

1575 ALTON RD. MIAMI BEACH, FL. 33139

SHELL BUILDING: SCOPE OF WORK: SEE BELOW  
INTERIOR BUILDOUT OF RESTAURANTS & BAKERY

FIRST SUBMITTAL - 5/11/2020  
FINAL SUBMITTAL - 6/1/2020



NORBERTO ROSENSTEIN  
ARCHITECT , INC.  
ARCHITECTURE - INTERIOR DESIGN - PLANNING

126 S. FEDERAL HIGHWAY  
SUITE # 202  
DANIA BEACH, FLORIDA 33004  
PH: (954) 922-6551

EMAIL: [nrosenstein@rosensteinarchitect.com](mailto:nrosenstein@rosensteinarchitect.com)  
WEB: [www.rosensteinarchitect.com](http://www.rosensteinarchitect.com)

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COMM.	DATE
2018-39	4/22/2020

FIRESTONE  
MIAMI BEACH

MIAMI BEACH, FLORIDA  
33139

LOCATION PLAN  
BLDG DATA

A-1.0 OF 7

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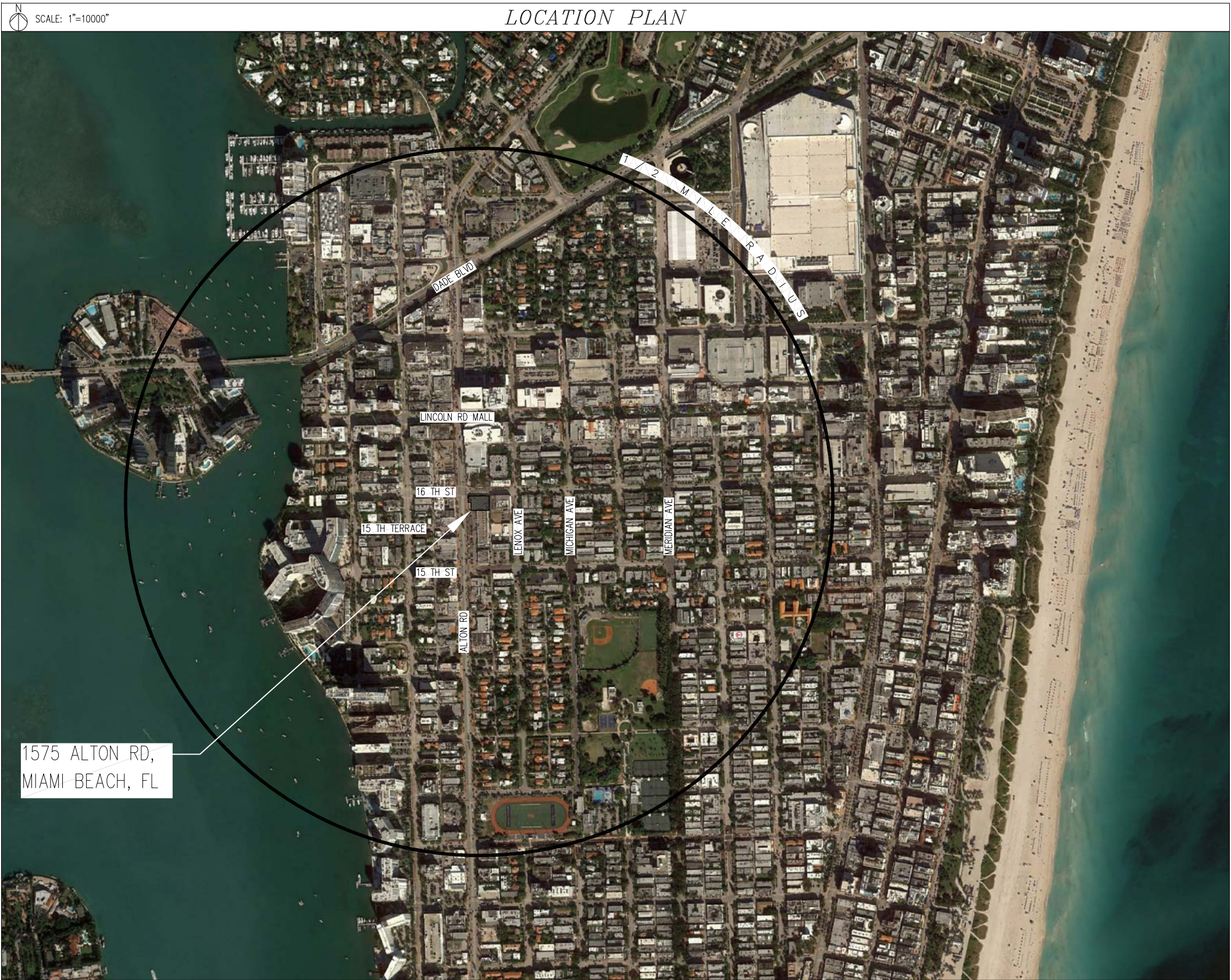
FULL LEGAL DESCRIPTION

33-34 53 42  
COMMERCIAL SUB PB 6-5  
LOTS 11 & 12 BLK 65  
LOT SIZE 15000 SQUARE FEET  
OR 20090-1219 1201 5

SCOPE OF WORK

- INTERIOR BUILD-UP OF TWO RESTAURANTS AND A BAKERY
- NEW STOREFRONT ON AN EXISTING STRUCTURE.
- NEW EQUIPMENT, MILLWORK, FURNITURE AND FINISHES.
- EXTERIOR NEW AWNING WILL BE UNDER SEPARATE PERMIT.
- THIS IS BEING FILED IN CONJUGATION WITH SHELL PERMIT # BC0816-1589

LOCATION PLAN





LEGEND

1 SN	TRAFFIC SIGN	CONCRETE
CB	CATCH BASIN	FND. FOUND
WV	WATER VALVE	P.B. PLAT BOOK
WM	WATER METER	PG. PAGE
1	BELL SOUTH MANHOLE	O.R.B. OFFICIAL RECORD BOOK
E	ELECTRIC BOX	N&D NAIL AND DISC
S	SANITARY SEWER MANHOLE	IP IRON PIPE
WPP	WOOD POWER POLE	CBS CONCRETE BLOCK
GY	GUY WIRE	SF SQUARE FEET
TSP	TRAFFIC SIGNAL POLE	(R) RECORD
TSB	TRAFFIC SIGNAL BOX	(D) DEED
MTLP	METAL LIGHT POLE	(M) MEASURED
MTL	METAL	OH OVERHEAD LINES
		+0.00 EXISTING ELEVATION

GENERAL NOTES

NO VISIBLE EVIDENCE OF CEMETERIES ON PROPERTY.

ALL PAVED AREAS ON PROPERTY ARE CONSTRUCTED OF CONCRETE OR ASPHALT. PROPERTY HAS ACCESS TO AND FROM ALTON ROAD AND 16TH STREET.

THE PROPERTY IS SITUATED IN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA AND THEREFORE, IS SUBJECT TO THEIR ORDINANCES.

EASEMENT AND TITLE INFORMATION ARE PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY FILE No. NCS-739143-CH12 DATED 9/1/2015.

BEARINGS ARE BASED ON THE CENTER LINE OF ALTON ROAD ASSUMED BEARING NORTH

ALL FIELD MEASUREMENTS MATCHED RECORDED DIMENSIONS WITHIN THE PRECISION REQUIREMENTS ALTA/ACSM.

NO WETLANDS HAVE BEEN DELINEATED ON THE PROPERTY.

NO EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE OBSERVED AT THE SITE.

NO EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL WERE OBSERVED AT THE SITE.

AT THE TIME OF THIS SURVEY WE ARE NOT AWARE OF ANY CHANGES TO THE STREET RIGHT OF WAY LINES.

ELEVATIONS REFER TO NGVD 1929 DATUM  
MIAMI-DADE COUNTY BENCH MARK W-310, ELEV. 5.47

NOTES CORRESPONDING TO SCHEDULE B II

9. MATTER SHOWN ON PLAT OF COMMERCIAL SUBDIVISION OF THE ALTON BEACH REALTY COMPANY, RECORDED IN PLAT BOOK 6, PAGE 5, AFFECTS THE PROPERTY BUT CONTAINS NO PLOTTABLE ITEMS.

ENCROACHMENTS

(A) POSSIBLE ENCROACHMENT BY OVERHANG ACROSS PROPERTY LINE

PARKING

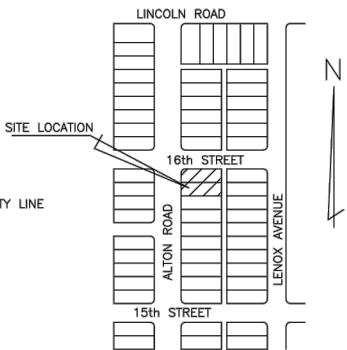
NO STRIPING TO INDICATE PARKING WAS OBSERVED

RECORD DESCRIPTION

LOTS 11 AND 12, BLOCK 65, COMMERCIAL SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

THIS LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT No. NCS-739143-CH12.

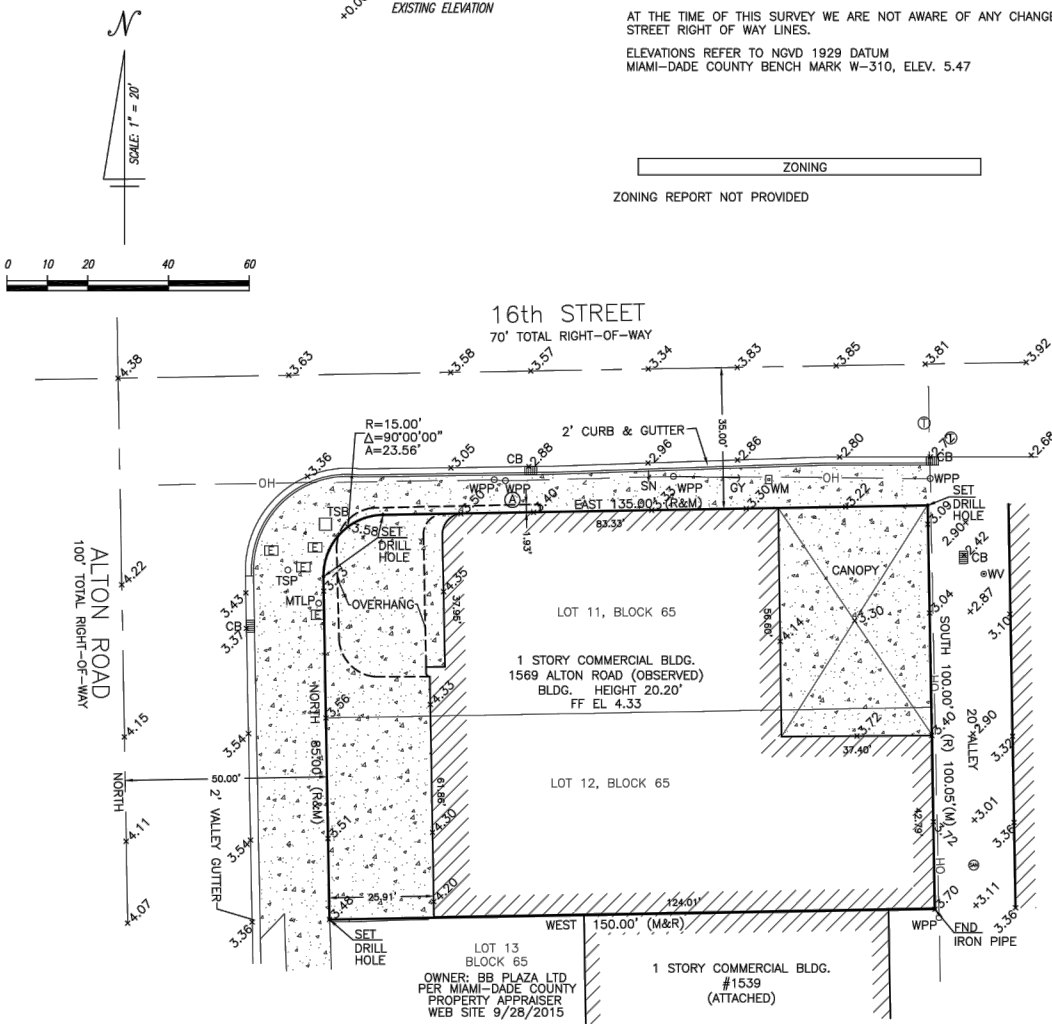
CONTAINING 14952 SF OR 0.34 ACRES



VICINITY MAP  
SCALE: 1"=300'

ZONING

ZONING REPORT NOT PROVIDED



FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE AE-9 OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 120651, MAP NUMBER 0317 WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 11, 2009 AND IS WHOLLY IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON THE FEMA WEBSITE (HTTP://MSCFEMA.GOV). WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM, NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE, AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE ATTACHED SKETCH REPRESENTS A RECENT SURVEY MADE UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS SURVEY COMPLIES WITH MINIMUM TECHNICAL STANDARDS ESTABLISHED BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.

AYLWARD ENGINEERING & SURVEYING, INC.  
LB No. 5183

SHARON AYLWARD COX, PSM No. 5450

THIS SURVEY NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.

NR  
architect

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REVISIONS

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2018-39	4/22/2020

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MIAMI BEACH, FLORIDA  
33139

SURVEY

A-2.0 OF 6

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Project Information			
1	Address:	1575 ALTON ROAD, MIAMI BEACH, FL 33139		
2	Board and file numbers :	N/A		
3	Folio number(s):	02-3234-018-0410		
4	Year constructed:	1935	Zoning District:	CD-2
5	Based Flood Elevation:	8' N.G.V.D.	Grade value in NGVD:	3.04' N.G.V.D.
6	Adjusted grade (Flood+Grade/2):	5.52' N.G.V.D.	Lot Area:	15000 SQ. FT.
7	Lot width:	50' X 2 LOTS= 100'	Lot Depth:	150'
8	Minimum Unit Size	N/A	Average Unit Size	N/A
9	Existing use:	AUTO REPAIR	Proposed use:	RESTAURANT

	Zoning Information / Calculations	Maximum	Existing	Proposed	Deficiencies
10	Height	50'	20'-2"	20'-2"	
11	Number of Stories	5	1	1	
12	FAR	1.50	.68	0.81	
13	Gross square footage	N/A	10,142	12,195	
14	Square Footage by use	N/A			
15	Number of units Residential	N/A	N/A	N/A	
16	Number of units Hotel	N/A	N/A	N/A	
17	Number of seats	N/A	0	309	
18	Occupancy load	N/A	N/A	525	

	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	N/A	N/A	N/A	
20	Side Setback:	N/A	N/A	N/A	
21	Side Setback:	N/A	N/A	N/A	
22	Side Setback facing street:	N/A	N/A	N/A	
23	Rear Setback:	N/A	N/A	N/A	
	At Grade Parking:				
24	Front Setback:	0'	25'-10'	25'-10"	
25	Side Setback:	0'	0'	0'	
26	Side Setback:	0'	0'	0'	
27	Side Setback facing street:	0'	0'	0'	
28	Rear Setback:	0'	0'	0'	
	Padestal:				
29	Front Setback:	N/A	N/A	N/A	
30	Side Setback:	N/A	N/A	N/A	
31	Side Setback:	N/A	N/A	N/A	
32	Side Setback facing street:	N/A	N/A	N/A	
33	Rear Setback:	N/A	N/A	N/A	
	Tower:				
34	Front Setback:	N/A	N/A	N/A	
35	Side Setback:	N/A	N/A	N/A	

App/Plan Rev 1-18 v.1

ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:	N/A	N/A	N/A	
37	Side Setback facing street:	N/A	N/A	N/A	
38	Rear Setback:	N/A	N/A	N/A	

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	6			
40	Total # of parking spaces	78	0	0	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	SPACE A RESTAURANT: 25.5 SPACE B RESTAURANT: 51.75 (SEE CHART ON 04/A-3.2)	0	SPACE A RESTAURANT: 0 SPACE B RESTAURANT: 0	
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
43	Parking Space Dimensions	N/A	N/A	N/A	
44	Parking Space configuration (45o, 60o, 90o, Parallel)	N/A	N/A	N/A	
45	ADA Spaces	N/A	N/A	N/A	
46	Tandem Spaces	N/A	N/A	N/A	
47	Drive aisle width	N/A	N/A	N/A	
48	Valet drop off and pick up	N/A	N/A	N/A	
49	Loading zones and Trash collection areas	1	0	1	
50	Bicycle parking, location and Number of racks	6 SHORT TERM, 3 LONG TERM	0	6 SHORT TERM, 3 LONG TERM	

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	N/A	N/A	RESTAURANT	
52	Number of seats located outside on private property	N/A	N/A	74	
53	Number of seats inside	N/A	N/A	235	
54	Total number of seats	N/A	N/A	N/A	
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	SPACE A: 102 SPACE B: 207	
56	Total occupant content	N/A	N/A	510	
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	SPACE A: 216 SPACE B: 294	

58	Proposed hours of operation	SPACE A: SUN-THURS 12PM-4AM/FRI-SAT 12PM-5AM ; SPACE B: SUN-THURS 8AM-4AM/FRI-SAT 8AM-6AM			
59	Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361)	YES			
60	Is dancing and/or entertainment proposed ? (see CMB 141-1361)	YES			
61	Is this a contributing building?	NO	Yes or No		
62	Located within a Local Historic District?	NO	Yes or No		
Additional data or information must be presented in the format outlined in this section					

Notes:

If not applicable write N/A

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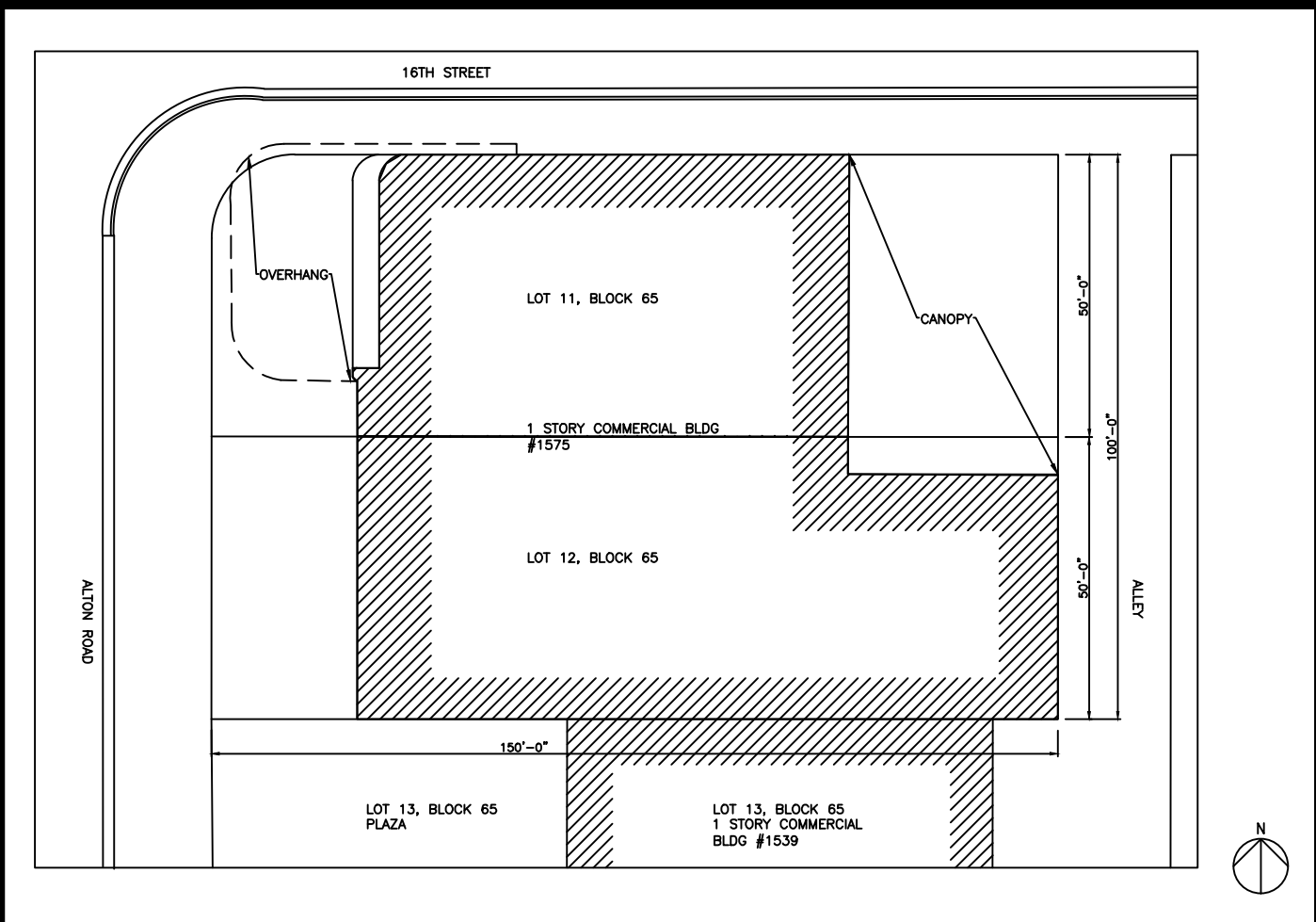
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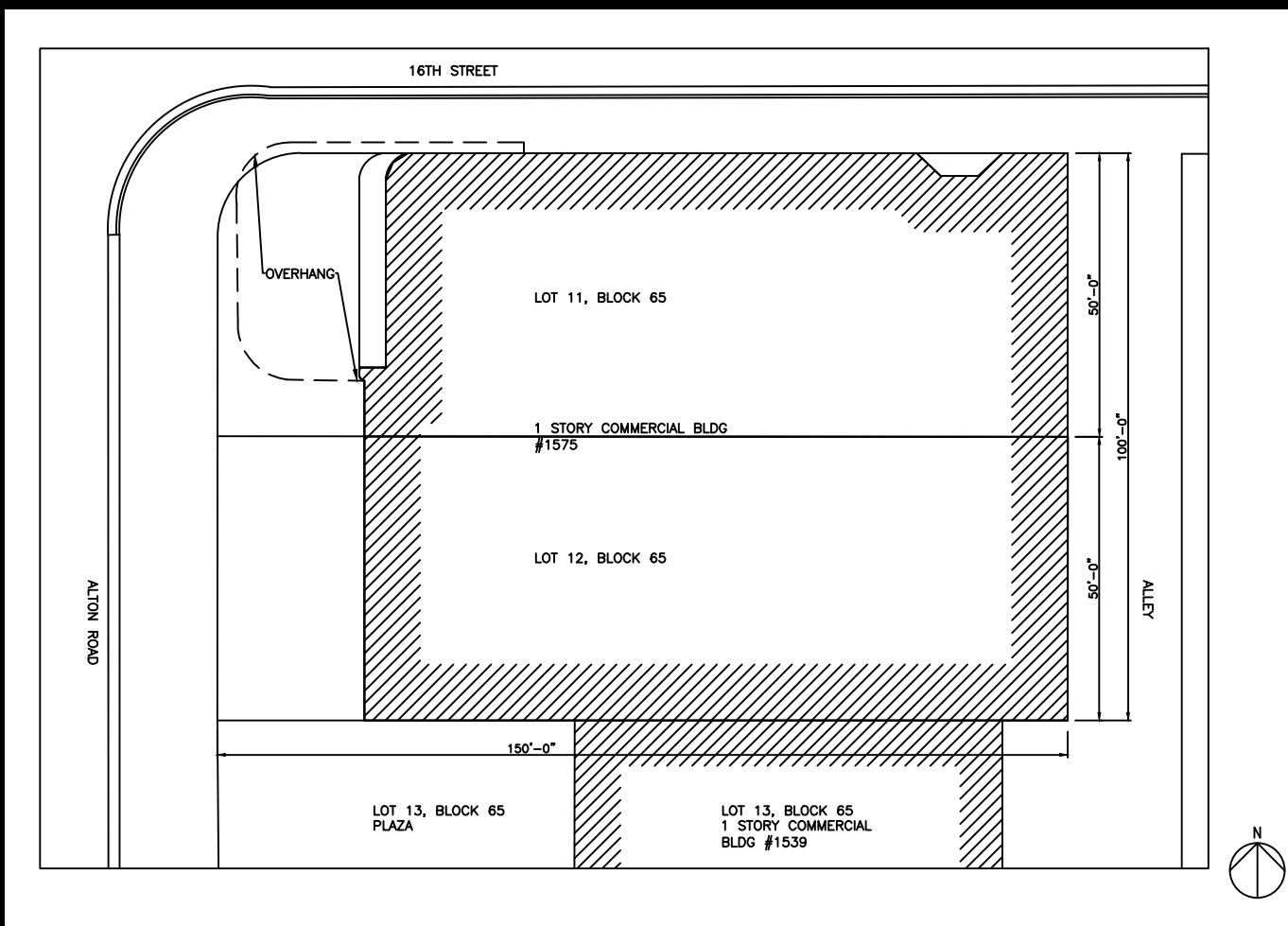
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ZONING  
INFORMATION

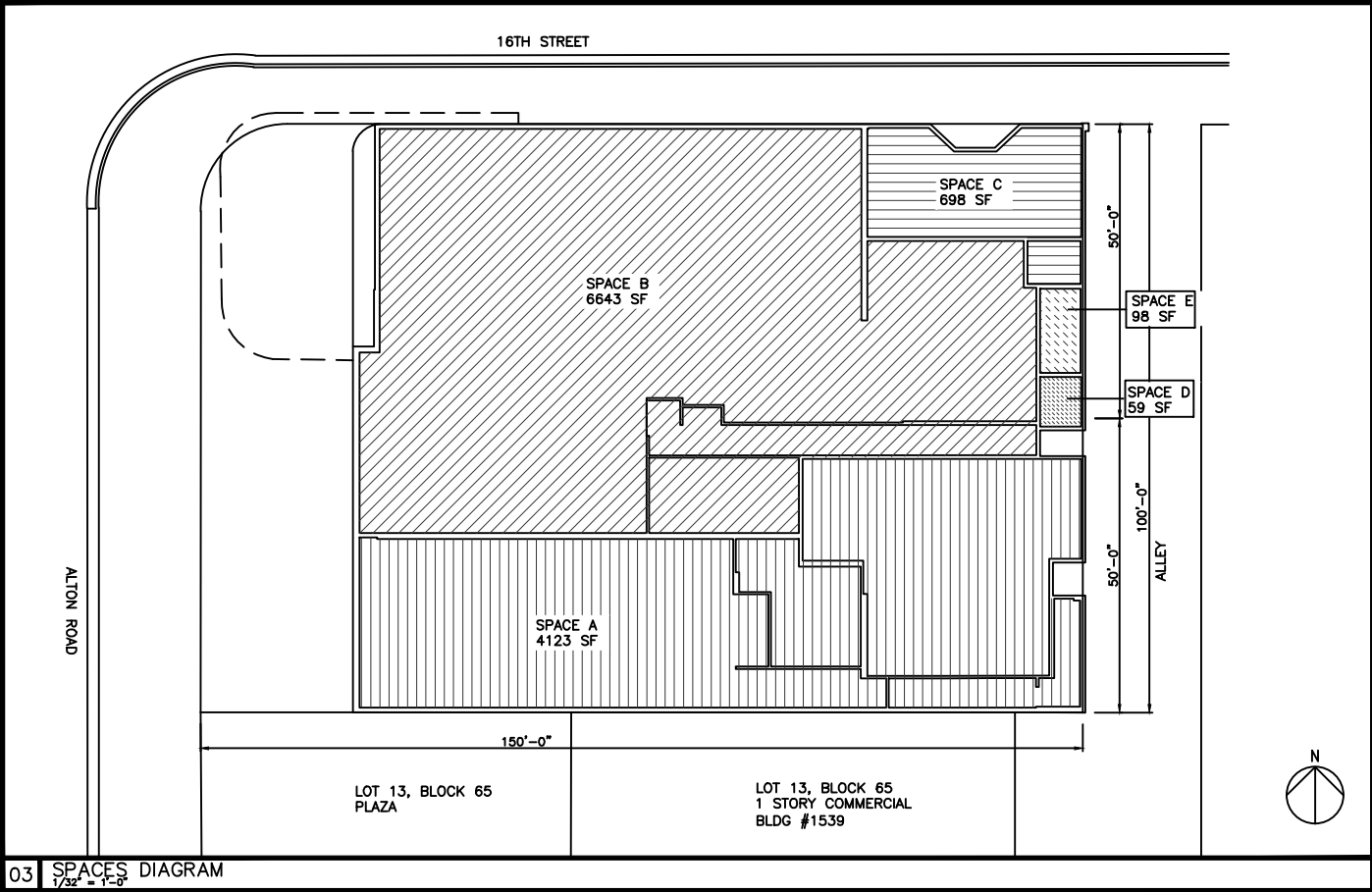
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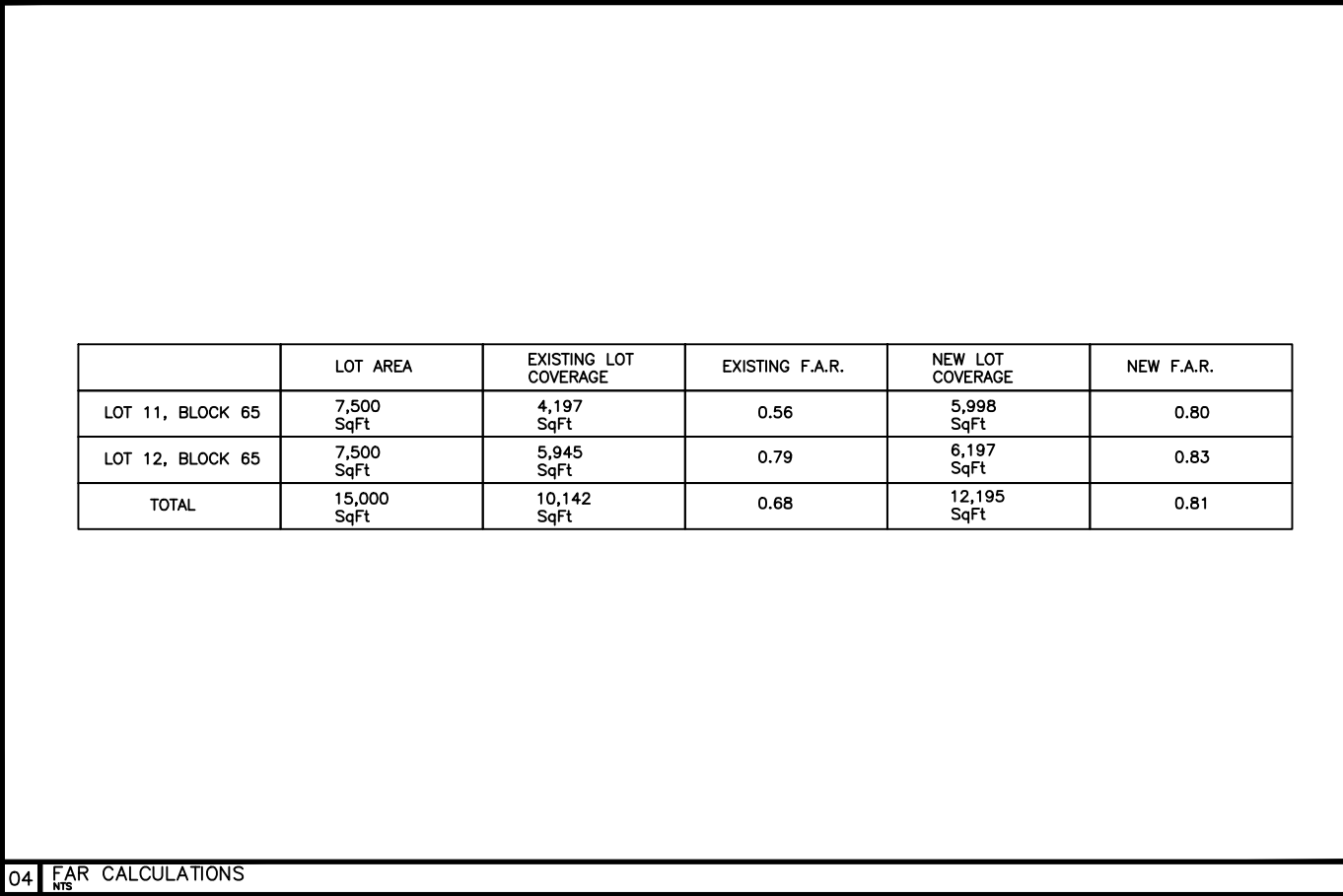
01 EXISTING F.A.R. DIAGRAM  
1/32" = 1'-0"



02 NEW F.A.R. DIAGRAM  
1/32" = 1'-0"



03 SPACES DIAGRAM  
1/32" = 1'-0"



04 FAR CALCULATIONS  
NTS



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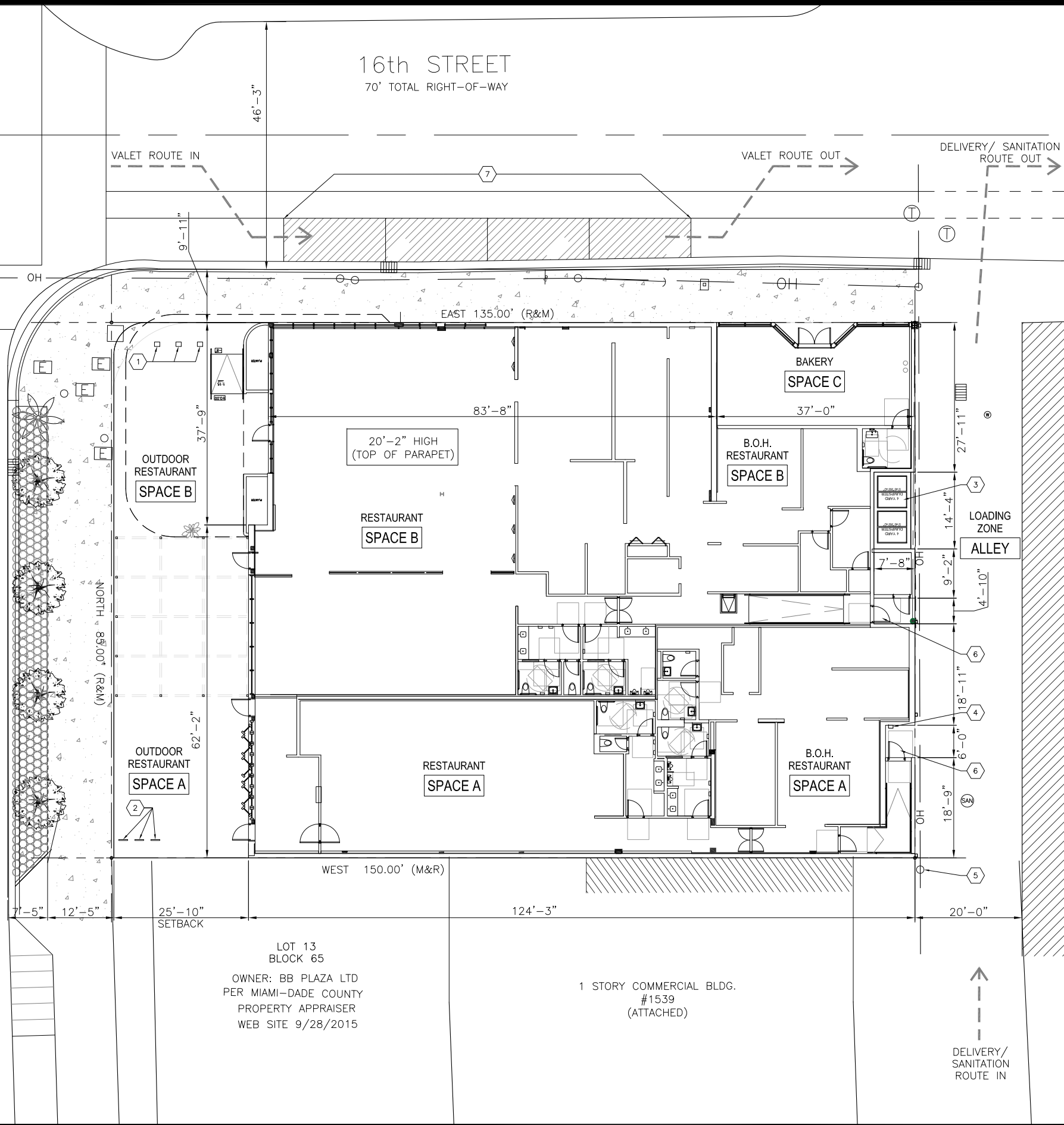
FAR DIAGRAMS



ALTON ROAD  
100' TOTAL RIGHT-OF-WAY



01 SITE PLAN  
3/64" = 1'-0"



SETBACK AREA

LOCATION		REQUIRED	PROVIDED
PRINCIPAL FRONT	WEST	0'	25'-10"
SECONDARY FRONT	NORTH	0'	0'
SIDE	SOUTH	0'	0'
REAR	EAST	0'	0'

02 SETBACK INFORMATION

FLOOD MANAGEMENT TABLE	
BASE FLOOR ZONE	AE
BASE FLOOR ELEVATION - (ZONE AD, USE BASE FLOOD DEPTH)	8
DESIGN FLOOD ELEVATIONS - DFE	9.0' NGVD
LOWEST FFE OF HABITABLE SPACE	4.2' NGVD
LOWEST GRADE ELEV. ADJACENT TO BUILDING	3.04 NGVD
LOWEST ELEV. OF EQUIPMENT SERVING THE BLDG	4.2' NGVD
CROWN OF ROAD ELEVATION - ALTON ROAD	4.15 NGVD
CROWN OF ROAD ELEVATION - 16TH ST.	3.34 NGVD
ADJUSTED GRADE ELEVATION	N/A
FIRM MAP NUMBER	12086C 0317

CLASSIFICATION OF STRUCTURE FOR FLOOD RESISTANT DESIGN AND CONSTRUCTION ASCE TABLE 1-1	CATEGORY III
--	--------------

03 FLOOD MANAGEMENT

PARKING CALCULATION PER:  
MIAMI BEACH MUNI CODE

SEC. 130-33. - OFF-STREET PARKING REQUIREMENTS FOR PARKING DISTRICTS NOS. 2, 3, 4, 5, 6, 7, 8, AND 9.

(c)  
(2) AND (3)

CALCULATION:

SPACE A RESTAURANT: 102 SEATS  
 $102/4 = 25.5$  SPACES

SPACE B RESTAURANT: 207 SEATS  
 $207/4 = 51.75$  SPACES

SPACE C BAKERY: BUSINESS UNDER 2500 SQ. FT.  
= 0 SPACES

TOTAL:  
 $25.5+51.75= 77.25 = 78$  SPACES

04 PARKING CALCULATION

1. LONG TERM BICYCLE PARKING (3 TOTAL)
2. SHORT TERM BICYCLE PARKING (3 RACKS FOR 6 BICYCLES TOTAL)
3. STREET LEVEL TRASH ROOM LOCATION (14'-4" X 7'-8"). TRASH ROOM IS ENCLOSED AND HAS ITS OWN A/C SYSTEM
4. BACK FLOW PREVENTER LOCATION
5. FPL POLE (NO VAULT)
6. AREA OF LOADING. NOTE: LOADING OPERATIONS FOR DELIVERIES AND SANITATION VEHICLES WILL BE CONDUCTED WITHIN THE EXISTING ONE-WAY, NORTHBOUND ALLEY LOCATED ALONG THE EAST SIDE OF THE PROPOSED REDEVELOPMENT. LOADING VEHICLES WILL ENTER THE ALLEY ALONG 15TH STREET AND EXIT THE ALLEY ALONG 16TH STREET. AS ALL LOADING ACTIVITIES WILL OCCUR WITHIN THE ALLEY, LOADING VEHICLES WILL NOT IMPACT THE EXTERNAL ROADWAY NETWORK.
7. PROPOSED VALET DROP OFF AND PICK UP AREA

05 KEYNOTES



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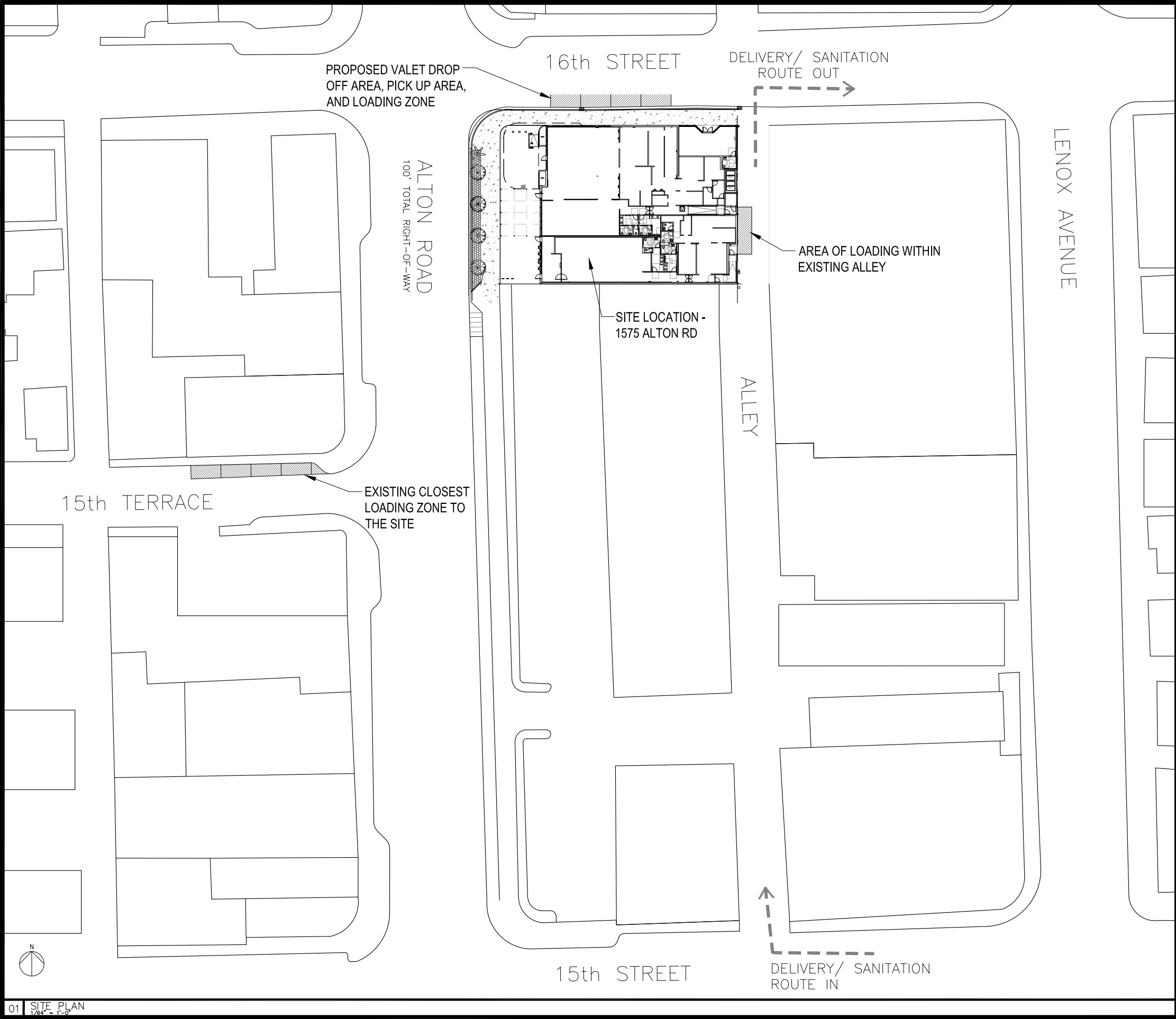
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SITE PLAN

A-3.2 OF 7



NOTE: LOADING OPERATIONS FOR DELIVERIES AND SANITATION VEHICLES WILL BE CONDUCTED WITHIN THE EXISTING ONE-WAY, NORTHBOUND ALLEY LOCATED ALONG THE EAST SIDE OF THE PROPOSED REDEVELOPMENT. LOADING VEHICLES WILL ENTER THE ALLEY ALONG 15TH STREET AND EXIT THE ALLEY ALONG 16TH STREET. AS ALL LOADING ACTIVITIES WILL OCCUR WITHIN THE ALLEY, LOADING VEHICLES WILL NOT IMPACT THE EXTERNAL ROADWAY NETWORK.



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SITE PLAN  
LOADING ZONES





PIC #1: CORNER TO CORNER: PARTIAL WEST ELEVATION OF THE PLAZA, PARKING LOT, RETAIL STORES.  
DATE: 04/14/2020



PIC #2: STREET VIEW FACING NORTH-EAST: PARTIAL WEST ELEVATION FACING 16TH STREET AND THE ADJACENT PLAZA. 1111 LINCOLN ROAD PARKING GARAGE IN THE BACKGROUND.  
DATE: 04/14/2020



PIC #3: CORNER TO CORNER FACING SOUTH: PARTIAL NORTH ELEVATION.  
DATE: 04/14/2020



PIC #4: CORNER TO CORNER FACING EAST: WEST ELEVATION. ADJACENT PLAZA AND PARKING LOT.  
DATE: 04/14/2020

ALTON ROAD

LINCOLN LANE S

16TH STREET

ALLEY



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126 S. FEDERAL HIGHWAY  
SUITE # 202  
DANIA BEACH, FLORIDA 33004  
PH: (954) 922-6551

EMAIL: [nrosenstein@rosensteinarchitect.com](mailto:nrosenstein@rosensteinarchitect.com)  
WEB: [www.rosensteinarchitect.com](http://www.rosensteinarchitect.com)

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A-4.0 OF 6





PIC #1: SOUTH ELEVATION. PICTURE TAKEN FROM 16TH STREET FACING SOUTH-EAST. ALTON ROAD IN THE BACKGROUND.  
DATE: 04/14/2020



PIC #2: SOUTH FACING VIEW TAKEN FROM THE ALLEY.  
DATE: 04/14/2020

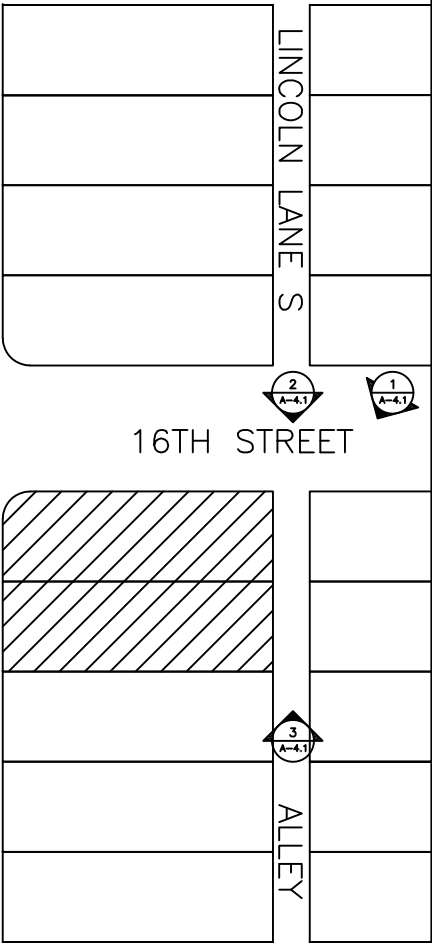


PIC #3: NORTH FACING VIEW TAKEN FROM THE ALLEY.  
DATE: 04/14/2020



PIC #4: STREET VIEW FACING NORTH-EAST: PARTIAL WEST ELEVATION FACING 16TH STREET AND THE ADJACENT PLAZA. 1111 LINCOLN ROAD PARKING GARAGE IN THE BACKGROUND.  
DATE: 04/14/2020

ALTON ROAD



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DANIA BEACH, FLORIDA 33004  
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PIC #1: SOUTH FACING VIEW: PICTURE TAKEN ON ALTON ROAD FACING 16TH STREET.  
DATE: 04/14/2020



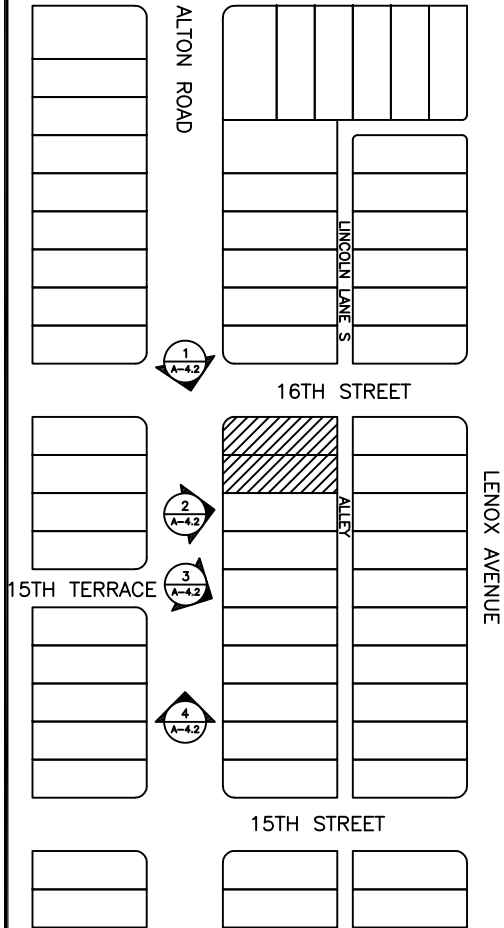
PIC #2: EAST FACING VIEW: RETAIL AND PARKING LOT ADJACENT TO PROJECT BUILDING. TAKEN FROM ALTON ROAD.  
DATE: 04/14/2020



PIC #3: NORTH-WEST FACING VIEW: RETAIL AND PARKING LOT ADJACENT TO PROJECT BUILDING. TAKEN FROM ALTON ROAD.  
DATE: 04/14/2020



PIC #4: NORTH FACING VIEW: PICTURE TAKEN ON ALTON ROAD FACING 16TH STREET.  
DATE: 04/14/2020



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126 S. FEDERAL HIGHWAY  
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DANIA BEACH, FLORIDA 33004  
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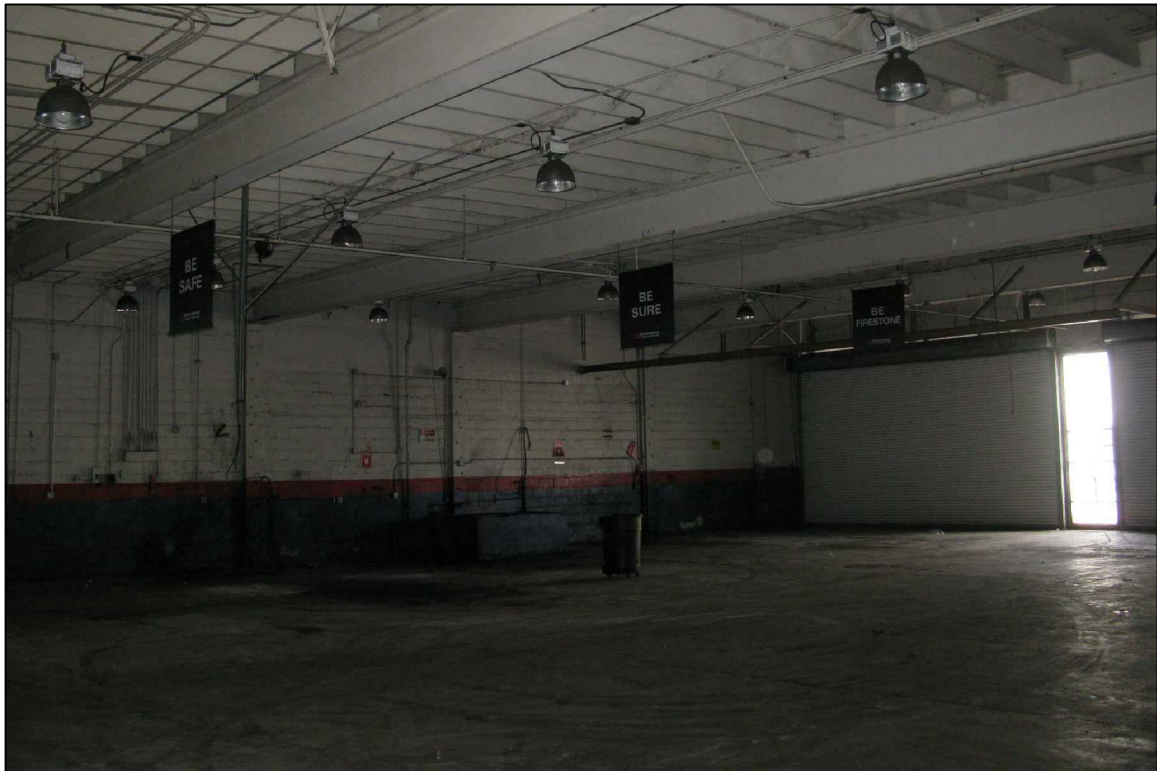
EXISTING  
SURROUNDINGS

A-4.2 OF 6





PIC #1: WAITING AREA: PARTIAL WAITING AREA FACING OPENING TO GARAGE BAY.  
DATE: 02/10/2016



PIC #3: GARAGE BAY: PARTIAL GARAGE BAY FACING OPENING TO ALTON RD.  
DATE: 02/10/2016



PIC #2: STORAGE 1: PARTIAL STORAGE FACING OPENING TO GARAGE BAY.  
DATE: 02/10/2016



PIC #4: STORAGE 2: PARTIAL STORAGE FACING OPENING TO GARAGE BAY AND OPEN PARKING.  
DATE: 02/10/2016

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126 S. FEDERAL HIGHWAY  
SUITE # 202  
DANIA BEACH, FLORIDA 33004  
PH: (954) 922-6551

EMAIL: [nrosenstein@rosensteinarchitect.com](mailto:nrosenstein@rosensteinarchitect.com)  
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EXISTING  
INTERIOR SPACES

A-4.3 OF 6





PIC #1: SOUTHEAST FACING VIEW: PICTURE TAKEN ON 16TH STREET FACING THE BUILDING  
DATE: 02/10/2016



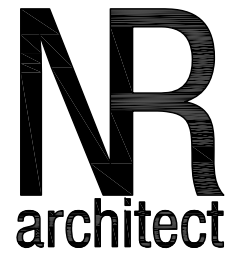
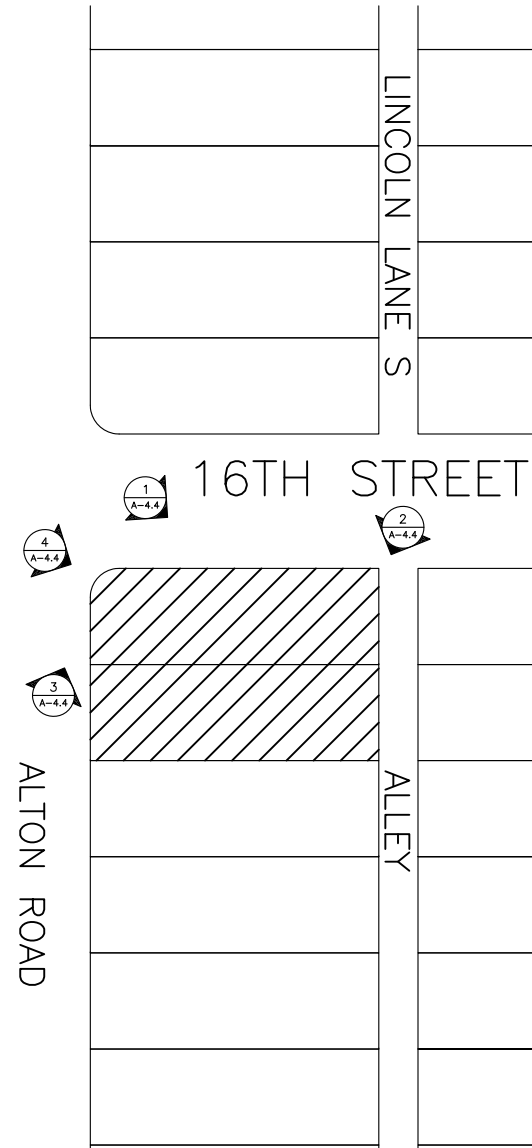
A: PIC #2: SOUTHWEST FACING VIEW: BACK CANOPY. TAKEN FROM CORNER OF 16TH ST AND THE ALLEY  
DATE: 02/10/2016



PIC #3: NORTH-FACING VIEW: LOOKING FAST THE BUILDING. TAKEN FROM ALTON ROAD SIDEWALK.  
DATE: 02/10/2016



PIC #4: SOUTHEAST FACING VIEW: PICTURE TAKEN ON CORNER OF ALTON ROAD FACING AND 16TH STREET.  
DATE: 02/10/2016



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126 S. FEDERAL HIGHWAY  
SUITE # 202  
DANIA BEACH, FLORIDA 33004  
PH: (954) 922-6551

EMAIL: [nrosenstein@rosensteinarchitect.com](mailto:nrosenstein@rosensteinarchitect.com)  
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SUITE # 202  
DANIA BEACH, FLORIDA 33004  
PH: (954) 922-6551

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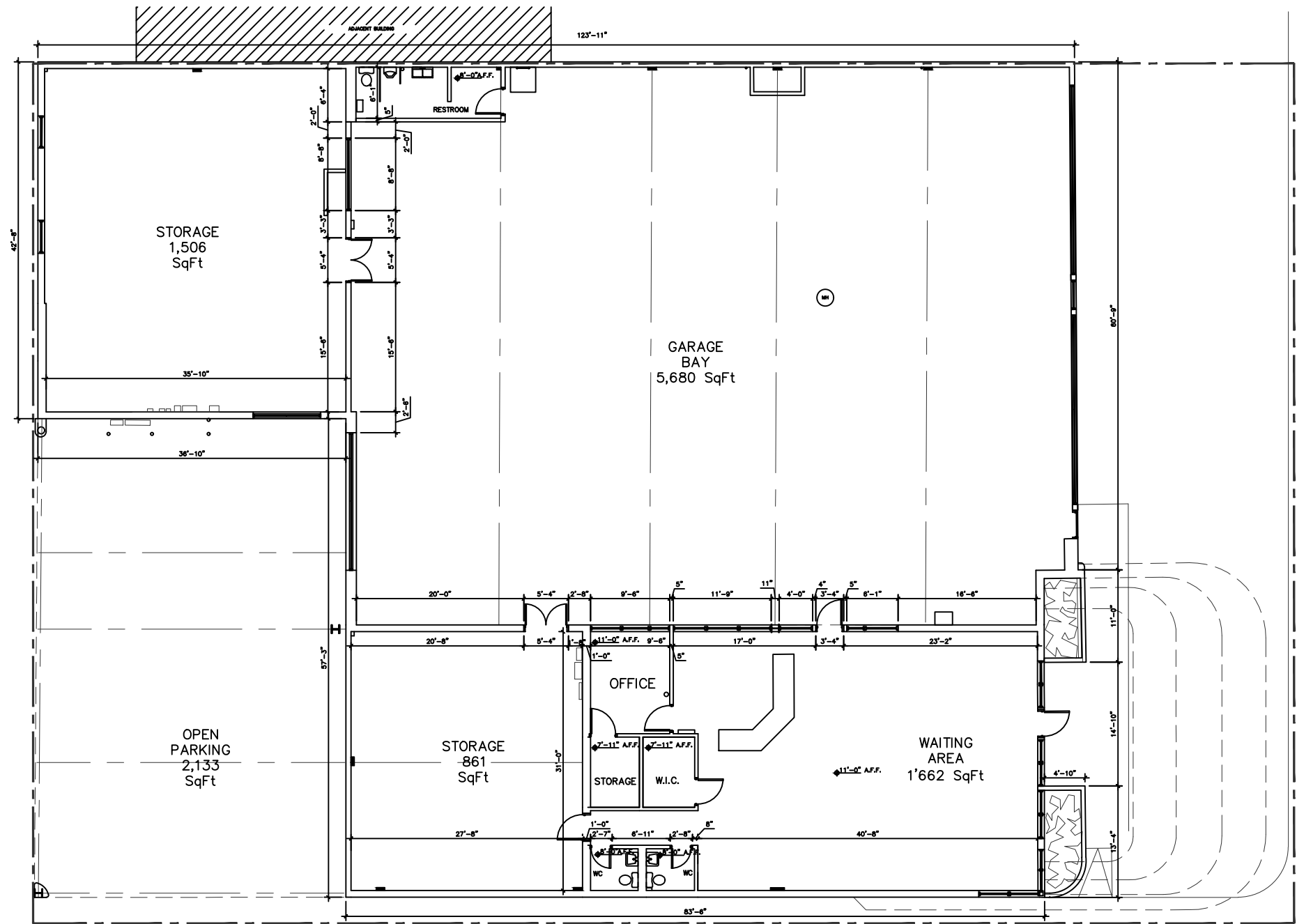
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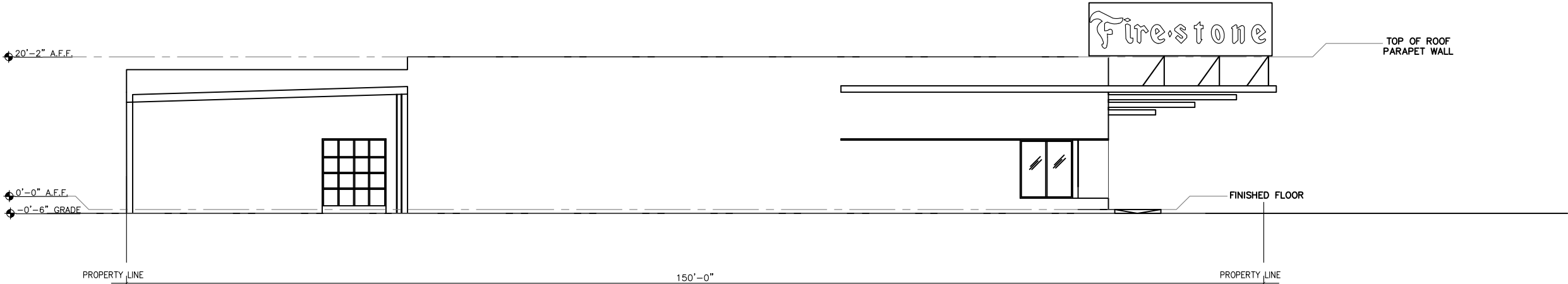

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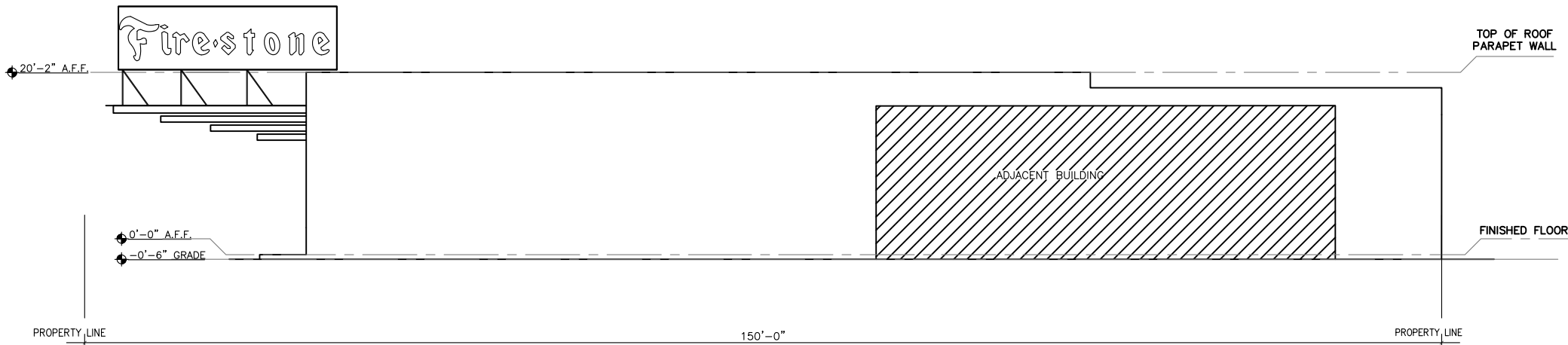
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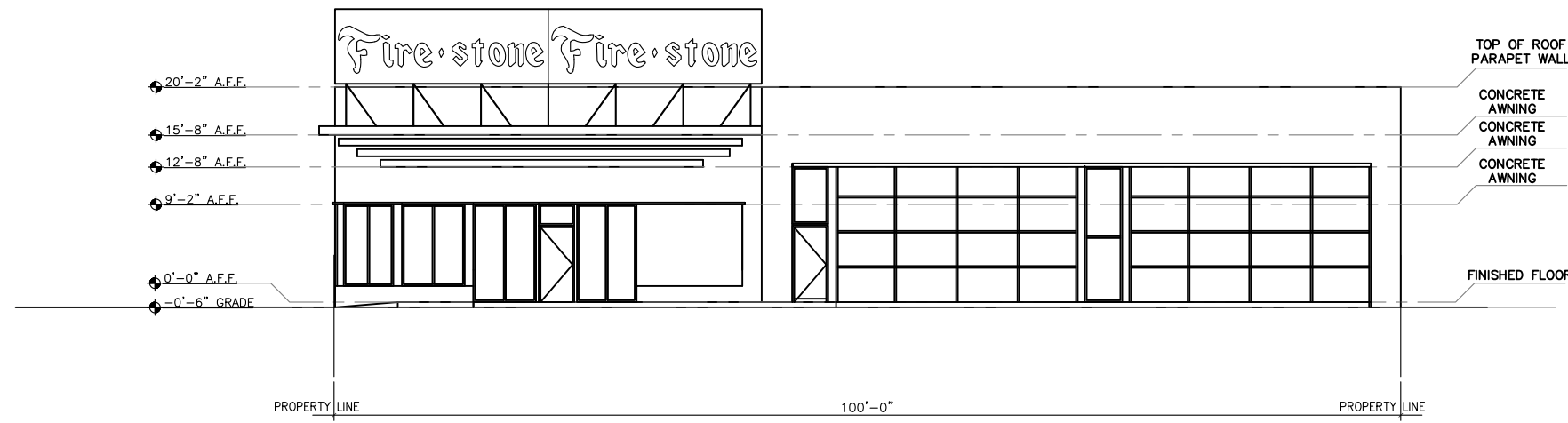
EXISTING  
CONDITIONS  
ELEVATIONS



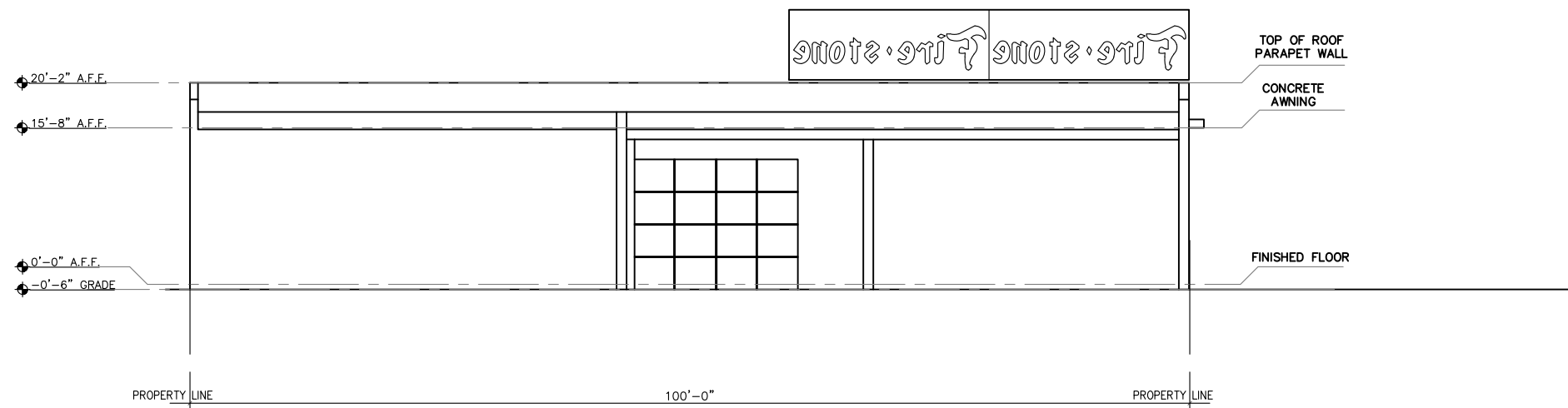
01 EXISTING NORTH ELEVATION  
SCALE: 1/16"=1'-0"



02 EXISTING SOUTH ELEVATION  
SCALE: 1/16"=1'-0"



01 EXISTING WEST ELEVATION  
SCALE: 1/16"=1'-0"



02 EXISTING EAST ELEVATION  
SCALE: 1/16"=1'-0"



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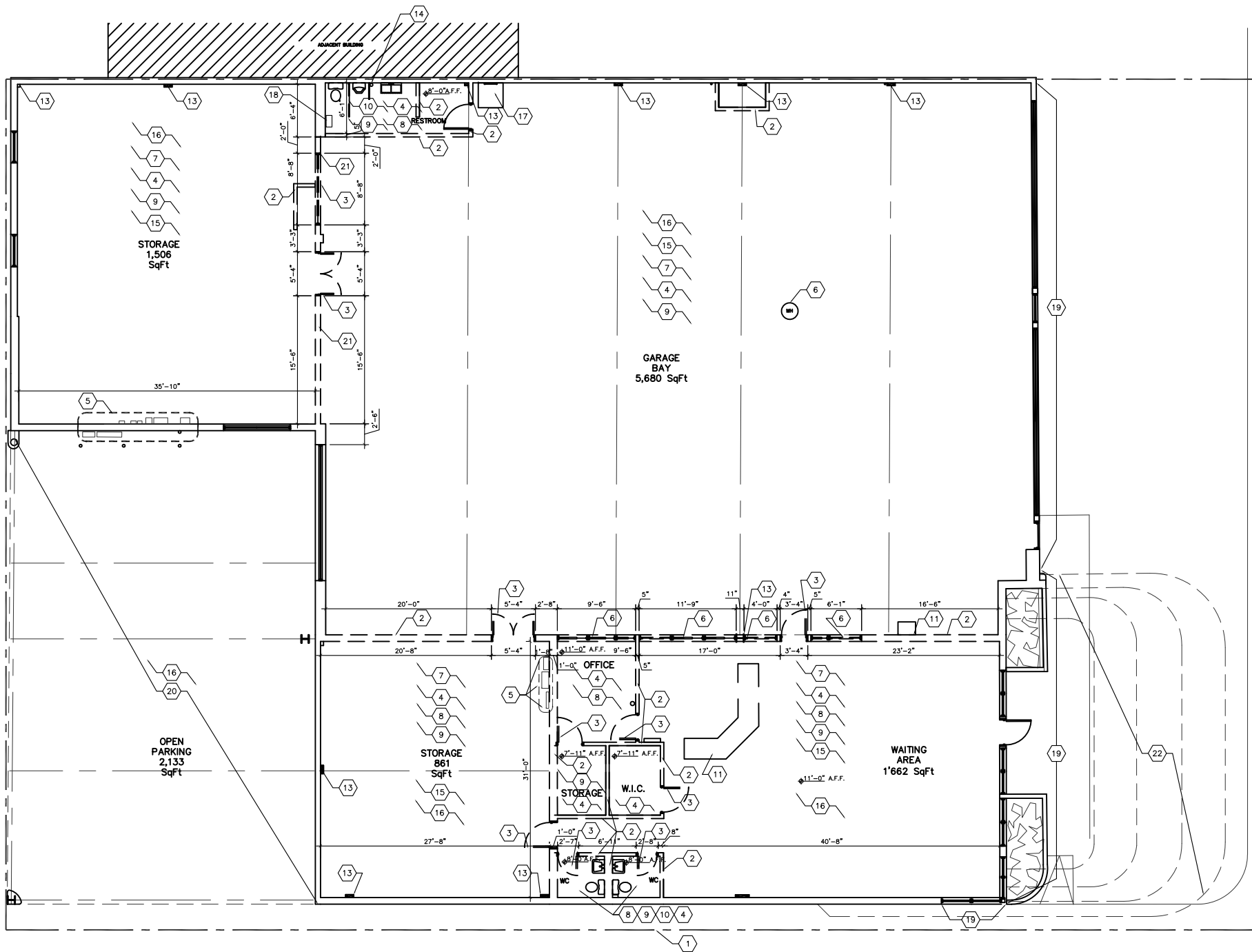
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EXISTING  
CONDITIONS  
ELEVATIONS





DEMOLITION KEY NOTES:

VERIFY ALL NOTES WITH ID DRAWINGS

1. AREA OF WORK
2. REMOVE WALL AND ALL ASSOCIATED COMPONENTS.
3. REMOVE DOOR AND ALL ASSOCIATED COMPONENTS.
4. REMOVE EXISTING FLOOR FINISHES.
5. REMOVE EXISTING ELECTRICAL PANELS AND DATA PANELS.
6. REMOVE MANHOLE.
7. REMOVED ALL MECHANICAL EQUIPMENT AND ASSOCIATED COMPONENTS.
8. REMOVE EXISTING CEILING AND ASSOCIATED COMPONENTS, PROTECT STRUCTURE.
9. REMOVE EXISTING LIGHTING FEATURES AND ASSOCIATED COMPONENTS.
10. REMOVE ALL RESTROOM FIXTURES, COMPONENT AND PARTITIONS.
11. REMOVE EXISTING MILLWORK AND FURNITURE.
12. NOT USED
13. EXISTING COLUMN TO REMAIN, PROTECT DURING DEMOLITION

14. EXISTING RAIN LEADER TO REMAIN.
15. ALL ELECTRICAL CONDUITS AND BOXES TO BE REMOVED THROUGHOUT. PROVIDE CLEAN CMU WALLS AND CEILINGS.
16. ALL ROOF ELEMENTS TO REMAIN: NO WORK.
17. EXISTING LADDER AND ROOF HATCH TO REMAIN.
18. REMOVE WATER HEATER AND ALL ASSOCIATED COMPONENTS
19. EXISTING STOREFRONT TO REMAIN: NO WORK.
20. EXISTING CANOPY AND STRUCTURE TO REMAIN; NO WORK.
21. EXISTING CMU WALL TO BE REMOVED VERIFY IF SHORING IS REQUIRED.
22. EXISTING HISTORICAL CANOPY TO REMAIN; NO WORK.

WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED

02 DEMOLITION KEYNOTES

- A. PROVIDE SELECTIVE DEMOLITION WORK AS INDICATED BY DRAWINGS, IN SCHEDULES AND HEREIN SPECIFIED.
- B. PARTIAL DEMOLITION AND REMOVAL: ITEMS INDICATED TO BE REMOVED WITH ON VALUE TO OWNER BUT OF SALVAGABLE VALUE TO THE CONTRACTOR MAY BE REMOVED FROM THE STRUCTURE AS WORK PROGRESSES.
- B.A. WHERE INDICATED ON DRAWINGS AS "SALVAGE - DELIVER TO THE OWNER", CAREFULLY REMOVE INDICATED ITEMS, CLEAN, STORE AND TURN OVER TO OWNER AT COMPLETION OF DEMOLITION AND OBTAIN RECEIPTS.
- C. PROTECTION: PROVIDE TEMPORARY BARRICADES OR ANY OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT THE OWNER, PROPERTY OF THE OWNER, AND THE GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK UNDER THIS CONTRACT.
- C.A. PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROVIDE FREE AND SAFE PASSAGE OF OWNER, TENANTS AND GENERAL PUBLIC TO AND FROM OCCUPIED PORTIONS OF BUILDING.
- C.B. ERECT TEMPORARY PASSAGEWAYS WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- C.C. REMOVE ALL PROTECTION AT THE COMPLETION OF THE WORK.
- D. UTILITY SERVICES: MAINTAIN EXISTING UTILITY SERVICES AS INDICATED TO REMAIN, OR KEEP IN SERVICE AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- D.A. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED AREAS OR USED FACILITIES. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO OCCUPIED AREAS.
- D.B. PROVIDE SERVICES FOR EFFECTIVE AIR AND WATER POLLUTION CONTROLS AS REQUIRED BY THE LOCAL AUTHORITIES HAVING JURISDICTION.
- E. CLEAN-UP AND REPAIRS:
- E.A. UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, ALL UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, ALL EQUIPMENT AND DEMOLISHED DEBRIS AND

- MATERIALS FROM SITE. REMOVE PROTECTION AND COVERINGS AND LEAVE INTERIOR AREAS BROOM CLEAN.
- E.B. REPAIR ALL AREAS DAMAGED BEYOND THE EXTENT OF THE DEMOLITION REQUIRED. RETURN ALL SURFACES AND STRUCTURES THAT REMAIN TO THE CONDITION THEY WERE; PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION DAMAGED BY DEMOLITION WORK.
- E.C. DAMAGES: PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY SELECTIVE DEMOLITION WORK AT NO COST TO THE OWNER. FACILITIES BY SELECTIVE DEMOLITION WORK AT NO COST TO THE OWNER.
- E.D. REMOVE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS, FROM THE BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF ALL WASTE OFF SITE.
- E.E. PROTECT FROM DAMAGE ANY AND ALL EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING THE DEMOLITION OPERATION.
- E.F. PROTECT ALL FLOORS THAT ARE EXPOSED WITH SUITABLE COVERING. REPAIR ANY DAMAGE CAUSED BY NEGLIGENCE.

BEGINNING OF DEMOLITION/INSTALLATION WILL BE CONSTRUED AS ACCEPTANCE OF EXISTING SUBSTRATES, SURFACES AND CONDITIONS. MAJOR PROBLEMS IN THE STRUCTURE WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

ELECT. SERVICES THAT ARE ABANDONED ARE TO BE TOTALLY REMOVED FROM EXISTING LOCATIONS AND ALL WIRING SCRAPPED. REMOVED FROM EXISTING LOCATIONS AND ALL WIRING SCRAPPED. FIXTURES SO DESIGNATED ARE TO BE PRESENTED TO OWNER.

IF CIRCUITS ARE TO BE REUSED FOR NEW FIXTURES, THE WIRING SHOULD BE CHECKED FOR ANY DEFECTS OR DEVIATIONS IN PROPER ELECTRICAL REQUIREMENTS.

ALL LIFE SAFETY SYSTEM SHALL REMAIN OPERATIONAL WHILE WORK IS BEING PERFORMED

03 GENERAL DEMOLITION NOTES



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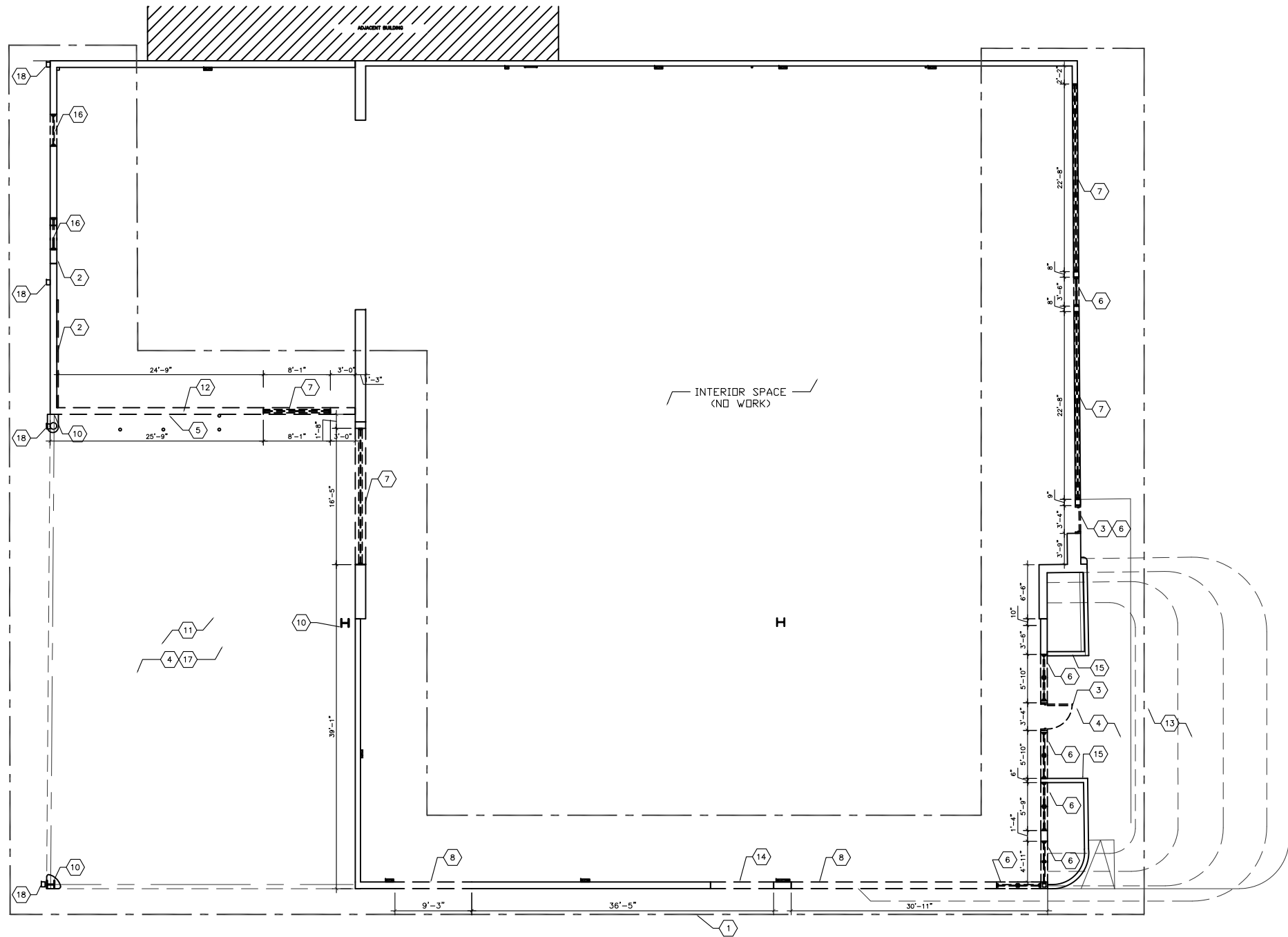
INTERIOR  
DEMOLITION  
PLAN

A-5.3 OF 6



01 DEMOLITION PLAN

SCALE: 1/16"=1'-0"



DEMOLITION KEY NOTES:

1. AREA OF WORK
2. REMOVE WALL AND ALL ASSOCIATED COMPONENTS. REPAIR, PATCH AND CLEAN ADJACENT SURFACES. MAINTAIN EXISTING WALL FIRE-RATING.
3. REMOVE DOOR AND ALL ASSOCIATED COMPONENTS.
4. REPAIR SLAB TO BE SMOOTH AND READY TO RECEIVE NEW FINISHES.
5. REMOVE EXISTING ELECTRICAL PANELS AND DATA PANELS.
6. REMOVE EXISTING WINDOW AND ASSOCIATED COMPONENTS. EXISTING OPENING TO REMAIN, REPAIR, PATCH AND CLEAN ADJACENT SURFACES AND PREPARE FOR NEW WINDOW.
7. REMOVE ROLL-DOOR AND ASSOCIATED COMPONENTS. EXISTING OPENING TO REMAIN, REPAIR, CLEAN AND PATCH ADJACENT SURFACES AND PREPARE FOR NEW DOOR.
8. DEMOLITION ON PREVIOUS OPENING. PREPARE FOR NEW WINDOWS OR STORE FRONT, REFER TO ELEVATIONS DWG AND SCHEDULES.

9. EXISTING SIGN TO REMAIN, NO WORK. SEE ELEVATIONS
10. EXISTING COLUMN TO REMAIN.
11. REMOVE EXTERIOR LIGHTING AND ASSOCIATED COMPONENTS.
12. EXISTING CMU WALL TO BE REMOVED, VERIFY IF SHORING IS REQUIRED.
13. EXISTING HISTORICAL CANOPY TO REMAIN.
14. NEW OPENING FOR NEW WINDOW, SEE ELEVATIONS FOR DETAILS.
15. EXISTING CONCRETE PLANTERS TO REMAIN
16. REMOVE WINDOW PATCHES AND REMOVE WINDOWS.
17. EXISTING CANOPY TO REMAIN; NO WORK.
18. EXISTING WATER SPOUTS AND GUTTERS TO BE REPLACED AFTER NEW WALL CONSTRUCTION.

WALL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED

02 DEMOLITION KEYNOTES

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- C.B. ERECT TEMPORARY PASSAGEWAYS WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION.
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- D.A. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED AREAS OR USED FACILITIES. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO OCCUPIED AREAS.
- D.B. PROVIDE SERVICES FOR EFFECTIVE AIR AND WATER POLLUTION CONTROLS AS REQUIRED BY THE LOCAL AUTHORITIES HAVING JURISDICTION.
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- MATERIALS FROM SITE. REMOVE PROTECTION AND COVERINGS AND LEAVE INTERIOR AREAS BROOM CLEAN.
- E.B. REPAIR ALL AREAS DAMAGED BEYOND THE EXTENT OF THE DEMOLITION REQUIRED. RETURN ALL SURFACES AND STRUCTURES THAT REMAIN TO THE CONDITION THEY WERE; PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION DAMAGED BY DEMOLITION WORK.
- E.C. DAMAGES: PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY SELECTIVE DEMOLITION WORK AT NO COST TO THE OWNER. FACILITIES BY SELECTIVE DEMOLITION WORK AT NO COST TO THE OWNER.
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- E.F. PROTECT ALL FLOORS THAT ARE EXPOSED WITH SUITABLE COVERING. REPAIR ANY DAMAGE CAUSED BY NEGLIGENCE.

BEGINNING OF DEMOLITION/INSTALLATION WILL BE CONSTRUED AS ACCEPTANCE OF EXISTING SUBSTRATES, SURFACES AND CONDITIONS. MAJOR PROBLEMS IN THE STRUCTURE WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

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ALL LIFE SAFETY SYSTEM SHALL REMAIN OPERATIONAL WHILE WORK IS BEING PERFORMED

03 GENERAL DEMOLITION NOTES



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ARCHITECT, INC.**  
ARCHITECTURE - INTERIOR DESIGN - PLANNING  
  
126 S. FEDERAL HIGHWAY  
SUITE # 202  
DANIA BEACH, FLORIDA 33004  
PH: (954) 922-6551

EMAIL: [nrosenstein@rosensteinarchitect.com](mailto:nrosenstein@rosensteinarchitect.com)  
WEB: [www.rosensteinarchitect.com](http://www.rosensteinarchitect.com)

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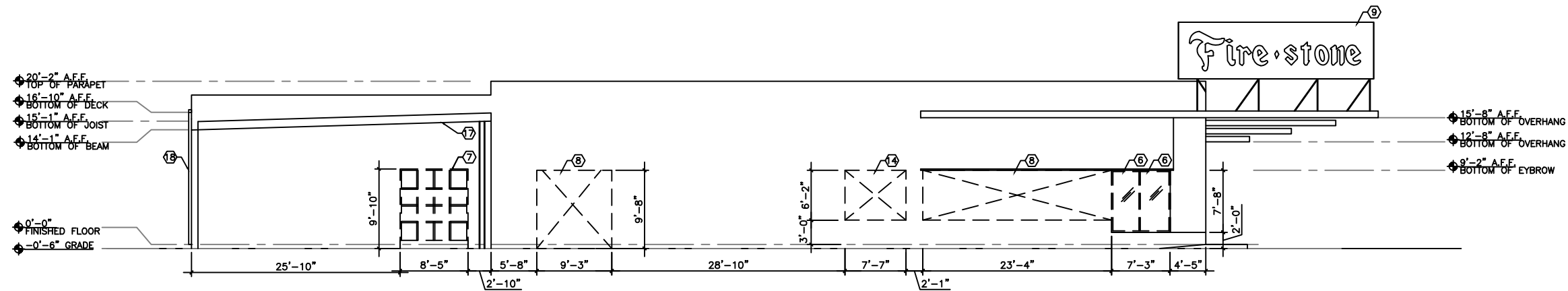
EXTERIOR  
DEMOLITION  
PLAN

A-5.3b OF 6

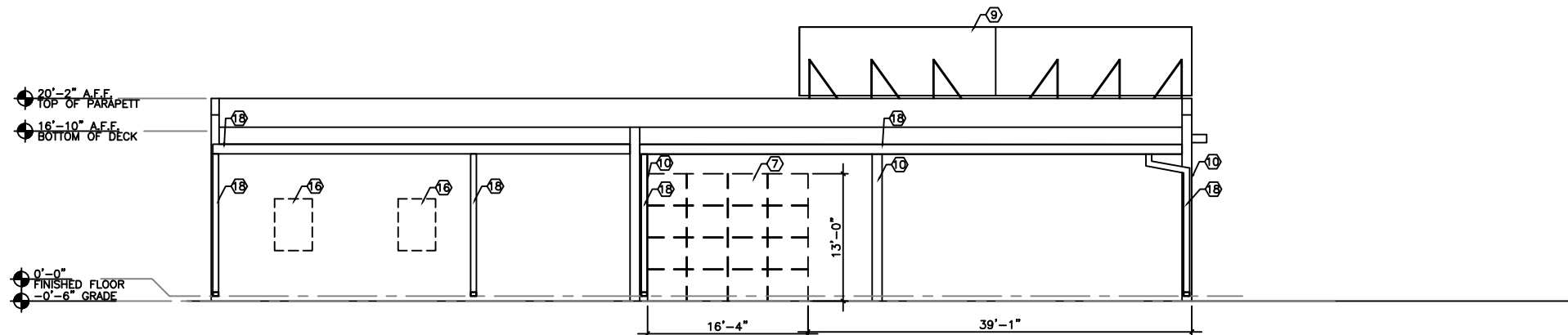
01 DEMOLITION PLAN

SCALE: 1/16"=1'-0"

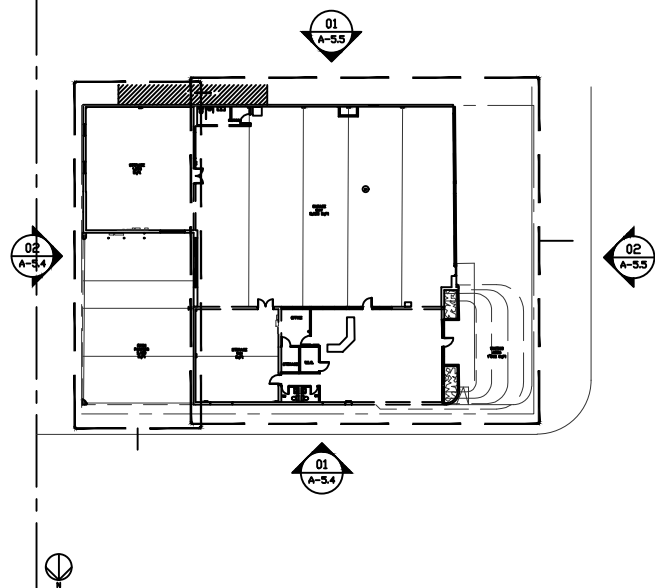




01 DEMOLITION NORTH ELEVATION  
SCALE: 1/16"=1'-0"



02 DEMOLITION EAST ELEVATION  
SCALE: 1/16"=1'-0"



03 KEY PLAN  
SCALE: 1/64"=1'-0"

1. AREA OF WORK
2. REMOVE WALL AND ALL ASSOCIATED COMPONENTS. REPAIR, PATCH AND CLEAN ADJACENT SURFACES. MAINTAIN EXISTING WALL FIRE-RATING.
3. REMOVE DOOR AND ALL ASSOCIATED COMPONENTS.
4. REPAIR SLAB TO BE SMOOTH AND READY TO RECEIVE NEW FINISHES.
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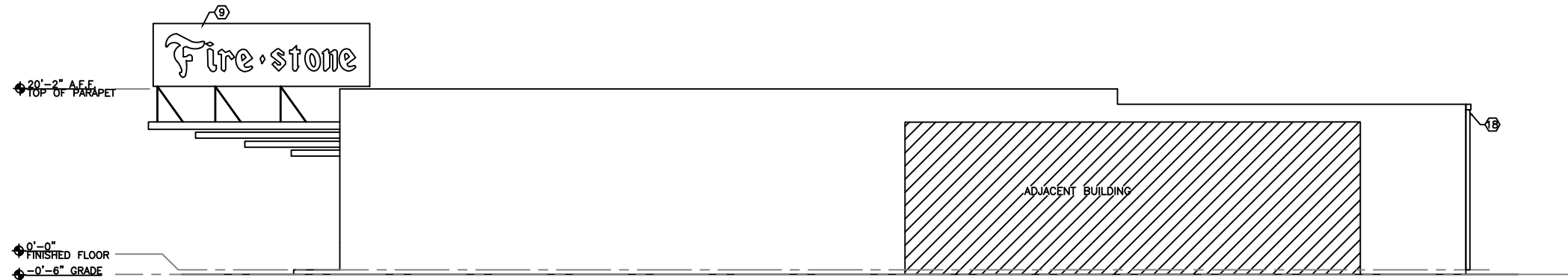

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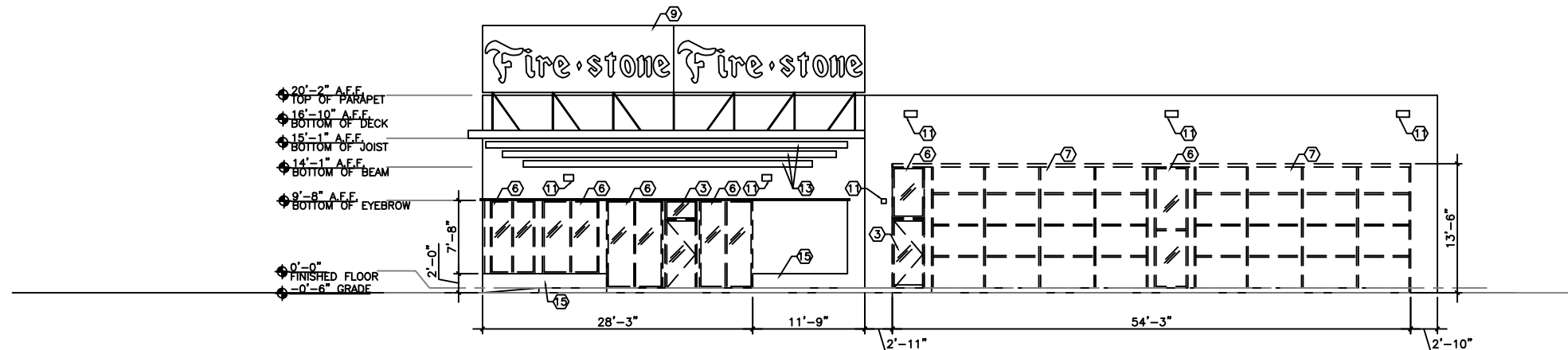
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DEMOLITION  
ELEVATIONS

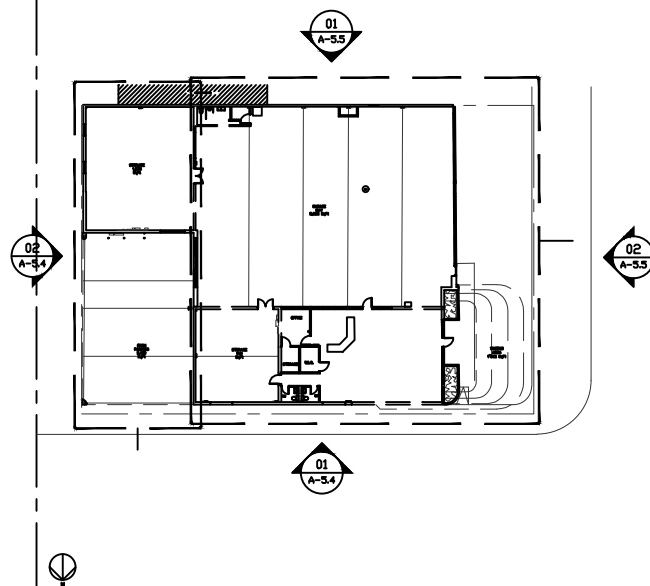
A-5.4 OF 6



01 DEMOLITION SOUTH ELEVATION  
SCALE: 1/16"=1'-0"



02 DEMOLITION WEST ELEVATION  
SCALE: 1/16"=1'-0"



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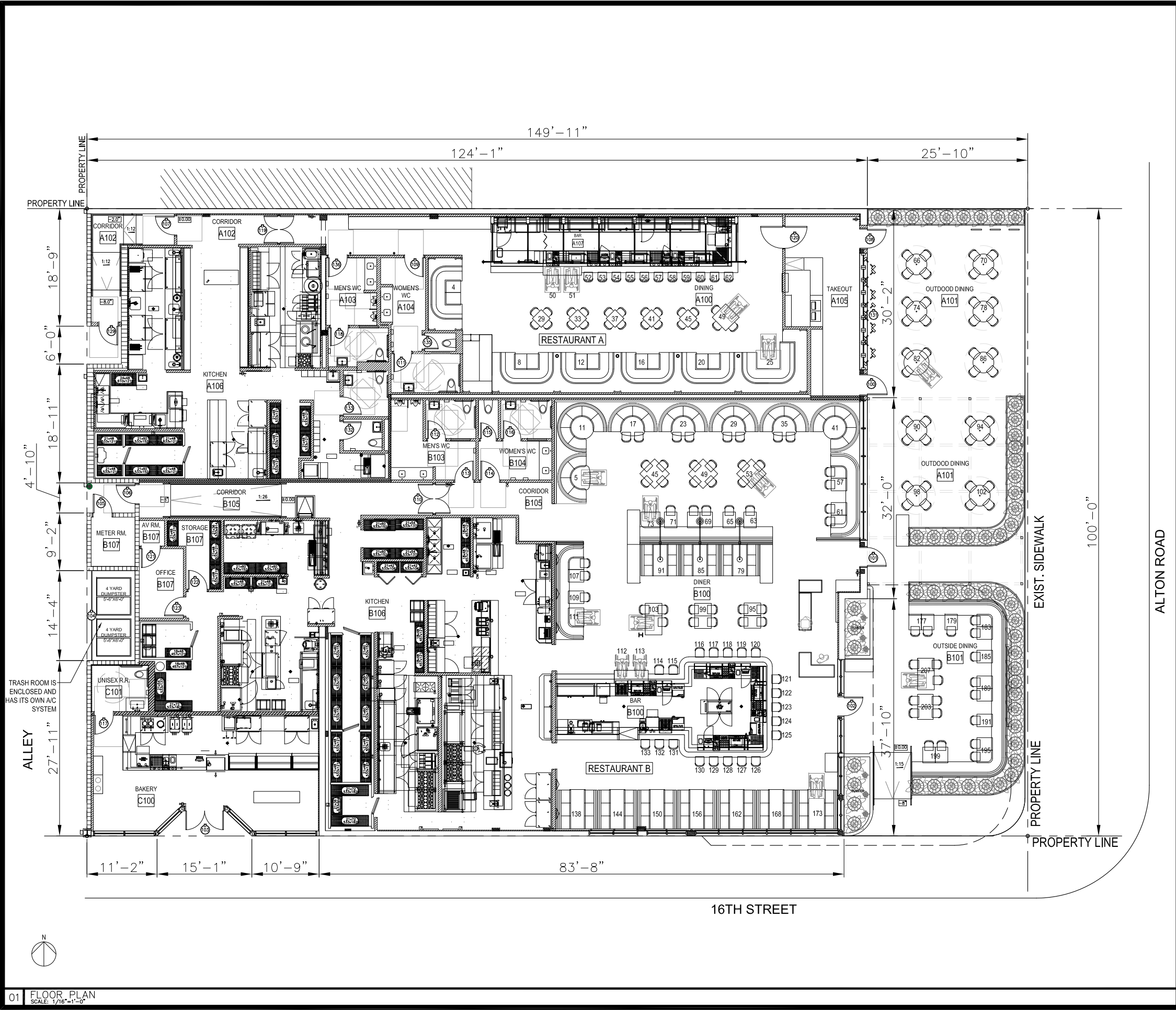
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DEMOLITION  
ELEVATIONS

A-5.5 OF 6





02		SPACE A RESTAURANT : 5,513 SqFt	
USE: A2 ASSEMBLY		OCCUPANCY SEATS	
INTERIOR SEATING AREA:			
UNCONSTRAINED SEATING AREA 993/15		66	49
TAKEOUT AREA 228/15		16	
BAR SEATING: (52.21'x4')/7		23	13
KITCHEN & SERVICE AREAS (1418+66+351)/100		18	
INTERIOR SUB-TOTAL		123	62
EXTERIOR SEATING AREA: 1397 SqFt			
UNCONSTRAINED SEATING AREA 1397/15		93	40
OUTDOOR SUB-TOTAL		93	40
GRAND TOTAL		OCCUPANCY 216	SEATS 102
		INCLUDING 5 ADA SEATS	
03		SPACE B RESTAURANT : 7,472 SqFt	
USE: A2 ASSEMBLY		OCCUPANCY SEATS	
INTERIOR SEATING AREA:			
UNCONSTRAINED SEATING AREA 2,386/15		156	151
TAKEOUT AREA (79.75'x4')/7		49	22
KITCHEN & SERVICE AREAS (2,655+402)/100		31	
INTERIOR SUB-TOTAL		236	173
EXTERIOR SEATING AREA: 867 SqFt			
UNCONSTRAINED SEATING AREA 867/15		58	34
OUTDOOR SUB-TOTAL		58	34
GRAND TOTAL		OCCUPANCY 294	SEATS 207
		INCLUDING 8 ADA SEATS	
04		SPACE C BAKERY: 770 SqFt	
USE: MERCHANTILE			
359 SqFt/30 = 12 PEOPLE			
267 SqFt/100 = 3 PEOPLE (SERVICE AREA)			
144 SqFt = 0 PEOPLE (RESTROOM - NO OCCUPIED)			
TOTAL = 15 PEOPLE			
05		UTILITY D : 60 SqFt	
06		TRASH E : 100 SqFt	
07		TOTAL AREA : 13915 SqFt	
08		TOTAL INTERIOR AREA : 11651 SqFt	
09		* ALL SEATING IS CONTAINED WITHIN PROPERTY LINE	
10		OCCUPANCY LOAD/ SEATING BREAKDOWN	
11		N.T.S.	

NR

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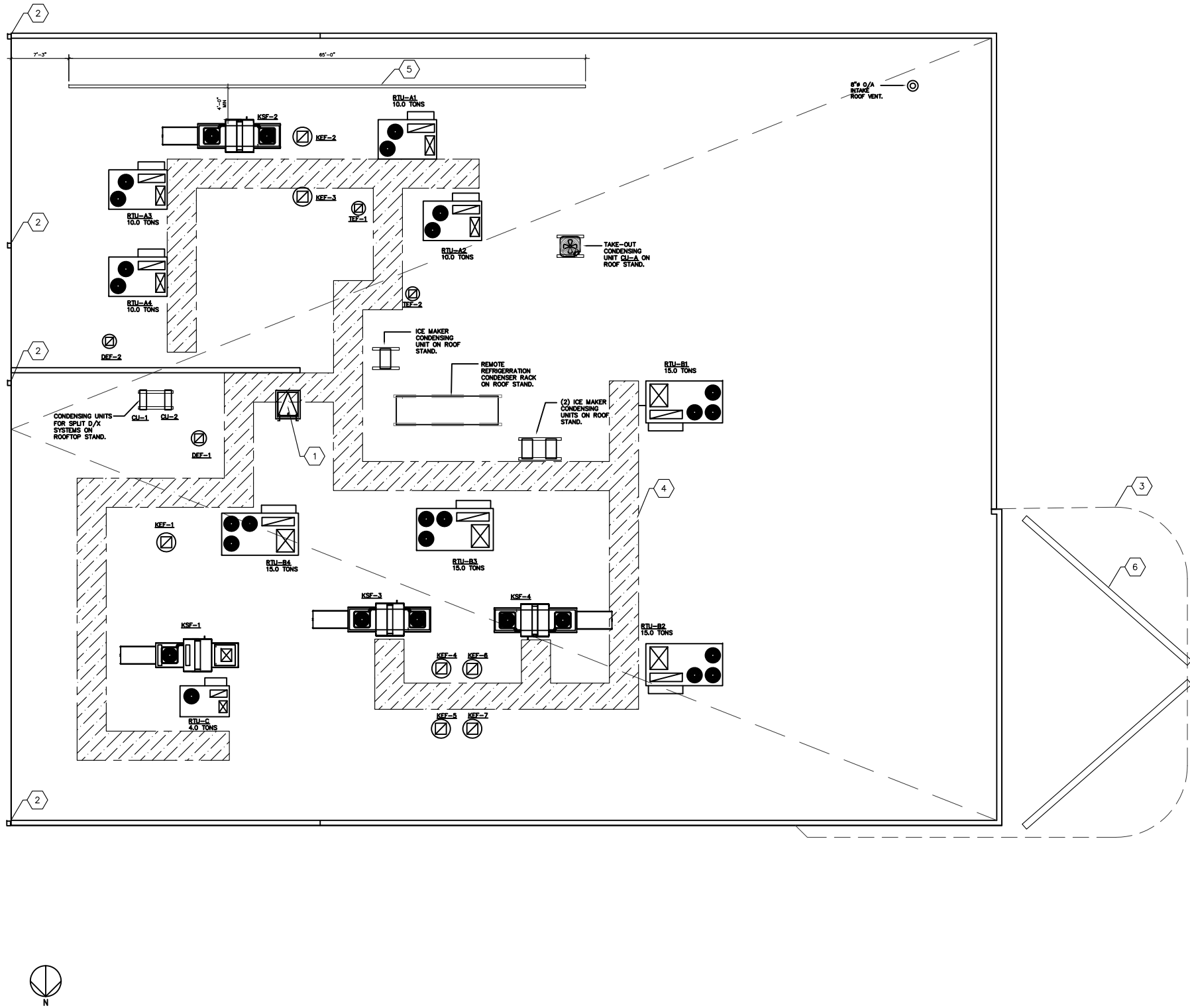
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FLOOR PLAN

A-6.0

OF

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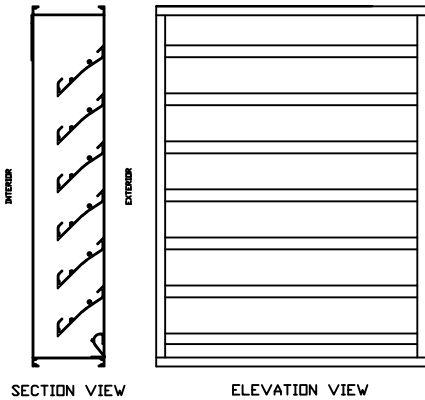


01 ROOF PLAN  
SCALE: 1/16"=1'-0"

VERIFY ALL NOTES WITH ID DRAWINGS

- 1. ROOF HATCH
- 2. DOWN SPOUTS
- 3. EXISTING HISTORICAL AWNING
- 4. ROOF PATH PAD
- 5. MECHANICAL SCREEN. SEE 03/6.1.  
SCREEN TO BE 7'-7" TALL AND  
POWDER COATED.
- 6. EXISTING SIGN

02 KEYNOTES  
NTS



FRAME STYLE *	STIFFENER	VERTICAL MULLION (MULTIPLE PANELS VIED)
EXTERIOR  CHANNEL 'C' FRAME	EXTERIOR  BLADE STIFFENER	EXTERIOR  BLADE SUPPORT BRACKETS
TYPICAL MOUNTING W/ TEK SCREWS (TO FACE OF FRAMING)		
EXTERIOR  BLADE SUPPORT BRACKETS	PLAN VIEW  STIFFENERS (JOINED BY INSTALLER) 5/16" SS FASTENERS (PROVIDED LOOSE) 1-1/4" X 3" X 1/4" THICK CLIP ANGLE (PROVIDED LOOSE) STRUCTURAL FRAMING (BY OTHERS)	EXTERIOR  BLADE SUPPORT BRACKETS
HIDDEN		
MITERED OUTSIDE CORNER		
EXTERIOR  BLADE SUPPORT BRACKETS	PLAN VIEW  STIFFENERS (JOINED BY INSTALLER) 5/16" SS FASTENERS (PROVIDED LOOSE) 1-1/4" X 3" X 1/4" THICK CLIP ANGLE (PROVIDED LOOSE) STRUCTURAL FRAMING (BY OTHERS)	EXTERIOR  BLADE SUPPORT BRACKETS
HIDDEN		

03 MECHANICAL SCREEN DETAIL  
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K.R.  
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N.R.

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REVISIONS

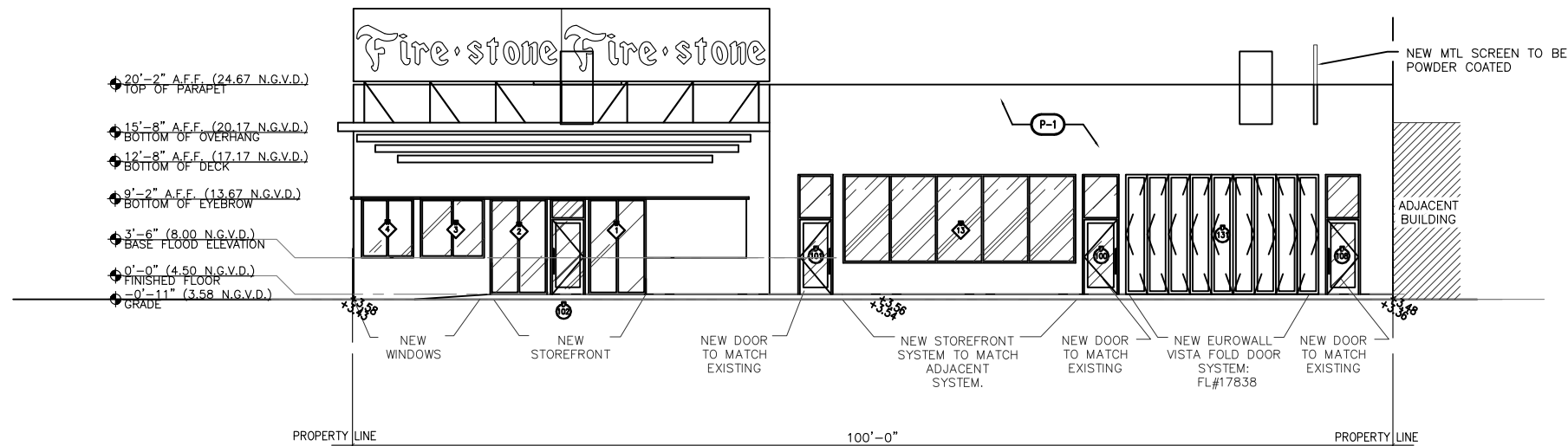
COMM.	DATE
2018-39	4/22/2020

FIRESTONE  
MIAMI BEACH

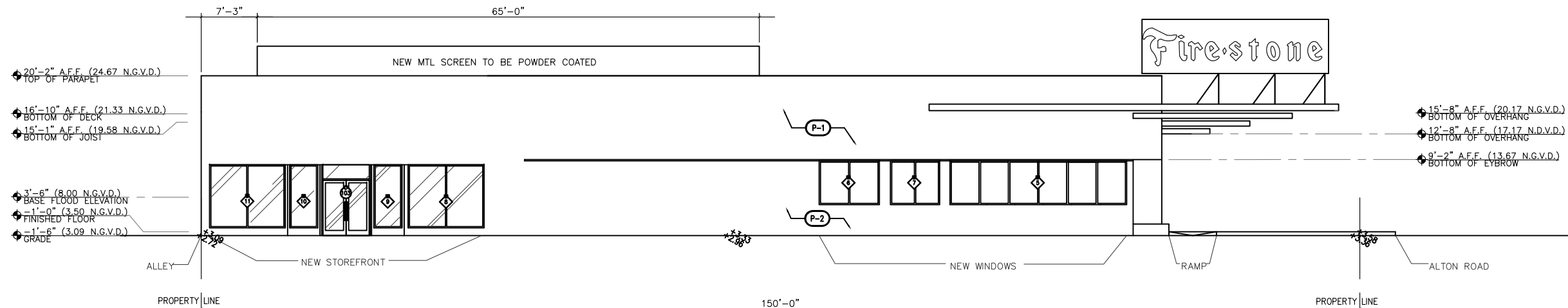
MIAMI BEACH, FLORIDA  
33139

ROOF PLAN

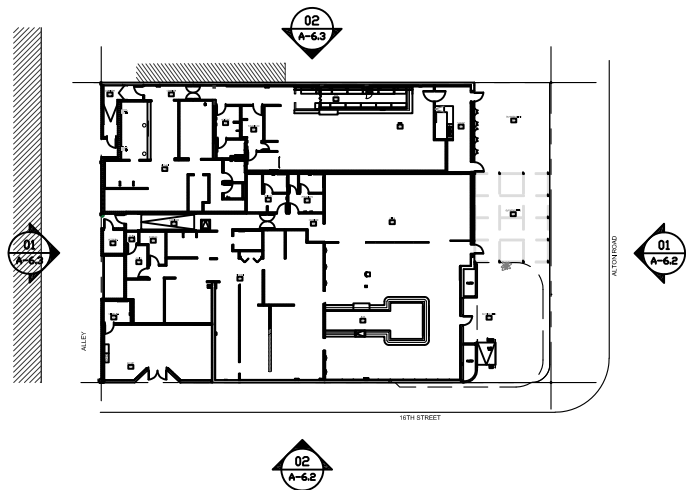




01 WEST ELEVATION  
SCALE: 1/16"=1'-0"



02 NORTH ELEVATION  
SCALE: 1/16"=1'-0"



03 KEY PLAN  
SCALE: 1/64"=1'-0"

FINISH SCHEDULE						
GC		OWNER		MATERIAL		
FURNISH	INSTALL	FURNISH	INSTALL	TAG	DESCRIPTION AND SPECIFICATIONS	REMARKS
WALLS	Q	Q		(P-1)	PAINT COLOR NAME: TBD	
	Q	Q		(P-2)	PAINT COLOR NAME: TBD	
NOTE:						
FLOOR	Q	Q		(FL-1)	EXTERIOR PATIO FLOOR MANUFACTURER: COLOR NAME: FRENCH GRAY C14 PRODUCT: CONCRETE-ROCK SALT FINISH	
NOTE: FLOOR MUST COMPLY WITH FFPC 101 7.1.6.4. THE WALKING SURFACE OF EACH ELEMENT IN THE MEANS OF EGRESS SHALL BE UNIFORMLY SLIP RESISTANT ALONG THE NATURAL PATH OF TRAVEL.						

04 FINISH SCHEDULE  
SCALE: 1/16"=1'-0"

NR  
architect

NORBERTO ROSENSTEIN  
ARCHITECT, INC.  
ARCHITECTURE - INTERIOR DESIGN - PLANNING

126 S. FEDERAL HIGHWAY  
SUITE # 202  
DANIA BEACH, FLORIDA 33004  
PH: (954) 922-6551

EMAIL: [nrosenstein@rosensteinarchitect.com](mailto:nrosenstein@rosensteinarchitect.com)  
WEB: [www.rosensteinarchitect.com](http://www.rosensteinarchitect.com)

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2018-39	4/22/2020

FIRESTONE  
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33139

EXTERIOR  
ELEVATIONS

A-6.2 OF 6



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DANIA BEACH, FLORIDA 33004  
PH: (954) 922-6551

EMAIL: [rosenst@rosensteinarchitect.com](mailto:rosenst@rosensteinarchitect.com)  
WEB: [www.rosensteinarchitect.com](http://www.rosensteinarchitect.com)

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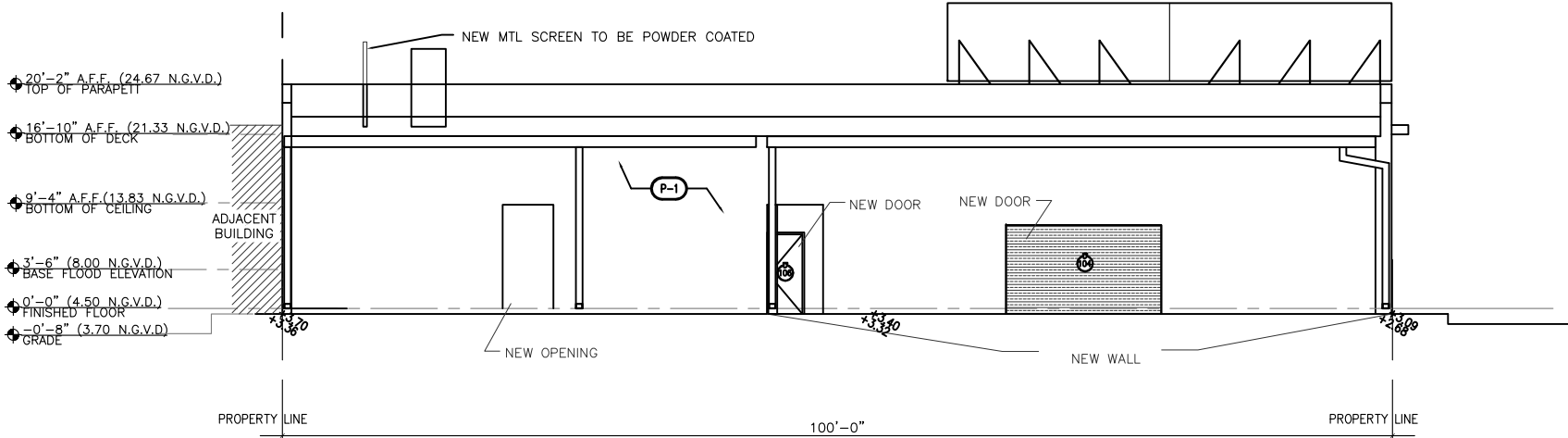
REVISIONS

COMM.	DATE
2018-39	4/22/2020

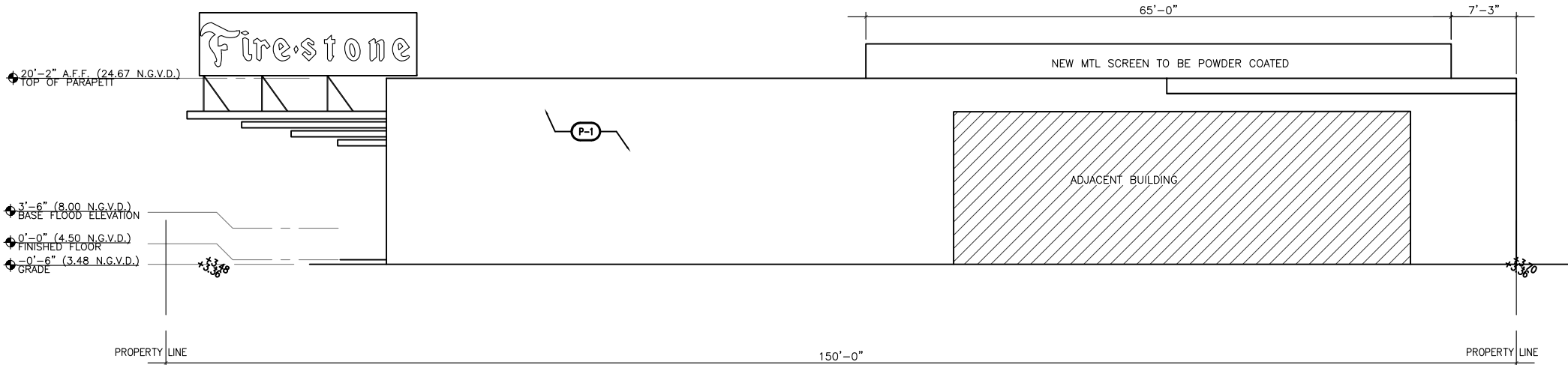
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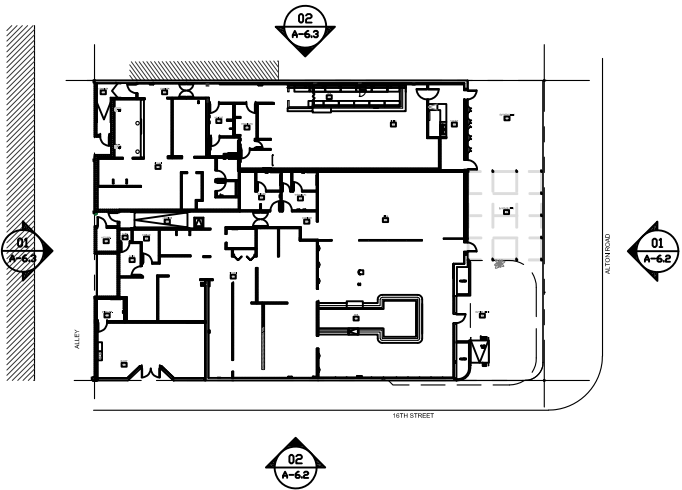
EXTERIOR  
ELEVATIONS



01 EAST ELEVATION  
SCALE: 1/16"=1'-0"



02 SOUTH ELEVATION  
SCALE: 1/16"=1'-0"



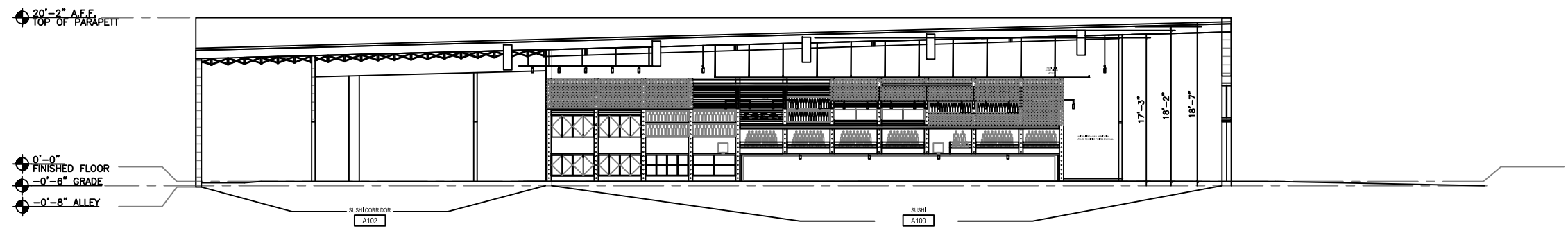
03 KEY PLAN  
SCALE: 1/8"=1'-0"

FINISH SCHEDULE						
GC		OWNER		MATERIAL		
FURNISH	INSTALL	FURNISH	INSTALL	TAG	DESCRIPTION AND SPECIFICATIONS	REMARKS
WALLS	Q	Q		(P-1)	PAINT COLOR NAME: TBD	
	Q	Q		(P-2)	PAINT COLOR NAME: TBD	
NOTE:						
FLOOR	Q	Q		(FL-1)	EXTERIOR PATIO FLOOR MANUFACTURER: COLOR NAME: FRENCH GRAY C14 PRODUCT: CONCRETE-ROCK SALT FINISH	

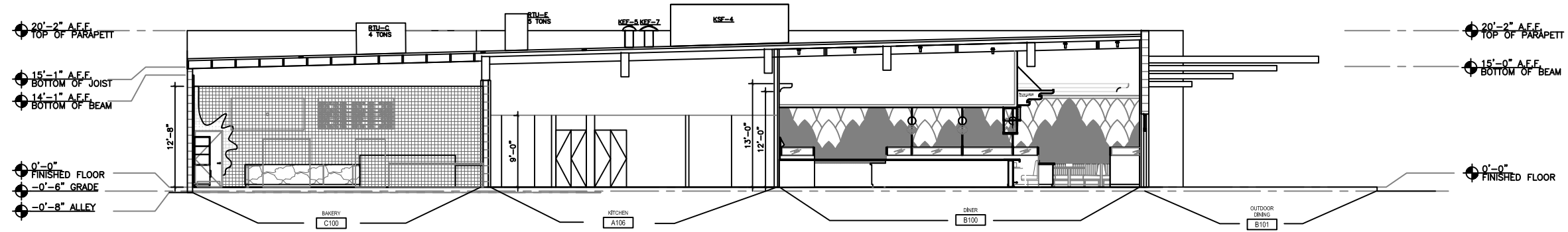
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04 FINISH SCHEDULE  
N.T.S.

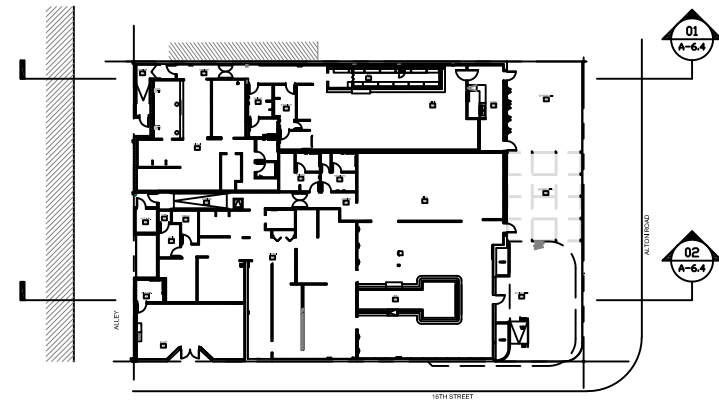




01 SECTION ELEVATION  
SCALE: 1/16"=1'-0"



02 SECTION ELEVATION  
SCALE: 1/16"=1'-0"



03 KEY PLAN  
SCALE: 1/64"=1'-0"



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COMM.	DATE
2018-39	4/22/2020

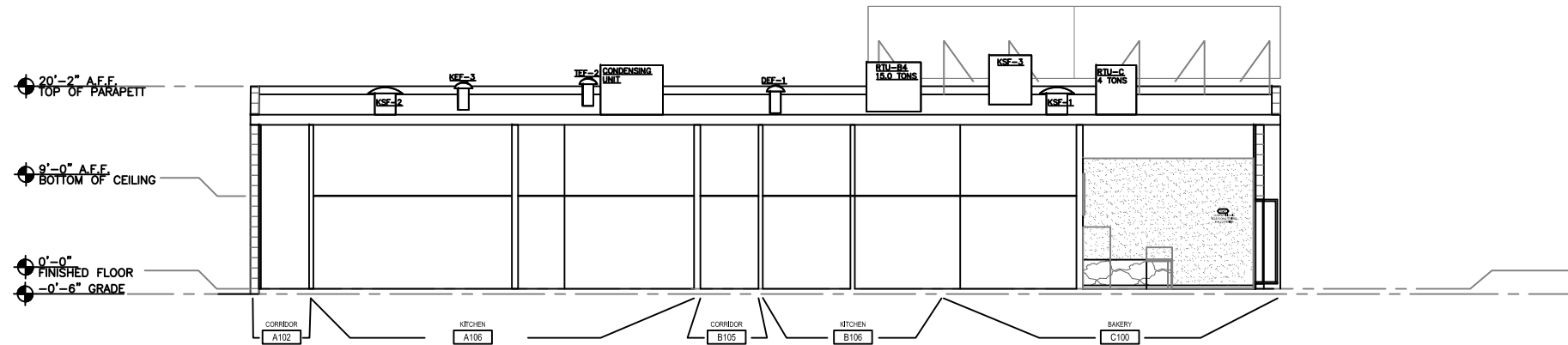
FIRESTONE  
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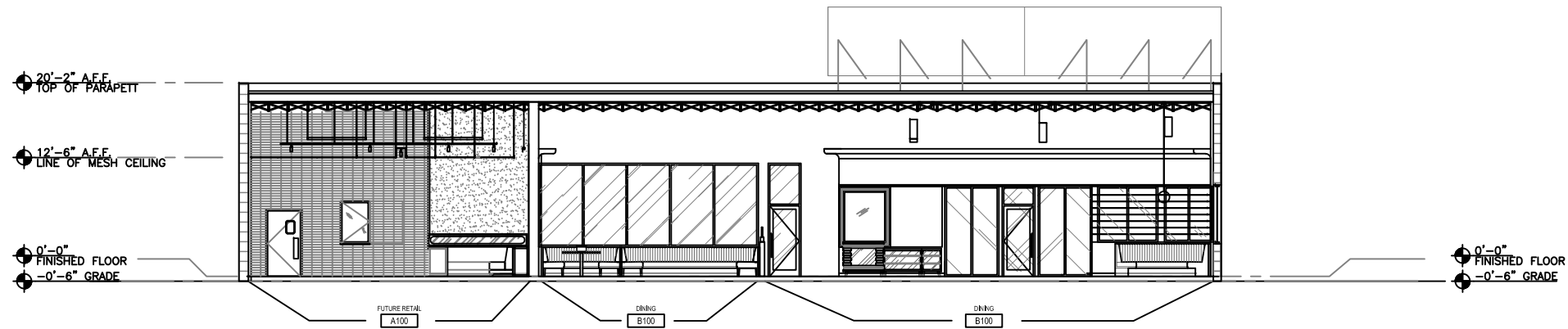
SECTION  
ELEVATIONS

A-6.4 OF 6

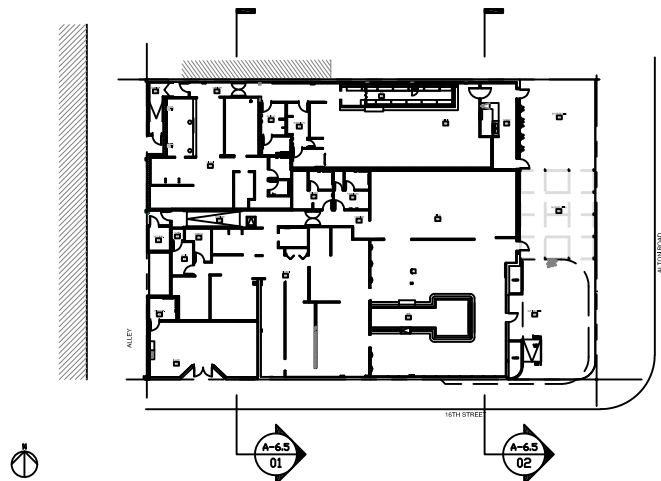
01 SECTION ELEVATION  
SCALE: 1/16"=1'-0"



02 SECTION ELEVATION  
SCALE: 1/16"=1'-0"



03 KEY PLAN  
SCALE: 1/64"=1'-0"



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FIRESTONE  
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MIAMI BEACH, FLORIDA  
33139

SECTION  
ELEVATIONS

A-6.5 OF 6





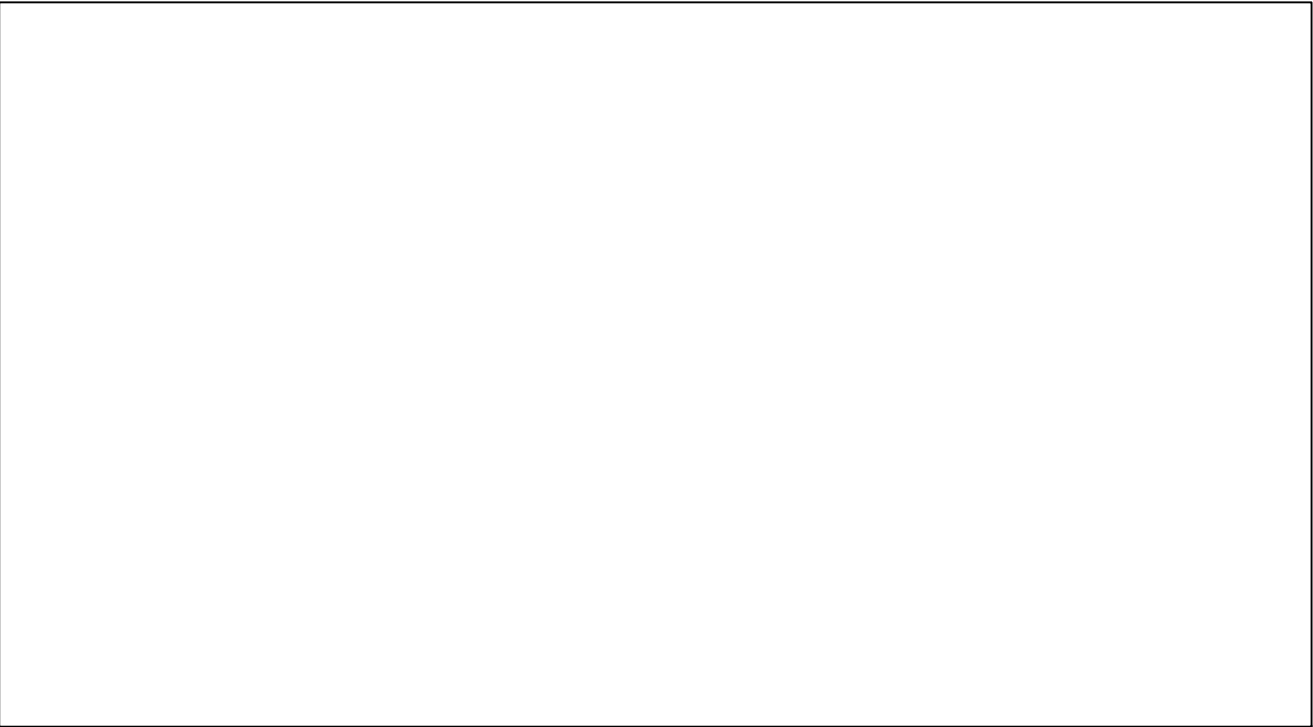
RENDER #1: NORTH ELEVATION ON 16TH STREET: PARTIAL EXTERIOR OF BAKERY ENTRANCE.



RENDER #2: NORTH-WEST CORNER: ON 16TH STREET AND ALTON RD. MAIN ENTRANCE TO RESTAURANT B.



RENDER #3: WEST ELEVATION: ON ALTON RD. MAIN ENTRANCE TO RESTAURANT B AND RESTAURANT A.



N/A



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FIRESTONE  
MIAMI BEACH

MIAMI BEACH, FLORIDA  
33139

EXTERIOR  
RENDERS

A-7.0 OF 7





RENDER #1: RESTAURANT B: PARTIAL SEATING AREA AND BAR VIEW.



RENDER #2: RESTAURANT B: PARTIAL ENTRANCE AND BAR VIEW, SEATING AREA IN THE BACKGROUND.



RENDER #3: RESTAURANT A: SEATING AREA AND BAR.



RENDER #4: BAKERY: MAIN BAKERY SPACE VIEW..



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2018-39	4/22/2020

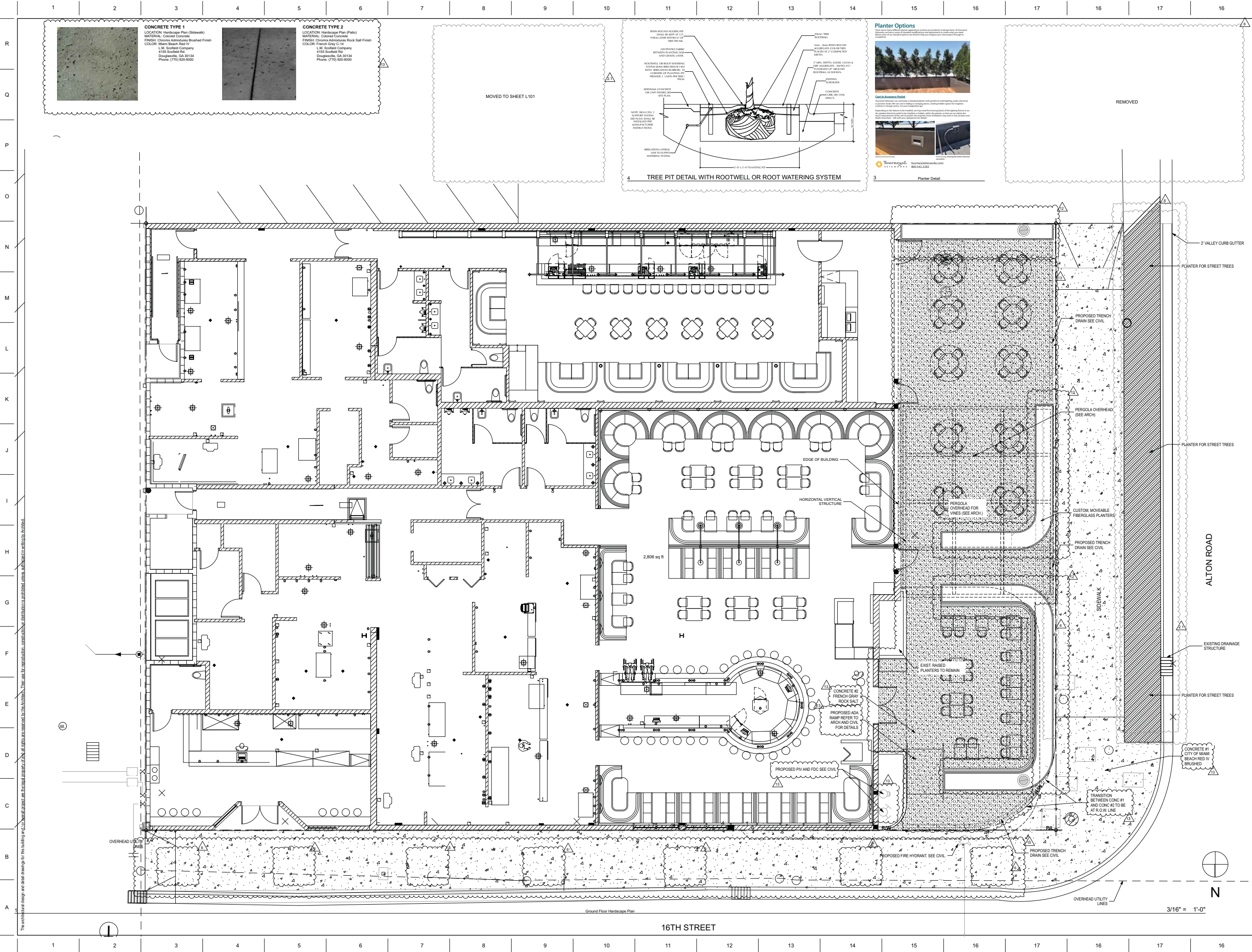
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MIAMI BEACH

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33139

INTERIOR  
RENDERS

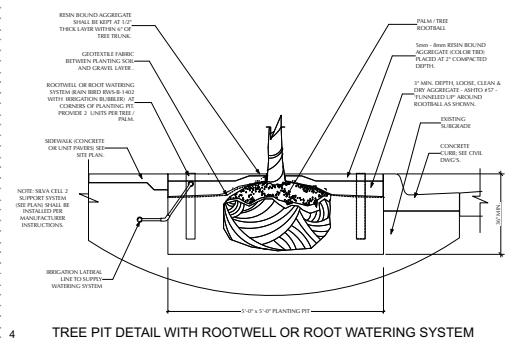
A-7.1 OF 7





**CONCRETE TYPE 1**  
LOCATION: Hardscape Plan (Sidewalk)  
MATERIAL: Colored Concrete  
FINISH: Chroma Admixture Brushed Finish  
COLOR: Miami Beach Red IV  
L.M. Scofield Company  
4155 Scofield Rd  
Douglasville, GA 30134  
Phone: (770) 520-6000

**CONCRETE TYPE 2**  
LOCATION: Hardscape Plan (Patio)  
MATERIAL: Colored Concrete  
FINISH: Chroma Admixture Rock Salt Finish  
COLOR: French Gray IV  
L.M. Scofield Company  
4155 Scofield Rd  
Douglasville, GA 30134  
Phone: (770) 520-6000



**Planter Options**

Call to Action: Contact your local landscape architect or contractor for more information on planter options. Visit [www.tourneco.com](http://www.tourneco.com) for more information.

**Planter Detail**

LANDSCAPE ARCHITECT:

URBAN ROBOT LLC  
4225 LINCOLN ROAD, S. 800  
MIAMI BEACH, FL 33139  
(786) 248-4857  
WWW.URBANROBOT.NET

**FIRESTONE**  
BUILDING PERMIT  
1575 Alton Rd.  
Miami Beach, FL

REVISIONS

1	CITY COMMENTS 12.5.2016
2	COORDINATION 2.1.2017
3	COORDINATION 7.7.2017
4	COORDINATION 5.8.2019
5	CITY COMMENTS 07.11.2019

SEAL

URBAN ROBOT LLC  
ARCHITECT 1575 ALTON RD. 120000016

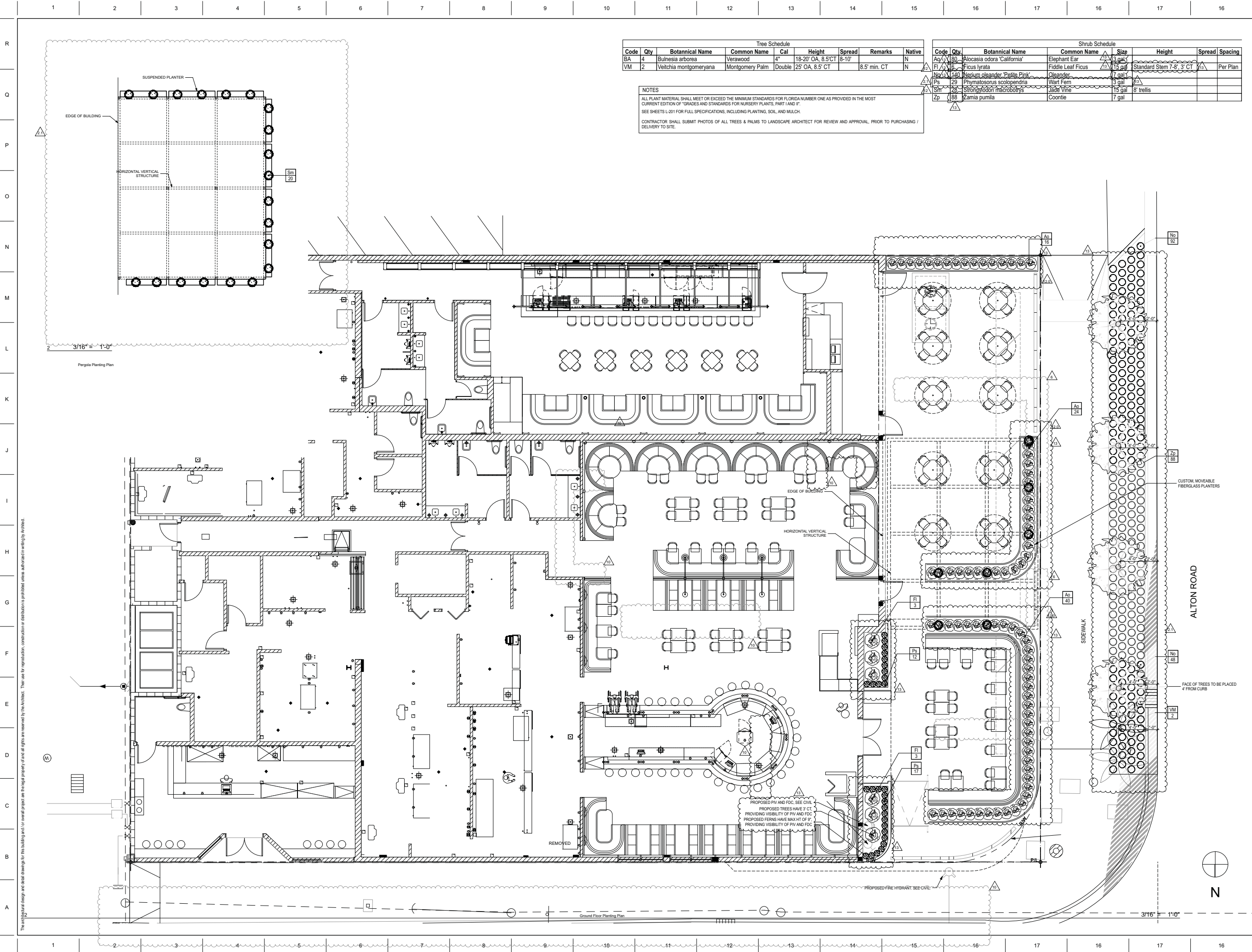
1616  
PROJECT NO.

09/21/2016  
DATE

PS / JV  
DRAWN / CHECKED

Site Hardscape Plan

L100



Tree Schedule									
Code	Qty	Botanical Name	Common Name	Cal	Height	Spread	Remarks	Native	
BA	4	Bulnesia arborea	Verawood	4"	18-20' OA, 8.5' CT	8-10'		N	
VM	2	Veitchia montgomeryana	Montgomery Palm	Double	25' OA, 8.5' CT		8.5' min. CT	N	

NOTES  
ALL PLANT MATERIAL SHALL MEET OR EXCEED THE MINIMUM STANDARDS FOR FLORIDA NUMBER ONE AS PROVIDED IN THE MOST CURRENT EDITION OF "GRADES AND STANDARDS FOR NURSERY PLANTS, PART I AND II".  
SEE SHEETS L-201 FOR FULL SPECIFICATIONS, INCLUDING PLANTING, SOIL, AND MULCH.  
CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES & PALMS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL, PRIOR TO PURCHASING / DELIVERY TO SITE.

Shrub Schedule									
Code	Qty	Botanical Name	Common Name	Size	Height	Spread	Spacing		
Al	180	Alcascia odora 'California'	Elephant Ear	3 gal					
Fl	16	Ficus lyrata	Fiddle Leaf Ficus	15 gal					
No	140	Nerium oleander 'Petite Pink'	Oleander	7 gal					
Ps	29	Phymatosorus scolopendria	Wart Fern	13 gal					
Sh	28	Strongylodon macrobotrys	Jade Vine	15 gal	8' trellis				
Zp	188	Zamia pumila	Coontie	7 gal					

LANDSCAPE ARCHITECT:

URBAN ROBOT LLC  
428 LINCOLN ROAD, S. 900  
MIAMI BEACH, FL 33139  
(786) 248-4857  
WWW.URBANROBOT.NET

**FIRESTONE**  
BUILDING PERMIT  
1575 Alton Rd.  
Miami Beach, FL

- REVISIONS
- △ CITY COMMENTS 12.2.2016
  - △ COORDINATION 2.1.2017
  - △ COORDINATION 7.7.2017
  - △ COORDINATION 5.8.2019
  - △ CITY COMMENTS 07.11.2019

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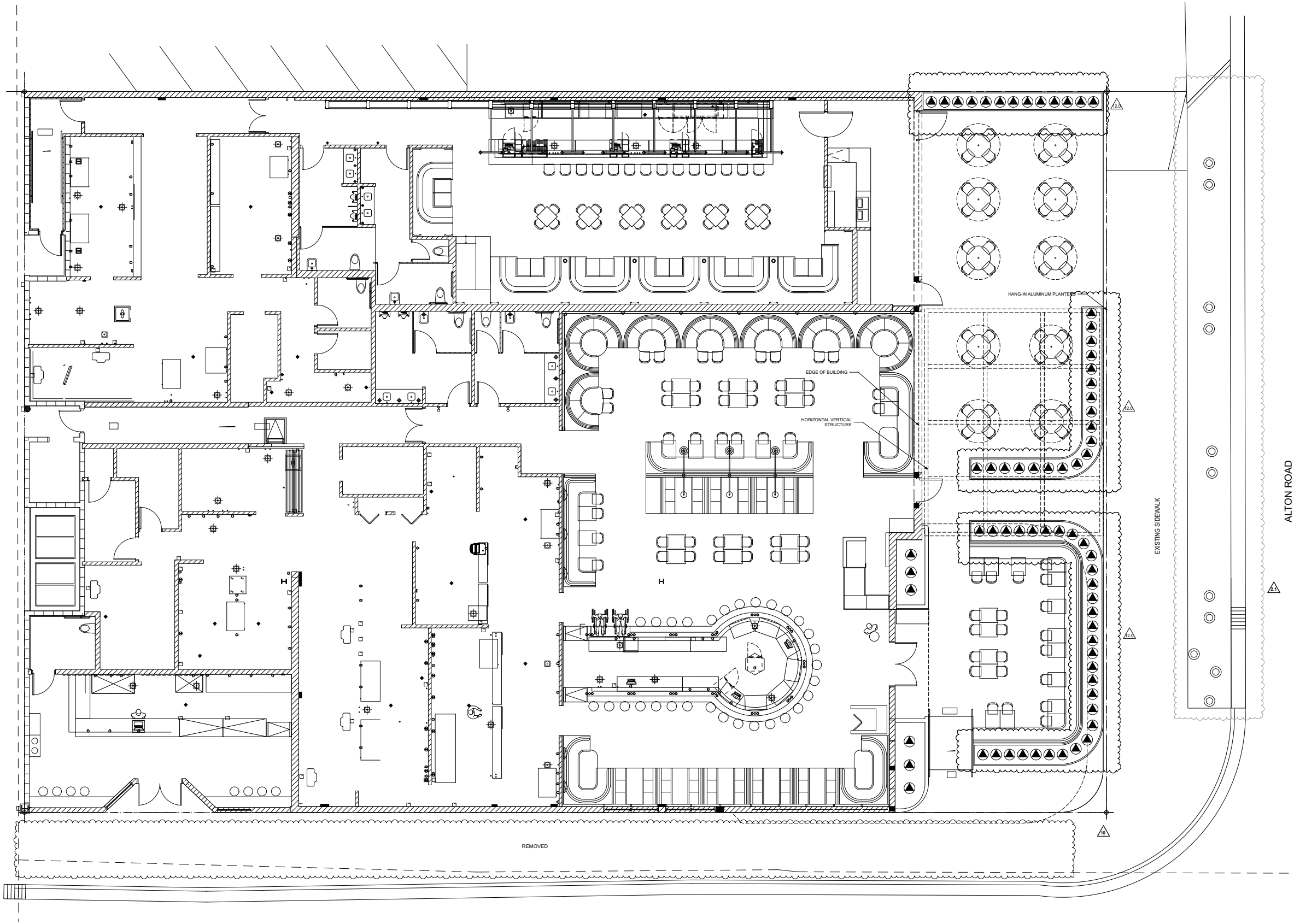
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ARCHITECTS 12001704 L20000016  
1616  
PROJECT NO.  
09/21/2016  
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Site Planting Plan

L200



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Lighting Schedule									
Sym	Qty	Light Fixture	Name/Model	Wattage	Lamp	Color	Optics	Voltage	Finish
11	1	Wall Light	KIM Lighting	3.6W	LED 3000K	White	Adjustable	120-277V	Die-cast brass with natural finish
12	1	Mini Wall Washer	Garden Light	2.8/20W	LED 2700K	Warm White	N/A	10.5-18V	Architectural Bronze (AB)

NOTES

Locations shown are approximate; verify exact fixture placement and orientation in the field with Landscape Architect.

Verify zoning & controls with Landscape Architect.

Verify fixtures and finishes with Landscape Architect before purchase.

All fixtures to be UL rated

LANDSCAPE ARCHITECT:

URBAN ROBOT LLC  
420 LINCOLN ROAD, S. 600  
MIAMI BEACH, FL 33139  
(786) 246-4857  
WWW.URBANROBOT.NET

**FIRESTONE**  
BUILDING PERMIT  
1575 Alton Rd.  
Miami Beach, FL

REVISIONS

1 CITY COMMENTS 12.2.2016  
2 COORDINATION 7.7.2017

3 COORDINATION 5.8.2019

SEAL

URBAN ROBOT LLC  
ARCHITECT/DESIGNER/ENGINEER/PLANNER

1616  
PROJECT NO.  
05/07/2019  
DATE  
PS / JV  
DESIGN / CHECK

Site Landscape  
Lighting Plan

L300