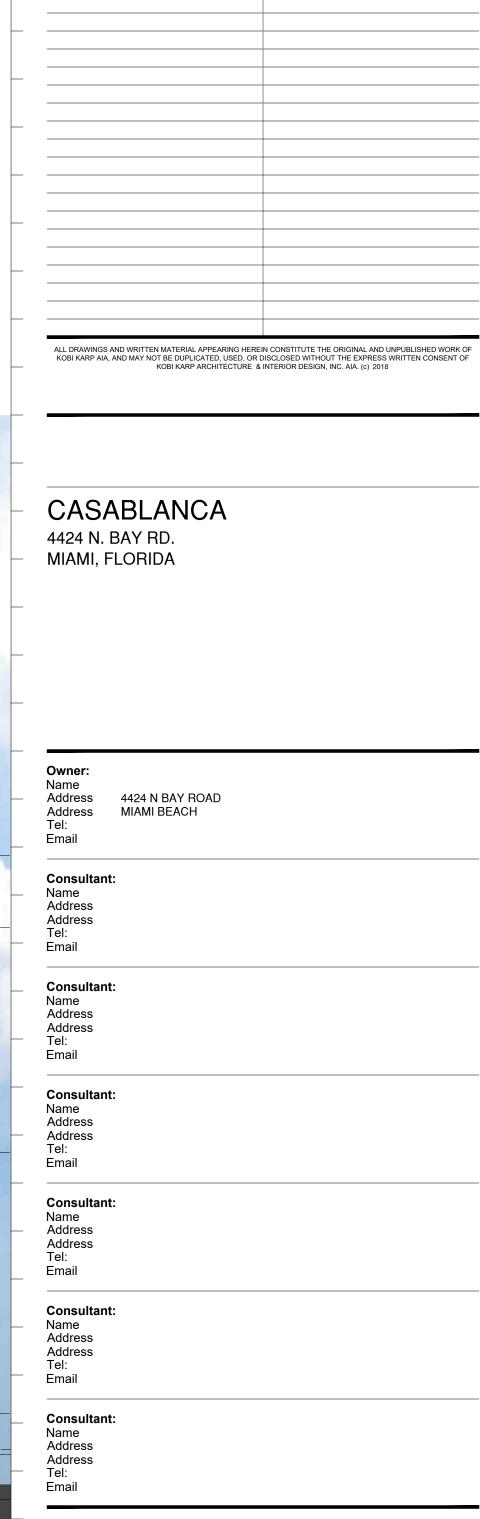


5" HEIGHT WAIVER REQUEST

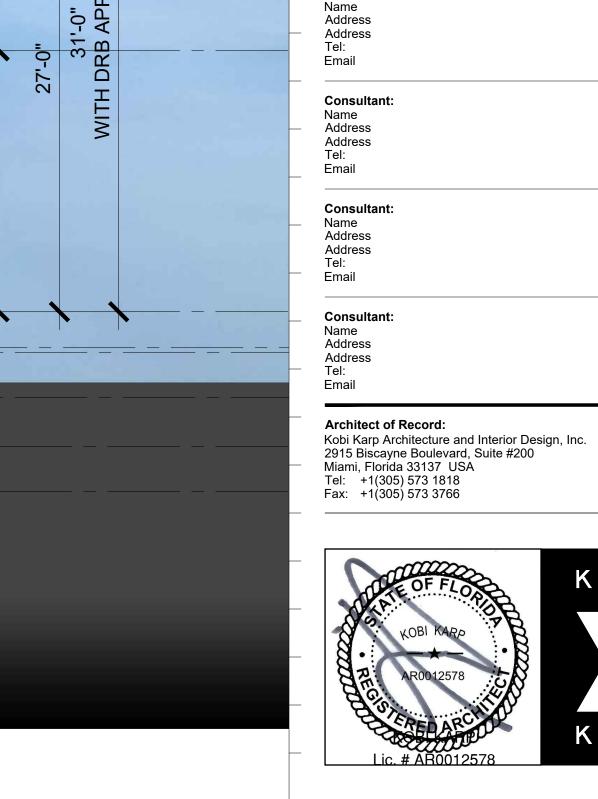
2" HEIGHT WAIVER REQUEST



KEY PLAN



DRB FINAL SUBMITTAL 05-11-2020

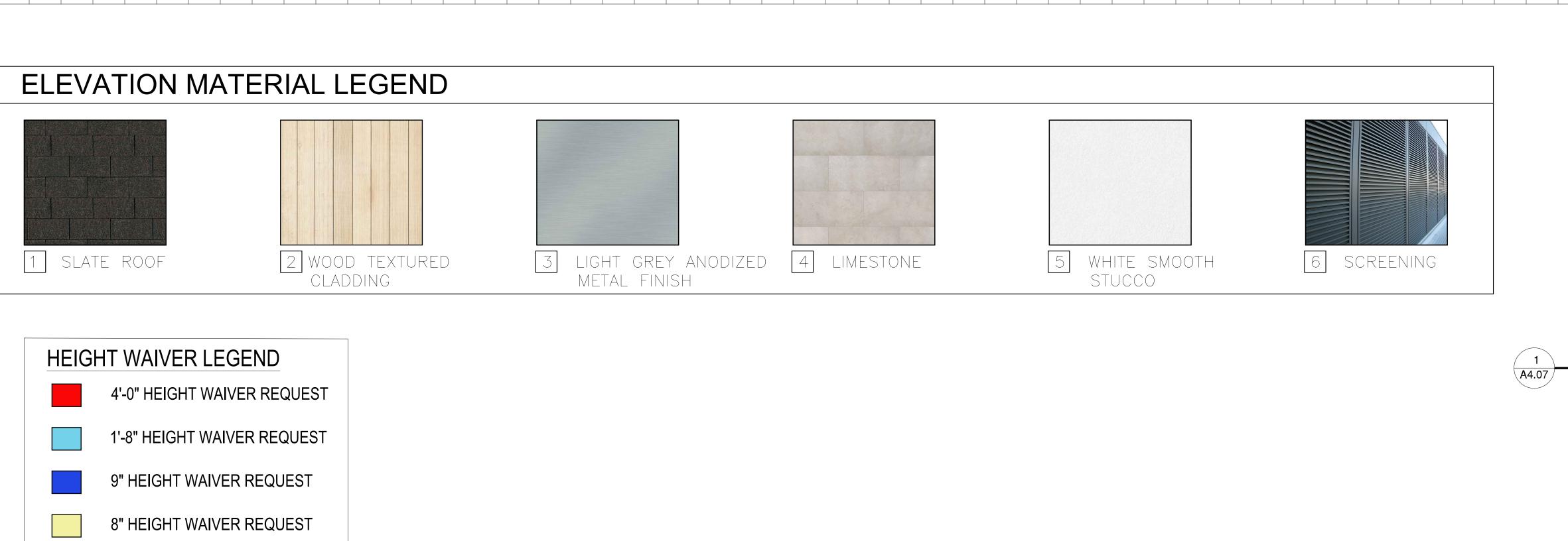


RENDERED EAST ELEVATION

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ELEVATIONS PROPOSED DESIGN Scale: A4.04 Project: 2016





- IMPACT RESISTANT

GLASS

GLASS

IMPACT RESISTANT

42" RAILING

30" ABOVE ADJUSTED GRADE (7.75' NGVD) ADJUSTED GRADE (5.25' NGVD)

WAIVER TO ALLOW 4 FEET OF ADDITIONAL HEIGHT WITH DRB APPROVAL

SLOPED ROOF WITH DRB APPROVAL

(37.00' NGVD)

T.O. LEVEL 2 (24.50' NGVD)

T.O. LEVEL 1 (10.00' NGVD)

B.F.E. (8'-0" NGVD)

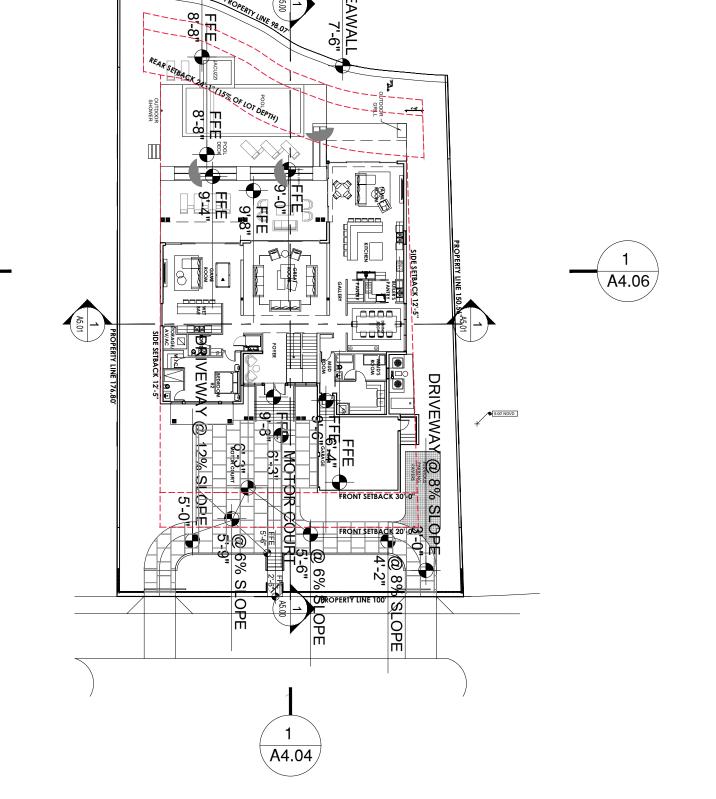
GRADE / STREET
(2.50' NGVD)
ZERO
(0.00' NGVD)

4424 NORTH BAY RD. - MIAMI BEACH, FL

7" HEIGHT WAIVER REQUEST

5" HEIGHT WAIVER REQUEST

2" HEIGHT WAIVER REQUEST



KEY PLAN

SLOPED ROOF WITH DRB APPROVAL (41.00' NGVD)

SLOPED ROOF (37.00' NGVD)

T.O. LEVEL 2 (24.50' NGVD)

T.O. LEVEL 1 (10.00' NGVD)

B.F.E. (8'-0" NGVD)

GRADE / STREET (2.50' NGVD)

SLATE ROOF

WHITE STUCCO

/ LIGHT GREY

METAL MULLIONS

42" RAILING

WOOD TEXTURED

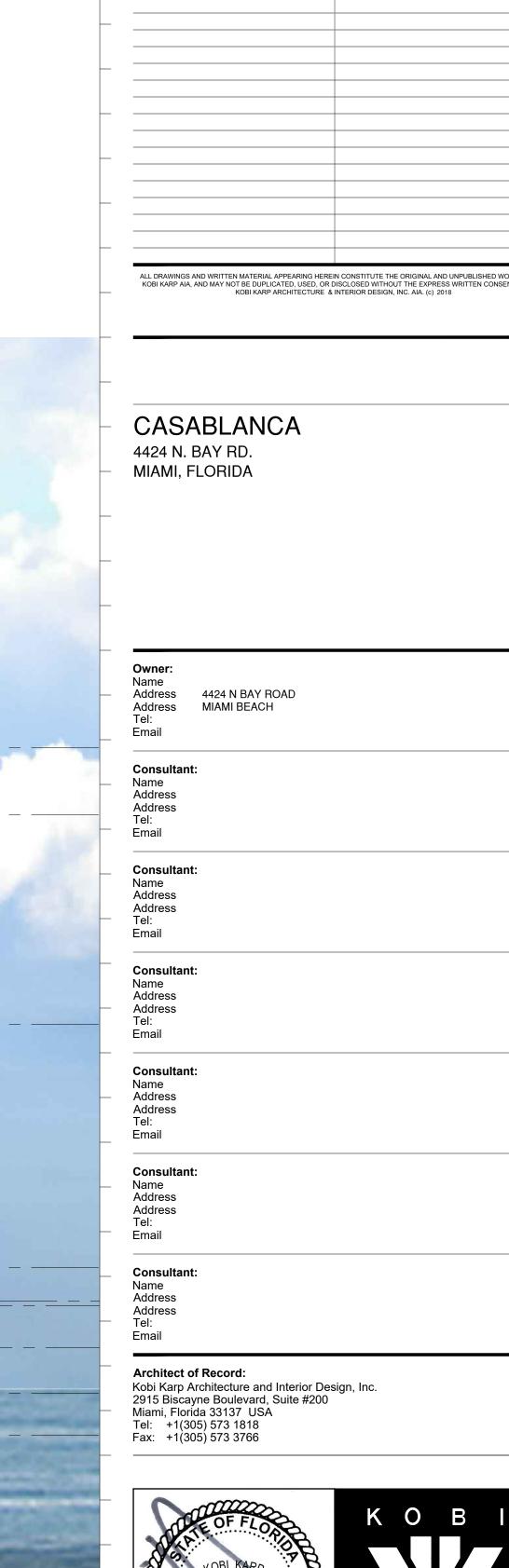
30" ABOVE ADJUSTED GRADE
(7.75' NGVD)

ADJUSTED GRADE
(5.25' NGVD)

CLADDING

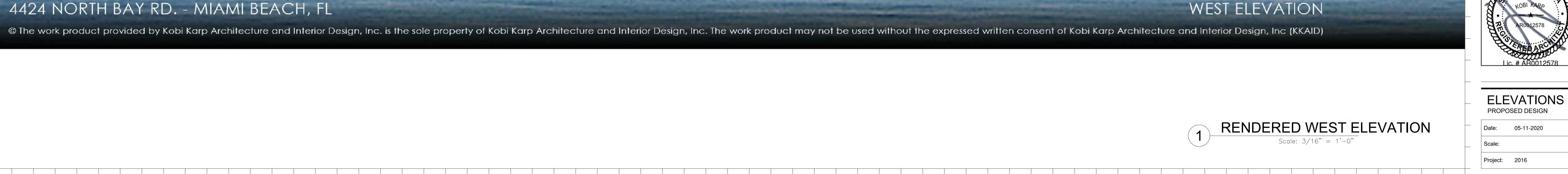
IMPACT RESISTANT

GLASS



A4.05

DRB FINAL SUBMITTAL 05-11-2020





ELEVATIONS

A4.06

PROPOSED DESIGN

Date: 05-11-2020

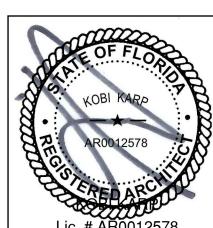
Project: 2016

Scale:

RENDERED NORTH ELEVATION



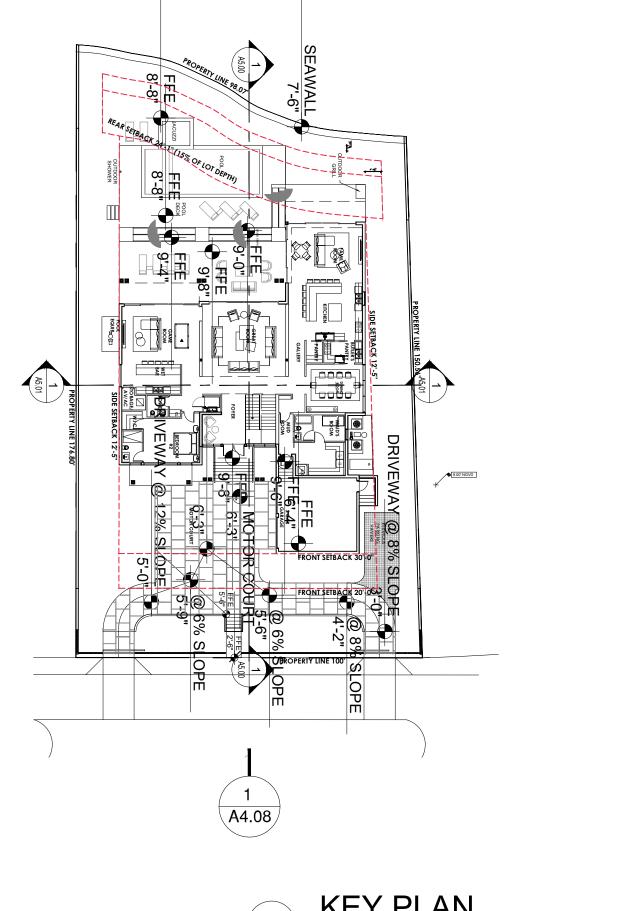






ELEVATIONS PROPOSED DESIGN

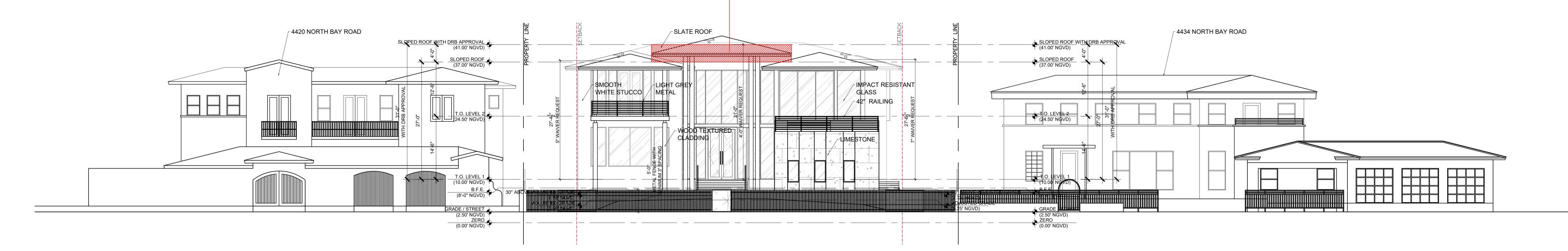
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KEY PLAN

Scale: N.T.S.

WAIVER TO ALLOW 4 FEET OF ADDITIONAL HEIGHT WITH DRB APPROVAL —



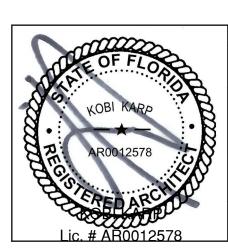
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DRB FIRST SUBMITTAL	04-20-2020	
DRB FINAL SUBMITTAL	05-11-2020	
DRB SHEETS REVISION	05-20-2020	
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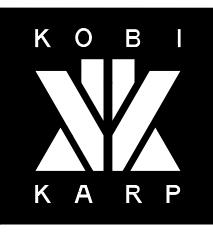
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Owner: Name Address Address Tel: Email 4424 N BAY ROAD MIAMI BEACH

> Consultant: Name Address Address Tel: Email

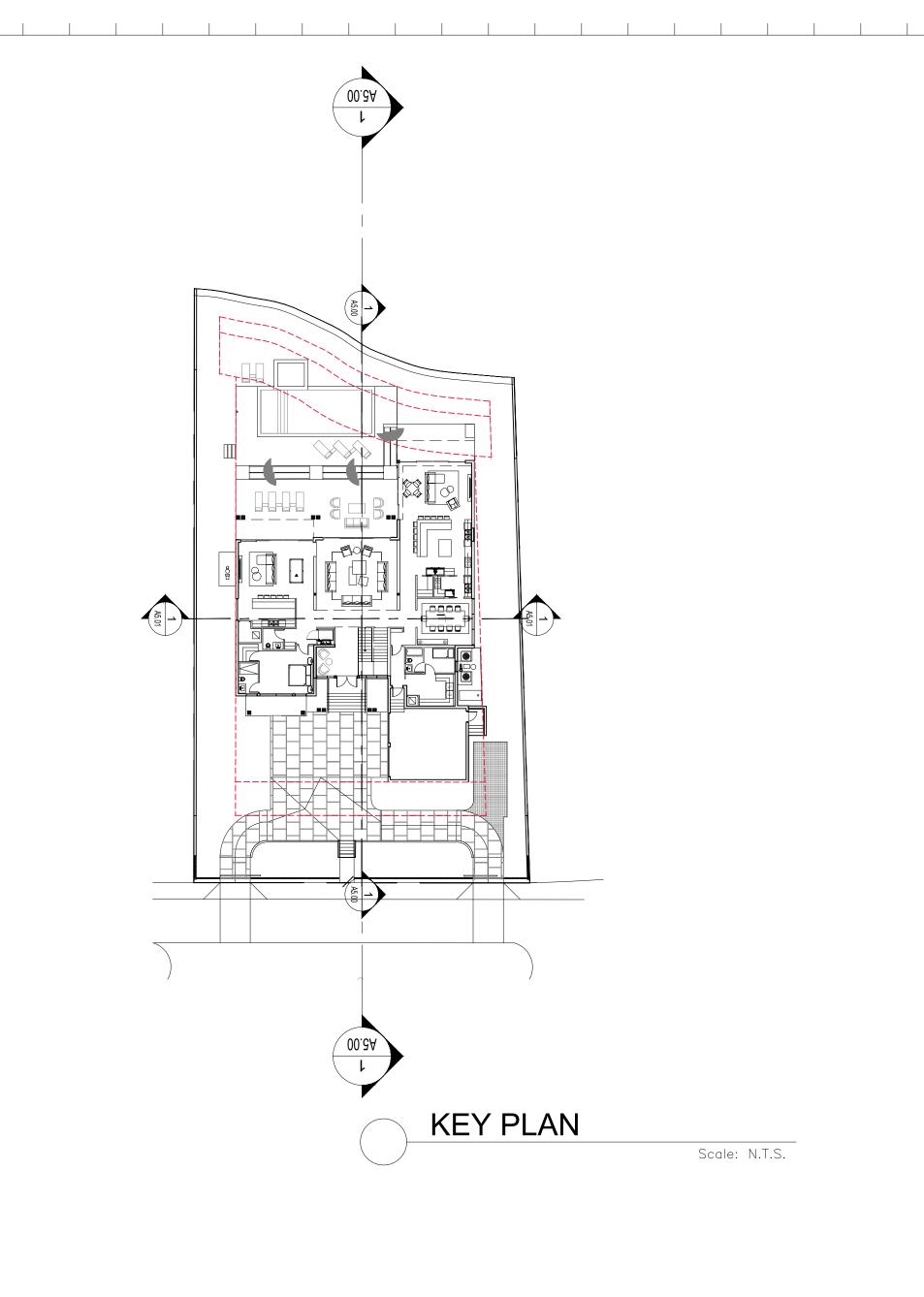
Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766

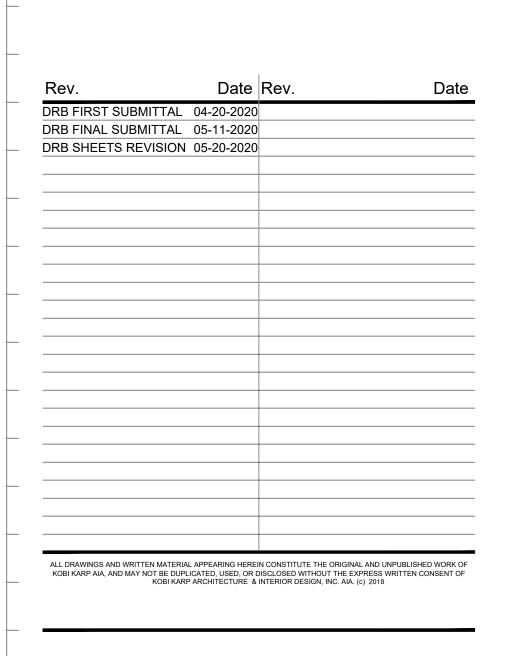




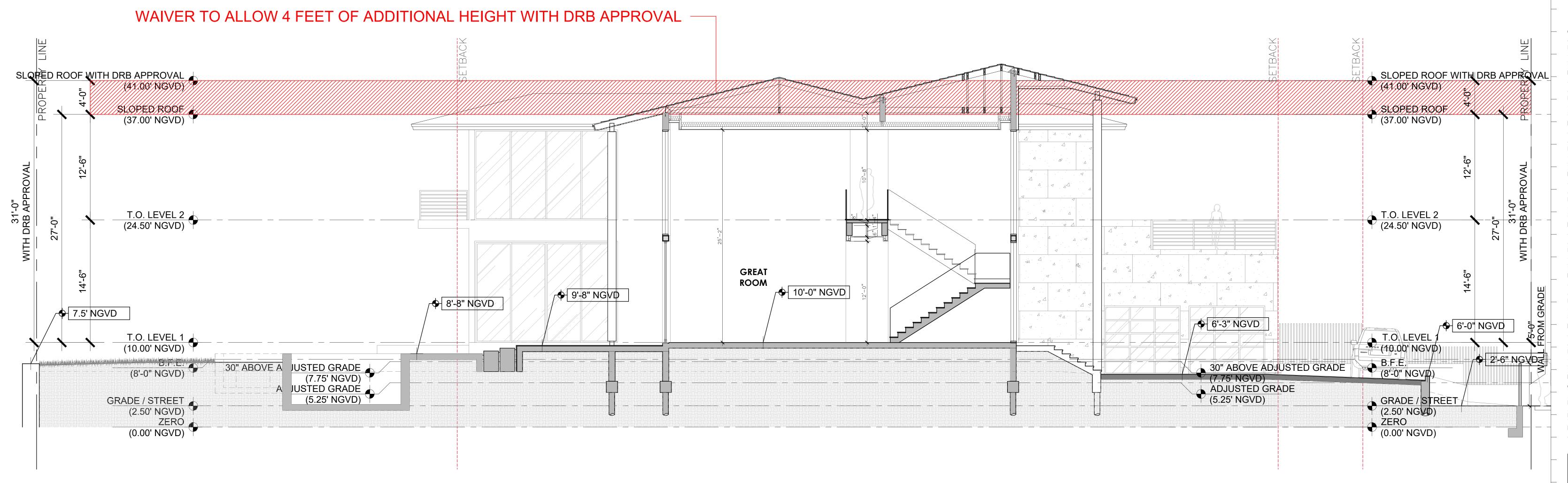
ELEVATIONS PROPOSED DESIGN

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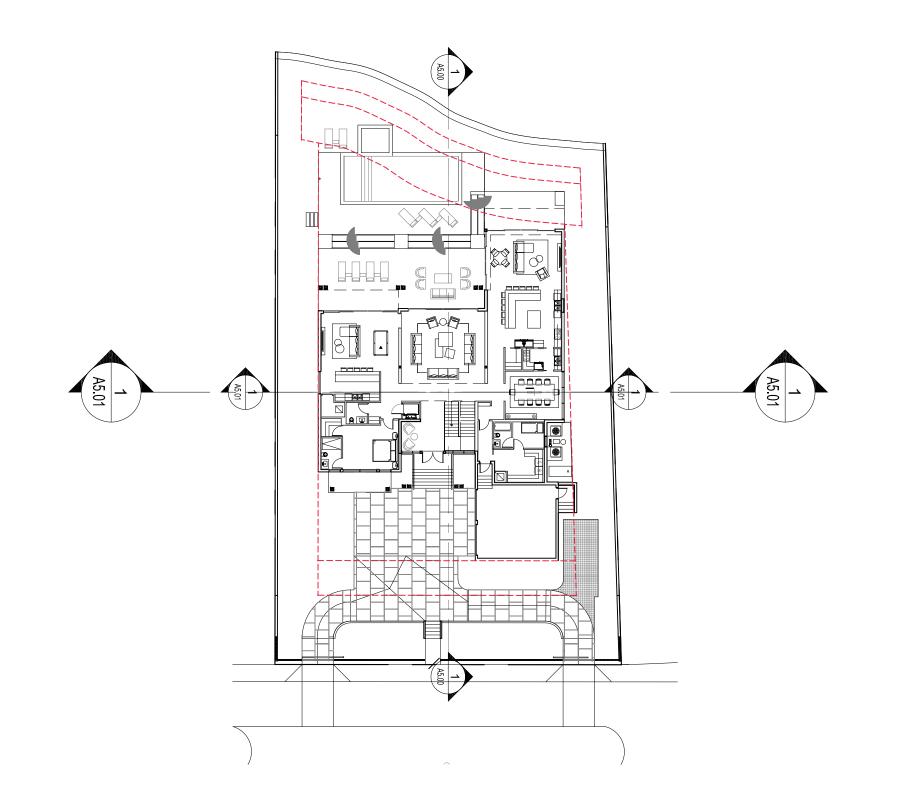


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Consultant: Name Address Address Tel: Email	
2915 Biscayı	chitecture and Interior Design, Inc. ne Boulevard, Suite #200 a 33137 USA 5) 573 1818



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	Date:	05-11-2020	Sheet No.
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	Project:	2016	, (010



KEY PLAN
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WAIVER TO ALLOW 4 FEET OF ADDITIONAL HEIGHT WITH DRB APPROVAL — SLOPED ROOF WITH DRB APPROVAL (41.00' NGVD) SLOPED ROOF WITH DRB APPROVAL (37.00' NGVD) SLOPED ROOF (37.00' NGVD) HER FAMILY ROOM MASTER CLOSET BRIDGE T.O. LEVEL 2 (24.50' NGVD) T.O. LEVEL 2 (24.50' NGVD) GREAT ROOM DINING WET BAR ROOM MIN. 6.56' NGVD MIN. 6.56' NGVD T.O. LEVEL 1 (10.00' NGVD) T.O. LEVEL 1 (10.00' NGVD) B.F.E. (8'-0" NGVD) 30" ABOVE ADJUSTED GRADE (7.75' NGVD) ADJUSTED GRADE (5.25' NGVD) 30" ABOVE ADJUSTED GRADE (7.75' NGVD) ADJUSTED GRADE (5.25' NGVD) GRADE / STREET
(2.50' NGVD)
ZERO
(0.00' NGVD) GRADE / STREET (2.50' NGVD) ZERO (0.00' NGVD)

DRB FINAL SUBMITTAL 04-20-2020

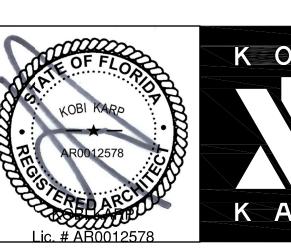
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MIAMI, FLORIDA





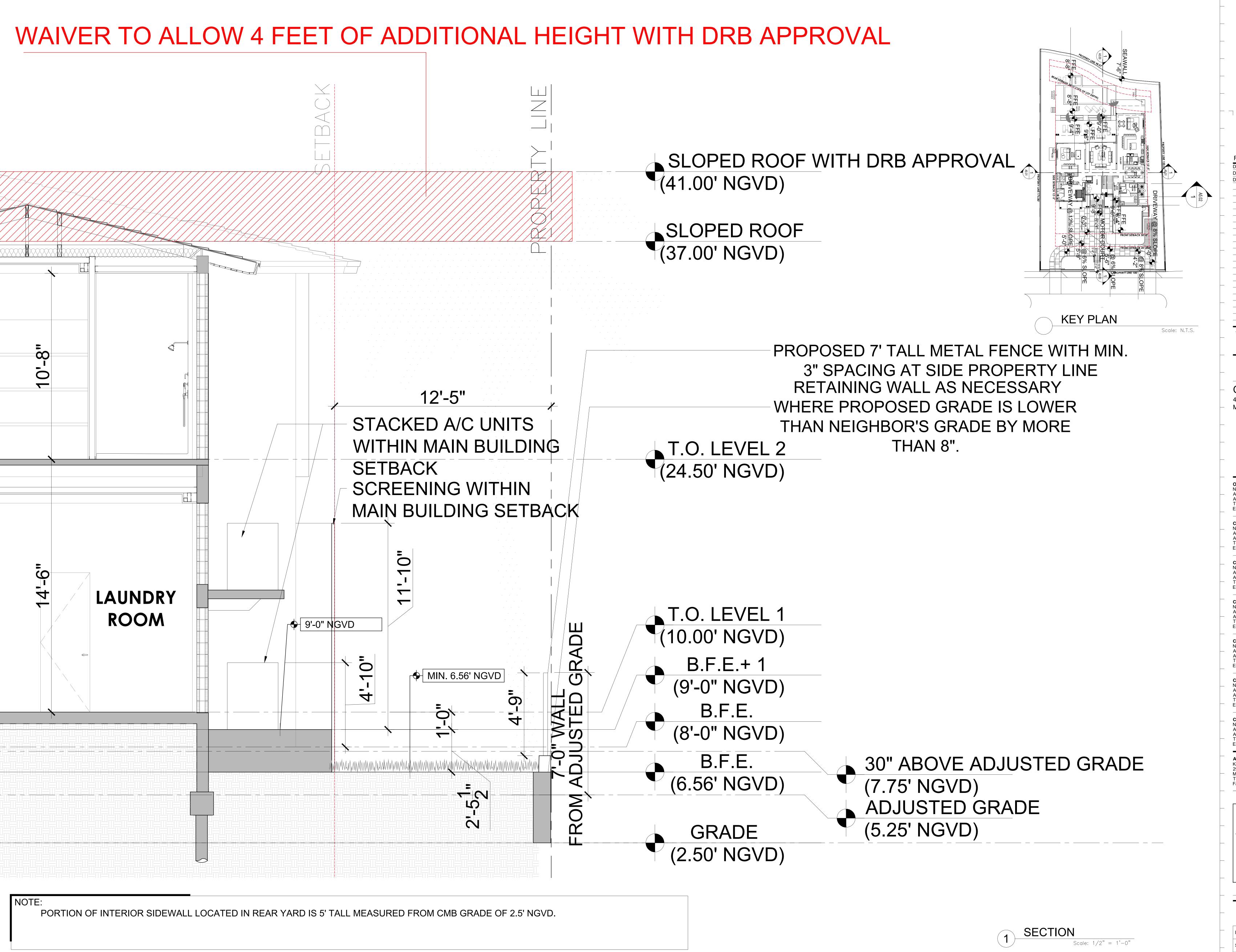
SECTIONS
PROPOSED DESIGN

Date: 05-11-2020

Date: 05-11-2020

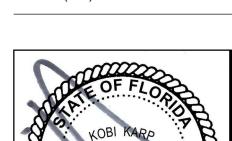
Scale: A5.01

Project: 2016



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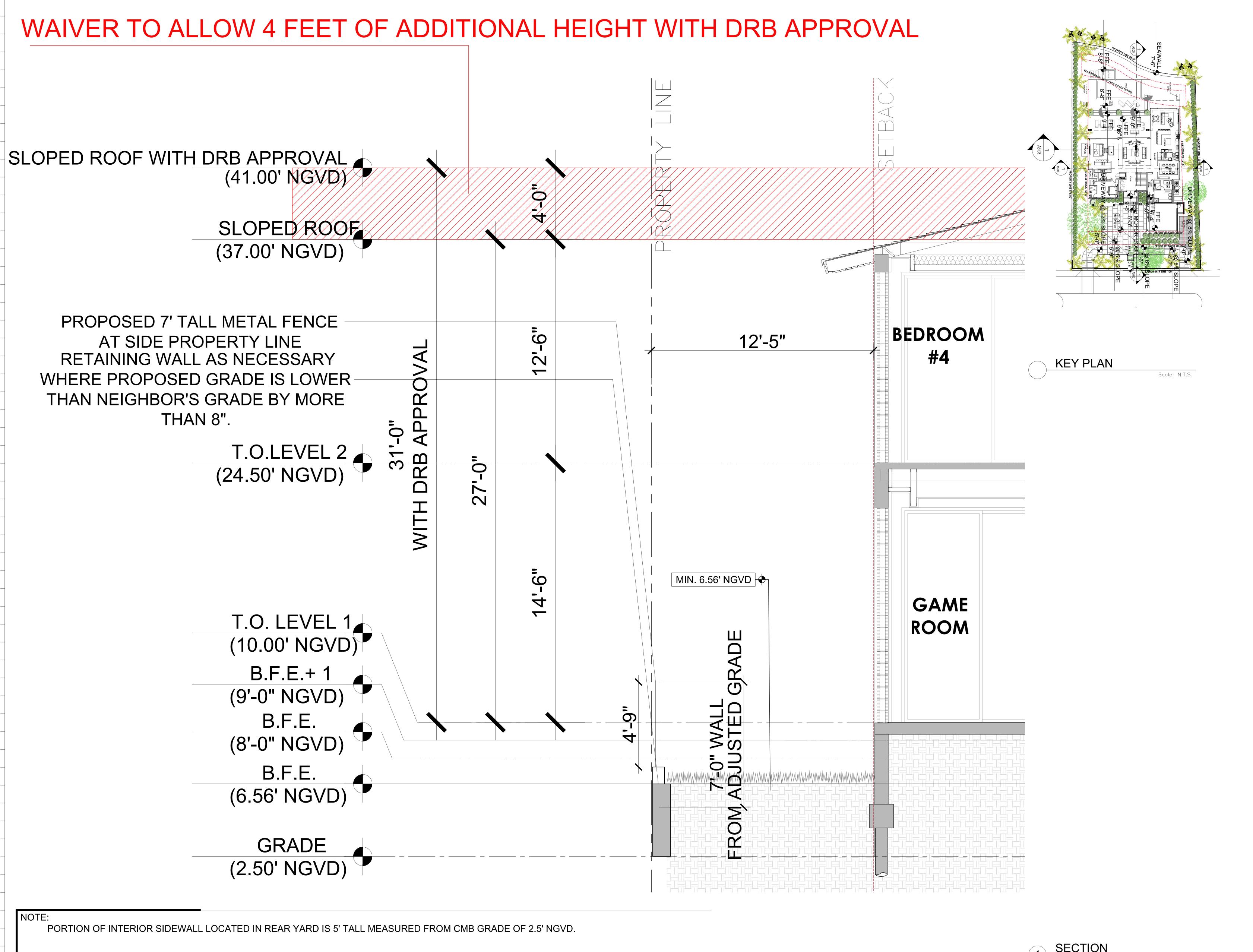
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SECTIONS

A5.02



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KOBI KARP	ARCHITECTURE &	INTERIOR DESIGN, INC. AIA. (c) 2018	

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Owner:
Name
— Address 4424 N BAY RC
Address MIAMI BEACH
Tel:

Consult
Name
Address
Address
Tel:

Consulta
Name
Address
Address
Tel:

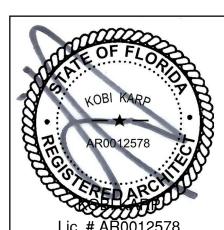
Consultant Name Address Address Tel:

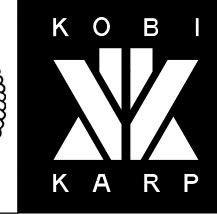
Consultant:
Name
Address
Address
Tel:

Consult
Name
Address
Address

Consultant Name Address Address

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc. 2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818





SECTIONS

Date: 05-11-2020 Sheet No.

Scale: A5.03
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Owner:
Name
Address 4424 N BAY ROAD
Address MIAMI BEACH

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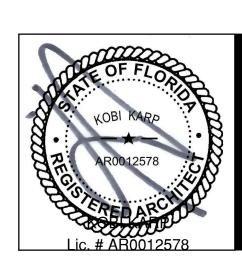
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Architect of Record:
Kobi Karp Architecture and Interior Design, Inc. 2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3766





RENDERINGS
PROPOSED DESIGN

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Rev.	Date	Rev. Date
DRB FIRST SUBMITTAL	04-20-2020	
DRB FINAL SUBMITTAL	05-11-2020	
DRB SHEETS REVISION	05-20-2020	

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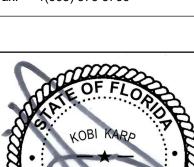
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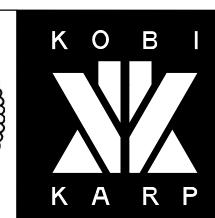
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CASABLANCA 4424 N. BAY RD. MIAMI, FLORIDA

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Address MIAMI BEACH

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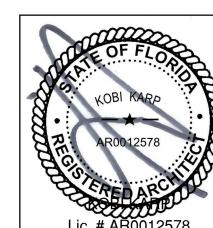
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RENDERINGS PROPOSED DESIGN

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