

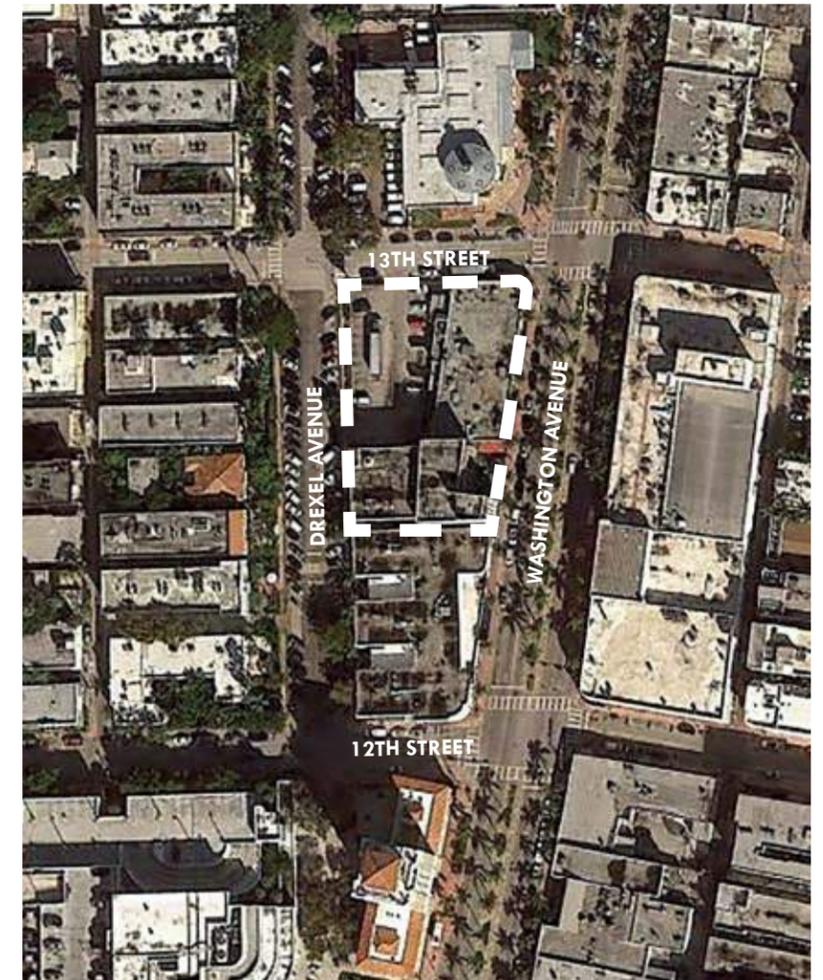
URBIN RETREAT
MIAMI BEACH

**HISTORIC PRESERVATION BOARD
PRESENTATION
JULY 14, 2020**

1234 WASHINGTON AVENUE
MIAMI BEACH



LOCATION MAP



AREA MAP



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA



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EXISTING AERIAL FROM WASHINGTON AVENUE



POST OFFICE CIRCA 1950



1956 MIAMI BEACH MICRO RETAIL



1956



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HISTORIC CONTEXT: MIAMI BEACH



1970 WASHINGTON AVENUE FACADE SHOWING ORIGINAL CONFIGURATION AND MATERIALS



1965 VERTICALLY MOUNTED SIGN

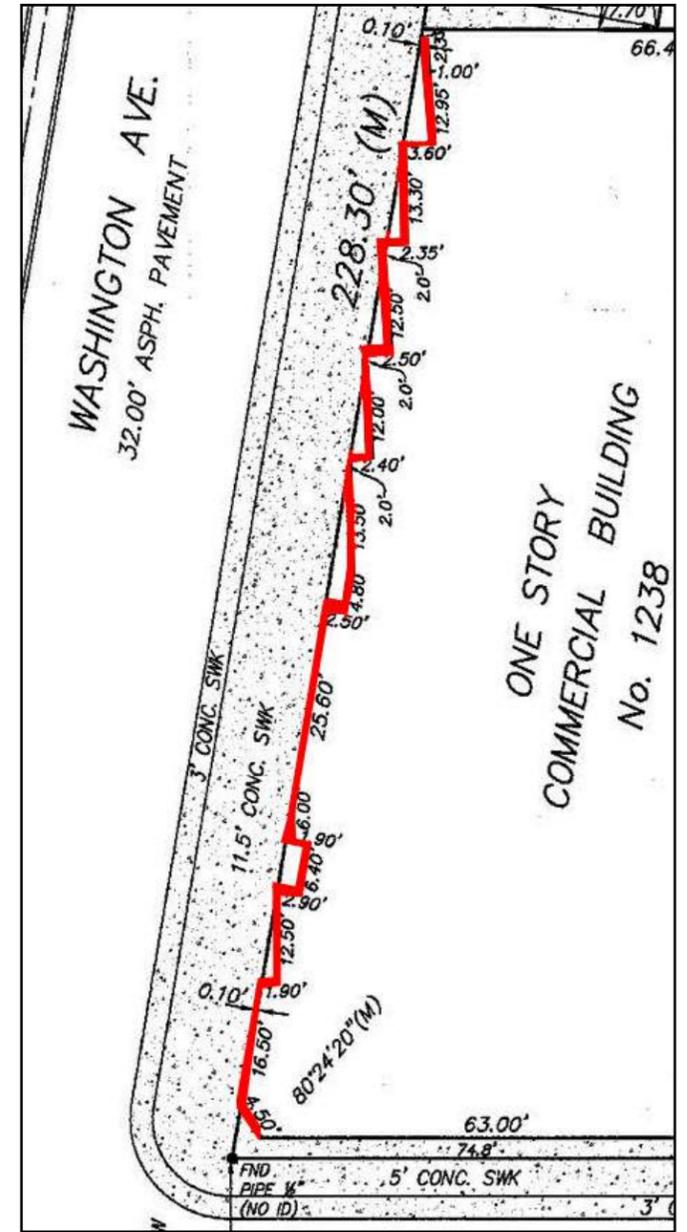


1963 PHOTO

1260 Washington Avenue
 Designed 1948 Edwin L. Robertson
 17'-0" Tall and 149'-0" Wide



1956 VIEW - RETAIL WAS ANGLED AND SMALLER SCALED - THIS BUILDING HAS BEEN SUBSTANTIALLY MODIFIED FROM ORIGINAL DESIGN - IT APPEARS THAT NO ORIGINAL GEOMETRY OR MATERIALS WERE KEPT IN EXISTING FACADE.



2004 HISTORIC SURVEY - ORIGINAL STOREFRONT PLAN

URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

HISTORIC CONTEXT: 1260 WASHINGTON AVENUE



2018



JULY 18, 2019



JULY 18, 2019



JULY 18, 2019



JULY 18, 2019



JULY 18, 2019



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EXISTING CONDITIONS : 1260 WASHINGTON AVENUE



STRONG GEOMETRIC FORMS WITH ICONIC MIMO SIGNAGE AND PLAYFUL SWOOPING EYEBROW



ICONIC MIMO BRISE SOLEIL

1234 Washington Avenue
 Designed 1961 Maurice Weintraub
 Washington Federal Savings and Loan later First Nationwide Bank
 1989 - remodel of facade - 57'-0" Tall and 65'-0" Wide



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HISTORIC CONTEXT: 1234 WASHINGTON AVENUE



AUGUST 4, 2019



AUGUST 4, 2019



AUGUST 4, 2019



AUGUST 4, 2019



AUGUST 4, 2019



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

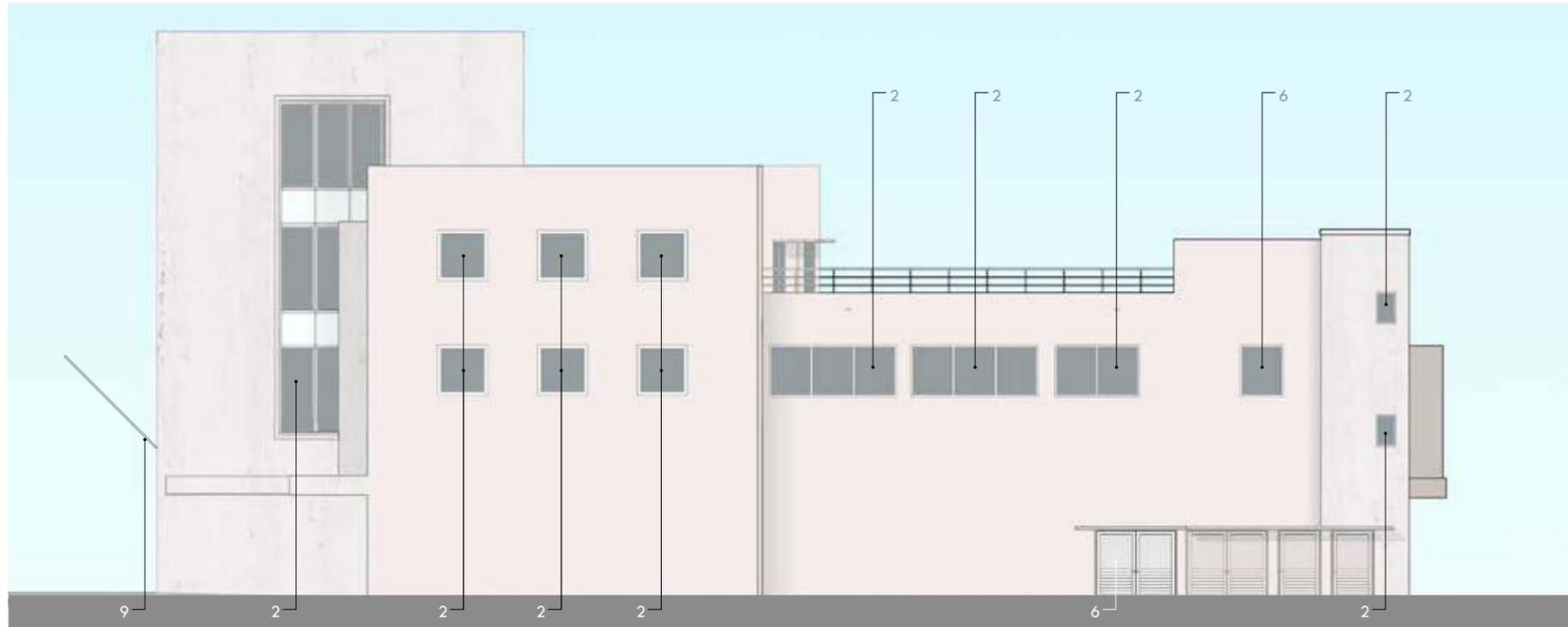


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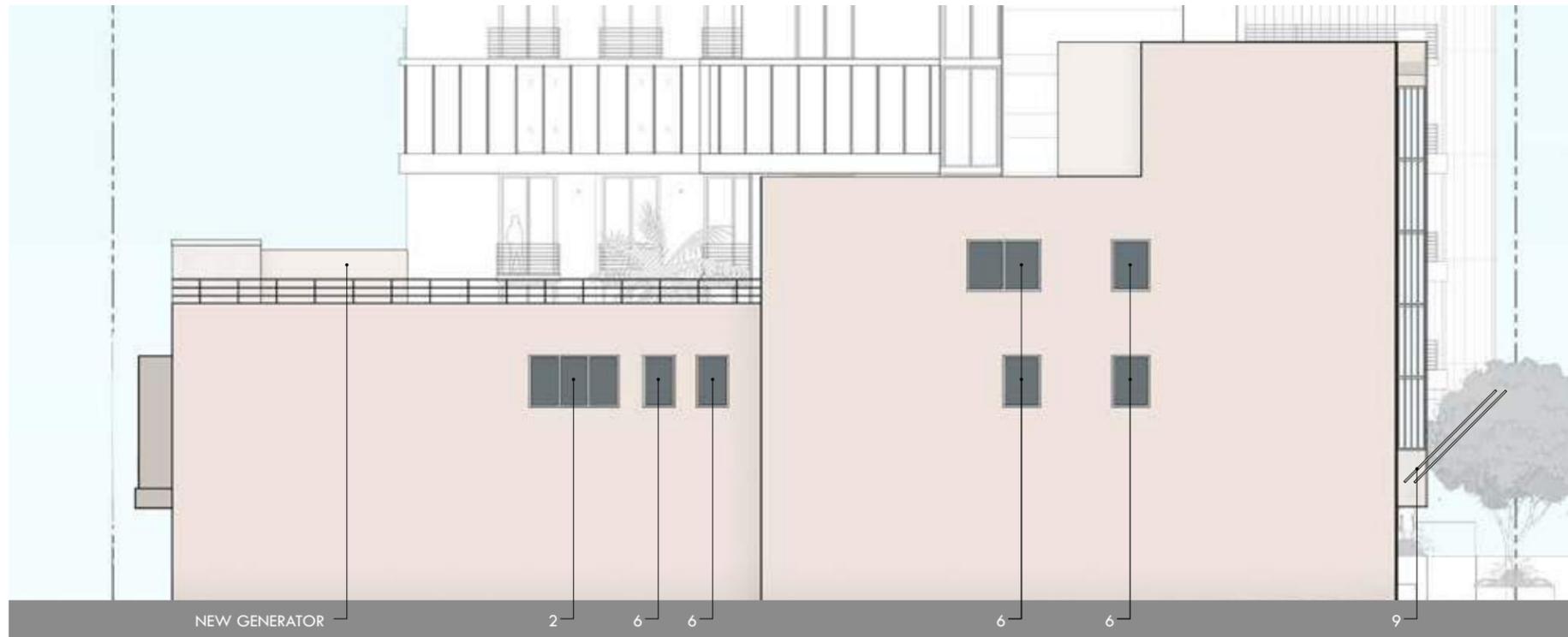
EXISTING CONDITIONS: 1234 WASHINGTON AVENUE

A-12.3

HISTORIC PRESERVATION BOARD - PRESENTATION - 14 JULY 2020



PROPOSED ELEVATION: NORTH



PROPOSED ELEVATION: SOUTH

HISTORIC PRESERVATION LEGEND

- 1 HISTORIC METAL BRISE SOLEIL TO BE RESTORED
- 2 EXISTING GLAZING TO BE REPLACED W/ CODE COMPLIANT SYSTEM
- 3 ORIGINAL HISTORIC RAIN SCREEN TO BE RESTORED AND INSTALLED W/ CODE COMPLIANT GLAZING
- 4 EXISTING STONE PANELS TO BE REPAIRED AS NEEDED
- 5 RESTORE ORIGINAL CANOPY
- 6 NEW GLASS OPENING TO MATCH EXISTING WINDOWS
- 7 NEW TOP RAILING TO ACHIEVE MIN. HEIGHT REQUIRED BY CODE
- 8 NEW RETRACTABLE ROOF
- 9 HISTORIC FLAG POLES TO BE RESTORED



URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

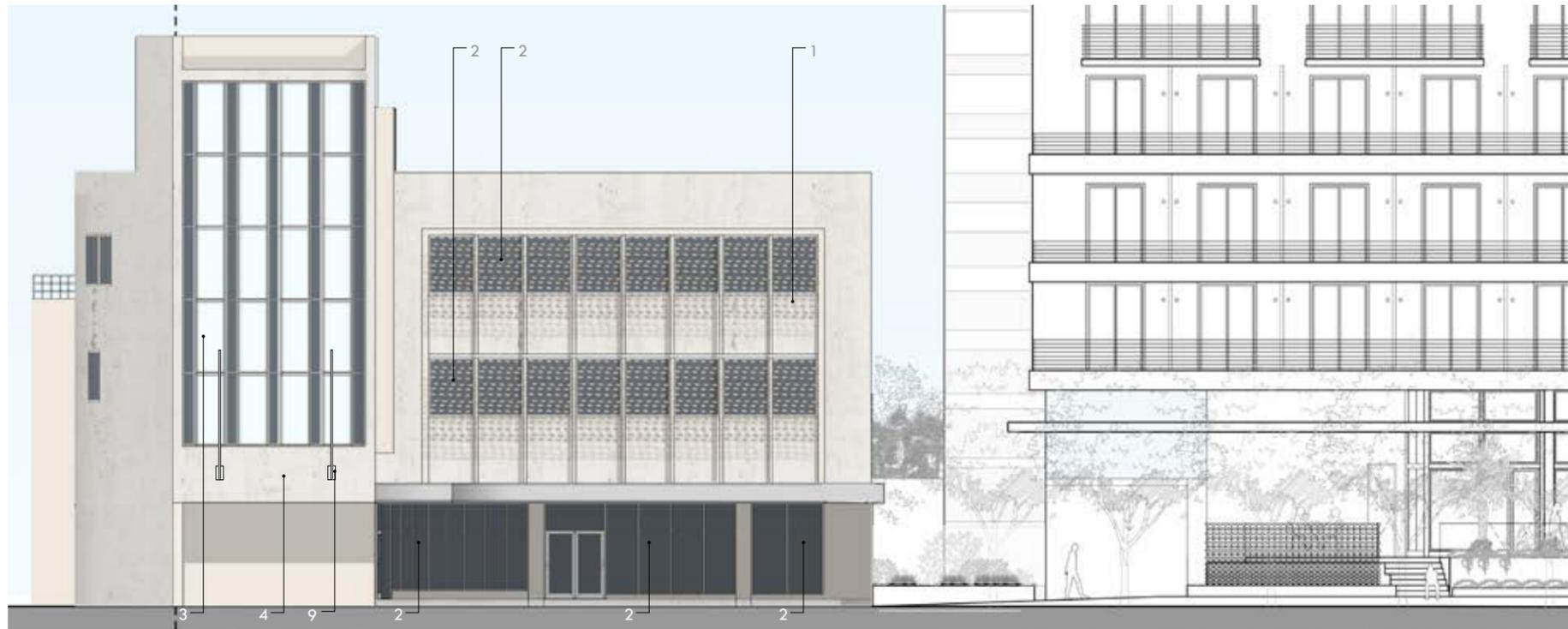


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PROPOSED OFFICE ELEVATIONS

SCALE: 1/16" = 1'-0"

A-12.18



PROPOSED ELEVATION: EAST



PROPOSED ELEVATION: WEST

HISTORIC PRESERVATION LEGEND

- 1 HISTORIC METAL BRISE SOLEIL TO BE RESTORED
- 2 EXISTING GLAZING TO BE REPLACED W/ CODE COMPLIANT SYSTEM
- 3 ORIGINAL HISTORIC RAIN SCREEN TO BE RESTORED AND INSTALLED W/ CODE COMPLIANT GLAZING
- 4 EXISTING STONE PANELS TO BE REPAIRED AS NEEDED
- 5 RESTORE ORIGINAL CANOPY
- 6 NEW GLASS OPENING TO MATCH EXISTING WINDOWS
- 7 NEW TOP RAILING TO ACHIEVE MIN. HEIGHT REQUIRED BY CODE
- 8 NEW RETRACTABLE ROOF
- 9 HISTORIC FLAG POLES TO BE RESTORED



URBIN RETREAT
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PROPOSED OFFICE ELEVATIONS

SCALE: 1/16" = 1'-0"

A-12.19



- RETAIL ON STREET
- RETAIL SETBACK FROM STREET
- HOTEL / RESIDENTIAL
- CIVIC / EDUCATION
- PLAZA
- PARKING



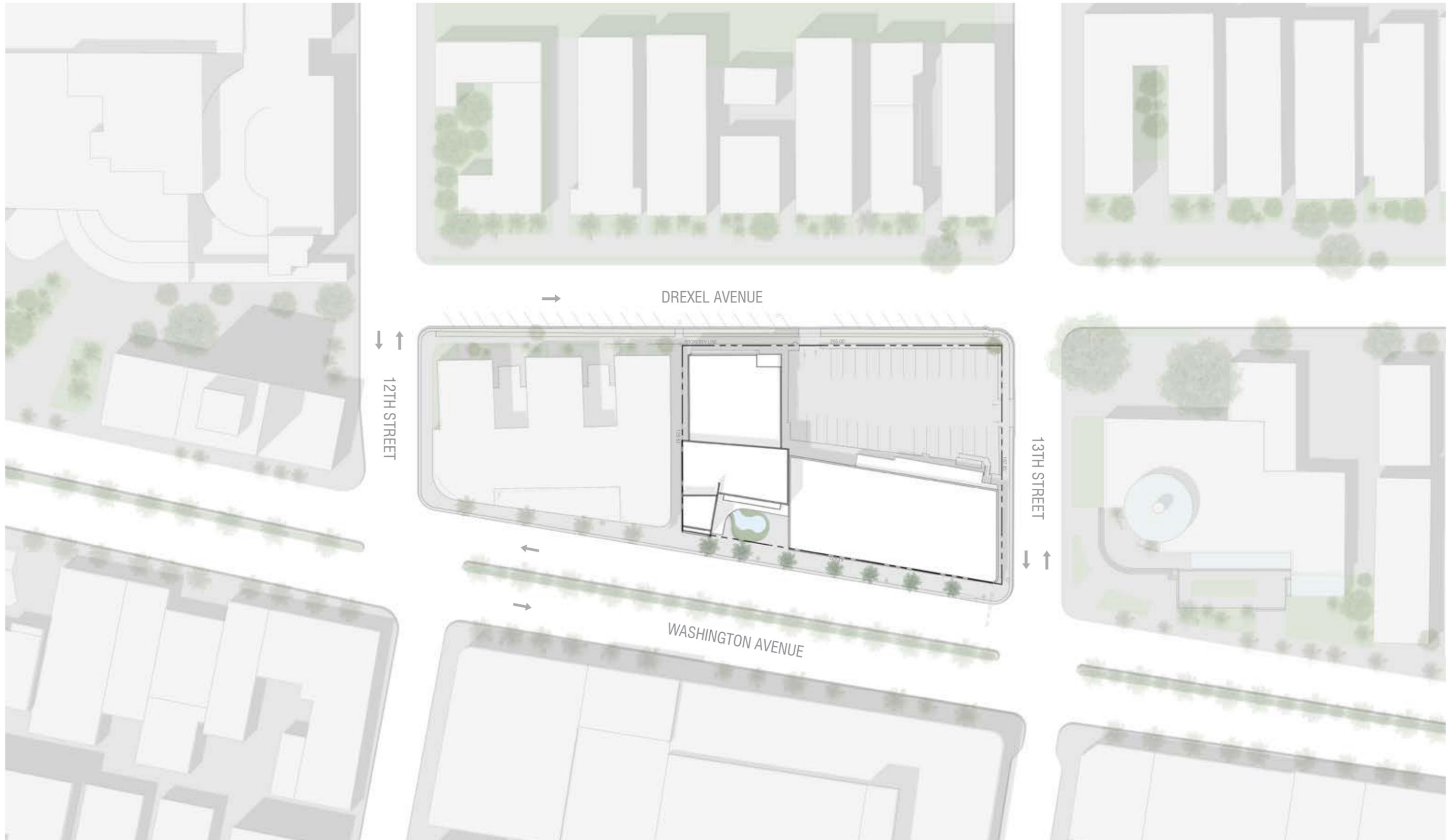
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URBAN DIAGRAM - PROPOSED STREET FRONTAGE



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EXISTING CONTEXT PLAN
 SCALE: 1/64" = 1'-0"

A-12.20



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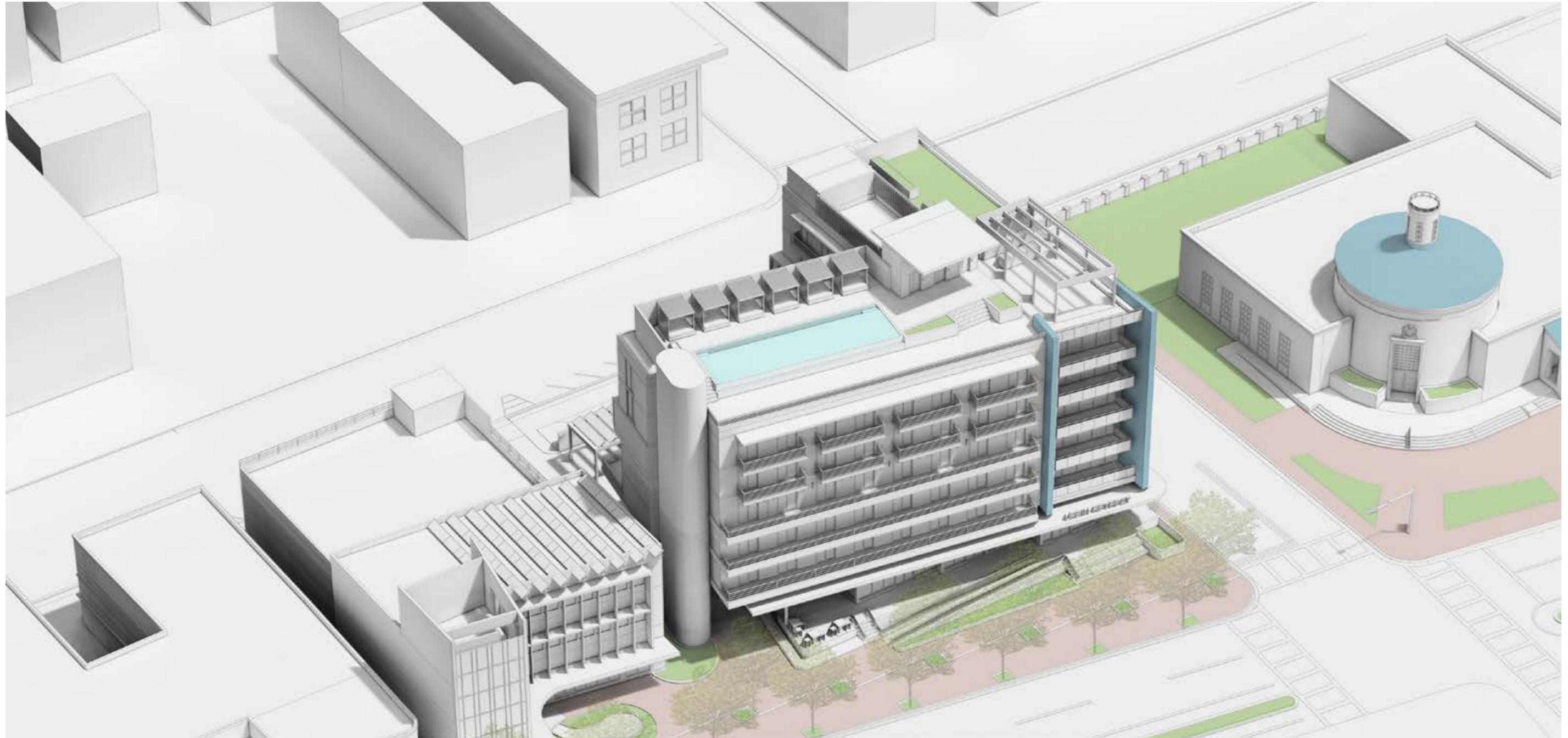


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PROPOSED CONTEXT PLAN
SCALE: 1/64" = 1'-0"

A-12.21



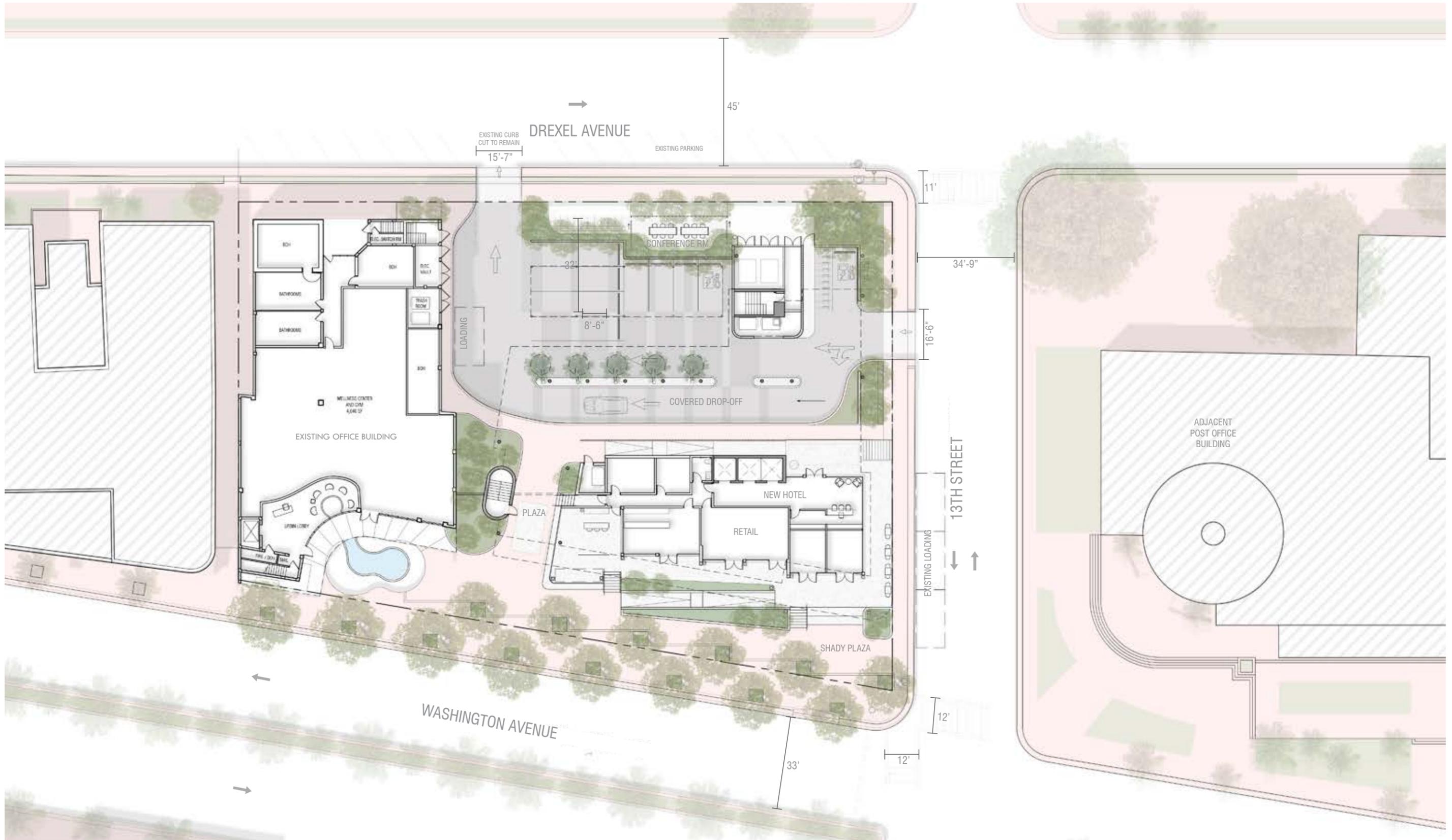
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PROPOSED AXONOMETRIC

A-12.26



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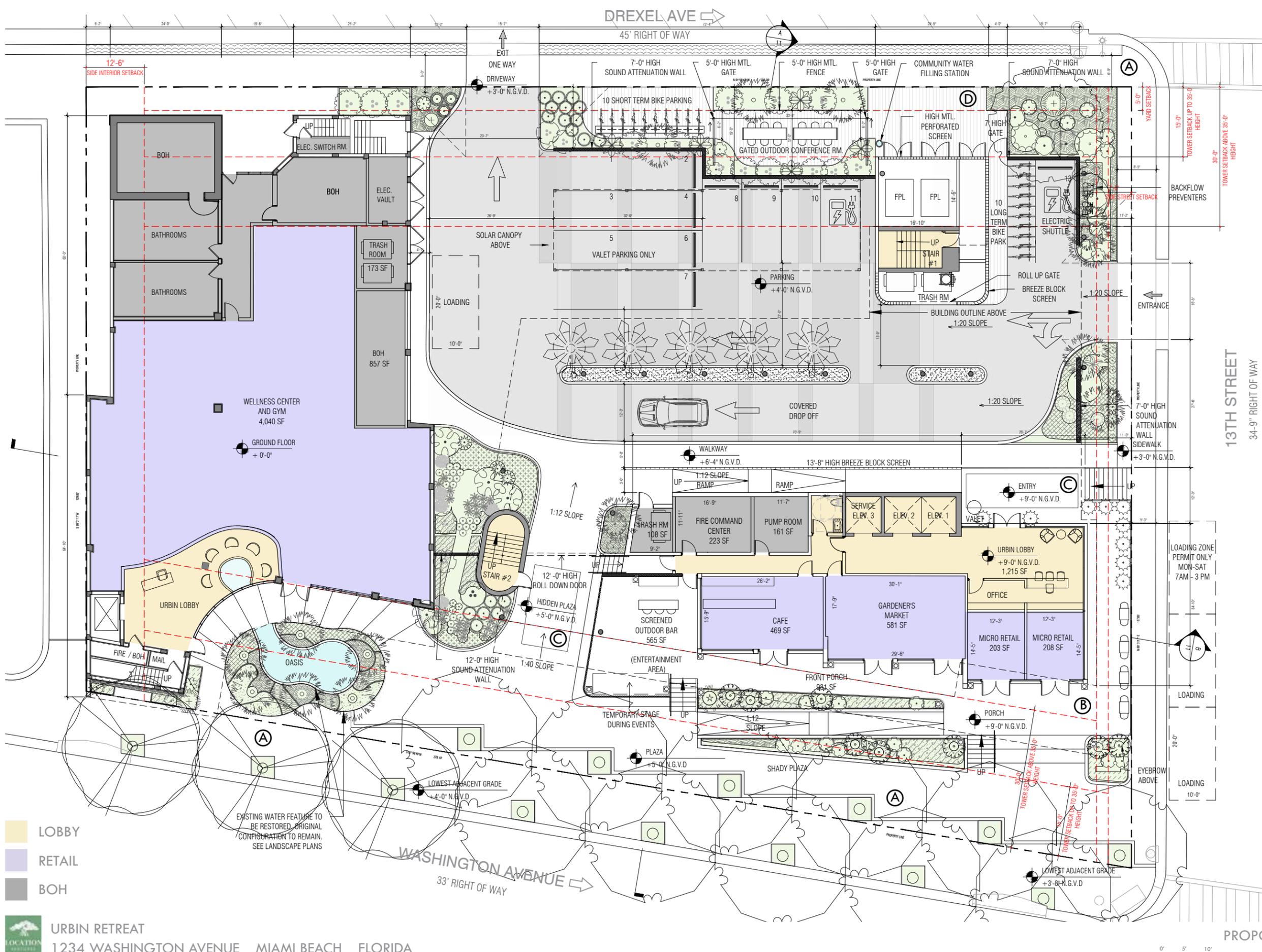


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URBAN DIAGRAM
SCALE: 1/32" = 1'-0"

A-14.1



- LOBBY
- RETAIL
- BOH

URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

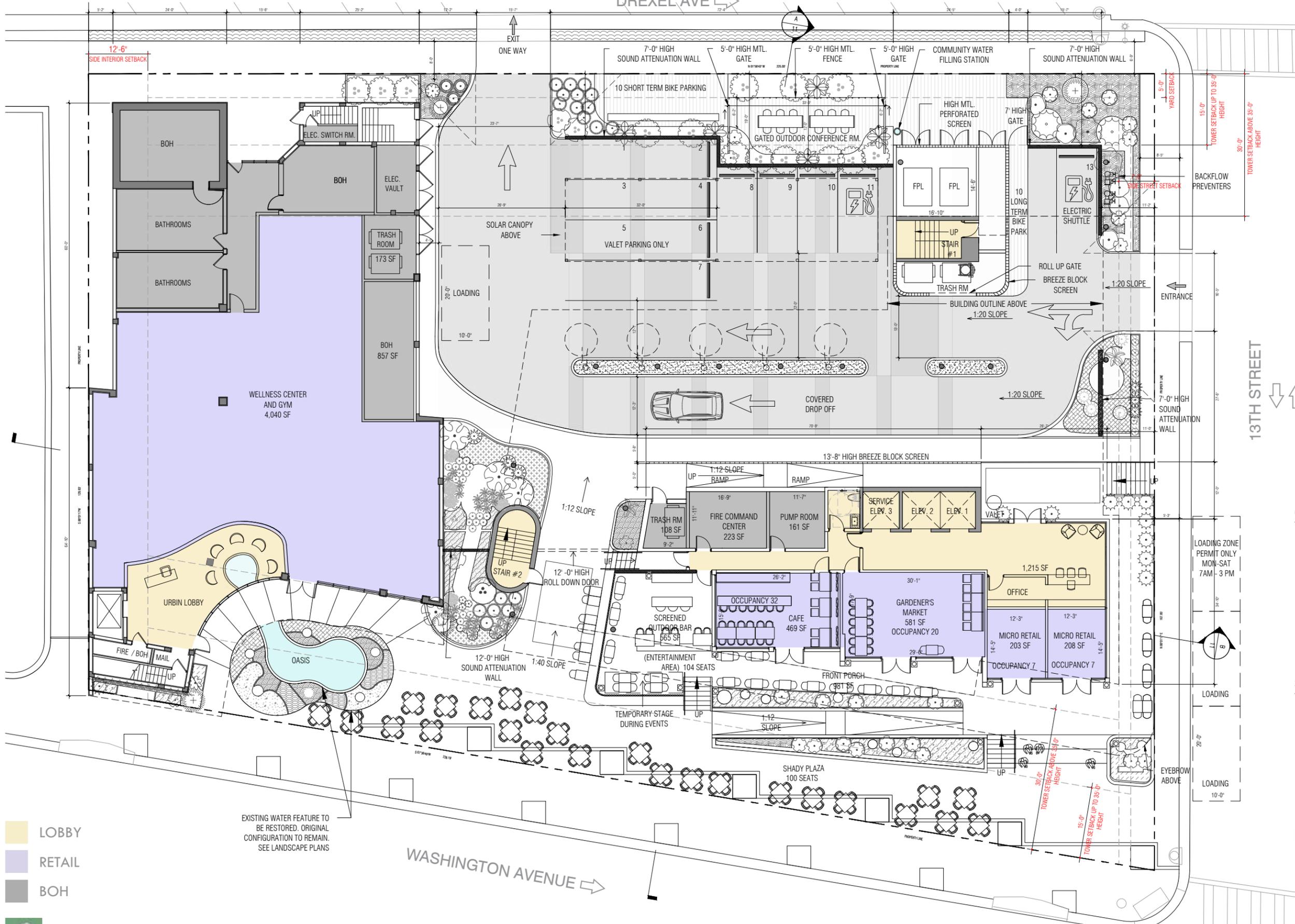
- FLOORING MATERIALS
- A PINK MIAMI BEACH STANDARD SIDEWALK
 - B TERRAZZO
 - C TERRAZZO INLAY
 - D CONCRETE PERMEABLE PAVER
- - 12 SPEAKERS TOTAL

PROPOSED GROUND FLOOR PLAN
 SCALE: 1:20

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DREXEL AVE



- LOBBY
- RETAIL
- BOH

EXISTING WATER FEATURE TO BE RESTORED. ORIGINAL CONFIGURATION TO REMAIN. SEE LANDSCAPE PLANS

WASHINGTON AVENUE

13TH STREET

OCCUPANCY COUNT

MARKET	20
CAFE	32
MICRO RETAIL 1	7
MICRO RETAIL 2	7
TOTAL	66

*BASED ON CODE OCCUPANCY PER SF

SEATING COUNT

MARKET	20
CAFE	32
OUTDOOR BAR	82
SHADY PLAZA	100
MICRO RETAIL 1	0
MICRO RETAIL 2	0
TOTAL	234 SEATS

⊗ - 12 SPEAKERS TOTAL

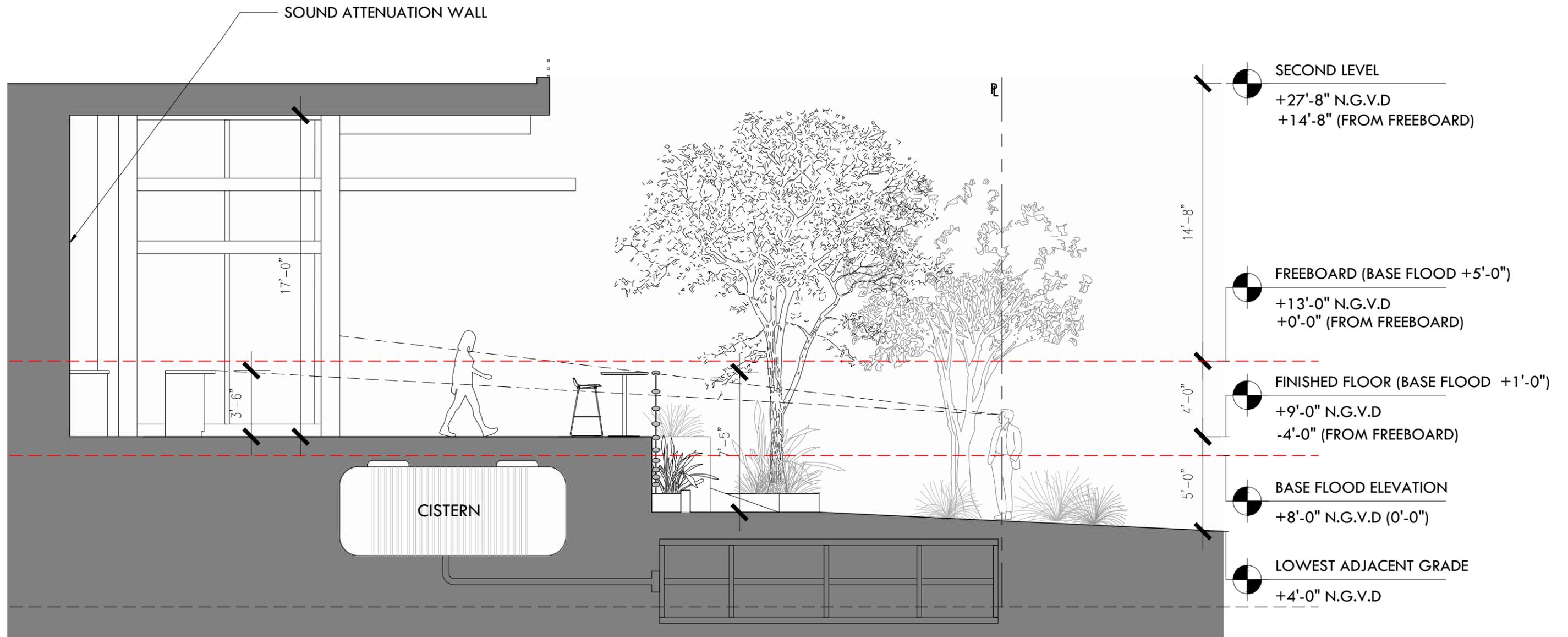
URBIN RETREAT
1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

PROPOSED GROUND FLOOR PLAN - F.F.E.

0' 5' 10' 25' 50' SCALE: 1:20

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GROUND FLOOR BAR SCREEN - SECTION DETAIL

SCALE: 3/16" = 1'-0"

A-44.1

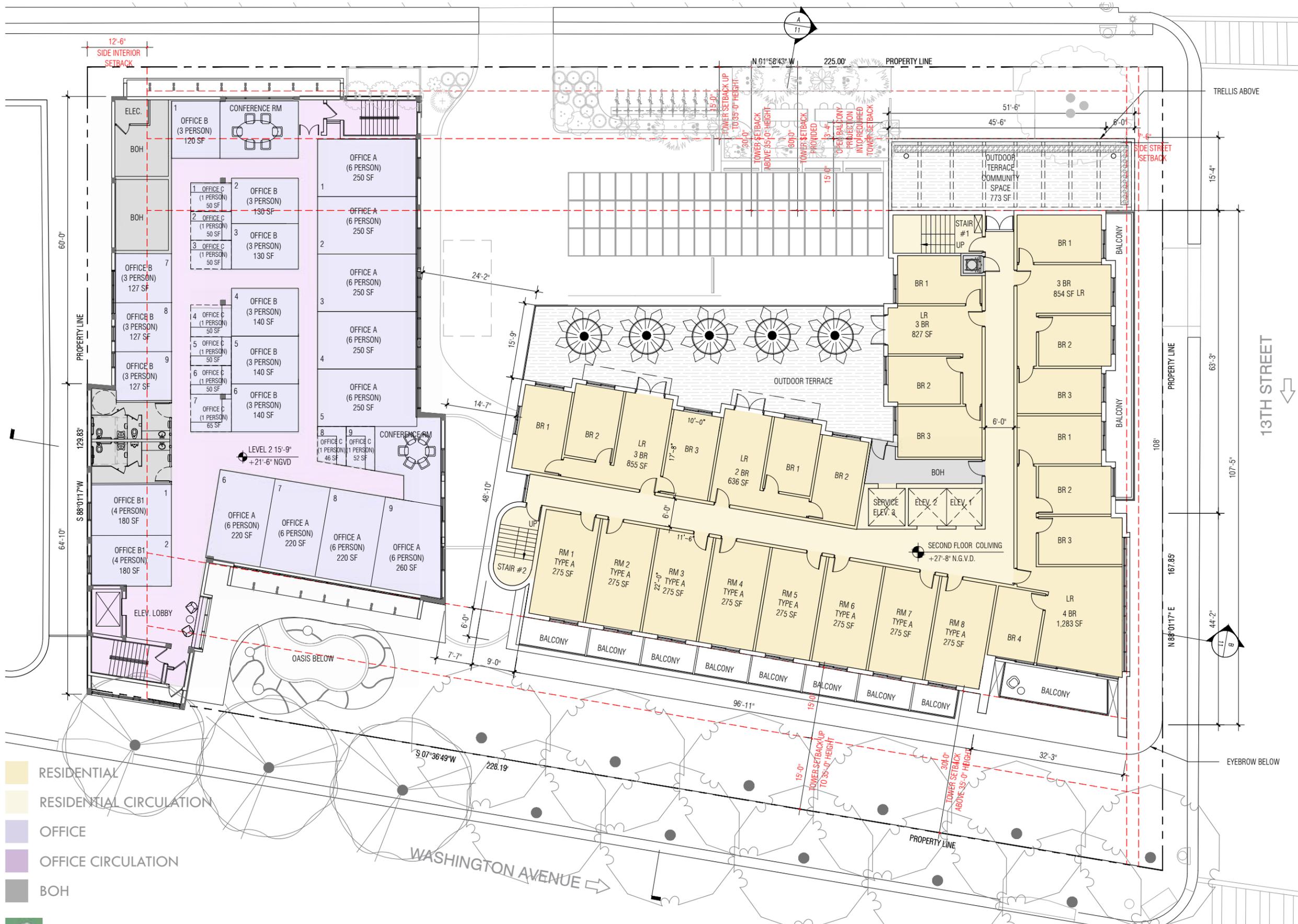


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PROPOSED VIEW FROM OASIS ON WASHINGTON AVENUE



- RESIDENTIAL
- RESIDENTIAL CIRCULATION
- OFFICE
- OFFICE CIRCULATION
- BOH

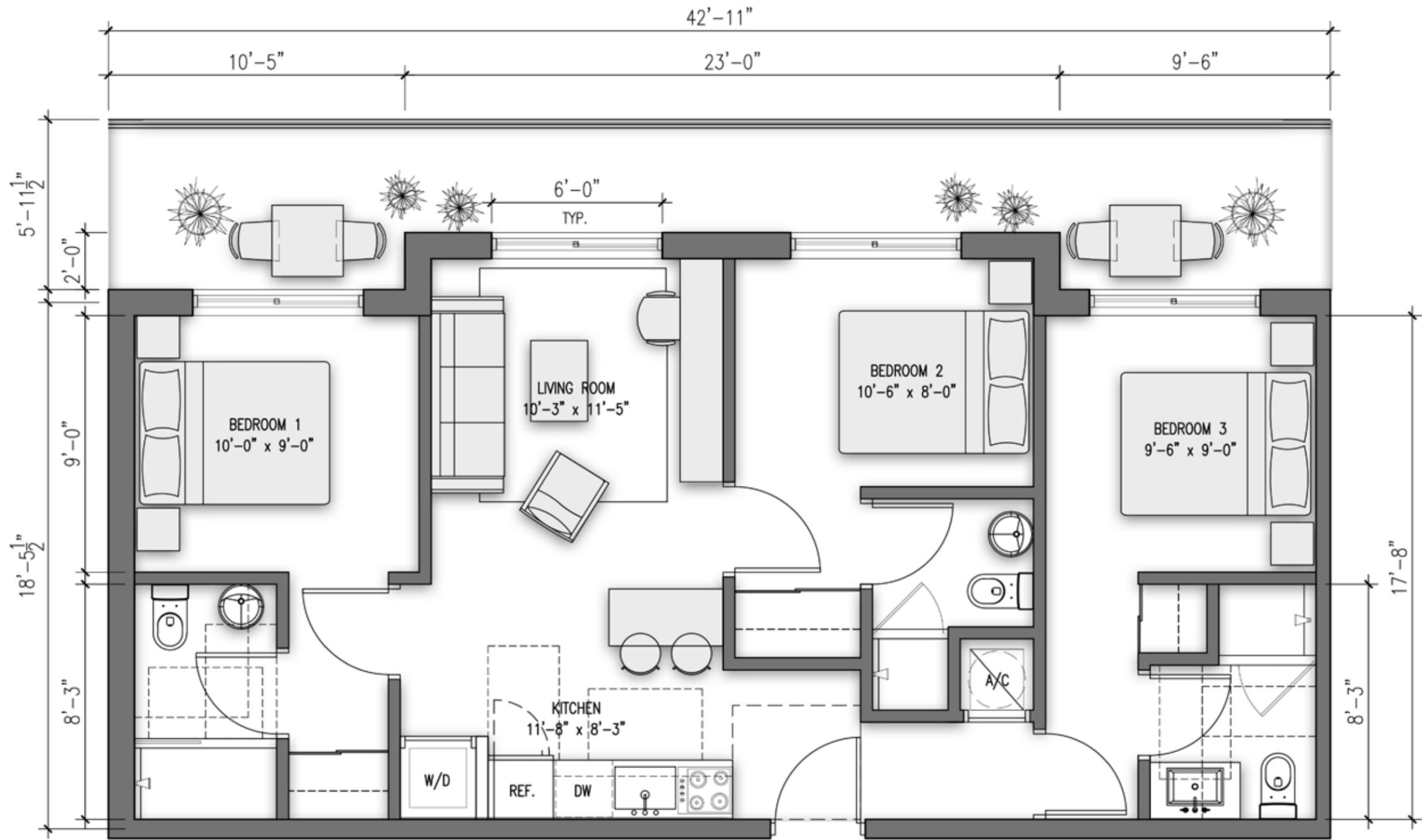
URBIN RETREAT
 1234 WASHINGTON AVENUE _ MIAMI BEACH _ FLORIDA

PROPOSED SECOND FLOOR: OFFICE & CO-LIVING

0' 5' 10' 25' 50' SCALE: 1:20

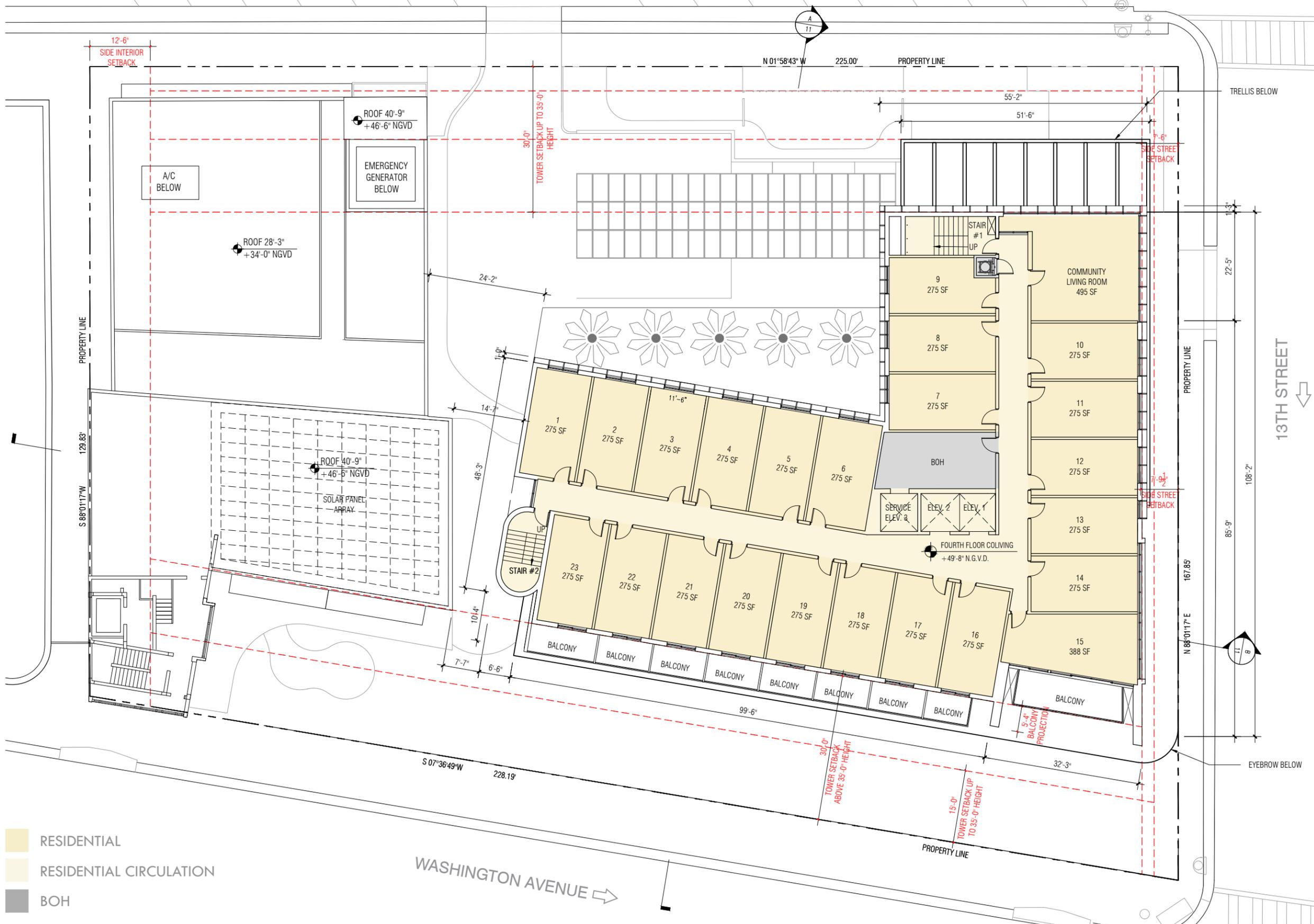
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855 SQUARE FEET

DREXEL AVE



- RESIDENTIAL
- RESIDENTIAL CIRCULATION
- BOH

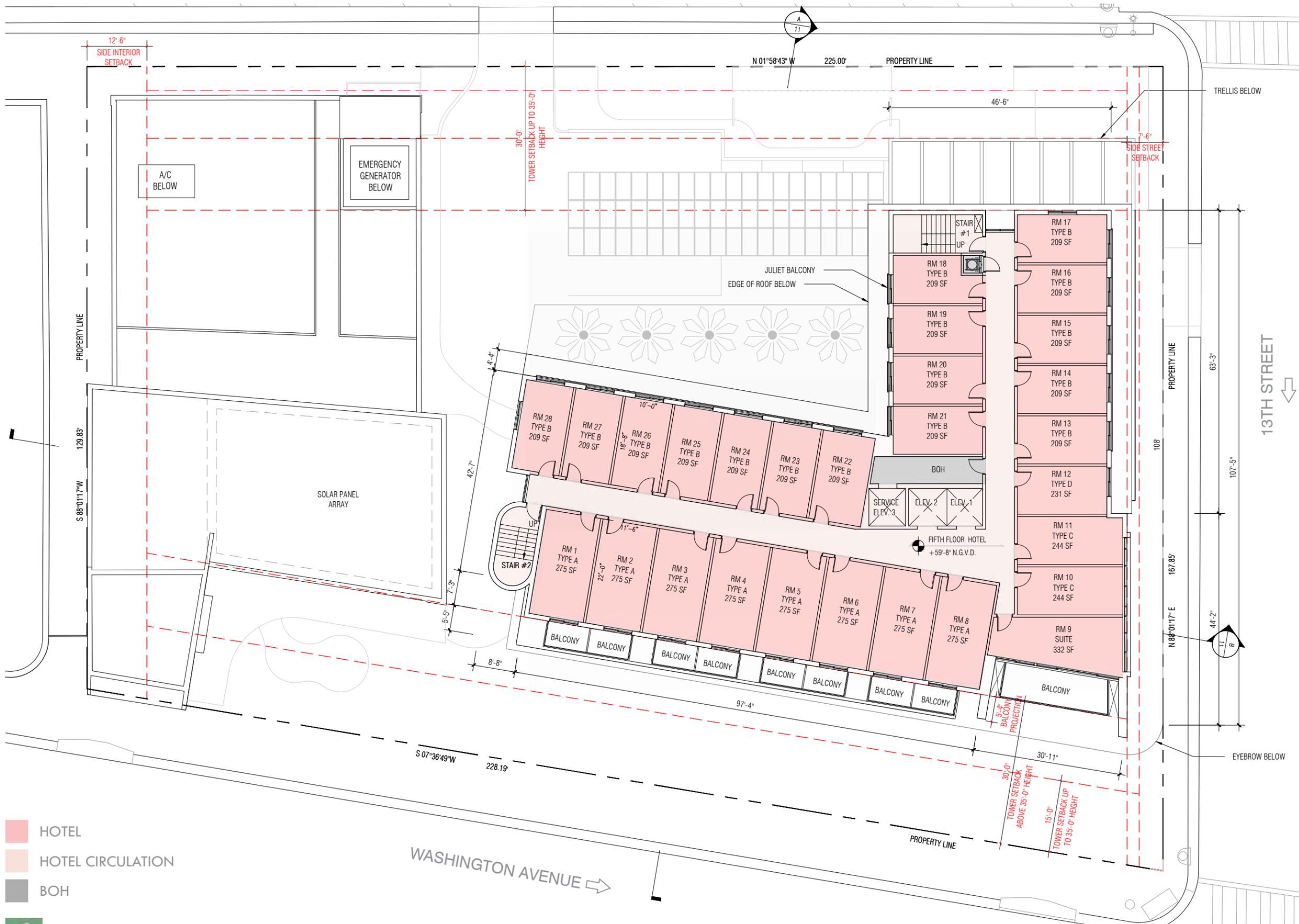
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PROPOSED FOURTH FLOOR: CO-LIVING
 0' 5' 10' 25' 50' SCALE: 1:20



DREXEL AVE



- HOTEL
- HOTEL CIRCULATION
- BOH

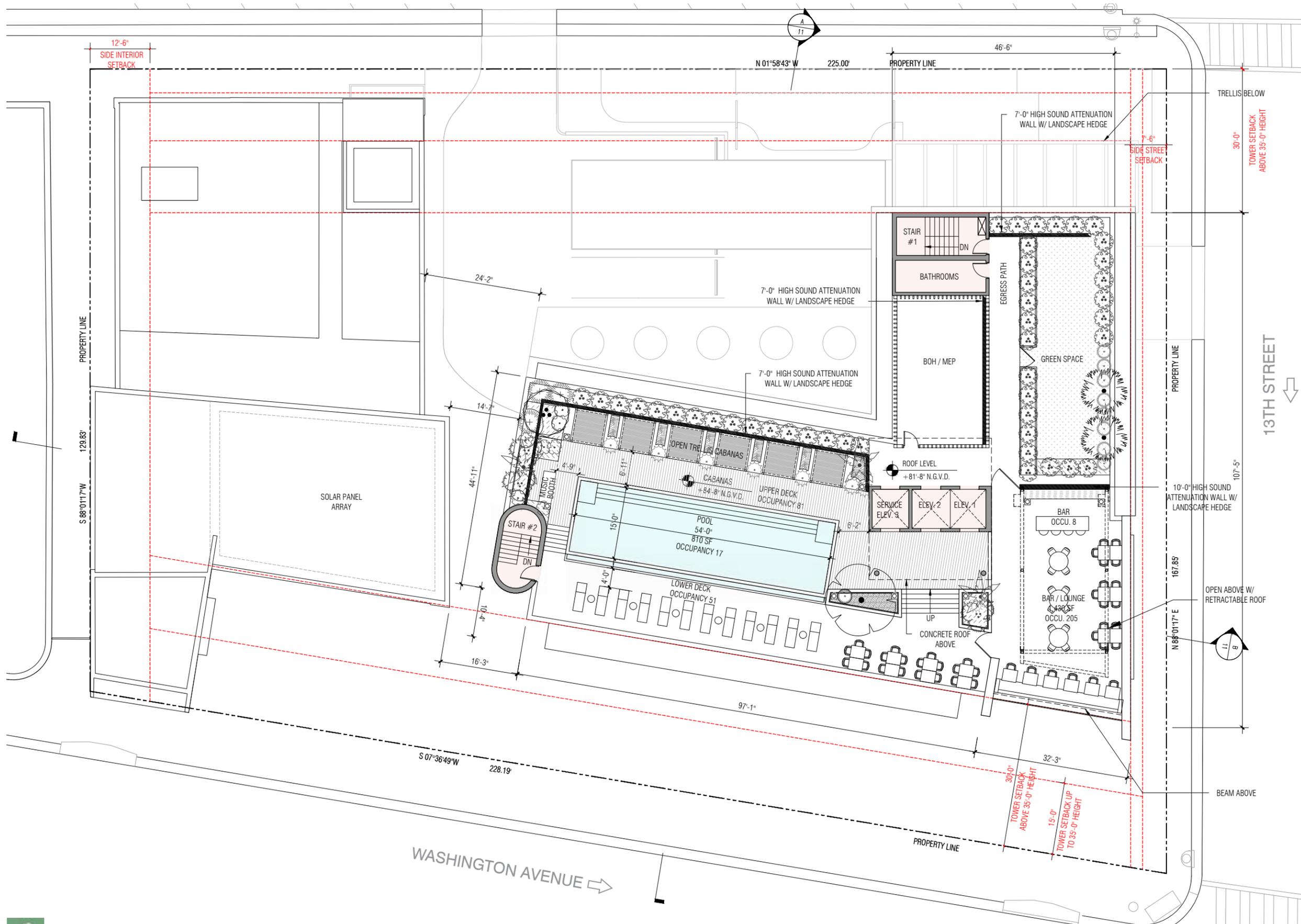
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PROPOSED FIFTH FLOOR - HOTEL
 0' 5' 10' 25' 50' SCALE: 1:20



DREXEL AVE



OCCUPANCY COUNT

UPPER DECK	81
LOWER DECK	51
POOL	17
BAR LOUNGE	205
TOTAL	354

*BASED ON CODE OCCUPANCY PER SF

SEATING COUNT

UPPER DECK	12 (2 PER CABANA)
LOWER DECK	12
POOL	0
BAR LOUNGE	63
TOTAL	87 SEATS

9 SPEAKERS TOTAL

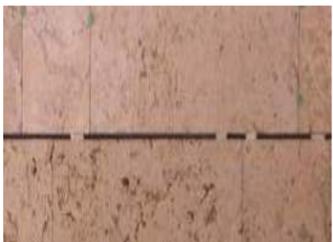
PROPOSED ROOF PLAN AND F.F.E.

0' 5' 10' 25' 50' SCALE: 1:20

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MIAMI BEACH INSPIRED



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MIAMI BEACH INSPIRATION



METAL BRISE SOLEL



ALUMINUM PRE-PATINA PANELS



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PREVIOUS - VIEW FROM WASHINGTON AVENUE



METAL BRISE SOLEL



PRE-PATINATED PANELS



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PROPOSED VIEW ON WASHINGTON AVENUE - LOOKING SOUTHWEST



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PROPOSED VIEW ON WASHINGTON AVENUE - LOOKING NORTHWEST

URBIN WORK



URBIN RETREAT
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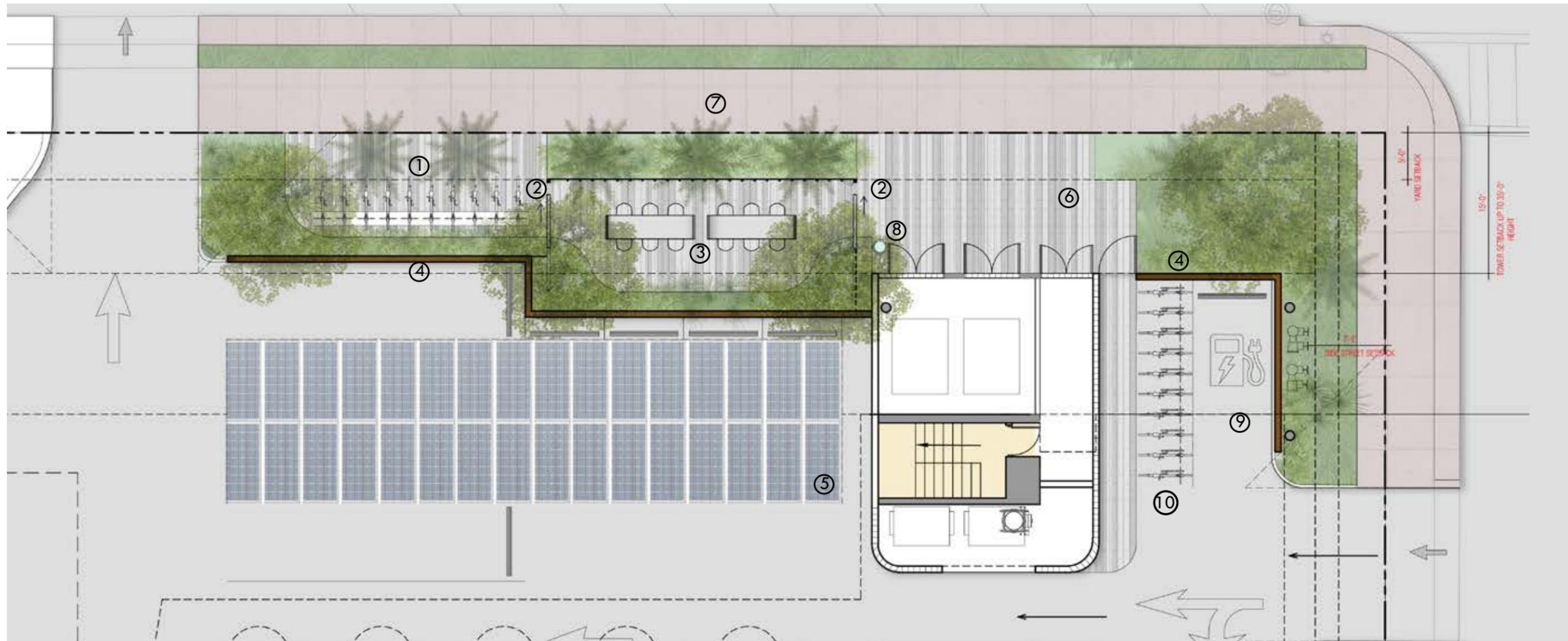


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URBAN ACTIVATION ON DREXEL AVENUE

A-22.1

HISTORIC PRESERVATION BOARD - PRESENTATION - 14 JULY 2020



③ CHARGING DESK



③ CHARGING DESK



① BICYCLE DESK



⑧ WATER FILLING STATION

LEGEND

1. 10 SHORT TERM PARKING - BICYCLE DESK
2. 5' HIGH GATE
3. CHARGING DESK (OUTDOOR CONFERENCE ROOM)
4. 7' HIGH SOUND ATTENUATION WALL
5. SOLAR CANOPY
6. PERMEABLE PAVERS
7. MIAMI BEACH PINK SIDEWALK
8. COMMUNITY WATER FILLING STATION
9. ELECTRIC SHUTTLE
10. 10 LONG TERM BIKE PARKING



URBIN RETREAT
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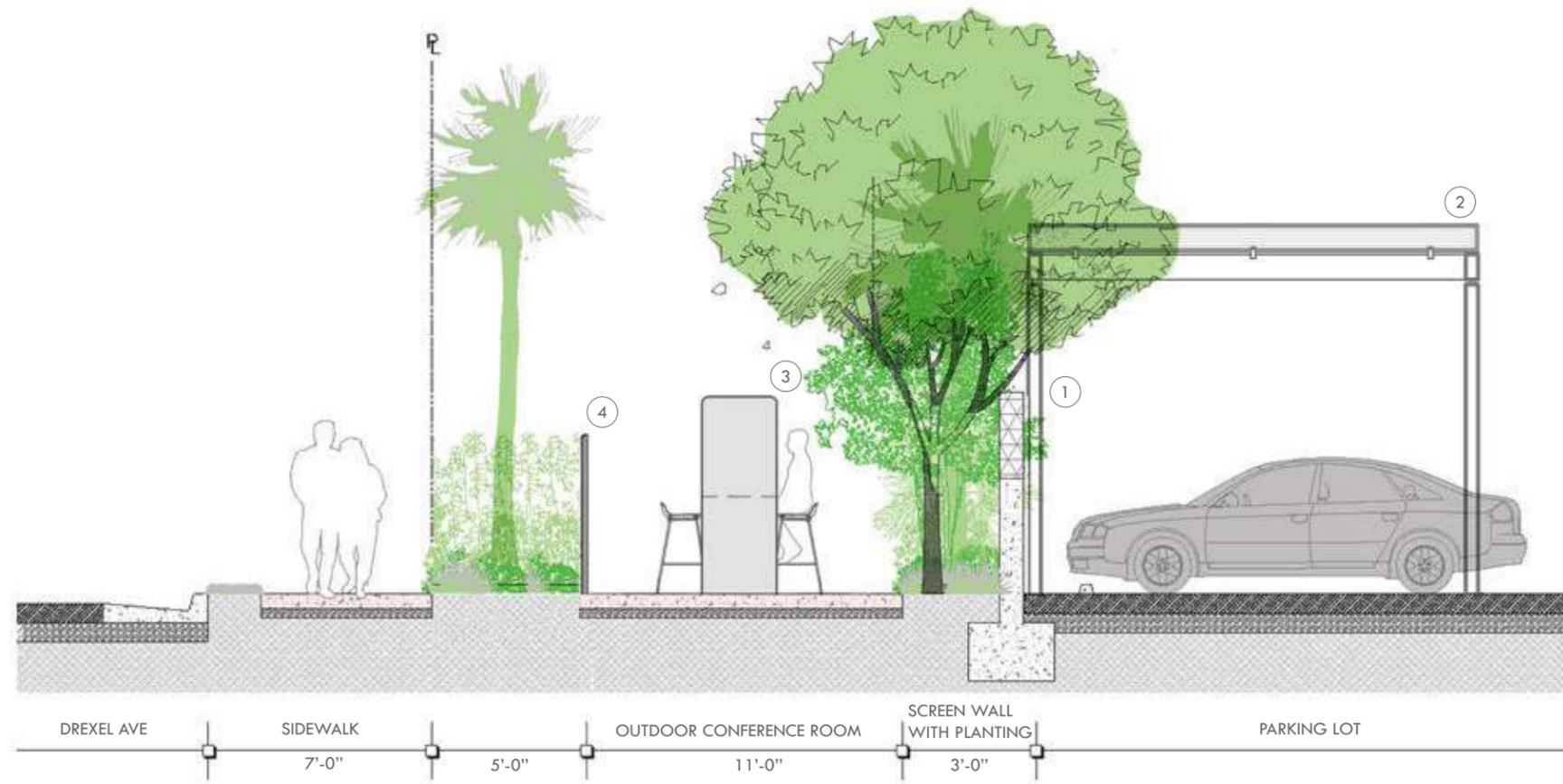
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URBAN ACTIVATION ON DREXEL AVENUE

SCALE: N/A

A-43

HISTORIC PRESERVATION BOARD - PRESENTATION - 14 JULY 2020



- LEGEND
- 1. 7' SOUND ATTENUATION WALL
 - 2. SOLAR CARPORT
 - 3. OUTDOOR TABLE W/ SOLAR PHONE CHARGING STATION
 - 4. 5' FENCE



URBIN RETREAT
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DREXEL AVENUE - SECTION DETAIL
SCALE: N/A

A-44



VIEW FROM OUTDOOR CONFERENCE ROOM ON DREXEL



VIEW FROM DREXEL AVENUE



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PROPOSED SITE VIEWS ON DREXEL AVENUE



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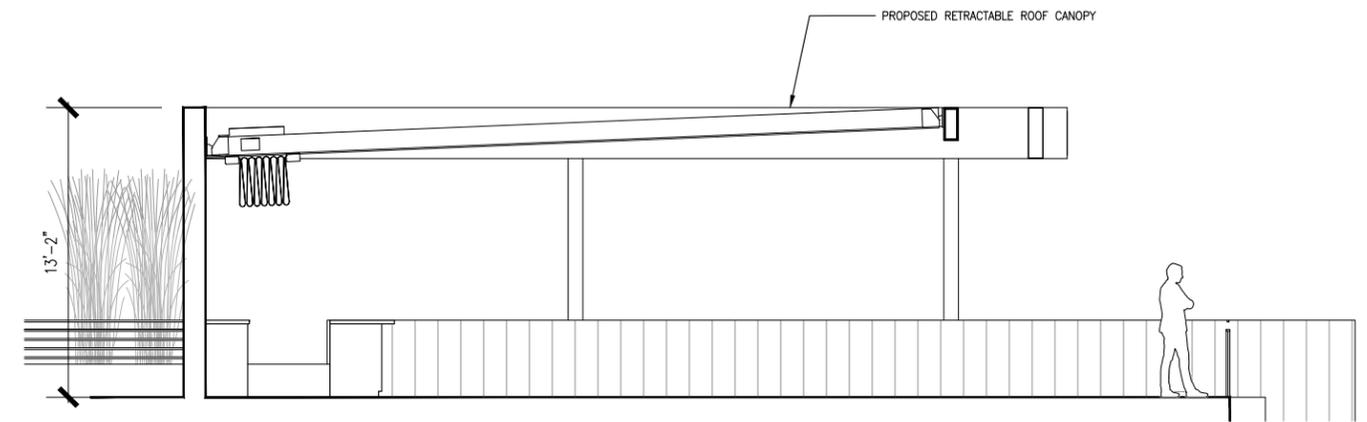


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PROPOSED CORNER VIEW ON WASHINGTON AVENUE

A-37.2

HISTORIC PRESERVATION BOARD - PRESENTATION - 14 JULY 2020



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ROOFTOP LEVEL - RETRACTABLE CANOPY DETAIL

SCALE: 1:20

A-50

HISTORIC PRESERVATION BOARD - PRESENTATION - 14 JULY 2020



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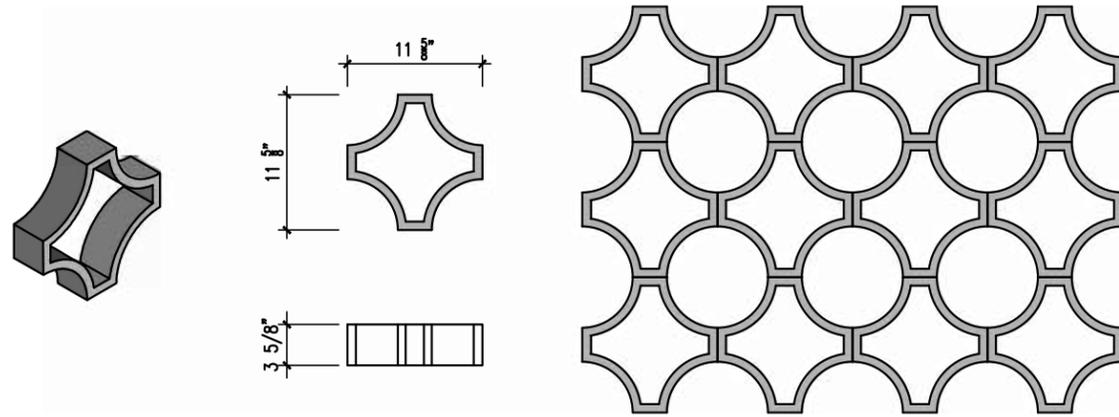


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PROPOSED ROOFTOP VIEW - LOOKING NORTH

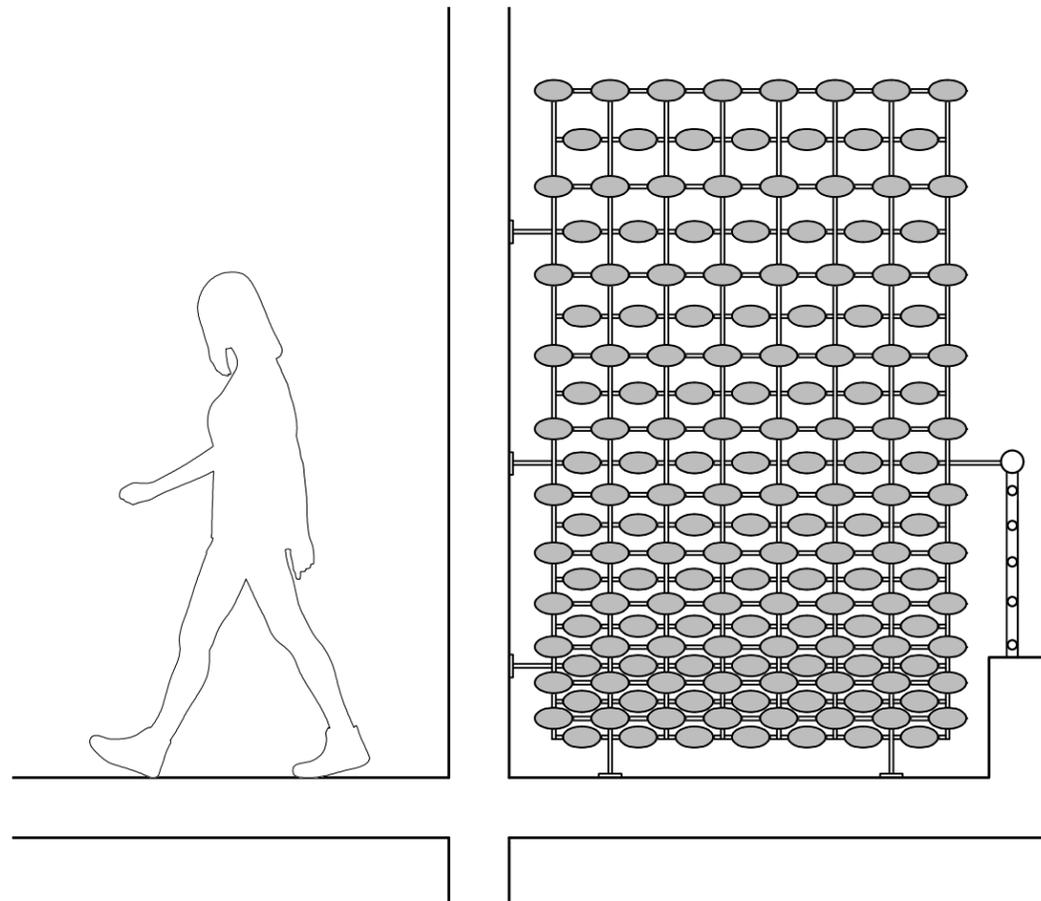
A-37.3

HISTORIC PRESERVATION BOARD - PRESENTATION - 14 JULY 2020



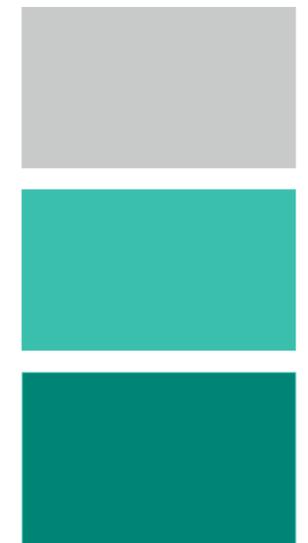
BREEZE BLOCK SCREENS ON GROUND FLOOR

SCALE: 3/4"=1'-0"



METAL SCREEN ON WASHINGTON AVENUE BALCONIES

SCALE: 1/2"=1'-0"



PANTONE COLOR OPTIONS

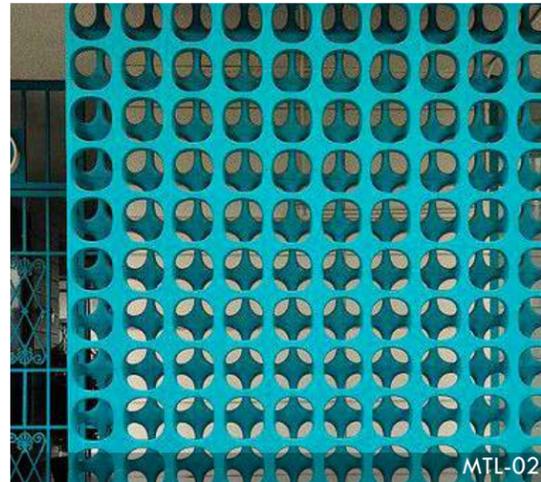
URBIN RETREAT
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SCREEN DETAILS
SCALE: N/A

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MTL-01



MTL-02



MTL-04



MTL-05



CNC-01



CP-01



CP-02



MTL-03 / MTL-6 / MTL-07



GL-01

MATERIAL LEGEND

- CP-01 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - MEDIUM GRAY
- CP-02 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - LIGHT GRAY
- CP-03 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - COLOR TBD
- CNC-01 CEMENT BREEZE BLOCK - PATTERN TBD
- CNC-02 CONCRETE EYEBROW W/ 5/8" EXTERIOR CEMENT PLASTER SMOOTH FINISH - WHITE
- CNC-03 SOUND ATTENUATION WALL - HEIGHTS VARY
- CNP-01 RETRACTABLE ROOF

- GL-01 LAMINATED TINTED GLASS UNITS W/ LARGE MISSILE IMPACT CLEAR INTERLAYER GRAY KYNAR FINISH ON METAL FRAME
- GL-02 TEMPERED FRITTED GLASS
- MTL-01 PRE-PATINATED COPPER PANELS
- MTL-02 DECORATIVE METAL SCREEN DIVIDERS - PATTERN TBD
- MTL-03 LIGHT GRAY CANOPY
- MTL-04 VERTICAL PANELS- GRAY AND WHITE
- MTL-05 VERTICAL LOUVERS - GRAY AND WHITE

- MTL-06 STRUCTURAL STEEL MEMBERS CLADDED IN ALUMINUM BREAK METAL FINISH TO MATCH STOREFRONT FRAMES
- MTL-07 METAL HANDRAIL / TOP RAIL
- MTL-08 METAL PERFORATED SCREEN - PATTERN TBD - HEIGHTS VARY
- PL-01 LANDSCAPE FEATURE
- PL-02 PLANTED TRELLIS STRUCTURE
- S-1 SOLAR CANOPY ON METAL GRAY FRAME
- T-1 MOSAIC TILE AND STUCCO PATTERN
- TS-01 TENANT SIGNAGE (UNDER SEPARATE SUBMITTAL)

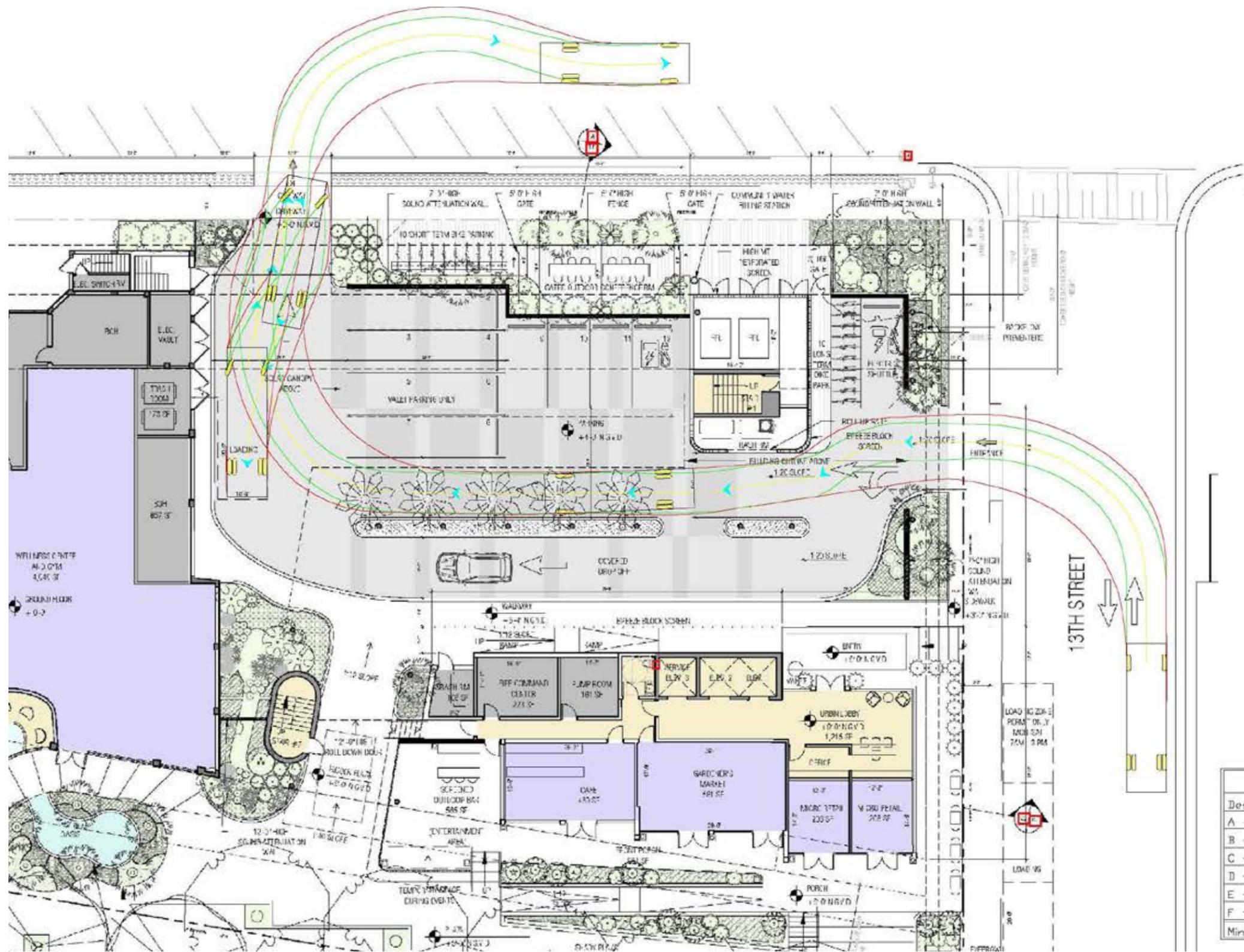
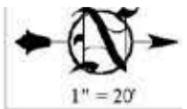


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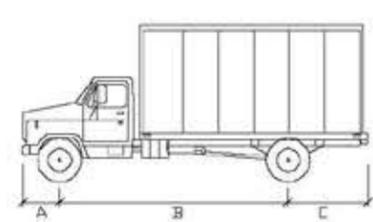


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PROPOSED MATERIAL PALETTE



SINGLE UNIT TRUCK DETAIL



Description	GB Ft.	GBm M
A - Front Overhang	4.0	1.2
B - Wheelbase	20.0	6.1
C - Rear Overhang	6.0	1.8
D - Width	8.5	2.6
E - Track	8.5	2.6
F - Steering Angle (deg)	31.6	31.6
Minimum Turning Radius	37.8	11.5

Traf Tech
ENGINEERING, INC.

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TRAFFIC MANEUVERABILITY DIAGRAM

PROJECT DATA

I. SITE DATA SUMMARY

ZONING CLASSIFICATION:	CD-2 COMMERCIAL, MEDIUM INTENSITY DISTRICT
HISTORIC DISTRICT	FLAMINGO PARK HISTORIC DISTRICT
FEMA ZONE	AE (EL. + 8.00' NGVD)
GROSS LOT AREA (2.0):	33,489 SF (0.7688 ACRE)
MAXIMUM F.A.R.	66,978 SF (2.0)

II. SETBACKS & YARD REQUIREMENTS

	REQUIRED	PROVIDED	VARIANCE
FRONT (Washington Ave):	up to 35' height 15'-0" above 35' height 30'-0"	15'-0" 30'-0"	
FRONT (Drexel Ave):	up to 35' height 15'-0" above 35' height 30'-0"	15'-0" 30'-0"	
SIDE STREET (13th Street):	7'-6"	7'-6"*	
SIDE INTERIOR (South Interior):	12'-6"	0'-0" EXISTING**	

III. F.A.R. SUMMARY

	ALLOWED	EXISTING	NEW CONSTRUCTION	PROVIDED
EXISTING OFFICE BUILDING:	NA	18,985 SF	NA	18,762 SF
NEW HOTEL AND CO-LIVE:	NA	NA	48,143 SF	48,143 SF
TOTAL F.A.R.:	66,978 SF	18,762 SF	48,143 SF	66,905 SF

IV. BUILDING STATISTICS

	ALLOWED	PROVIDED
NUMBER OF STORIES:	7	6
BUILDING HEIGHT (TOP OF ROOF SLAB)	75'-0" + 5'-0" FREEBOARD	72'-8" FROM BFE+FREEBOARD 77'-8"
BASE FLOOD ELEVATION	+8'-0"	
DESIGN BASE ELEVATION		+9'-0"

V. PROJECT GROSS AREA

	EXISTING	NEW CONSTRUCTION
	19,182 SF	82,622 SF

VI. PARKING

	REQUIRED	PROVIDED
	NA	11 SPACES WITH VALET SERVICE

VII. LOADING

	REQUIRED	PROVIDED	WAIVER
	4 (105 UNITS - 3 SPACES) (1618 SF - 1 SPACE)	1 OFF STREET 3 EXIST. ON STREET	CODE SECTION 130-101(D) TO REDUCE BY 3 THE OFF-STREET LOADING

*SUM OF THE SIDE SETBACKS SHALL EQUAL 16 % OF LOT WIDTH OR A MIN. OF SEVEN AND ONE HALF FEET UP TO 20 FEET

** RESIDENTIAL AND HOTEL USES: SUM OF THE SIDE SETBACKS SHALL EQUAL 16 % OF LOT WIDTH OR A MIN. OF SEVEN AND ONE-HALF FEET OR EIGHT % OF LOT WIDTH, WHICHEVER IS GREATER. WHEN ABUTTING A NONRESIDENTIAL OR NON-HOTEL USE, THE MIN. INTERIOR SIDE SETBACK SHALL BE SEVEN AND ONE-HALF FEET, AND THE MIN. SUM OF THE SIDE SETBACKS SHALL EQUAL 16% OF THE LOT WIDTH, UP TO 20 FEET.



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PROJECT DATA



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URBIN RETREAT NEW CONSTRUCTION		URBIN RETREAT NEW CONSTRUCTION - balconies and site		URBIN RETREAT EXISTING BUILDING	
GROUND FLOOR		GROUND FLOOR		GROUND FLOOR	
Retail GSF	1,481 SF	Retail outdoor bar GSF	565 SF	Retail GSF	5,125 SF
Office GSF				Office GSF	455 SF
Residential GSF	1,552 SF	Residential porche GSF	981 SF	Residential GSF	
BOH GSF	483 SF	Site gross area (exterior paved)	18,098 SF	BOH GSF	1,803 SF
Lodging GSF				Lodging GSF	
SUB-TOTAL	3,496 SF	SUB-TOTAL	19,644 SF	SUB-TOTAL	7,383 SF
2ND FLOOR		2ND FLOOR		2ND FLOOR	
Office GSF				Office GSF	7,119 SF
Residential GSF	8,502 SF	Residential balconies GSF	3,202 SF	Residential GSF	
BOH GSF	158 SF			BOH GSF	411 SF
Lodging GSF				Lodging GSF	
SUB-TOTAL	8,660 SF	SUB-TOTAL	3,202 SF	SUB-TOTAL	7,530 SF
3RD FLOOR		3RD FLOOR		3RD FLOOR	
Office GSF				Office GSF	3,615 SF
Residential GSF	8,493 SF	Residential balconies GSF	1,152 SF	Residential GSF	
BOH GSF	167 SF	Office activated terrace GSF	907 SF	BOH GSF	
Lodging GSF				Lodging GSF	
SUB-TOTAL	8,660 SF	SUB-TOTAL	2,059 SF	SUB-TOTAL	3,615 SF
4TH FLOOR		4TH FLOOR		4TH FLOOR	
Office GSF				Office GSF	455 SF
Residential GSF		Residential balconies GSF	727 SF	Residential GSF	
BOH GSF	302 SF			BOH GSF	199 SF
Lodging GSF	9,002 SF			Lodging GSF	
SUB-TOTAL	9,304 SF	SUB-TOTAL	727 SF	SUB-TOTAL	654 SF
5TH FLOOR		5TH FLOOR		5TH FLOOR	
Office GSF				Office GSF	
Residential GSF				Residential GSF	
BOH GSF	172 SF			BOH GSF	
Lodging GSF	8,491 SF	Lodging balconies GSF	562 SF	Lodging GSF	
SUB-TOTAL	8,663 SF	SUB-TOTAL	562 SF	SUB-TOTAL	
6TH FLOOR		6TH FLOOR		6TH FLOOR	
Office GSF				Office GSF	
Residential GSF				Residential GSF	
BOH GSF	172 SF			BOH GSF	
Lodging GSF	8,491 SF	Lodging balconies GSF	1,108 SF	Lodging GSF	
SUB-TOTAL	8,663 SF	SUB-TOTAL	1,108 SF	SUB-TOTAL	
ROOF		ROOF		ROOF	
Office GSF				Office GSF	
Residential GSF				Residential GSF	
BOH GSF				BOH GSF	
Lodging GSF	758 SF	Roof open deck and pool SF	7,116 SF	Lodging GSF	
SUB-TOTAL	758 SF	SUB-TOTAL	7,116 SF	SUB-TOTAL	
SUB-TOTAL		SUB-TOTAL		SUB-TOTAL	
Retail GSF	1,481 SF	Retail outdoor bar GSF	565 SF	Retail GSF	5,125 SF
Office GSF	0 SF	Outdoor porche GSF	981 SF	Office GSF	11,844 SF
Residential GSF	18,547 SF	Residential balconies and terraces GSF	5,081 SF	Residential GSF	0 SF
BOH GSF	1,282 SF	Site GSF	18,098 SF	BOH GSF	2,413 SF
Lodging GSF	18,251 SF	Lodging balconies and roof deck GSF	9,693 SF	Lodging GSF	0 SF
TOTAL GROSS SF	48,204 SF	TOTAL GROSS SF	34,418 SF	TOTAL GROSS EXISTING SF	19,182 SF
		TOTAL GROSS NEW CONSTRUCTION SF			
		82,622 SF			



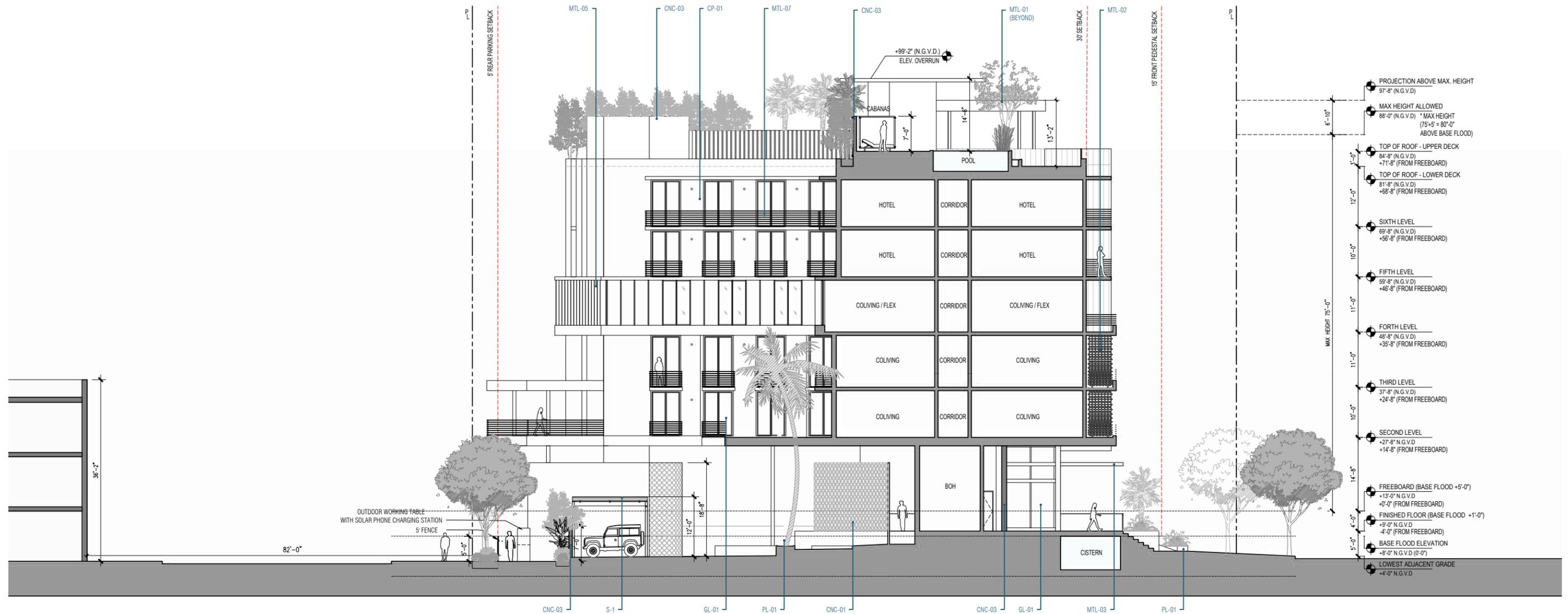
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AREA CALCULATIONS

A-12.25



MATERIAL LEGEND

CP-01	EXTERIOR CEMENT PLASTER - SMOOTH FINISH - MEDIUM GRAY	GL-01	LAMINATED TINTED GLASS UNITS W/ LARGE MISSILE IMPACT CLEAR INTERLAYER GRAY KYNAR FINISH ON METAL FRAME	MTL-06	STRUCTURAL STEEL MEMBERS CLADDED IN ALUMINUM BREAK METAL FINISH TO MATCH STOREFRONT FRAMES
CP-02	EXTERIOR CEMENT PLASTER - SMOOTH FINISH - LIGHT GRAY	GL-02	TEMPERED FRITTED GLASS	MTL-07	METAL HANDRAIL / TOP RAIL
CP-03	EXTERIOR CEMENT PLASTER - SMOOTH FINISH - COLOR TBD	MTL-01	PRE-PATINATED COPPER PANELS	MTL-08	METAL PERFORATED SCREEN - PATTERN TBD - HEIGHTS VARY
CNC-01	CEMENT BREEZE BLOCK - PATTERN TBD	MTL-02	DECORATIVE METAL SCREEN DIVIDERS - PATTERN TBD	PL-01	LANDSCAPE FEATURE
CNC-02	CONCRETE EYEBROW W/ 5/8" EXTERIOR CEMENT PLASTER SMOOTH FINISH - WHITE	MTL-03	LIGHT GRAY CANOPY	PL-02	PLANTED TRELLIS STRUCTURE
CNC-03	SOUND ATTENUATION WALL - HEIGHTS VARY	MTL-04	VERTICAL PANELS- GRAY AND WHITE	S-1	SOLAR CANOPY ON METAL GRAY FRAME
CNP-01	RETRACTABLE ROOF	MTL-05	VERTICAL LOUVERS - GRAY AND WHITE	T-1	MOSAIC TILE AND STUCCO PATTERN
				TS-01	TENANT SIGNAGE (UNDER SEPARATE SUBMITTAL)

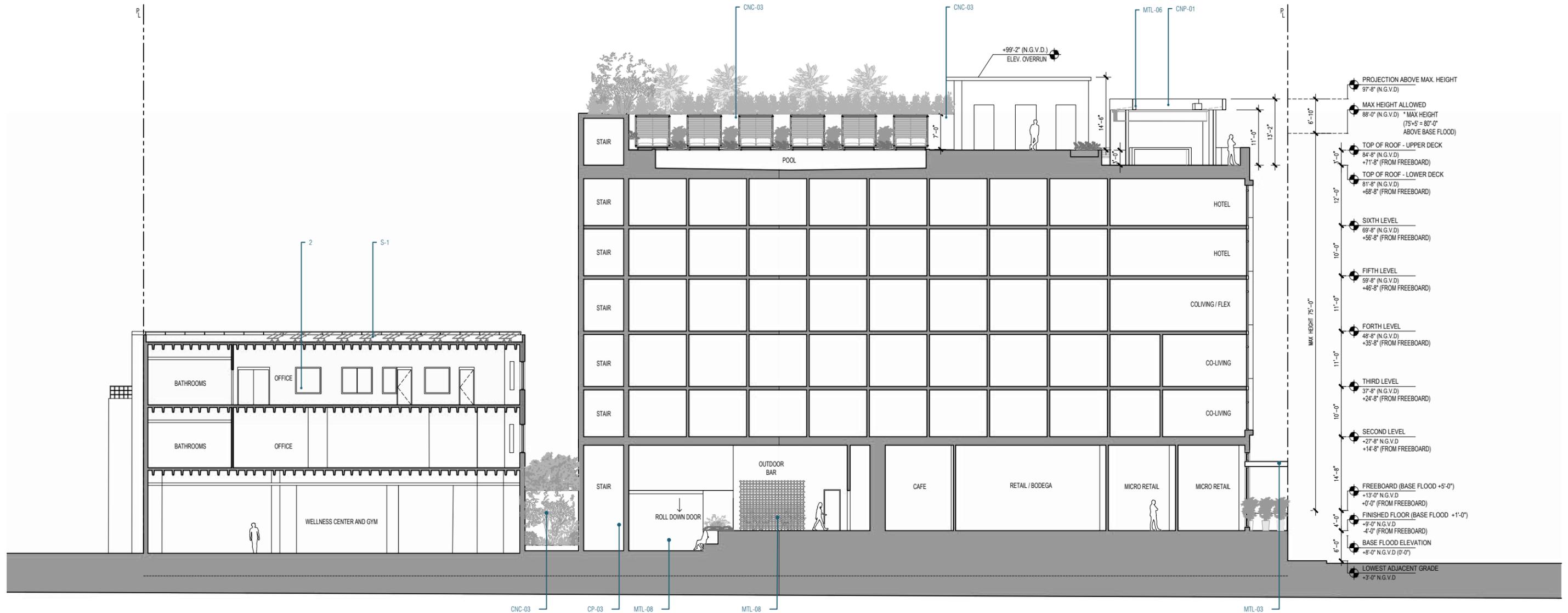


PROPOSED SECTION LOOKING NORTH

SCALE: 1:20

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MATERIAL LEGEND

- | | |
|---|--|
| CP-01 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - MEDIUM GRAY | GL-01 LAMINATED TINTED GLASS UNITS W/ LARGE MISSILE IMPACT CLEAR INTERLAYER GRAY KYNAR FINISH ON METAL FRAME |
| CP-02 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - LIGHT GRAY | GL-02 TEMPERED FRITTED GLASS |
| CP-03 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - COLOR TBD | MTL-01 PRE-PATINATED COPPER PANELS |
| CNC-01 CEMENT BREEZE BLOCK - PATTERN TBD | MTL-02 DECORATIVE METAL SCREEN DIVIDERS - PATTERN TBD |
| CNC-02 CONCRETE EYEBROW W/ 5/8" EXTERIOR CEMENT PLASTER SMOOTH FINISH - WHITE | MTL-03 LIGHT GRAY CANOPY |
| CNC-03 SOUND ATTENUATION WALL - HEIGHTS VARY | MTL-04 VERTICAL PANELS- GRAY AND WHITE |
| CNP-01 RETRACTABLE ROOF | MTL-05 VERTICAL LOUVERS - GRAY AND WHITE |

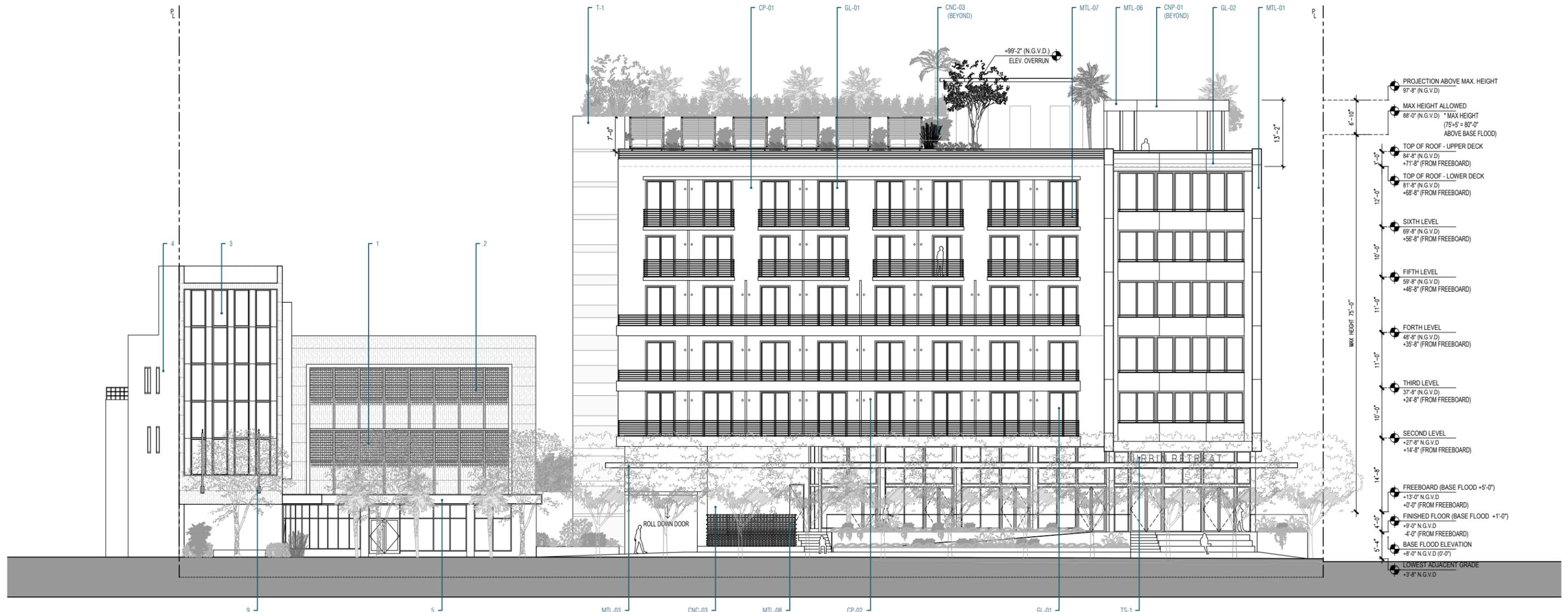
HISTORIC PRESERVATION LEGEND

- | |
|--|
| 1 HISTORIC METAL BRISE SOLEIL TO BE RESTORED |
| 2 EXISTING GLAZING TO BE REPLACED W/ CODE COMPLIANT SYSTEM |
| 3 ORIGINAL HISTORIC RAIN SCREEN TO BE RESTORED AND INSTALLED W/ CODE COMPLIANT GLAZING |
| 4 EXISTING STONE PANELS TO BE REPAIRED AS NEEDED |
| 5 RESTORE ORIGINAL CANOPY |
| 6 NEW GLASS OPENING TO MATCH EXISTING WINDOWS |
| 7 NEW TOP RAILING TO ACHIEVE MIN. HEIGHT REQUIRED BY CODE |
| 8 NEW RETRACTABLE ROOF |
| 9 HISTORIC FLAG POLES TO BE RESTORED |

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0' 5' 10' 25' 50'
PROPOSED SECTION LOOKING WEST
 SCALE: 1:20



PROJECTION ABOVE MAX. HEIGHT	97'-8" (N.G.V.D.)
MAX HEIGHT ALLOWED	88'-0" (N.G.V.D.) * MAX HEIGHT (75'+5' = 80'-0" ABOVE BASE FLOOD)
TOP OF ROOF - UPPER DECK	84'-8" (N.G.V.D.) +71'-8" (FROM FREEBOARD)
TOP OF ROOF - LOWER DECK	81'-8" (N.G.V.D.) +68'-8" (FROM FREEBOARD)
SIXTH LEVEL	69'-8" (N.G.V.D.) +56'-8" (FROM FREEBOARD)
FIFTH LEVEL	59'-8" (N.G.V.D.) +46'-8" (FROM FREEBOARD)
FORTH LEVEL	48'-8" (N.G.V.D.) +35'-8" (FROM FREEBOARD)
THIRD LEVEL	37'-8" (N.G.V.D.) +24'-8" (FROM FREEBOARD)
SECOND LEVEL	+27'-8" N.G.V.D. +14'-8" (FROM FREEBOARD)
FREEBOARD (BASE FLOOD +5'-0")	+13'-0" N.G.V.D. +0'-0" (FROM FREEBOARD)
FINISHED FLOOR (BASE FLOOD +1'-0")	+9'-0" N.G.V.D. -4'-0" (FROM FREEBOARD)
BASE FLOOD ELEVATION	+8'-0" N.G.V.D. (0'-0")
LOWEST ADJACENT GRADE	+3'-8" N.G.V.D.

MATERIAL LEGEND

CP-01 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - MEDIUM GRAY	GL-01 LAMINATED TINTED GLASS UNITS W/ LARGE MISSILE IMPACT CLEAR INTERLAYER GRAY KYNAR FINISH ON METAL FRAME	MTL-06 STRUCTURAL STEEL MEMBERS CLADDED IN ALUMINUM BREAK METAL FINISH TO MATCH STOREFRONT FRAMES
CP-02 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - LIGHT GRAY	GL-02 TEMPERED FRITTED GLASS	MTL-07 METAL HANDRAIL / TOP RAIL
CP-03 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - COLOR TBD	MTL-01 PRE-PATINATED COPPER PANELS	MTL-08 METAL PERFORATED SCREEN - PATTERN TBD - HEIGHTS VARY
CNC-01 CEMENT BREEZE BLOCK - PATTERN TBD	MTL-02 DECORATIVE METAL SCREEN DIVIDERS - PATTERN TBD	PL-01 LANDSCAPE FEATURE
CNC-02 CONCRETE EYEBROW W/ 5/8" EXTERIOR CEMENT PLASTER SMOOTH FINISH - WHITE	MTL-03 LIGHT GRAY CANOPY	PL-02 PLANTED TRELLIS STRUCTURE
CNC-03 SOUND ATTENUATION WALL - HEIGHTS VARY	MTL-04 VERTICAL PANELS- GRAY AND WHITE	S-1 SOLAR CANOPY ON METAL GRAY FRAME
CNP-01 RETRACTABLE ROOF	MTL-05 VERTICAL LOUVERS - GRAY AND WHITE	T-1 MOSAIC TILE AND STUCCO PATTERN
		TS-01 TENANT SIGNAGE (UNDER SEPARATE SUBMITTAL)

HISTORIC PRESERVATION LEGEND

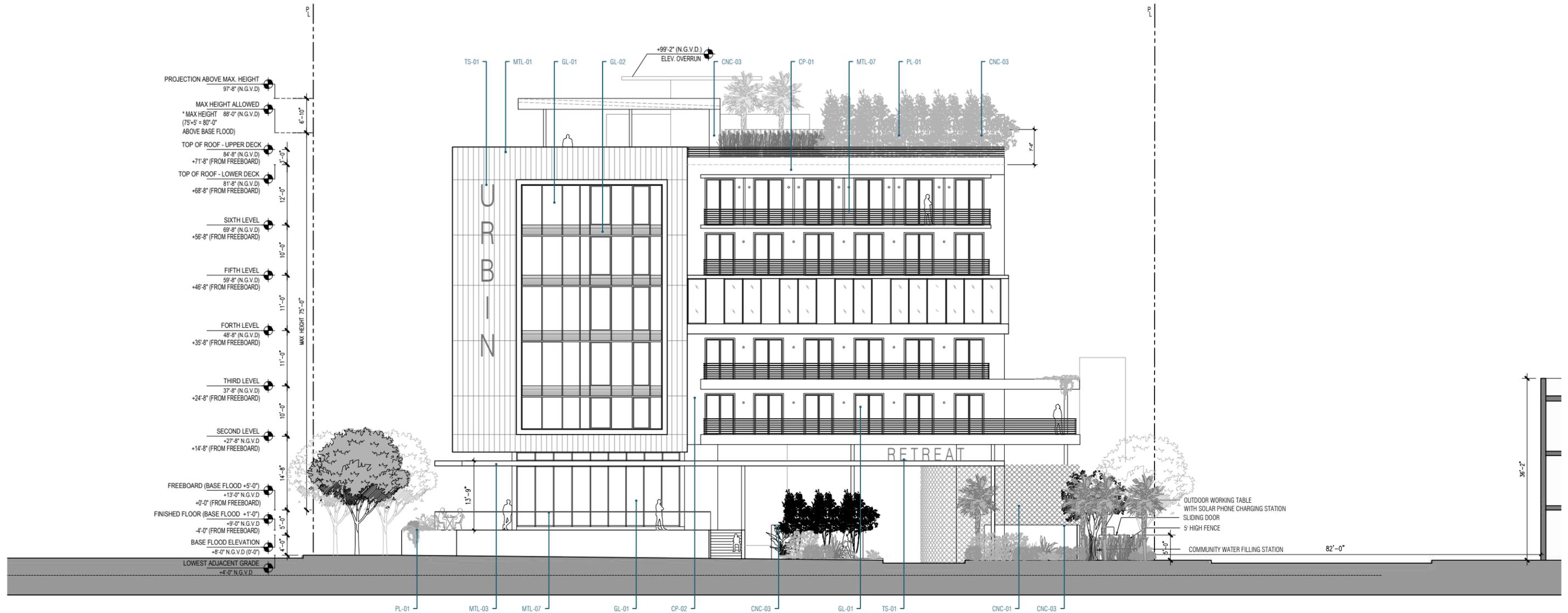
- 1 HISTORIC METAL BRISE SOLEIL TO BE RESTORED
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- 7 NEW TOP RAILING TO ACHIEVE MIN. HEIGHT REQUIRED BY CODE
- 8 NEW RETRACTABLE ROOF
- 9 HISTORIC FLAG POLES TO BE RESTORED



URBIN RETREAT
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PROPOSED ELEVATION: WASHINGTON AVENUE
 SCALE: 1:20

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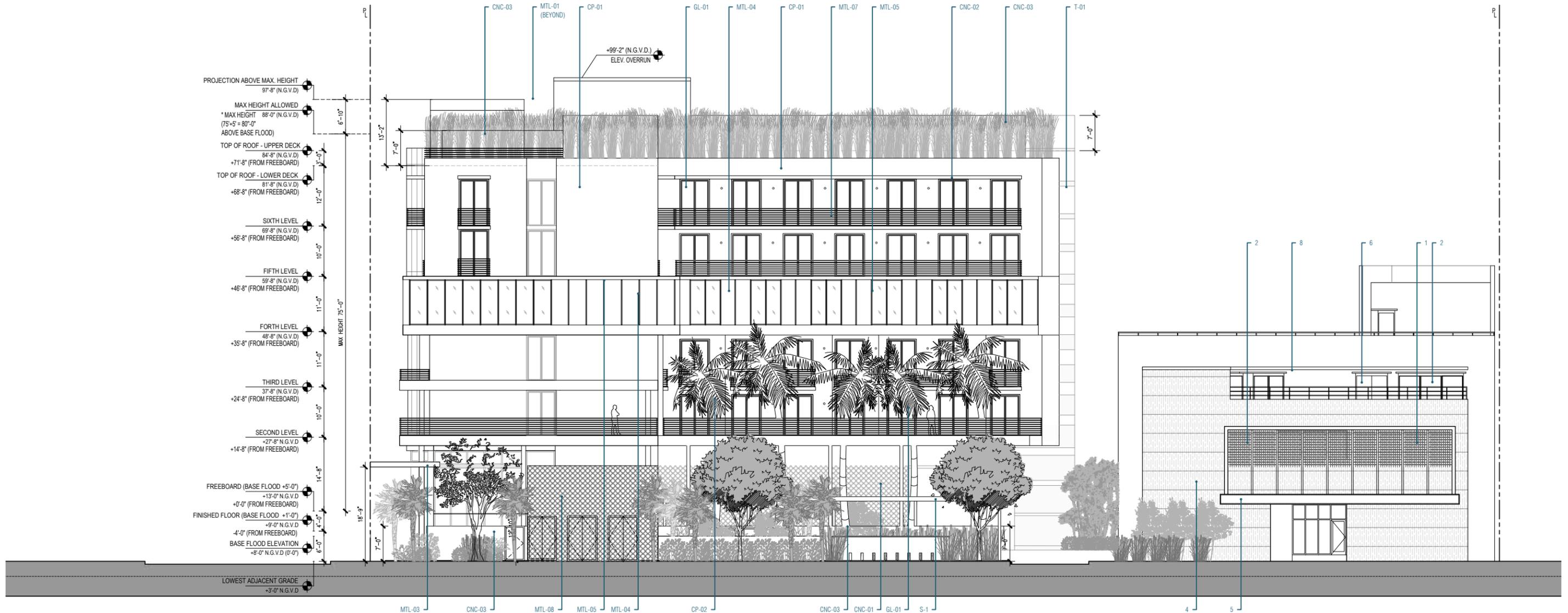
MATERIAL LEGEND

CP-01	5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - MEDIUM GRAY	GL-01	LAMINATED TINTED GLASS UNITS W/ LARGE MISSILE IMPACT CLEAR INTERLAYER GRAY KYNAR FINISH ON METAL FRAME	MTL-06	STRUCTURAL STEEL MEMBERS CLADDED IN ALUMINUM BREAK METAL FINISH TO MATCH STOREFRONT FRAMES
CP-02	5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - LIGHT GRAY	GL-02	TEMPERED FRITTED GLASS	MTL-07	METAL HANDRAIL / TOP RAIL
CP-03	5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - COLOR TBD	MTL-01	PRE-PATINATED COPPER PANELS	MTL-08	METAL PERFORATED SCREEN - PATTERN TBD - HEIGHTS VARY
CNC-01	CEMENT BREEZE BLOCK - PATTERN TBD	MTL-02	DECORATIVE METAL SCREEN DIVIDERS - PATTERN TBD	PL-01	LANDSCAPE FEATURE
CNC-02	CONCRETE EYEBROW W/ 5/8" EXTERIOR CEMENT PLASTER SMOOTH FINISH - WHITE	MTL-03	LIGHT GRAY CANOPY	PL-02	PLANTED TRELLIS STRUCTURE
CNC-03	SOUND ATTENUATION WALL - HEIGHTS VARY	MTL-04	VERTICAL PANELS- GRAY AND WHITE	S-1	SOLAR CANOPY ON METAL GRAY FRAME
CNP-01	RETRACTABLE ROOF	MTL-05	VERTICAL LOUVERS - GRAY AND WHITE	T-1	MOSAIC TILE AND STUCCO PATTERN
				TS-01	TENANT SIGNAGE (UNDER SEPARATE SUBMITTAL)



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PROPOSED ELEVATION: 13TH STREET
SCALE: 1:20



MATERIAL LEGEND

- CP-01 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - MEDIUM GRAY
- CP-02 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - LIGHT GRAY
- CP-03 5/8" EXTERIOR CEMENT PLASTER - SMOOTH FINISH - COLOR TBD
- CNC-01 CEMENT BREEZE BLOCK - PATTERN TBD
- CNC-02 CONCRETE EYEBROW W/ 5/8" EXTERIOR CEMENT PLASTER SMOOTH FINISH - WHITE
- CNC-03 SOUND ATTENUATION WALL - HEIGHTS VARY
- CNP-01 RETRACTABLE ROOF

- GL-01 LAMINATED TINTED GLASS UNITS W/ LARGE MISSILE IMPACT CLEAR INTERLAYER GRAY KYNAR FINISH ON METAL FRAME
- GL-02 TEMPERED FRITTED GLASS
- MTL-01 PRE-PATINATED COPPER PANELS
- MTL-02 DECORATIVE METAL SCREEN DIVIDERS - PATTERN TBD
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HISTORIC PRESERVATION LEGEND

- 1 HISTORIC METAL BRISE SOLEIL TO BE RESTORED
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- 9 HISTORIC FLAG POLES TO BE RESTORED

URBIN RETREAT
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0' 5' 10' 25' 50'
PROPOSED ELEVATION: DREXEL AVENUE
SCALE: 1:20

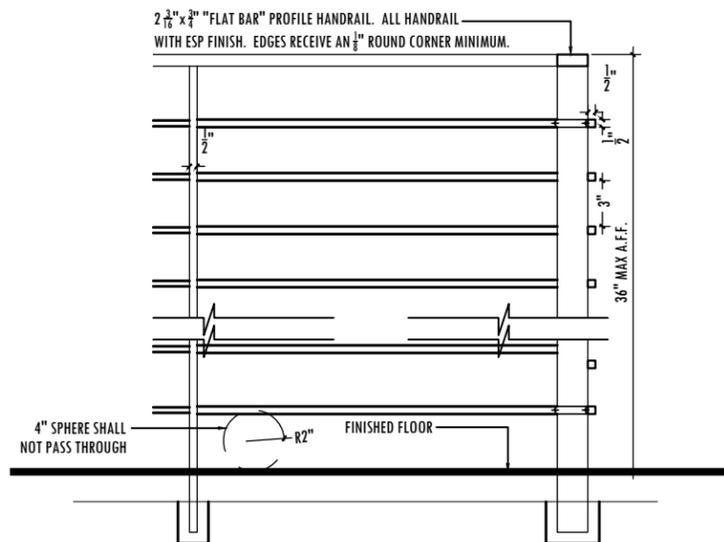
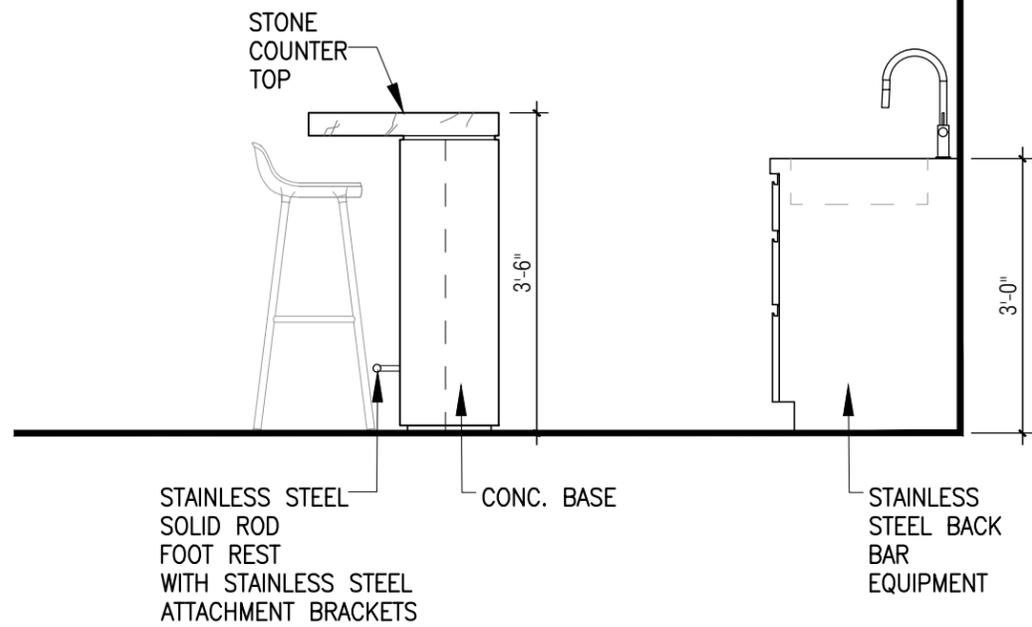
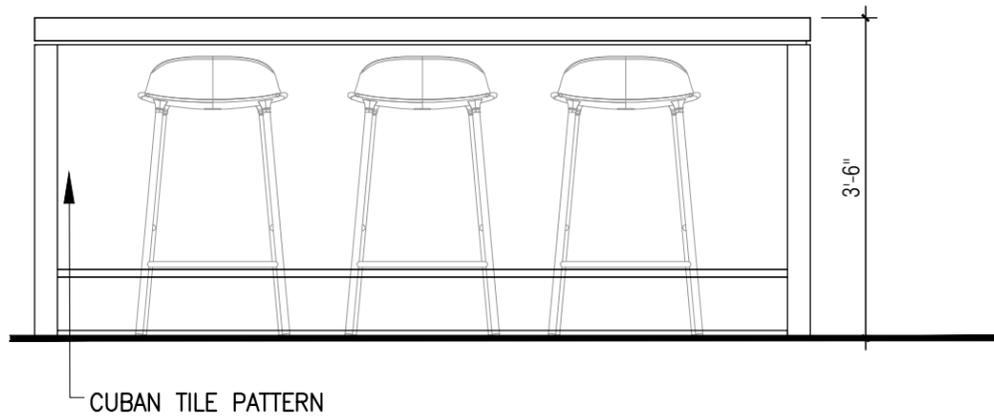


MATERIAL LEGEND

CP-01	EXTERIOR CEMENT PLASTER - SMOOTH FINISH - MEDIUM GRAY	GL-01	LAMINATED TINTED GLASS UNITS W/ LARGE MISSILE IMPACT CLEAR INTERLAYER GRAY KYNAR FINISH ON METAL FRAME	MTL-06	STRUCTURAL STEEL MEMBERS CLADDED IN ALUMINUM BREAK METAL FINISH TO MATCH STOREFRONT FRAMES
CP-02	EXTERIOR CEMENT PLASTER - SMOOTH FINISH - LIGHT GRAY	GL-02	TEMPERED FRITTED GLASS	MTL-07	METAL HANDRAIL / TOP RAIL
CP-03	EXTERIOR CEMENT PLASTER - SMOOTH FINISH - COLOR TBD	MTL-01	PRE-PATINATED COPPER PANELS	MTL-08	METAL PERFORATED SCREEN - PATTERN TBD - HEIGHTS VARY
CNC-01	CEMENT BREEZE BLOCK - PATTERN TBD	MTL-02	DECORATIVE METAL SCREEN DIVIDERS - PATTERN TBD	PL-01	LANDSCAPE FEATURE
CNC-02	CONCRETE EYEBROW W/ 5/8" EXTERIOR CEMENT PLASTER SMOOTH FINISH - WHITE	MTL-03	LIGHT GRAY CANOPY	PL-02	PLANTED TRELLIS STRUCTURE
CNC-03	SOUND ATTENUATION WALL - HEIGHTS VARY	MTL-04	VERTICAL PANELS- GRAY AND WHITE	S-1	SOLAR CANOPY ON METAL GRAY FRAME
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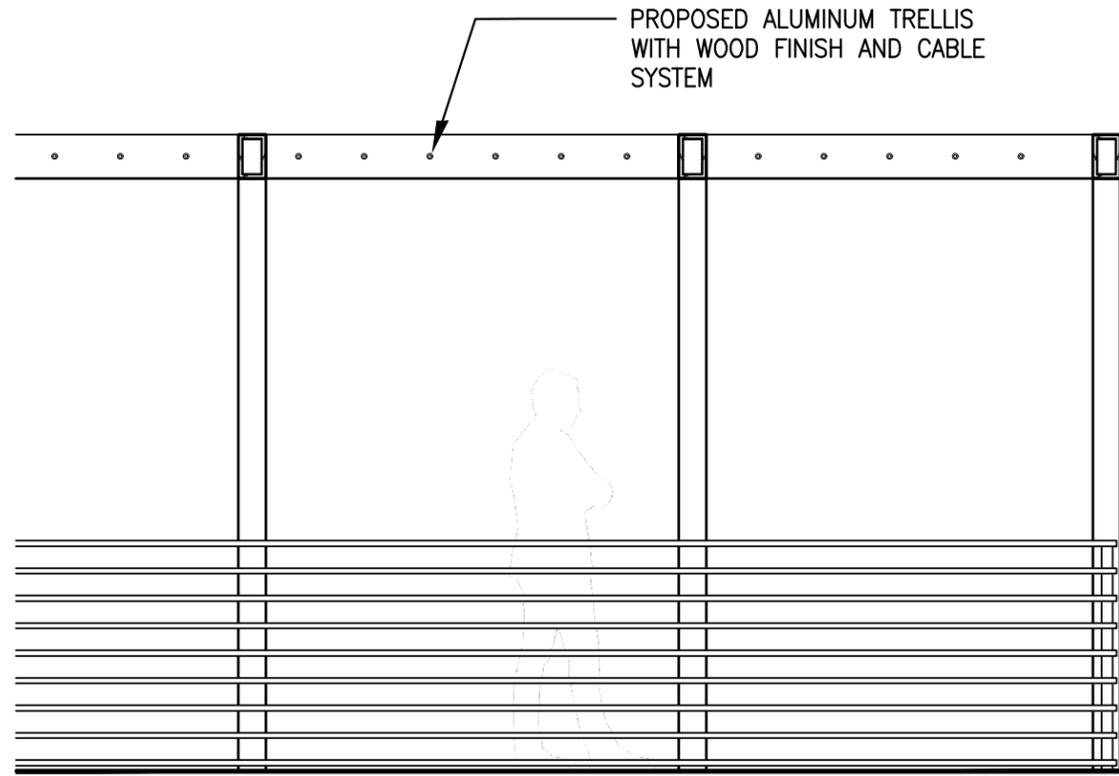
PROPOSED SOUTH ELEVATION
SCALE: 1:20



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GROUND FLOOR BAR AND GUARDRAIL DETAILS
SCALE: 1/2"=1'-0"

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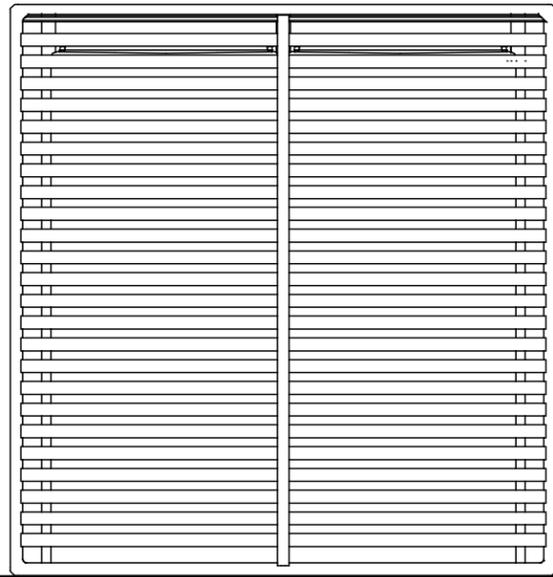


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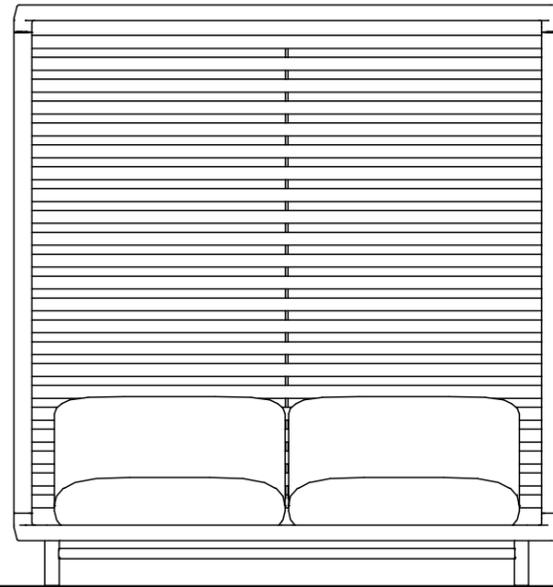
OUTDOOR TERRACE ON SECOND FLOOR - TRELLIS ROOF DETAIL

SCALE: 3/8" = 1'-0"

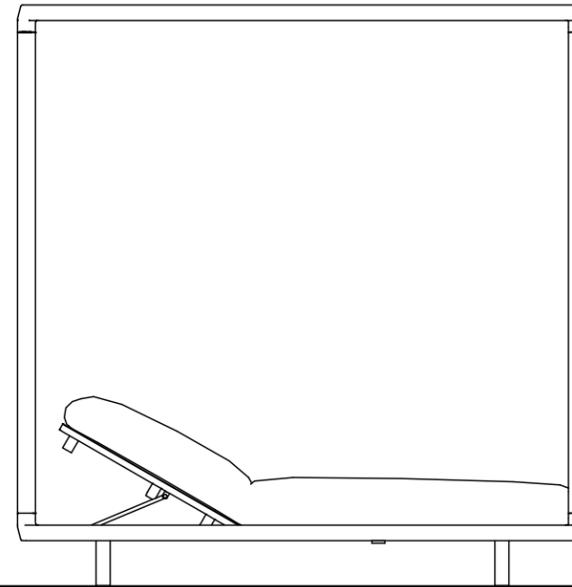
A-49



BACK



FRONT



SIDE



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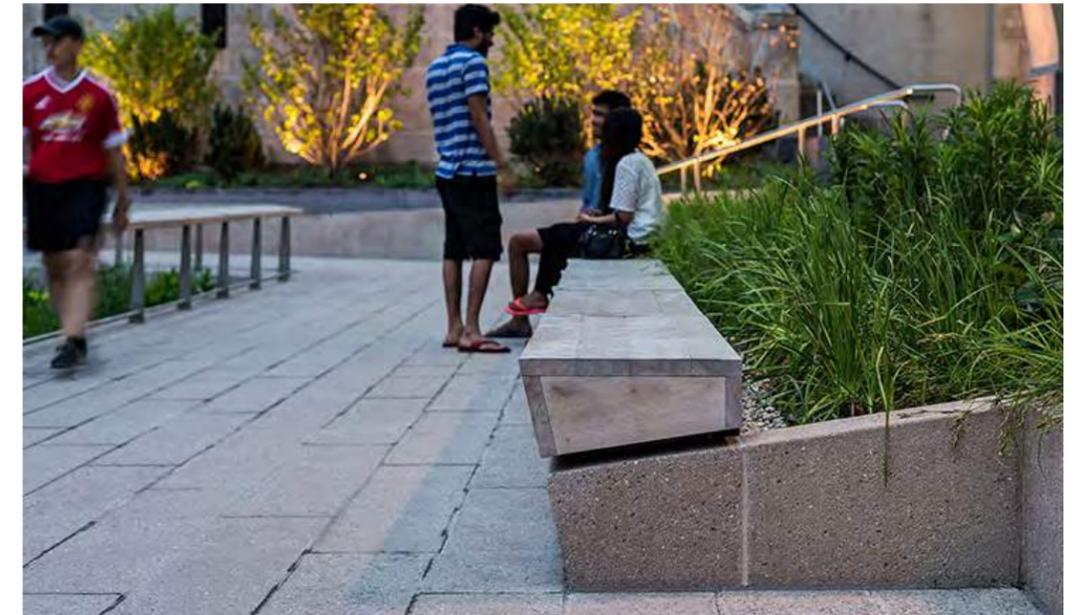


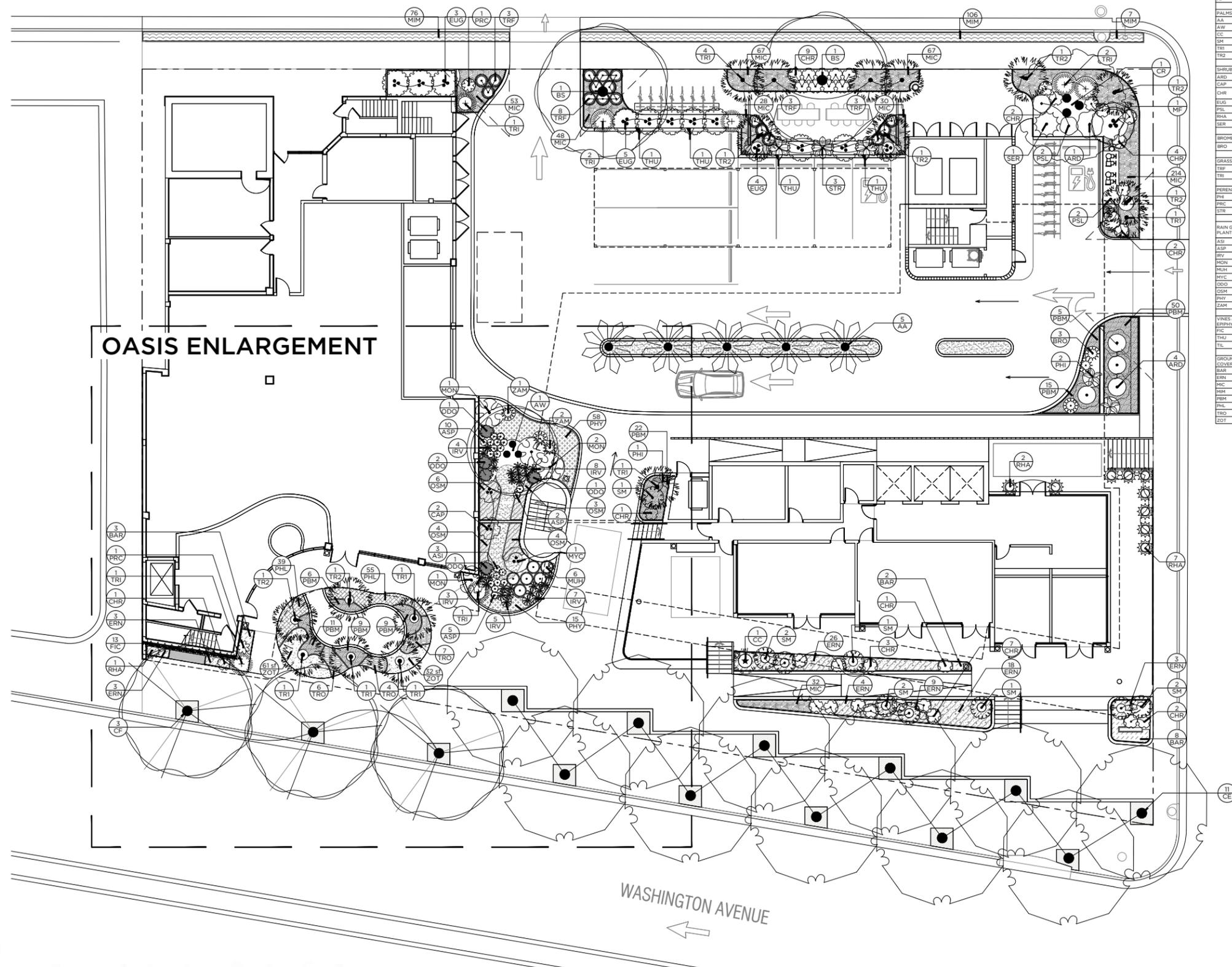
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ROOFTOP LEVEL - CABANA DETAILS
SCALE: 3/8"=1'0"

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LANDSCAPE



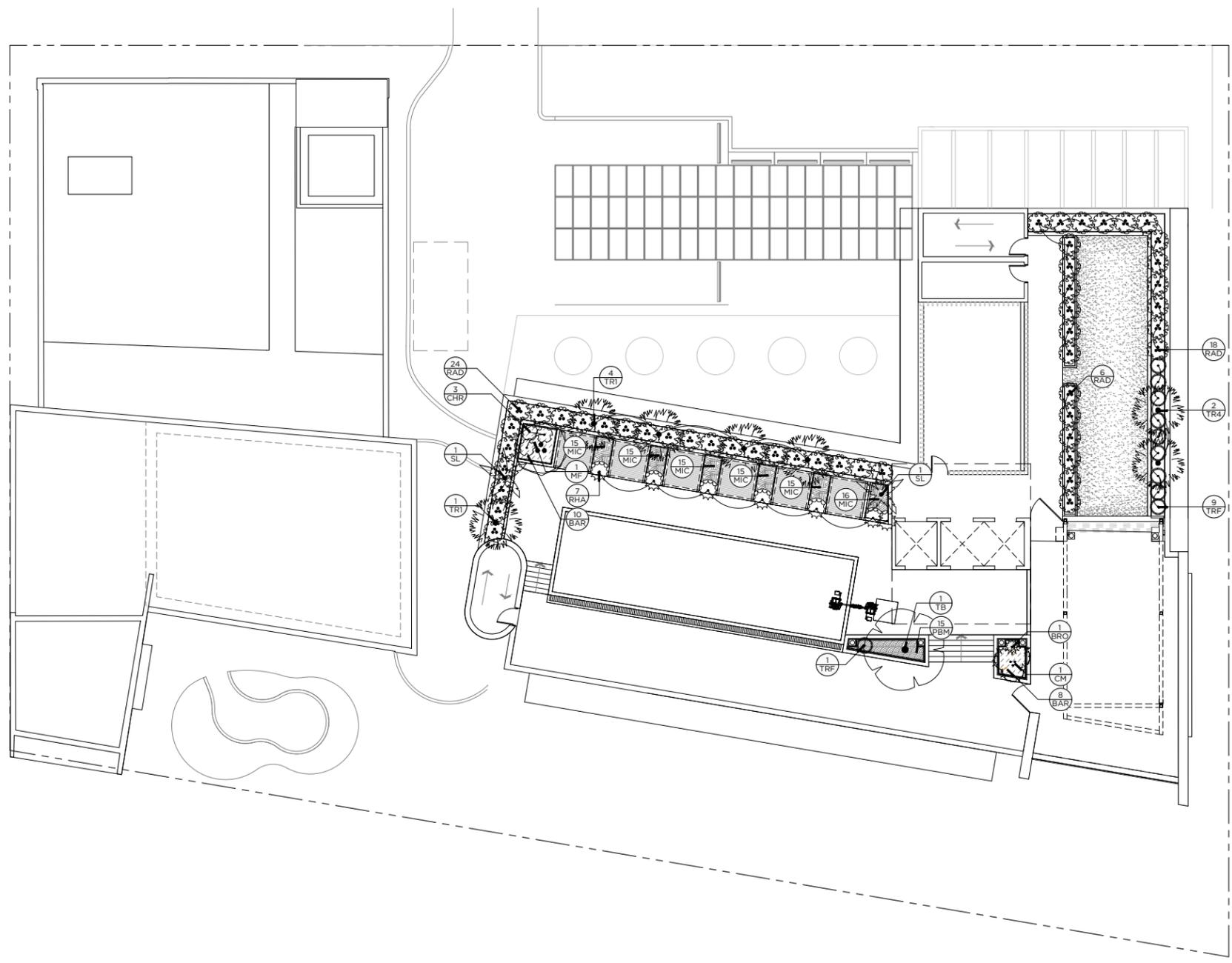


PLANT LIST - GROUND FLOOR			
TREES	QTY	BOTANICAL NAME	COMMON NAME
TR	2	Bursera simaruba	Gumbo Limbo
CF	1	Coccoloba erecta	Green Buttonwood
CF	3	Caesalpinia ferrea	Brazilian Leopard Tree
CR	1	Cordia rosea	Pitch Apple
MF	1	Myrcianthes fragrans	Simpson's Stopper
PALMS			
QTY	BOTANICAL NAME	COMMON NAME	
AA	5	Archontophoenix alexandriae	Alexandria Palm
AW	1	Acrostichum wrightii	Paurotis Palm
CC	1	Coccothrinax crinita	Old Man Palm
SM	9	Sabal minor	Dwarf Palmetto
TR	50	Thrinax radiata	Florida Thatch Palm
TRZ	7	Thrinax rostrata (Curved)	Florida Thatch Palm
SHRUBS			
QTY	BOTANICAL NAME	COMMON NAME	
5	Andea acuminata	Manberry	
2	Calyptranthes patens	Spicewood	
32	Chrysobalanus icaco	Horizontal Coccoloba	
12	Eugenia foetida	Spanish Stopper	
4	Psychotria ligustrifolia	Bahama Coffee	
15	Rhus avicaria	Lady Palm	
1	Serenoa repens 'Miami Select'	Silver Saw Palmetto	
BROMELIADS			
QTY	BOTANICAL NAME	COMMON NAME	
3	Assorted Bromeliads	Bromeliad	
GRASSES			
QTY	BOTANICAL NAME	COMMON NAME	
17	Tripsacum floridanum	Florida Gamagrass	
6	Tripsacum dactyloides	Pasadenae Grass	
PERENNIALS			
QTY	BOTANICAL NAME	COMMON NAME	
3	Pholidendron subnudum	Pholidendron Wilsonii	
2	Pholidendron 'Red Comp'	Red Comp Pholidendron	
3	Straetzia nicotia	Giant Bird of Paradise	
RAIN GARDEN PLANTS			
QTY	BOTANICAL NAME	COMMON NAME	
3	Asclepias incarnata	Pink Swamp Milkweed	
17	Asclepias perennis	White Swamp Milkweed	
27	Iris virginica	Blue Flag Iris	
4	Monarda didyma	Spitfire Phloxendron	
6	Muhlenbergia capillaris	Pink Muhly Grass	
1	Myrica cerifera	Wax Myrtle	
5	Ocoteona strictum	Fringepine	
17	Osmundastrum cinnamomeum	Cinnamon Fern	
73	Phylla nodiflora	Frogfruit	
3	Zamia integrifolia	Coontie	
VINES & EPHIPPYTES			
QTY	BOTANICAL NAME	COMMON NAME	
13	Ficus pumila	Creeping Fig	
4	Thunbergia laurifolia	Laurel Blue Trumpet Vine	
	Assorted Orchids and Airplants	Orchids and Airplants	
GROUND COVERS			
QTY	BOTANICAL NAME	COMMON NAME	
13	Bartera repens	Coral Creeper	
66	Ercolea littoralis	Golden Creeper	
549	Microsorium scolopendrum	Wart Fern	
181	Merisla singulata	Burble Moss	
127	Pholidendron 'Burle Marx'	Burle Marx Pholidendron	
84	Phlebodium aureum 'Blue Star'	Blue Star Fern	
17	Tradescantia ohiensis	Spiderwort	
12 sf	Zoysia tenuifolia	Bump Grass	

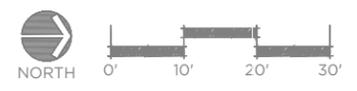
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LANDSCAPE PLAN - GROUND FLOOR

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PLANT LIST - HOTEL ROOF			
TREES	QTY	BOTANICAL NAME	COMMON NAME
MF	1	Myrsine fragrans	Simpson's Stopper
TB	1	Tabebuia bahamensis	White Tabebuia
PALMS			
QTY	BOTANICAL NAME	COMMON NAME	
CH	1	Coconthos miguayana	Silver Palm
SL	5	Sabalera fulvifera	Sabale Palm
TR1	5	Thrinax radiata	Florida Thatch Palm
TR4	2	Thrinax radiata	Florida Thatch Palm
SHRUBS			
QTY	BOTANICAL NAME	COMMON NAME	
CHR	3	Chrysobalanus icaco horizontalis	Horizontal Cocoplum
RAD	48	Radermachera sinica	China Doll
RHA	7	Rhaps excelsa	Lady Palm
BROMELIADS			
QTY	BOTANICAL NAME	COMMON NAME	
BRO	1	Assorted Bromeliads	Bromeliad
GRASSES			
QTY	BOTANICAL NAME	COMMON NAME	
TRF	10	Tripsacum floridanum	Florida Gamagrass
GROUND COVERS			
QTY	BOTANICAL NAME	COMMON NAME	
BAR	18	Mariera repens	Coral Creeper
MIC	91	Microsorium scolopendrum	Wax Fern
PBM	15	Philodendron 'Burla Mar'	Burla Mar Philodendron



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LANDSCAPE PLAN - ROOF

Legend

-  Attracts hummingbirds
-  Food source and/or nesting site for small birds
-  Food source and/or shelter for small animals
-  Larval host plant for caterpillars
-  Attracts insect pollinators such as butterflies, moths, etc.
-  Florida Native

TREES AND PALMS

Leopard Tree
Caesalpinia ferrea





Green Buttonwood
Conocarpus erectus





Pitch Apple
Cusia major





White Tabebuia
Tabebuia roseo-Alba





Simpson's Stopper
Myrcianthes fragrans





Alexander Palm
Archontophoenix alexandrae





Miraguama Palm
Coccothrinax miraguama





Satake Palm
Satakenia flukuensis





PALMS (CONT.)

Paurotis palm
Accolithapha wrightii





Florida Thatch Palm
Thrinax radiata





Old Man Palm
Coccothrinax crinita





Coconut Palm
Cocos nucifera





Lady Palm
Rhaps excelsa





Dwarf Palmetto
Sabal minor





Silver Saw Palmetto
Serenoa repens





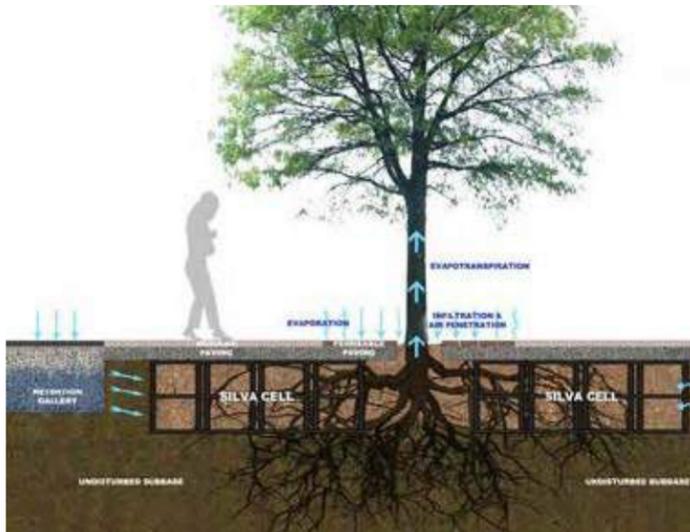
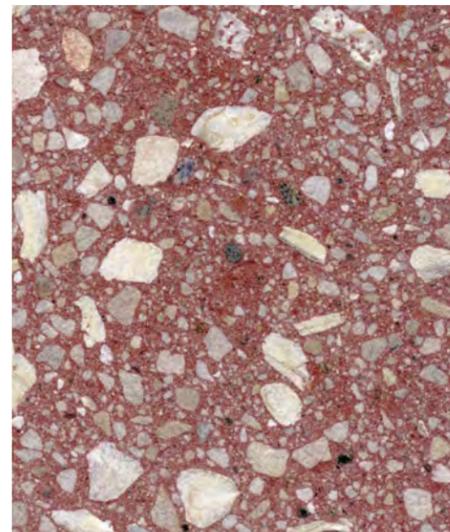
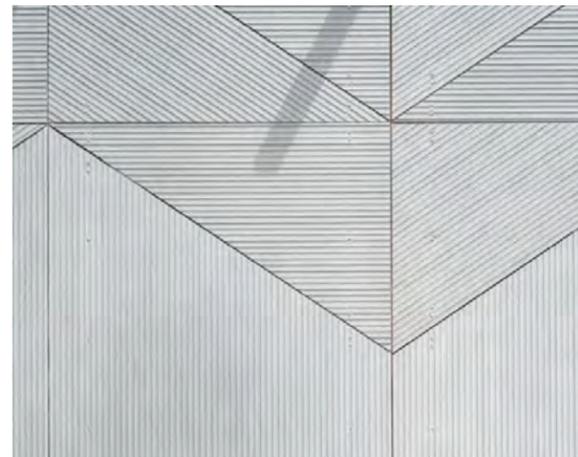
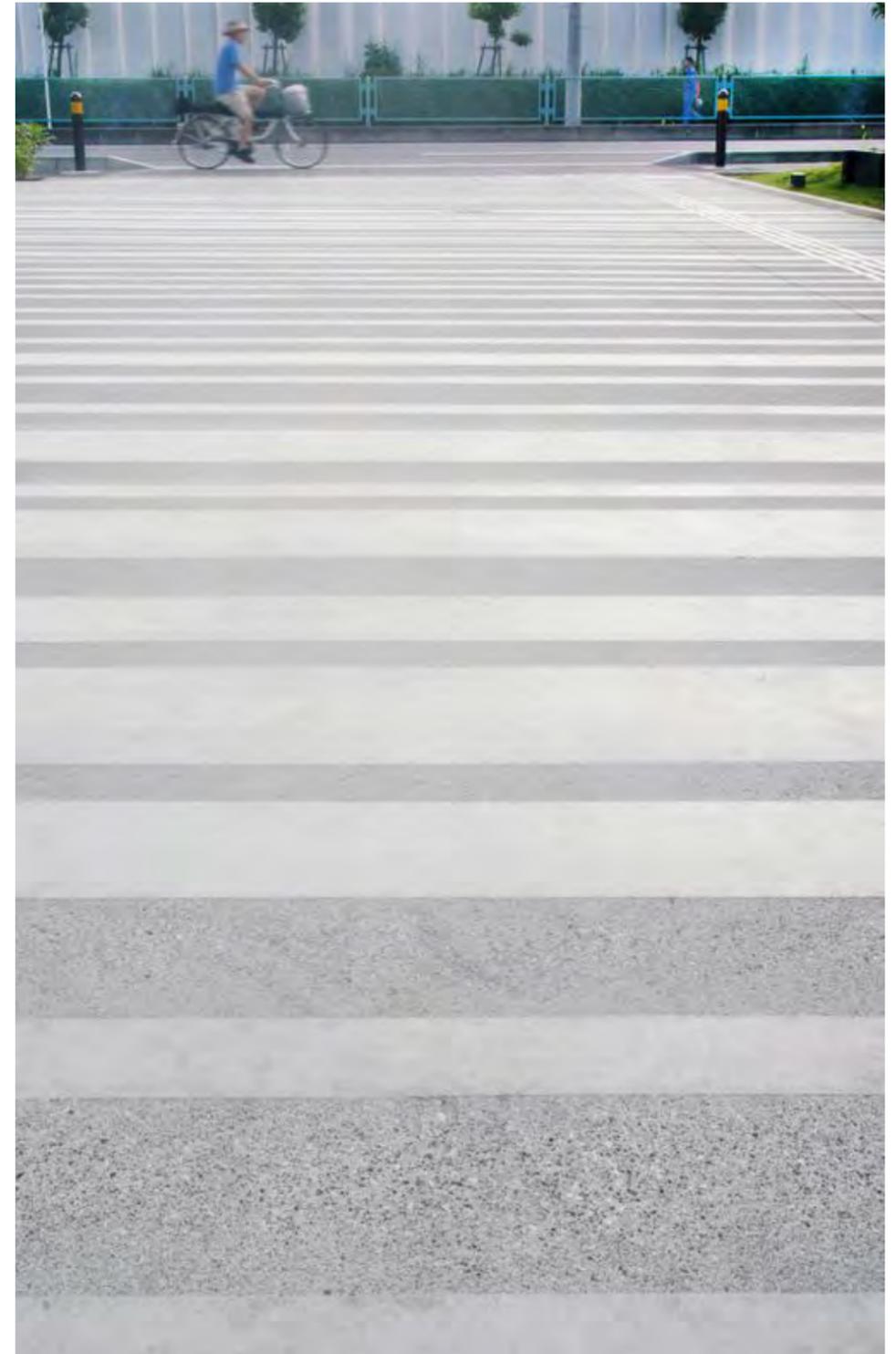
    

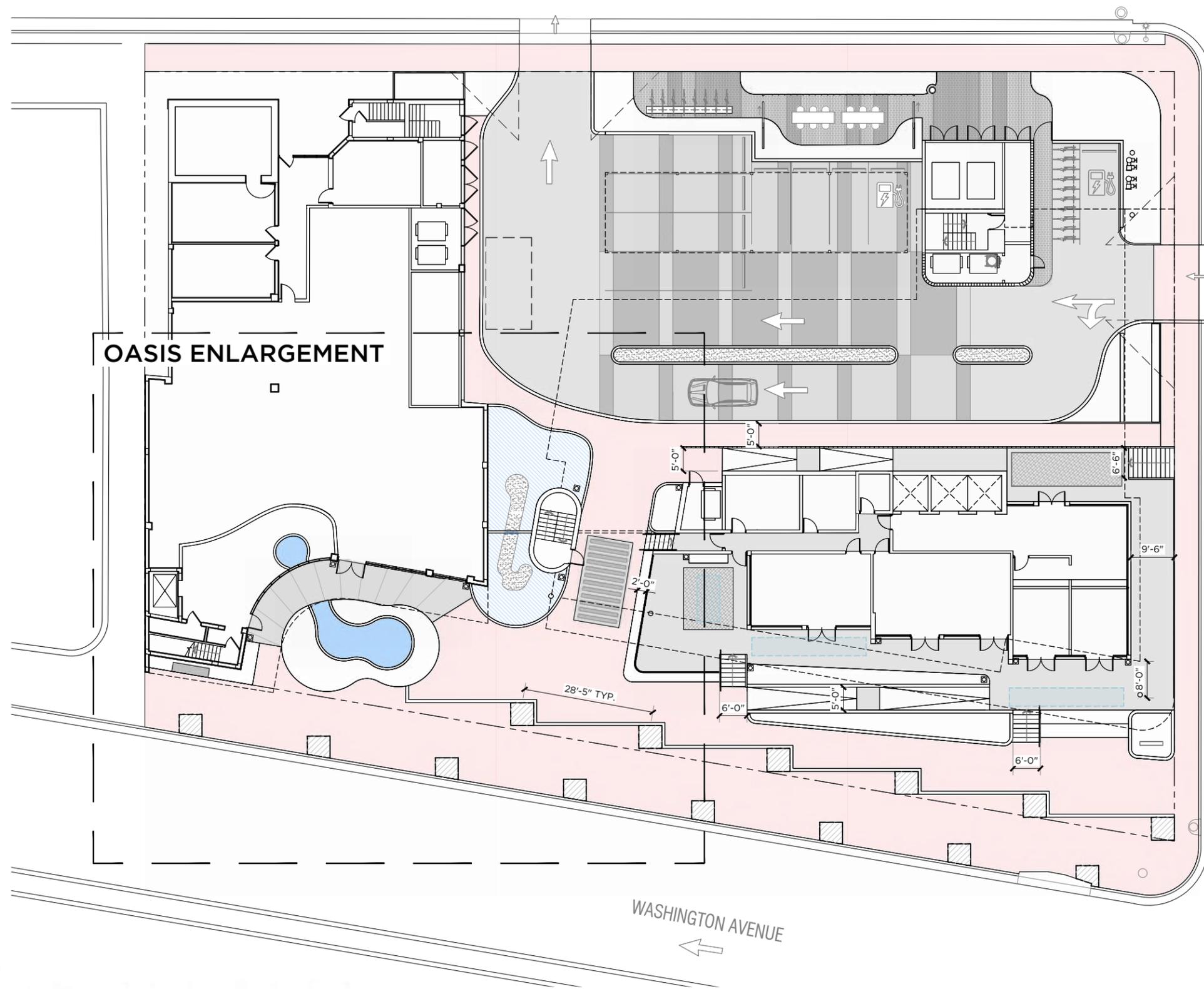
SHRUBS



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LANDSCAPE PLANTING PALETTE





HARDSCAPE LEGEND

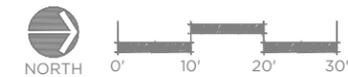
Symbol	Definition
	"Miami Beach Red" Concrete
	Concrete
	Textured Concrete
	Terrazzo
	Concrete Pavers Color: Alternating Grey Tones
	Terrazzo Tiles inlayed in Concrete
	Crushed Stone
	Silva Cell Suspended Pavement System
	Water Harvesting Cistern
	Rain Garden

HARDSCAPE NOTES:

- Information provided on this plan is general in nature; dimensions, areas, and distances are approximate and should be field verified prior to bidding. discrepancies shall be reported to the landscape architect for resolution prior to starting work.
- The contractor is to thoroughly familiarize him/herself with all plans, specifications and the site prior to bidding. failure to do so will not reduce the contractor's obligation to perform the work as described for the price bid.
- The contractor shall locate and verify the existence of all improvements and utilities (including those proposed with this project), i.e. irrigation, wastewater, water storm sewer, gas, underground electric, lighting conduit, pavement, etc. prior to starting work.
- The contractor is responsible for coordinating installation of material, equipment, irrigation sleeving, and lighting sleeving with other trades.
- No substitutions of material, equipment, furnishings, locations, etc. will be allowed without prior approval from the landscape architect.
- All materials, equipment, and furnishings shall be installed as per details.
- All materials, equipment, and furnishings shall be set plumb unless otherwise specified.
- The contractor to layout hardscape elements and verify layout with landscape architect prior to construction. any discrepancies or conflicts or conflicts with existing conditions or other drawings shall be reported to the landscape architect immediately for proper clarification or adjustment.

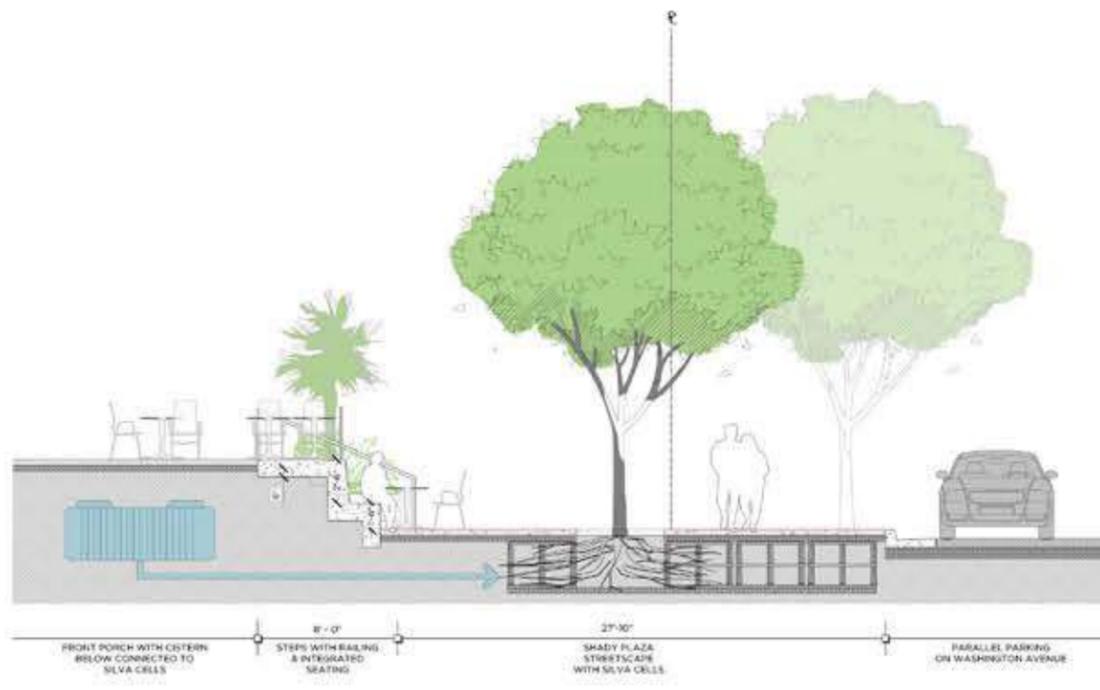
WATER EFFICIENCY NOTES:

- Recommended bioswale depth 6 to 18 inches. Civil to determine final depth. Drainage soil beneath swale shall be 18 inch minimum depth. Underneath drainage soil there should be a 12 inch depth of clean gravel/aggregate for water to infiltrate into perforated pipe, which will direct water to a storm drain and/or cistern(s). A 4 inch level of pea gravel shall be placed over clean gravel to filter additional pollutants and keep from clogging from soil above.
- Stormwater directed to cisterns will then drain to Silva Cells (Suspended Paver System) and be reused to irrigate raised planters.
- Rain water collection/Irrigation Systems shall supplement irrigation for new landscaping. New structures to include rainwater cistern(s) and system to provide at least 50 percent of exterior irrigation during the normal rainfall year.
- All sites utilizing a reuse water system shall install and maintain a backflow prevention device as required by water distribution system operator that will be supplying water to site.
- Civil to confirm and engineer detail of bioswale and cistern locations for final Construction Documentation.

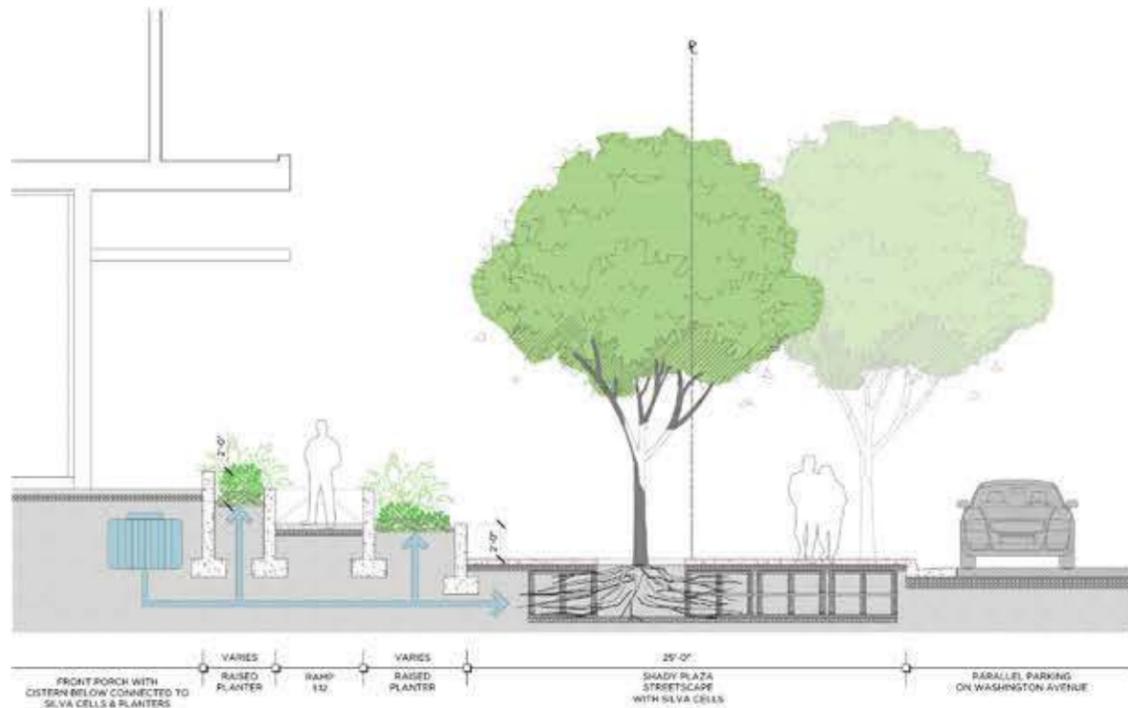




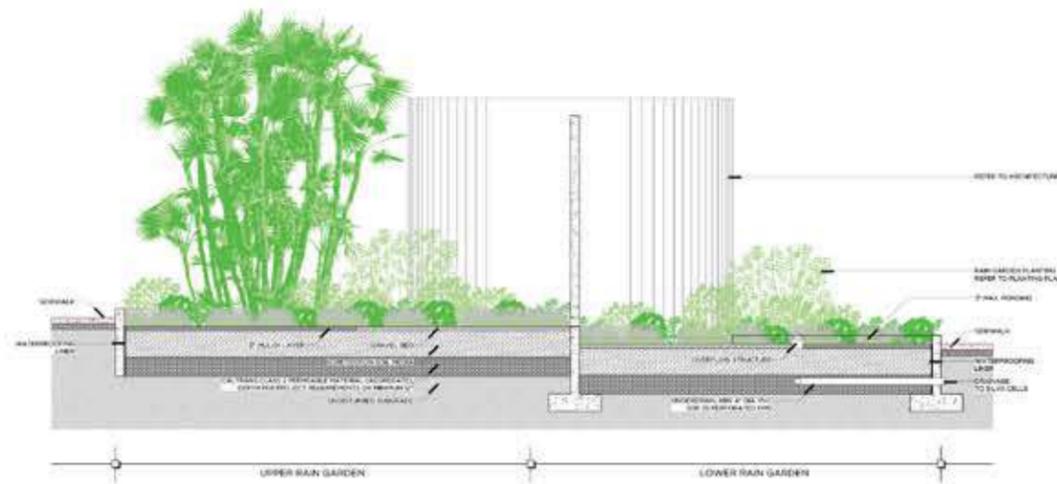
A SCREEN WALL AND PARKING LOT



B FRONT PORCH STEPS



C RAMP & SHADY PLAZA



D RAIN GARDEN

