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ARCHITECTS *pa*



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TAPANES

ZONING, LAND USE AND  
ENVIRONMENTAL LAW

PARIS THEATER RESTAURANT



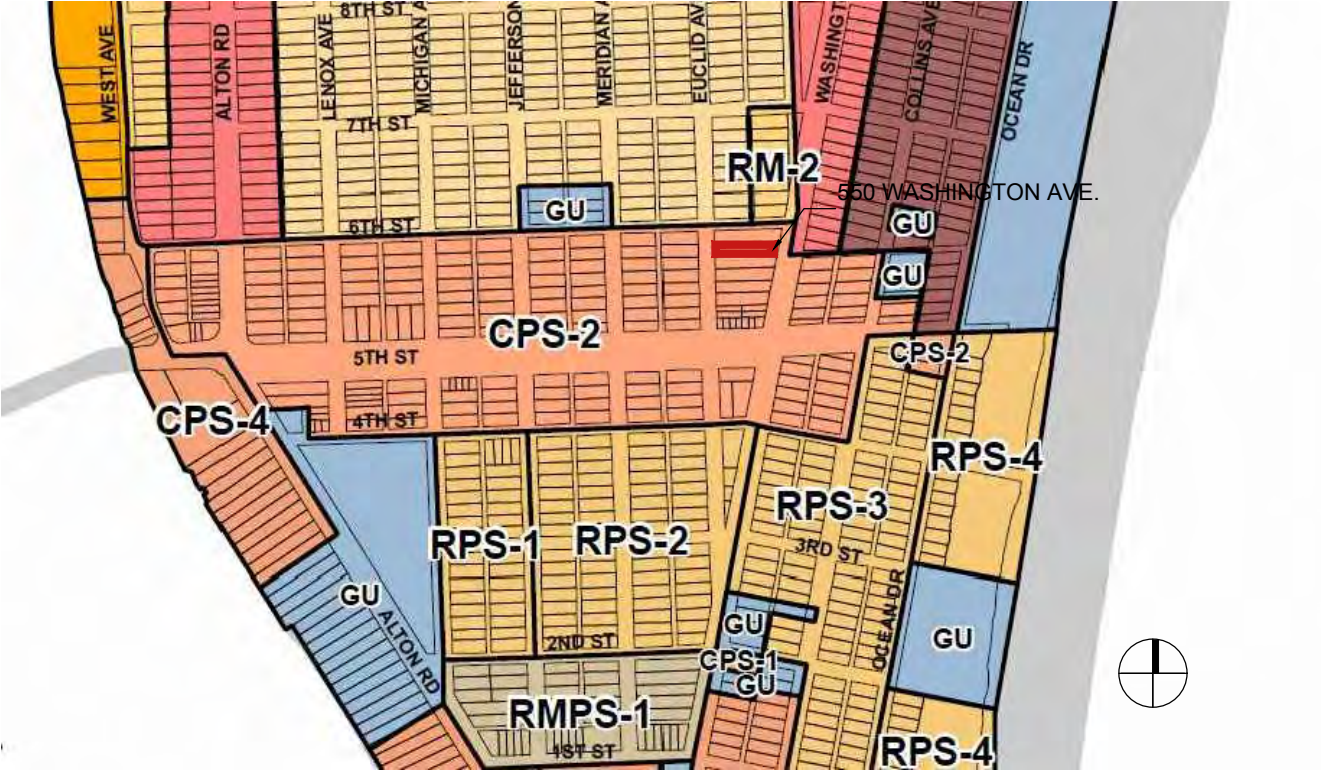
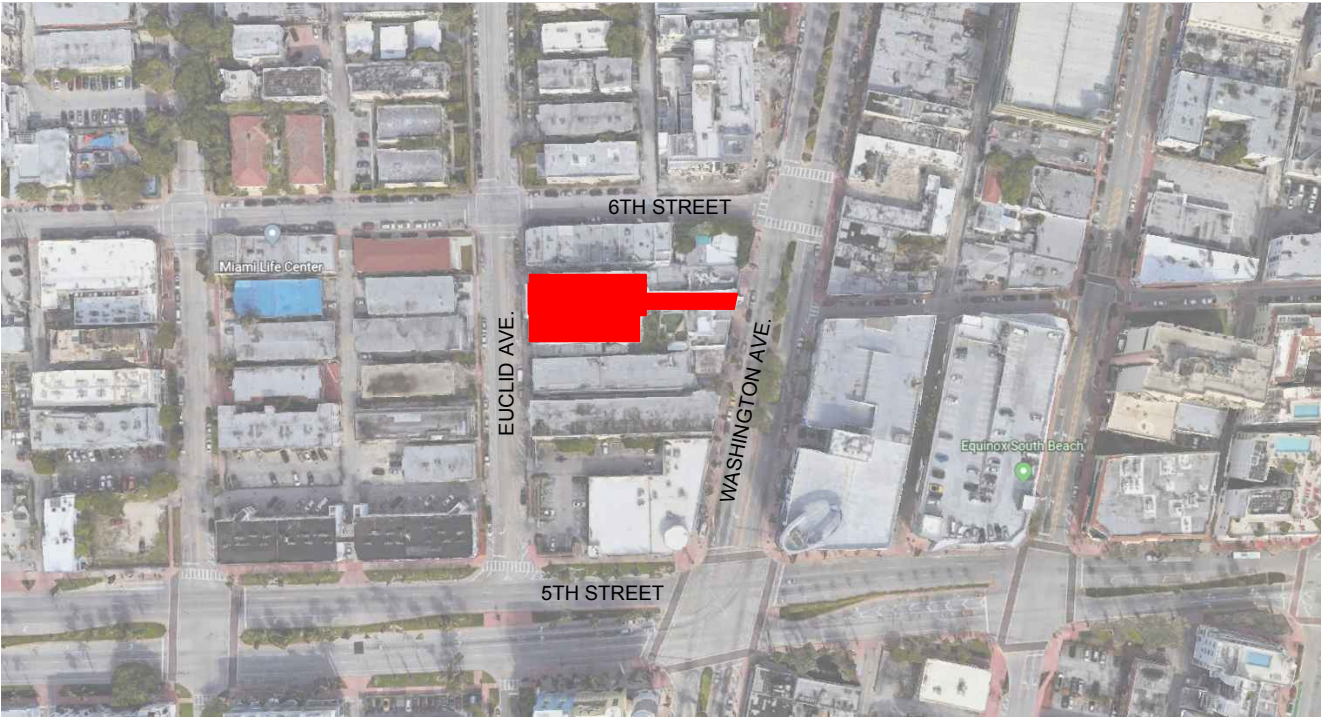
**PARIS TILGNER RESTAURANT-330 WASHINGTON AVE**  
550 WASHINGTON AVE  
MIAMI BEACH

[illegible]









- ZONING DISTRICTS**
- |                                                |                                                                |                                                             |                                                                                             |
|------------------------------------------------|----------------------------------------------------------------|-------------------------------------------------------------|---------------------------------------------------------------------------------------------|
| RS-1 Single family residential                 | CD-3 Commercial, high intensity                                | WD-2 Waterway district                                      | CPS-4 Commercial performance standard, intensive phased bayside                             |
| RS-2 Single family residential                 | I-1 Urban light industrial                                     | RO Residential office                                       | RMPS-1 Residential mixed use performance standard                                           |
| RS-3 Single family residential                 | MXE Mixed use entertainment                                    | GC Golf course                                              | SPE Special public facilities educational district                                          |
| RS-4 Single family residential                 | HD Hospital district                                           | RPS-1 Residential performance standard, medium-low density  | TC-1 North Beach Town Center core                                                           |
| TH Townhome residential                        | MR Marine recreational                                         | RPS-2 Residential performance standard, medium density      | TC-2 North Beach Town Center mixed use                                                      |
| RM-1 Residential multifamily, low intensity    | GU Civic and government use                                    | RPS-3 Residential performance standard, medium-high density | TC-3 North Beach Town Center residential/office                                             |
| RM-2 Residential multifamily, medium intensity | CCC Convention center district                                 | RPS-4 Residential performance standard, high density        | TC-3(c) North Beach Town Center residential/office with conditional neighborhood commercial |
| RM-3 Residential multifamily, high intensity   | RM-PRD Multifamily, planned residential development district   | CPS-1 Commercial performance standard, limited mixed use    |                                                                                             |
| CD-1 Commercial, low intensity                 | RM-PRD-2 Multifamily, planned residential development district | CPS-2 Commercial performance standard, general mixed use    |                                                                                             |
| CD-2 Commercial, medium intensity              | WD-1 Waterway district                                         | CPS-3 Commercial performance standard, intensive mixed use  |                                                                                             |
- FOR AN OFFICIAL ZONING DETERMINATION  
PLEASE CONTACT THE PLANNING DEPARTMENT.



- LOCAL HISTORIC DISTRICTS**
- |                                              |                                                   |
|----------------------------------------------|---------------------------------------------------|
| Espanola Way Historic District               | Palm View Historic District                       |
| Alto del Mar Historic District               | Collins Waterfront Historic District              |
| Flamingo Park Historic District              | North Beach Resort Historic District              |
| Ocean Drive/Collins Avenue Historic District | Flamingo Waterway Historic District               |
| Museum Historic District                     | Morris Lapidus/Mid 20th Century Historic District |
| Ocean Beach Historic District                | North Shore Historic District                     |
| Harding Townsite Historic District           | Normandy Isles Historic District                  |
- NATIONAL REGISTER HISTORIC DISTRICTS**
- |                                           |
|-------------------------------------------|
| Miami Beach Architectural District        |
| Normandy Isles Historic District          |
| North Shore Historic District             |
| Collins Waterfront Architectural District |
- LOCAL HISTORIC SITES**
- |                                              |                                                           |
|----------------------------------------------|-----------------------------------------------------------|
| 1 Dade Blvd Fire Station Historic Site       | 10 Flagler Memorial and Monument Island Historic Site     |
| 2 Old City Hall Historic Site                | 11 69th St Fire Station Historic Site                     |
| 3 21st St Recreation Center Historic Site    | 12 28th St Obelisk and Pumping Station Historic Structure |
| 4 Congregation Beth Jacob Historic Site      | 13 1600 Lenox Ave Historic Site                           |
| 5 Venetian Causeway Historic Site            | 14 36 Ocean Dr Historic Site                              |
| 6 Miami Beach Woman's Club Historic Site     | 15 1700 Alton Rd Historic Site                            |
| 7 Stargel Island Bridges Historic Structures |                                                           |
| 8 The Bath Club Historic Site                |                                                           |

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PARIS THEATER RESTAURANT-550 WASHINGTON AVE  
550 WASHINGTON AVE  
MIAMI BEACH

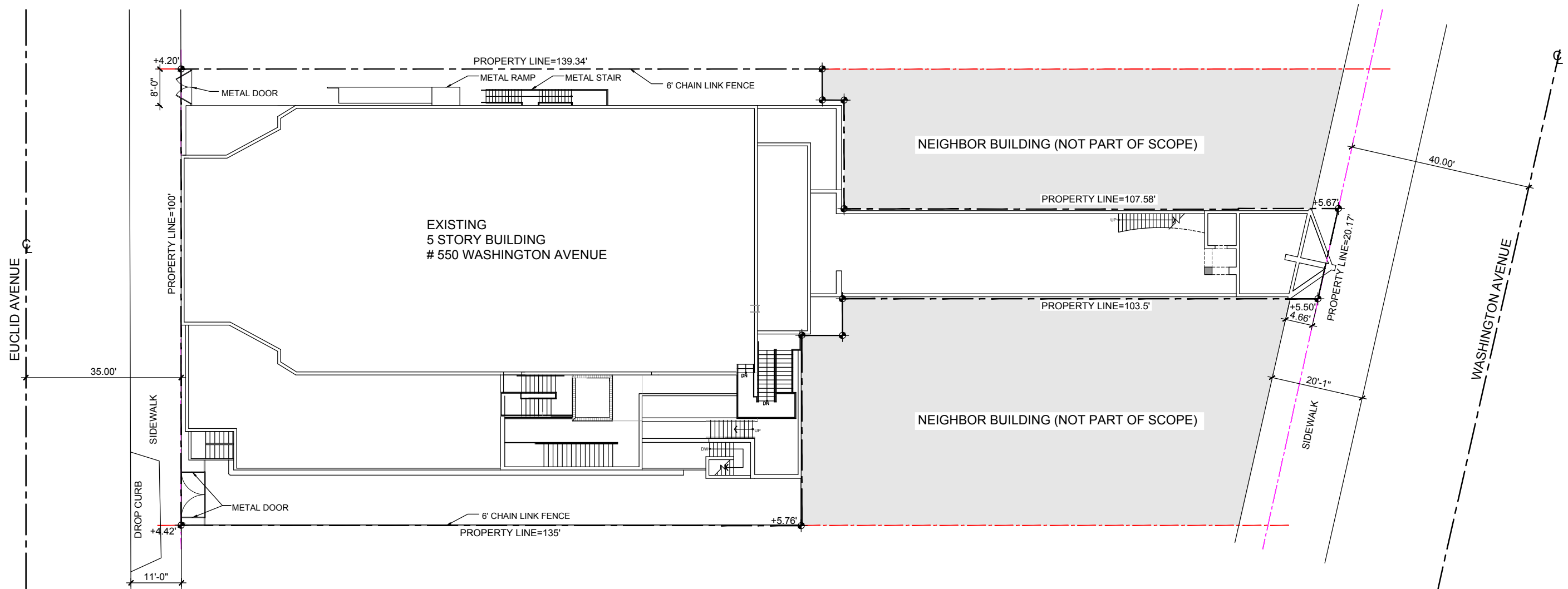
| DATE          | REVISION |
|---------------|----------|
|               |          |
| DWG. TITLE    |          |
| DISTRICT MAPS |          |
| SCALE         |          |
| PROJECT NO.   |          |
| DATE          |          |
| SHEET NUMBER  |          |
| A-002         |          |



# REQUESTED CHANGES TO CUP

| CONDITION # | PROPOSED MODIFICATION                                                                                                                                                                                                                                                                               | CONDITION LANGUAGE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
|-------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 2           | <ul style="list-style-type: none"> <li>Change name of owner/operator;</li> <li>Change the listed use from “theater/lounge” to “restaurant/lounge”</li> </ul>                                                                                                                                        | This Conditional Use Permit is issued to <del>Variety Paris LLC</del> <u>550 Washington LLC</u> , as operator of the <del>theater/lounge</del> <u>restaurant/lounge</u> .                                                                                                                                                                                                                                                                                                                                            |
| 4           | <ul style="list-style-type: none"> <li>Modify hours of operations from: <ul style="list-style-type: none"> <li>Mon-Wed 9 PM to 5 AM</li> <li>Thurs-Sun 11 AM to 4 PM &amp; 6 PM to 5 AM</li> </ul> </li> <li>To: <ul style="list-style-type: none"> <li>Mon-Sun 6 PM to 5 AM</li> </ul> </li> </ul> | As proposed, the <del>applicant will initially start with evening shows and once a following is created, the hours may be extended to matinee and possibly daytime children shows.</del> The hours of operation as proposed are from <del>9:00</del> <u>6:00</u> p.m. to 5:00 a.m. Monday through <del>Wednesday, and Thursday through Sunday</del> <del>from 11:00 a.m. to 4:00 p.m. and again from 6:00 p.m. to 5:00 a.m.</del> From time to time the operators may hold private events and provide catered meals. |
| 8           | <ul style="list-style-type: none"> <li>Change name of owner/operator;</li> </ul>                                                                                                                                                                                                                    | Queuing shall take place within the premises, as proposed by applicant, and contained by <del>Variety Paris, LLC</del> <u>550 Washington, LLC</u> , security personnel so that there is no spillover that could conflict with pedestrian flow in front of the subject establishment.                                                                                                                                                                                                                                 |
| 9           | <ul style="list-style-type: none"> <li>Change condition to allow “staff” to use rear entrance rather than “theater performers”</li> </ul>                                                                                                                                                           | The Euclid Avenue entrance shall only be used as emergency egress. Access by <del>theater performers</del> <u>staff</u> and security personnel shall be permitted.                                                                                                                                                                                                                                                                                                                                                   |
| 10          | <ul style="list-style-type: none"> <li>Delete this condition to allow a designated dance floor area</li> </ul>                                                                                                                                                                                      | <del>A dance floor or dedicated dance area for patrons shall be strictly prohibited.</del>                                                                                                                                                                                                                                                                                                                                                                                                                           |
| 11          | <ul style="list-style-type: none"> <li>Delete the phrase “after each performance” as it is no longer applicable</li> </ul>                                                                                                                                                                          | The facility shall be cleaned regularly <del>and after each performance</del> and the garbage shall be removed each time. No garbage dumps with perishables shall be stores outside the property.                                                                                                                                                                                                                                                                                                                    |





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| DATE               | REVISION |
| DWG. TITLE         |          |
| EXISTING SITE PLAN |          |
| SCALE              |          |
| 3/32" = 1'-0"      |          |
| PROJECT NO.        |          |
| 2020-02            |          |
| DATE               |          |
| 04-27-20           |          |
| SHEET NUMBER       |          |
| EXIST-100          |          |

APPROVED



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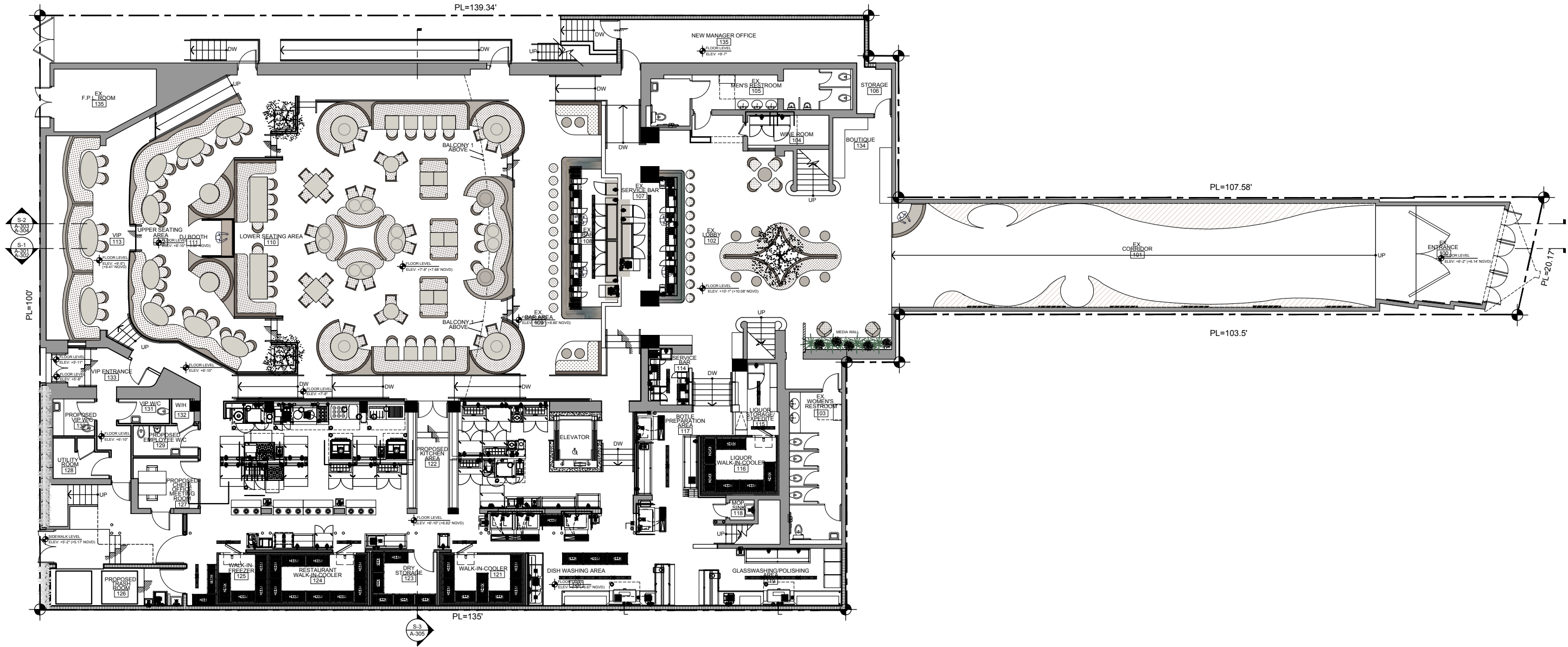












## LEGEND

- EXISTING INTERIOR PARTITION TO REMAIN
- EXISTING CMU WALL TO REMAIN
- NEW CMU PARTITION
- EXISTING COLUMN



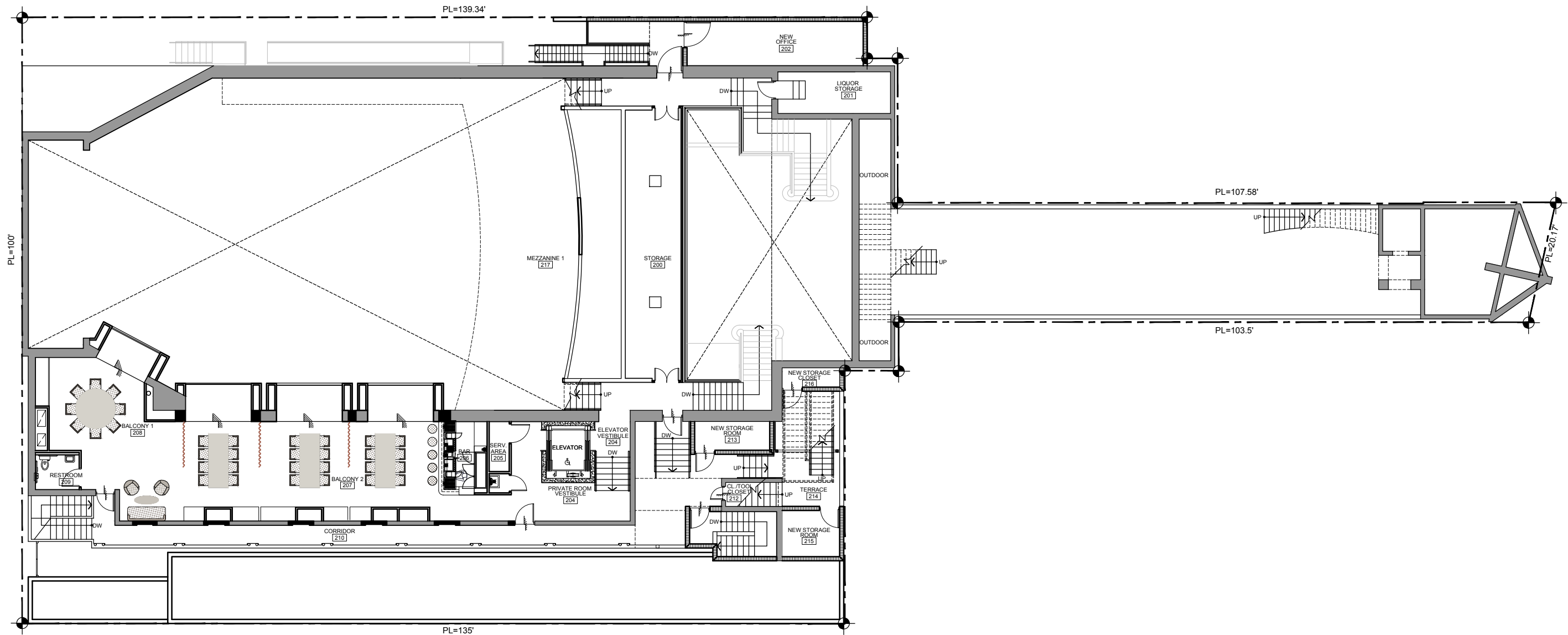
PROPOSED

PARIS THEATER RESTAURANT-550 WASHINGTON AVE  
550 WASHINGTON AVE  
MIAMI BEACH

| DATE | REVISION |
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|--------------|----------------------------|
| DWG. TITLE   | PROPOSED GROUND FLOOR PLAN |
| SCALE        | 1/8" = 1'-0"               |
| PROJECT NO.  | 2020-02                    |
| DATE         | 04-27-20                   |
| SHEET NUMBER | A-101                      |





## LEGEND

- EXISTING INTERIOR PARTITION TO REMAIN
- EXISTING CMU WALL TO REMAIN
- NEW CMU PARTITION
- EXISTING COLUMN



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DATE REVISION

DWG. TITLE

PROPOSED 2ND FLOOR PLAN

SCALE

1/8" = 1'-0"

PROJECT NO.

2020-02

DATE

04-27-20

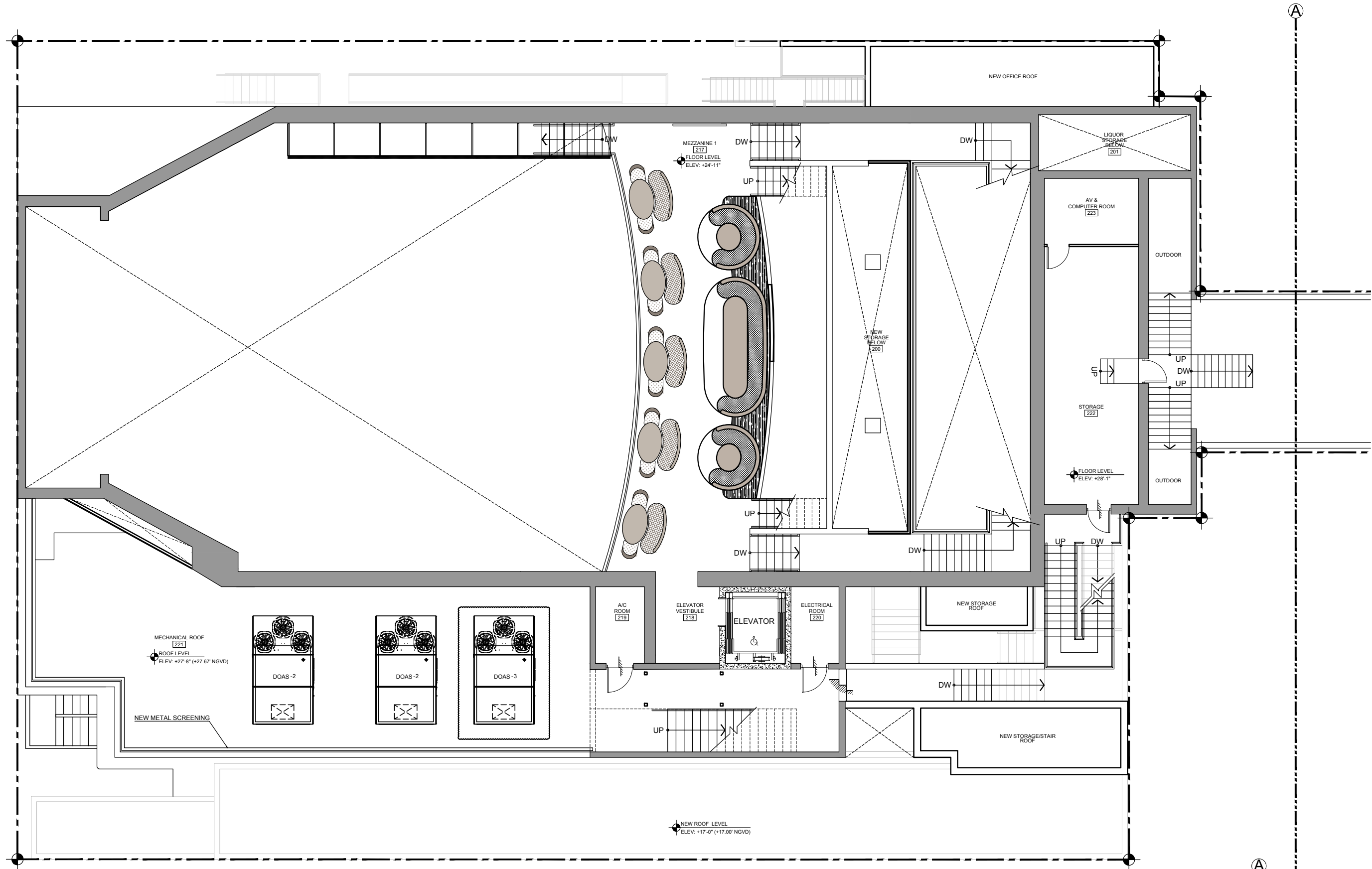
SHEET NUMBER

PROPOSED

A-104

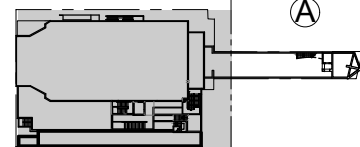
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LEGEND

- EXISTING INTERIOR PARTITION TO REMAIN
- EXISTING CMU WALL TO REMAIN
- NEW CMU PARTITION
- EXISTING COLUMN



KEY PLAN  
N.T.S.

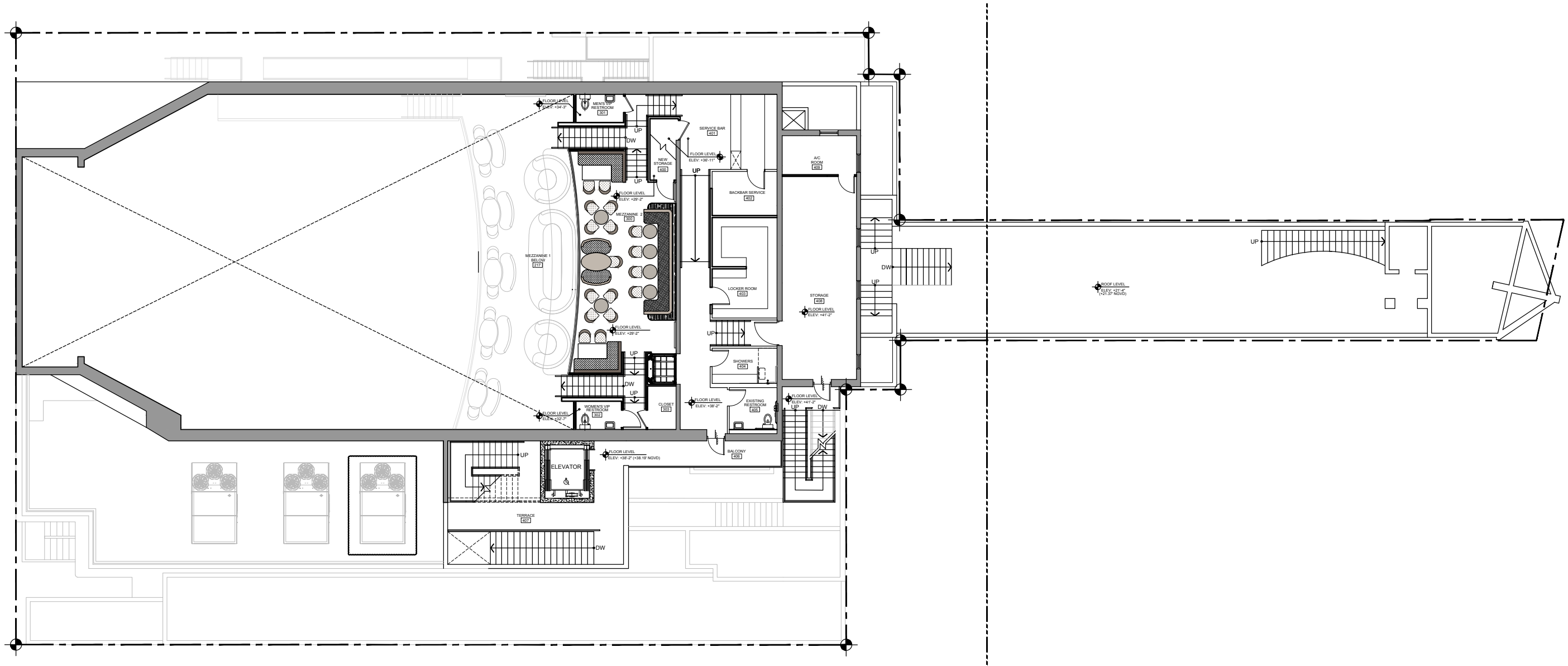
PROPOSED

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PARIS THEATER RESTAURANT-550 WASHINGTON AVE  
550 WASHINGTON AVE  
MIAMI BEACH

| DATE | REVISION |
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| DWG. TITLE   | VARIES   |
| SCALE        | VARIES   |
| PROJECT NO.  | 2020-02  |
| DATE         | 04-27-20 |
| SHEET NUMBER | A-107    |



 EXISTING INTERIOR PARTITION TO REM  
 EXISTING CMU WALL TO REMAIN  
 NEW CMU PARTITION  
 EXISTING COLUMN

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PROPOSED 2ND  
MEZZANINE FLOOR &  
3RD FLOOR PLAN

SCALE

PROJECT NO.

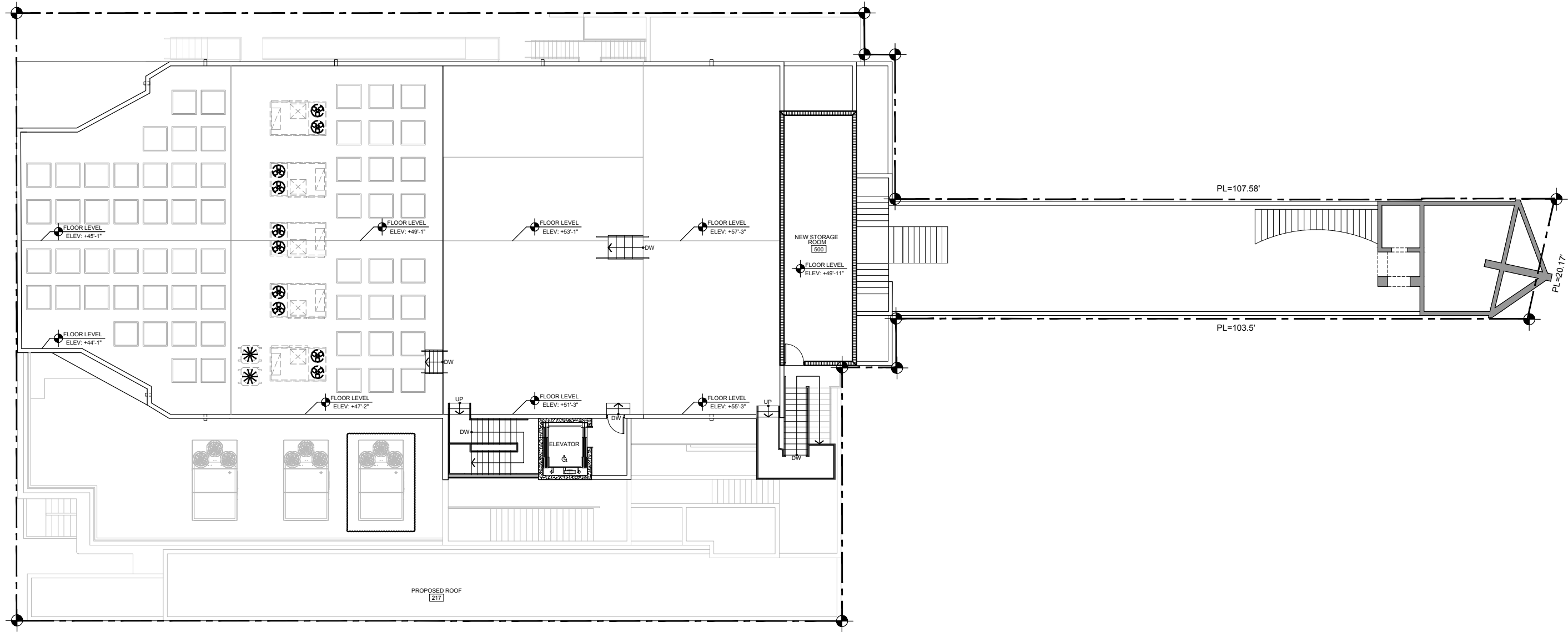
DATE 2020-02

04-27-20

PROPOSED

A-108 ■





LEGEND

- EXISTING INTERIOR PARTITION TO REMAIN
- EXISTING CMU WALL TO REMAIN
- NEW CMU PARTITION
- EXISTING COLUMN



PARIS THEATER RESTAURANT-550 WASHINGTON AVE  
550 WASHINGTON AVE  
MIAMI BEACH

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| DATE                  | REVISION |
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|                       |          |
| DWG. TITLE            |          |
| PROPOSED ROOF<br>PLAN |          |
| SCALE                 |          |
| 1/8" = 1'-0"          |          |
| PROJECT NO.           |          |
| 2020-02               |          |
| DATE                  |          |
| 04-27-20              |          |
| SHEET NUMBER          |          |

PROPOSED

A-110

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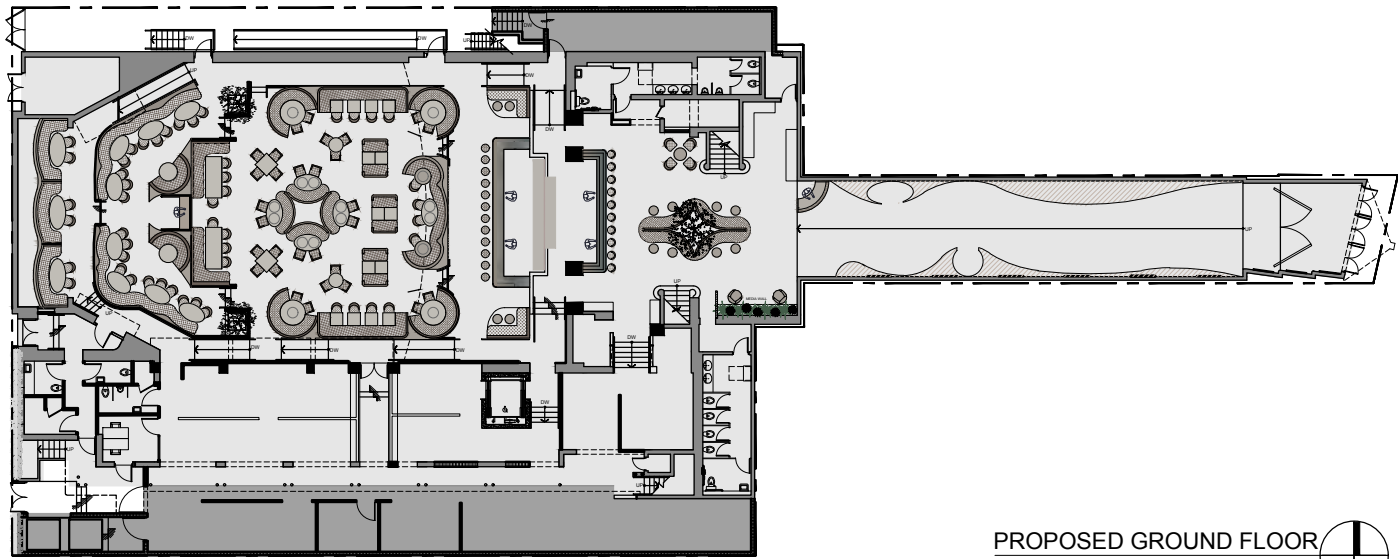


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TAPANES

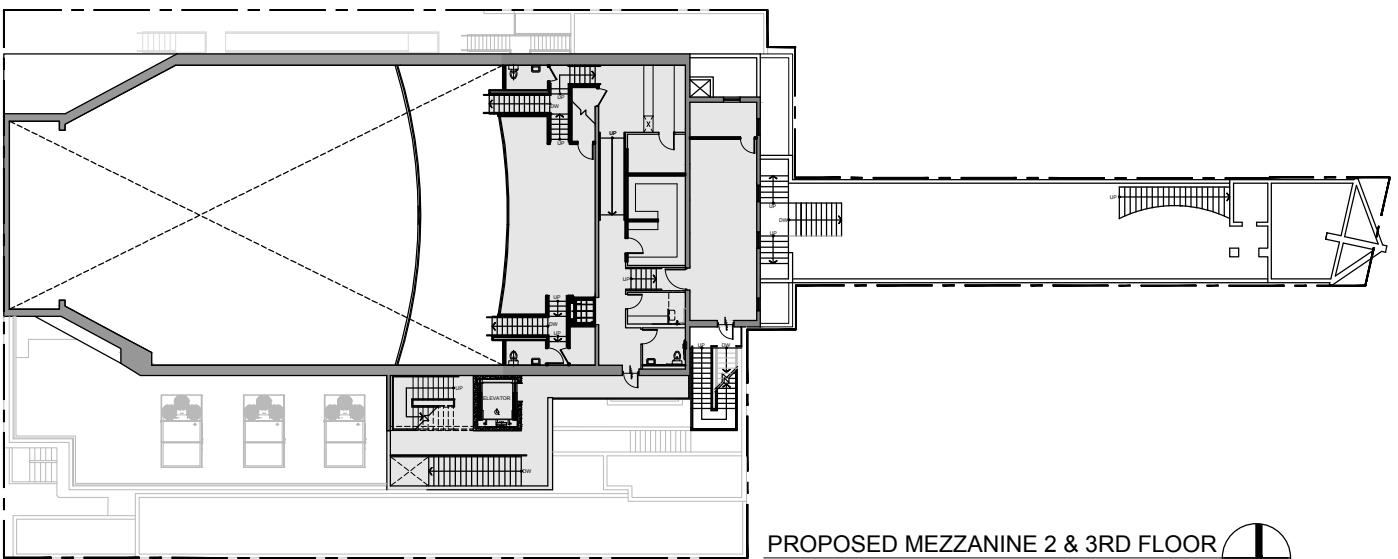
ZONING, LAND USE AND  
ENVIRONMENTAL LAW

PARIS THEATER RESTAURANT

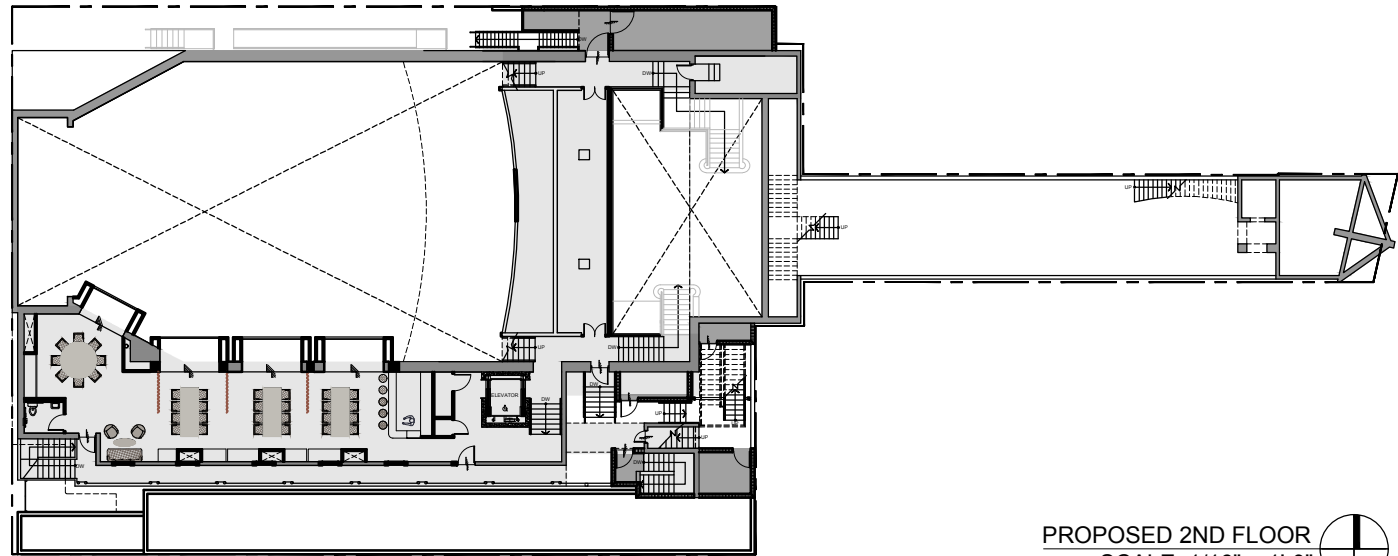




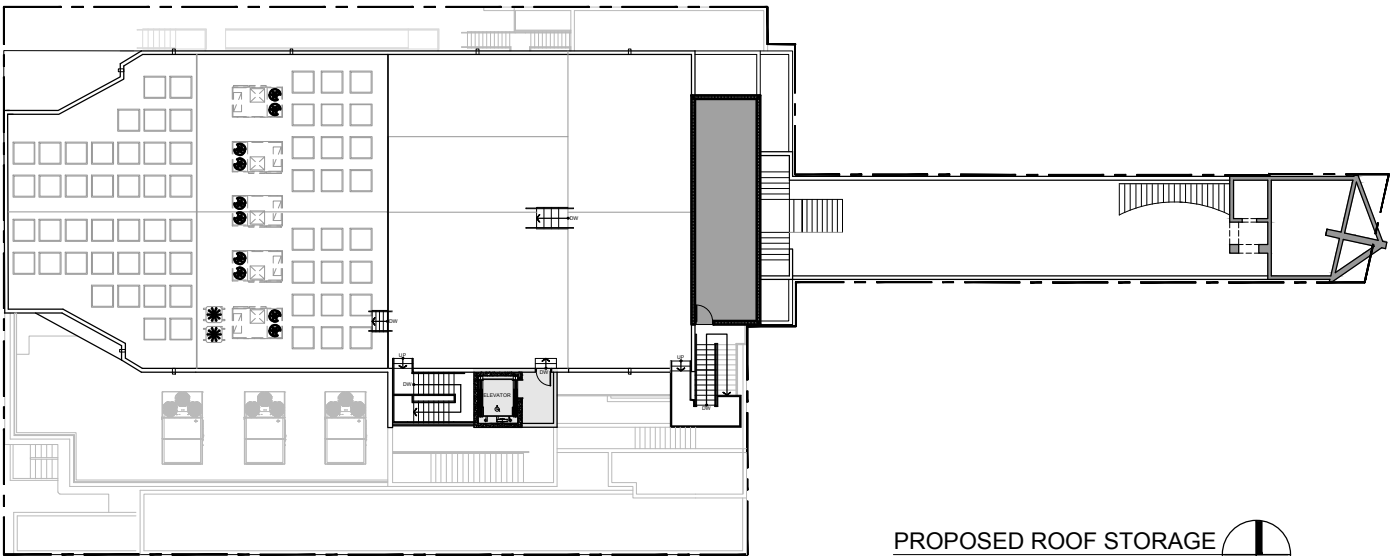
PROPOSED GROUND FLOOR  
SCALE: 1/16" = 1'-0"



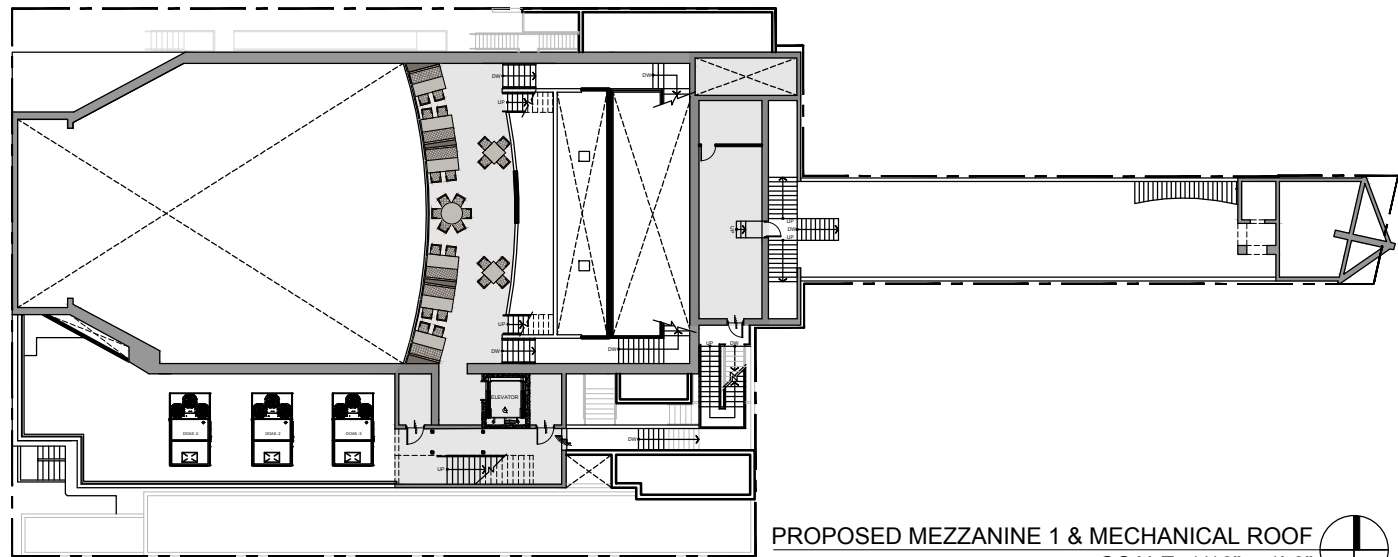
PROPOSED MEZZANINE 2 & 3RD FLOOR  
SCALE: 1/16" = 1'-0"



PROPOSED 2ND FLOOR  
SCALE: 1/16" = 1'-0"



PROPOSED ROOF STORAGE  
SCALE: 1/16" = 1'-0"



PROPOSED MEZZANINE 1 & MECHANICAL ROOF  
SCALE: 1/16" = 1'-0"

| EXISTING AREA CALCULATION        |                |
|----------------------------------|----------------|
| LEVEL                            | GROSS AREA     |
| GROUND FLOOR                     | 12,926 SQ. FT. |
| 2ND FLOOR                        | 4,241 SQ. FT.  |
| MEZZANINE 1 & MECH. ROOF         | 2,333 SQ. FT.  |
| MEZZANINE 2 & 3RD FLOOR          | 3,262 SQ. FT.  |
| ROOF                             | 157 SQ. FT.    |
| TOTAL GROSS AREA: 23,919 SQ. FT. |                |

| PROPOSED AREA CALCULATION        |                |
|----------------------------------|----------------|
| LEVEL                            | GROSS AREA     |
| GROUND FLOOR                     | 14,835 SQ. FT. |
| 2ND FLOOR                        | 4,762 SQ. FT.  |
| MEZZANINE 1 & MECH. ROOF         | 2,333 SQ. FT.  |
| MEZZANINE 2 & 3RD FLOOR          | 3,262 SQ. FT.  |
| ROOF                             | 684 SQ. FT.    |
| TOTAL GROSS AREA: 25,876 SQ. FT. |                |

| ZONING DISTRICT: C-PS2<br>USE: RESTAURANT & NIGHT CLUB |                |                     |        |                |
|--------------------------------------------------------|----------------|---------------------|--------|----------------|
|                                                        | LOT AREA       | BUILDING FLOOR AREA | F.A.R. | MAXIMUM F.A.R. |
| EXISTING                                               | 13,586 SQ. FT. | 23,919 SQ. FT.      | 1.76   | 2.0            |
| PROPOSED                                               | 13,586 SQ. FT. | 25,876 SQ. FT.      | 1.90   | 2.0            |

|                     |  |
|---------------------|--|
| EXISTING FLOOR AREA |  |
| PROPOSED FLOOR AREA |  |

|                                |     |
|--------------------------------|-----|
| TOTAL NUMBER OF PROPOSED SEATS | 379 |
|--------------------------------|-----|

PROPOSED

| DATE | REVISION |
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|              |                                            |
|--------------|--------------------------------------------|
| DWG. TITLE   | PROPOSED AREA<br>CALCULATION FLOOR<br>PLAN |
| SCALE        | AS SHOWN                                   |
| PROJECT NO.  |                                            |
| DATE         | 2020-02                                    |
| SHEET NUMBER | 04-27-20                                   |



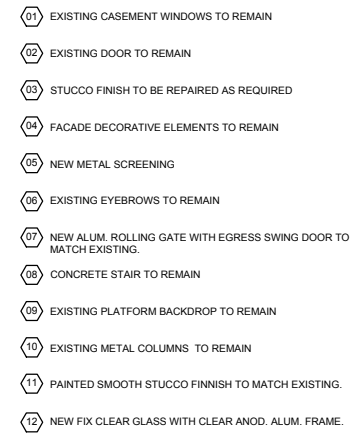
## MIAMI BEACH

| △ | DATE | REVISION |
|---|------|----------|
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SCALE

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| DATE | 2020-02 |
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A-2071



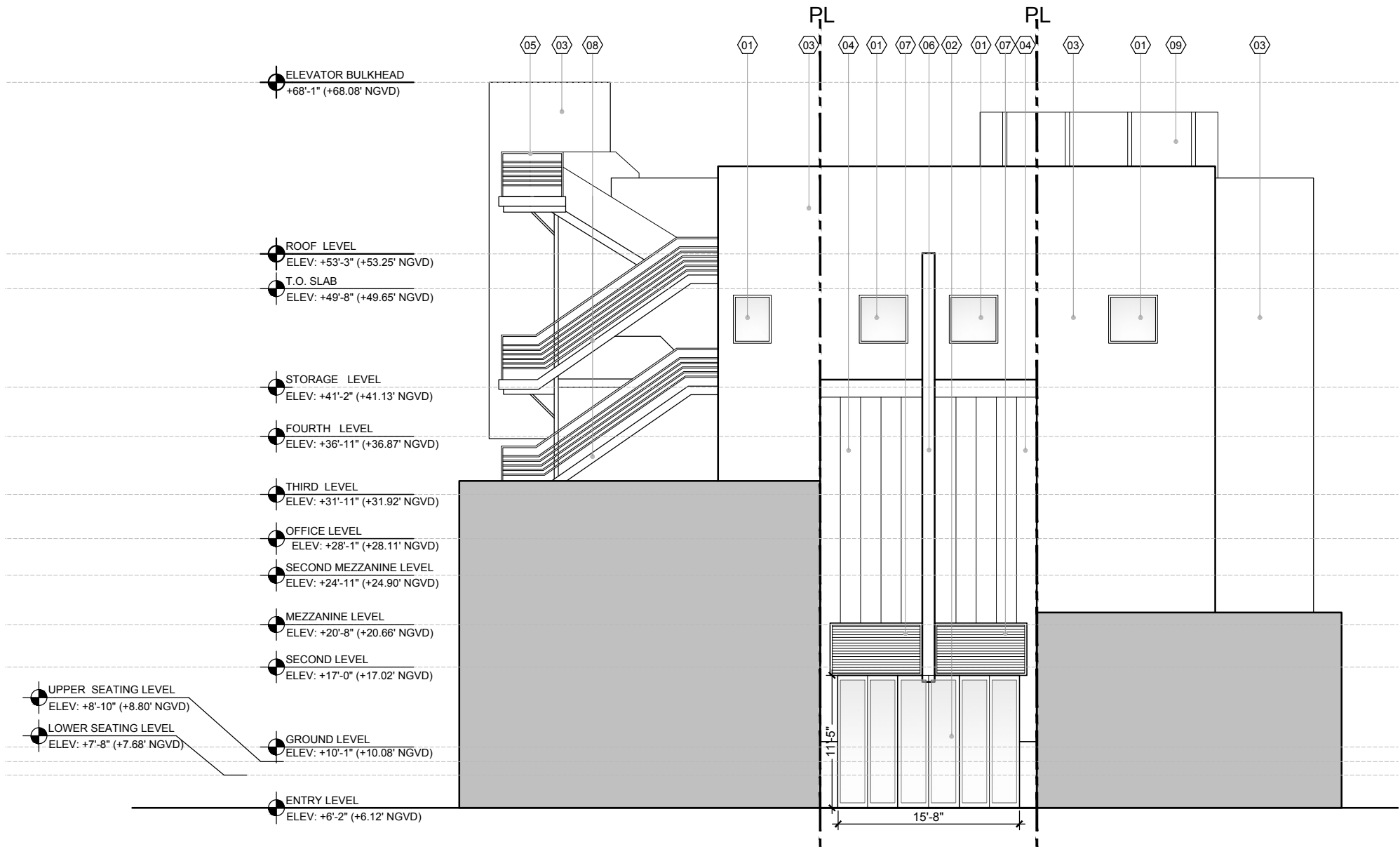
A  
A-201





KEY NOTES

- 01 EXISTING CASEMENT WINDOWS TO REMAIN
- 02 NEW, 6 PANEL, 3'-0" W., CLEAR ANODIZED ALUMINUM SWING DOOR WITH FROSTED GLASS PANEL INSERT. FULL HEIGHT OF EXISTING ROUGH OPENING.
- 03 STUCCO FINISH TO BE REPAIRED AS REQUIRED
- 04 STUCCO BANDS TO REMAIN
- 05 EXISTING RAILING TO REMAIN
- 06 EXISTING SIGNAGE TO BE RESTORE
- 07 EXISTING MARQUEE TO BE RESTORE
- 08 EXISTING METAL STAIR TO REMAIN
- 09 EXISTING PLATFORM BACKDROP TO REMAIN



PARIS THEATER RESTAURANT-550 WASHINGTON AVE

550 WASHINGTON AVE  
MIAMI BEACH

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DATE REVISION

DWG. TITLE  
PROPOSED EAST  
ELEVATION

SCALE  
3/16" = 1'-0"

PROJECT NO.

2020-02

DATE

04-27-20

SHEET NUMBER

A-202



- 01 EXISTING DOOR TO REMAIN
- 02 PAINTED SMOOTH STUCCO FINNISH TO MATCH EXISTING.
- 03 STUCCO FINISH TO BE REPAIRED AS REQUIRED
- 04 EXISTING METAL COLUMNS TO REMAIN
- 05 EXISTING RAILING TO REMAIN
- 06 EXISTING SIGNAGE TO BE RESTORE
- 07 EXISTING MARQUEE TO BE RESTORE
- 08 EXISTING METAL STAIR TO REMAIN
- 09 NEW METAL SCREENING



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PARIS THEATER RESTAURANT-550 WASHINGTON AVE  
550 WASHINGTON AVE  
MIAMI BEACH

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△ DATE
REVISION

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DWG. TITLE

*PROPOSED SOUTH  
ELEVATION*

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SCALE

*VARIABLES*

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PROJECT NO.

*2020-02*

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DATE

*04-27-20*

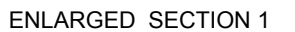
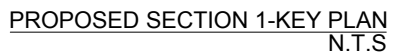
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SHEET NUMBER

# A-203

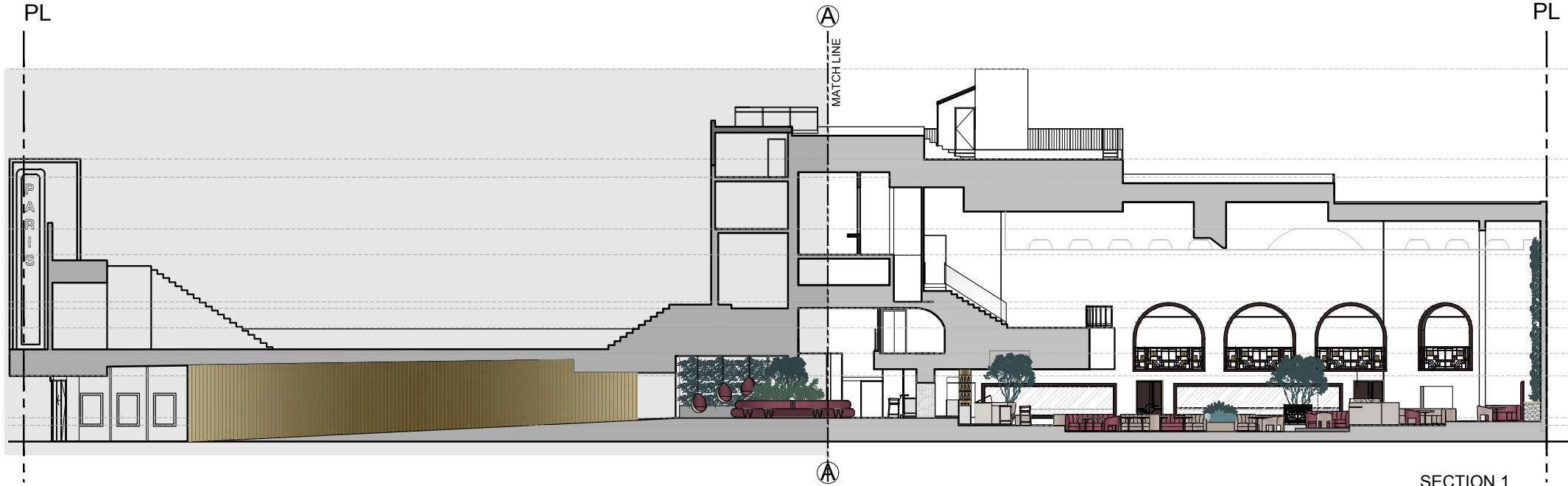


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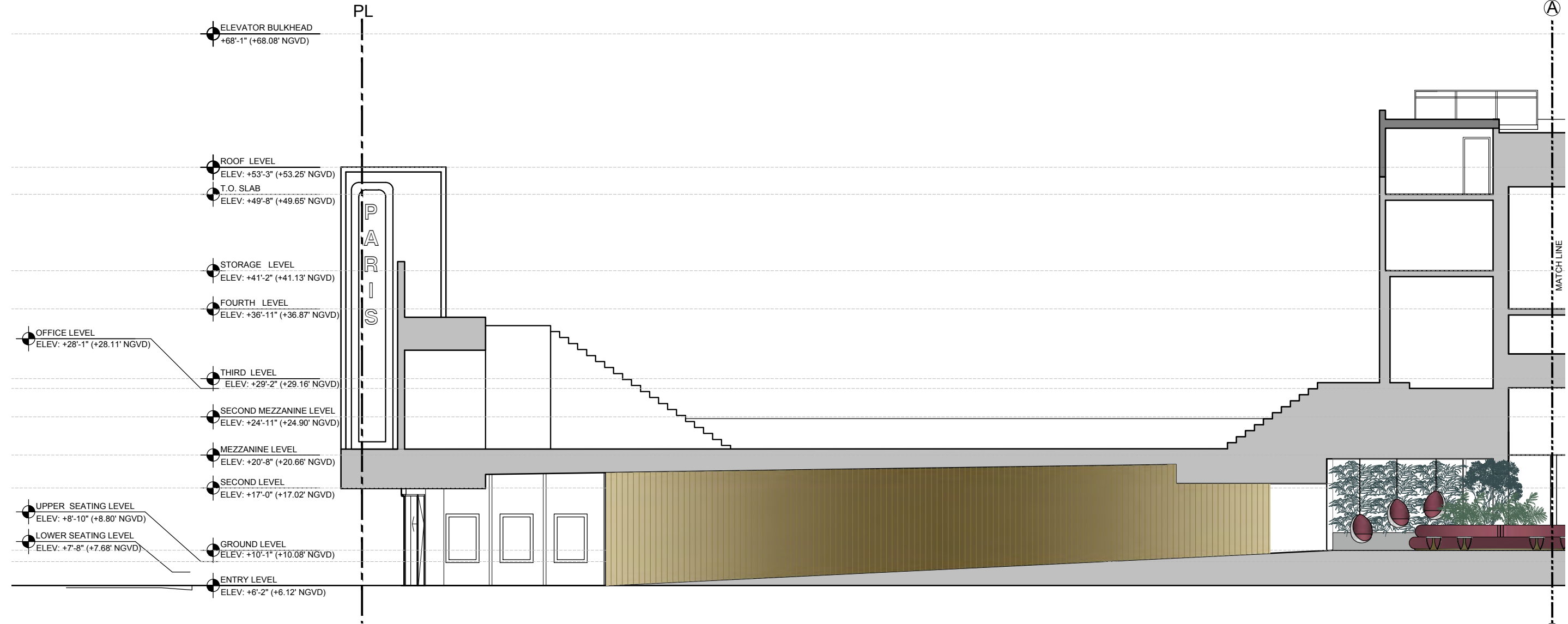


PROPOSED

PARIS THEATER RESTAURANT-550 WASHINGTON AVE  
550 WASHINGTON AVE  
MIAMI BEACH



SECTION 1  
SCALE: 3/32" = 1'-0"



ELEVATOR BULKHEAD  
ELEV: +68'-1" (+68.08' NGVD)

ROOF LEVEL  
ELEV: +53'-3" (+53.25' NGVD)  
T.O. SLAB  
ELEV: +49'-8" (+49.65' NGVD)

STORAGE LEVEL  
ELEV: +41'-2" (+41.13' NGVD)

FOURTH LEVEL  
ELEV: +36'-11" (+36.87' NGVD)

OFFICE LEVEL  
ELEV: +28'-1" (+28.11' NGVD)

THIRD LEVEL  
ELEV: +29'-2" (+29.16' NGVD)

SECOND MEZZANINE LEVEL  
ELEV: +24'-11" (+24.90' NGVD)

MEZZANINE LEVEL  
ELEV: +20'-8" (+20.66' NGVD)

SECOND LEVEL  
ELEV: +17'-0" (+17.02' NGVD)

UPPER SEATING LEVEL  
ELEV: +8'-10" (+8.80' NGVD)

LOWER SEATING LEVEL  
ELEV: +7'-8" (+7.68' NGVD)

GROUND LEVEL  
ELEV: +10'-1" (+10.08' NGVD)

ENTRY LEVEL  
ELEV: +6'-2" (+6.12' NGVD)

ENLARGED SECTION 1  
SCALE: 3/16" = 1'-0"

PROPOSED

| DATE | REVISION |
|------|----------|
|      |          |
|      |          |
|      |          |
|      |          |
|      |          |
|      |          |
|      |          |
|      |          |
|      |          |

DWG. TITLE

PROPOSED SECTION

SCALE

VARIES

PROJECT NO.

2020-02

DATE

04-27-20

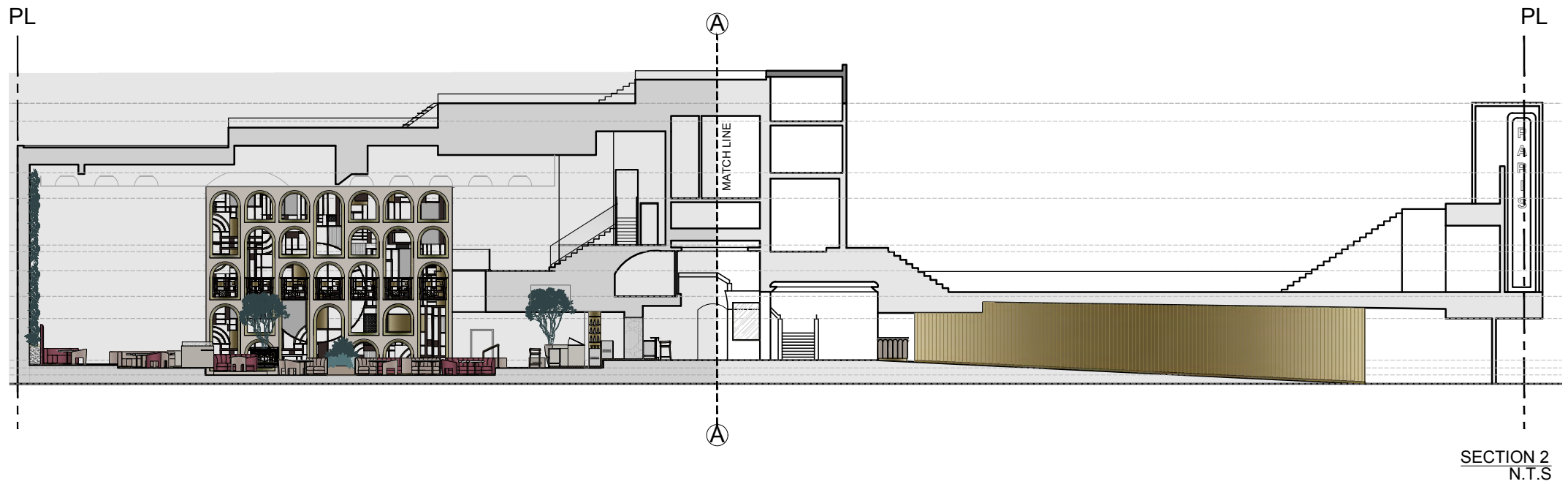
SHEET NUMBER

A-302

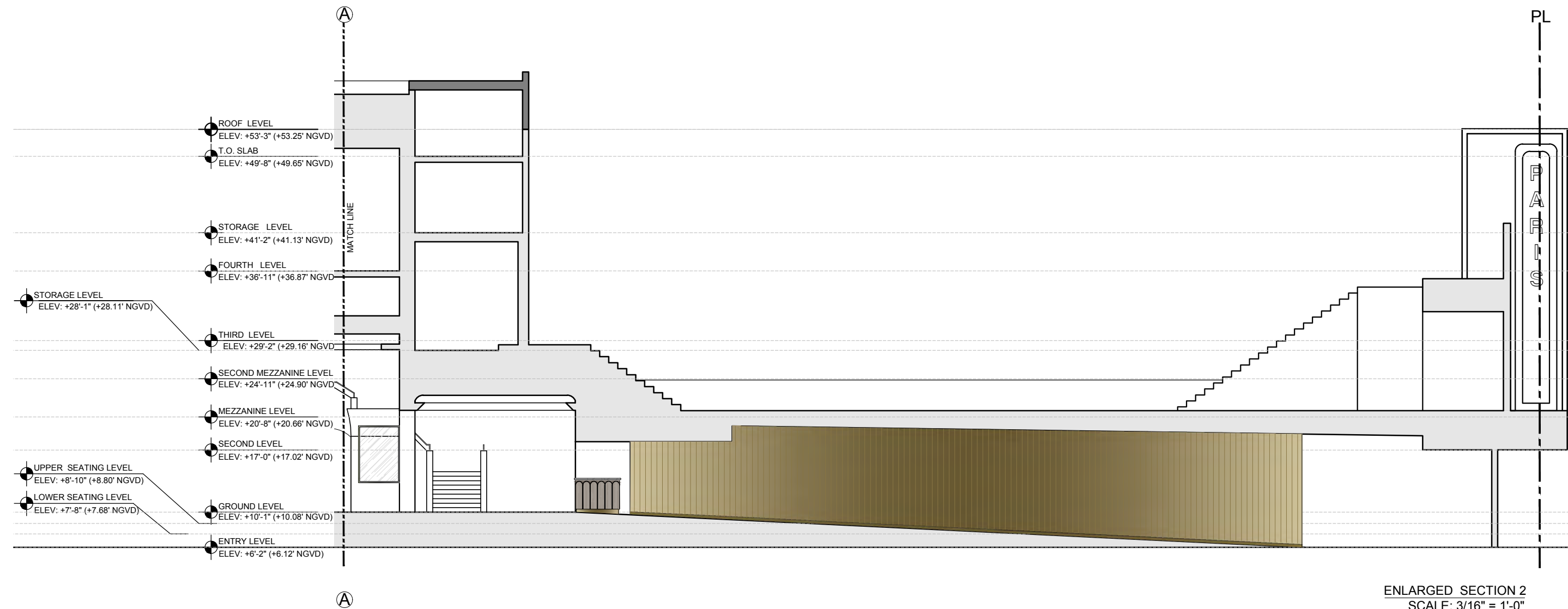
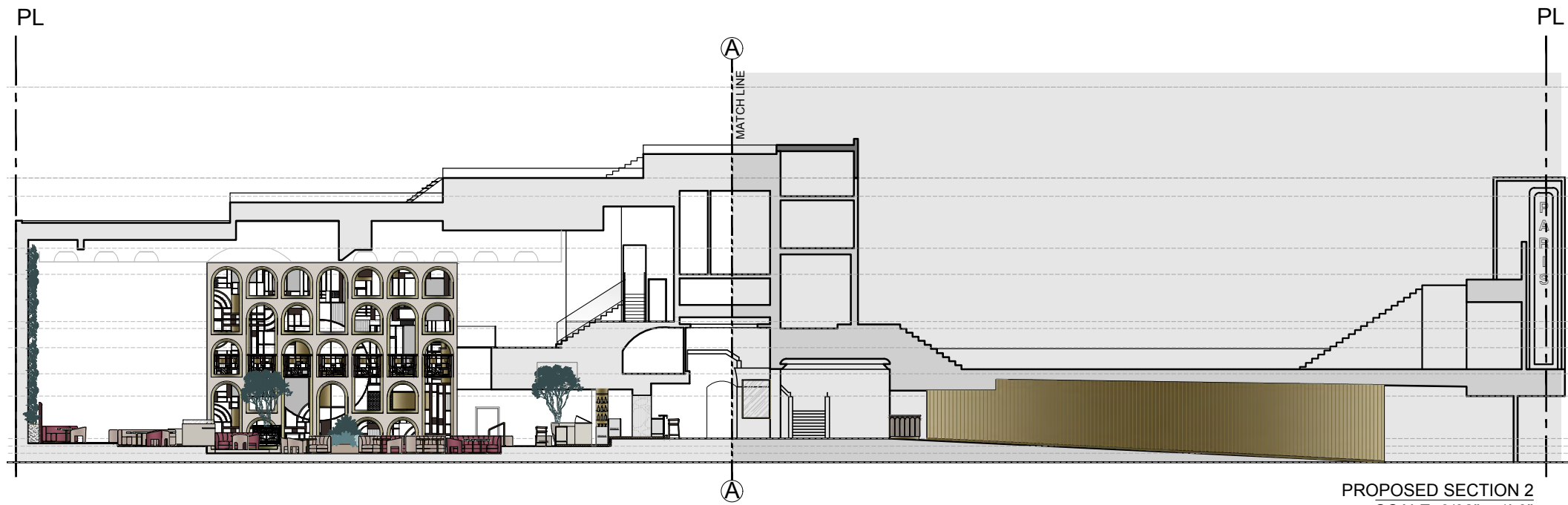


PARIS THEATER RESTAURANT-550 WASHINGTON AVE  
550 WASHINGTON AVE  
MIAMI BEACH

| DATE             | REVISION |
|------------------|----------|
|                  |          |
| DWG. TITLE       |          |
| PROPOSED SECTION |          |
| SCALE            |          |
| VARIES           |          |
| PROJECT NO.      |          |
| 2020-02          |          |
| DATE             |          |
| 04-27-20         |          |
| SHEET NUMBER     |          |
| A-303            |          |



PROPOSED

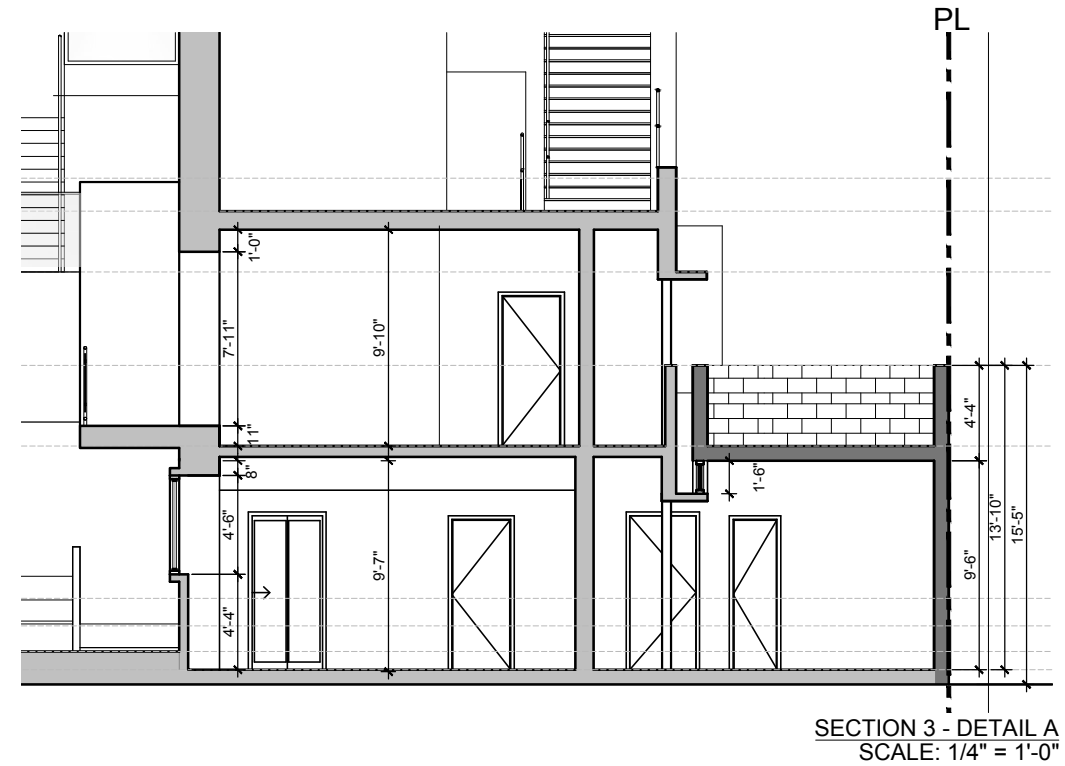


PARIS THEATER RESTAURANT-550 WASHINGTON AVE  
550 WASHINGTON AVE  
MIAMI BEACH

| DATE             | REVISION |
|------------------|----------|
|                  |          |
| DWG. TITLE       |          |
| PROPOSED SECTION |          |
| SCALE            |          |
| VARIES           |          |
| PROJECT NO.      |          |
| 2020-02          |          |
| DATE             |          |
| 04-27-20         |          |
| SHEET NUMBER     |          |
| A-304            |          |



- 01 SMOOTH STUCCO FINISH TO BE PAINTED.
- 02 NEW OPENING
- 03 NEW RAILING TO RECREATE EXISTING DESIGN



SECTION 3 - DETAIL A  
SCALE: 1/4" = 1'-0"



SECTION 3  
SCALE: 3/16" = 1'-0"

**PROPOSED**

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PARIS THEATER RESTAURANT-330 WASHINGTON AVE  
550 WASHINGTON AVE  
MIAMI BEACH

|                  |          |
|------------------|----------|
| DATE             | REVISION |
| TITLE            |          |
| PROPOSED SECTION |          |
| AS SHOWN         |          |
| SHEET NO.        |          |
| 2020-02          |          |
| 04-27-20         |          |
| NUMBER           | A-305    |