



Sustainable Architecture Initiative, LLC
6791 Royal Melbourne Drive
Miami, Florida 33015
T: 786.338.0904
F: 305.816.9996

Miami Beach Design Review Board

Project: Stiltsville Fish Bar
1787 Purdy Ave.
Miami Beach, FL 33139

May 11, 2020

Miami Beach Design review Board Review Staff:

Please find responses in reference to Comments BDRB20-0548

DRB Admit Mrs. Villegas

1. Narrative response added.
2. Zoning FAR updated and rechecked. I have 40sf more than you calculated but very close.
3. Fees will be paid 5/18/20. I would like to review those fees this week, thank you.
4. I will upload to CSS Formal Submittal; I did not find a Novus Formal Submittal Format Standard. We understand no changes can be made. Thank you.

Public Works- A. Osborne

1. Page numbers corrected and updated. You are correct the door swings into the space.
2. Sidewalk ramp was completed by MB Public Works 2016 and we do not intend on changing.
 - a. I apologize if the plans said new. All sheets should be updated and correct now.

DRB Plan review F. Sotelo and J. Murphy

1. Missing
 - a. Application Updated Scanned and in Formal Set. (Original with seal will be delivered after quarantine or at earliest able time).
 - b. Labels and documentation added. (Original will be delivered after quarantine or at earliest able time).
2. Deficiencies Revised
 - a. New Survey Added (Original with seal will be delivered after quarantine or at earliest able time).
 - b. DRB File No. 23220 approved: January 15, 2016. PB17-0112 approved: May 24, 2016, (f.k.a. PB File Nol.2287). PB 2287 approved: December 15, 2015. BC0616-0499 approved permit, CO18-096 approved. License # for 90 seats as per license, BTR002621-06-2017. (Prior license? / # seats)
 - i. We will not change the DRB approval for 140 Seats plus up to 15 sidewalk seats.
 - ii. Previous license before Stiltsville was Pub-Belly Steak 100 seats.
 - c. Letter of Intent added. Deletion of Stair approach and Retractable Awning in letter.

- i. Deletion of Redundant Notes
 - ii. Deletion of required through building primary staircase.
 - iii. Changing Awning to Umbrellas in CUP order.
 - iv. Drawing Simplified to show Rooftop Addition, Stair, and Seating
 - d. Future Plans to include
 - i. AC trash Room, it is existing and clarified in drawings.
 - ii. Route for Trash
 - iii. Rubber Wheels in CUP no changes.
 - iv. Dumpster Covered at all times, no garbage changes to CUP.
 - e. Valet Parking and Deliveries
 - i. Valet parking is 75' to the south.
 - ii. When the street was elevated we lost the side street for Valet.
 - iii. During Hearing it was decided there is a designated area of two parking spots to the south for the entire street. See traffic report for Planning Review Board. I can attach if necessary.
 - iv. Deliveries & Garbage are to use the same valet parking during morning hours.
3. Plans simplified and corrected to show Existing and Proposed.
 4. FAR recalculated.
 5. Photos Updated
 6. Plans highlight what Changes to CUP are being requested and not all "New" information.
 7. Retractable awning will be replaced with large umbrellas that can join together. Cost savings.
 8.
 - f. No operation Conditions changed
 - g. Corrected Spelling.
 - h. Photos Updated
 - i. Approved Plans added after Proposed.
 - j. Approved Plans added after Proposed.
 - k. Rendering Updated to reflect staircase direction.
 - l. Lighting Plan Updated

Please feel free to call me with any questions or to schedule a conference call, In lieu of an office visit.
786.338.0902 or jmcinnis@sai-designs.com

Warm Regards,



John McInnis, RA
SAI Architect/ Owner



Sustainable Architecture Initiative, LLC
14521 Harris Place
Miami Lakes, FL 33014
T: 786.338.0904
jmcinnis@sai-designs.com

Letter of Intent

Thomas Mooney, Director
c/o CCS upload
City of Miami Beach
Planning & Zoning Department
1700 Convention Center Drive
Miami Beach, Florida 33139

Final/ Formal Submittal
Letter of Intent for Design Review Board
Application DRB20-0548 (fka 23220)
Stiltsville Fish Bar, 1787 Purdy Avenue
Miami Beach, FL 33139

May 6, 2020

Dear Mr. Mooney:

My office represents TB Purdy Restaurant, LLC (d.b.a. "Stiltsville Fish Bar", hereinafter the "Applicant") in connection with land use and zoning matters related to the proposed addition to building. This correspondence constitutes the letter of intent accompanying the Application requesting design review approval for minor modifications to the approved design approval for the existing two-story commercial structure at 1787 Purdy Avenue (the "Property"). (DRB File #23220). The approval of the requested modifications will allow the Applicant to complete the renovation project approved by the Design Review Board ("DRB") in 2016.

I) THE PROPERTY/2016 APPROVAL: The Property is zoned Commercial Medium Intensity (CD-2) under the City's land development regulations and is located in the Sunset Harbour Parking District. The Property has been developed with a commercial building since 1940. Originally developed as a hotel, the building has had multiple uses over the decades, including use as a training and repair facility.

The DRB approved a renovation plan for the building on January 15, 2016 for a new restaurant use. The approved plans contemplated an interior renovation, as well as a rooftop dining and bar addition with elevator and stair access, and new operable storefront.¹ The storefront and interior remodeling were completed. The rooftop dining area construction was placed on hold due to enormous cost of the enclosed elevator, enclosed staircase, and retractable roof. The restaurant has been in successful operation for nearly three years as of the date of this letter. There are no significant operational changes proposed as part of this application.²

¹ The approved 2016 plans contemplated 140 total seats (81 persons first floor 59 persons rooftop). There are no proposed changes to the number of seats or occupancy.

² Along with a list of operational limits included in the 2016 DRB Order, the restaurant use is also subject to Planning Board Order 2287, which imposes the identical significant operational limits on the use. The existing conditions include limits on the hours of operation, seating limitations, roof-top hours and use limits, and sound system design and operational requirement. No "entertainment," as defined by the City's Land Development Regulations, is permitted. The Applicant is not proposing any modifications to these limitations in either the DRB or Planning Board orders.

II) PROPOSED REVISIONS: The Applicant now intends to complete the originally proposed rooftop improvements, with several minor modifications to the design to make the work feasible. The Applicant is proposing to: (1) redirect the staircase from the approved design (through the building to the roof deck) to an alternate design accessing directly from lower sidewalk level to the roof deck and; (2) remove the approved retractable awning and replace with standard City-approved umbrellas covering customer tables – the remainder of the second floor dining area will be open to the sky.

The changes will allow the Applicant to reduce the height, size, and mass of the proposed staircase addition; this reduction will greatly reduce the concrete and foundation costs allowing us to complete the project. This idea was proposed to both the Miami Beach Building review staff and the Miami Beach Fire Chief & plan review staff. They agreed the proposed alteration would reduce the scope of work and, in addition to, create a simplified safer evacuation route.

III) MODIFICATIONS TO CONDITIONS OF EXISTING APPROVAL: The 2016 DRB Order included several conditions related to the stairwell and rooftop canopy. Given the proposed removal of the retractable canopy (and its accompanying bulk), as well as the reorientation and reduction in the massing of the proposed stairwell, the Applicant is hereby requesting to modify or delete the following conditions from the 2016 Order:

I(C)(2)(d) ~~The proposed vertical supports of the retractable rooftop canopy shall be centered and symmetrical to the existing front ziggurat feature on the front façade.~~

This condition is no longer necessary given the removal of the canopy from the design.

I(C)(2)(e) ~~The retractable rooftop canopy umbrellas shall be kept extended open to cover the rooftop dining and bar area during nighttime operation hours.~~

This condition should be modified to reflect the removal of the canopy while retaining the requirement that the dining area is covered at all times.

I(C)(2)(f) ~~The applicant shall explore incorporating more port hole style windows along the south elevation of the proposed exterior stair and elevator, in a manner to be review and approve by staff consistent with the Design review Criteria and/or the direction from the Board.~~

The condition should be deleted. The west wall of the staircase is removed in the new design. The staircase now proposed is an “open” staircase. The south elevation is a fire wall/ fire barrier that has been greatly reduced in size from initial design, negating the need to break up its mass.

I(C)(2)(h) ~~The final design and detailing for the new pergola and retractable awning proposed on the roof top shall be provided, in a manner to be reviewed~~

~~and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.~~

This condition is no longer necessary given the removal of the canopy from the design.

- I(C)(2)(i) ~~Wind screen or other extensions located on the side(s) of the rooftop pergola and awning, extending towards or near the ground shall be provided, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.~~

This condition is no longer necessary given the removal of the canopy from the design.

- I(C)(2)(j) The fabric material for the ~~retractable awning~~ umbrellas shall be canvas or sailcloth or like material, and the color shall be a solid neutral hue, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

This condition should be modified to reflect the removal of the canopy while retaining the requirement that the umbrellas complement the design.

IV) CONCLUSION: The Applicant is requesting the Miami Beach Design Review Board to reassess the orientation of the staircase and allow the previously proposed umbrellas with retractable canopy to be solely umbrellas and small overhang at bar back. The completion of this roof deck and restraint will allow the neighborhood a dining experience that incorporates the beautiful Maurice Gibb Memorial Park, Biscayne Bay, and Miami's downtown skyline all in an open air environment.

As noted above, Stiltsville Fish Bar has been open for nearly 3 years now and has had positive feedback from both those who live and work in the area. Stiltsville Fish Bar is excited to complete the project and continue to serve the area for years to come.



John McInnis, RA
SAI Architect/ Owner

DRB File No. 23220 approved: January 15, 2016 for 140 seats plus, 15 sidewalk seats.
PB17-0112 approved: May 24, 2016, (f.k.a. PB File No.2287).
PB 2287 approved: December 15, 2015.
BC0616-0499 approved building permit, CO18-0965 approved. Interior renovation and storefront completed.
License for 90 seats (interior) as per license, BTR002621-06-2017.

Project Scope

Project scope: modifications to DRB approval and existing permitted building.
Requesting change in design from previous Variance Approval DRB Order #23220. Change would include staircase accessible from front of building, not through interior dining area.

Additional 50 seats from current seating. (140 total No change from DRB Order #23220)
Proposed New stairwell (new=not existing) flipped from approved design.
Proposed New rooftop elements (new=not existing) deck, bar, & storage closet, similar to approved design.

Stiltsville Fish Bar

ROOF DECK ADDITION

1787 PURDY AVENUE
MIAMI BEACH, FL 33139

Design Review Board
First Submittal
April 20, 2020

Design Review Board
Final Submittal
May 11, 2020

Design Review Board
Hearing
July 7th, 2020

LIST OF DRAWINGS

Title/ Cover Sheet	P. 1
Zoning Information	P.2
Location Plan	P.3
Site Survey	P.4
Existing FAR	P.5
Proposed FAR	P.6
Site Photos	P.7
Existing Interior Photos	P.8
Context Photos	P.9
Context Photos	P.10
Context Photos	P.11
Existing Conditions 1st Floor	P.12
Existing Conditions 2nd Floor	P.13
Existing Conditions Roof Top	P.14
Existing Conditions Elevations	P.15
Demolition Plans 1st Floor	P.16
Demolition Plans 2nd Floor	P.17
Demolition Elevations	P.18
Proposed Floor Plan 1st Fl	P.19
Approved Floor Plan 1st Fl	P.19.1
Proposed Floor Plan 2nd Fl	P.20
Approved Floor Plan 2nd Fl	P20.1
Proposed Floor Plan Roof	P.21
Proposed Elevations	P.22
Approved Elevations	P.22.1
Approved Elevations	P.22.2
Proposed Section Drawings	P.23
Approved Section Drawings	P.23.1
Landscape Plan	P.24
Color Rendering	P.25
Color Rendering	P.26
Contextual Elevation Line Drawings	P.27
Line of Site Studies	P.28
Roof Deck Lighting Proposed	P.29



DRB20-0548 1787 Purdy Avenue
CUP Alteration (#23220)
Stiltsville Fish Bar- Roof Deck Addition
1787 Purdy Avenue, Miami Beach, FL 33139

Drawing Issue		
no.	revision/issue	date
1	Pre-App Meeting	04/03/20
2	First Submittal	04/20/20
3	Final Submittal	05/11/20
4		

scale: NTS drawn by: John McInnis
date: 5/11/20
project: 1095.00 page: 11"x17"

Drawing:
Cover Sheet

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address:	1787 Purdy Avenue, Miami Beach, FL 33139			
2	Board and file numbers :	DRB- 23220 / PRB 2287			
3	Folio number(s):	02-3233-012-0590			
4	Year constructed:	1940 & 1997	Zoning District:	CD-2 COMMERCIAL MEDIUM DENSITY	
5	Based Flood Elevation:	8' NGVD/ 6.44' NAVD	Grade value in NGVD:	3.32'	
6	Adjusted grade (Flood+Grade/2):		Lot Area:	3753 SF. / .09 ACRES	
7	Lot width:	50'	Lot Depth:	75.05'	
8	Minimum Unit Size		Average Unit Size		
9	Existing use:	A-2 RESTAURANT	Proposed use:	RESTAURANT	
		Maximum	Existing	Proposed	Deficiencies
10	Height	50'	29'-9" TO MECH. SCREE	29'-9"	
11	Number of Stories		2	2	
12	FAR	1.5 OR 5,629SF	1.015 OR 3,811 SF	1.10 OR 4,131 SF	
13	Gross square footage	NONE	4128	6369	
14	Square Footage by use	N/A			
15	Number of units Residential	N/A			
16	Number of units Hotel	N/A			
17	Number of seats	N/A	84	140	
18	Occupancy load	N/A	95	175	
	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	0	NA	NA	
20	Side Setback:	10	NA	NA	
21	Side Setback:	10	NA	NA	
22	Side Setback facing street:	5	NA	NA	
23	Rear Setback:	0	NA	NA	
	At Grade Parking:				
24	Front Setback:	NA			
25	Side Setback:				
26	Side Setback:				
27	Side Setback facing street:				
28	Rear Setback:				
	Pedestal:				
29	Front Setback:	0	0	0	
30	Side Setback:	0	0	0	
31	Side Setback:	0	0	0	
32	Side Setback facing street:				
33	Rear Setback:	5	5	5	
	Tower:				
34	Front Setback:	NA			
35	Side Setback:				
ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:				
37	Side Setback facing street:				
38	Rear Setback:				
	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	DISTRICT 5			
40	Total # of parking spaces	35	0	0	35
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	35			
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)				
43	Parking Space Dimensions				
44	Parking Space configuration (45o,60o,90o,Parallel)				
45	ADA Spaces				
46	Tandem Spaces				
47	Drive aisle width				
48	Valet drop off and pick up	1 FOR BLOCK			
49	Loading zones and Trash collection	1 FOR BLOCK			
50	Number of racks	2 ACROSS AT PARK			

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	DISTRICT 5			
40	Total # of parking spaces	35	0	0	35
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	35			
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)				
43	Parking Space Dimensions				
44	Parking Space configuration (45o,60o,90o,Parallel)				
45	ADA Spaces				
46	Tandem Spaces				
47	Drive aisle width				
48	Valet drop off and pick up	1 FOR BLOCK			
49	Loading zones and Trash collection	1 FOR BLOCK			
50	Number of racks	2 ACROSS AT PARK			
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	A-2	A-2	A-2	
52	Number of seats located outside on private property		0	59	
53	Number of seats inside		90	84	
54	Total number of seats		90	140	
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)		90	140	
56	Total occupant content		101	175	
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)		101	175	
58	Proposed hours of operation	11:30-12:00 SUN-THURSDAY 11:30-2:00 AM FRI./ SAT. OUTDOOR CLOSED 12:00 AM			
59	Is this an NIE? (Neighboot Impact stablishment, see CMB 141-1361)				
60	Is dancing and/or entertainment proposed ? (see CMB 141-1361)	NO			
61	Is this a contributing building?	NO			
62	Located within a Local Historic Distr	NO			
Notes:					
If not applicable write N/A					
All other data information may be required and presented like the above format.					

SAI
Sustainable Architecture Initiative, llc
John Otha McInnis, RA
#AR95896



DRB20-0548 1787 Purdy Avenue
CUP Alteration (#23220)
Stiltsville Fish Bar- Roof Deck Addition
1787 Purdy Avenue, Miami Beach, FL 33139

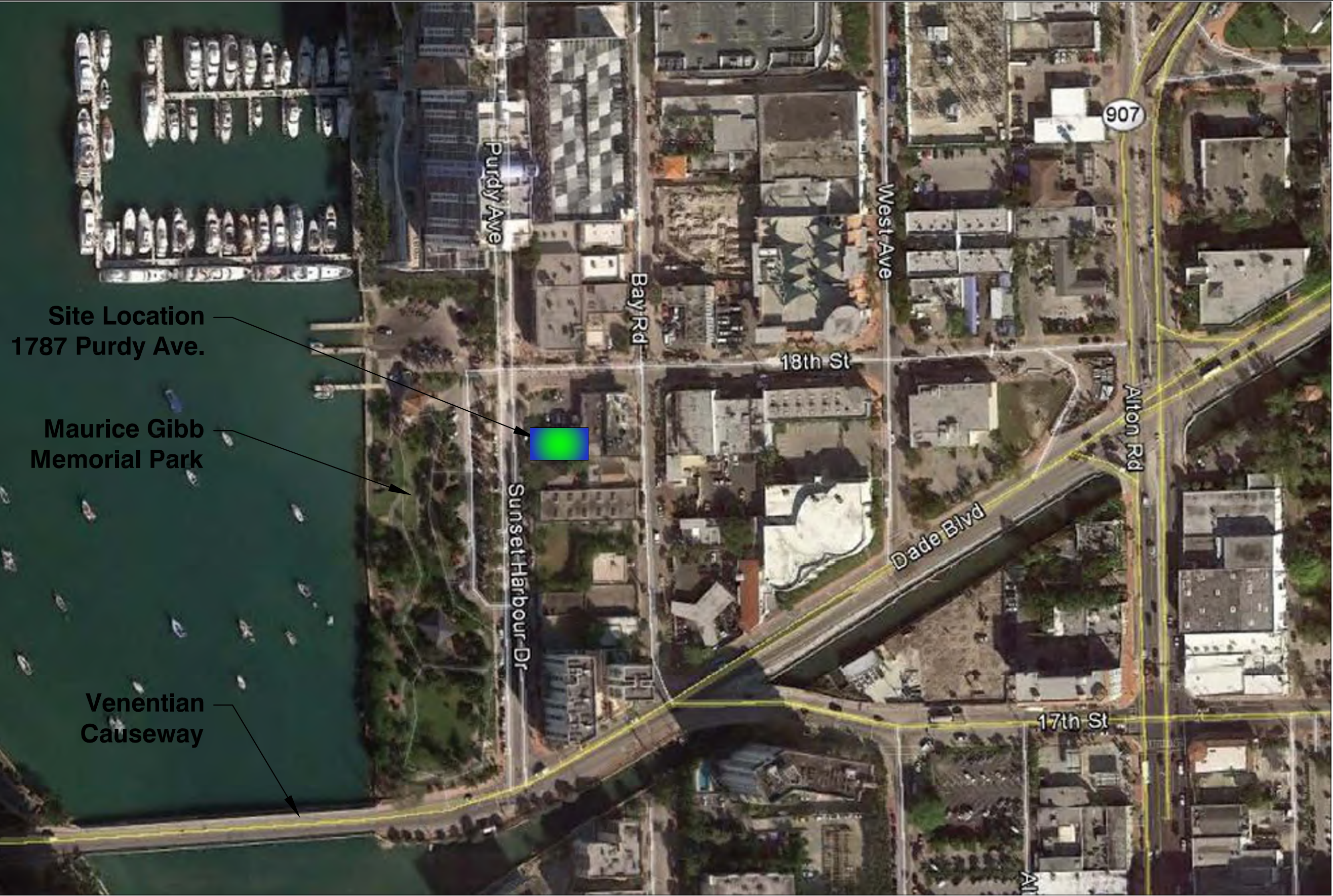
Drawing Issue

no.	revision/issue	date
1	Pre-App Meeting	04/03/20
2	First Submittal	04/20/20
3	Final Submittal	05/11/20
4		

scale: 1/16" = 1'-0" drawn by: John McInnis
date: 5/11/20
project: 1095.00 page: 11"x17"

Drawing:

Zoning Information



Site Location
1787 Purdy Ave.

Maurice Gibb
Memorial Park

Venetian
Causeway

1

Site Location Plan -

1"= +/-200'

SAI

Sustainable Architecture Initiative, llc
John Otha McInnis
#AR95896

Stiltsville Fish Bar
Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139

Drawing Issue

no.	revision/issue	date
1	First Submittal	09/17/18
2		
3		
4		

scale: NTS drawn by: John McInnis
date: 5/11/20
project: 1095.00 page: 11"x17"

Drawing:
**Site Location
Plan**

SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF:

1787 PURDY AVENUE, MIAMI BEACH, FL.

LEGEND:

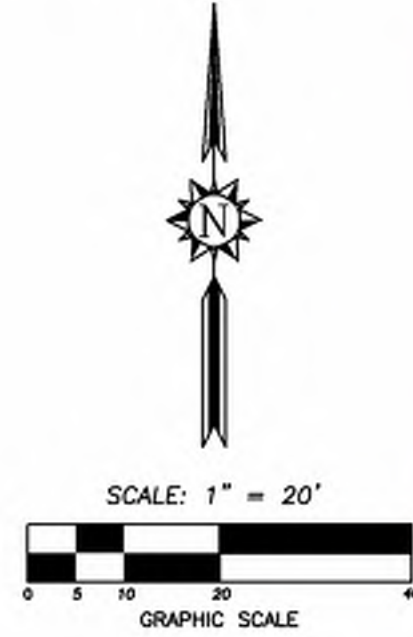
- L.B. LICENSED BUSINESS
- M.D.C.R. . . . MIAMI-DADE COUNTY RECORDS
- ID. IDENTIFICATION
- (C) CALCULATED
- (P) DENOTES BEARING AND DISTANCE
BASED ON PLATS OF RECORD
- NAVD 88 NORTH AMERICAN VERTICAL
DATUM OF 1988
- TRAV. PT. . . . TRAVERSE POINT
- P.I. POINT OF INTERSECTION
- F.F.E. FINISHED FLOOR ELEVATION
- NGVD 29 NATIONAL GEODETIC
VERTICAL DATUM OF 1929
- P.B. PLAT BOOK
- PG. PAGE
- EL. ELEVATION
- C. CENTERLINE
- G. GAS METER
- C. CATCH BASIN
- D. DRAIN
- E. ELECTRICAL BOX
- S. SURFACE ELEVATION
- U. UTILITY MANHOLE
- S. SIGN
- W. WATER METER
- S. SEWER BOX
- S. STORM DRAIN MANHOLE
- S. SANITARY SEWER MANHOLE
- B. BREAK IN SCALE
- V. VIEW 1
- M. METAL LIGHT POLE



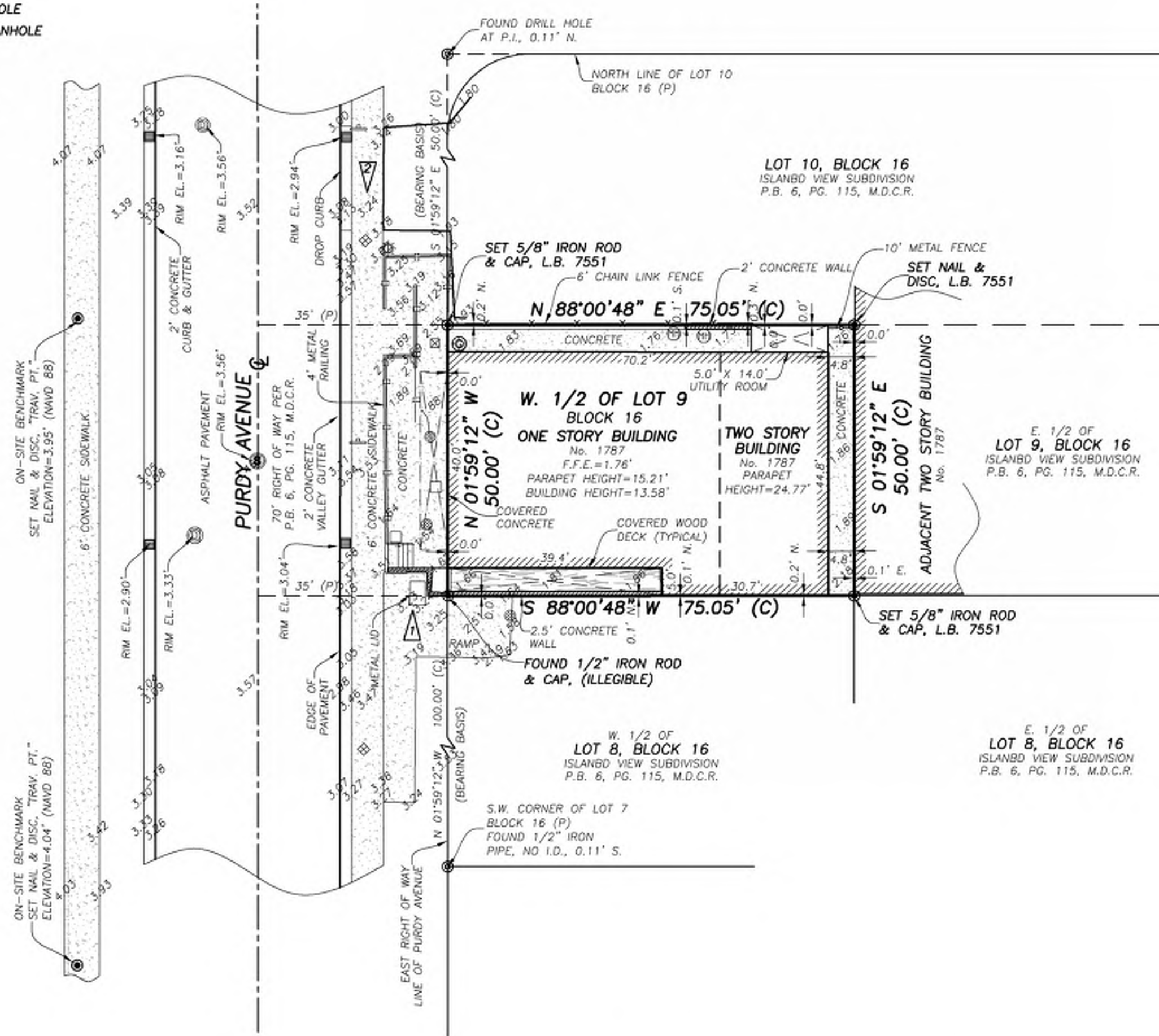
VIEW 1
NOT TO SCALE



VIEW 2
NOT TO SCALE



LOCATION MAP
NOT TO SCALE



LEGAL DESCRIPTION:

THE WEST ONE-HALF OF LOT 9, BLOCK 16, OF ISLAND VIEW SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 115, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SURVEY NOTES:

1. THIS SURVEY REPRESENTS A BOUNDARY AND TOPOGRAPHIC SURVEY AS DEFINED BY STANDARDS OF PRACTICE FOR SURVEYING AND MAPPING, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. THE PROPERTY SHOWN HEREON CONTAINS 0.09 ACRES (3,753 SQUARE FEET), MORE OR LESS.
3. THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.
4. THE INFORMATION DEPICTED ON THIS SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS A REPRESENTATION OF THE GENERAL CONDITIONS EXISTING AT THAT TIME.
5. THE BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF N.01°59'12\"/>

SURVEY NOTES (CONT.):

11. THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY ECS LAND SURVEYORS, INC. ECS HAS TAKEN ALL REASONABLE STEPS TO ENSURE THE ACCURACY OF THIS DOCUMENT. WE CANNOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (WHICH BEARS THE RAISED SURVEYOR'S CERTIFICATION SEAL IF APPLICABLE) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. ECS MAKES NO WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR REVIEWED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT ECS DIRECTLY FOR VERIFICATION OF ACCURACY.
12. THE ELEVATIONS SHOWN HEREON ARE BASED ON A MIAMI-DADE COUNTY BENCHMARK "D-166" AND REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). THE MARK IS A PK NAIL AND BRASS WASHER SET IN CONCRETE SIDEWALK AT NORTHEAST CORNER OF BRIDGE #874481 AND IS LOCATED 20 FEET NORTH OF THE CENTERLINE OF VENETIAN CAUSEWAY AND BELLE ISLE EAST BRIDGE. ELEVATION=5.71'. THE BENCHMARK ELEVATION WAS CONVERTED FROM THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29) TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) BY UTILIZING THE U.S. ARMY CORPS OF ENGINEERS SOFTWARE, SUBTRACTING A FACTOR OF -1.56'.
13. TREES, HEDGES, ORNAMENTAL PLANTS, IRRIGATION LINES, WELLS AND SPRINKLERS HEADS (IF ANY), NOT LOCATED OR SHOWN HEREON.

THIS SURVEY IS CERTIFIED TO:

SUSTAINABLE ARCHITECTURE INITIATIVE, LLC.

CERTIFICATE:

THIS IS TO CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JAVIER DE LA ROCHA
PROFESSIONAL SURVEYOR AND MAPPER NO. 6080
STATE OF FLORIDA

ECS LAND SURVEYORS, INC. L.B. 7551
javier@ecssurveyors.com

TELEPHONE NO. 561-314-0769 FAX NO. 561-314-0770



3460 FAIRLANE FARMS ROAD, SUITE 6, WELLINGTON, FL. 33414

SEAL
NOT VALID UNLESS
SEALED HERE
WITH
AN EMBOSSED
SURVEYOR'S SEAL

SKETCH OF BOUNDARY
& TOPOGRAPHIC SURVEY

THE W. 1/2 OF LOT 9, BLOCK 16
ISLAND VIEW SUBDIVISION
PLAT BOOK 6, PAGE 115, M.D.C.R.
1787 PURDY AVENUE, MIAMI BEACH, FL. 33139

SUSTAINABLE
ARCHITECTURE
INITIATIVE, LLC.

CLIENT:

DATE 05/01/20

DRWN BY J.E.C.

CHKD BY JDLR

LAST FIELD DATE: 04/29/20

REVISIONS

01	BOUNDARY & TOPOGRAPHIC SURVEY	08/24/15
02	UPDATE SURVEY	09/20/16
03	UPDATE SURVEY	05/01/20

JOB NO.

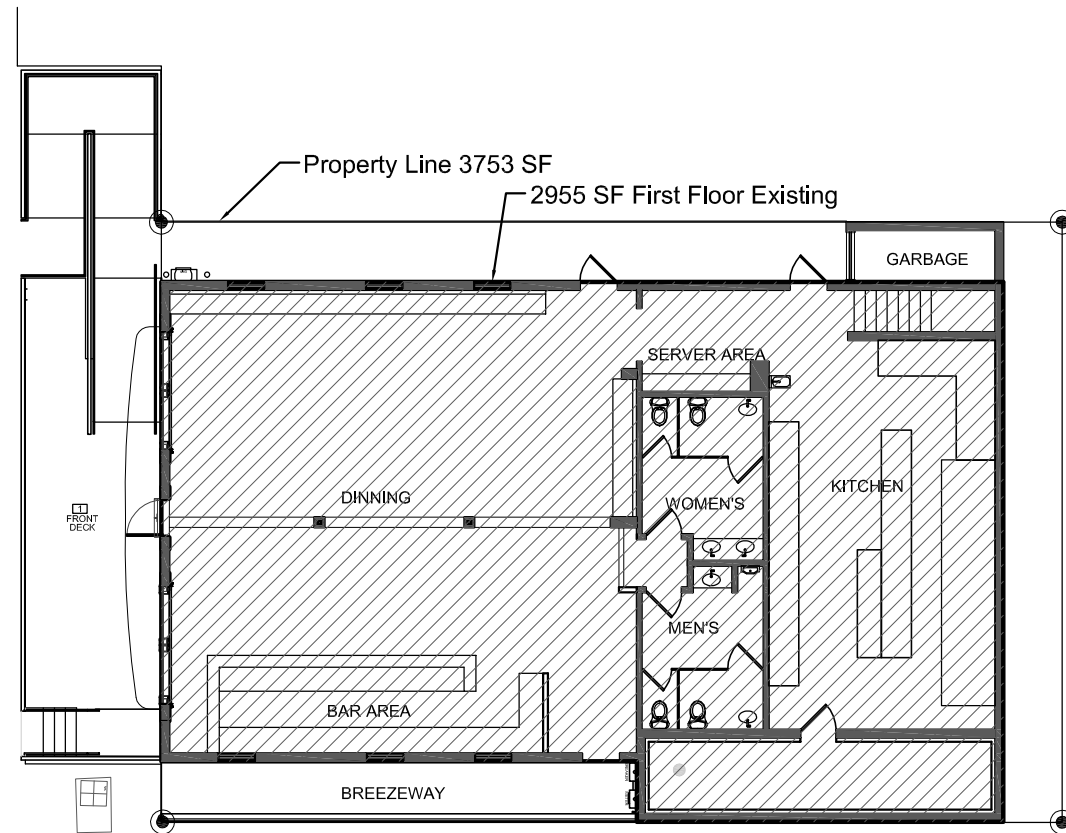
ECS2191

SHEET NO.

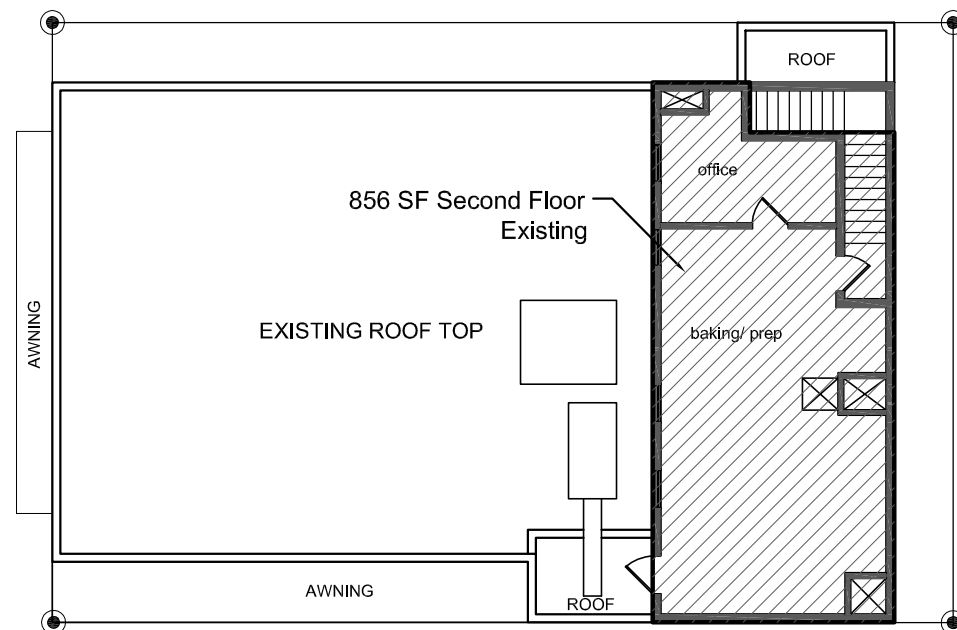
01

OF

01



1 **EXISTING FIRST FLOOR F.A.R. DIAGRAM**
1/16" = 1'-0"



2 **EXISTING SECOND FLOOR F.A.R. DIAGRAM**
1/16" = 1'-0"

FAR (Existing) Summary

Classification: Zoning CD-2 Commercial Medium Intensity District
Proposed & Existing Occupancy: Restaurant Single Occupancy

Lot Area: 3,753 SF
Max FAR: 1.5 or 5,629.5 SF

Existing Structure First Floor: 2,955 SF
Existing Structure Second Floor: 865 SF
Total Existing FAR: 3,811 SF

SAI

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John Otha McInnis, RA
#AR95896



DRB20-0548 1787 Purdy Avenue
CUP Alteration (#23220)
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Drawing Issue

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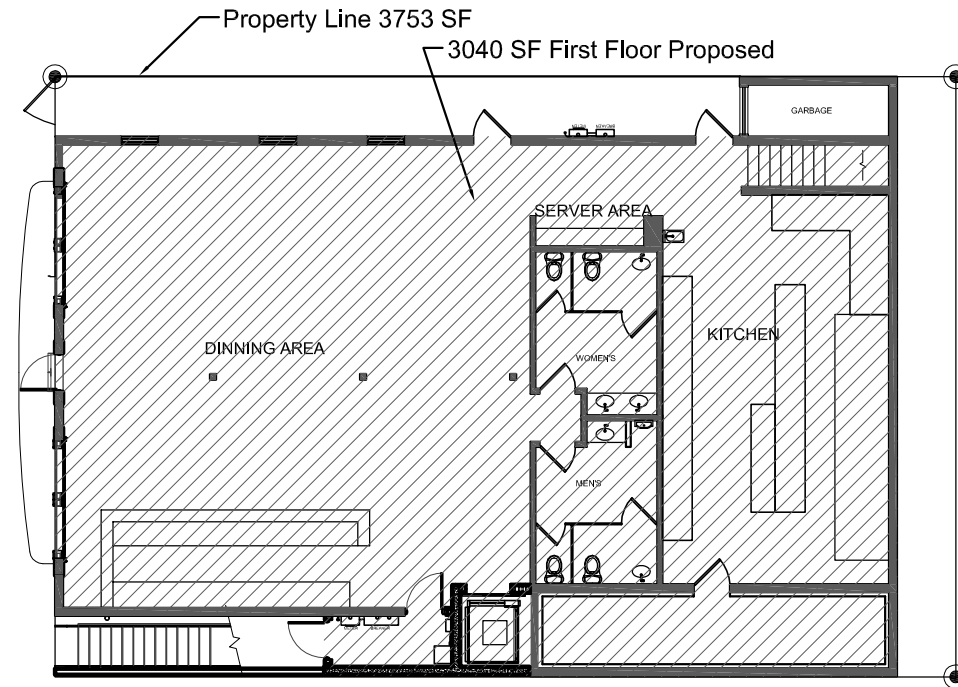
scale: 1/16" = 1'-0" drawn by: John McInnis

date: 5/11/20

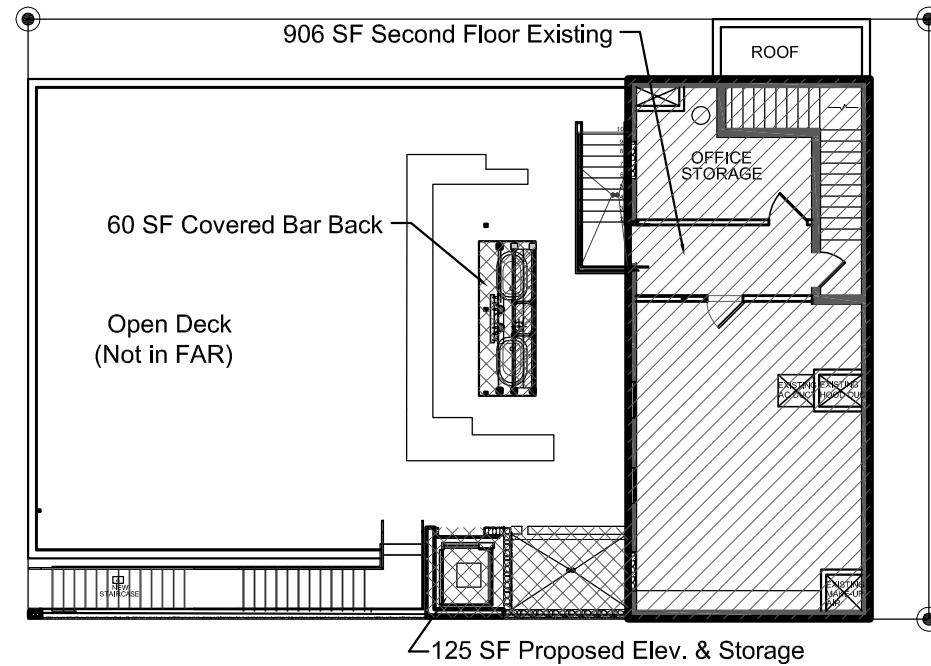
project: 1095.00 page: 11"x17"

Drawing:

**Existing
FAR Information**



1 PROPOSED FIRST FLOOR F.A.R. DIAGRAM
1/16" = 1'-0"



2 PROPOSED SECOND FLOOR F.A.R. DIAGRAM
1/16" = 1'-0"

FAR (Proposed) Summary

Classification: Zoning CD-2 Commercial Medium Intensity District

Proposed & Existing Occupancy: Restaurant Single Occupancy

Lot Area: 3,753 SF

Max FAR: 1.5 or 5,628.75 SF

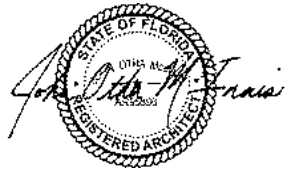
Proposed First Floor: 3,040 SF

Proposed Second Floor: 1,091 SF

Proposed Total FAR: 4,131 SF < 5,628 SF

SAI

Sustainable Architecture Initiative, LLC
John Otha McInnis, RA
#AR95896



DRB20-0548 1787 Purdy Avenue

CUP Alteration (#23220)

Stiltsville Fish Bar- Roof Deck Addition
1787 Purdy Avenue, Miami Beach, FL 33139

Drawing Issue

no.	revision/issue	date
1	Pre-App Meeting	04/03/20
2	First Submittal	04/20/20
3	Final Submittal	05/11/20
4		

scale: 1/16" = 1'-0" drawn by: John McInnis

date: 5/11/20

project: 1095.00 page: 11"x17"

Drawing:

**Proposed
FAR Information**



1 EXISTING SITE PHOTOS TAKEN 5/1/2020



1 EXISTING SITE KEY PLAN
NTS

SAI

Sustainable Architecture Initiative, LLC
John Otha McInnis, RA
#AR95896



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4		

scale: NTS
date: 5/11/20
project: 1095.00
drawn by: John McInnis
page: 11"x17"

Drawing:
Site Photos
Existing Site



1 EXISTING DINING



2 EXISTING BAR



4 EXISTING DISPLAY CASE



5 EXISTING SIDEWALK SEATING AREA

EXISTING SITE PHOTOS TAKEN 1/19/2020

SAI

Sustainable Architecture Initiative, LLC
John Otha McInnis, RA
#AR95896



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4		

scale: NTS
date: 5/11/20
project: 1095.00
Drawing:
drawn by: John McInnis
page: 11"x17"

Existing Interior
Photos



1 EXISTING SITE PHOTOS TAKEN 5/1/2020



2 EXISTING SITE PHOTOS TAKEN 5/1/2020



3 SATELLITE IMAGE 2020
NTS



4 EXISTING SITE KEY PLAN
NTS



DRB20-0548 1787 Purdy Avenue
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Drawing Issue

no.	revision/issue	date
1	Pre-App Meeting	04/03/20
2	First Submittal	04/20/20
3	Final Submittal	05/11/20
4		

scale: NTS
date: 5/8/20
project: 1095.00
page: 11"x17"
Drawing: Context Photos
Existing Site



1 EXISTING SITE PHOTOS TAKEN 5/1/20

2 EXISTING SITE PHOTOS TAKEN 5/1/20

3 EXISTING SITE PHOTOS TAKEN 5/1/20

4 EXISTING SITE KEY PLAN
NTS



DRB20-0548 1787 Purdy Avenue
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Stiltsville Fish Bar- Roof Deck Addition
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4		

scale: NTS drawn by: John McInnis
date: 5/8/20
project: 1095.00 page: 11"x17"
Drawing: Context Photos
Existing Site



1 EXISTING SITE PHOTOS TAKEN 5/1/2020 PANORAMIC, MAURICE GIBB PARK



1 EXISTING SITE PHOTOS TAKEN 5/1/2020



1 EXISTING SITE KEY PLAN
NTS

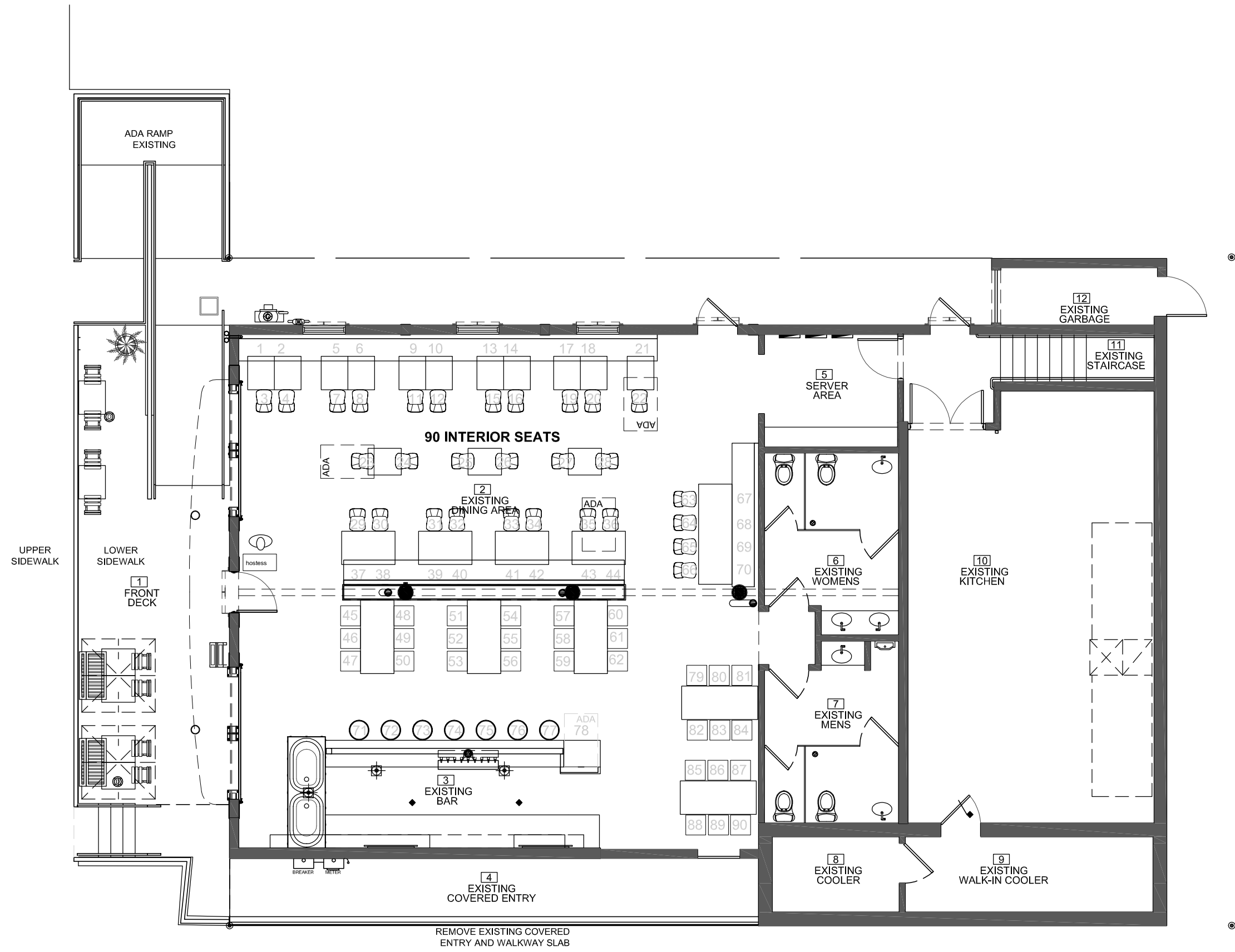


DRB20-0548 1787 Purdy Avenue
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Drawing Issue

no.	revision/issue	date
1	Pre-App Meeting	04/03/20
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4		

scale: NTS drawn by: John McInnis
date: 5/11/20
project: 1095.00 page: 11"x17"
Drawing: Context Photos
Existing Site



1 First Floor Existing/ GROSS 3220 SF
1/8" = 1'-0"

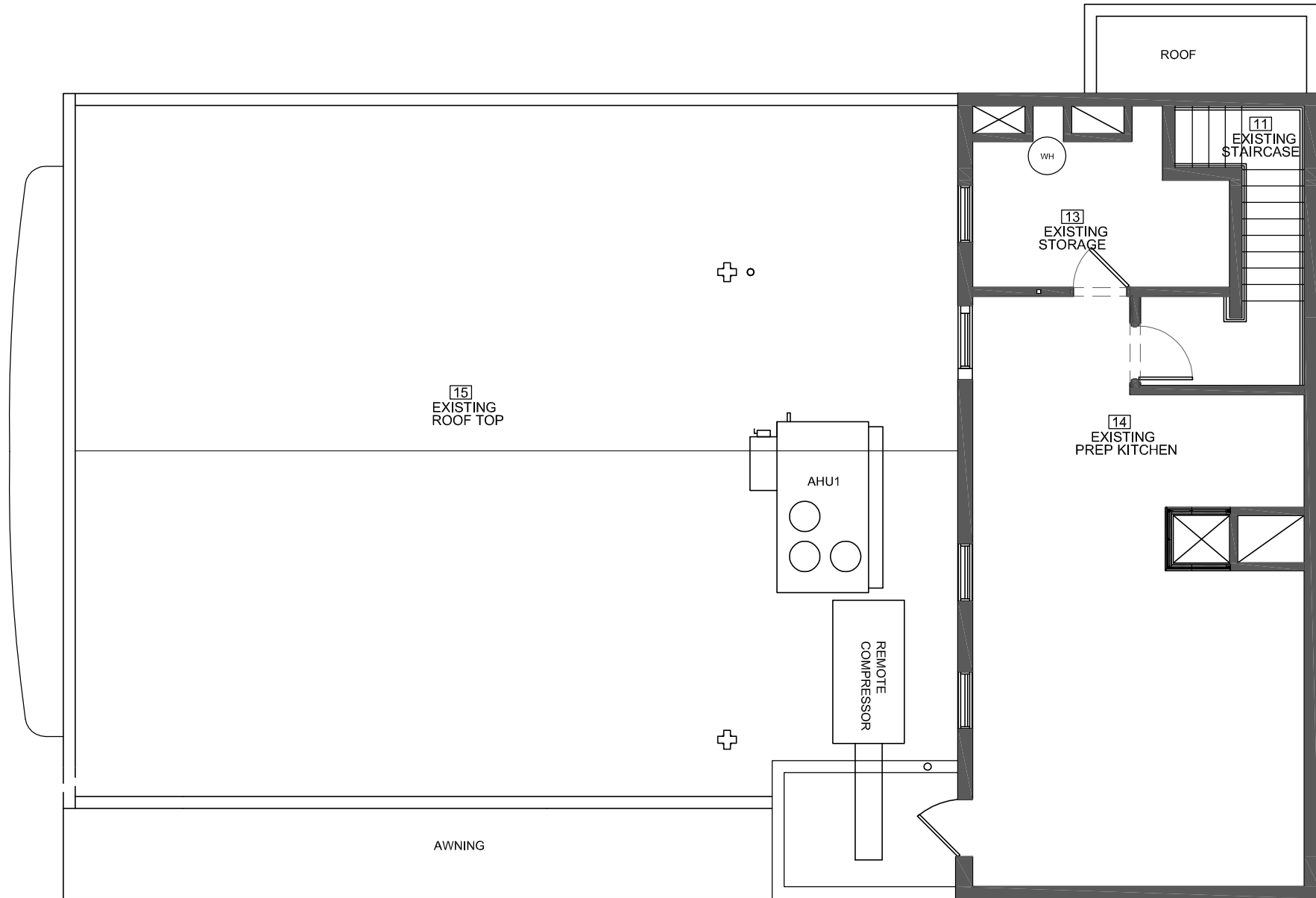
DRB20-0548 1787 Purdy Avenue
CUP Alteration (#23220)
Stiltville Fish Bar- Roof Deck Addition
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Drawing Issue

no.	revision/issue	date
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3	Final Submittal	05/11/20
4		

scale: 1/8" = 1'-0" drawn by: John McInnis
date: 5/11/20
project: 1095.00 page: 11"x17"

Drawing:
Existing First Floor



1 Second Floor & Roof Top Existing/ GROSS 908 SF
1/8" = 1'-0"



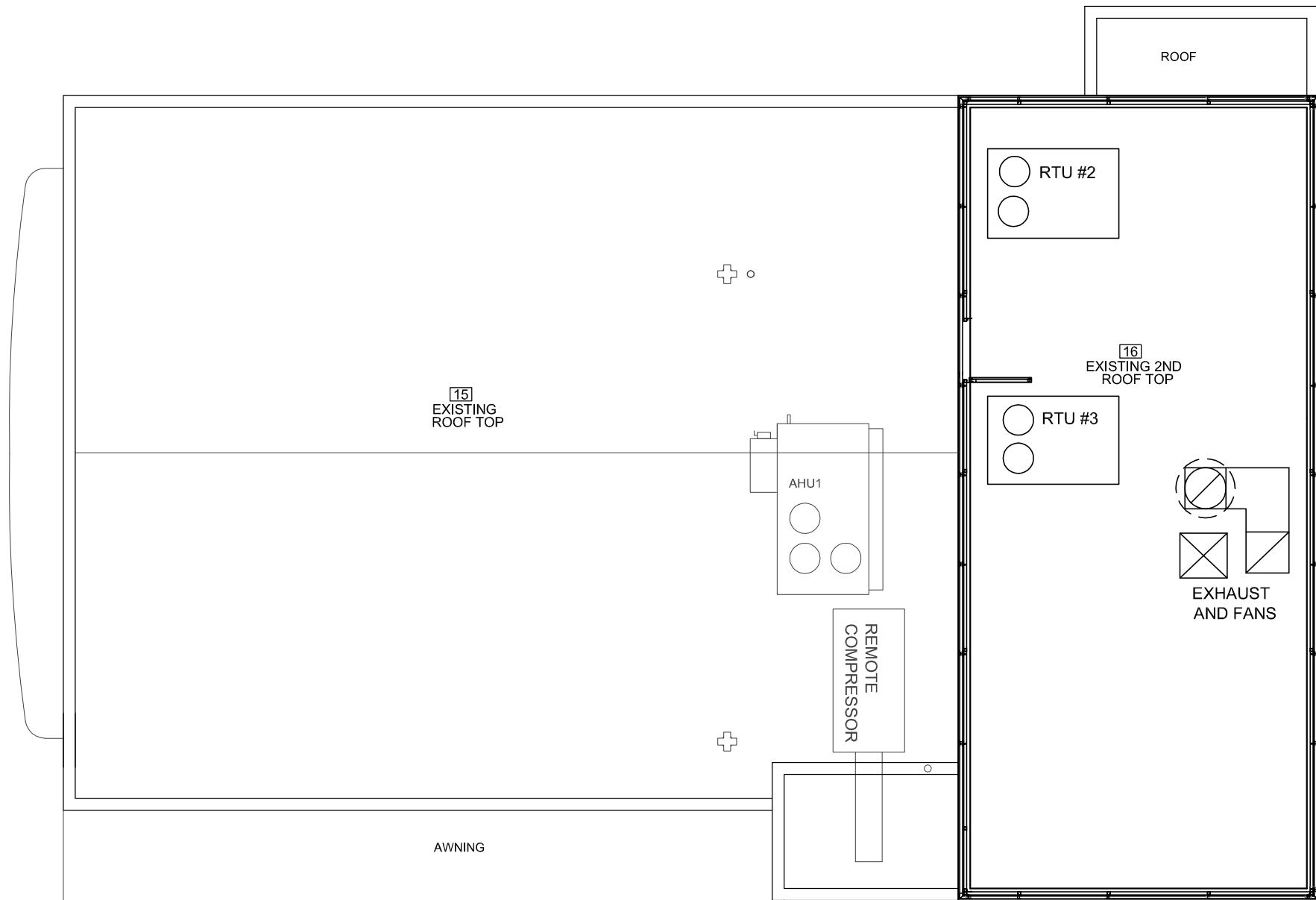
DRB20-0548 1787 Purdy Avenue
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scale: 1/8" = 1'-0" drawn by: John McInnis
date: 5/11/20
project: 1095.00 page: 11"x17"

Drawing:
**Existing Second
Floor & Roof Top**



1 Upper Roof Top Existing/ ALL MECHANICAL
1/8" = 1'-0"

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DRB20-0548 1787 Purdy Avenue

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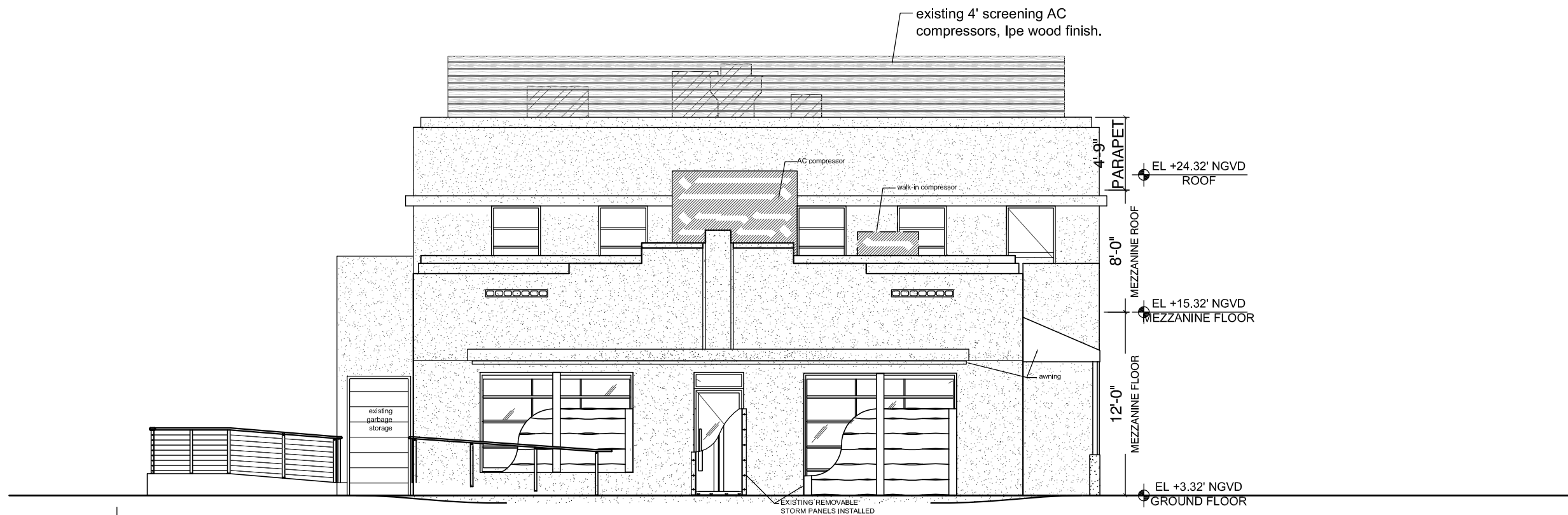
Drawing Issue

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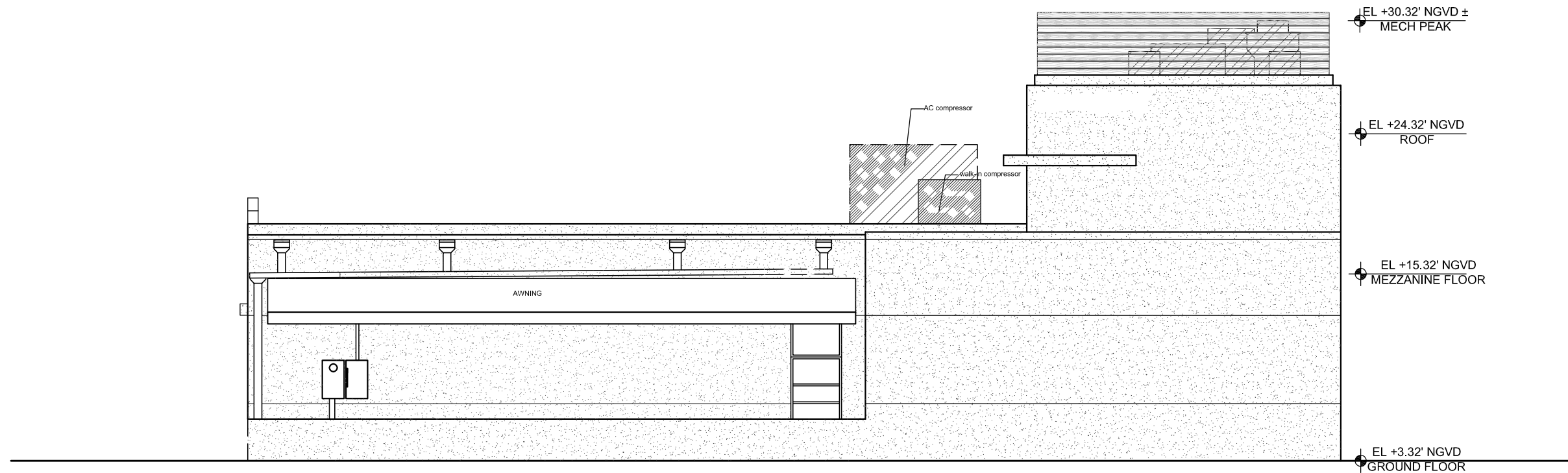
scale: 1/8"=1'-0" drawn by: John McInnis
date: 5/11/20
project: 1095.00 page: 11"x17"

Drawing:

Existing
Upper
Rooftop



1 Existing Front Elevation (west)
1/8" = 1'-0"



2 Existing Side Elevation (south)
1/8" = 1'-0"

SAI

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John Otha McInnis, RA
#AR95896



DRB20-0548 1787 Purdy Avenue

CUP Alteration (#23220)

Stiltsville Fish Bar- Roof Deck Addition
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scale: 1/8" = 1'-0" drawn by: John McInnis
date: 5/11/20
project: 1095.00 page: 11"x17"

Drawing:
Existing Elevations



DRB20-0548 1787 Purdy Avenue

CUP Alteration (#23220)

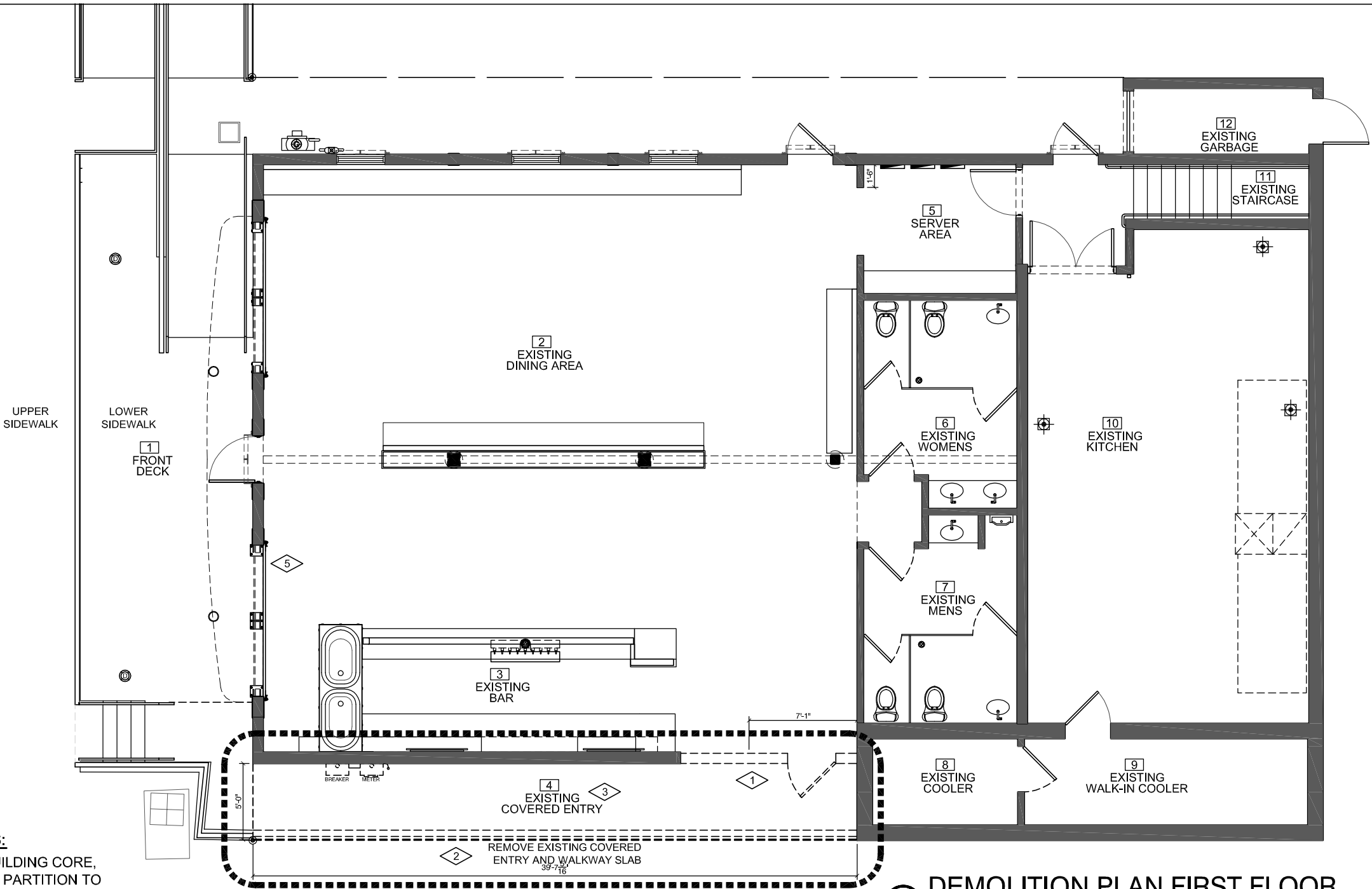
Stiltville Fish Bar- Roof Deck Addition
1787 Purdy Avenue, Miami Beach, FL 33139

Drawing Issue

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4		

scale: 1/8"=1'-0" drawn by: John Molnris
date: 5/11/20
project: 1095.00 page: 11"x17"

Drawing:
Demolition Plan
First Floor



DEMOLITION SYMBOLS:

- INDICATES EXISTING BUILDING CORE, DEMISING OR INTERIOR PARTITION TO REMAIN. PATCH AS REQUIRED
- INDICATES EXISTING PARTITION TO BE REMOVED AND DISCARDED. PATCH WALLS TO REMAIN AS REQUIRED. ALL EXISTING OUTLETS AT DEMOLISHED WALLS TO BE REMOVED. WIRING TO BE REMOVED BACK TO SOURCE.

INDICATES EXISTING DOOR, FRAME AND HARDWARE TO REMAIN, U.O.N.

INDICATES EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED AND DISCARDED.

INDICATES SPECIFIC INFORMATION WITHIN PLAN - SEE "PLAN NOTES" FOR INFORMATION.

INDICATES PHOTOGRAPH / ELEVATION NUMBER
INDICATES DWG. NUMBER

DEMOLITION NOTES:

- REMOVE WALL AS NEEDED FOR NEW ELEVATOR SHAFT
- REMOVE DECK & KNEE WALL AS REQUIRED FOR NEW STAIR STRUCTURE
- REMOVE AWNING
- RELOCATE COMPRESSORS FOR WALK-IN AND REMOTE UNITS



DRB20-0548 1787 Purdy Avenue

CUP Alteration (#23220)

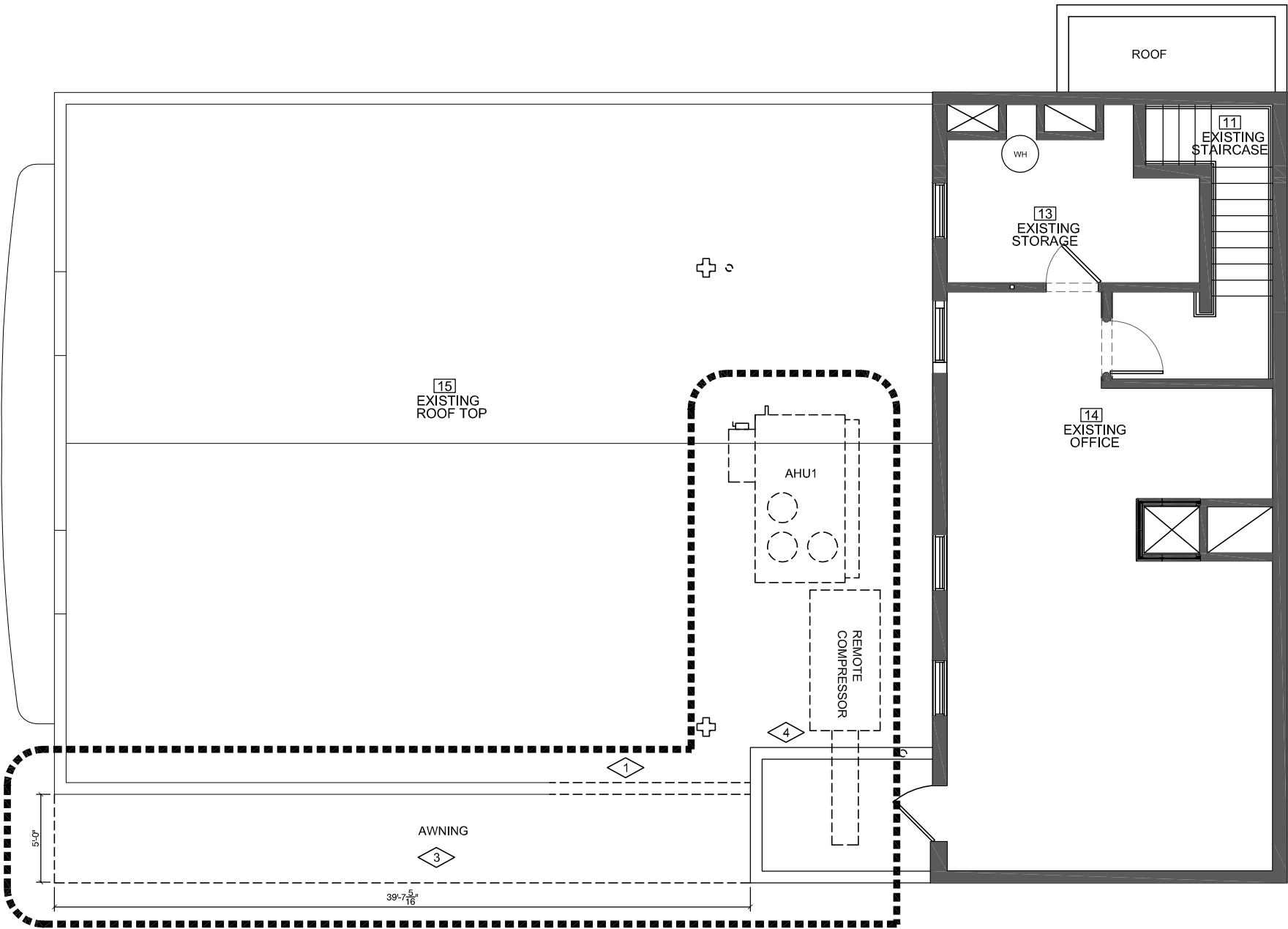
Stiltsville Fish Bar- Roof Deck Addition
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4		

scale: 1/8"=1'-0" drawn by: John Molnnis
date: 5/11/20
project: 1095.00 page: 11"x17"

Drawing:
Demolition Plan
Second Floor



AREA OF WORK

1 DEMOLITION PLAN SECOND FLOOR / ROOF
1/8" = 1'-0"

DEMOLITION SYMBOLS:

- INDICATES EXISTING BUILDING CORE, DEMISING OR INTERIOR PARTITION TO REMAIN. PATCH AS REQUIRED
- INDICATES EXISTING PARTITION TO BE REMOVED AND DISCARDED. PATCH WALLS TO REMAIN AS REQUIRED. ALL EXISTING OUTLETS AT DEMOLISHED WALLS TO BE REMOVED. WIRING TO BE REMOVED BACK TO SOURCE.

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- INDICATES SPECIFIC INFORMATION WITHIN PLAN - SEE "PLAN NOTES" FOR INFORMATION.

- INDICATES PHOTOGRAPH / ELEVATION NUMBER
- INDICATES DWG. NUMBER

DEMOLITION NOTES:

- REMOVE WALL AS NEEDED FOR NEW ELEVATOR SHAFT
- REMOVE DECK & KNEE WALL AS REQUIRED FOR NEW STAIR STRUCTURE
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DRB20-0548 1787 Purdy Avenue

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Drawing Issue

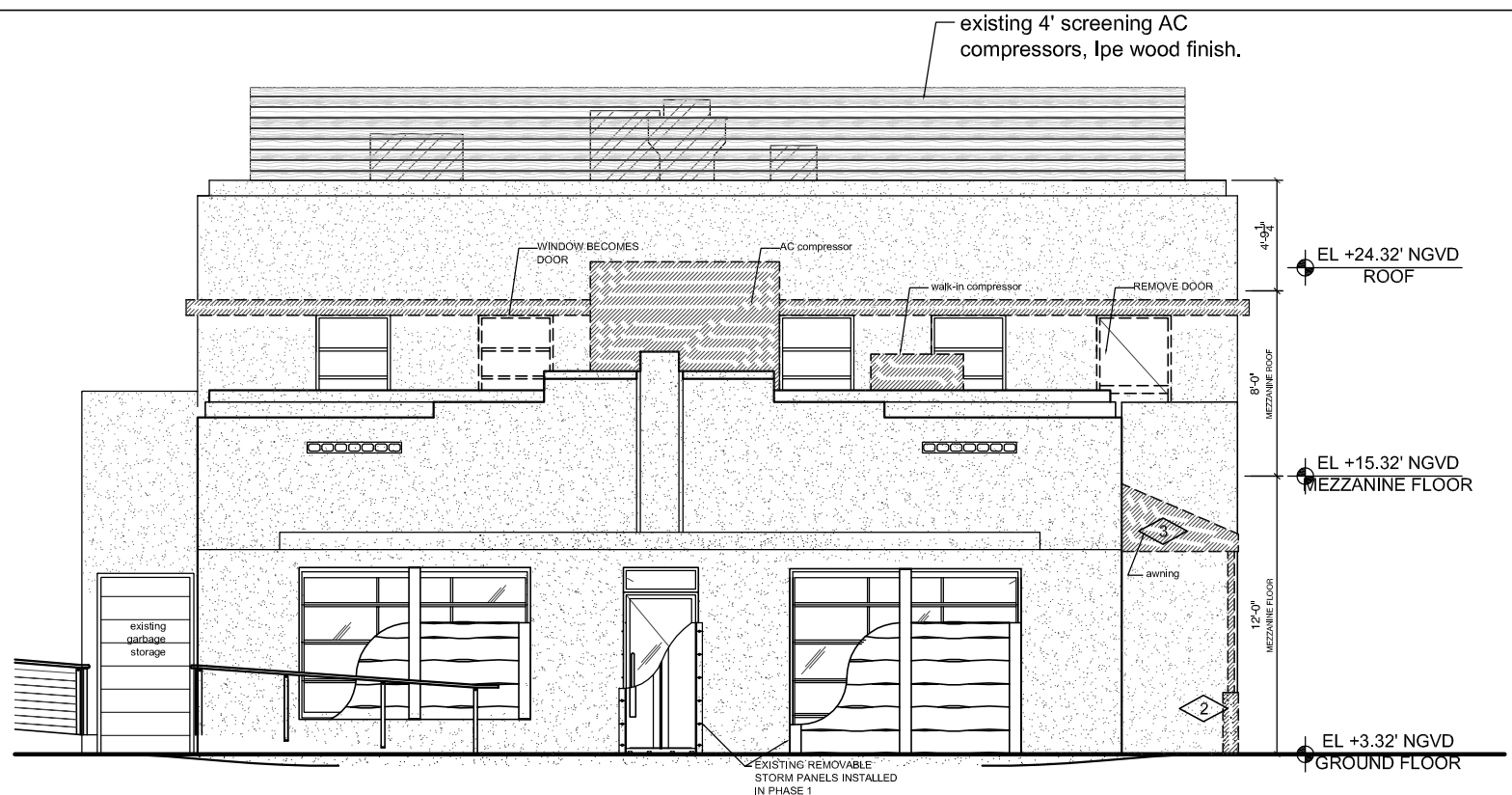
no.	revision/issue	date
1	Pre-App Meeting	04/03/20
2	First Submittal	04/20/20
3	Final Submittal	05/11/20
4		

scale: 1/8"=1'-0" drawn by: John McInnis
date: 5/11/20
project: 1095.00 page: 11"x17"

Drawing:
Demolition Elevation Front / Rear

DEMOLITION SYMBOLS:

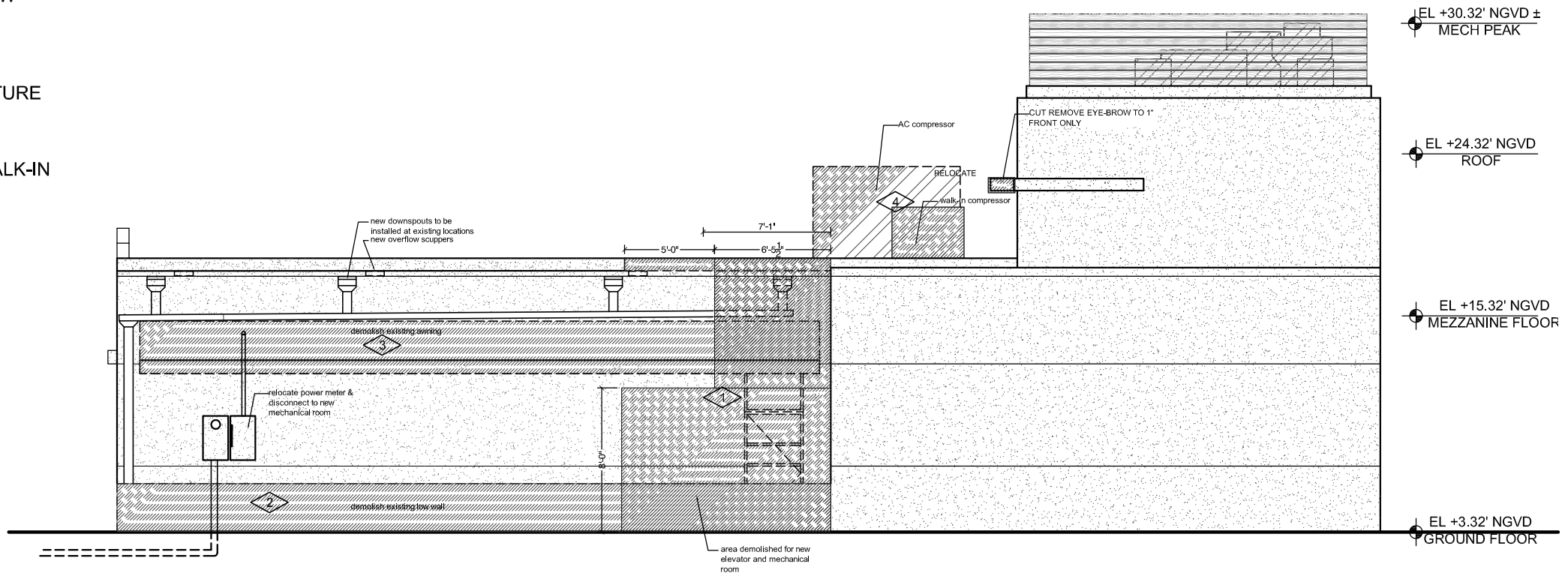
- INDICATES EXISTING BUILDING CORE, DEMISING OR INTERIOR PARTITION TO REMAIN. PATCH AS REQUIRED
- INDICATES EXISTING PARTITION TO BE REMOVED AND DISCARDED. PATCH WALLS TO REMAIN AS REQUIRED. ALL EXISTING OUTLETS AT DEMOLISHED WALLS TO BE REMOVED. WIRING TO BE REMOVED BACK TO SOURCE.
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- INDICATES EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED AND DISCARDED.
- INDICATES SPECIFIC INFORMATION WITHIN PLAN - SEE "PLAN NOTES" FOR INFORMATION.
- INDICATES PHOTOGRAPH / ELEVATION NUMBER INDICATES DWG. NUMBER



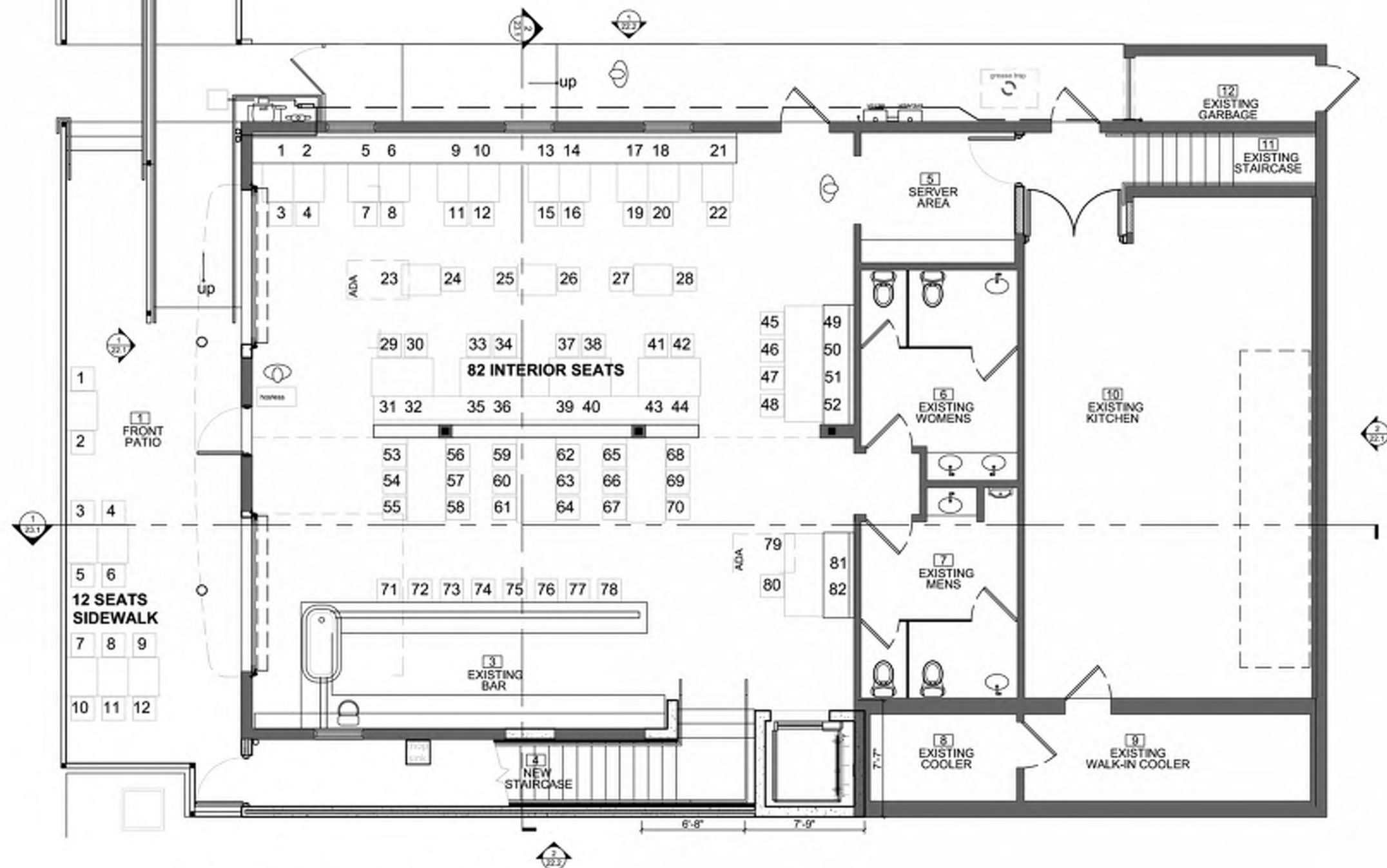
1 DEMOLITION ELEVATION FRONT
1/8" = 1'-0"

DEMOLITION NOTES:

- 1 REMOVE WALL AS NEEDED FOR NEW ELEVATOR SHAFT
- 2 REMOVE DECK & KNEE WALL AS REQUIRED FOR NEW STAIR STRUCTURE
- 3 REMOVE AWNING
- 4 RELOCATE COMPRESSORS FOR WALK-IN AND REMOTE UNITS



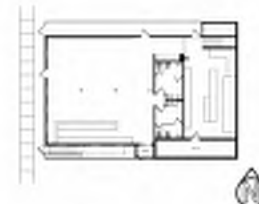
2 DEMOLITION SOUTH ELEVATION
1/8" = 1'-0"



1 First Floor Proposed
1/8" = 1'-0"

PROPOSED CHANGES/ SITE CHANGES
-ROLL UP STOREFRONT REVISED
-CITY SIDEWALK RENOVATED

APPROVED PRB2287
APPROVED DRB 23220



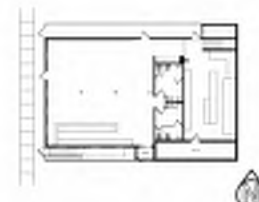
Drawing Issue

no.	revision/issue	date
1	Final Submittal	09/14/15
2	Final Submittal Approved	09/20/15
3	PR Hearing Approved	12/15/15
4	Revised Final Submittal	03/16/16
5	Revised Final Submittal	04/06/16
6	PR Hearing	11/01

scale: 1/8" = 1'-0" drawn by: John Molins
date: 5/18/16
project: 1095.00 page: 11x17
Drawing:

Proposed Floor Plans
First Floor

P19.1



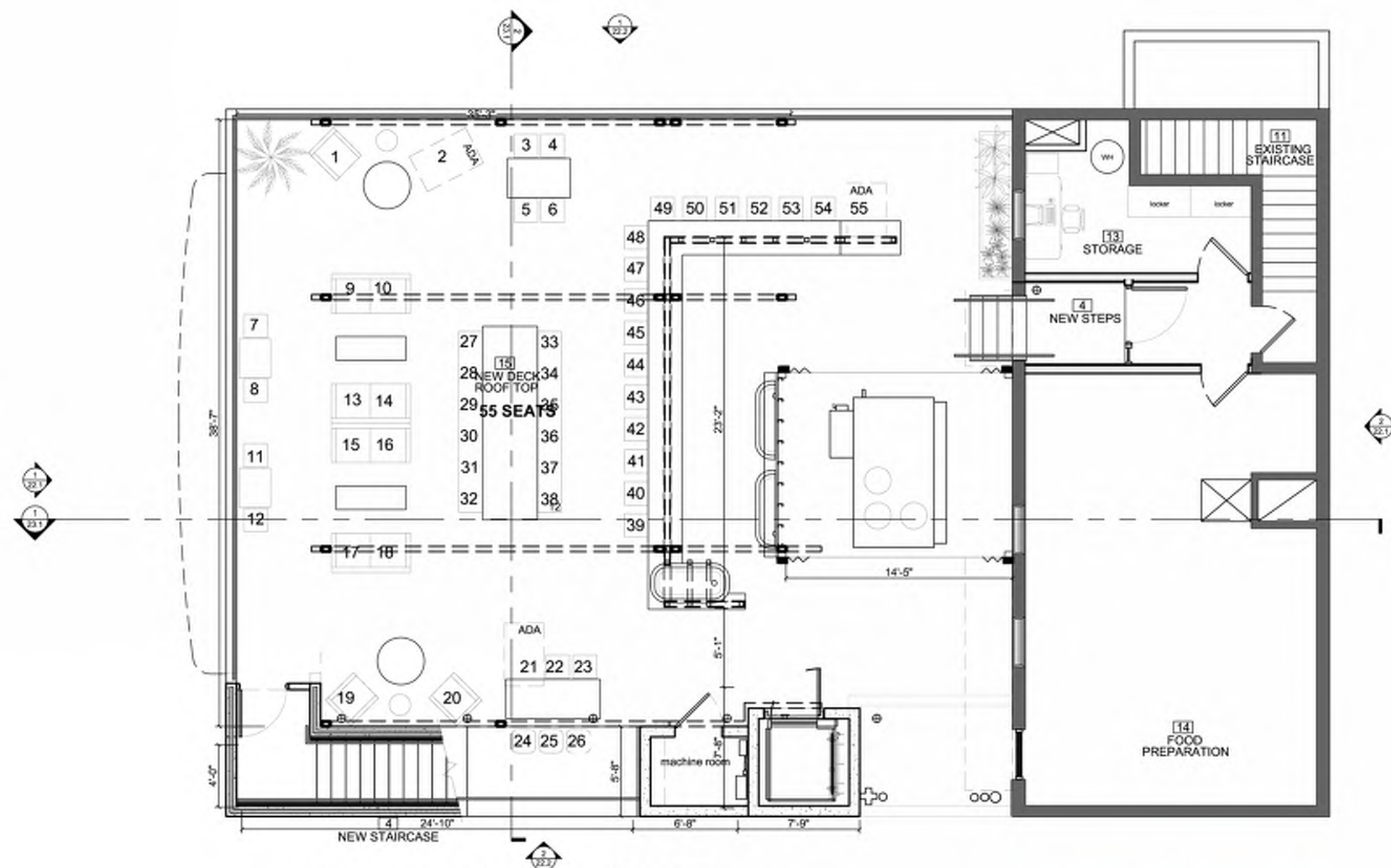
Drawing Issue

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6	PR Hearing	11/01

scale: 1/8" = 1'-0" drawn by: John Molins
date: 5/18/16
project: 1095.00 page: 11x17
Drawing:

Proposed Floor Plans
Second Floor

P20.1



1 Second Floor & Rooftop Deck Proposed
1/8" = 1'-0"

PROPOSED CHANGES/ SITE CHANGES

-9 SEATS ADDED FROM 12/15/15

-EGRESS ROUTE UPDATED (STAIR ACCESS THROUGH BUILDING NOT SIDEWALK)

APPROVED PRB2287

APPROVED DRB 23220



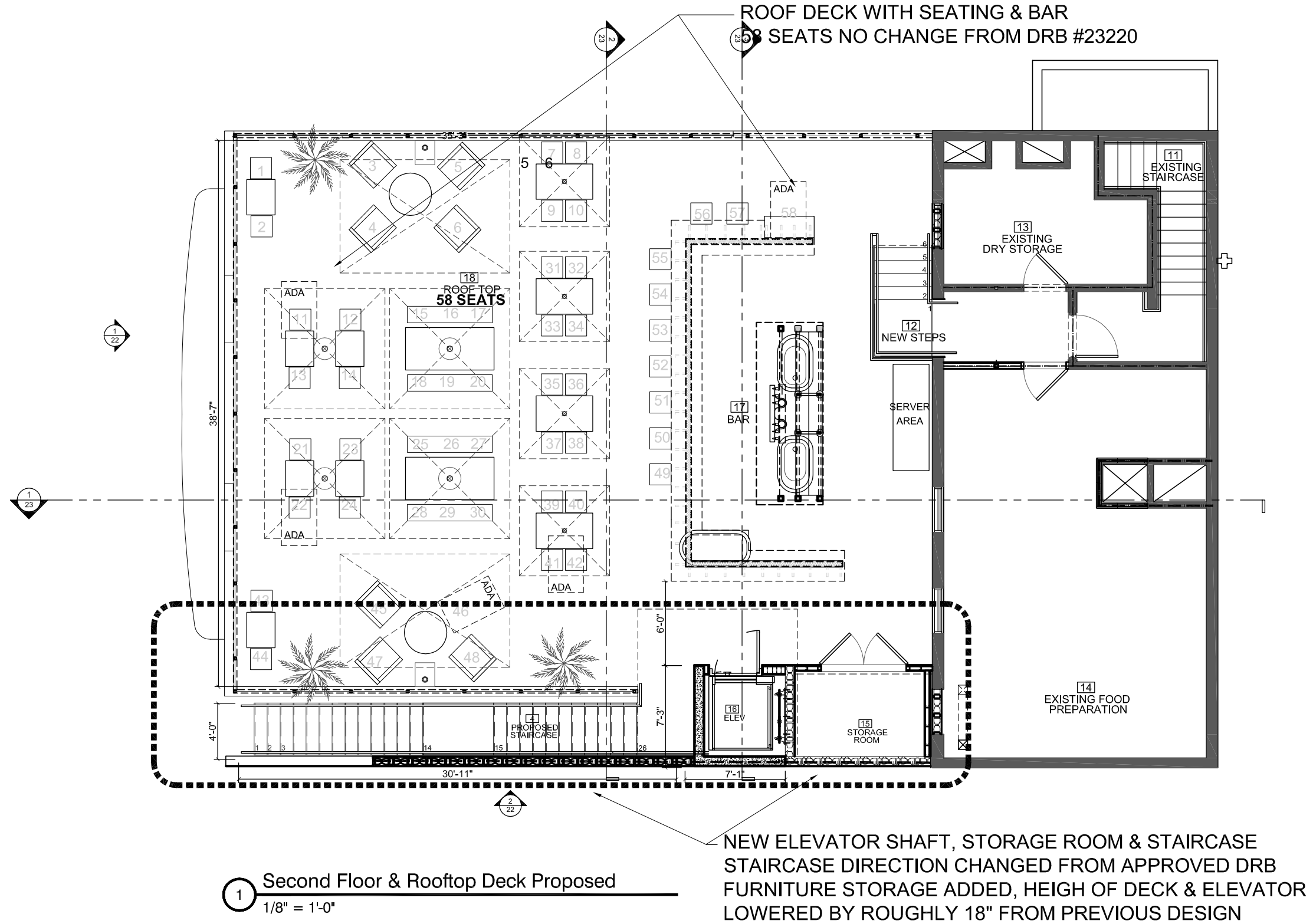
DRB20-0548 1787 Purdy Avenue
CUP Alteration (#23220)
Stiltsville Fish Bar- Roof Deck Addition
1787 Purdy Avenue, Miami Beach, FL 33139

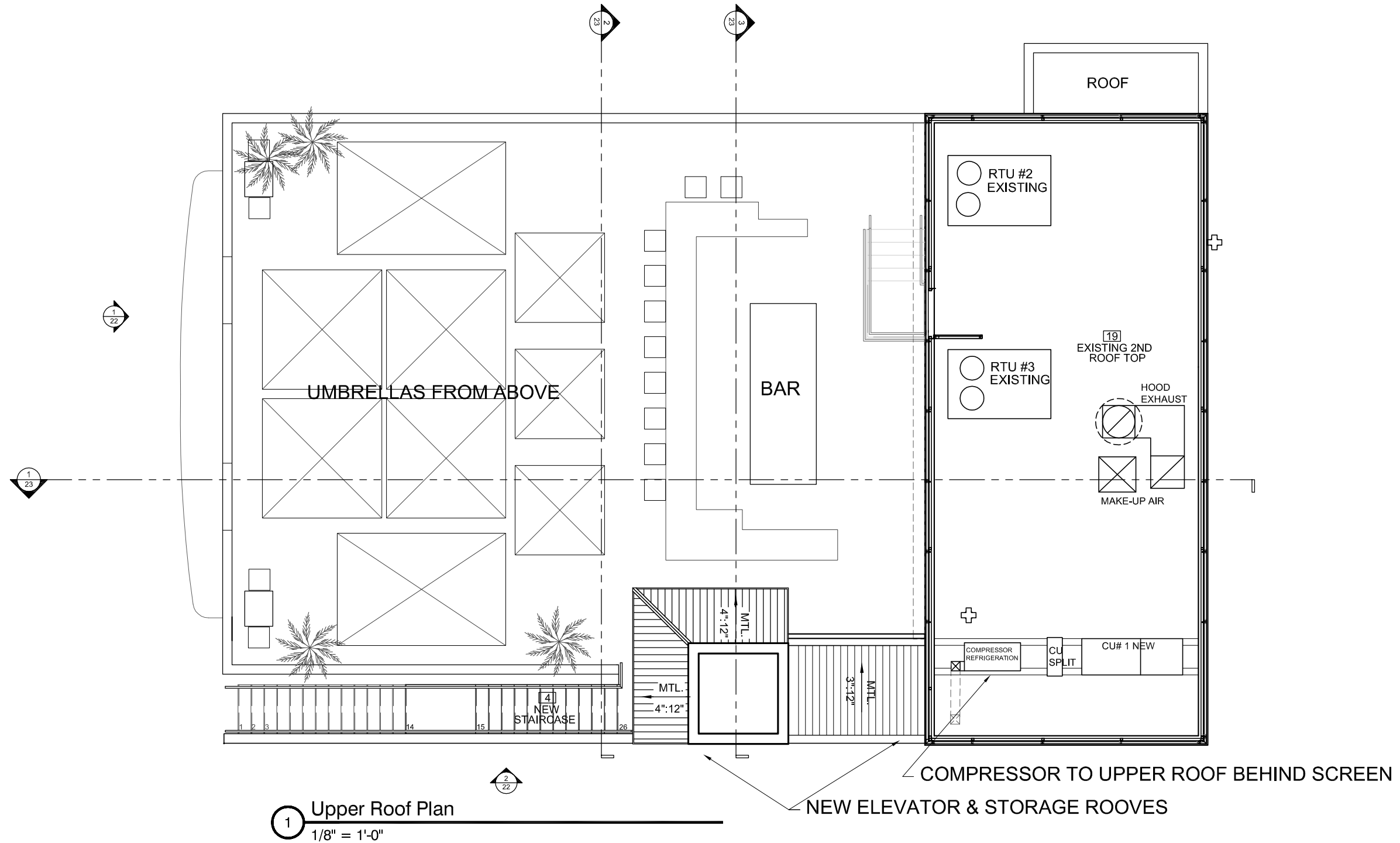
Drawing Issue

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3	Final Submittal	05/11/20
4		

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date: 5/11/20
project: 1095.00 page: 11"x17"
Drawing:

Proposed Floor Plans
Second Floor



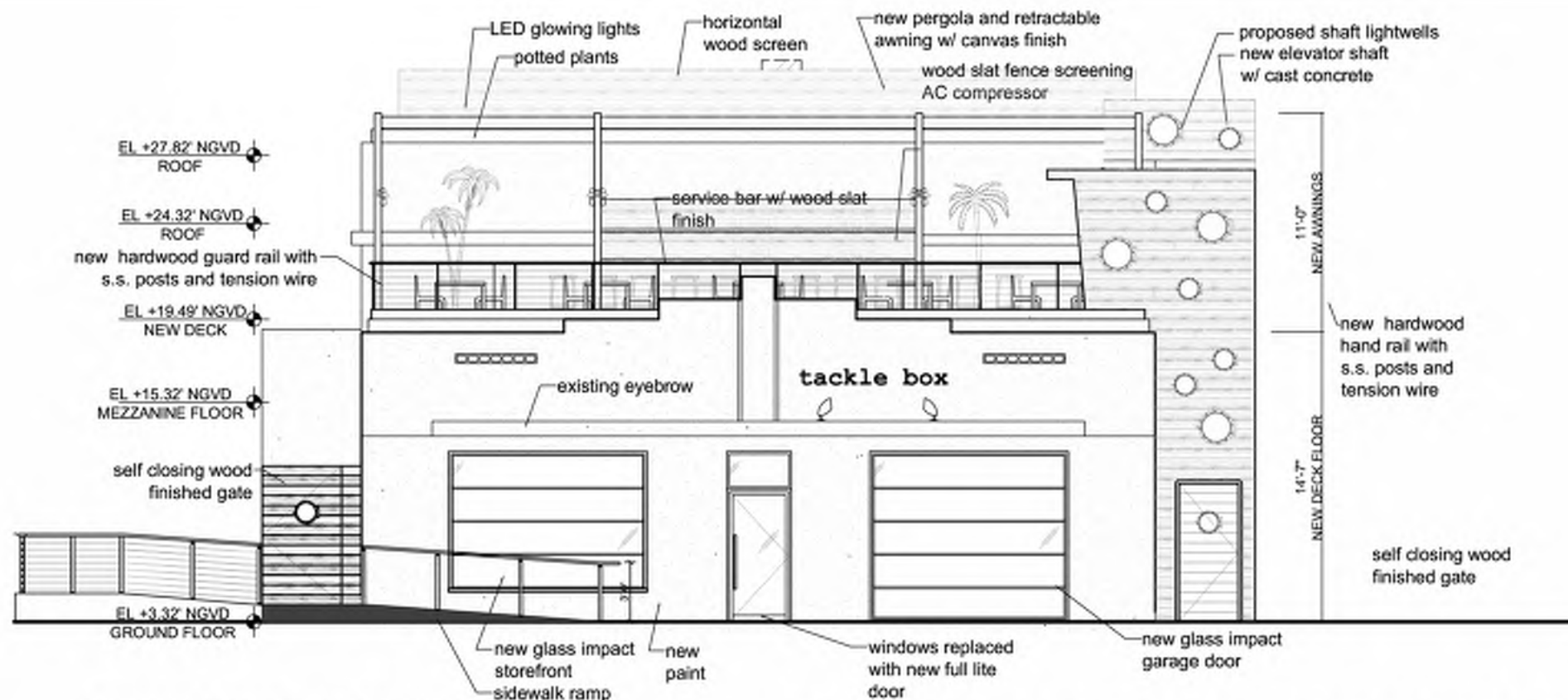


DRB20-0548 1787 Purdy Avenue
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4		

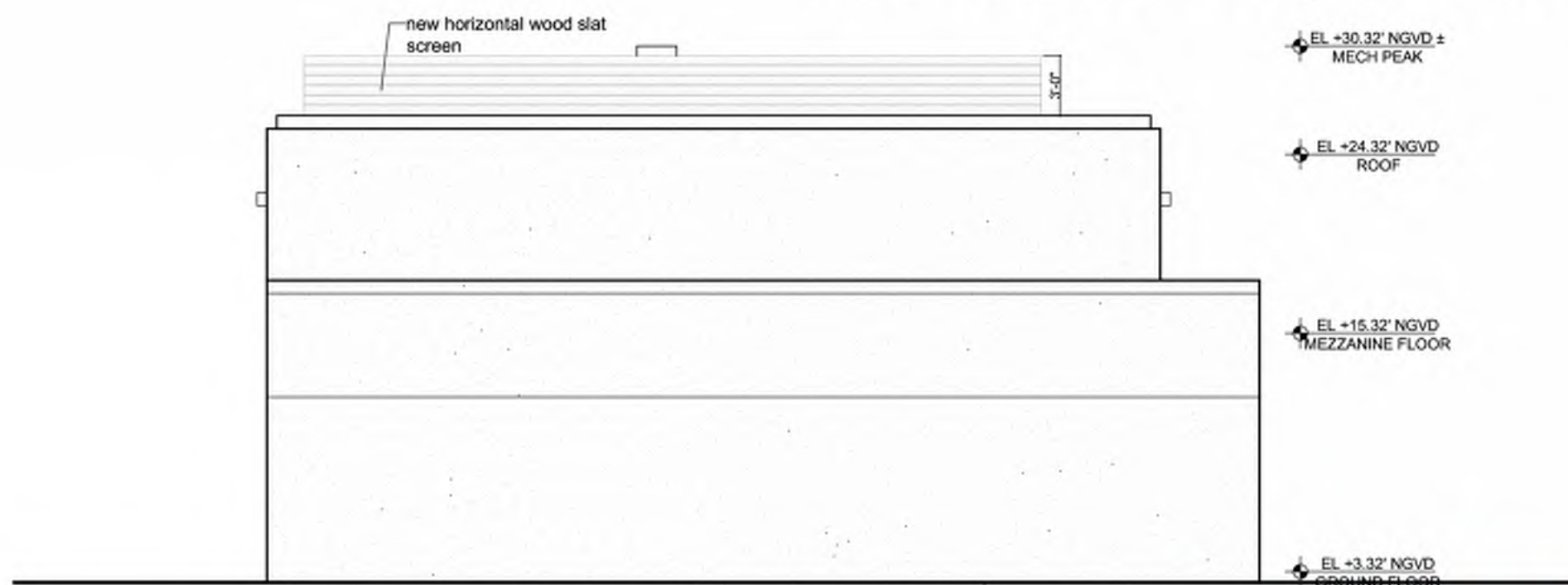
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date: 5/11/20
project: 1095.00 page: 11"x17"
Drawing:

Proposed Floor Plans
Roof Top



1 Proposed Front Elevation (west)
1/8" = 1'-0"

PROPOSED CHANGES/ SITE CHANGES
-ROLL UP, STOREFRONT REVISED
-STAIRCASE ENCLOSED (FBC REQUIRED)



2 Proposed Back Elevation (east)
1/8" = 1'-0"

APPROVED PRB2287
APPROVED DRB 23220

Drawing Issue

no.	revision/issue	date
1	Final Submittal	09/14/15
2	Final Submittal Approved	09/20/15
3	PR Hearing Approved	12/15/15
4	Revision 1st Submittal	03/16/16
5	Revision Final Submittal	04/06/16
6	PR Hearing	11/01

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date: 5/18/16
project: 1095.00 page: 11x17
Drawing:
Proposed Elevations



Drawing Issue

no.	revision/issue	date
1	Final Submittal	09/14/15
2	Final Submittal Approved	09/20/15
3	PR Hearing Approved	12/15/15
4	Revisions 1st Submittal	03/16/16
5	Revisions Final Submittal	04/06/16
6	PR Hearing	11/01

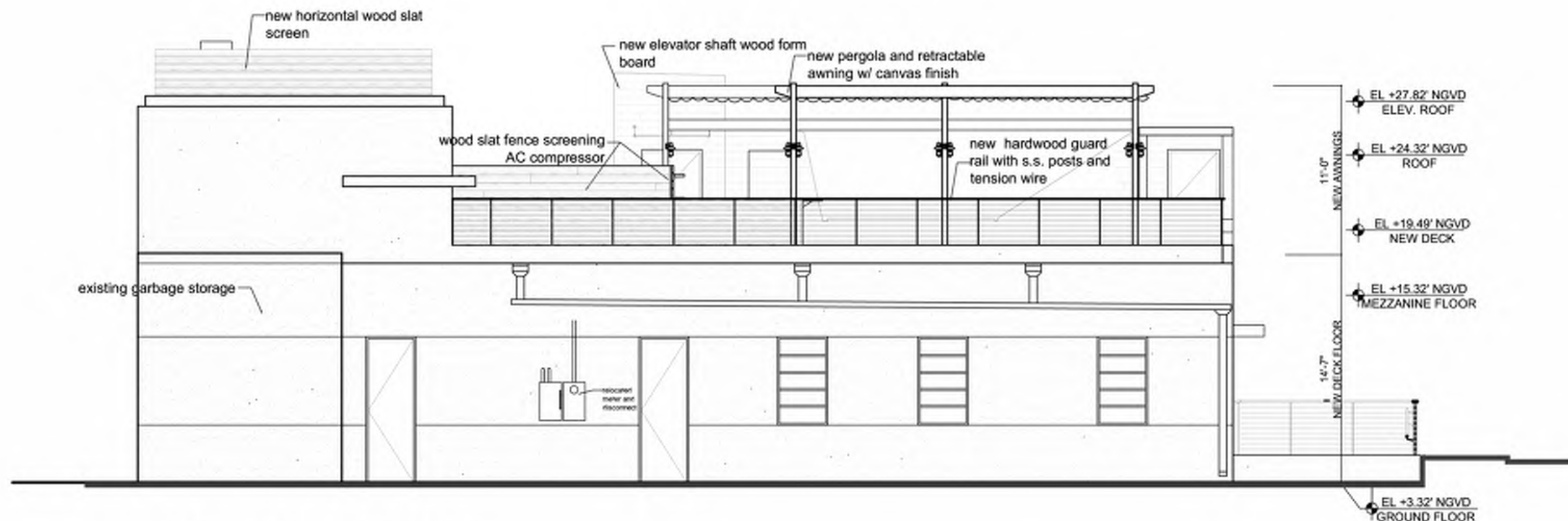
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date: 5/18/16 project: 1095.00 page: 11x17

Drawing:

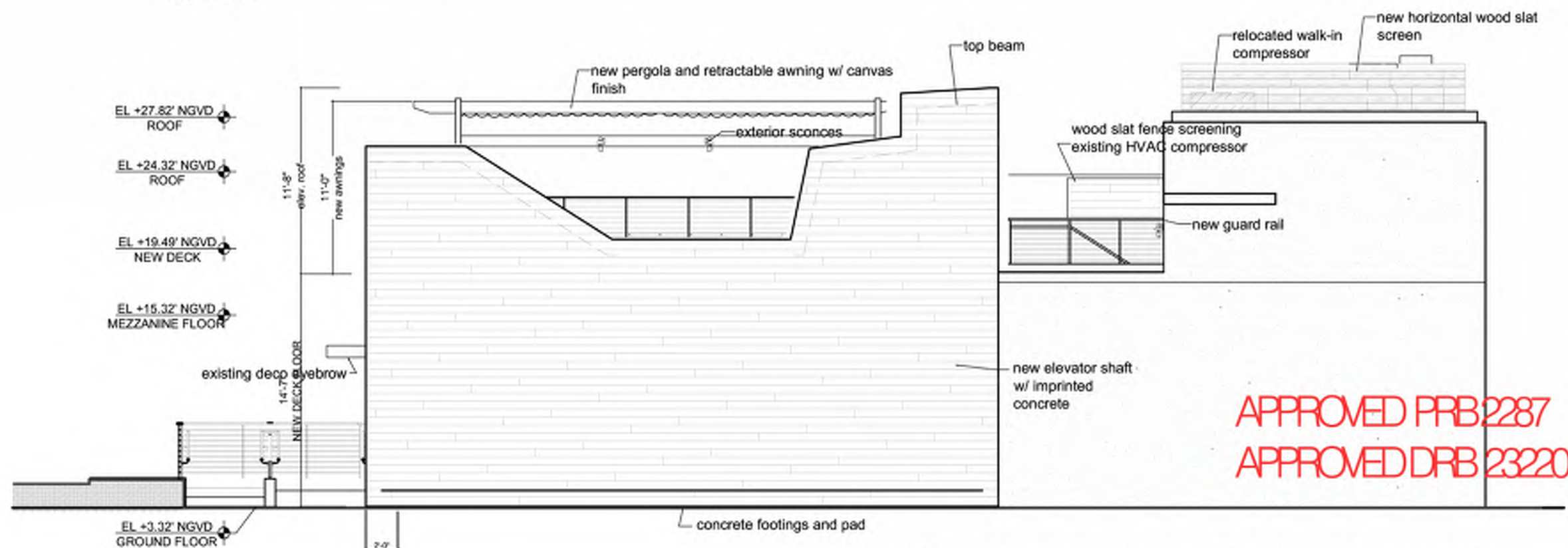
**Proposed
Elevations**

P222



1 Proposed Side Elevation (north)

1/8" = 1'-0"

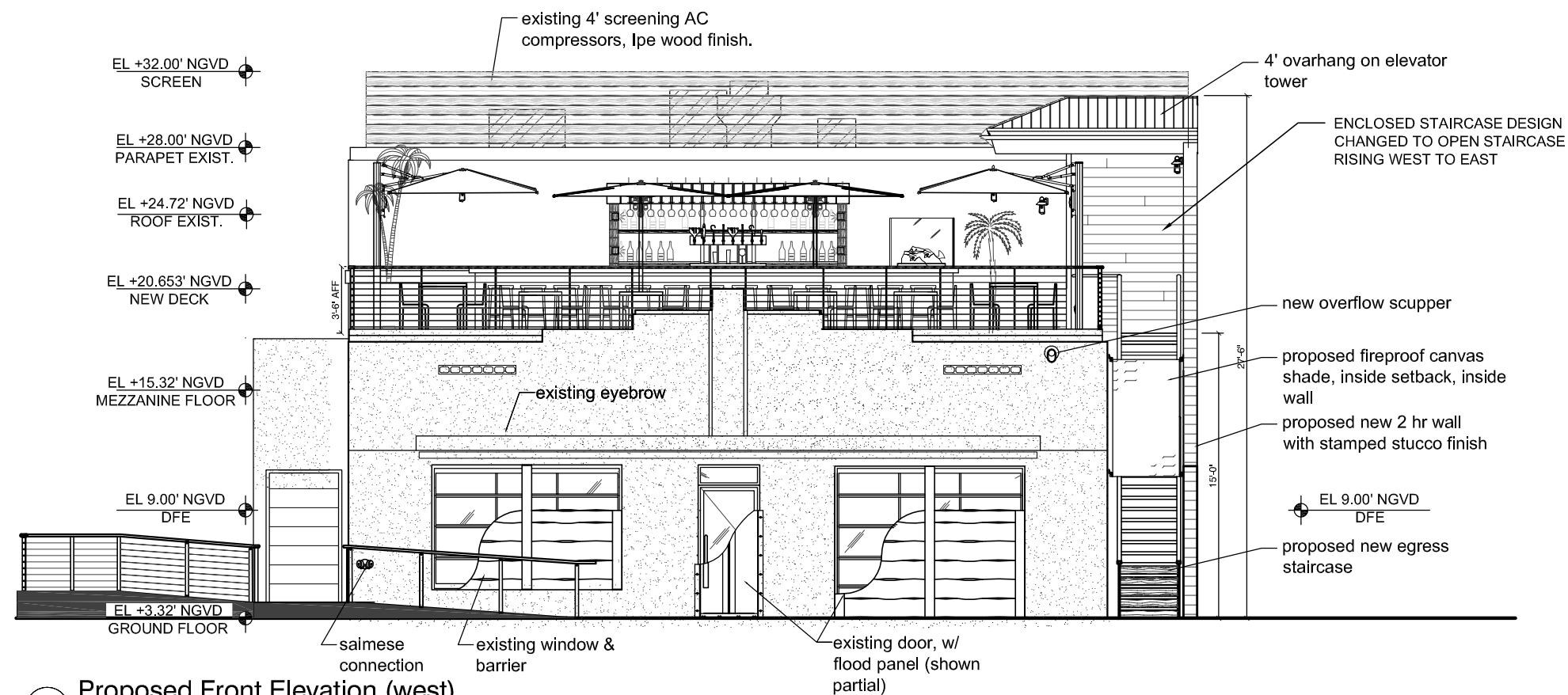


2 Proposed Front Elevation (south)

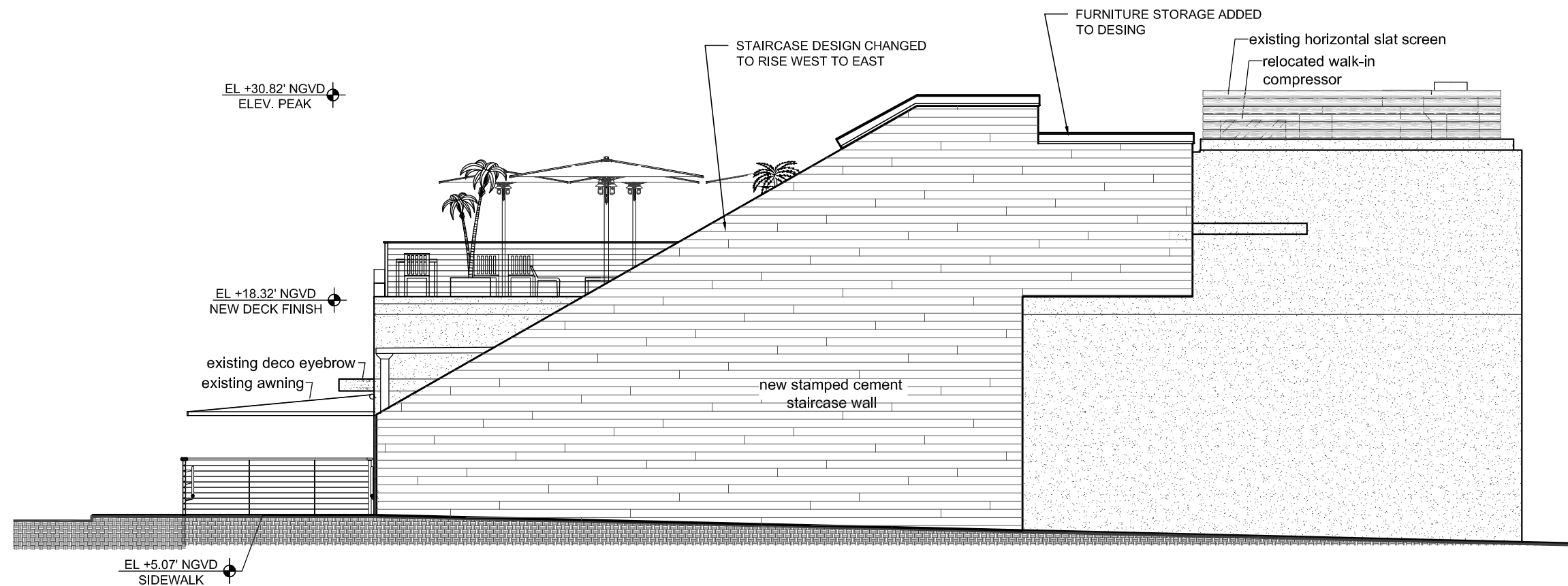
1/8" = 1'-0"

PROPOSED CHANGES/ SITE CHANGES
-STAIRCASE RISES EAST TO WEST (ENCLOSED)
-SIDEWALK ELEVATION

APPROVED PRB 2287
APPROVED DRB 23220



1 Proposed Front Elevation (west)
1/8" = 1'-0"



2 Proposed Front Elevation (west)
1/8" = 1'-0"



DRB20-0548 1787 Purdy Avenue
CUP Alteration (#23220)
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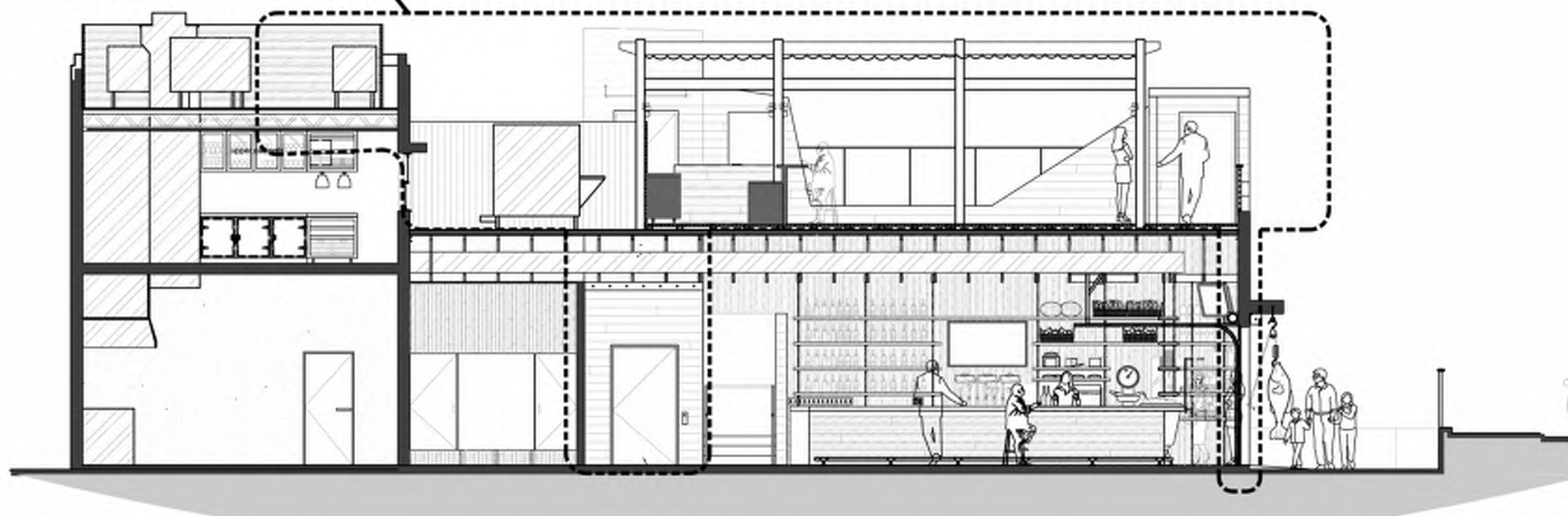
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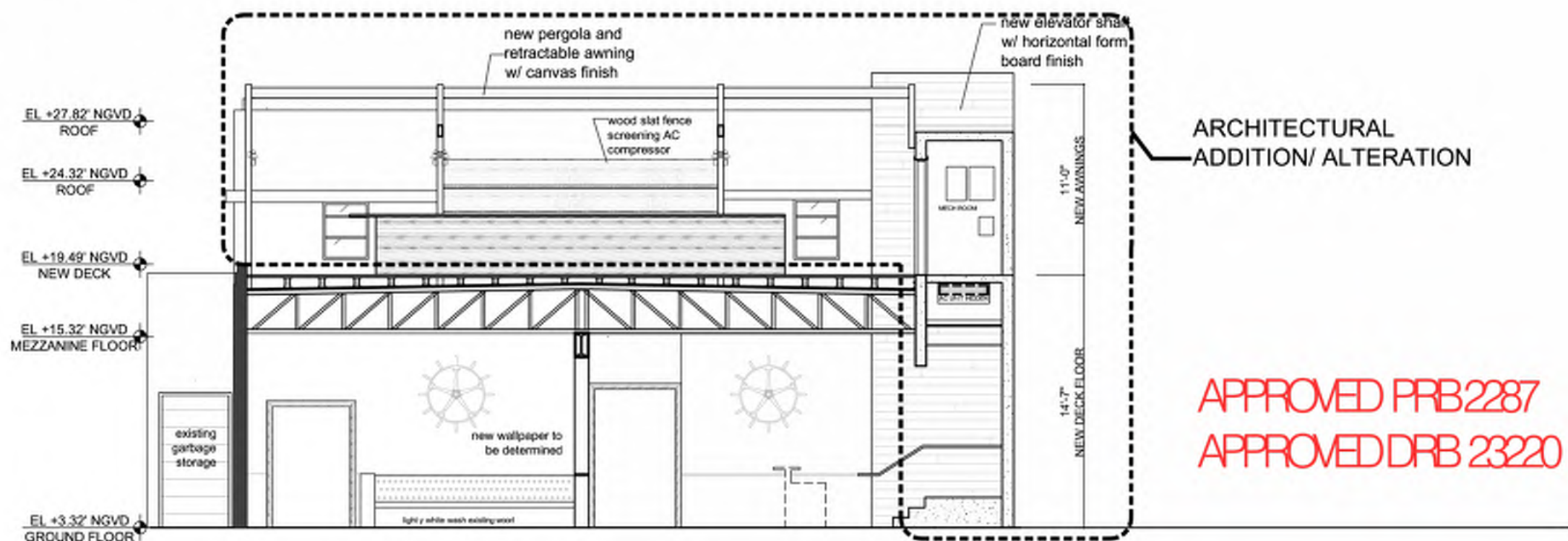
Drawing:

Proposed
Elevations
Item #22.1

ARCHITECTURAL
ADDITION/ ALTERATION

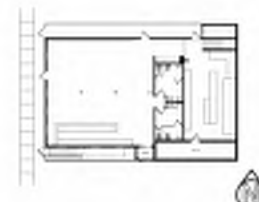


1 Proposed Section #1
1/8" = 1'-0"



2 Proposed Section #2
1/8" = 1'-0"

PROPOSED
NEW ROLL UP STOREFRONT



Drawing Issue

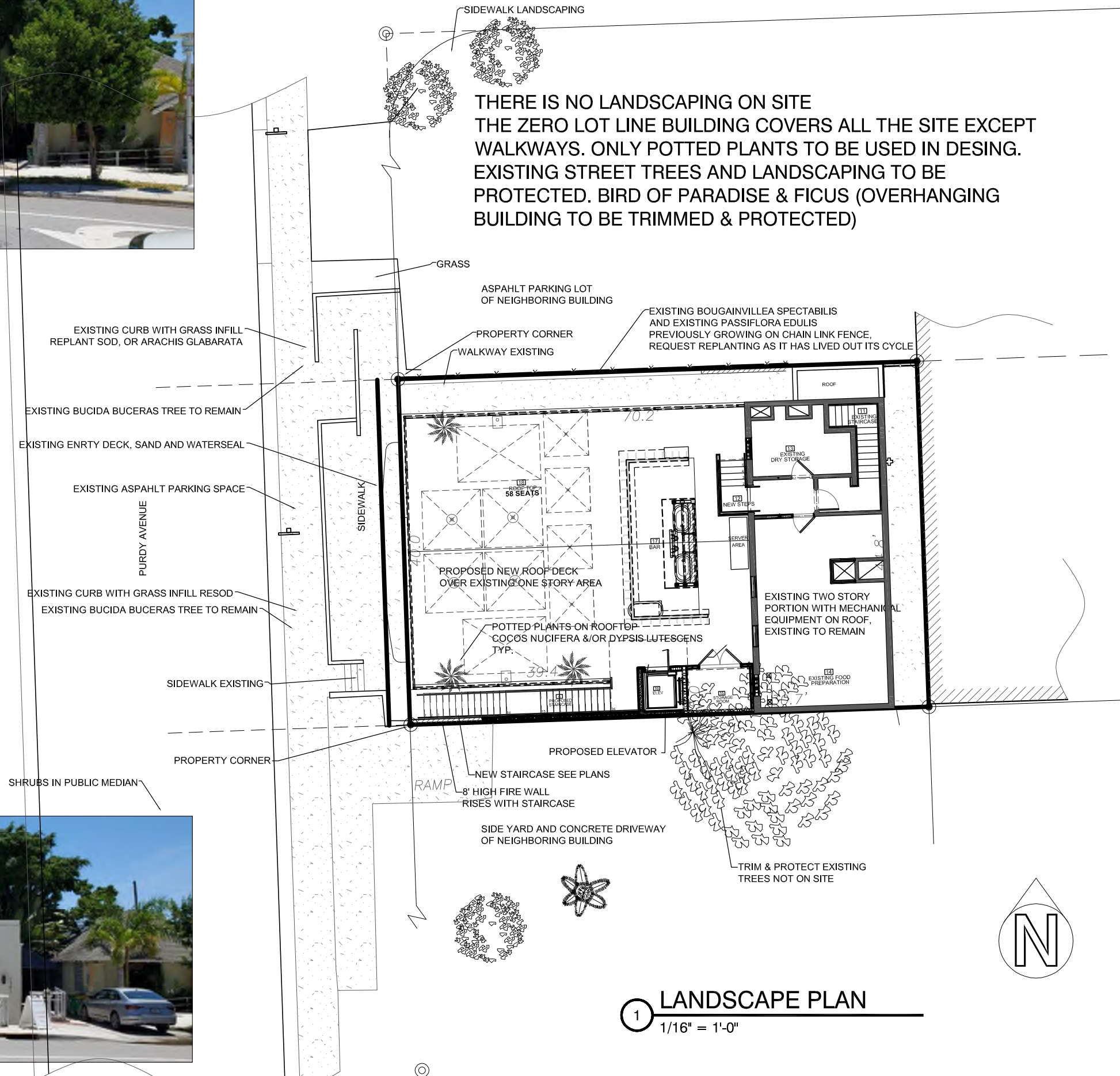
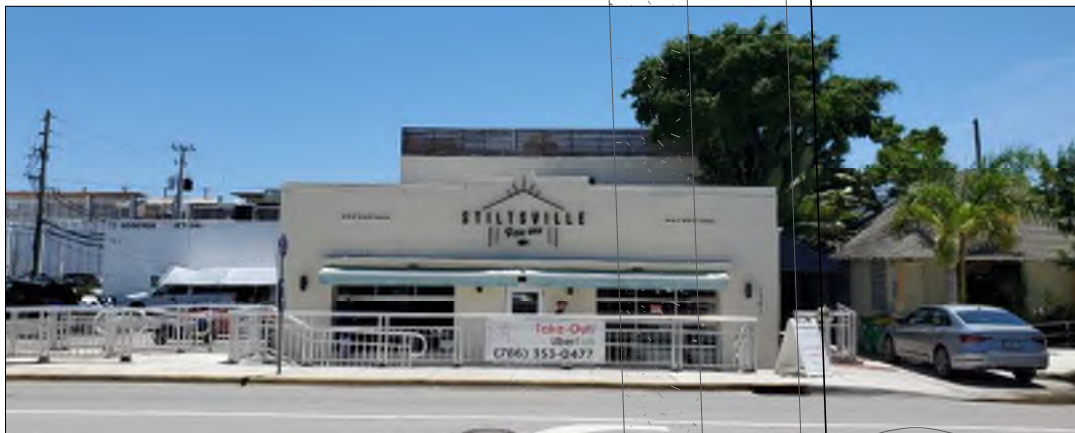
no.	revision/issue	date
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6	PR Hearing	11/01

scale: 1/8"=1'-0" drawn by: John Molins

date: 5/18/16 project: 1095.00 page: 11x17

Drawing:

Proposed
Sections



LANDSCAPE PLAN

$$1/16'' = 1'-0''$$


DRB20-0548 1787 Purdy Avenue
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4		

scale: 1/16" = 1'-0" drawn by: John McInnis
date: 5/11/20
project: 1095.00 page: 11"x17"

Drawing:
Landscape Plan



1 Proposed Front Elevation Rendering (west)
NTS



DRB20-0548 1787 Purdy Avenue
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Drawing Issue		
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1	Pre-App Meeting	04/03/20
2	First Submittal	04/20/20
3	Final Submittal	05/11/20
4		

scale: 1/8"=1'-0" drawn by: John Mohnis
date: 5/11/20
project: 1095.00 page: 11"x17"

Drawing:
**Proposed
Rendering**



1 Proposed Side Elevation Rendering (south)
NTS

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#AR95896



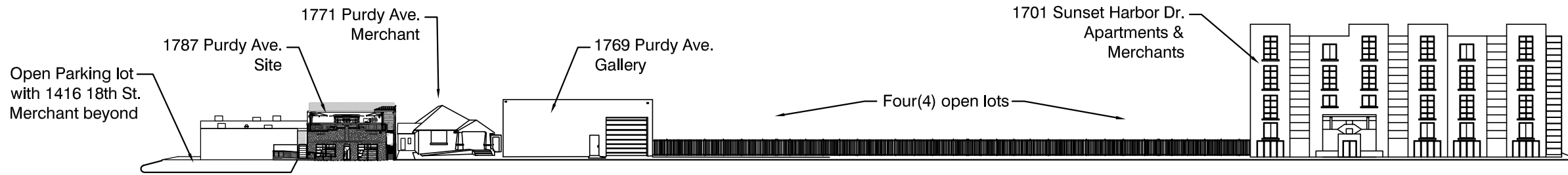
DRB20-0548 1787 Purdy Avenue
CUP Alteration (#23220)
Stiltsville Fish Bar- Roof Deck Addition
1787 Purdy Avenue, Miami Beach, FL 33139

Drawing Issue

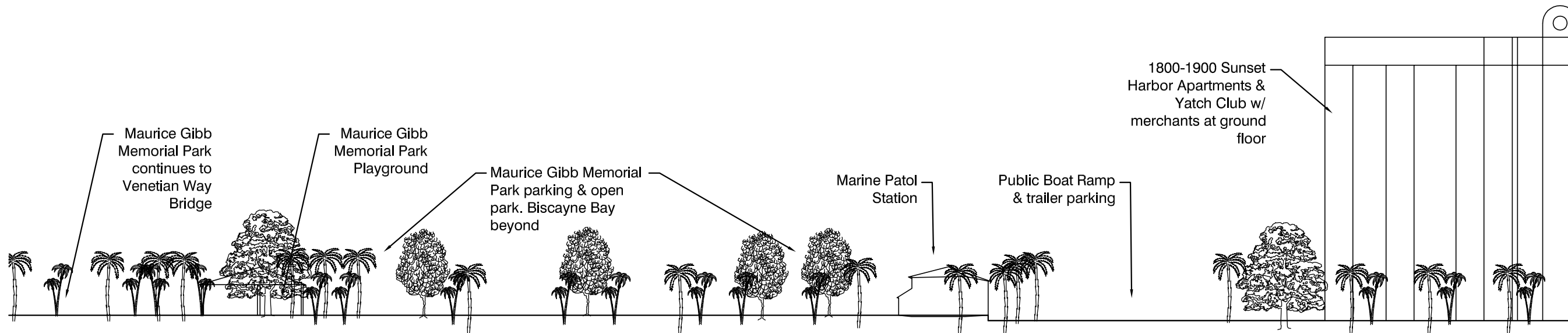
no.	revision/issue	date
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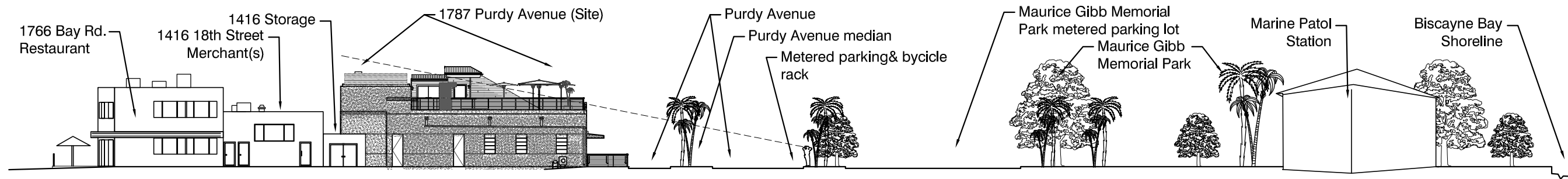
Drawing:
**Proposed
Rendering**



1 Purdy Avenue - 18th St. to Dade Blvd.
Contextual Elevation Scale: +/- 1/64"=1'-0"



2 Purdy Avenue (Sunset Harbour Dr.) -Across street from site
Contextual Elevation Scale: +/- 1/64"= 1'-0"



3 18th Street between Purdy Ave. and Bay Road
Contextual Elevation Scale: +/- 1/32"=1'-0"

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scale: AS NOTED drawn by: John McInnis
date: 5/11/20
project: 1095.00 page: 11"x17"

Drawing:

**Contextual Elevation
Line Drawing**



Site is partially visible.
Photo taken on Purdy Avenue, two
lots south of site, taken 5/1/2020.

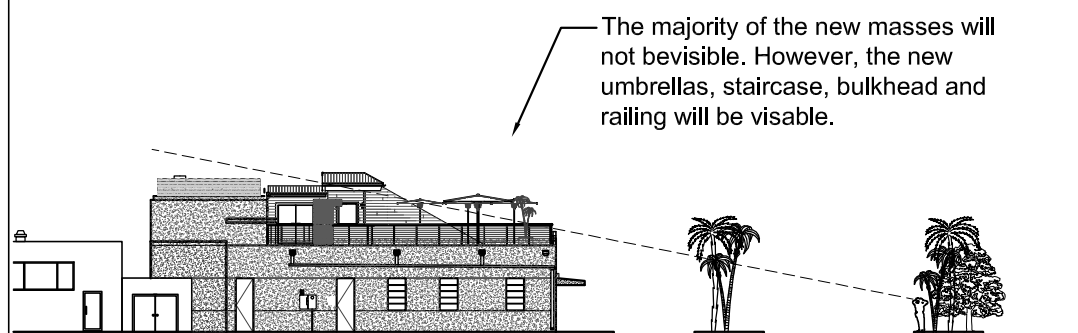
(A)



Site north facade.
Photo taken on 18th St. In front of
adjacent west building.

(B)

1 EXISTING SITE PHOTOS TAKEN 8/14/2015



The majority of the new masses will
not be visible. However, the new
umbrellas, staircase, bulkhead and
railing will be visible.

2 LINE OF SITE STUDY TAKEN FROM SIDEWALK IN PARK



Building not visible.
Photo taken on Purdy
Avenue, three lots south of
site.

(C)



3 EXISTING SITE KEY PLAN NTS



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Drawing Issue

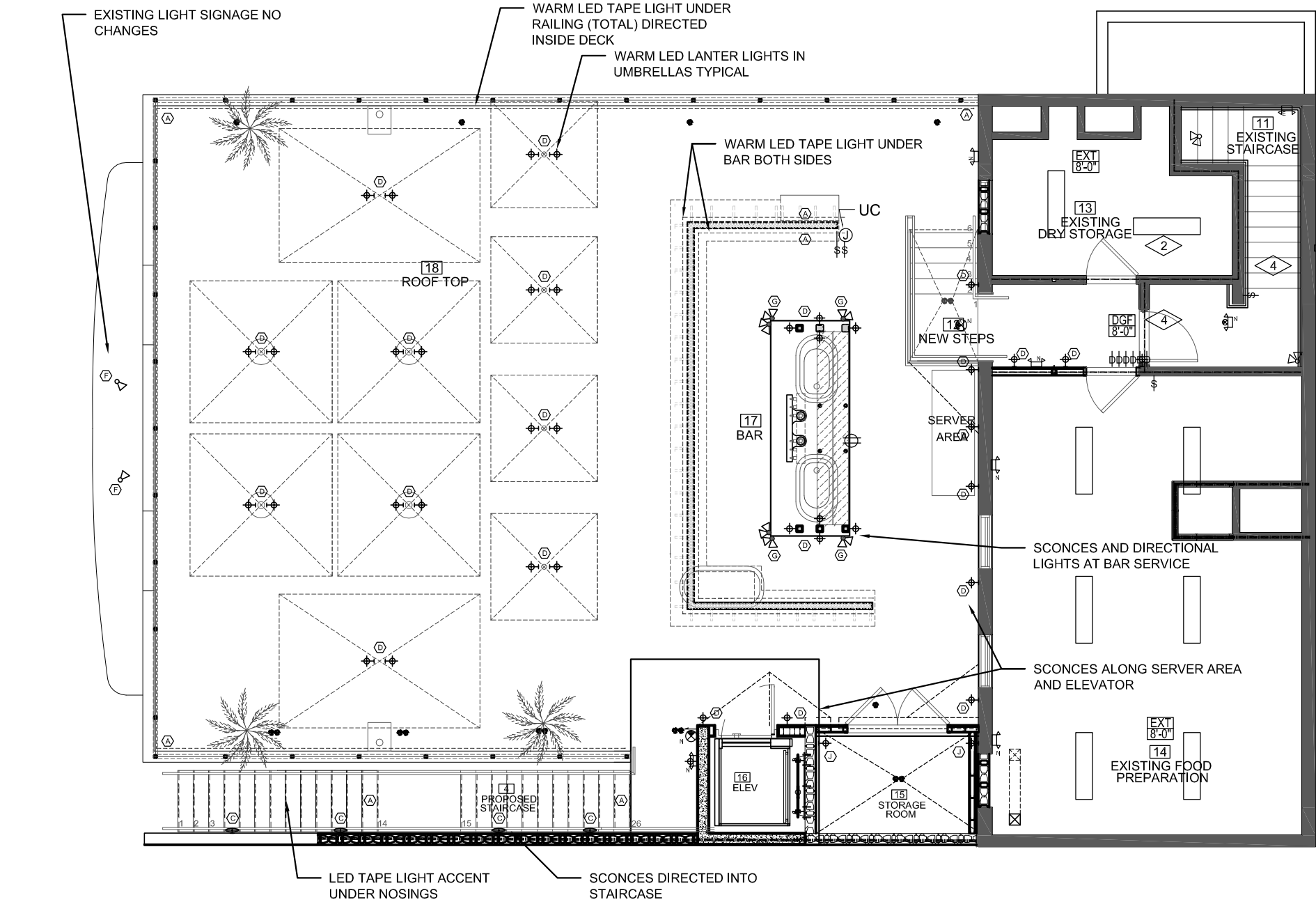
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scale: NTS drawn by: John McInnis
date: 5/11/20
project: 1095.00 page: 11"x17"

Drawing:
Line of Site Studies

REFLECTED CEILING LEGEND:

- INDICATES LED LIGHT STRIP
MFG.: WAC (OR APPROVED EQUAL)
MODEL: INVISI LED PALETTE OUTDOOR
LAMP: LED
FINISH: TAPE SCILICONE
SIZE: 100' ROLLS CUT 40' & 44' AT DECK BAR
36' AT GUARD RAIL WEST
- ⊕ INDICATES FLUSH SCONCE
MFG: HINKLEY
MODEL: WESTPORT2722DZ-LED
LAMP: 1-16WLESF-W100
FINISH: PATINA ZINC / ETCHED GLASS
SIZE: 12.8" DIA. 4" EXTENSION ADA
- ⊕ INDICATES SCONCES
OUTDOOR SCONCES
MFG: SHIPLIGHTS
MODEL: B-1
LAMP: A19 LED NOT INCLUDED
NOTE:
- ⊕ INDICATES PENDANT LIGHT FIXTURE
MFG: SHIP LIGHTS
MODEL: F-5 BRASS
LAMP: MEDIUM BASE LED 17W NOT INCLUDED
(BULB 60W MAX)
- ⊕ INDICATES DIRECTIONAL FLOOD
EXISTING SIGNAGE LIGHT REDIRECTED
MFG: UNKNOWN
MODEL:
LAMP: VIF
NOTE:
- ⊕ INDICATES SURFACE MOUNTED DIRECTIONAL LIGHT
MFG: MATCH EXISTING
MODEL: Lithonia Lighting OFTH 300PR OR SIMULAR
LAMP: LED FLOOD
REFLECTOR:
BALLAST:
HOUSING: WET RATED
- ⊕ INDICATES FLOURESCENT BOX FIXTURES
MFG: EXISTING
MODEL:
LAMP: T8
REFLECTOR:
BALLAST: VERIFY
HOUSING:
- ⊕ INDICATES DECORATIVE PENDENT STRING
EXISTING POWER SOURCE AT LOCATION
MFG: BULBRITE
MODEL: HN-BULB019 STRING 15/ E26-A19
LAMP: NOS25
NOTE: LOBSTER BASKET MODEL TRIM X30
- ⊕ INDICATES EXISTING PENDANT LIGHTS
MFG.: EXISTING
MODEL: EDISON PENDANT LIGHTS
LAMP: EDISON
FINISH: BLACK
- ⊕ INDICATES SCONCES
ALLEY SCONCE
MFG: DESIGNER'S EDGE
MODEL: L1707SV
LAMP: A19 LED NOT INCLUDED (OR CFL EQ.)
NOTE: UL WET
- ⊕ INDICATES EXISTING PENDANT LIGHTS
MFG.: KEYS LIGHT
MODEL: SHELL LIGHT
LAMP: EDISON LED
FINISH: SHELLS
- ⊕ INDICATES SCONCES
INDOOR SCONCES
MFG: HINKLEY
MODEL: 57932 ANANA PLANTATION
LAMP: A19 LED NOT INCLUDED
NOTE:
- ⊕ INDICATES PENDANT LIGHT FIXTURE
MFG: MUUBS INDONESIA
MODEL: BASKET
LAMP: A19 LED 17W NOT INCLUDED
REFLECTOR: NA
- ⊕ INDICATES FLUSH STAIR ACCENT LIGHT
MFG: AFFORDABLE QUALITY LIGHTING
MODEL: PD425 VERDI
LAMP: 12V 3.5w Warm White LED Crystal JC Bi Pin Light Bulb AQY-557
FINISH: VERDI PATINA ZINC
SIZE: 4" DIA.
- ⊕ INDICATES CEILING MOUNTED JUNCTION BOX, VERIFY WITH ARCHITECT.



1 Roof Top & Exterior Lighting
1/8" = 1'-0"

GROUND FLOOR LIGHTING TO REMAIN.
EXISTING SCONCES & EMERGENCY EGRESS
LIGHING ON WEST FACADE AND NORTH
WALKWAY.

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date:1/9/16
project: 1095.00 page: 11"x17"

Drawing:

Proposed Exterior
Lighting