

PERMIT #	COMP_TYPE	SUB_TYPE	APPLIED	APPROVED	EXPIRED	STATUS	DESCRIPTION	FREET_NDI	STREET_NAME	PARCEL_NO
BA905868	AUTOPROJ	OTH	08-May-90	21-Feb-90	08-Mar-90	CLOSED	TRASH AND DEBRIS	550	WASHINGTON AV	42030091900
BCK98218	BADCHECK	OTH	31-Aug-98	01-Jul-98	29-Jul-98	CLOSED	REPLACED NSF CK P#BR980046 PD BMS81707	550	WASHINGTON AV	42030091900
BCO12099	BCOCC	COMPLETE	10-Feb-12	07-May-14		APPROVED	CO for Renovation of existing building for new ent. establishment & performing theatre lounge. " Bamboo"	550	WASHINGTON AV	42030091900
BCO96226	BCOCC	OTH	18-Sep-96	22-Oct-96	20-Jan-97	CLOSED	TEMP CO (FOR OFFICE SEE BCO94051) CLOSED. SEE BCO97066 FOR CHANGE OF USE TO OFFICE FROM	550	WASHINGTON AV	42030091900
BCO11029	BCOCC	TEMP	08-Nov-10	29-Nov-10	28-Aug-11	CLOSED	TCO for change of Occupancy: From (B) OFFICE to (A1) Assembly.	550	WASHINGTON AV	42030091900
BCO03195	BCOCC	TEMP	18-Mar-03			CLOSED	T.C.O. for Special Events -175 Persons NOT NEEDED ANYMORE. CLOSED	550	WASHINGTON AV	42030091900
BCO94051	BCOCC	OTH	15-Dec-93			CLOSED	C.O. FOR CHANGE OF USE TO OFFICE	550	WASHINGTON AV	42030091900
BCO02276	BCOCC	COMPLETE	15-Aug-02			CLOSED	CO change of use Office to Assembly. THE OWNER DID ADDITIONAL WORK ON DIFFERENT PERMIT AND APPLIED FOR A NEW CO (BCO10248) STILL IN APPLIED STATUS. THIS CO IS BEING CLOSED NOW.	550	WASHINGTON AV	42030091900
BCO10248	BCOCC	COMPLETE	30-Jul-10			CLOSED	CO for change of Occupancy: From (B) OFFICE to (A1) Assembly.	550	WASHINGTON AV	42030091900
BCO02214	BCOCC	TEMP	23-May-02			VOID	Temp. Certificate of Occupancy for Special Event	550	WASHINGTON AV	42030091900
BCO12119	BCOCC	TEMP	09-Mar-12	20-Mar-12	09-May-14	FINAL	TCO for the first floor and sections of the second floor separated from the 3rd and 4th floor as per BREV120609.- Note: TCO extended with the following conditions: as per building operation manager Tony Gonzalez; 1.- Permit in expired status must be renew 2.- All revisions in applied status must be in approved status if none of these conditions are satisfied, this will be the last extension	550	WASHINGTON AV	42030091900
BCO97066	BCOCC	ALT	16-Dec-96	04-Sep-97		CLOSED	FINAL CO FOR OFFICE (FROM A THEATRE) CLOSED. SEE BCO10248 AND TCO.	550	WASHINGTON AV	42030091900
BCU1300423	BCU	PRIMARY	27-Feb-13	28-Feb-13		APPROVED	VALET SERVICE FOR BAMBOO 550 WASHINGTON AVE (rL-10005346) STORAGE @ 800 LINCOLN RD (RL-101001063) 426 EUCLID AVE (RL-10005839)	550	WASHINGTON AV	42030091900
BCU1500611	BCU	PRIMARY	24-Apr-15	13-May-15		APPROVED	550 WASHINGTON AVE / 125 SEAT BAR / NIGHTCLUB / THEATRE LIVE SHOWS / SERVING ALCOHOL UNTIL 5AM / DANCE AND ENTERTAINMENT WITH ALCOHOL / 25000 SQ FT	550	WASHINGTON AV	42030091900
BCU1300550	BCU	PRIMARY	05-Apr-13	12-Apr-13		APPROVED	Vlt Svc @ 550 Washington Ave (Bamboo RL-10005346), Store @ 630 & 650 Alton Road	550	WASHINGTON AV	42030091900
BCU1000445	BCU	ADDITION	03-Mar-10	30-Nov-10	03-Mar-10	APPROVED	550 Washington Ave / THEATERS LIVE SHOWS (Sharing Space w/ RL96224956)	550	WASHINGTON AV	42030091900
BCU1100314	BCU	PRIMARY	29-Dec-10	30-Dec-10		APPROVED	Atlantic Parking Systems / Valet Parking Svc @ 550 Washington Ave (Paris Theatre), Storage @ 400 Collins Ave	550	WASHINGTON AV	42030091900
BCU1200378	BCU	PRIMARY	06-Feb-12	21-Mar-12		APPROVED	550 WASHINGTON AVE / THEATER/ DANCING / ENTERTAINMENT / NIGHTCLUB 25,000 SQ FT. NEED # SEATS/ NIGHTCLUB/OCC LOAD TCO for first floor ONLY	550	WASHINGTON AV	42030091900
BD040196	BDEMO	PARTIAL	14-Jul-04	29-Jul-04	25-Jan-05	CLOSED	REMOVE A NON BEARING NON HISTORICAL DRYWALL PARTITIONS	550	WASHINGTON AV	42030091900
BD110197	BDEMOPRJ	PARTIAL	07-Jul-11	22-Jul-11	21-Aug-12	FINAL	BV10000911 Interior demo. Removal of interior finishes only. Partial demo.	550	WASHINGTON AV	42030091900

BE960193	BELEC	OTH	15-Nov-95	15-Nov-95	14-Sep-96	CLOSED	FIRE ALARM SYSTEM	550	WASHINGTON AV	42030091900
BE931161	BELEC	ALT	07-Jul-93	07-Jul-93	03-Jan-94	CLOSED	BURGLAR ALARM SYSTEMS	550	WASHINGTON AV	42030091900
BE961779	BELEC	ALT	09-Sep-96	09-Sep-96	08-Mar-97	CLOSED	NEW FIXTURES EXIT LIGHT AND EMERGENCY	550	WASHINGTON AV	42030091900
BE961437	BELEC	ALT	05-Jul-96	05-Jul-96	01-Jan-97	CLOSED	OUTLETS FAN AND FIXTURES	550	WASHINGTON AV	42030091900
BE951464	BELEC	ALT	23-Aug-95	25-Aug-95	10-Mar-96	FINAL	BURGLAR ALARM SYSTEMS 2 FLOOR	550	WASHINGTON AV	42030091900
BE120899	BELEC	LOWVOLT	12-Jan-12	12-Jan-12	27-Jan-13	CLOSED	B1105169/install low volts outlets between phone, data and video camera, phone data video camera	550	WASHINGTON AV	42030091900
BE920393	BELEC	OTH	31-Dec-91	31-Dec-91	28-Jun-92	CLOSED	SERVICE REPAIRS	550	WASHINGTON AV	42030091900
BE931423	BELEC	OTH	31-Aug-93	31-Aug-93	27-Feb-94	CLOSED	OUTLETS,LIGHTFIXTURES,PANEL (REPAIRS)	550	WASHINGTON AV	42030091900
BE131591	BELEC	LOWVOLT	07-Mar-13	18-Mar-13	29-Sep-13	FINAL	Rnw BE120899/ B1105169/install low volts outlets between phone, data and video camera, phone data video camera	550	WASHINGTON AV	42030091900
BE931259	BELEC	ALT	29-Jul-93	29-Jul-93	25-Jan-94	CLOSED	BURGLAR ALARM SYSTEMS	550	WASHINGTON AV	42030091900
BE061621	BELEC	ALTRMDL	22-Mar-06	22-Mar-06	24-Oct-06	FINAL	ELECTRICAL UPDATE FOR 40 YR. RECERTIFICATION	550	WASHINGTON AV	42030091900
BL122786	BELEV	ELEV	01-Oct-15	08-Sep-15	30-Sep-16	PAID	INSTALL A TRACTION ELEVATOR MB-2786	550	WASHINGTON AV	42030091900
BL122772	BELEV	WCHAIR	01-Oct-15	17-Jul-15	30-Sep-16	PAID	INSTALL A VERTICAL WHEELCHAIR LIFT MB-2772	550	WASHINGTON AV	42030091900
BL122773	BELEV	WCHAIR	01-Oct-15	17-Jul-15	30-Sep-16	PAID	INSTALL A VERTICAL WHEELCHAIR LIFT MB-2773	550	WASHINGTON AV	42030091900
BM130510	BMECH	ELEVNEW	07-Jan-13	08-Jan-13	03-Sep-13	FINAL	INSTALLATION OF INDOOR WHELCHAIR MB-2773 LIFT (UPSTAIRS) BL122773	550	WASHINGTON AV	42030091900
BM120755	BMECH	ELEVNEW	14-Mar-12	02-Apr-12	12-Jun-14	FINAL	INSTALL A TRACTION ELEVATOR MB-2786	550	WASHINGTON AV	42030091900
BM020725	BMECH	A/C	17-May-02	17-May-02	19-Nov-02	FINAL	INST DUCT SMOKE DETECTORS IN ALL A/C UNITS	550	WASHINGTON AV	42030091900
BM050696	BMECH	A/C	07-Apr-05	07-Apr-05	24-Apr-07	FINAL	repl 62 ton sys	550	WASHINGTON AV	42030091900
BM120558	BMECH	ELEVNEW	07-Feb-12	07-Feb-12	11-Sep-12	FINAL	Install Indoor Wheelchair Lifts (Downstairs) MB-2772	550	WASHINGTON AV	42030091900
BM940251	BMECH	ALT	24-Nov-93	24-Nov-93	23-May-94	CLOSED	REPL 15T 12T SYS STHT DTWK	550	WASHINGTON AV	42030091900
BMS0900171	BMISC	OCCLOAD	14-Oct-08			CLOSED	occupant load for "Top Producers/Back Office Associates" Special event. on 12/13/08. 110 4 exits	550	WASHINGTON AV	42030091900
BMS0901444	BMISC	OCCLOAD	19-Feb-09			CLOSED	Occupant load for special event "Reebok Event" on Feb 24, 2009.	550	WASHINGTON AV	42030091900
BMS1102297	BMISC	DOC HIST	28-Jun-11			CLOSED	CD	550	WASHINGTON AV	42030091900
BMS0700391	BMISC	DOC HIST	30-Oct-06			CLOSED	3 COPIES	550	WASHINGTON AV	42030091900
BMS1002884	BMISC	DOC HIST	21-Jul-10			CLOSED	CD	550	WASHINGTON AV	42030091900

BMS1302037	BMISC	ELEVATOR	05-Apr-13	05-Apr-13	02-Oct-13	FINAL	1 LOCK BOX	550	WASHINGTON AV	42030091900
BMS0401570	BMISC	OCCLOAD	17-Feb-04	20-Feb-04	18-Aug-04	CLOSED	Special Event Party "BULGARI" for 300 persons on Februray 20, 2004	550	WASHINGTON AV	42030091900
BMS0902126	BMISC	OCCLOAD	23-Apr-09			CLOSED	Special event "Arlene Chaplin 50th Birthday" occupant load on 05/16/09. 150 p	550	WASHINGTON AV	42030091900
BMS51427	BMISC	OTH	18-Sep-95	18-Sep-95		CLOSED	MICROFILM PRINTS 36 PRINTS	550	WASHINGTON AV	42030091900
BMS0504634	BMISC	OCCLOAD	09-Aug-05			CLOSED	Temporary Occupant Content For Big time Production Special event on August 13, 2005. 200 Persons. 4 Independent Accessible Exits	550	WASHINGTON AV	42030091900
BMS0800068	BMISC	OCCLOAD	05-Oct-07	16-Oct-07	13-Apr-08	CLOSED	Temporary occupant content for special event "Funkshion" on october 10-14, 2007 430 PERSONS 6 EXITS	550	WASHINGTON AV	42030091900
BMS0801111	BMISC	OCCLOAD	07-Feb-08			CLOSED	Temporary Occupant content for special event "Malibu Winter Beach Bash" on 02/16/08 400 Persons 4 Exits	550	WASHINGTON AV	42030091900
BMS0801715	BMISC	OCCLOAD	18-Apr-08			CLOSED	Occupant load for special event "Farr 40" on april 19, 2008. 500 Persons 4 exits	550	WASHINGTON AV	42030091900
BMS1201349	BMISC	DOC HIST	21-Feb-12			CLOSED	5 MF COPIES	550	WASHINGTON AV	42030091900
BMS1201619	BMISC	DOC HIST	19-Mar-12			CLOSED	4 photocopies	550	WASHINGTON AV	42030091900
BMS61217	BMISC	OTH	01-Aug-96	01-Aug-96		CLOSED	38 MICROFILM COPIES	550	WASHINGTON AV	42030091900
BMS0900121	BMISC	OCCLOAD	10-Oct-08	20-Oct-08	18-Apr-09	CLOSED	Occupant load for special event "30th Birthday Casino Party" on 11-09-2008. 300 Persons 4 Exits	550	WASHINGTON AV	42030091900
BMS0901161	BMISC	OCCLOAD	22-Jan-09			CLOSED	Special Event "Paula Dean Poker Party Sobe Oscar Night Patron Party" on Feb 20 - 22, 2009 510 persons 4 exits	550	WASHINGTON AV	42030091900
BMS1102286	BMISC	DOC HIST	28-Jun-11			CLOSED	CD	550	WASHINGTON AV	42030091900
BMS0404496	BMISC	RESEARCH	26-Aug-04			CLOSED	RESEARCH	550	WASHINGTON AV	42030091900

BMS0701643	BMISC	OCCLOAD	12-Feb-07			CLOSED	Temporary Occupant content for "Food Network" Special Event. on February 24, 2007 742 Persons 4 Exits	550	WASHINGTON AV	42030091900
BMS1301744	BMISC	OCCLOAD	14-Mar-13	06-Sep-13	05-Mar-14	FINAL	Occupant Load_ Bamboo Nightclub GROUND FLOOR = 950 LOBBY BALCONY = 20 LOWER MEZZ. = 108 UPPER MEZZ. = 75 MEZZ. BAR = 42 TOTAL OCCUPANT CONTENT = 1195 TOTAL EXITS = 4	550	WASHINGTON AV	42030091900
BMS0202751	BMISC		17-Jun-02			CLOSED	hall for hire/dance entertainment w/ alcohol/900 seats production company	550	WASHINGTON AV	42030091900
BMS0600821	BMISC	OCCLOAD	21-Nov-05			CLOSED	Temporary Occupant Content for "Paris Studio" Special Event on Nov. 30 thru Dec. 04, 2005. 400 Persons 4 Accessible Independent Exits	550	WASHINGTON AV	42030091900
BMS0800950	BMISC	OCCLOAD	22-Jan-08	28-Jan-08	26-Jul-08	FINAL	Temporary occupant content for special event " Aprimo apex awards banquet" on 01/28/08 from 6:00PM - 10:00 PM	550	WASHINGTON AV	42030091900
BMS0801582	BMISC	ELEVATOR	01-Apr-08	01-Apr-08	28-Sep-08	CLOSED	1 SUPRA BOX	550	WASHINGTON AV	42030091900
BMS1201348	BMISC	SHOP	21-Feb-12	04-Apr-13	01-Oct-13	FINAL	b1201870--SHOP FOR STAGE AREA FOR MOBILE PATFORM AND LED STRUCTURE.	550	WASHINGTON AV	42030091900
BMS1201588	BMISC	ELEVATOR	15-Mar-12	02-Apr-12	29-Sep-12	CLOSED	VARIANCE MB-2786	550	WASHINGTON AV	42030091900
BMS61155	BMISC	OTH	16-Jul-96	10-Oct-96		FINAL	PLAN REVISION FEE-B9500413	550	WASHINGTON AV	42030091900
BMS0604135	BMISC	OCCLOAD	10-Jul-06			CLOSED	Temporary Occupant Content BGW Design Limit, Inc. UNIVISION August 24, 2006. 900 persons 5 exits	550	WASHINGTON AV	42030091900
BMS1400746	BMISC	DOC HIST	09-Jan-14			CLOSED	1 cd	550	WASHINGTON AV	42030091900
BMS0301993	BMISC		20-Mar-03	20-Mar-03		FINAL	Temporary Occupant Content Load for Special Event on March 21, 2003	550	WASHINGTON AV	42030091900
BMS0900254	BMISC	OCCLOAD	22-Oct-08	24-Oct-08	22-Apr-09	CLOSED	Occupant load for special event "Sony Pictures Upfront Event" on 10/30/08. 110 Persons 4 Exits	550	WASHINGTON AV	42030091900
BMS1100922	BMISC	OCCLOAD	24-Jan-11			CLOSED	STUDIO/ WINTER PARIS THEATHER	550	WASHINGTON AV	42030091900

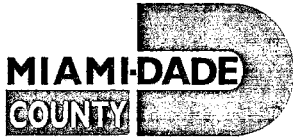
BMS1102461	BMISC	OCCLOAD	22-Jul-11	01-Aug-11	28-Jan-12	FINAL	PRELIMINARY OCCUPANT CONTENT-NAME OF BUSINESS "BAMBOO CLUB"--NAME OF PREVIOUS BUSINESS "BIG TIME PRODUCTIONS INC"-- CURRENT USE "PRODUCTION COMPANY" ENTRY = 90 LOBBY = 173 SOUTH LOUNGE = 95 THEATER = 292 SOUTH EXTERIOR = 211 MEZZ. LOUNGE = 35 SECOND LEVEL = 104 THIRD LEVEL = 25 TOTAL OCCUPANT CONTENT = 1025 TOTAL EXITS = 3 REFER TO B1003993 FOR PENDING FIRE VIOLATIONS FOR CHANGE OF USE.	550	WASHINGTON AV	42030091900
BMS01354	BMISC	OTH	26-Jul-90	26-Jul-90		FINAL	FIVE (5) PHOTOCOPIES BLDG CARD	550	WASHINGTON AV	42030091900
BMS0700734	BMISC	OCCLOAD	04-Dec-06			CLOSED	Temporary Occupant Content for "SWAROSKI" at Paris Theater. Dec 5-11, 2006.	550	WASHINGTON AV	42030091900
BMS1003223	BMISC	OCCLOAD	25-Aug-10	07-Dec-10	05-Jun-11	FINAL	NIGHTCLUB/THREATER TO PRODUCTION STUDIO FILIMING EVENTS PARIS THEATER LOBBY LEVEL=195, UPPER LEVEL=155, LOWER LEVEL=110, STAGE LEVEL=30, SOUTH LOUNGE=80, SOUTH EXTERIOR=49, MEZZANINE BAR=35, LOWER BALCONY=60, MIDDLE BALCONY=30, UPPER BALCONY=60, PROJECTION ROOM=20 TOTAL OCCUPANT CONTENT = 824 TOTAL EXITS = 4	550	WASHINGTON AV	42030091900
BMS30349	BMISC	OTH	14-Dec-92	14-Dec-92		CLOSED	35 MICROFILM COPIES	550	WASHINGTON AV	42030091900
BMS0601791	BMISC	OCCLOAD	25-Jan-06			CLOSED	Temporary Occupant Content Special Event For Managed funds Assoc. February 06,2006. 350 persons 4 Exits	550	WASHINGTON AV	42030091900
BMS0903154	BMISC	OCCLOAD	13-Aug-09	19-Aug-09	15-Feb-10	FINAL	Occupant load Paris Studios Special event for "Laurel" Stage Level=165 Lower Level=124 View Level=138 Lobby Level=169 Lounge 1=136 Upper levels and H/M Station not used. Total Occupant Content = 732 Persons	550	WASHINGTON AV	42030091900
BMS0000080	BMISC		07-Oct-99			VOID	Lic/CU insp for valet parking	550	WASHINGTON AV	42030091900

BMS0505593	BMISC	OCCLOAD	27-Sep-05			CLOSED	Temporary Occupant Content Special Event Fashion Week Miami Oct. 11-14, 2005. 400 persons 4 Independent Accessible Exits	550	WASHINGTON AV	42030091900
BMS0800556	BMISC	OCCLOAD	29-Nov-07			CLOSED	Temporary Occupant Content for Nike Event Dec, 6, 2007 thru Dec. 8, 2007. 733 Persons 4 Exits	550	WASHINGTON AV	42030091900
BMS0801165	BMISC	OCCLOAD	14-Feb-08			CLOSED	Temporary occupant content for special event "Belvedere Food and wine festival 2008", on 02/23/08	550	WASHINGTON AV	42030091900
BMS1201040	BMISC	OCCLOAD	20-Jan-12	16-Mar-12	12-Sep-12	FINAL	TEMP. occupant load for TCO OF FIRST FLOOR ONLY BAMBOO LOUNGE TOTAL OCCUPANTS = 945 TOTAL EXITS = 5 2 OCCUPANTS PERMITTED ON SECOND FLOOR FOR LIGHTING	550	WASHINGTON AV	42030091900
BMS1201479	BMISC	SHOP	07-Mar-12	03-Oct-13	01-Apr-14	FINAL	Shop drawings/ B1105169/ B1201870/ Shop drawings handrails for stairs & ramps	550	WASHINGTON AV	42030091900
BMS1501934	BMISC	OCCLOAD	04-May-15			APPLIED	Occupancy Load/Paris Theater	550	WASHINGTON AV	42030091900
BMS70064	BMISC	OTH	11-Oct-96	11-Oct-96		CLOSED	PERMIT EXTENSION P#B9500413	550	WASHINGTON AV	42030091900
BMS0504128	BMISC	OCCLOAD	21-Jun-05			CLOSED	Temporary Occupant Content for "Paris Studio" Special Event date June 23, 2005. 250 Persons 4 Exits	550	WASHINGTON AV	42030091900
BMS0900490	BMISC	OCCLOAD	12-Nov-08			CLOSED	Occupant load for special event "Nespresso CITIZ" on 12/09/08. 110 persons 4 exits	550	WASHINGTON AV	42030091900
BMS1102271	BMISC	DOC HIST	24-Jun-11			CLOSED	CD	550	WASHINGTON AV	42030091900
BMS81707	BMISC	OTH	29-Jul-98	29-Jul-98		CLOSED	REPLACED NSF CHECK PERMIT #BR980046	550	WASHINGTON AV	42030091900
BMS01413	BMISC	OTH	06-Aug-90	06-Aug-90		FINAL	BUILDING CONTRACTOR RESEARCH	550	WASHINGTON AV	42030091900
BMS0701452	BMISC	OCCLOAD	30-Jan-07			CLOSED	Temporary occupant Content for " Nike event" on 02/02/07. 822 Persons 4 exits	550	WASHINGTON AV	42030091900
BMS1301655	BMISC	DOC HIST	07-Mar-13	12-Dec-13	10-Jun-14	CLOSED	1 CERT PLANS FP120224	550	WASHINGTON AV	42030091900
BMS0602801	BMISC	DOC HIST	21-Apr-06			CLOSED	3 COPIES	550	WASHINGTON AV	42030091900
BMS1000411	BMISC	OCCLOAD	05-Nov-09	10-Nov-09	09-May-10	FINAL	OCCUPANT LOAD - BIG TIME PRODUCTIONS	550	WASHINGTON AV	42030091900
BMS0202458	BMISC		22-May-02	27-May-02		CLOSED	Temporary Occupant Load (Special Event held May 24 - 27, 2002)	550	WASHINGTON AV	42030091900
BMS0600402	BMISC	OCCLOAD	11-Oct-05	13-Jul-06	09-Jan-07	FINAL	Occupant Content for "Big Time Productions" 1052 persons	550	WASHINGTON AV	42030091900

BMS0800857	BMISC	OCCLOAD	10-Jan-08			CLOSED	Temporary Occupant Content Special Event "Paula Dean Poker Party" February 21, 2008 510 Persons 4 Exits	550	WASHINGTON AV	42030091900
BMS0801186	BMISC	OCCLOAD	20-Feb-08			CLOSED	Occupant Content for "Big Time Productions"	550	WASHINGTON AV	42030091900
BMS1201334	BMISC	SHOP	17-Feb-12	23-Jul-13	19-Jan-14	FINAL	B1201870 - DECORATIVE GLASS RAILING - SHOP DRAWING.	550	WASHINGTON AV	42030091900
BMS1201546	BMISC	DOC HIST	13-Mar-12			CLOSED	LOST PLANS FEE + 10 MF COPIES	550	WASHINGTON AV	42030091900
BMS61106	BMISC	OTH	08-Jul-96	08-Jul-96		FINAL	PLAN REVISION FEE-B9500413	550	WASHINGTON AV	42030091900
BP970327	BPLUM	ALT	08-Jan-97	08-Jan-97	02-Aug-97	FINAL	INST AD TRAI FIRE SPRKLR	550	WASHINGTON AV	42030091900
BP020843	BPLUM	FFLOW	03-Apr-02			VOID	FLOW TEST	550	WASHINGTON AV	42030091900
BP961295	BPLUM	OTH	26-Sep-96	26-Sep-96	14-Apr-97	FINAL	REMODEL PLBG	550	WASHINGTON AV	42030091900
BP021065	BPLUM	FPROJECT	16-May-02	16-May-02	19-Nov-02	FINAL	49 heads	550	WASHINGTON AV	42030091900
BR150343	BREC		13-Aug-15	17-Nov-15	17-Nov-25	APPROVED	RECERTIFICATION OF BUILDING 40 YEAR OLD - MIAMI DADE COUNTY CODE Ordinance Section 8-11(f).	550	WASHINGTON AV	42030091900
BR060045	BREC		21-Oct-05	04-Feb-06	04-Feb-16	CLOSED	Building Recertification.	550	WASHINGTON AV	42030091900
BR980046	BREC	OTH	01-Dec-97	01-Jul-98		CLOSED	STRUCTURAL AND ELECTRICAL INSPECTION	550	WASHINGTON AV	42030091900
BREV132065	BREV	FALARM	29-Aug-13			CLOSED	RSVN to Fp130343/ B1105169/ To show existing conditions. Top landing enclosure. Adding 1 heat dectector	550	WASHINGTON AV	42030091900
BREV120409	BREV	ALTRMD	11-Jan-12	14-Mar-12		FINAL	B1105169/rvsn to 1st floor bar area slab (to reinforce slab)	550	WASHINGTON AV	42030091900
BREV120631	BREV	ALTRMD	01-Mar-12	01-Mar-12		FINAL	B1105169/B1201870/Provide sprinkler heads for shell protection underneath seating for TCO	550	WASHINGTON AV	42030091900
BREV120610	BREV	ALTRMD	23-Feb-12	14-Mar-12		FINAL	REVISION TO B1201870 / Details of Dj booth on stage area in night club.	550	WASHINGTON AV	42030091900
BREV130998	BREV	FPROJECT	13-Mar-13	14-Mar-13		FINAL	RSVN/FP130350/Revision to 2nd temporary wall fire sprinkler layout.	550	WASHINGTON AV	42030091900
BREV131895	BREV	ALTRMD	01-Aug-13			VOID	Revision to B1201870/ Elevator top landing enclosure, including 1 door, 1 window, 2 louvers. (service area employees only.)	550	WASHINGTON AV	42030091900
BREV120609	BREV	ALTRMD	23-Feb-12	09-Mar-12		FINAL	REVISION TO B1105169 / Phase construction of master project separating the 1st floor and sections of the second floor from the 3rd and 4th to obtain a TCO.	550	WASHINGTON AV	42030091900
BREV121403	BREV	ALTRMD	21-Aug-12	04-Jun-13		FINAL	b1105169//RVSN to renovation of master B1105169 see attached modifications	550	WASHINGTON AV	42030091900
BREV131360	BREV	ALTRMD	02-May-13	08-May-13		FINAL	RSVN/B1201870/202 & 203 included on master, Revision to electrical devices.	550	WASHINGTON AV	42030091900
BREV141224	BREV	DRWNW	18-Mar-14	29-Apr-14		FINAL	RVSN#B1201870/ Revision to show existing Doors to match existing conditions	550	WASHINGTON AV	42030091900
BREV120541	BREV	ALTRMD	09-Feb-12	22-Feb-12		FINAL	Revision/ B1201870/ Rvsn to E-100,200,201,202,400	550	WASHINGTON AV	42030091900
BREV120715	BREV	ALTRMD	19-Mar-12	20-Mar-12		FINAL	B1201870 - REVISION TO ELECTRICAL AS PER SITE INSTALLATION.	550	WASHINGTON AV	42030091900

BREV100218	BREV	ALTRMD	25-Aug-10			CLOSED	B1003990 RVSN TO FIRE ONLY.	550	WASHINGTON AV	42030091900
BREV131029	BREV	FPROJECT	18-Mar-13	18-Mar-13		FINAL	Revision to FP130350/ Revise drawing to match existing layout.	550	WASHINGTON AV	42030091900
BREV132290	BREV	ALTRMD	26-Sep-13	27-Sep-13		FINAL	RSVN/B1201870/Showing oil interceptor to match existing location.	550	WASHINGTON AV	42030091900
B0700594	BSBUILD	PAINT	26-Oct-06	26-Oct-06	12-May-07	FINAL	PRESURE CLEAN, PALMER & PAINT FRONT ELEVATION ALL EXTERIOR.	550	WASHINGTON AV	42030091900
BS952372	BSBUILD	OTH	07-Sep-95			VOID	LEVEL INT STAGE CONCRETE FLOOR	550	WASHINGTON AV	42030091900
BS921435	BSBUILD	OTH	20-Apr-92	20-Apr-92	17-Oct-92	CLOSED	INTERIOR PAINTING, SCRAPING,PLASTERING	550	WASHINGTON AV	42030091900
B0101843	BSBUILD		26-Feb-01	01-Mar-01	14-May-07	FINAL	ERECT 145LF CHAINLINK FENCE.	550	WASHINGTON AV	42030091900
B9603349	BSBUILD	OTH	12-Sep-96	13-Sep-96	02-Aug-97	CLOSED	TEMPORARY CHAIN LINK FENCE	550	WASHINGTON AV	42030091900
BS933825	BSBUILD	OTH	27-Sep-93	27-Sep-93	26-Mar-94	CLOSED	EXTERIOR PAINTING	550	WASHINGTON AV	42030091900
B1000034	BSBUILD	DRWNW	05-Oct-09	05-Oct-09	07-Jun-10	FINAL	Unit - 6 impact storefront opening, 6 impact french doors. 12 opening total	550	WASHINGTON AV	42030091900
BS940206	BSBUILD	OTH	20-Oct-93			VOID	CONV. THEATER TO STUDIO/OFFICE SPACES	550	WASHINGTON AV	42030091900
B0203117	BSBUILD	ALTRMDL	07-May-02	13-May-02	17-Nov-02	CLOSED	CONSTRUCT ADA RAMP INSIDE BUILDING	550	WASHINGTON AV	42030091900
B1201870	BSBUILD	ALTRMD	08-Feb-12	08-Feb-12	02-Nov-14	FINAL	C/O/C:BV12000013//Renovation of existing building for new ent. establishment & performing theatre lounge to include architectural and M.E.P.	550	WASHINGTON AV	42030091900
BS912219	BSBUILD	OTH	28-Aug-91	28-Aug-91	24-Feb-92	CLOSED	RE-ROOF GRAVEL TO FIBERGLASS 19 SQUARES	550	WASHINGTON AV	42030091900
BS920678	BSBUILD	OTH	06-Jan-92	06-Jan-92	04-Jul-92	CLOSED	INTERIOR PAINTING & CLEAN-UP	550	WASHINGTON AV	42030091900
B1503344	BSBUILD	PAINT	30-Mar-15			VOID	Exterior Painting- white--same color	550	WASHINGTON AV	42030091900
B0502363	BSBUILD	ALTRMD	15-Feb-05	13-Apr-05	10-Oct-05	VOID	INST 1 NON IMPACT WNDW WITH SHUTTER & 3 DOORS	550	WASHINGTON AV	42030091900
BSE99119	BSPEV		28-Sep-99	28-Sep-99	30-Sep-99	CLOSED	TEMPORARY INSTALLATION OF (2) 6' X 12' BANNERS	550	WASHINGTON AV	42030091900
BE112391	BSUBELEC	DEMO	08-Jul-11	08-Jul-11	21-Aug-12	FINAL	BD110197/Electrical Demo	550	WASHINGTON AV	42030091900
BE120867	BSUBELEC	ALTRMDL	10-Jan-12	10-Jan-12	27-Jan-13	CLOSED	BV12000013//B1105169/renovation of existing electrical installation. the service all elec and relocate all existing outlets 279 light fixtures and 80 outlets	550	WASHINGTON AV	42030091900
BE131553	BSUBELEC	ALTRMDL	05-Mar-13	18-Mar-13	28-Oct-13	FINAL	Rnw BE120867 BV12000013//B1105169/renovation of existing electrical installation. the service all elec and relocate all existing outlets 279 light fixtures and 80 outlets	550	WASHINGTON AV	42030091900
BE131590	BSUBELEC	ALTRMDL	07-Mar-13	18-Mar-13	26-Sep-13	FINAL	Rnw BE120898/ B1105169/install 359 empty outlets between receptacles and lighting.	550	WASHINGTON AV	42030091900
BE120898	BSUBELEC	ALTRMDL	12-Jan-12	12-Jan-12	27-Jan-13	CLOSED	B1105169/install 359 empty outlets between receptacles and lighting.	550	WASHINGTON AV	42030091900
BM130815	BSUBMECH	ALTRMDL	12-Mar-13	12-Mar-13	16-Sep-13	FINAL	B1105169/Renewal of BM120336//New installation of a/c system ductwork & ventilation	550	WASHINGTON AV	42030091900
BM120336	BSUBMECH	ALTRMDL	14-Dec-11	14-Dec-11	27-Jan-13	CLOSED	B1105169/ New installation of a/c system ductwork & ventilation	550	WASHINGTON AV	42030091900

BP120424	BSUBPLUM	ALTRMDL	13-Dec-11	13-Dec-11	17-Feb-14	FINAL	B1105169/new plumbing to bathrooms and bar areas	550	WASHINGTON AV	42030091900
BP111605	BSUBPLUM	DEMO	08-Jul-11	08-Jul-11	21-Aug-12	CLOSED	BV10000911/ BD110197/ plubimg demo	550	WASHINGTON AV	42030091900
BP131073	BSUBPLUM	ALTRMDL	15-Mar-13			VOID	Renew/BP120424/B1105169/new plumbing to bathrooms and bar areas	550	WASHINGTON AV	42030091900
B9500413	BUILD	ALT	19-Sep-95	18-Mar-96	14-Jun-97	CLOSED	INST/2 STEEL FRE ESCPS/BLD PHOTO SETS	550	WASHINGTON AV	42030091900
B1305703	BUILD	ALTRMD	06-Aug-13	28-Oct-13	17-Jul-14	FINAL	elevator top landing enclosure including i door i window 2 louver (service area)	550	WASHINGTON AV	42030091900
B1003990	BUILD	ALTRMD	21-Jul-10	09-Nov-10	08-Aug-11	CLOSED	Change of Occupancy: From (B) OFFICE to previous occupancy (A1) THEATER. No work to be done.	550	WASHINGTON AV	42030091900
B1102002	BUILD	ALTRMD	03-Mar-11			VOID	BV10000911/To close violation BV10000911 legalize wotk to create 3 small rooms & minor electrical work	550	WASHINGTON AV	42030091900
B1105169	BUILD	ALTRMD	12-Sep-11	07-Dec-11	29-Aug-12	CHNGCNTR	BV12000013//Renovation of existing building for new ent. establishment & perfomring theatre lounge to include architectural	550	WASHINGTON AV	42030091900
BV981318	BVIO	OTH	13-Jul-98	14-Jul-98		CLOSED	ACCESS WHICH IS CONCEALED	550	WASHINGTON AV	42030091900
BV06000062	BVIO	ENGINEER	21-Oct-05	21-Oct-05	12-May-06	CLOSED	Failure to comply with the required Building Re-certification.	550	WASHINGTON AV	42030091900
BV980622	BVIO	OTH	08-May-98			CLOSED	STRUCTURAL AND ELECTRICAL INSPECTION	550	WASHINGTON AV	42030091900
BV10000911	BVIO	STRUCT	03-Aug-10	03-Aug-10	24-Sep-12	CLOSED	NOTICE OF VIOLATION ISSUED. WORK DONE WITHOUT PERMIT, NEW BATROOMS ON THE SECOND FLOOR, NEW STORAGE ROOM, NEW OFFICE, NEED TO SUBMIT THE REQUIRED DOCUMENTS AND OBTAIN APPROVED PERMIT IN ALL TRADES INVOLVED. DOUBLE FEES APPLIED. EVIDENCE OF BATHROOM WERE EXISTING IN 1996 WAS PROVIDED BY PROPERTY OWNER	550	WASHINGTON AV	42030091900
BV12000013	BVIO	STRUCT	06-Oct-11	06-Oct-11	21-Mar-12	CLOSED	STOP WORK ORDER ISSUED. INTERIOR RENOVATION IN APPLIED PERMIT B1105169 STARTED WITH PERMIT NOT BEEN APPROVED, NEED TO STOP ALL WORK UNTILL SAME IS APPROVED. DOUBLE FEES APPLY	550	WASHINGTON AV	42030091900
BV16000239	BVIO	UNSAFE	17-Nov-15	17-Nov-15	03-Mar-16	CLOSED	NOTICE OF VIOLATION ISSUED. BR150343 not in compliance, therefore, as per the Florida Building Code and Miami-Dade County chapter 8-5 (6) the property is deemed unsafe if a 40 Year Recertification report is not completed. You must have the 40 Year Rec. processes completed within thirty calendar days from the posting of this notice. Sec. 8-5. - Unsafe Structures (6) Buildings or structures subject to the recertification requirements in Section 8-11(f) of this Code which the owner fails to timely respond to the Notice of Required Inspection or fails to make all required repairs or modifications found to be necessary resulting from the recertification inspection by the deadline specified in the Code or any written extension granted by the Building Official will be demolished	550	WASHINGTON AV	42030091900



miamidade.gov

Water and Sewer
PO Box 330316 • 3575 S. Lejeune Road
Miami, Florida 33233-0316
T 305-665-7471

Water Supply Certification Number: 3872-OL-201131104
Water Supply Certification Issued Date: 11/30/2011
Building Process Number:

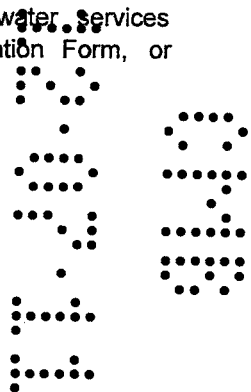
Applicant: Theo Pasa
150 SE 2nd Ave #1010
Miami, FL 33131

Owner/Agent: n/a
Organization:

Re: Adequate Water Supply Certification

The Miami-Dade Water and Sewer Department (Department) has received your request to receive water services to serve the following project which is more specifically described in the attached Agreement, Verification Form, or Ordinance Letter.

Project Name: BAMBOO MIAMI
Project Location: 550 WASHINGTON AVE Miami Beach
Previous Use: 20,434 SF OFFICE
Proposed Use: 21,522 SF ENT. ESTABLISHMENT & PERFORMING THEATRE LOUNGE
Previous Flow: 1,022 (GPD)
Total Calculated Flow: 4,304 (GPD)
Reserved Flow: 3,283 (GPD)



The Department has evaluated your request pursuant to Policy CIE-5D and WS-2C in the County's Comprehensive Development Master Plan and Limiting Condition No. 5. of the South Florida Water Management District Water Use Permit Number 13-00017-W. Based on its review of all applicable information, the Department hereby certifies that adequate water supply is available to serve the above described project.

This Adequate Water Supply Certification will expire if a building permit is not applied for within 365 days of the date of issuance of said certification. If an Agreement is executed for the proposed project, the certification will remain active with the terms of the Agreement until such time as the building permit is applied for. If a building permit is applied for in accordance with the aforementioned conditions, this certification will remain active with the building permit process.

Furthermore, be advised that this adequate water supply certification does not constitute Department approval for the proposed project. Additional reviews and approval may be required from sections having jurisdiction over specific aspects of this project. Also, be advised that the gallons per day (GPD) flow reserved herein is for water certification purposes only and may not be representative of GPD flows used in calculating connection fees by the utility providing the service.

Should you have any questions regarding this matter, please contact Maria A. Valdes, Chief, Comprehensive Planning And Water Supply Certification Section, (786) 552-8198 or via email at mavalda@miamidade.gov.

Sincerely,

Comprehensive Planning And Water Supply Certification Section.
8E77F202-0CC3-40DD-A362-AEF990691A53



MIAMI BEACH

BUILDING DEPARTMENT

1700 Convention Center Drive, 2nd Floor
Miami Beach, Fl, 33139
Phone: (305) 673-7610 Fax: (305) 673-7857

Owner/ Qualifier / Contractor Estimate Construction Cost Affidavit (To be submitted for the main/master permits or the stand alone permits)

Permit Number: B1105169

Date: NOV 29 / 11

Job Address: 550 WASHINGTON AVE.

Folio No.: 02-4203-009-1900

The construction cost should include the work under the main Permit and all associated permits:

Part I: FEMA 50% Related Construction Cost

Items to be excluded from Estimate Construction Cost for Part I (FEMA 50% Related Construction Cost):
*Plan and Specification, Survey Cost, Permit Fees, Swimming Pools, detached structures (garages, storages, cabanas),
Landscaping, Fences, Yard light, Not Built-ins Appliances and Furniture.*

Estimated Construction Cost	General Contractor Cost	Owner Cost.
Demolition & Removal	55,000.00	
Building & Structural Elements	205,000.00	
Roofing	N/A	
Doors & Windows	44,000.00	
Railing	42,000.00	
Interior Finish, Floor Covering, Painting	285,000.00	
Cabinets and Furniture-Built-Ins	55,000.00	
Appliances-Built-Ins	102,000.00	
Other Building related Items	95,000.00	
Electrical including Fixtures	225,000.00	
Elevator	110,000.00	
Mechanical-HVAC-equipments	95,000.00	
Plumbing including Fixtures	85,000.00	
Overhead and Profit	102,000.00	
Sub Total Construction Cost	\$ 1,500,000.00	\$
Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes	\$ 1,500,000.00 m	



BEACH

BUILDING DEPARTMENT

1700 Convention Center Drive, 2nd Floor
Miami Beach, Fl, 33139
Phone: (305) 673-7610 Fax: (305) 673-7857

Part II: Non Related FEMA 50% Construction Cost		
Estimated Construction Cost	General Contractor Cost	Owner Cost
Swimming Pools	N/A	
Fences, Pavers, Sidewalks, Site Improvements	N/A	
Yard Light	N/A	
Other and detached: garages, storage and cabanas	N/A	
Sub Total Cost	\$	\$
Sub Total Construction Cost Estimate for non FEMA 50% Rule Purposes	\$	

Part III: Total Construction Cost (Note: The construction cost will be validated by Plan Examiners)	
Estimated Construction Cost	
Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes-Part I	\$
Sub Total Construction Cost Estimate for Non FEMA 50% Rule Purposes- Part II	\$
Total Construction Cost Estimate. (Add Part I and Part II of Construction Cost)	\$

Part IV: Signature Required

If the improvements cost will increase at any point during the proposed construction, it is Owner and the Contractor of Record responsibility to submit the revised improvements cost to the Building Department for review and approval.

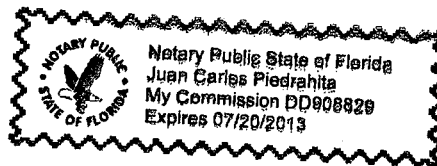
Signature of Owner

STATE OF FLORIDA
COUNTY OF _____

Sworn to and Subscribed before me this Fourth day of December 2011, by:

[] Personally known [] Produced Identification - Type of Identification _____

Signature of Notary Public





MIAMI BEACH

BUILDING DEPARTMENT

1700 Convention Center Drive, 2nd Floor
Miami Beach, Fl, 33139
Phone: (305) 673-7610 Fax: (305) 673-7857

[Signature]
Signature of Qualifier / Contractor

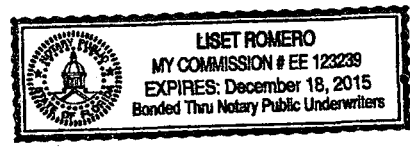
STATE OF FLORIDA
COUNTY OF Miami-Dade

Sworn to and Subscribed before me this 02 day of December 2011, by:

Daniilo Acee

Personally known Produced Identification - Type of

Identification [Signature]
Signature of Notary Public



Part V: Building Department Use Only

A	Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes.	\$	1,500,000. ⁰⁰
B	Over Five Year Improvements	\$	49,350. ⁰⁰
C	Total Improvements	\$	1,549,350. ⁰⁰
D	Building Tax Assessed Value	\$	—
E	Building Appraised Market Value	\$	3,182,907. ⁰⁰
F	Improvements Cost Ratio (C/E or C/D)	%	48.68%

If Improvements cost exceed 40% of the Building Tax Value, a building appraised market Value is required for evaluation of Improvement Cost Ratio.

Check one box:

New Construction and Substantial Improvement Existing Building and Non Substantial Improvement

Ceballos Guerrero
Engineering Inspector Name

[Signature] 12/06/11
Engineering Inspector Signature and Date

Note: Over \$1,000,000.00 Improvements Cost requires Chief Governmental Compliance Division Approval, over \$50,000,000.00 Improvements Cost requires Building Director Approval.

Name

Signature and Date

Paris Theatre
550 Washington Ave
09-08-11

SEP 08

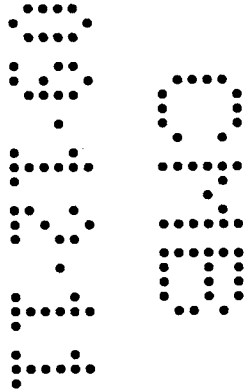
Zvonimir T. Belfranin, P.E.
Registration #33074
4836 SW 74th Court
Miami, Florida 33155
(305) 669-0255
Belfranin@aol.com

I, the undersigned assume full responsibility for both manual and computer generated calculations.


SEP 08 2011

Table of Contents

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Design of New Steel Beams Supporting Epicore Slab.....Pgs 2 to 6
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Design of Base Plate at New Columns.....Pg 9
Explanation of Field Verification Requirements.....Pg 10
Cut Out Sheets for Epicore Slab.....Pgs 11,12



17012

SEP 08 2011

ZVONIMIR T. BELFRANIN, P.E.

4836 SW 74 Court
Miami, Florida 33155
(305) 669-0255
Fax (305) 669-1073

JOB 550 Washington Miami Beach

SHEET NO. 1 OF _____

CALCULATED BY m.m. DATE 9/11

CHECKED BY _____ DATE _____

SCALE _____

ELEVATOR SHAFT Req'd. NO. OF HELICAL PILES,

Height = 42'

DL walls = $0.07(9 \times 2 + 10 \times 2)(42)$
= 112 K

DL Pile cap = $9(10) \left(\frac{31}{12}\right)(0.15)$
= 35 K

LL + DL Roof Slab = $9(10) \left[\frac{9}{12}(0.15) + 0.025 + 0.025 \right]$
= 11.7 K

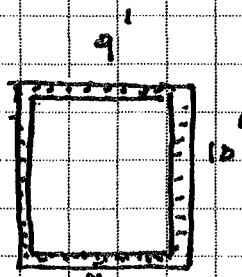
$\Sigma DL = 159 K$

No. of piles Req'd. = $\frac{159}{24} = 6.6$ piles

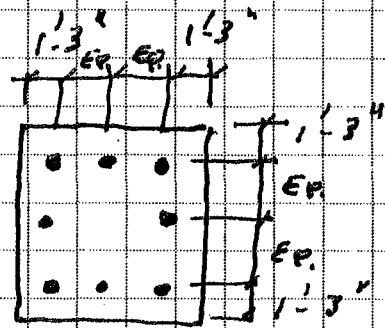
Providing (8) piles.

min. spacing between Helical Piles 30"

note: @ every existing
conc. slab for Elevation
Shaft provide a 8x18"
conc. tie Beam Reinfg.
w/ 2#5 TOP & BOT. #6 @ 30" TIES
spaced @ 8' o.c.



FACE OF WALL
FACE OF PILE CAP



(8) PG

ZVONIMIR T. BELFRANIN, P.E.

4836 SW 74 Court
Miami, Florida 33155
(305) 669-0255
Fax (305) 669-1073

JOB _____
SHEET NO. 2 OF _____
CALCULATED BY mm mm DATE 9/11
CHECKED BY _____ DATE _____
SCALE _____

Design of steel beams -

A) End Beam

$$S.I. DL = 35 \text{ PLF}$$

$$DL \text{ Deck} = 100 \text{ PLF}$$

$$W = 100 \text{ PLF}$$

$$T_w = 2.5'$$

$$W_{DL} = 1150 \text{ PLF}$$

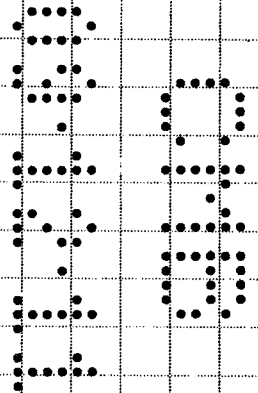
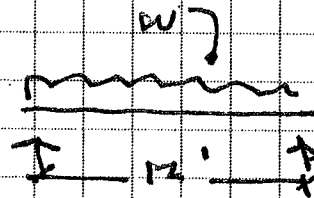
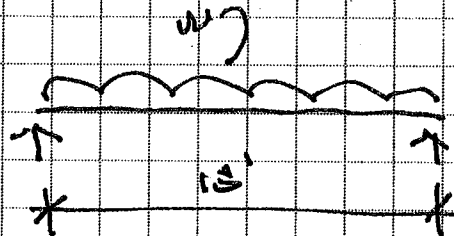
$$W_{LL} = 850 \text{ PLF}$$

B) Interior Beams

$$T_w = 12.5'$$

$$W_{DL} = 2230 \text{ #/ft}$$

$$W_{LL} = 1650 \text{ #/ft}$$



3

Steel Beam Design

Description 550 Washington Bamboo group inc. design of steel beams at 3rd and 4th floors

General Information

Code Ref: AISC 9th ASD, 1997 UBC, 2003 IBC, 2003 NFPA 5000

Steel Section : W12X40

Center Span	18.00 ft	Pinned-Pinned	Fy	36.00ksi
Left Cant.	0.00 ft	Bm Wt. Added to Loads	Load Duration Factor	1.00
Right Cant	0.00 ft	LL & ST Act Together	Elastic Modulus	29,000.0ksi
Lu : Unbraced Length	2.00 ft			

Distributed Loads

Note! Short Term Loads Are WIND Loads.

	# 1	# 2	# 3	# 4	# 5	# 6	# 7	
DL	1.150							k/ft
LL	0.850							k/ft
ST								k/ft
Start Location								ft
End Location								ft

Summary

Using: W12X40 section, Span = 18.00ft, Fy = 36.0ksi
 End Fixity = Pinned-Pinned, Lu = 2.00ft, LDF = 1.000

Beam OK
 Static Load Case Governs Stress

	Actual	Allowable
Moment	82.623 k-ft	101.970 k-ft
fb : Bending Stress	19.252 ksi	23.760 ksi
fb / Fb	0.810 : 1	
Shear	18.361 k	50.721 k
fv : Shear Stress	5.213 ksi	14.400 ksi
fv / Fv	0.362 : 1	

Max. Deflection : 0.541 in
 Length/DL Defl : 664.2 : 1
 Length/(DL+LL Defl) : 399.1 : 1

Force & Stress Summary

<<-- These columns are Dead + Live Load placed as noted -->>

	Maximum	DL Only	LL @ Center	LL+ST @ Center	LL @ Cants	LL+ST @ Cants
Max. M +	82.62 k-ft	48.20	82.62			
Max. M -						
Max. M @ Left						
Max. M @ Right						
Shear @ Left	18.36 k	10.71	18.36			
Shear @ Right	18.36 k	10.71	18.36			
Center Defl.	-0.541 in	-0.316	-0.541	-0.541	0.000	0.000 in
Left Cant Defl	0.000 in	0.000	0.000	0.000	0.000	0.000 in
Right Cant Defl	0.000 in	0.000	0.000	0.000	0.000	0.000 in
...Query Defl @	0.000 ft	0.000	0.000	0.000	0.000	0.000 in
Reaction @ Left	18.36	10.71	18.36	18.36		k
Reaction @ Rt	18.36	10.71	18.36	18.36		k

Fa calc'd per Eq. E2-1, K*L/r < Cc

1 Beam Passes Table B5.1, Fb per Eq. F1-1, Fb = 0.66 Fy

Title :
Dsgnr:
Description :

Job #
Date: 12:02PM, 7 SEP 11

Scope :

4

Rev: 580007
User: KW-0603373, Ver 5.8.0, 1-Nov-2006
(c)1983-2006 ENERCALC Engineering Software

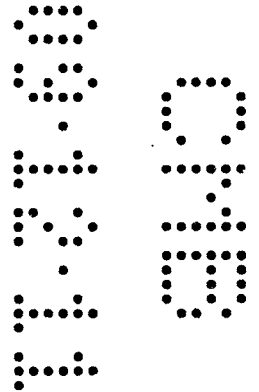
Steel Beam Design

Page 2

Description 550 Washington Bampboo group inc. design of steel beams at 3rd and 4th floors

Section Properties W12X40

Depth	11.940 in	Weight	40.08 #/ft
Web Thick	0.295 in	Ixx	307.000 in4
Width	8.005 in	Iyy	44.100 in4
Flange Thick	0.515 in	Sxx	51.500 in3
Area	11.80 in2	Syy	11.000 in3
Rt	2.140 in	R-xx	5.130 in
Values for LRFD Design....		R-yy	1.940 in
J	0.950 in4	Zx	57.000 in3
Cw	1,440.00 in6	Zy	16.800 in3
		K	1.020 in



Rev: 680007
 User: KW-0603373, Ver 5.6.0, 1-Nov-2006
 (c)1983-2006 ENERCALC Engineering Software

Steel Beam Design

Description 550 Washington Bambboo group inc. design of steel beams at 3rd and 4th floors interior beams with shear splice

General Information Code Ref: AISC 9th ASD, 1997 UBC, 2003 IBC, 2003 NFPA 5000

Steel Section : W12X30

Center Span	12.00 ft	Pinned-Pinned	Fy	36.00ksi
Left Cant.	0.00 ft	Bm Wt. Added to Loads	Load Duration Factor	1.00
Right Cant	0.00 ft	LL & ST Act Together	Elastic Modulus	29,000.0ksi
Lu : Unbraced Length	2.00 ft			

Distributed Loads *Providing W12X40 w/ 8" wide Flange* Note! Short Term Loads Are WIND Loads.

	# 1	# 2	# 3	# 4	# 5	# 6	# 7	
DL	2.230							k/ft
LL	1.650							k/ft
ST								k/ft
Start Location								ft
End Location								ft

Summary

Using: W12X30 section, Span = 12.00ft, Fy = 36.0ksi
 End Fixity = Pinned-Pinned, Lu = 2.00ft, LDF = 1.000

	<u>Actual</u>	<u>Allowable</u>	
Moment	70.377 k-ft	76.428 k-ft	
fb : Bending Stress	21.879 ksi	23.760 ksi	
fb / Fb	0.921 : 1		
Shear	23.459 k	46.201 k	
fv : Shear Stress	7.312 ksi	14.400 ksi	
fv / Fv	0.508 : 1		

Beam OK
 Static Load Case Governs Stress

Max. Deflection: 0.264 in
 Length/DL Defl: 2.7 : 1
 Length/(DL+LL Defl): 544.9 : 1

Force & Stress Summary

<<- These columns are Dead + Live Load placed as noted ->>

	<u>Maximum</u>	DL <u>Only</u>	LL <u>@ Center</u>	LL+ST <u>@ Center</u>	LL <u>@ Cants</u>	LL+ST <u>@ Cants</u>
Max. M +	70.38 k-ft	40.68	70.38			
Max. M -						
Max. M @ Left						
Max. M @ Right						
Shear @ Left	23.46 k	13.56	23.46			
Shear @ Right	23.46 k	13.56	23.46			
Center Defl.	-0.264 in	-0.153	-0.264	-0.264	0.000	0.000 in
Left Cant Defl	0.000 in	0.000	0.000	0.000	0.000	0.000 in
Right Cant Defl	0.000 in	0.000	0.000	0.000	0.000	0.000 in
...Query Defl @	0.000 ft	0.000	0.000	0.000	0.000	0.000 in
Reaction @ R1	23.46	13.56	23.46	23.46		

Fa calc'd per Eq. E2-1, K*Lu < Cc

24 k

Title :
Dsgnr:
Description :

Job #
Date: 12:03PM, 7 SEP 11

Scope :

6

Rev: 580007
User: KVV-0603373, Ver 5.8.0, 1-Nov-2006
(c)1983-2006 ENERCALC Engineering Software

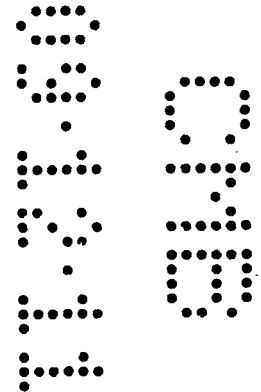
Steel Beam Design

Page 2

Description 550 Washington Bamboo group inc. design of steel beams at 3rd and 4th floors interior beams with shear splice

Section Properties W12X30

Depth	12.340 in	Weight	29.86 #/ft
Web Thick	0.260 in	Ixx	238.000 in4
Width	6.520 in	Iyy	20.300 in4
Flange Thick	0.440 in	Sxx	38.600 in3
Area	8.79 in2	Syy	6.240 in3
Rt	1.730 in	R-xx	5.210 in
Values for LRFD Design....		R-yy	1.520 in
J	0.460 in4	Zx	43.100 in3
Cw	719.00 in6	Zy	9.560 in3
		K	0.740 in



ZVONIMIR T. BELFRANIN, P.E.

4836 SW 74 Court
Miami, Florida 33155
(305) 669-0255
Fax (305) 669-1073

JOB _____

SHEET NO. 7 OF _____

CALCULATED BY m.m. DATE 9/11

CHECKED BY _____ DATE _____

SCALE _____

Design of steel angle L6x6 x 1/2

$$W_{D+L} = (0.135 + 0.1) (7.5) \\ = 1.76 \text{ k/ft}$$

$$M = 1.76 (3) = 5.3 \text{ k-in}$$

$$f_{req'd} = \frac{5.3}{24} = 0.22 \text{ in}^3$$

$$S = \frac{bh^2}{6}$$

$$\Rightarrow h = \left[\frac{6(0.22)}{12} \right]^{1/2} = 0.33 \text{ in}$$

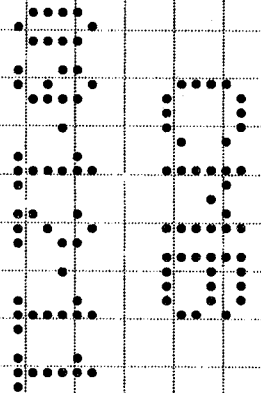
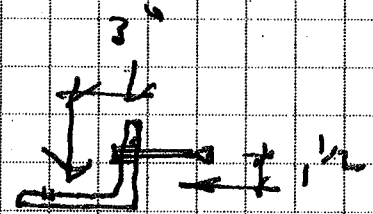
$$C = T = \frac{5.3}{1^{1/2}} \\ = 3.5 \text{ k/ft}$$

$$\text{shear} = 1.76 \text{ k/ft}$$

3/4" dia x 3/4" penet. RBS's @ 10" o.c.

are more than adequate

$$\text{Per } 10" \Rightarrow \left(\begin{array}{l} \text{shear} = 1.47 \text{ k} \\ \text{Tension} = 2.92 \text{ k} \end{array} \right)$$



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4836 SW 74 Court
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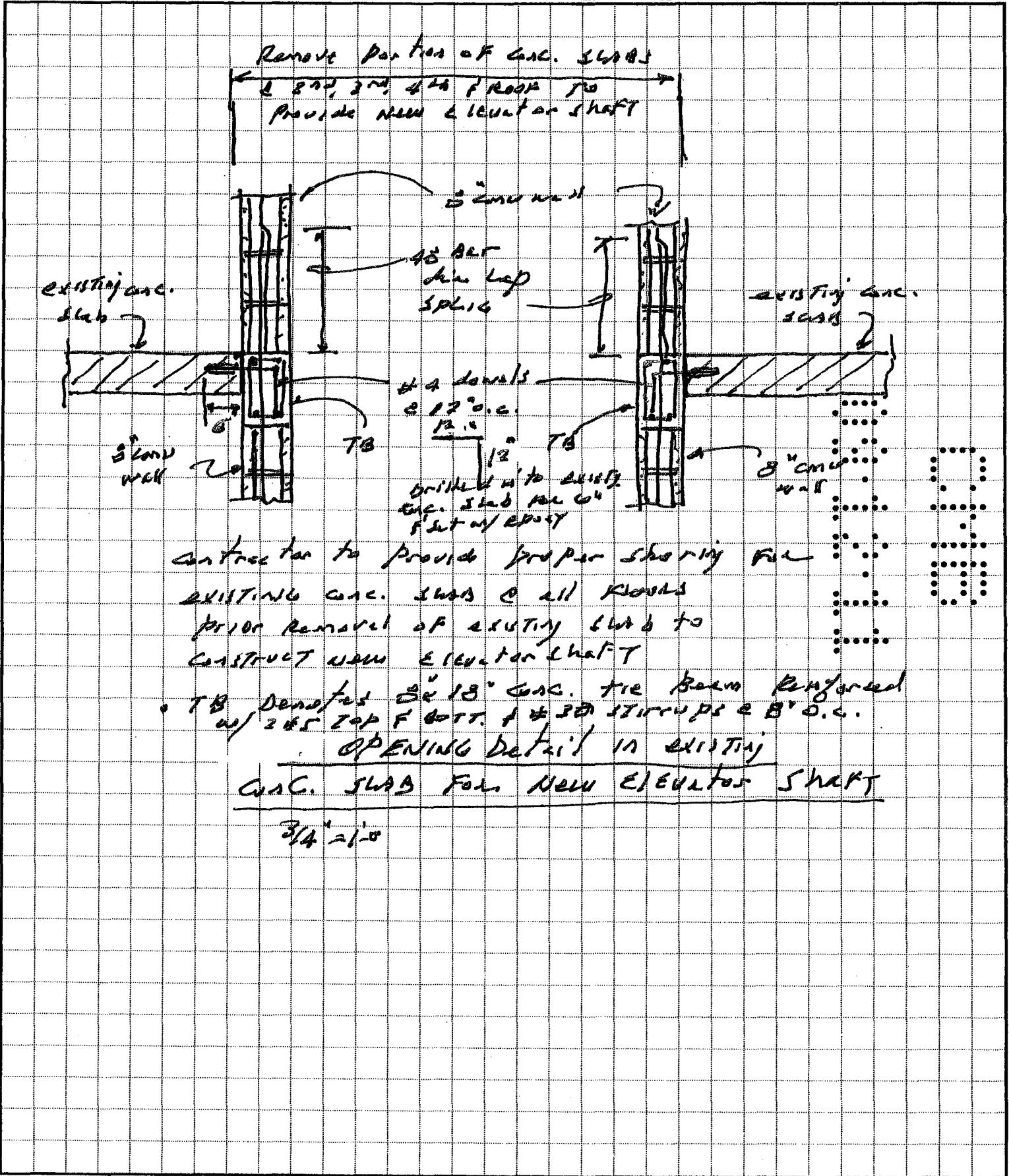
JOB _____

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SHEET NO. 9 OF _____

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SCALE _____

Interior steel cols. Base Plate design

$$\text{Reactions} = \begin{matrix} \swarrow \text{2nd Level} \\ 22 \end{matrix} + \begin{matrix} \swarrow \text{4th Level} \\ 12 \end{matrix}$$

$$= 36 \text{ k}$$

TS 44x5/16 w/ capacity of 75 k
for height of 10'

Base Pl. 3/4" x 12" x 12"

$$f_p = \frac{36}{(12)^2} = 0.25 \text{ ksi}$$

$$m = \left[12 - 0.8(4) \right] / 2 = 4.4$$

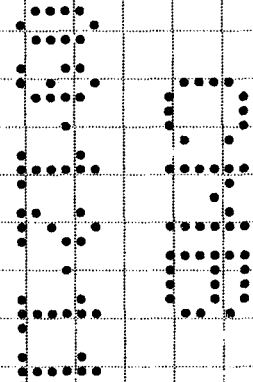
$$f_p = 2(4.4) \sqrt{\frac{0.25}{46}} \text{ ksi for TS}$$

rigid.

$$= 0.65 \text{ ksi}$$

<
3/4" O.K.

Base Pl. 3/4" x 12" x 12"



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4836 SW 74 Court
Miami, Florida 33155
(305) 669-0255
Fax (305) 669-1073

JOB _____

SHEET NO. 10 OF _____

CALCULATED BY M.M. DATE 9/11

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SCALE _____

New 4th floor Epicure slab

is supported on series of steel beams
& steel cols.

Steel col. max. Reaction 36^k

is being supported by existing steel
beams that are supporting the existing
thick conc. slabs.

exact location of support beams will be
field verified & any adjustment that
need to be done for location of new cols.
will be made.

existing beams will also be checked for
buckling & deflection under new concentrated
loads. Contractor to provide all necessary
information to E.O.R. to finalize the design.
Epicure slab selected 0.06" thick Deck

w/ total thickness of 8" slab.

no shoring is req'd. for all spans, all floors
slab spacing greater than 14'0"

EPICORE 3.5A* & 3.5 Composite Floor Deck Systems - Uniform Total Load (Dead and Live) in Pounds Per Square Foot

Slab Depth and Weight (in.)	Design Thickness (in.)	Maximum Clear Span Without Shoring (ft.-in.)		Uniform Service Load Slab Capacity, PSF / Spans (C-C of Supports)												Continuous Span Condition Negative Moment Steel Reinforcing REQUIRED (see note 5)			
		Simple Span	Double Span	Simple Span Condition (see note 2)												Negative Moment Steel Reinforcing REQUIRED (see note 5)			
				10'0"	11'0"	12'0"	13'0"	14'0"	15'0"	16'0"	17'0"	18'0"	19'0"	20'0"	21'0"	22'0"	23'0"	24'0"	25'0"
5 1/2" 62 PSF	0.0358	11-3	11-2	358	321	270	223	172	128	95	70	70	53						
		13-10	13-7	400	329	270	223	168	147	110	82	59	32	63					
		14-11	14-8	400	329	270	223	186	155	126	95	70	50	95	74	57			
		10-9	10-9	400	366	321	266	223	172	130	97	72	51	37	76	58			
		13-3	13-1	400	400	364	318	257	197	150	114	86	63	114	90	71	54		
		14-7	14-5	400	400	364	318	266	220	169	130	99	74	54	130	104	83	65	
		10-5	10-5	400	400	362	301	252	212	173	132	100	74	54	132	106	84	65	
		12-8	12-8	400	400	369	329	284	241	197	152	116	88	65	152	122	98	78	
		14-5	14-10	400	400	400	368	331	284	221	172	133	102	77	172	140	113	91	
		10-1	10-1	400	400	400	335	281	237	201	172	133	102	76	149	131	113	90	
		12-4	12-3	400	400	400	400	371	316	251	196	153	118	90	196	160	131	105	
		14-0	14-5	400	400	400	400	371	332	280	220	173	135	104	220	181	148	121	
7 1/2" 86 PSF	0.0358	9-9	9-9	400	400	369	310	262	222	190	163	133	102	165	145	127	112		
		11-11	11-11	400	400	400	400	400	350	300	248	196	154	120	226	201	169		
		13-11	13-11	400	400	400	400	400	369	342	278	220	174	137	277	230	191		
		9-5	9-6	400	400	400	400	400	339	286	244	208	178	153	181	159	140		
		11-7	11-7	400	400	400	400	400	400	384	329	284	245	194	249	221	195		
		13-7	13-7	400	400	400	400	400	400	400	377	342	273	219	316	283	238		
		12-6	12-4	348	313	238	177	132	99	73	54								
		15-0	15-0	393	337	272	204	154	116	87	65								
		17-7	17-7	393	337	278	229	173	132	100	75								
		12-0	11-11	395	356	309	232	176	133	101	76								
		14-8	14-6	400	389	348	263	200	153	117	89								
		15-6	17-0	400	389	353	296	226	174	134	103								
6 1/2" 58 PSF	0.0358	11-7	11-7	400	400	364	295	225	173	133	101	77	57	101	81	64	50		
		14-4	14-0	400	400	385	334	256	198	153	118	91	69	51	118	95	76		
		15-2	16-5	400	400	385	352	287	223	173	135	105	80	61	135	110	89		
		11-3	11-2	400	400	400	348	283	219	170	132	101	77	58	132	107	86		
		13-10	13-7	400	400	400	382	322	250	195	153	119	92	70	153	125	102		
		14-11	15-11	400	400	400	382	352	279	219	172	135	106	82	172	142	116		
		10-11	10-11	400	400	400	384	324	273	213	167	131	101	78	167	137	112		
		13-5	13-3	400	400	400	400	391	309	243	192	151	119	92	192	158	130		
		14-8	15-6	400	400	400	400	391	344	272	216	171	136	107	216	179	148		
		10-7	10-7	400	400	400	400	400	354	302	259	208	164	129	195	172	142		
		12-10	12-10	400	400	400	400	400	400	377	328	237	189	150	237	197	164		
		15-1	15-1	400	400	400	400	400	400	400	344	266	213	171	266	222	186		

No Shoring Shoring Required in Shaded Areas

COMPOSITE SLAB DESIGN NOTES:

- All loads are assumed to be statically applied. For dynamic loads consult EPIC Metals Corporation.
- Composite slab design is based on single span analysis for spans up to 20'-0". Deflection limit of the composite slab is L/300 under total load.
- Loads appearing in shaded areas require shoring.
- Composite slab design for spans greater than 20'-0" are based on continuous span analysis and require negative moment reinforcing steel over supports.
- Composite slab design is based on LRFD.

DECK DESIGN AS A FORM:

- Maximum clear spans without shoring are based on the Steel Deck Institute recommendations for sequential loading and load resistance factor design. The table is based on 40 ksi steel yield stress and deflection limits of L/180 or .75", whichever is less. If heavier construction loads or less form deflection are required, spans must be reduced. Consult EPIC Metals Corporation for recommendations.
- Runways and planking must be used for all concrete placement.
- Minimum bearing is 2" at end supports and 4" at interior supports.

Design Number D942)

Type and Density of Concrete (pcf)	Fire Rating
RW (147)	RW (147)
LW (110)	LW (110)
RW (147)	RW (147)
LW (110)	LW (110)
RW (147)	RW (147)
LW (110)	LW (110)

on page 19 with the fire ratings

Design Number D942)

Type and Density of Concrete (pcf)	Fire Rating
RW (147)	RW (147)
LW (110)	LW (110)
RW (147)	RW (147)
LW (110)	LW (110)

on page 19 with the fire ratings

Reinforcement

Welded Wire Fabric Mesh	Fire Rating
6 x 6 - W1.4 x W1.4	6 x 6 - W2 x W2

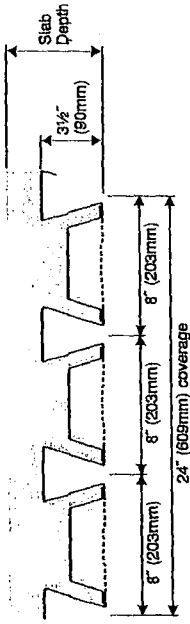
Fire Ratings.

efficients*

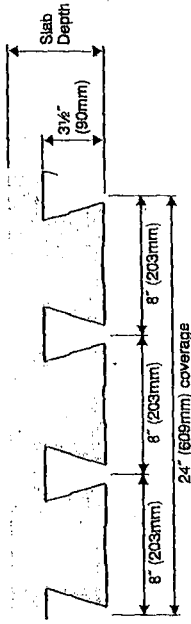
Frequency	NRC
2000Hz	4000Hz
0.75	0.71
0.80	0.80

EPIC Metals Corporation for C is the average of the absorption led off to the nearest .05.

EPICORE 3.5A



EPICORE 3.5



Superior Fire Ratings

For the unprotected fire ratings shown on the following tables, no spray-applied fireproofing is required on the deck. The EPICORE 3.5A Acoustical Floor Deck Ceiling System has an efficient unprotected fire rating listed in table to the right. For hanger U.L. Fire Ratings, see page 14.

EPICORE 3.5A Fire Ratings (U.L. Design Number D942)

Restrained Fire Rating	Total Slab Depth (in.)	Type and Density of Concrete (pcf)
1 hour	6.25	RW (147)
1 hour	5.5	LW (110)
1 1/2 hours	6.75	RW (147)
1 1/2 hours	5.75	LW (110)
2 hours	7.25	RW (147)
2 hours	6	LW (110)
3 hours	8	RW (147)
3 hours	7	LW (110)

NOTE: Epicore 3.5A can achieve the loads shown on page 19 with the fire ratings indicated above.
 RW = Regular Weight Concrete
 LW = Lightweight Concrete

EPICORE 3.5 Fire Ratings (U.L. Design Number D942)

Restrained Fire Rating	Total Slab Depth (in.)	Type and Density of Concrete (pcf)
1 1/2 hours	5.5	RW (147)
1 1/2 hours	5.5	LW (110)
2 hours	5.75	RW (147)
2 hours	5.5	LW (110)
3 hours	7.25	RW (147)
3 hours	5.75	LW (110)

NOTE: Epicore 3.5 can achieve the loads shown on page 19 with the fire ratings indicated above.

Suggested Temperature and Shrinkage Reinforcement

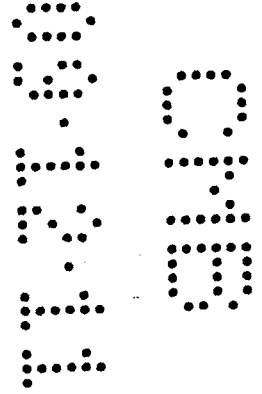
Slab Depth (in.)	Welded Wire Fabric Mesh
5 1/2 - 6 1/4	6 x 6 - W1.4 x W1.4
7 - 8	6 x 6 - W2 x W2

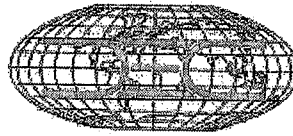
6 x 6 - W1.4 x W1.4 mesh is required for all U.L. Fire Ratings.

EPICORE 3.5A Noise Reduction Coefficients*

Absorption Coefficients			NRC
125Hz	500Hz	1000Hz	
0.21	0.86	0.73	0.71
		2000Hz	0.75
		4000Hz	0.71

*In accordance with ASTM C423 and E795. Consult EPIC Metals Corporation for other test results and individual reports. The NRC is the average of the absorption coefficients at 125, 500, 1000, 2000, 4000 Hz.





DYNATECH ENGINEERING CORP.

Miami, August 9, 2011

Mr. Theo Pasa
BAMBOO GROUP
550 Washington Avenue
Miami Beach, FL 33139

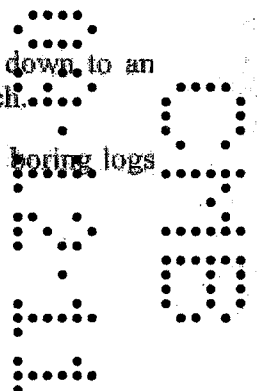
Re: Proposed Elevator and Stairs @
550 Washington Avenue
Miami Beach, FL

Dear Mr. Pasa:

Pursuant to your request, DYNATECH ENGINEERING CORP. completed a Subsoil Investigation on August 9, 2011, at the above referenced project. The purpose of our investigation was to help determine the subsoil conditions relative to foundation design of the proposed structures.

A total of (1) standard penetration boring test was performed according to ASTM-D 1586 down to an average depth of 25' below existing ground surface at the locations shown on the attached sketch.

The following graph was developed as a general condition for the subject site: (refer to field boring logs for exact locations and soil conditions):



<u>Depth</u>		<u>Description</u>
<u>From</u>	<u>To</u>	
0'-0"	1'-6"	Wood ramp
1'-6"	2'-0"	Concrete
2'-0"	4'-0"	Tan beach sand
4'-0"	4'-6"	Gray silty sand
4'-6"	7'-6"	Peat
7'-6"	8'-0"	Gray beach sand w/peat
8'-0"	14'-0"	Gray beach sand
14'-0"	17'-0"	Tan medium sand w/rock fragments
17'-0"	25'-0"	Tan sandy limerock

Groundwater table elevation was measured immediately at the completion of each boring and was found at an average depth of 6'-6" below existing ground surface. Fluctuation in water level should be anticipated due to seasonal variations and run off as well as varying ground elevations construction dewatering and pumping activities in the area. Site contractor must familiarize himself with site conditions in the event groundwater controls and dewatering is needed. Surface flooding may result under hurricane conditions and should be taken into consideration in the design of the project. The contractor shall make sure that groundwater levels on adjacent properties are not affected due to the contractors dewatering activities. Specialty groundwater contractors shall be consulted for all work below the groundwater level.

Based on our understanding of the proposed structure and our field boring logs; it is evident that deep foundation systems are needed to support the proposed structures and slabs without detrimental settlement.

Based on the Florida Building Code FBC 2007 Table 1824; deep foundation systems shall consist of one of the following alternatives:

Alternatives Pile Foundation	Approximate Pile Depth B.E.L.S.	Size	Pile Capacity in Tons Compression	Pile Capacity in Tons Tension	Allowable Lateral Capacity in Tons
Pin Piles / push piers	20' or Refusal	4 Inches	5 Tons	1 Ton	N/A
Helical Piles	20' or Refusal	3 Inches	12 Tons	6 Tons	N/A
Auger Cast Piles	20' BELS	12 Inches	25 Tons	12 Tons	1 Ton
Auger Cast Piles	20' BELS	14 Inches	35 Tons	17 Tons	2 Tons
Precast Concrete Piles	20' BELS	10" x 10"	17 Tons	5 Tons	1 Ton
Precast Concrete Piles	20' BELS	12" x 12"	25 Tons	7 Tons	1 Ton
Precast Concrete Piles	20' BELS	14" x 14"	35 Tons	10 Tons	2 Tons

B.E.L.S.: Below Existing Land Surface.

Estimated Lateral Load for a pile Top Deflection of 1/4 inch. The proposed pile length is based on the existing ground elevation at the time of drilling. Pile length may vary depending on proposed design finish elevation and soil profile.

Helical pile bearing capacity is dependent upon helix numbers, size, and spacing. The foundation contractor will be able to provide the most cost effective combination of helix designs. The above depths are the minimum depth required to achieve design capacities. Predrilling might be required to achieve design depths.

Lateral load capacities may be increased using battered piles. Batter angles can be used for the pile installation of up to 4 inches per foot (Horizontal, Vertical).

In case of existing structures in the vicinity of the pile driving operation, care shall be taken not to create excessive vibration. Vibration levels shall be monitored to verify compliance with county regulations. Steps must be taken by the contractor to prevent excessive vibrations in the event excessive vibrations are experienced during construction, alternative driving methods shall be implemented (ie: predrilling, jetting, hydraulic push, etc...).

The minimum center to center of piles or adjacent foundations shall be not less than twice the average diameter for round piles or 1-3/4 times the diagonal dimensions of rectangular piles, but in no case less than 30 inches.

The grout used in the pile installation shall develop a minimum compressive strength of 4000 PSI at 28 days.

All piles shall be designed by a professional engineer and shall be placed under supervision of our Geotechnical Engineer to verify compliance with our recommendations.

All work shall be performed in accordance with the applicable building code.

The following soil parameters shall be used for retaining wall designs:

- Soil unit weight moist: 110 pcf. Buoyant: 60 Pcf.
- Angle of internal friction : 30°
- Earth pressure coefficient Ka: 0.33; Kp: 3.0
- Angle of wall friction: 30° for steel piles, 20° for concrete or brick walls; 15° uncoated steel.

Any underground structures such as grease traps; septic systems, etc... must be supported on pile foundations, unless the deleterious material (ie: silt, muck, peat, etc...) is excavated in its entirety and replaced with compacted washed gravel such as pea rock or # 57 stone. Fasten utility lines to underside of structural slabs to avoid settlements.

Excavations shall not extend within 1 foot of the angle of repose next to existing footings or structures, unless underpinned. All excavation shoring must be designed and inspected by a Florida licensed professional engineer.

All trenching work shall be in compliance with Florida Building Code, OSHA, and Trench Safety Act.

Provisions shall be made by the architect, engineer of record and contractor to address vibration / dynamic loading; differential settlements when tying in new to existing structures. Mixing of different foundations shall not be used unless provided with expansion joints to prevent differential settlements.

Also note that as a common engineering practice for existing and new construction; outside ground surfaces must be sloped away from the structure as to avoid water accumulation and ponding. Rain gutters shall be installed and all rain water shall be discharged over splash guards a minimum of 5 feet away from building foundations. Verify all water, sewer, plumbing, sprinkler and drainage lines are properly functioning with no leaks in the vicinity of the foundations.

An arborist must be consulted prior to any land clearing to verify compliance with local codes.

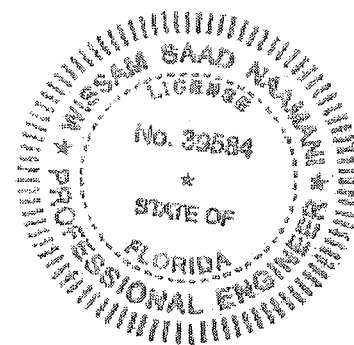
The boring log (s) attached present (s) a detailed description of the soils encountered at test location (s). The soil stratification shown on the boring log (s) is based on the examination of the recovered soil samples and interpretation of the driller's field log (s). It indicates only the approximate boundaries between soil types. The actual transitions between adjacent soil types may be gradual. Regardless of the thoroughness of a geotechnical exploration there is always the possibility that conditions may be different from those of the test locations; therefore, DYNATECH ENGINEERING CORP. does not guarantee any subsoil conditions between the bore test holes. In accepting and using this report the client understands that all data from the borings are strictly for foundation analysis only and are not to be used for excavation or back filling estimates and pricing. Owner and site contractor must familiarize himself with site conditions prior to bidding. For Environmental due diligence; a Phase I and/or Phase II Environmental Site Assessments is recommended. As a mutual protection to clients, the public and ourselves, all reports are submitted as the confidential property of clients, and authorization for publication of statements, conclusions or extracts from or regarding our reports is reserved pending our written approval. All work must be conducted under the supervision of our geotechnical engineer. The discovery of any site or subsurface conditions during construction which deviate from the information obtained from our subsoil investigation is always likely and should be reported to us for our evaluation. All work shall be conducted in compliance with the Florida Building Code FBC and OSHA workers protection rules and all applicable Federal, State, County and City rules and regulations.

It has been a pleasure working with you and look forward to do so in the near future. Please feel free to contact us if we may be of further service to you.

Sincerely yours,



Wissam Naamani, P.E.
DYNATECH ENGINEERING CORP.
Florida Reg. No. 39584
Special Inspector No. 757



APPENDIX

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DYNATECH

ENGINEERING CORP.

750 WEST 84TH STREET
 HIALEAH, FL 33014
 (305) 828-7499

TEST BORING REPORT

CLIENT : BAMBOO GROUP
 PROJECT : Proposed Elevator and Stairs @
 ADDRESS : 550 Washington Avenue, Miami Beach, FL 33135
 LOCATION : See attached plan

DATE: August 8, 2011
 HOLE NO.: B-1
 DRILLER: AS & LD

DEPTH	DESCRIPTION OF MATERIALS	SAMPLE NO.	HAMMER BLOWS ON SAMPLER	"N"
<u>1</u>		2	Hand	H
<u>2</u>				
<u>3</u>	0'-0" to 1'-6" WOOD RAMP	4	Hand	H
<u>4</u>				
<u>5</u>	1'-6" to 2'-0" CONCRETE	6	2 1 1 1	2
<u>6</u>				
<u>7</u>	2'-0" to 4'-0" TAN BEACH SAND	8	1 1 2 2	3
<u>8</u>				
<u>9</u>	4'-0" to 4'-6" GRAY SILTY BEACH SAND	10	3 6 5 9	11
<u>10</u>				
<u>11</u>	4'-6" to 7'-6" PEAT	12	11 10 12 13	22
<u>12</u>				
<u>13</u>	7'-6" to 8'-0" GRAY BEACH SAND W/PEAT TRACES	14	16 14 12 13	26
<u>14</u>				
<u>15</u>	8'-0" to 14'-0" GRAY BEACH SAND	16	10 11 9 10	20
<u>16</u>				
<u>17</u>	14'-0" to 17'-0" TAN MEDIUM SAND W/ROCK FRAGMENTS	18		
<u>18</u>				
<u>19</u>				
<u>20</u>		20		
<u>21</u>				
<u>22</u>	17'-0" to 25'-0" TAN SANDY LIMEROCK	22		
<u>23</u>				
<u>24</u>		24	15 18 18 17	36
<u>25</u>				
<u>26</u>		26	19 18	
<u>27</u>				
<u>28</u>		28		
<u>29</u>				
<u>30</u>		30		
<u>31</u>				
<u>32</u>		32		
<u>33</u>				
<u>34</u>		34		
<u>35</u>				
<u>36</u>		36		
<u>37</u>				
<u>38</u>		38		

H: HAND AUGER

A: HOLLOW STEM AUGER

Water Level: 6'-6" Below Surface As a mutual protection to clients, the public and ourselves, all reports are submitted as the confidential property of clients, and authorization for publication of statistical conclusions or extracts from or regarding our reports is reserved pending our written approval. H.A.: HAND AUGER; A: AUGER; R: REFSAL.



DYNATECH ENGINEERING CORP.

Miami, August 9, 2011

Mr. Theo Pasa
 BAMBOO GROUP
 550 Washington Avenue
 Miami Beach, FL 33139

Re: Proposed Elevator and Stairs @
 550 Washington Avenue
 Miami Beach, FL

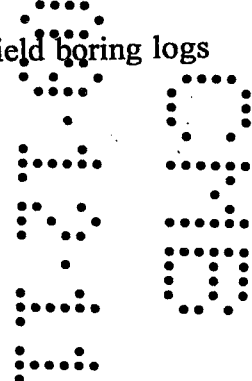
Dear Mr. Pasa:

Pursuant to your request, DYNATECH ENGINEERING CORP. completed a Subsoil Investigation on August 9, 2011, at the above referenced project. The purpose of our investigation was to help determine the subsoil conditions relative to foundation design of the proposed structures.

A total of (1) standard penetration boring test was performed according to ASTM-D 1586 down to an average depth of 25' below existing ground surface at the locations shown on the attached sketch.

The following graph was developed as a general condition for the subject site: (refer to field boring logs for exact locations and soil conditions):

<u>Depth</u>		<u>Description</u>
<u>From</u>	<u>To</u>	
0'-0"	1'-6"	Wood ramp
1'-6"	2'-0"	Concrete
2'-0"	4'-0"	Tan beach sand
4'-0"	4'-6"	Gray silty sand
4'-6"	7'-6"	Peat
7'-6"	8'-0"	Gray beach sand w/peat
8'-0"	14'-0"	Gray beach sand
14'-0"	17'-0"	Tan medium sand w/rock fragments
17'-0"	25'-0"	Tan sandy limerock



Groundwater table elevation was measured immediately at the completion of each boring and was found at an average depth of 6'-6" below existing ground surface. Fluctuation in water level should be anticipated due to seasonal variations and run off as well as varying ground elevations construction dewatering and pumping activities in the area. Site contractor must familiarize himself with site conditions in the event groundwater controls and dewatering is needed. Surface flooding may result under hurricane conditions and should be taken into consideration in the design of the project. The contractor shall make sure that groundwater levels on adjacent properties are not affected due to the contractors dewatering activities. Specialty groundwater contractors shall be consulted for all work below the groundwater level.

Based on our understanding of the proposed structure and our field boring logs; it is evident that deep foundation systems are needed to support the proposed structures and slabs without detrimental settlement.

Based on the Florida Building Code FBC 2007 Table 1824; deep foundation systems shall consist of one of the following alternatives:

Alternatives Pile Foundation	Approximate Pile Depth B.E.L.S.	Size	Pile Capacity in Tons Compression	Pile Capacity in Tons Tension	Allowable Lateral Capacity in Tons
Pin Piles / push piers	20' or Refusal	4 Inches	5 Tons	1 Ton	N/A
Helical Piles	20' or Refusal	3 Inches	12 Tons	6 Tons	N/A
Auger Cast Piles	20' BELS	12 Inches	25 Tons	12 Tons	1 Ton
Auger Cast Piles	20' BELS	14 Inches	35 Tons	17 Tons	2 Tons
Precast Concrete Piles	20' BELS	10" x 10"	17 Tons	5 Tons	1 Ton
Precast Concrete Piles	20' BELS	12" x 12"	25 Tons	7 Tons	1 Ton
Precast Concrete Piles	20' BELS	14" x 14"	35 Tons	10 Tons	2 Tons

B.E.L.S.: Below Existing Land Surface.

Estimated Lateral Load for a pile Top Deflection of ¼ inch. The proposed pile length is based on the existing ground elevation at the time of drilling. Pile length may vary depending on proposed design finish elevation and soil profile.

Helical pile bearing capacity is dependent upon helix numbers, size, and spacing...The foundation contractor will be able to provide the most cost effective combination of helix designs. The above depth are the minimum depth required to achieve design capacities. Predrilling might be required to achieve design depths.

Lateral load capacities may be increased using battered piles. Batter angles can be used for the pile installation of up to 4 inches per foot (Horizontal, Vertical).

In case of existing structures in the vicinity of the pile driving operation, care shall be taken not to create excessive vibration. Vibration levels shall be monitored to verify compliance with county regulations. Steps must be taken by the contractor to prevent excessive vibrations in the event excessive vibrations are experienced during construction, alternative driving methods shall be implemented (ie: predrilling, jetting, hydraulic push, etc...).

The minimum center to center of piles or adjacent foundations shall be not less than twice the average diameter for round piles or 1-¾ times the diagonal dimensions of rectangular piles, but in no case less than 30 inches.

The grout used in the pile installation shall develop a minimum compressive strength of 4000 PSI at 28 days.

All piles shall be designed by a professional engineer and shall be placed under supervision of our Geotechnical Engineer to verify compliance with our recommendations.

All work shall be performed in accordance with the applicable building code.

The following soil parameters shall be used for retaining wall designs:

- Soil unit weight moist: 110 pcf. Buoyant: 60 Pcf.
- Angle of internal friction : 30°
- Earth pressure coefficient Ka: 0.33; Kp: 3.0
- Angle of wall friction: 30° for steel piles, 20° for concrete or brick walls; 15° uncoated steel.

Any underground structures such as grease traps; septic systems, etc... must be supported on pile foundations, unless the deleterious material (ie: silt, muck, peat, etc...) is excavated in its entirety and replaced with compacted washed gravel such as pea rock or # 57 stone. Fasten utility lines to underside of structural slabs to avoid settlements.

Excavations shall not extend within 1 foot of the angle of repose next to existing footings or structures, unless underpinned. All excavation shoring must be designed and inspected by a Florida licensed professional engineer.

All trenching work shall be in compliance with Florida Building Code, OSHA, and Trench Safety Act.

Provisions shall be made by the architect, engineer of record and contractor to address vibration / dynamic loading; differential settlements when tying in new to existing structures. Mixing of different foundations shall not be used unless provided with expansion joints to prevent differential settlements.

Also note that as a common engineering practice for existing and new construction, outside ground surfaces must be sloped away from the structure as to avoid water accumulation and ponding. Rain gutters shall be installed and all rain water shall be discharged over splash guards a minimum of 5 feet away from building foundations. Verify all water, sewer, plumbing, sprinkler and drainage lines are properly functioning with no leaks in the vicinity of the foundations.

An arborist must be consulted prior to any land clearing to verify compliance with local codes.

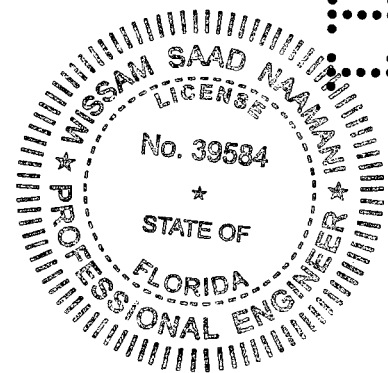
The boring log (s) attached present (s) a detailed description of the soils encountered at test location (s). The soil stratification shown on the boring log (s) is based on the examination of the recovered soil samples and interpretation of the driller's field log (s). It indicates only the approximate boundaries between soil types. The actual transitions between adjacent soil types may be gradual. Regardless of the thoroughness of a geotechnical exploration there is always the possibility that conditions may be different from those of the test locations; therefore, DYNATECH ENGINEERING CORP. does not guarantee any subsoil conditions between the bore test holes. In accepting and using this report the client understands that all data from the borings are strictly for foundation analysis only and are not to be used for excavation or back filling estimates and pricing. Owner and site contractor must familiarize himself with site conditions prior to bidding. For Environmental due diligence; a Phase I and/or Phase II Environmental Site Assessments is recommended. As a mutual protection to clients, the public and ourselves, all reports are submitted as the confidential property of clients, and authorization for publication of statements, conclusions or extracts from or regarding our reports is reserved pending our written approval. All work must be conducted under the supervision of our geotechnical engineer. The discovery of any site or subsurface conditions during construction which deviate from the information obtained from our subsoil investigation is always likely and should be reported to us for our evaluation. All work shall be conducted in compliance with the Florida Building Code FBC and OSHA workers protection rules and all applicable Federal, State, County and City rules and regulations.

It has been a pleasure working with you and look forward to do so in the near future. Please feel free to contact us if we may be of further service to you.

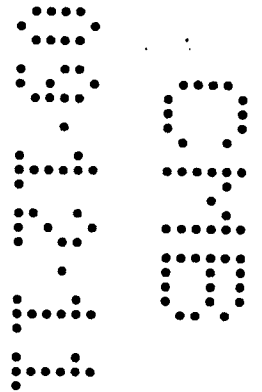
Sincerely yours,



Wissam Naamani, P.E.
DYNATECH ENGINEERING CORP.
Florida Reg. No. 39584
Special Inspector No. 757



APPENDIX



DYNATECH

ENGINEERING CORP.

750 WEST 84TH STREET
 HIALEAH, FL 33014
 (305) 828-7499

TEST BORING REPORT

CLIENT : BAMBOO GROUP
PROJECT : Proposed Elevator and Stairs @
ADDRESS : 550 Washington Avenue, Miami Beach, FL 33135
LOCATION : See attached plan

DATE: August 8, 2011
HOLE NO.: B-1
DRILLER: AS & LD

DEPTH	DESCRIPTION OF MATERIALS	SAMPLE NO.	HAMMER BLOWS ON SAMPLER	"N"
<u>1</u>		2	Hand	H
<u>2</u>				
<u>3</u>	0'-0" to 1'-6" WOOD RAMP	4	Hand	H
<u>4</u>				
<u>5</u>	1'-6" to 2'-0" CONCRETE	6	2 1	2
<u>6</u>			1 1	
<u>7</u>	2'-0" to 4'-0" TAN BEACH SAND	8	1 1	3
<u>8</u>			2 2	
<u>9</u>	4'-0" to 4'-6" GRAY SILTY BEACH SAND	10	3 6	11
<u>10</u>			5 9	
<u>11</u>	4'-6" to 7'-6" PEAT	12	11 10	22
<u>12</u>			12 13	
<u>13</u>	7'-6" to 8'-0" GRAY BEACH SAND W/PEAT TRACES	14	16 14	26
<u>14</u>			12 13	
<u>15</u>	8'-0" to 14'-0" GRAY BEACH SAND	16	10 11	20
<u>16</u>			9 10	
<u>17</u>	14'-0" to 17'-0" TAN MEDIUM SAND W/ROCK FRAGMENTS	18		
<u>18</u>				
<u>19</u>	17'-0" to 25'-0" TAN SANDY LIMEROCK	20		
<u>20</u>				
<u>21</u>		22		
<u>22</u>				
<u>23</u>		24	15 18	36
<u>24</u>			18 17	
<u>25</u>		26	19 18	
<u>26</u>				
<u>27</u>		28		
<u>28</u>				
<u>29</u>		30		
<u>30</u>				
<u>31</u>		32		
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<u>33</u>		34		
<u>34</u>				
<u>35</u>		36		
<u>36</u>				
<u>37</u>		38		
<u>38</u>				

H: HAND AUGER

A: HOLLOW STEM AUGER

Water Level: 6'-6" Below Surface As a mutual protection to clients, the public and ourselves, all reports are submitted as the confidential property of clients, and authorization for publication of statement conclusions or extracts from or regarding our reports is reserved pending on our written approval. H.A.: HAND AUGER; A: AUGER; R: REFUSAL.

ⓑ#: Boring Location

6th Street

N



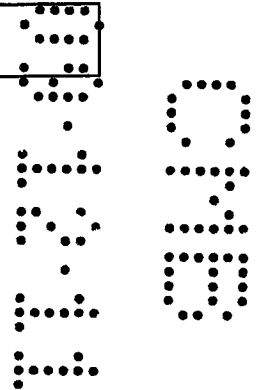
Euclid Avenue

Parking

Building

ⓑ1

Building



DYNATECH ENGINEERING CORP.

Client: BAMBO GROUP

Scale: N.T.S.

Project: 550 Washington Avenue, Miami Beach, Florida 33139
Folio No.: 02-4203-009-1900

Date: August 9, 2011

GENERAL NOTES

Soil borings on unmarked vacant property should be considered preliminary with further boring(s) to be drilled after building pad(s) are staked out.

Soil borings on existing structures that are to be demolished should be considered preliminary and additional borings would need to be performed after the structure(s) has been demolished and proposed new building staked out.

As a mutual protection to clients, the public and ourselves, all reports are submitted as confidential property of clients, and authorization for publication of statements, conclusions, extracts from or regarding our reports is reserved pending our written approval.

KEY CLASSIFICATION & SYMBOLS

Correlation of Penetration Resistance With Relative Density and Consistency

	<u>Cone Penetration Tests (Kg/cm²)</u>	<u>Standard Penetration (Blows/ft.)</u>	<u>Relative Density</u>
Sands	0-16	0-4	Very Loose
	17-40	5-10	Loose
	41-80	11-20	Firm
	81-120	21-30	Very Firm
	Over 120	31-50	Dense
Silts & Clay	0-3	0-2	Very Loose
	4-9	3-4	Soft
	10-17	5-8	Firm
	18-31	9-15	Stiff
	32-60	16-30	Very Stiff
	Over 60	31-50	Hard

	<u>Particle Size</u>
Boulders	> 12 in.
Cobble	3 in. to 6 in.
Gravel	4.76 mm to 3 in.
Sand	0.075 mm to 4.67 mm.
Silt	0.005 mm. to 0.075 mm
Clay	< 0.005 mm

Modifiers

5% - 10 %	Slightly Silty or Clayey
10% - 30%	Silty or Clayey
30% - 50%	Very Silty or Very Clayey
0% - 5%	Slightly Trace
6% - 10%	Trace
11% - 20%	Little
21% - 35%	Some
> 35% And	

Rock Hardness Description

Soft	Rock core crumbles when handled
Medium	Can break with your hands.
Moderate Hard	Thin edges or rock core can be broken with fingers
Hard	Thin edges or rock core cannot be broken with fingers
Very Hard	Rock core rings when struck with hammer (chests)

ZVONIMIR T. BELFRANIN, P.E.

4836 SW 74 Court
Miami, Florida 33155
(305) 669-0255
Fax (305) 669-1073

JOB Bamboo Group Inc.
SHEET NO. 21 OF _____
CALCULATED BY m.m. DATE 10-11
CHECKED BY _____ DATE _____
SCALE _____

Comment # 5.1

DJ stand, 6'-6" cent'l.

DL = 50 PSF 5" L.W. CONC. SLAB

S.I. D.C. = 25 PSF

LL = 100 PSF

Cent'l. EPICORE

$$T_w = \frac{10}{2} + 3 = 8 \text{ FT}$$

$$W_{DL} = (0.075 + 0.1)(8) = 1.4 \text{ K/FT}$$

A) Check Bending OF HORIZ. Leg.

$$M = 1.4(8) = 11.2 \text{ K-FT}$$

$$F_y = 24 \text{ KSI}$$

$$S_{req'd} = \frac{11.2}{24} = 0.467 \text{ in}^3$$

$$b = 12"$$

$$s = \frac{bt^2}{6} \Rightarrow t = \left[\frac{6(0.467)}{12} \right]^{1/2}$$

$$= 0.31 \text{ in} < 7/8"$$

OKAY

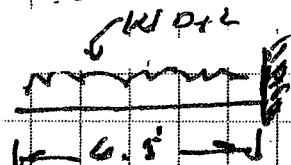
Check Cent'l. angle

$$W_{DL} = 1.4 \text{ K-FT}$$

$$M = 1.4(6.5) = 9.1 \text{ K-FT}$$

$$\frac{K_d}{s} = \frac{6.5(2)(12)}{2.45} = 64$$

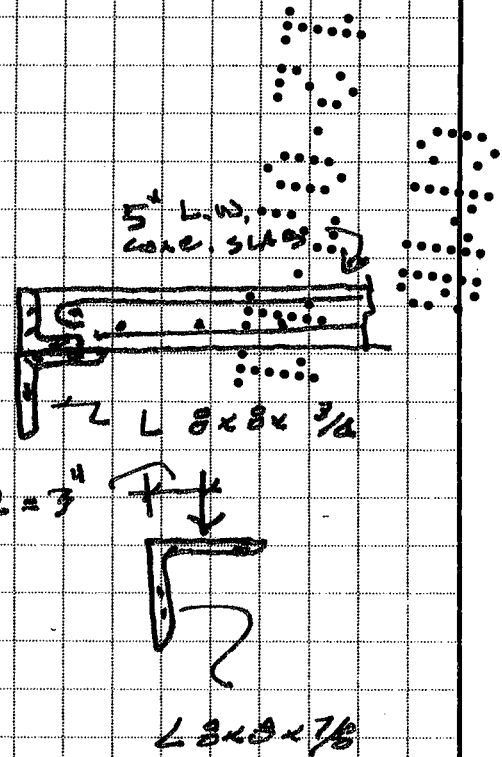
$$S_{req'd} = \frac{9.1(12)}{20.6} = 5.3 \text{ in}^3$$



$$F_b = 20.6 \text{ KSI}$$

$$s = 14 \text{ in}^3 > 5.3$$

O.K.



ZVONIMIR T. BELFRANIN, P.E.

4836 SW 74 Court
Miami, Florida 33155
(305) 669-0255
Fax (305) 669-1073

JOB Bamboo Group Inc.
SHEET NO. R1 OF _____
CALCULATED BY m.m. DATE 10-11
CHECKED BY _____ DATE _____
SCALE _____

Comment # 5.1

DJ stand, 6'-6" cent'l.

DL = 50 PSF 5" L.W. CONC. SLAB
S.I. D.L. = 25 PSF

LL = 100 PSF

$T_w = \frac{10}{2} + 3$ Cent'l. EPICORE
 $= 8$ FT

$W_{DL} = (0.075 + 0.1)(8)$
 $= 1.4$ K/FT

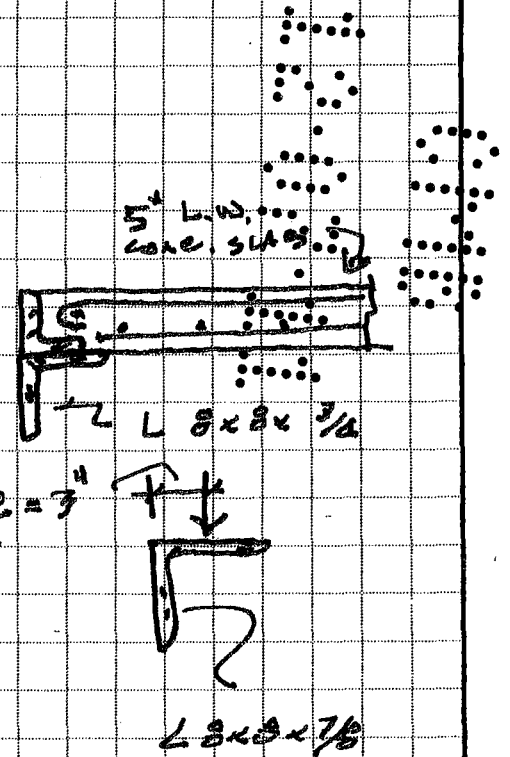
A) check bending OF HORIZ. Leg.

$M = 1.4(8) = 4.2$ K-ft $F_y = 24$ KSI

$S_{req'd} = \frac{4.2}{24}$
 $= 0.175$ in³

$b = 12$

$S = \frac{bt^2}{6} \Rightarrow t = \left[\frac{6(0.175)}{12} \right]^{1/2}$
 $= 0.3$ in < $1/8$ in



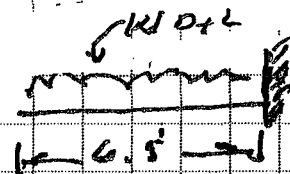
check cant'l. angle

$W_{DL} = 1.4$ K-ft

$M = 1.4(6.5) = 29.6$ K-ft

$\frac{K_d}{m} = \frac{6.5(2)(12)}{2.45} = 64$

$S_{req'd} = \frac{29.6(12)}{20.6} = 13.8$ in³



$F_b = 20.6$ KSI

$S = 14$ in³ > 13.8

O.K.

[Handwritten signature]



MIAMIBEACH

Building Department
1700 Convention Center Drive, 2nd Flr
Miami Beach, FL 33139

NOTICE TO THE CITY OF MIAMI BEACH BUILDING DEPARTMENT OF EMPLOYMENT AS SPECIAL INSPECTOR UNDER THE FLORIDA BUILDING CODE

I have been retained by: BAMBOO GROUP to perform special inspector services under the Florida Building Code at the 550 WASHINGTON project on the below listed structures as of 10-10-11 (date). I am a professional engineer licensed in the State of Florida.

Process Number: B1105169 Master Permit (IF APPLICABLE): _____

- Special Inspector for Pillings, FBC 1822.1.20
- Special Inspector for Lightweight Insulating Concrete, FBC 1917.2
- Special Inspector for Soil Compaction, FBC 1820.3.1
- Special Inspector for Precast Units and Attachments, FBC 1927.12.2 (By P.E. or R.A..)
- Special Inspector for Reinforced Masonry, FBC 2122.4 (By P.E. or R.A.)
- Special Inspection for Steel Bolted & Welded Connections, FBC 2218.2 (By P.E. or R.A..)
- Special Inspector for Trusses over 35 feet long or 6 feet high, FBC 2319.17.2.4.2 (By P.E. or R. A..)
- Special Inspector for REINF CONC

NOTE: Only the marked boxes apply.

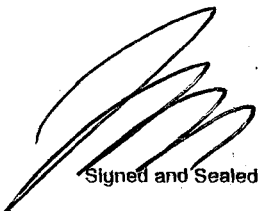
The following individual's employed by this firm or me are authorized representatives to perform inspections

- | | |
|-------------------------|----------|
| 1. <u>AZ MONTAZER</u> | 2. _____ |
| 3. <u>MIKE SHOLJAIE</u> | 4. _____ |

* Special inspectors utilizing authorized representatives shall insure the authorized representative is qualified by education or licensure to perform the duties assigned by the Special Inspector. The qualifications shall include: licensure as a professional engineer or architect; graduation from an engineering education program in civil or structural engineering; graduation from an architectural education program; successful completion of the NCEES Fundamentals Examination; or registration as a building inspector or general contractor.

I will notify the City of Miami Beach Building Department of any changes regarding authorized personnel performing inspection services.

I, understand that all mandatory inspections, as required by the Florida Building Code, shall be requested by the permit holder and approved by the Building Department Inspectors. Inspections performed by the Special Inspector hired by the Owner are in addition to the mandatory inspections performed by the Building Department. A Special Inspection Log for each building must be displayed in a convenient location on the site for inspection by the Building Department Inspectors. Further, upon completion of the work under each building permit, I will submit to the Building Department at the time of final inspection the completed inspection Log form and sealed statement that, to the best of my knowledge, belief, and professional judgment those portions outlined above meet the intent of the Florida Building Code and are in subsequent accordance with the approved plans.


Signed and Sealed

License Number _____

Date: _____

Architect/Engineer Signature: ZVONIMIR T. BELERANIN, PE
 Architect/Engineer Name Printed: 4836 SW 74 COURT
 Address: MIAMI, FL 33155
 Phone Number: 305 469 0255
 Owner/Agent Signature: _____
 Owner/Agent Name Printed: _____
 Building Department Accepted By: _____

Bamboo Group
c/o Mr. Theo Pasa
Page Two

Appraiser: Frank A. Hornstein, MAI
State Certified General Real
Estate Appraiser No. RZ 1376

Purpose of Assignment: The purpose of the report is to provide a replacement cost new estimate of the subject building as well as a depreciated building value.

Intended Use of the Report: The client intends on using this report to help obtain the necessary permits from the City of Miami Beach.

Legal Description: OCEAN BEACH ADDN NO 3 PB 2-81 LOT 2 LESS BEG NE COR
SWLY ALG E/L 31.22FTW PARL TO N/L 21.01FTS AT R/A
0.2FTW PARL TO N/L 86.75FTN 23.68FTW PARL TO N/L
5.0FTN PARL TO W/L 7.0FTE ALG N/L

Scope of Work: The scope of work included: inspecting the subject property; referencing the "Marshall Valuation Service", a nationally accepted cost manual; and estimating an appropriate depreciation rate for the improvements.

Marshall Valuation Service:

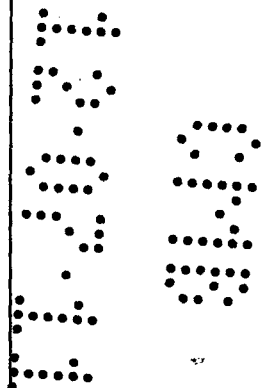
According to the "Marshall Valuation Service" the subject improvements are classified as a class "B" Good Quality Office/Commercial Building, with an estimated economic life of 60 years. In estimating the replacement cost new for the building a designated cost, via the "Marshall Valuation Service" will be applied.

The depreciated building value will be based on the economic age-life method. A ratio of the buildings effective age to its total economic life is applied to the current replacement cost new of the improvement. This method is most effective in analyzing older buildings where the age of the long-lived and short-lived items can not be easily estimated. According to the "Marshall Valuation Service" the subject improvement has an economic life of 60 years. However, the typical commercial buildings on Miami Beach have far exceeded their specified economic lives. The subject building is 66 years in age. A more practical economic life of 75 years is estimated.

Taking into account the good condition of the building, prior to the commencement of renovation work, an effective age of 10 years will be applied. Please refer to the table on the following page for the estimated replacement cost new and depreciation cost for the subject building. A copy of the index page from the Marshall Valuation Service is included in the addenda.

Bamboo Group
 c/o Mr. Theo Pasa
 Page Three

Improvement Type	Commercial-Retail	Patio, Terrace, Etc.
Section & Page	15/17	15/17
Building Structure Class	B	B
Type	Good	Good
Direct Cost Per SF	\$174.24	\$43.56 (25% of direct Cost SF)
Adjustment Multipliers		
Height	1.005	1.005
Current (10/11)	1.08	1.08
Local (10/11)	.95	.95
Adjusted Direct Cost Per Square Foot	\$179.66	\$44.92
Building Size/SF	20,434	13,250
Replacement Cost New	\$3,671,172	\$595,190
Total Replacement Cost New	\$4,266,362	
Actual Age	66 years	
Effective Age	10 years	
Economic Life	75 years	
Depreciation Rate (Eff. Age / Eco. Life)	13.3%	
Physical Depreciation (Cost New x Depreciation. Rate)	\$567,426	
Depreciated Building Cost (Cost New - physical Depreciation)	\$3,698,936	



Bamboo Group
c/o Mr. Theo Pasa
Page Four

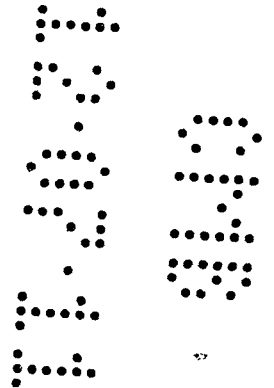
Based on the cost manual described herein the replacement cost new and depreciated building value of the subject property, as of October 27, 2011, is \$4,266,362 and \$3,698,936 respectively.

If you have any questions or need further assistance please do not hesitate to call me at (305) 321-0318.

Respectfully Submitted,



Frank Hornstein, MAI
State-Certified General
Real Estate Appraiser, No. RZ1376
Email - Frank@appraisalfirst.net



CERTIFICATION

I certify that, to the best of our knowledge and belief:

- * The statements of fact contained in this report are true and correct.
- * The reported analysis, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are our personal, impartial and unbiased professional analysis, opinions, and conclusions.
- * I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
- * I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
- * My engagement in this assignment was not contingent upon developing or reporting predetermined results.
- * I have not appraised nor provided any professional services as it relates to the subject property over the past three years.
- * My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- * The reported analysis, opinions and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and the Standards of Professional Practice of the Appraisal Institute.
- * The reported analysis, opinions and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Practice.
- * The use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.
- * I made a personal inspection of the interior and exterior of the property that is the subject of this report.
- * No one provided significant professional assistance to the persons signing this report.

CERTIFICATION (Continued)

- * I currently hold an appropriate state license or certification allowing the performance of real estate appraisals in connection with federally related transactions.
- * As of the date of this appraisal, Frank Hornstein, MAI has completed the continuing education program of the Appraisal Institute.

Respectfully Submitted,



Frank Hornstein, MAI
State-Certified General
Real Estate Appraiser, No. RZ 1376

October 27, 2011

Date

October 27, 2011

ASSUMPTIONS AND LIMITING CONDITIONS

The value conclusion and certification within this report are made expressly subject to the following assumptions and limiting conditions as well as any further reservations or conditions stated within the text of the report.

- 1) This consulting assignment is prepared in accordance with Standard Rules 4 and 5 of the Uniform Standards of Professional Appraisal Practice with regard to developing and reporting a consulting (a.k.a. cost analysis) assignment. Please be advised that the consulting portion of this report in no way constitutes an appraisal according to the Standards of Practice and Code of Ethics of the Appraisal Institute and the guidelines according to the Uniform Standards of Professional Appraisal Practice (USPAP).
- 2) No responsibility is assumed for the legal description or for matters including legal or title considerations. Title to the property is assumed to be good and marketable.
- 3) Responsible ownership and competent property management are assumed.
- 4) The information furnished by others is believed to be reliable. However, no warranty is given for its accuracy.
- 5) It is assumed that there are no hidden or unapparent conditions of the property, subsoil, or structures that render it more or less valuable. No responsibility is assumed for such conditions or for arranging for engineering studies that may be required to discover them.
- 6) It is assumed that there is full compliance with all applicable federal, state, and local environmental regulations and laws unless non-compliance, is stated, defined, and considered in the assignment.
- 7) It is assumed that all required licenses, certificates of occupancy, consents, or other legislative or administrative authority from any local, state, or national government or private entity or organization have been or can be obtained or renewed for any use on which the rental survey contained in this report is based.
- 8) It is assumed that the utilization of the land and improvements is within the boundaries of property lines or the property described and that there is no encroachment or trespass unless noted in this report.
- 9) Possession of this report, or a copy thereof, does not carry with it the right of publication. It may not be used for any purpose by any person other than the party to whom it is addressed without the written consent of the appraiser, and in any event only with proper written qualification and only in its entirety.

ASSUMPTIONS AND LIMITING CONDITIONS (Continued)

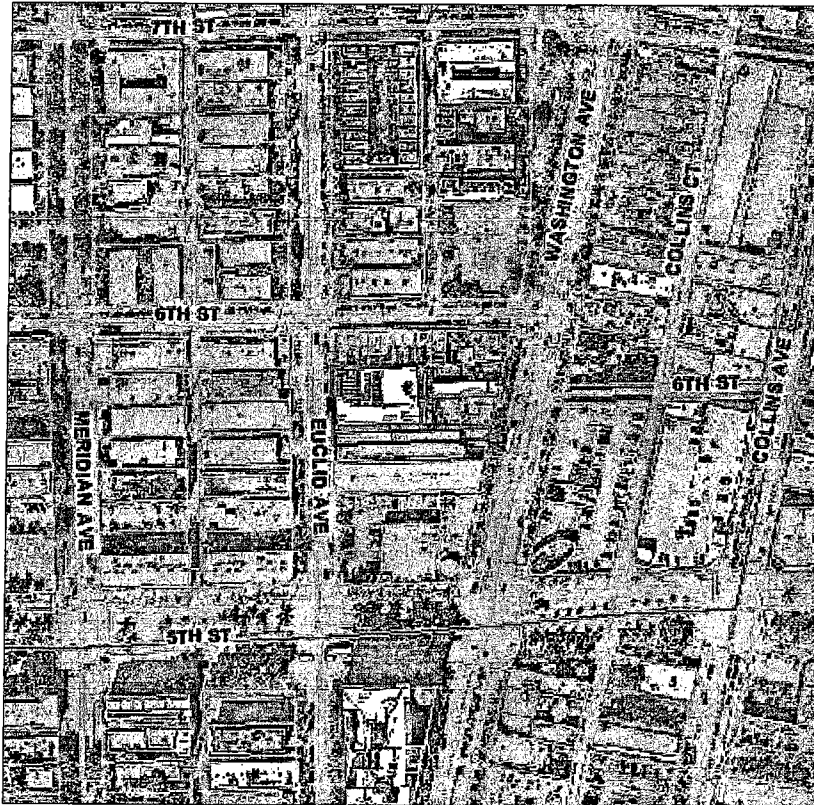
- 10) **The appraiser herein by reason of this assignment is not required to give further consultation, testimony, or be in attendance in court with reference to the property in question unless arrangements have been previously made.**
- 11) Neither all nor any part of the contents of this report (especially any conclusions, the identity of the appraiser, or any reference to the MAI or SRA designations) shall be disseminated to the public through advertising, public relations, news, sales, or other media without the prior written consent and approval of the appraiser.
- 12) The existence of potentially hazardous material used in the construction or maintenance of the building and/or the existence of toxic waste which may or may not be present on or under the site was not observed during our inspection. However, we are not qualified to detect such substances. These substances, if they exist, could have a negative effect on the estimated value of the property. The user of this report is urged to retain an expert in this field if desired.
- 13) This assignment was not based on a requested minimum valuation, a specific valuation, or the approval of a loan.
- 14) The client intends on using this report to help obtain the necessary building permits from the City of Miami Beach.
- 15) The client understands, as per the engagement guidelines of this assignment, that all data related to estimating cost and depreciation is retained in the office file.

My Home
Miami-Dade County, Florida

miamidade.gov



Property Information Map



Aerial Photography - 2009

0 — 124 ft

This map was created on 10/25/2011 8:28:33 AM for reference purposes only.

Web Site © 2002 Miami-Dade County. All rights reserved.



Summary Details:

Folio No.:	02-4203-009-1900
Property:	550 WASHINGTON AVE
Mailing Address:	BIG TIME PRODUCTIONS INC
Address:	59 NW 14 ST MIAMI FL 33136

Property Information:

Primary Zone:	6503 GENERAL MIXED USE COMMERCIAL
CLUC:	0013 OFFICE BUILDING
Beds/Baths:	0/0
Floors:	4
Living Units:	0
Adj Sq Footage:	25,589
Lot Size:	13,586 SQ FT
Year Built:	1945
Legal Description:	OCEAN BEACH ADDN NO 3 PB 2-81 LOT 2 LESS BEG NE COR SWLY ALG E/L 31.22FTW PARL TO W/L 21.01FTS AT R/A 0.2FTW PARL TO NL 86.75FTN 23.68FTW PARL TO NL 5.0FTN PARL TO W/L 7.0FTE ALG NL

Assessment Information:

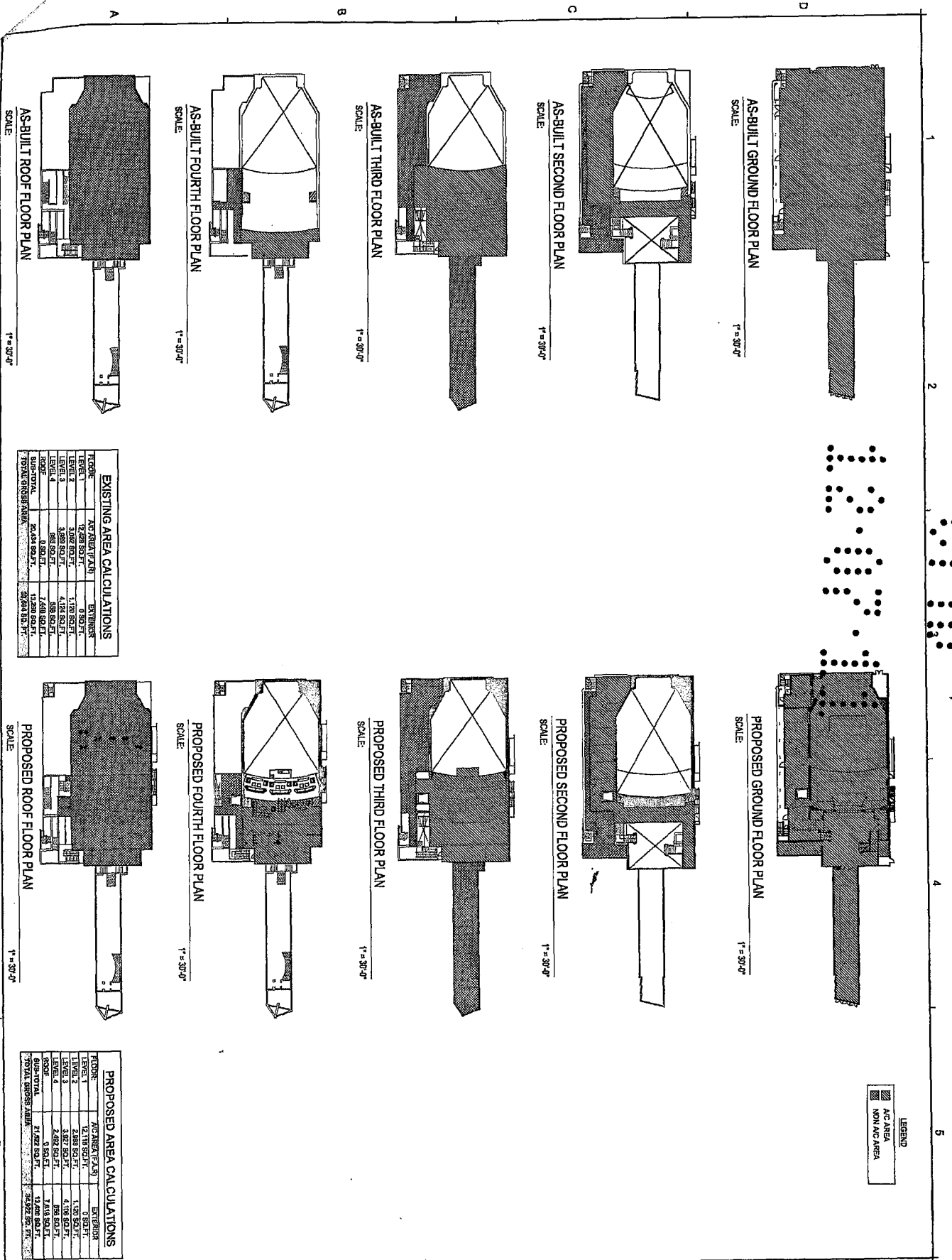
Year:	2011	2010
Land Value:	\$1,630,320	\$1,630,320
Building Value:	\$592,420	\$592,420
Market Value:	\$2,222,740	\$2,222,740
Assessed Value:	\$2,222,740	\$2,222,740

Taxable Value Information:

Year:	2011	2010
Taxing Authority:	Applied Exemption/ Taxable Value:	Applied Exemption/ Taxable Value:
Regional:	\$0/\$2,222,740	\$0/\$2,222,740
County:	\$0/\$2,222,740	\$0/\$2,222,740
City:	\$0/\$2,222,740	\$0/\$2,222,740
School Board:	\$0/\$2,222,740	\$0/\$2,222,740

Sale Information:

Sale Date:	11/1992
Sale Amount:	\$975,000
Sale O/R:	15739-1789
Sales Qualification Description:	Sales which are qualified
View Additional Sales	



EXISTING AREA CALCULATIONS

FLOOR	NET AREA (PLAN)	EXTENSION
LEVEL 1	12,428 SQ. FT.	0 SQ. FT.
LEVEL 2	3,062 SQ. FT.	1,170 SQ. FT.
LEVEL 3	3,283 SQ. FT.	412 SQ. FT.
LEVEL 4	883 SQ. FT.	488 SQ. FT.
ROOF	21,444 SQ. FT.	1,588 SQ. FT.
SUB-TOTAL	21,444 SQ. FT.	3,648 SQ. FT.
TOTAL (GROSS AREA)		35,092 SQ. FT.

PROPOSED AREA CALCULATIONS

FLOOR	NET AREA (PLAN)	EXTENSION
LEVEL 1	12,428 SQ. FT.	0 SQ. FT.
LEVEL 2	2,888 SQ. FT.	1,170 SQ. FT.
LEVEL 3	2,822 SQ. FT.	488 SQ. FT.
LEVEL 4	0 SQ. FT.	1,618 SQ. FT.
ROOF	21,444 SQ. FT.	0 SQ. FT.
SUB-TOTAL	21,444 SQ. FT.	3,276 SQ. FT.
TOTAL (GROSS AREA)		24,720 SQ. FT.

<p>REVISIONS / SUBMISSIONS</p> <table border="1"> <tr><td>1</td><td></td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td><td></td></tr> </table>	1				2				3				4				5				<p>1151</p>	<p>BAMBOO GROUP INC. 590 WASHINGTON AVENUE MIAMI BEACH, FLORIDA</p>	<p>AREA DIAGRAMS</p>	<p>ARCHITECTURE INTERIOR DESIGN PLANNING</p> <p>AAAI ASID NCARB</p> <p>2015 Brickyard Boulevard Suite 200 Miami, Florida 33137 P: 305.575.1518 F: 305.575.3786 WWW.KOBIKARP.COM</p>	<p>Uc: 6 AR0012576</p>
	1																								
2																									
3																									
4																									
5																									
<p>A-0.01</p>																									

CALCULATOR METHOD OFFICE BUILDINGS (344)

CLASS	TYPE	EXTERIOR WALLS	INTERIOR FINISH	LIGHTING, PLUMBING AND MECHANICAL	HEAT	Sq. M.	COST Cu. Ft.	Sq. Ft.
A	Excellent	Best metal or stone, brick or block backup, solar glass	Plaster, best veneers, vinyl wall coverings, vinyl, terrazzo, carpet	*Luminous ceilings, many outlets, many private restrooms	Hot and chilled water (zoned)	\$2,459.68	\$19.04	\$228.51
	Good	Good metal and solar glass, face brick, precast concrete panels	Drywall or plaster, some wall cover, acoustic tile, vinyl tile, carpet	*Good fluorescent, high intensity lighting, good restrooms	Hot and chilled water (zoned)	1,946.88	15.07	180.87
	Average	Brick, concrete or metal and glass panels, little trim	Average partitions, acoustic tile, vinyl composition, some extras	*Average intensity fluorescent lighting, average restrooms	Warm and cool air (zoned)	1,469.07	11.37	136.48
B	Low cost	Minimum-cost walls and fenestration, little trim	Drywall, acoustic ceilings, asphalt tile, few partitions	*Minimum office lighting and plumbing	Warm and cool air (zoned)	1,170.37	9.06	108.73
	Excellent	Best metal or stone, brick or block backup, tinted glass	Plaster, best veneers, vinyl wall coverings, vinyl tile, terrazzo	*Luminous ceilings, many outlets, many private restrooms	Hot and chilled water (zoned)	2,384.33	18.46	221.51
	Good	Good metal and solar glass, face brick, precast concrete panels	Drywall/plaster, some wall cover, acoustic tile, vinyl tile, carpet	*Good fluorescent, high intensity lighting, good restrooms	Hot and chilled water (zoned)	1,875.52	14.52	174.24
C	Average	Brick, concrete or metal and glass panels, little trim	Average partitions, acoustic tile, vinyl composition, some extras	*Average intensity fluorescent lighting, average restrooms	Warm and cool air (zoned)	1,403.63	10.87	130.40
	Low cost	Minimum-cost walls and fenestration, little trim	Drywall, acoustic ceilings, asphalt tile, few partitions	*Minimum office lighting and plumbing	Warm and cool air (zoned)	1,111.92	8.61	103.30
	Excellent	Steel frame, masonry and glass, stone ornamentation, top quality	Plaster, paneling, carpet and terrazzo, suspended ceilings	*Best fluorescent ceiling panels, tiled restrooms, good fixtures	Warm and cool air (zoned)	2,007.59	15.54	186.51
D	Good	Steel frame or bearing walls, brick conc. panels, some ornamentation	Plaster or drywall, good partitions, acoustic tile, carpet and vinyl	*Good fluorescent lighting, good restrooms and fixtures	Package A.C.	1,401.69	10.85	130.22
	Average	Steel of concrete frame, or bearing walls, some trim	Paint, drywall partitions, acoustic tile, vinyl composition	*Fluorescent lighting, adequate outlets and plumbing	Forced air	995.45	7.71	92.48
	Low cost	Masonry bearing walls, light rafters, very plain	Paint, few low-cost partitions, acoustic tile, asphalt tile	*Minimum office lighting and plumbing	Wall furnace	670.70	5.19	62.31
D POLE	Excellent	Studs of steel columns, bar or web joists, brick or stone veneer, EIFS	Best plaster, paneling, carpet and vinyl tile	*Fluorescent panels, many outlets, good tiled restrooms	Warm and cool air (zoned)	1,892.96	14.66	175.86
	Good	Best stucco on good frame, brick or stone trim, good front	Plaster or drywall, good partitions, acoustic tile, carpet and vinyl	*Good fluorescent lighting, good restrooms and fixtures	Package A.C.	1,317.41	10.20	122.39
	Average	Stucco or wood siding on wood or steel studs, some trim	Drywall, acoustic tile, low-cost carpet or vinyl composition	**Adequate lighting and plumbing	Forced air	933.56	7.23	86.73
S	Low cost	Light stucco or siding on wood or steel studs, very plain	Drywall, few partitions, acoustic tile, asphalt tile	Minimum lighting and plumbing	Wall furnace	625.17	4.84	58.08
	Good	Good metal panels, fenestration, some brick or stone trim	Plaster or drywall, good partitions, acoustic tile, carpet and vinyl	*Good fluorescent lighting, good restrooms and fixtures	Package A.C.	1,209.87	9.37	112.40
	Average	Pole frame, insulated metal panels, some ornamentation	Drywall, acoustic tile, low-cost carpet or vinyl composition	Adequate lighting and plumbing	Forced air	828.18	6.41	76.94
S	Low cost	Pole frame, finished interior, some insulation	Drywall, few partitions, acoustic tile, asphalt tile	Minimum lighting and plumbing	Wall furnace	558.65	4.33	51.90
	Good	Good sandwich panels and fenestration, some brick or stone	Plaster or drywall, good partitions, acoustic tile, carpet and vinyl	*Good fluorescent lighting, good restrooms and fixtures	Package A.C.	1,311.92	10.16	121.88
	Average	Insulated wall or sandwich panels, adequate fenestration	Drywall, acoustic tile, low-cost carpet or vinyl composition	Adequate lighting and plumbing	Forced air	902.78	6.99	83.87
S	Low cost	Steel or aluminum on light frame, finished interior, some insulation	Drywall, few partitions, acoustic tile, asphalt tile	Minimum lighting and plumbing	Wall furnace	612.58	4.74	56.91

MULTISTORY BUILDINGS - Add .5% (1/2%) for each story, over three, above ground, to all base costs, including basements but excluding mezzanines, up to 30 stories; over 30 add .4% (4/10%) for each additional story.

SPRINKLERS - Systems are not included. Costs should be added from Page 36.

BALCONIES - Exterior balconies generally cost 1/5 to 1/3 of the final base cost per square foot of the building, or they may be computed from the Segregated Costs.

CANOPIES - For large entrance marquees or carport canopies, see notes on Page 19.

ELEVATORS - Base costs of buildings marked with an asterisk (*) include elevator costs. If the subject building has no elevators, deduct the following from the base costs for buildings on this page. See Notes on Page 19.

Classes A & B	Sq. M.	Sq. Ft.	Classes C/D/S	Excellent	Average	Low cost	Sq. Ft.	Sq. Ft.
Classes A & B	Excellent	\$109.79	\$10.20	Good	74.81	6.95	Average	\$51.13
Classes C/D/S	Excellent	\$55.43	\$5.15	Good	33.37	3.10	Average	\$4.75
								\$4.75
								\$3.25
								\$1.85

QUALIFICATIONS OF FRANK A. HORNSTEIN, MAI
State Certified General Real Estate Appraiser No. RZ 1376
frank@appraisalfirst.net

EXPERIENCE:

Owner/Appraiser - AppraisalFirst - 2010 to present
Officer/Appraiser - AppraisalFirst, Inc. - 2005 to 2010
Commercial Appraiser- AppraisalFirst, Inc. - 1993 to 2005
Commercial Appraiser -Ames Appraisal Services - 1989 to 1993

PROFESSIONAL AFFILIATIONS:

Member of the Appraisal Institute, MAI

STATE OF FLORIDA LICENSES:

State-Certified General Appraiser, No. RZ 0001376
Real Estate Broker, No. 0534448

EDUCATION:

B.S., Florida State University, Tallahassee, FL - 1989
Major: Real Estate and Finance

RECENT CONTINUING EDUCATION:

- USPAP Updated, Appraisal Institute, 2010
- Hotel Valuation, Appraisal Institute, 2010
- Effective Appraisal Writing, Appraisal Institute, 2010
- Business Practice & Ethics, Appraisal Institute, 2009
- Hotel/Motel Valuation, Appraisal Institute, 2008
- USPAP Update, Appraisal Institute, 2008
- Supervisor Trainee Roles & Rules, Appraisal Institute, 2008
- Spotlight on USPAP: Hypothetical & Extraordinary, Appraisal Institute, 2008
- Litigation Skills for the Appraiser, Appraisal Institute, 2008

APPLICATIONS OF APPRAISALS:

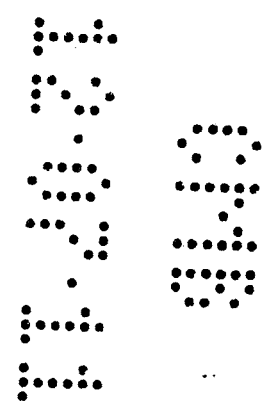
Mortgage Loan	litigation (Expert Witness)
Securities Lending	Purchase or Sale
Foreclosure Proceedings	Estate
Bankruptcy	

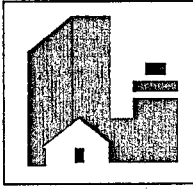
TYPES OF PROPERTIES APPRAISED:

Industrial Buildings	Single Family Subdivisions
Office Buildings	Vacant Commercial Land
Rental Apartments	Retail/Showroom
Rental Townhouses	Manufacturing Buildings
Shopping Centers	Vacant Industrial Land
Leasehold Interest	Religious Facilities
Hotels & Motels	Gas Stations
Restaurants	Townhouse Subdivisions
Vacant residential Land	Condominium Projects

Geographical Areas Served:

Miami-Dade	Broward
Monroe	Palm Beach





AppraisalFirst
Real Estate Appraisers LLC

8525 NW 53rd Terrace, Suite 110
Miami, Florida 33166
Phone: 305-470-2100
Fax: 305-470-2105
E-mail: residential@appraisalfirst.net
E-mail: commercial@appraisalfirst.net

October 27, 2011

Bamboo Group
c/o Mr. Theo Pasa
550 Washington Avenue,
Miami Beach, Florida 33139

Re: A consulting assignment related to providing a report for the replacement cost new and depreciated building value of a commercial building located at 550 Washington Avenue, Miami Beach, Florida 33139.

Dear Mr. Pasa:

As requested I am writing this letter to estimate a replacement cost new estimate, based on the original condition and design, for the above referenced subject building, as well as a depreciated building cost based on the condition prior to the commencement of renovation. The replacement cost new estimates will be provided via the "Marshall Valuation Service", a nationally accepted construction cost reference guide. The cost estimate includes labor, materials, supervision, etc. The figure also include normal site preparation, and utility lines from lot line to building. Other soft costs such as professional fees, real estate taxes, financing fees and impact fees are not included.

This consulting assignment will be prepared in accordance with Standard Rules 4 and 5 of the Uniform Standards of Professional Appraisal Practice (USPAP) with regard to developing and reporting a consulting (a.k.a. Cost Analysis) assignment, on the subject property. Please be advised that in no way the consulting work constitutes an appraisal according to the Standards of Practice and Code of Ethics of the Appraisal Institute and the guidelines according to (USPAP).

The subject property consists of a four-story commercial building that was originally completed in 1945 and converted throughout the years to various uses including the Paris Theater, office, studios, etc. The building contains 20,434 square feet of enclosed area and 13,250 square feet of patio, balcony and terrace area. The improvements have been well maintained over the years and were found to be in a good condition. The concrete building sits on a 13,586 square foot site that is zoned CD-2, by the City of Miami Beach, Florida.



DEPARTMENT OF PERMITTING, ENVIRONMENT AND REGULATORY AFFAIRS

IMPACT FEE RECEIPT

PROCESS #: B201105169_0

BATCH:

COLLECTION NO.: 102588

FOLIO #: 0242030091900

SITE ADDRESS: 550 WASHINGTON AVE

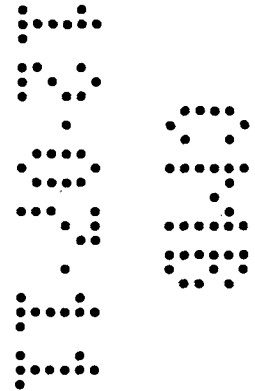
FEEPAAYER: BAMBOO GROUP
550 WASHINGTON AVE

DATE: 11/29/2011

MIAMI BCH

FL 33139

FEE TYPE	DIST. ID	CAT. CODE	CATEGORY DESCRIPTION	UNITS	FEE	EXTENDED AMOUNT
ROAD	8.0	820 01	GENERAL RETAIL (10-50 KSF)	1,088	4.9444	5,379.51



TOTAL AMOUNT DUE:	\$5,379.51
PAID CHECK:	\$5,379.51
PAID CASH:	\$0.00

ide Water and Sewer Department

New Business Office

P.O. Box 330316

Miami, Florida 33233-0316

5 South LeJeune Road, Room 114

Miscellaneous Charges

INVOICE #: 135126

DATE: December 01, 2011

CUSTID: 153966

PeopleSoft Acct ID#: 9986158631

Building Process #: X

Acct #: WS 9986158631 00014116
 12/2/2011 10:32AM D10 12CG LINE
 0001 PBCIS Retail Payment
 0001 of 0001 \$23,181.18
 PBCIS Retail \$23,181.18
 CK \$1,606.82
 CC \$21,574.35
 CA \$0.01
 CHANGE \$0.00

PAID
 Thank You

BAMBOO MIAMI

Miami-Dade Water and Sewer Dept.

IT ESTABLISHMENT & PERFORMING THEATER LOUNGE
 N AVE FOLIO #02-4203-009-1900 DERM #2001-02872 ORD
 #212776 & CK #198

ER WATER: N/A

ER SEWER: N/A

AGMT ID:

QTY GPD	DESCRIPTION	G/L CODE	CIS ADJ CD	UNIT PRICE	AMOUNT
3282	Conn Chg - Miami Beach Water	6897501-EW223		1.39	4,561.98
3282	Conn Chg - Miami Beach Sewer	6897501-EW623		5.60	18,379.20
1	Ordinance Letter Water Only non-res	6436701-EW101		75.00	75.00
1	Ordinance Letter Sewer Only non-res	6436701-EW501		75.00	75.00
1	Water Allocation Certificate-Initial	6436671-EW101		90.00	90.00
TOTAL:					\$23,181.18

WATER DEPOSITS: \$0.00

SEWER DEPOSITS: \$0.00

INVOICE NO. 135126 TOTAL: \$23,181.18

BAMBOO MIAMI

Thank You

PAID

CHANGE \$0.00
 CA \$0.01
 CC \$21,574.35
 CK \$1,606.82
 PBCIS Retail \$23,181.18
 0001 of 0001 \$23,181.18

Original Invoice 135126 Printed On 12/1/2011 By Lizette Gonzalez

Acct #: WS 9986158631 00014116
 12/2/2011 10:32AM D10 12CG LINE

Distribution: White-Customer, Yellow-General Office, Pink-Local Office, Gold-New Business



ORDINANCE 89-95
COMPLIANCE FORM

Water and Sewer
PO Box 330316 • 3575 S. Lejeune Road
Miami, Florida 33233-0316
T 305-665-7471

At miamidade.gov INV#: 135126 FORM #: 201131104 DATE: 11/30/2011

This form acknowledges compliance on the part of the following with the requirements in accordance with Miami-Dade County's Ordinance number 89-95.

Name of Owner: BAMBOO MIAMI

Mailing:
Address: 550 WASHINGTON AVE
City, State, Zip: MIAMI BEACH FL 33139

Property Address: 550 WASHINGTON AVE

Property Legal Description: OCEAN BEACH, ADDN NO 3 PB 2-81 LOT 2

Folio Number: 02-4203-009-1900

Proposed usage / No. of Units: 21,522 SF ENTERTAINMENT ESTABLISHMENT & PERFORMING THEATRE LOUNGE

REPLACES: 20,434 SF OFFICE (PER PTXA)
Previous Usage /

Gallons per Day: 3,282

PREVIOUS FLOW: 1,022 PREVIOUS SQUARE FOOTAGE: 20,434 NEW CONSTRUCTION
PROPOSED FLOW: 4,304 PROPOSED SQUARE FOOTAGE: 21,522 INTERIOR RENOVATION

Municipality:

Water Service Area: Miami Beach

Sewer Service Area: Miami Beach

Water Connection Charge: \$4,561.98 Invoice No.: 135126

Sewer Connection Charge: \$18,379.20

Total Connection Charge: \$22,941.18

Comments: DERM Sewer Capacity Certification Letter Dated: 11/21/2011 #2011-ALLOCATION-02872

THIS FORM IS VALID ONLY WHEN ACCOMPANIED BY A STAMPED 'PAID' COPY OF INVOICE NO.

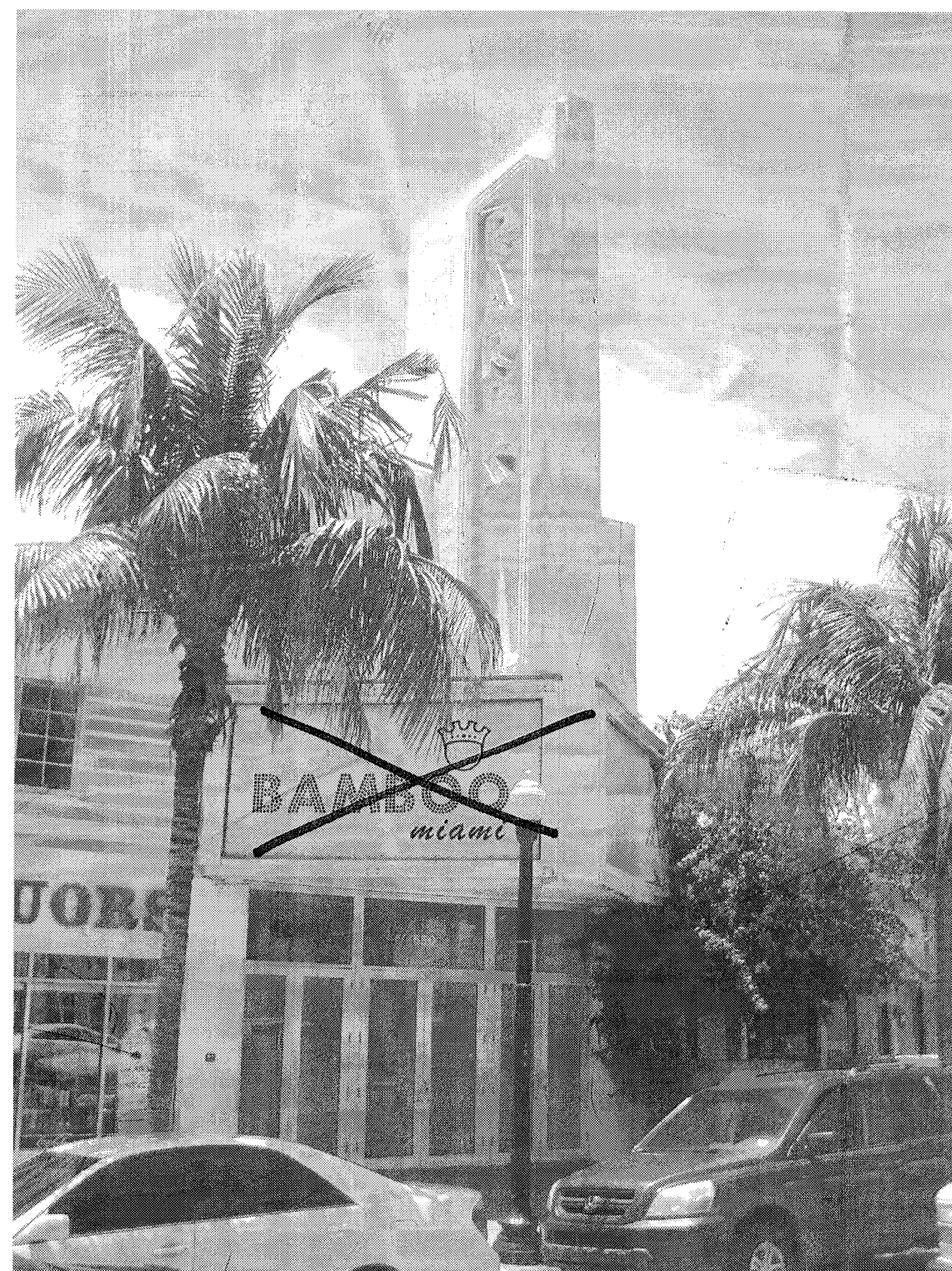
Approved By: Lizette Gonzalez
Lizette Gonzalez - New Business Representative

CONTACT NAME: JEFF WELOFF
CONTACT PHONE: (305) 452-2253

Printed On: 12/1/2011
8:23:25 AM

NB: Lizette Gonzalez
PR:

Approved By: JW



NOTICE: In addition to the requirement of this permit there may be additional restrictions applicable to this property that may be found in the Public Records of this County and there may be additional permits required from other government entities such as water management districts, state agencies, or federal agencies. The City of Miami Beach assumes no responsibility for accuracy of or results from these plans which are approved subject to compliance with all Federal, State, and Local Laws, Rules, and Regulations.

REVISIONS / SUBMISSIONS	
△	BLDG DEPT COMMENTS 10-25-11
△	
△	
△	
△	
△	
△	
△	
△	
△	

1151

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOB KARP INC. AND MAY NOT BE REPRODUCED, COPIED, OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE EXPRESS WRITTEN CONSENT OF KOB KARP ARCHITECTURE & INTERIOR DESIGN, INC. 04-01-2011

BAMBOO GROUP INC.
550 WASHINGTON AVENUE
MIAMI BEACH, FLORIDA

COVER

BAMBOO GROUP INC.

550 WASHINGTON AVENUE, MIAMI BEACH, FL 33139

PERMIT SET

SEPTEMBER 09, 2011

STRUCTURAL ENGINEER
ZVONIMIR T. BELFRANIN, P.E.
4836 S.W 74TH COURT
MIAMI, FLORIDA 33155
TEL: (305) 669-0255

ARCHITECT
KOB KARP ARCHITECTURE
AND INTERIOR DESIGN, INC.
2915 BISCAYNE BLVD. SUITE 200
MIAMI, FLORIDA 33137
TEL: (305) 573-1818
FAX: (305) 573-3766

SURVEYOR
SCHWEBKE-SHISKIN & ASSOCIATES, INC.
3240 CORPORATE WAY
MIRAMAR, FLORIDA 33025
TEL: (954) 435-7010
FAX: (954) 438-3288

M.E.P ENGINEERS
FRANYIE ENGINEERS, INC
10610 NW 27ST MIAMI, FL 33172
TEL: (305) 592-1360
FAX: (305) 594-9279

NO ADULT ENTERTAINMENT

BUILDING:	<i>[Signature]</i> 12/1/11
ZONING:	<i>[Signature]</i> 12/1/11
CONCURRENCY:	<i>[Signature]</i> 12/1/11
PLUMBING:	<i>[Signature]</i> 12/1/11
ELECTRICAL:	<i>[Signature]</i> 12/1/11
MECHANICAL:	<i>[Signature]</i> 12/1/11
FIRE PREVENTION:	<i>[Signature]</i> 12/1/11
ENGINEERING:	<i>[Signature]</i> 12/1/11
PUBLIC WORKS:	<i>[Signature]</i> 12/1/11
STRUCTURAL:	<i>[Signature]</i> 12/1/11
INSPECTOR:	<i>[Signature]</i> 12/1/11

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

**PUBLIC WORKS
PLAN REVIEW NOTICE**
Phone 305-473-7090 Fax 305-673-7098

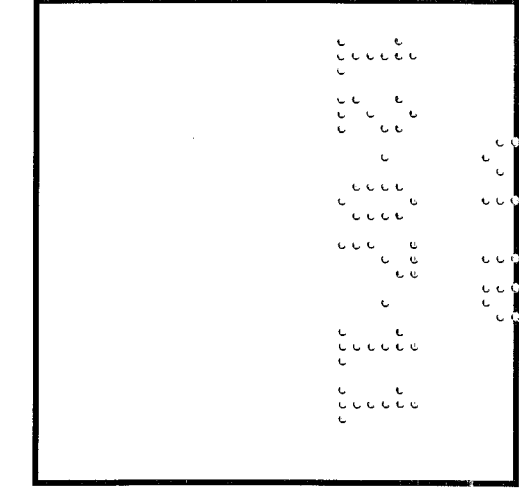
THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.

All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.

Permit Requirements: Proof of existing sidewalk/side area conditions (pictures) and/or posting of sidewalk/roadway bonds (Public Works Inspection of the right-of-way will be required prior to final sign-off on the C.C. / C.O., or the release of bonds.)

Approved/Reviewed By: *[Signature]* Date: 12/1/11

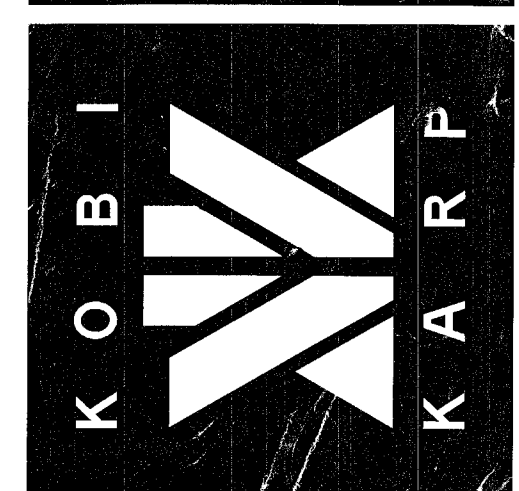
**48 HOURS PRIOR TO EXCAVATING
CONTRACTOR SHALL CALL FOR LOCATION
OF UNDERGROUND UTILITIES**
SUNSHINE ONE-CALL 1-800-432-4770
CITY OF MIAMI BEACH



[Signature]
Lic. # AR0012578
NOV 03 2011

ARCHITECTURE
INTERIOR DESIGN
PLANNING

AIA ASID NCARB
2915 Biscayne Boulevard
Suite 200
Miami, Florida 33137
P: 305.573.3766
F: 305.573.3768
WWW.KOBKARP.COM



DRAWN BY: MD,JO
CHECKED BY: JG
DATE: 09-08-11

COVER

INDEX OF DRAWINGS

SHEET	TITLE	REV#	SCALE	DATE	SHEET	TITLE	REV#	SCALE	DATE	SHEET	TITLE	REV#	SCALE	DATE	SHEET	TITLE	REV#	SCALE	DATE	
C	COVER SHEET		N/A																	
INDEX	INDEX OF DRAWINGS SURVEY		N/A																	
CIVIL																				
ARCHITECTURAL																				
A-0.00	PROJECT DATA & SITE PLAN		3/32" = 1'-0"		S-1	GROUND FLOOR FRAMING PLAN		AS SHOWN		FA-100	GROUND FLOOR PLAN									
A-0.01	AREA DIAGRAMS		AS SHOWN		S-2	SECTIONS & DETAILS		AS SHOWN		FA-101	SECOND FLOOR PLAN									
A-1.00	AS-BUILT GROUND LEVEL PLAN		3/32" = 1'-0"		S-3	ELEVATOR SHAFT PLANS & SECTION		AS SHOWN		FA-102	THIRD FLOOR PLAN									
A-1.01	AS-BUILT SECOND LEVEL PLAN		3/32" = 1'-0"		S-4	THIRD FLOOR FRAMING PLAN		AS SHOWN		FA-103	FOURTH FLOOR PLAN									
A-1.02	AS-BUILT THIRD LEVEL PLAN		3/32" = 1'-0"		S-5	4TH FLOOR FRAMING PLAN, ELEV SHAFT ROOF SLAB & LONGITUDINAL SECTION		AS SHOWN		FA-104	ROOF PLAN									
A-1.03	AS-BUILT FOURTH LEVEL PLAN		3/32" = 1'-0"		S-6	GENERAL STRUCTURAL NOTES		AS SHOWN		FA-200	FIRE ALARM NOTES AND DETAILS									
A-1.10	HISTORICAL ELEMENTS		AS SHOWN		PLUMBING															
A-1.11	RESTORATION DETAILS		AS SHOWN		P-100	GROUND FLOOR PLAN				P-101	SECOND FLOOR PLAN									
A-1.12	EXISTING ELEVATIONS		AS SHOWN		P-102	THIRD FLOOR PLAN				P-103	FOURTH FLOOR PLAN									
A-2.00	GROUND LEVEL DEMO PLAN		3/32" = 1'-0"		P-104	ROOF PLAN				P-200	SANITARY ISOMETRIC									
A-2.01	SECOND LEVEL DEMO PLAN		3/32" = 1'-0"		P-201	WATER ISOMETRIC				P-300	PLUMBING BAR EQUIPMENT									
A-2.02	THIRD LEVEL DEMO PLAN		3/32" = 1'-0"		MECHANICAL															
A-2.03	FOURTH LEVEL DEMO PLAN		3/32" = 1'-0"		M-100	GROUND FLOOR PLAN				M-101	SECOND FLOOR PLAN									
A-2.04	ROOF LEVEL DEMO PLAN		3/32" = 1'-0"		M-102	THIRD FLOOR PLAN				M-103	FOURTH FLOOR PLAN									
A-3.00	GROUND LEVEL FLOOR PLAN		3/32" = 1'-0"		M-104	ROOF PLAN				M-200	HVAC SECTIONS									
A-3.01	SECOND LEVEL FLOOR PLAN		3/32" = 1'-0"		M-300	HVAC DETAILS				M-400	HVAC SCHEDULES									
A-3.02	THIRD LEVEL FLOOR PLAN		3/32" = 1'-0"		ELECTRICAL															
A-3.03	FOURTH LEVEL FLOOR PLAN		3/32" = 1'-0"		E-100	GROUND FLOOR PLAN				E-101	SECOND FLOOR PLAN									
A-3.04	ROOF LEVEL FLOOR PLAN		3/32" = 1'-0"		E-102	THIRD FLOOR PLAN				E-103	FOURTH FLOOR PLAN									
A-3.10	ENLARGED GROUND LEVEL FLOOR PLAN		3/16" = 1'-0"		E-104	ROOF PLAN				E-200	ELECTRICAL RISER DIAGRAM									
A-3.10A	ENLARGED STAGE PLAN AND SECTIONS		3/16" = 1'-0"		E-300	ELECTRICAL BAR EQUIPMENT				E-400	ELECTRICAL PANELS									
A-3.11	ENLARGED GROUND LEVEL FLOOR PLAN		3/16" = 1'-0"		E-500	ELECTRICAL NOTES AND DETAILS				FIRE SPRINKLER										
A-3.12	ENLARGED SECOND LEVEL FLOOR PLAN		3/16" = 1'-0"		FS-100	GROUND FLOOR PLAN				FS-101	SECOND FLOOR PLAN									
A-3.13	ENLARGED THIRD LEVEL FLOOR PLAN		3/16" = 1'-0"		FS-102	THIRD FLOOR PLAN				FS-103	FOURTH FLOOR PLAN									
A-3.14	ENLARGED FOURTH LEVEL FLOOR PLAN		3/16" = 1'-0"		FS-104	ROOF PLAN				FS-200	FIRE SPRINKLERS NOTES & DETAILS									
A-3.15	ENLARGED ROOF LEVEL FLOOR PLAN		3/16" = 1'-0"																	
A-3.20	GROUND LEVEL FURNITURE PLAN		3/32" = 1'-0"																	
A-3.21	SECOND LEVEL FURNITURE PLAN		3/32" = 1'-0"																	
A-3.22	THIRD LEVEL FURNITURE PLAN		3/32" = 1'-0"																	
A-4.00	ELEVATIONS		3/16" = 1'-0"																	
A-3.30	GROUND LEVEL REFLECTED CEILING PLAN		3/16" = 1'-0"																	
A-3.31	SECOND LEVEL REFLECTED CEILING PLAN		3/16" = 1'-0"																	
A-3.32	THIRD LEVEL REFLECTED CEILING PLAN		3/16" = 1'-0"																	
A-3.33	FOURTH LEVEL REFLECTED CEILING PLAN		3/16" = 1'-0"																	
A-3.34	FOURTH LEVEL REFLECTED CEILING PLAN		3/16" = 1'-0"																	
A-5.00	BUILDING SECTIONS 1 & 2		3/32" = 1'-0"																	
A-5.01	BUILDING SECTIONS 3		3/16" = 1'-0"																	
A-5.02	ENLARGED BUILDING SECTIONS 1		3/16" = 1'-0"																	
A-5.03	ENLARGED BUILDING SECTIONS 2		3/16" = 1'-0"																	
A-6.00	ELEVATOR PLANS AND SECTIONS		1/4" = 1'-0"																	
A-6.01	STAIR PLANS AND SECTIONS		1/4" = 1'-0"																	
A-6.02	RAMP AND STAIR PLANS AND SECTIONS		1/4" = 1'-0"																	
A-6.03	RAMP AND STAIR PLANS AND SECTIONS		1/4" = 1'-0"																	
A-6.04	RAMP AND STAIR PLANS AND SECTIONS		1/4" = 1'-0"																	
A-6.10	WHEELCHAIR LIFT PLAN AND SECTIONS		1/4" = 1'-0"																	
A-7.00	ADA TYPICAL NOTES & DETAILS		AS SHOWN																	
A-7.01	ENLARGED RESTROOMS PLAN		1/4" = 1'-0"																	
A-7.02	ENLARGED RESTROOMS PLAN		1/4" = 1'-0"																	
A-7.03	BATHROOM ELEVATIONS		1/4" = 1'-0"																	
A-8.00	DOOR SCHEDULE		AS SHOWN																	
A-8.01	FINISH SCHEDULE		AS SHOWN																	
A-8.10	WALL TYPE DETAILS		AS SHOWN																	
A-8.11	WALL TYPE DETAILS		AS SHOWN																	
A-8.12	STAIR AND RAMP DETAILS		AS SHOWN																	
A-8.13	GENERAL DETAILS		AS SHOWN																	
A-8.20	FIRE STOPPING DETAILS		AS SHOWN																	
A-8.21	FIRE RATED PARTITIONS SECTIONS AND DETAILS		AS SHOWN																	
A-9.00	LIFE SAFETY GROUND LEVEL		AS SHOWN																	
A-9.01	LIFE SAFETY SECOND LEVEL		AS SHOWN																	
A-9.02	LIFE SAFETY THIRD LEVEL		AS SHOWN																	
A-9.03	LIFE SAFETY FOURTH LEVEL		AS SHOWN																	
A-9.03	LIFE SAFETY ROOF LEVEL		AS SHOWN																	

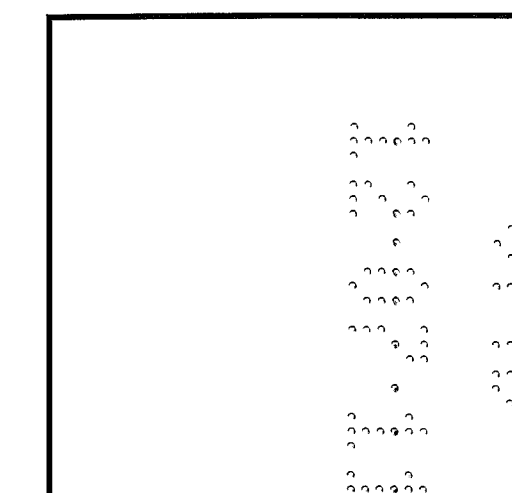
REVISIONS / SUBMISSIONS	
1	BLDG DEPT COMMENTS 10-25-11
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ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNREPRODUCED WORK OF KOBIKARP ARCHITECTURE & INTERIOR DESIGN, INC. NO. 09-2811.

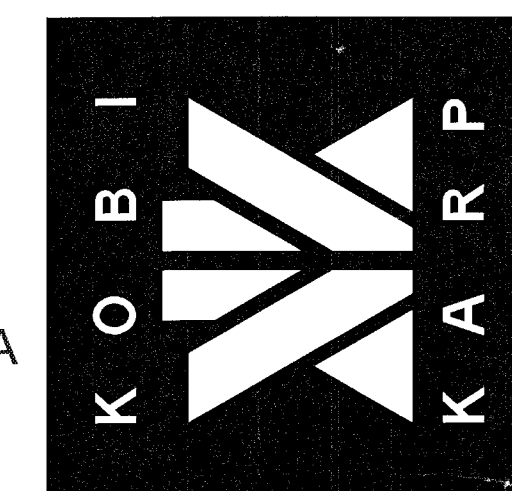
BAMBOO GROUP INC.
550 WASHINGTON AVENUE
MIAMI BEACH, FLORIDA

INDEX OF DRAWINGS

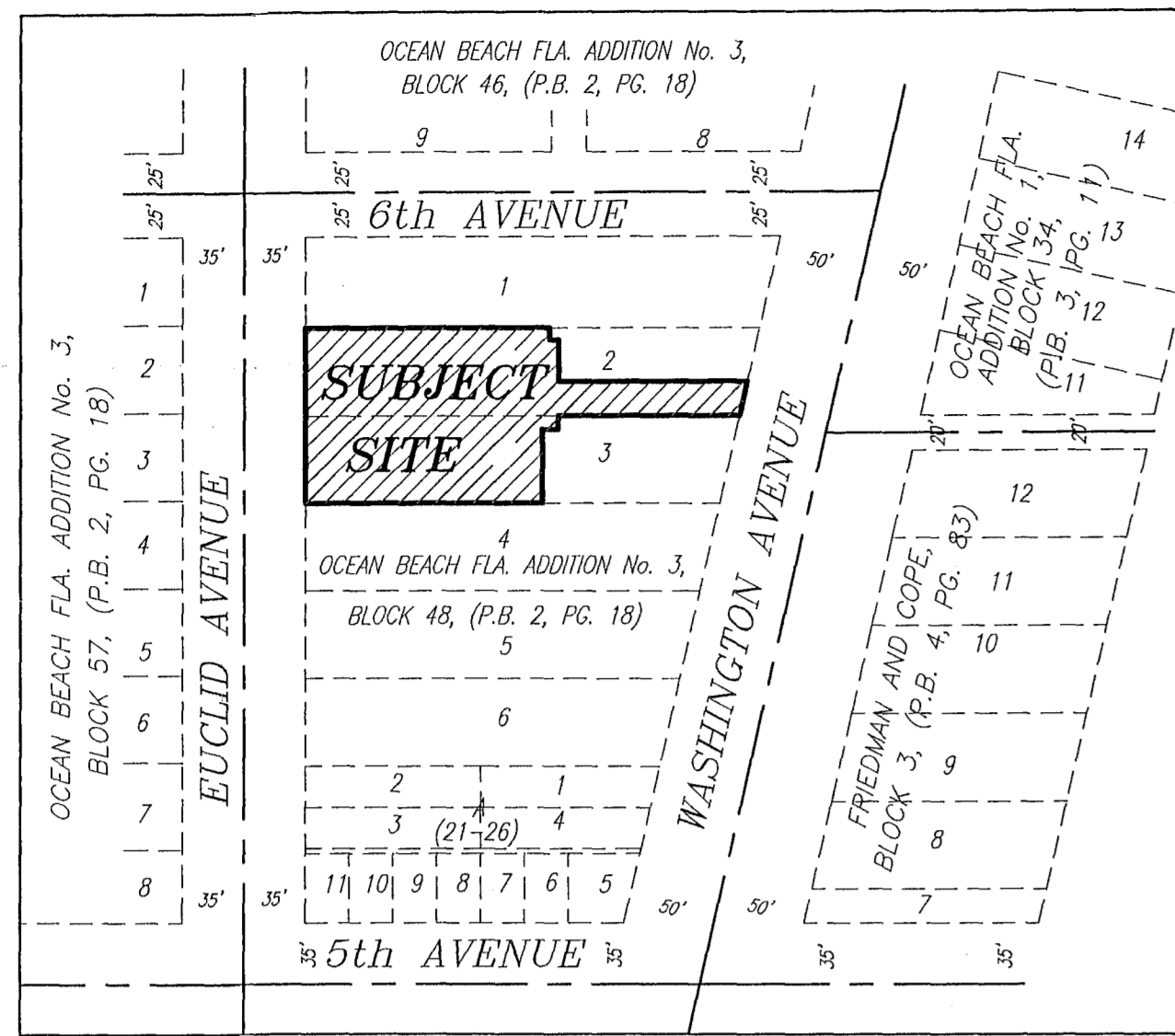


[Signature]
NOV 03 2011
Lic. # AF0012578

ARCHITECTURE
INTERIOR DESIGN
PLANNING
AIA ASID NCARB
2915 Biscayne Boulevard
Miami, FL 33137
O: 305.573.8118
F: 305.573.3766
WWW.KOBIKARP.COM



DRAWN BY: MD,JO
CHECKED BY: JG
DATE: 09-08-11
INDEX



LOCATION MAP
PORTION OF SECTION 36, TOWNSHIP 54 S., RANGE 40 E.
SCALE 1" = 100'

LEGEND:

Sq. Ft.	DENOTES SQUARE FEET
14.05	DENOTES EXISTING ELEVATIONS
—	DENOTES GUY WIRE
—	DENOTES WATER VALVE
—	DENOTES WATER METER
—	DENOTES FIRE HYDRANT
—	DENOTES CATCH BASIN
—	DENOTES STORM DRAINAGE MANHOLE
—	DENOTES SANITARY SEWER MANHOLE
—	DENOTES FLORIDA POWER & LIGHT MANHOLE
—	DENOTES TELEPHONE MANHOLE
—	DENOTES BELLSOUTH MANHOLE
—	DENOTES GAS VALVE
—	DENOTES BELLSOUTH BOX
—	DENOTES CONCRETE LIGHT POLE
—	DENOTES PULL BOX
—	DENOTES STREET LIGHT BOX
WP	DENOTES WOOD POLE
—	DENOTES CHAIN LINK FENCE
—	DENOTES METAL PICKET FENCE
—	DENOTES CENTER LINE
O.H.W.	DENOTES GAS PAINT MARKS
(M)	DENOTES MEASURED
(R)	DENOTES RECORD
P.O.B.	DENOTES POINT OF BEGINNING
FND.	DENOTES FOUND
I.P.	DENOTES IRON PIPE
N & D.	DENOTES NAIL AND DISC
—	DENOTES EXISTING CONCRETE
—	DENOTES EXISTING ASPHALT
2" C&G	DENOTES CURB AND GUTTER
2" WP	DENOTES VALLEY GUTTER
GPM	DENOTES GAS PAINT MARK
PLANT	DENOTES PLANTER

SURVEYOR'S CERTIFICATION:

- BIG TIME PRODUCTIONS, INC.
- NATIONAL TITLE INSURANCE COMPANY
- SANCHEZ-MEDINA, GONZALEZ & QUESADA, LLP
- MELLON UNITED NATIONAL BANK

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005 AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(c)(1)(c), 8, 10 AND 11(A), AND 14, OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

THIS SURVEY COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS ADOPTED BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE, AND CHAPTER 472.027, FLORIDA STATUTES.

Schwabke-Shiskin & Associates, Inc.

By: *J. Sanfil*
Jose L. Sanfil, Assistant Vice President
Professional Land Surveyor #5636
State of Florida.

This is a "Boundary and Topographic Survey"
K:\035442\550 WASHINGTON\SURVEY.dwg\550 WASHINGTON.dwg

CERTIFICATE OF AUTHORIZATION No. LB-87
NOTE: THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

REVISIONS			
Date	Ord.No.	Remarks	By
7-14-11	199027	UP-DTE SURVEY; FB, 2183, Pg.20	DND

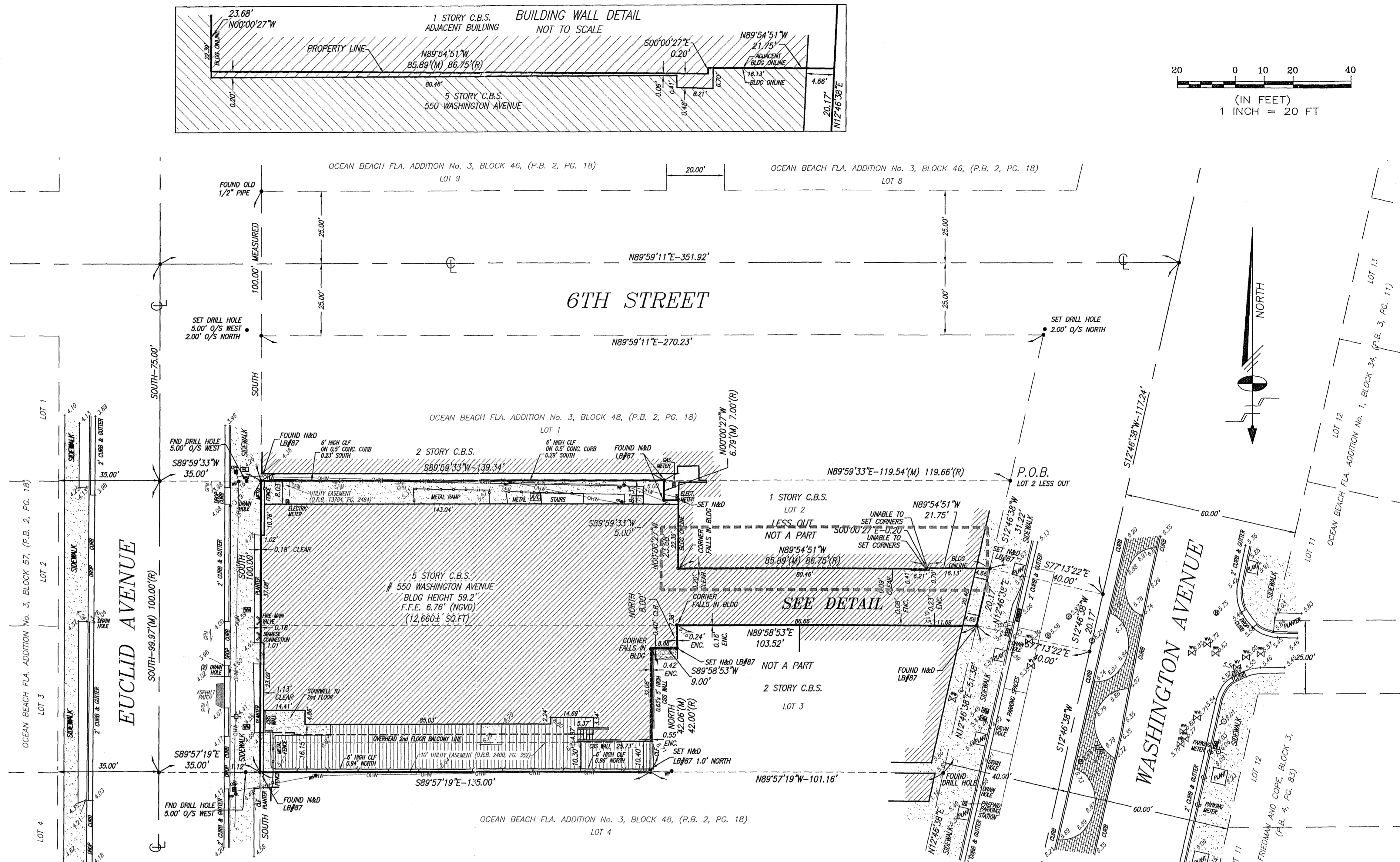
A PORTION OF LOT 2 AND 3, BLOCK 48, OCEAN BEACH, FLORIDA, ADDITION No. 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 81 OF PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LYING IN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA
SECTION 03, TOWNSHIP 54 SOUTH, RANGE 42 EAST.

ALTA/ACSM LAND TITLE SURVEY

Schwabke-Shiskin & Associates, Inc.
LAND PLANNERS ENGINEERS LAND SURVEYORS
3240 CORPORATE WAY MIRAMAR, FLORIDA 33025 TEL: (954)435-7010 FAX: (954)438-3288

By: _____ Date: 08/27/08 Checked By: M.S.I. Date: 09/05/08
Registered Land Surveyor No. _____ State of Florida Order No. 196798 FB. 2183 PG 61 Scale: 1" = 20'
Registered Engineer No. _____ State of Florida File No. AJ-4619 Sheet No. 1 of 1 Sheets



LEGAL DESCRIPTION

ALL OF LOT 2, BLOCK 48, OF OCEAN BEACH, FLORIDA, ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, AT PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS THE PORTION MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2; THENCE RUN SOUTHWESTERLY ALONG THE EAST LINE OF SAID LOT 2, A DISTANCE OF 31.22 FEET MORE OR LESS IN THE POINT OF INTERSECTION WITH THE EASTERLY EXTENSION OF THE NORTH FACE OF A C.B.S. BUILDING; THENCE RUN WESTWARDLY ALONG THE WESTERLY EXTENSION, A DISTANCE OF 21.75 FEET, MORE OR LESS TO A BREAK IN SAID C.B.S. BUILDING; THENCE RUN SOUTH ALONG A FACE OF SAID C.B.S. BUILDING A DISTANCE OF 0.2 FEET, MORE OR LESS TO THE FACE OF A NORTH WALL OF SAID C.B.S. BUILDING; THENCE RUN WESTWARDLY ALONG THE FACE OF THE NORTH WALL OF SAID C.B.S. BUILDING, A DISTANCE OF 86.75 FEET, MORE OR LESS, TO A POINT; THENCE RUN NORTHWARDLY ALONG AN EAST FACE OF SAID C.B.S. BUILDING AND ITS NORTHERLY EXTENSION A DISTANCE OF 23.68 FEET, MORE OR LESS, TO A POINT; THENCE RUN WESTWARDLY ALONG A LINE PARALLEL TO THE NORTH LINE OF SAID LOT 2, FOR A DISTANCE OF 5.0 FEET TO A POINT; THENCE RUN NORTHWARDLY ALONG A LINE PARALLEL TO THE NORTHERLY EXTENSION OF SAID EAST FACE OF SAID C.B.S. BUILDING FOR A DISTANCE OF 7.0 FEET, MORE OR LESS, TO A POINT ON THE NORTH LINE OF SAID LOT 2; THENCE RUN EASTWARDLY ALONG THE NORTH LINE OF SAID LOT 2, A DISTANCE OF 119.66 FEET, MORE OR LESS TO THE POINT OF BEGINNING.

AND
THE WEST 135 FEET OF LOT 3 AND THE EAST 9.0 FEET OF THE WEST 144.0 FEET OF THE NORTH 8.0 FEET OF LOT 3, BLOCK 48, OF OCEAN BEACH, FLORIDA, ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, AT PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

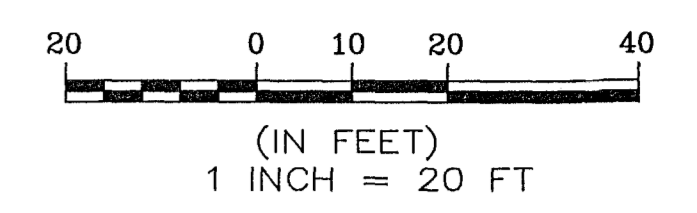
A/K/A 550 WASHINGTON AVE., MIAMI BEACH, FL 33139

NOTES:

- 1) BEARINGS SHOWN HEREON REFER TO AN ASSUMED BEARING OF DUE SOUTH ALONG THE CENTER LINE OF EUCLID AVENUE.
- 2) LEGAL DESCRIPTION SHOWN HEREON WAS PROVIDED BY CLIENT.
- 3) THE NET AREA OF PROPERTY SHOWN HEREON= 16,078± ACRES (0.37 Sq. Ft)
- 4) UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTINGS AND/OR FOUNDATIONS. NOTING ALSO, THAT THE BUILDING INTERFACE (WITH THE ADJOINER) AT THE NORTH PROPERTY LINE HAD LIMITED ACCESS AND TO SOME EXTENTS IS PHYSICALLY INTERCONNECTED.
- 5) PREPARED FOR: LUIGI DEANGELIS
- 6) THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE ATTACHED CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTIES.
- 7) PROPERTY SHOWN HEREON FALLS WITHIN FEDERAL FLOOD ZONE AE (EL 8), PER F.I.R.M. COMMUNITY PANEL NO. 120651 0319 L, OF MAP DATED 09-11-2009.
- 8) VISIBLE INDICATORS OF UTILITIES ARE SHOWN HEREON, HOWEVER, NO ATTEMPT HAS BEEN MADE TO LOCATE UNDERGROUND ITEMS.
- 9) DISTANCES ALONG BOUNDARY OF SUBJECT PROPERTY ARE RECORD AND MEASURED, UNLESS OTHERWISE STATED.
- 10) THE SURVEY SHOWN HEREON REFLECTS ALL PLOTTABLE EASEMENTS, RIGHTS-OF-WAY AND OTHER MATTERS LISTED FOR PARCEL II IN TITLE COMMITMENT FILE NO. 08-0010/089386 ISSUED BY NATIONAL TITLE INSURANCE COMPANY, DATED AUGUST 05, 2008 AT 11:59 A.M.
- 11) ELEVATIONS SHOWN HEREON REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.)
- 12) BENCHMARKS
 - a) NORTH RIM SANITARY SEWER MANHOLE ON CENTER LINE OF 6TH STREET ON ALLEY TO NORTH BETWEEN ALTON ROAD AND LENOX AVENUE. ELEVATION=3.98 (N.G.V.D.)
 - b) DADE COUNTY BENCHMARK No 3151, BULLNOSE ON NORTH MEDIAN OF ALTON ROAD AND FIFTH STREET. ELEVATION=3.72 (N.G.V.D.)

NOTES REGARDING SCHEDULE B - SECTION 2:

- ITEM 15: RESTRICTION AND DEDICATIONS PER PLAT BOOK 2 AT PAGE 81, SHOWN ON SKETCH.
- ITEM 16: OFFICIAL RECORDS BOOK 2400, PAGE 352, IS SHOWN HEREON.
- ITEM 17: CLERK'S FILE No. 67R-1033356, AFFECTS PROPERTY BUT NOT PLOTTABLE.
- ITEM 18: OFFICIAL RECORDS BOOK 13784, PAGE 2484, IS SHOWN HEREON.
- ITEM 19: OFFICIAL RECORDS BOOK 13676, PAGE 3275, AFFECTS PROPERTY BUT NOT PLOTTABLE. OFFICIAL RECORDS BOOK 13747, PAGE 288, AFFECTS PROPERTY BUT NOT PLOTTABLE. OFFICIAL RECORDS BOOK 13768, PAGE 3140, AFFECTS PROPERTY BUT NOT PLOTTABLE.
- ITEM 20: OFFICIAL RECORDS BOOK 22734, PAGE 1431, AFFECTS PROPERTY BUT NOT PLOTTABLE.
- ITEM 21: OFFICIAL RECORDS BOOK 23437, PAGE 1822, AFFECTS PROPERTY BUT NOT PLOTTABLE.
- ITEM 22: OFFICIAL RECORDS BOOK 17171, PAGE 1084, AFFECTS PROPERTY BUT NOT PLOTTABLE. OFFICIAL RECORDS BOOK 17183, PAGE 735, AFFECTS PROPERTY BUT NOT PLOTTABLE.
- ITEM 23: OFFICIAL RECORDS BOOK 19035, PAGE 2553, AFFECTS PROPERTY BUT NOT PLOTTABLE.



GENERAL NOTES AND SPECIFICATIONS

I. APPLICABLE CODES

1. ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT CITY OF MIAMI BEACH PUBLIC WORKS STANDARDS AND SPECIFICATIONS AS WELL AS ALL LOCAL, STATE, AND NATIONAL CODES AND REGULATORY REQUIREMENTS, AS APPLICABLE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
3. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER SITE FEATURES SHOWN ON THE DRAWINGS WERE OBTAINED FROM THE BOUNDARY SURVEY BY:
SCHWEBKE-SHISKIN AND ASSOCIATES, INC.
3240 CORPORATE WAY
MIRAMAR, FL 33025
PHONE (954) 435-7010
4. ELEVATIONS SHOWN HEREON RELATE TO NATIONAL GEODETIC VERTICAL DATUM, N.G.V.D., 1929.
5. PROPOSED ELEVATIONS SHOWN ARE FINISHED GRADES.
6. EXISTING UTILITIES TO BE ADJUSTED IN ACCORDANCE WITH PROPOSED GRADES AND REQUIREMENTS OF UTILITY OWNERS, AS REQUIRED.
7. EXISTING STRUCTURES, UTILITIES AND OTHER IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, TREES SUCH AS BUILDING SEWERS, DRAINS, WATER OR GAS PIPES, CONDUITS, POLES, WALLS, COLUMNS, ETC., WHETHER OR NOT SHOWN ON THE PLANS, ARE TO BE CAREFULLY PROTECTED FROM DAMAGE. IF DAMAGE OCCURS FROM WORK PERFORMED UNDER THIS CONTRACT, THE CONTRACTOR SHALL PROMPTLY REPAIR THE DAMAGED ITEM(S) TO THE CONDITION OF THE ITEM(S) PRIOR TO THE DAMAGE. THIS WORK SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
8. THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.
9. CONTRACTOR SHALL PRESERVE ALL STREET SIGNS, PARKING METERS, BENCHES, TRAFFIC CONTROL SIGNS, ETC. WHEN DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL REINSTALL OR DELIVER SAID PUBLIC PROPERTY TO THE COUNTY YARD.
10. THE CONTRACTOR SHALL COORDINATE HIS/HERS WORK WITH ANY OTHER UTILITY AND BUILDING TRADES WORKING ON THIS OR ADJACENT PROJECT.
11. ALL DITCH EXCAVATION SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE PROVISIONS OF THE FLORIDA TRENCH SAFETY ACT.
12. THE CONTRACTOR SHALL TAKE SPECIAL NOTE OF SOIL CONDITIONS THROUGHOUT THIS PROJECT. ANY SPECIAL SHORING, SHEETING OR OTHER PROCEDURES NECESSARY TO PROTECT ADJACENT PROPERTY, EITHER PUBLIC OR PRIVATE, DURING EXCAVATION OF SUBSOIL MATERIAL OR DURING THE FILLING OF ANY AREA, OR FOR ANY OPERATION DURING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

II. PRECONSTRUCTION RESPONSIBILITIES

1. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT ANY INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED AND UPON WHICH THEIR BIDS WILL BE BASED.
2. 48 HOURS BEFORE BEGINNING CONSTRUCTION IN THE AREA, THE CONTRACTOR SHALL NOTIFY SUNSHINE STATE CALL ONE OF FLORIDA, INC. AT 1-800-432-4770 AND ANY OTHER UTILITIES WHICH MIGHT BE AFFECTED.
3. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER, AND THE ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL APPLY FOR AND PROCURE ALL PERMITS AND LICENSES, PAY ALL CHARGES, TAXES, ROYALTIES & FEES, AND GIVE ALL NOTICES NECESSARY TO COMPLETE THIS PROJECT. (WITH THE EXCEPTION OF DRAINAGE AND WATER & SEWER APPROVALS FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND FDOT WHICH WILL BE OBTAINED BY THE ENGINEER OF RECORD.)
5. THE CONTRACTORS SHALL COORDINATE WITH UTILITY COMPANIES TO ARRANGE FOR ANY REMOVAL, RELOCATION AND TEMPORARY SUPPORT OF UTILITY FEATURES, ETC. AS NECESSARY TO COMPLETE THE WORK, IF APPLICABLE.
6. THE LOCATIONS OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL LOCATE AND EXPOSE ALL EXISTING UTILITIES TO BE CONNECTED SUFFICIENTLY AHEAD OF CONSTRUCTION TO ALLOW REDESIGN BY THE ENGINEER IF SUCH UTILITIES ARE FOUND TO BE DIFFERENT THAN THOSE SHOWN ON PLANS.

III. SHOP DRAWINGS

1. PRIOR TO CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD FOR THE FOLLOWING ITEMS: CATCH BASINS AND ALL OTHER DRAINAGE STRUCTURES, DRAINAGE PIPE, BALLAST ROCK, EXFILTRATION TRENCH FILTER FABRIC. IN ADDITION, SOME CITIES, COUNTIES, STATE AND/OR NATIONAL REGULATORY AGENCIES REQUIRE THEIR OWN INDIVIDUAL REVIEW AND APPROVAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY SHOP DRAWING APPROVALS IF REQUIRED.

IV. TEMPORARY FACILITIES

1. TEMPORARY FACILITIES
 - A. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, AND ELECTRICITY, DURING CONSTRUCTION.
 - B. THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE ACCESS ENTRANCE TO COMMERCIAL PROPERTIES AT ALL TIMES, IF APPLICABLE.

C. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF CONSTRUCTION, IF APPLICABLE.

2. TRAFFIC REGULATION

- A. THE CONTRACTOR SHALL PROVIDE ALL WARNING SIGNALS, SIGNS, LIGHTS AND FLAG PERSONS AS NECESSARY FOR THE MAINTENANCE OF TRAFFIC WITHIN PUBLIC RIGHT-OF-WAYS IN ACCORDANCE WITH M.U.T.C.D. AND FDOT.
- B. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- C. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT THE EXPRESS PERMISSION OF THE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT.

V. PROJECT CLOSE OUT:

1. CLEANING UP

- A. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEANUP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.
- B. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS/HER WORK, EQUIPMENT AND/OR EMPLOYEES TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.
- C. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, MAILBOXES, SIGNS AND ANY OTHER IMPROVEMENTS REMOVED DURING CONSTRUCTION WITH THE SAME TYPE OF MATERIAL AND TO THE CONDITION WHICH EXISTED PRIOR TO THE BEGINNING OF OPERATIONS.
- D. WHERE MATERIAL OR DEBRIS HAVE WASHED OR FLOWED INTO, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
- E. ALL DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATED MATERIAL, DEMOLITION, VEGETATION, RUBBISH AND DEBRIS SHALL BE MADE OUTSIDE THE LIMITS OF CONSTRUCTION AT A LEGAL DISPOSAL SITE PROVIDED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, WITH THE PRIOR APPROVAL OF THE ENGINEER. MATERIAL CLEARED FROM THE SITE SHALL NOT BE DEPOSITED ON ADJACENT AND/OR NEARBY PROPERTY.

2. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.

3. PROJECT RECORD DOCUMENTS

- A. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.
- B. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH AS-BUILT GRADES AND LOCATIONS OF FINISHED PAVEMENT, SIDEWALKS, CURBS, AND ALL PHYSICAL IMPROVEMENTS. SUCH GRADES SHALL BE OBTAINED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF FLORIDA, AND SHALL DOCUMENT THE INTENT OF THE PROPOSED GRADES SHOWN ON THE PLANS. THIS SHALL BE DONE AT NO COST TO THE OWNER.

4. CONTRACTOR TO REPLACE ALL FOUND PIPES WITH NAIL AND DISKS.

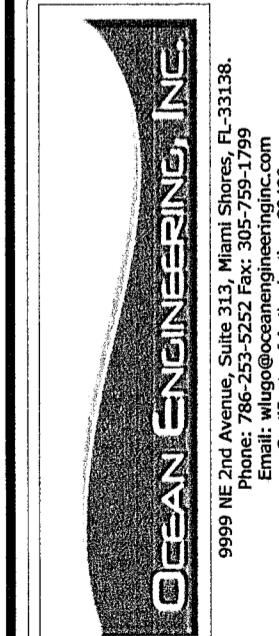
Revision Description

Date

No.

GENERAL NOTES & SPECIFICATIONS
BAMBOO GROUP, INC.
550 WASHINGTON AVENUE,
MIAMI BEACH, FL-33139

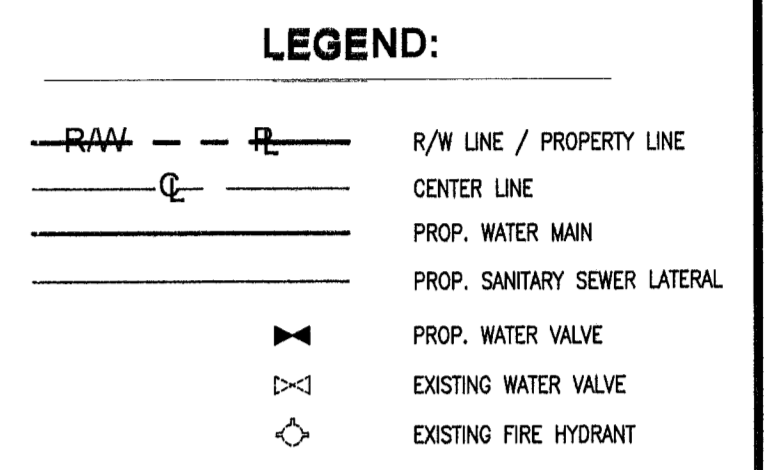
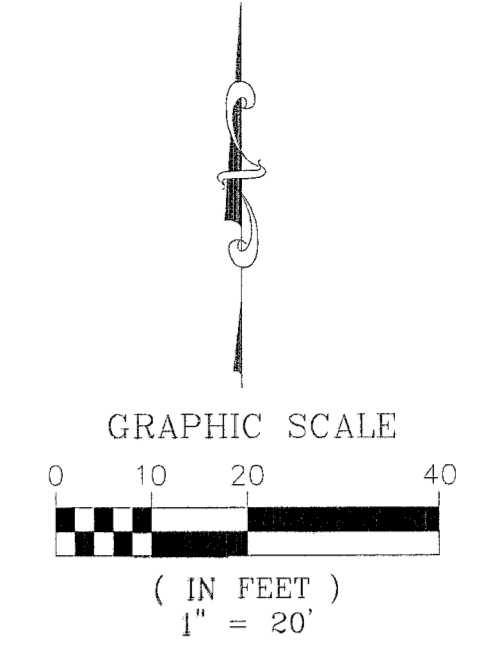
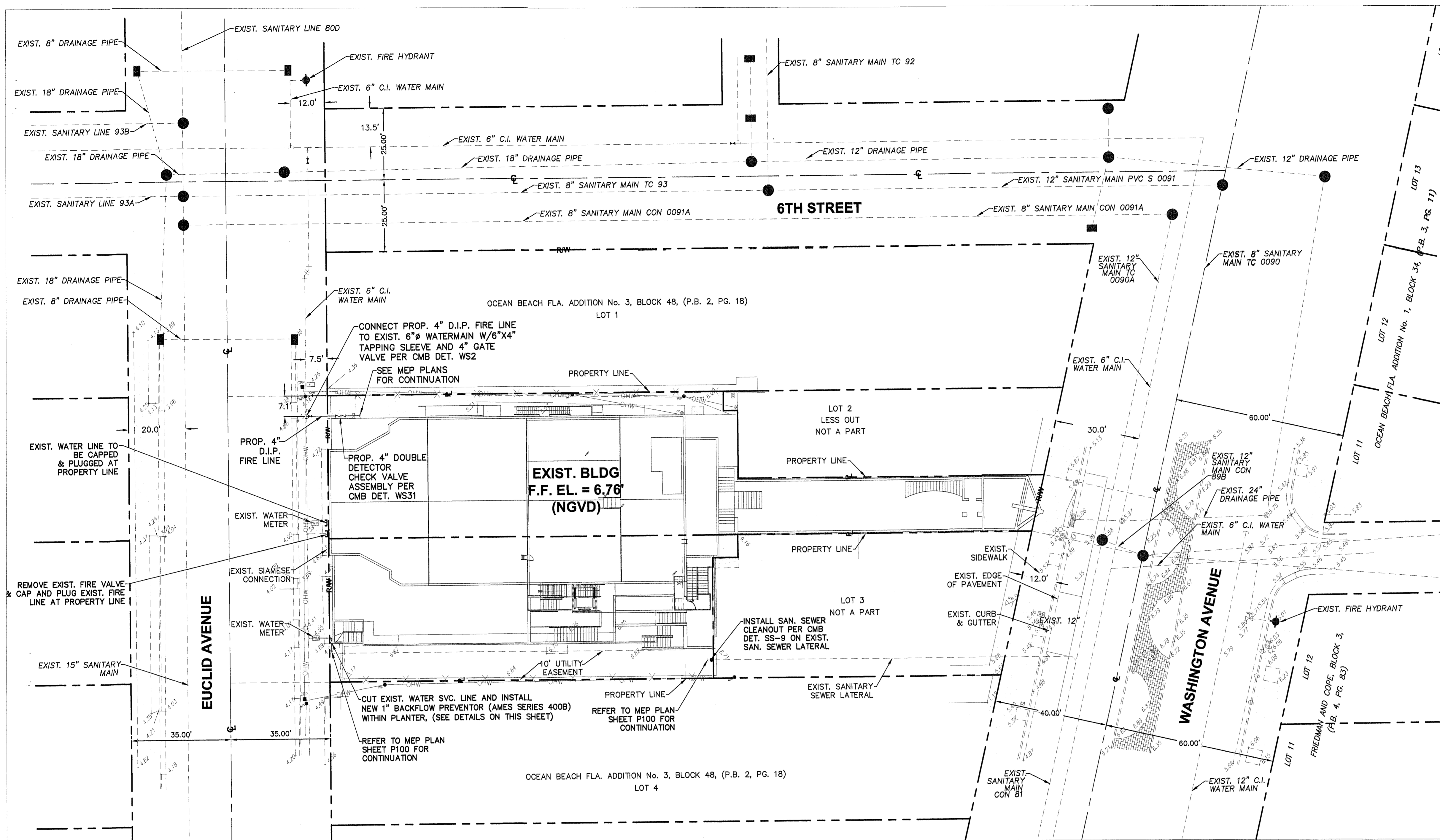
ENGINEER OF RECORD
WALTER M. LUSO, P.E.
FLORIDA PE LIC. NO. 61747



Date: 11/11/11
Scale:
Designed By: W.M.L.
Drawn By: L.K.
Checked By: W.M.L.
CAD File: GENERAL NOTES
Project No.: 2011-1103-18
Dwg. No.: C100
Sheet:



47

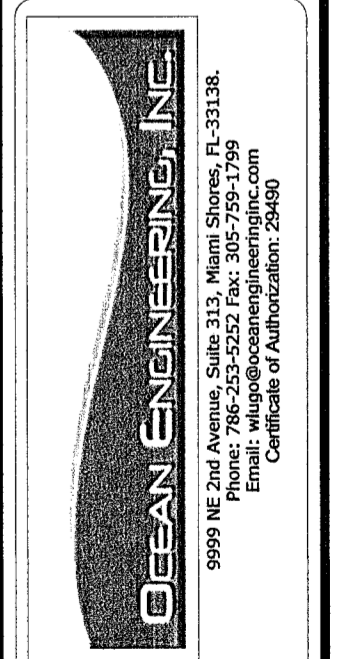


- NOTES:**
- 1) REMOVE AND REPLACE SIDEWALK ALONG THE ENTIRE PROPERTY.
 - 2) MILL AND RESURFACE 2 INCHES AVERAGE USING TYPE S-III ASPHALT MIX DESIGN ON THE DRIVING LANE (10 FEET WIDE) ALONG THE ENTIRE PROPERTY.
 - 3) ALL CONSTRUCTION AND/OR USE OF EQUIPMENT IN THE RIGHT-OF-WAY WILL REQUIRE A SEPARATE PUBLIC WORKS DEPARTMENT CONSTRUCTION PERMIT.
 - 4) LANDSCAPING IMPROVEMENTS WITHIN THE RIGHT-OF-WAY REQUIRE A PRELIMINARY APPROVAL FROM CITY OF MIAMI BEACH PLANNING AND PARKS DEPARTMENTS PRIOR TO APPLYING FOR A PUBLIC WORKS RIGHT-OF-WAY CONSTRUCTION PERMIT.

WATER AND SEWER PLAN
BAMBOO GROUP, INC.
 550 WASHINGTON AVENUE,
 MIAMI BEACH, FL-33139

ENGINEER OF RECORD

 WALTER M. LUGO, P.E.
 FLORIDA P.E. LIC. NO. 61747



Date: 11/11/11
 Scale: SEE SHEET
 Designed By: W.M.L.
 Drawn By: L.K.
 Checked By: W.M.L.
 CAD File: W & S PLAN
 Project No.: 2011-1103-18
 Dwg. No.: C200
 Sheet:

Series 400B
 Reduced Pressure Zone Assemblies
 Sizes: 1/2" - 2" (20 - 50mm)

Features:

- Separate access covers for the check valve and relief valve for ease of maintenance
- Top entry all check internals easily accessible
- All rubber elastomers of chloramine resistant material
- Check valve poppet assemblies are fully guided by innovative plastic seat guide
- Replaceable push-in check valve and relief valve seal eliminates leaks from the water way
- EZ built relief valve cover/pressure tank locking joint eases the spring load during repair to facilitate disassembly
- Innovative check valve plastic cover bushing provides trouble free guiding of the check valve poppet
- Bottom mounted relief valve provides reduced installation clearances
- Compact, space saving design
- No special tools required for servicing
- Top mounted test cocks for ease in testing and reduced installation clearances
- Standardly furnished with NPT body connections

Specifications:

A Reduced Pressure Zone Assembly shall be installed at each potential health hazard location to prevent backflow due to backsiphonage and/or backpressure. The assembly shall consist of a pressure differential relief valve located in a zone between two positive venting check valves. Seats and seal discs shall be replaceable in both check valves and the relief valve without the use of special tools. Service of all internal check valve components shall be through top mounted access covers threaded to the main valve body. The check valve poppet assembly shall be guided into the use of a corrosion resistant plastic guide. The check valve and relief valve seats shall be push-in type. The relief valve cover shall be secured with stainless steel bolts and shall utilize a quarter turn locking pin to capture the spring load of the relief valve. The relief valve shall have an internal sensing line to sense line fluid water supply. All rubber elastomers shall be of chloramine resistant material. The assembly shall also include two resilient seated isolation valves, four top-mounted resilient seated test cocks and an air gap drain fitting. The assembly shall be an Ames Company Series 400B.

Job Name: _____ Contractor: _____
 Job Location: _____ Approved: _____
 Engineer: _____ Contractor's P.O. No: _____
 Approval: _____ Representative: _____

Ames product specifications in U.S. customary units and metric are appropriate and are intended for reference only. For precise measurements, please consult Ames Technical Service. Ames reserves the right to change product specifications or materials without notice and Ames reserves the right to change product specifications and materials without notice.

www.amesflowcontrol.com

Available Models

Suffix:

- B quarter-turn ball valves
- D bronze strainer
- L8V less ball valve
- A- elbow fitting for 90° rotation
- Z- inlet & outlet flow top
- PC- polymer coated
- LV- locking handle ball valves (open position)
- CA- cap & leather test cocks
- PP- slow close ball valves
- U- union connections

Pressure — Temperature
 Temperature Range: 32°F - 180°F (0°C - 82°C)
 Maximum Working Pressure: 175psi (12 CG bar)

Approvals

Approved by the Foundation for Cross-Connection Control and Hydraulic Research at the University of Southern California for sizes 1/2" - 2"

Materials

Body: Bronze
 Discs: Silicone rubber
 Check Seats: Replaceable polymer
 Cover Bolts: Stainless steel

Air Gaps

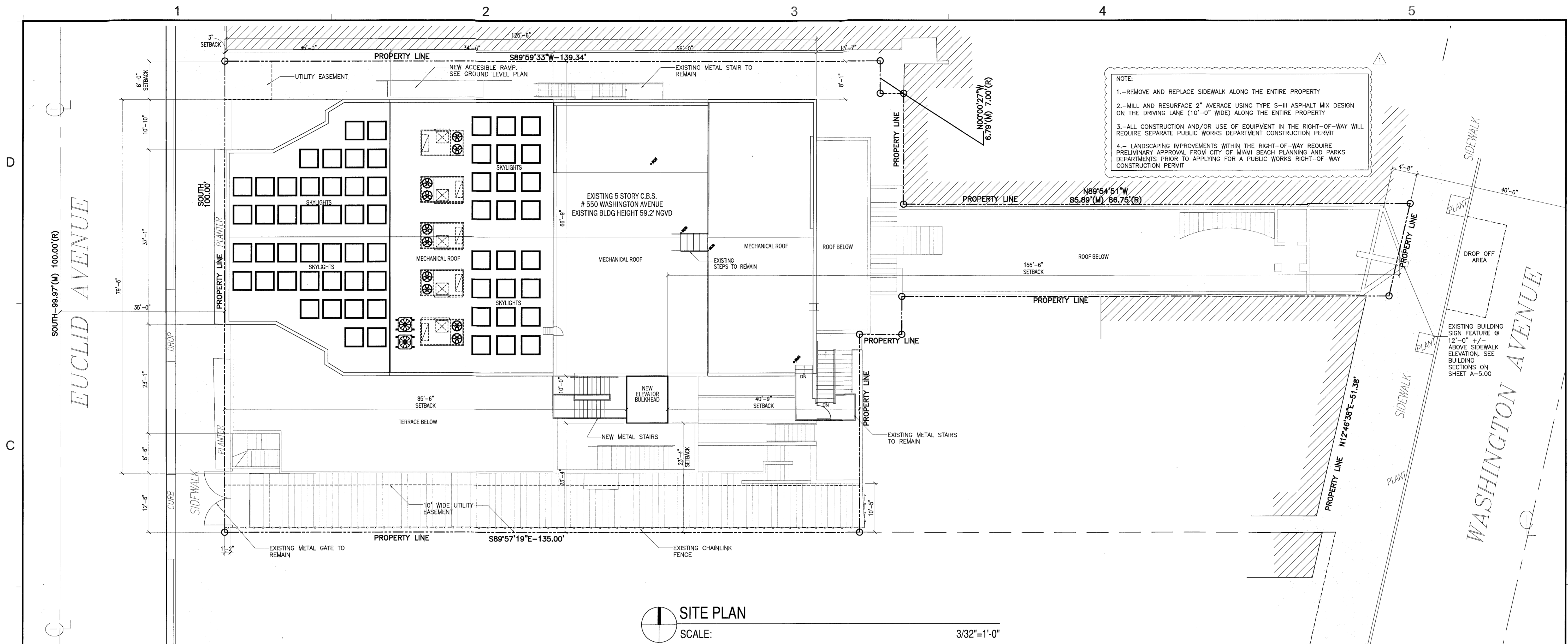
Dimensions and Weights

SIZE	STANDARD			MINOR DIMENSIONS			WEIGHT (LBS)
	A	B	C	A	B	C	
1/2"	1.75	1.75	1.75	1.75	1.75	1.75	0.8
3/4"	2.00	2.00	2.00	2.00	2.00	2.00	1.2
1"	2.25	2.25	2.25	2.25	2.25	2.25	1.8
1 1/2"	2.75	2.75	2.75	2.75	2.75	2.75	2.8
2"	3.25	3.25	3.25	3.25	3.25	3.25	4.2

BACKFLOW PREVENTER DETAIL

BACKFLOW PREVENTER DETAIL





NOTE:
 1.-REMOVE AND REPLACE SIDEWALK ALONG THE ENTIRE PROPERTY
 2.-MILL AND RESURFACE 2" AVERAGE USING TYPE S-III ASPHALT MIX DESIGN ON THE DRIVING LANE (10'-0" WIDE) ALONG THE ENTIRE PROPERTY
 3.-ALL CONSTRUCTION AND/OR USE OF EQUIPMENT IN THE RIGHT-OF-WAY WILL REQUIRE SEPARATE PUBLIC WORKS DEPARTMENT CONSTRUCTION PERMIT
 4.- LANDSCAPING IMPROVEMENTS WITHIN THE RIGHT-OF-WAY REQUIRE PRELIMINARY APPROVAL FROM CITY OF MIAMI BEACH PLANNING AND PARKS DEPARTMENTS PRIOR TO APPLYING FOR A PUBLIC WORKS RIGHT-OF-WAY CONSTRUCTION PERMIT

REVISIONS / SUBMISSIONS	
1	BLDG DEPT COMMENTS 10-25-11
2	BLDG DEPT COMMENTS 11-21-11
3	
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1151
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BAMBOO GROUP INC.
 550 WASHINGTON AVENUE
 MIAMI BEACH, FLORIDA
SITE PLAN & PROJECT DATA

SITE PLAN
 SCALE: 3/32"=1'-0"

PROJECT DATA

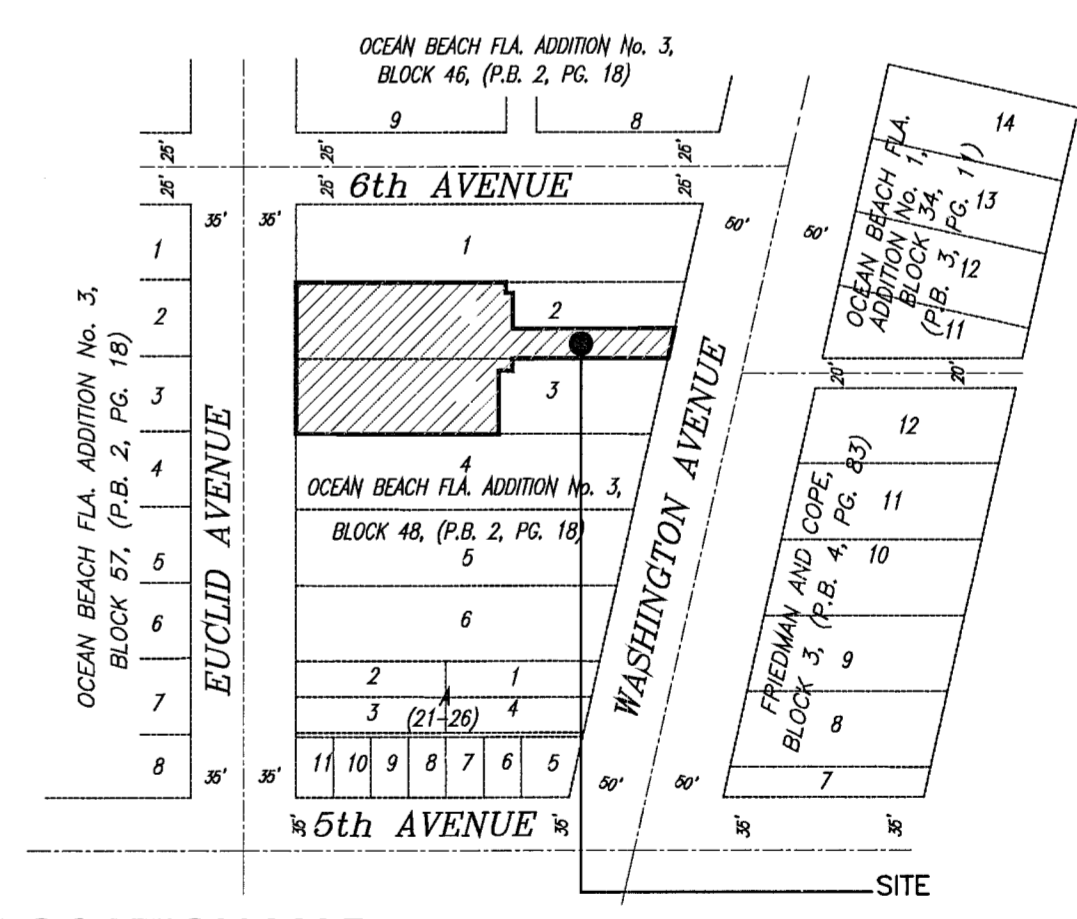
BAMBOO GROUP INC 550 WASHINGTON AVENUE, MIAMI BEACH		
BUILDING INFORMATION EXISTING BUILDING TYPE OF OCCUPANCY = ASSEMBLY A-2 NEW ENTERTAINMENT ESTABLISHMENT TYPE OF CONSTRUCTION = TYPE IIA		
ZONING INFORMATION		
	REQUIRED	PROVIDED
ZONING DISTRICT	CPS-2	
FLOOD ELEVATION	AE-8.0	
NET LOT AREA	6,000 SQFT MIN	16,078 SQFT (0.37 ACRE)
MIN LOT WIDTH	50'-0"	50'-0"
SITE REQUIREMENTS		
	REQUIRED/ALLOWED	PROVIDED
BUILDING HEIGHT	50'-0"	53'-8" (EXISTING) 62'-6" (NEW-TOP OF ELEVATOR BULKHEAD)
MAX NUMBER OF STORIES	5	4 STORIES
FLOOR AREA RATIO (F.A.R.) (2.00XNLA)	(2.00 X 16,078) 32,156 S.F.	21,522 S.F. (SEE SHEET A-0.1) (A/C AREA- F.A.R.)
SETBACK REQUIREMENTS		
	REQUIRED	PROVIDED
FRONT- WASHINGTON AVENUE	0' FT	15'-6" (NEW ELEV. BULKHEAD) 4'-8" (EXISTING)
REAR- EUCLID AVENUE	5' FT	85'-6" (NEW ELEV. BULKHEAD) 0'-3" (EXISTING)
SIDE INTERIOR- NORTH	0' FT	66'-9" (NEW ELEV. BULKHEAD) 8'-0" (EXISTING)
SIDE INTERIOR- SOUTH	0' FT	66'-9" (NEW ELEV. BULKHEAD) 8'-0" (EXISTING)

APPLICABLE CODES
 ALL WORK ON THIS PROJECT SHALL COMPLY WITH:
 2007 FLORIDA BUILDING CODE: BUILDING
 2007 FLORIDA BUILDING CODE: EXISTING BUILDING
 NATIONAL FIRE PROTECTION ASSOCIATION (N.F.P.A 101, LIFE SAFETY CODE, FLORIDA 2006 EDITION)
 FLORIDA FIRE PREVENTION CODE 2007 EDITION

SCOPE OF WORK
 RENOVATION OF EXISTING BUILDING FOR NEW ENTERTAINMENT ESTABLISHMENT (PERFORMANCE THEATER AND LOUNGE). THE SCOPE INCLUDE PROVIDING ACCESSIBILITY THROUGH ALL PUBLIC LEVELS OF THE EXISTING BUILDING, SELECTIVE DEMOLITION AND BUILDOUT OF THE INTERIOR. MINIMAL EXTERIOR WORK IS INCLUDED, PROVIDING FOR THE NEW VERTICAL TRANSPORTATION STRUCTURES AND OTHER MINOR ADJUSTMENTS TO ACCOMMODATE THE NEW INTERIOR BUILDOUT.
 WORK AREA INCLUDES ALL PORTIONS OF EXISTING BUILDING. TOTAL WORK AREA = 34,922 SQFT

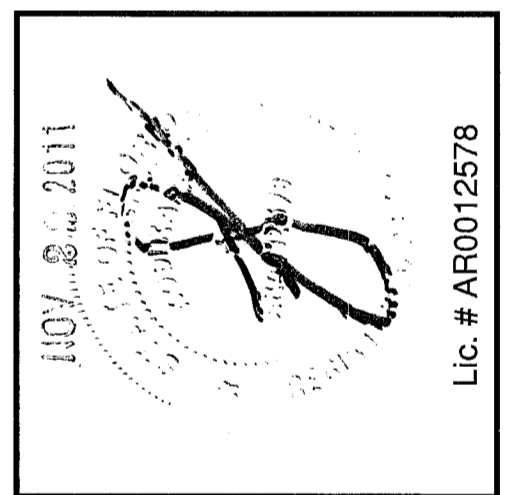
TYPE OF WORK
 ALTERATION LEVEL III, PER FBC (E) 2007 SECTION 404.1

GENERAL NOTES:
 1.- LIFE SAFETY SYSTEM, FIRE SPRINKLERS AND FIRE ALARM SHALL REMAIN ACTIVE DURING THE DEMO PHASE (SHELL COVERAGE)
 2.- BUILDING SHALL BE UNOCCUPIED DURING ALL PHASES OF DEMO AND CONSTRUCTION OF THE BUILDING.
 3.- PROPOSED BUILDING IS FULLY EQUIPPED WITH A COMPLETE FIRE SPRINKLER AND FIRE ALARM SYSTEM. SEE FIRE PROTECTION SHEETS.

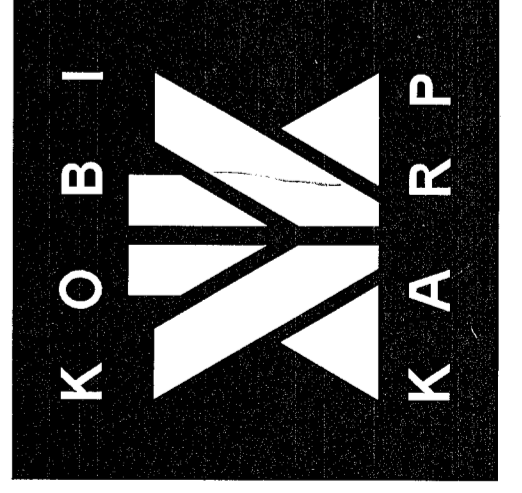


LOCATION MAP
 SCALE: N.T.S.

LEGAL DESCRIPTION
 ALL OF LOT 2, BLOCK 48, OF OCEAN BEACH, FLORIDA, ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, AT PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS THE PORTION MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2; THENCE RUN SOUTHWESTERLY ALONG THE EAST LINE OF SAID LOT 2, A DISTANCE OF 31.22 FEET MORE OR LESS IN THE POINT OF INTERSECTION WITH THE EASTERLY EXTENSION OF THE NORTH FACE OF A C.B.S. BUILDING; THENCE RUN WESTWARDLY ALONG THE WESTERLY EXTENSION, A DISTANCE OF 24.75 FEET MORE OR LESS TO A BREAK IN SAID C.B.S. BUILDING; THENCE RUN SOUTH ALONG A FACE OF SAID C.B.S. BUILDING A DISTANCE OF 0.2 FEET, MORE OR LESS TO THE FACE OF A NORTH WALL OF SAID C.B.S. BUILDING; THENCE RUN WESTWARDLY ALONG THE FACE OF THE NORTH WALL OF SAID C.B.S. BUILDING, A DISTANCE OF 86.75 FEET, MORE OR LESS, TO A POINT; THENCE RUN NORTHWARDLY ALONG AN EAST FACE OF SAID C.B.S. BUILDING AND ITS NORTHERLY EXTENSION, A DISTANCE OF 23.68 FEET, MORE OR LESS, TO A POINT; THENCE RUN WESTWARDLY ALONG A LINE PARALLEL TO THE NORTH LINE OF SAID LOT 2, FOR A DISTANCE OF 6.0 FEET TO A POINT; THENCE RUN NORTHWARDLY ALONG A LINE PARALLEL TO THE NORTHERLY EXTENSION OF SAID EAST FACE OF SAID C.B.S. BUILDING FOR A DISTANCE OF 7.0 FEET, MORE OR LESS, TO A POINT ON THE NORTH LINE OF SAID LOT 2; THENCE RUN EASTWARDLY ALONG THE NORTH LINE OF SAID LOT 2, A DISTANCE OF 119.66 FEET, MORE OR LESS TO THE POINT OF BEGINNING.
 AND
 THE WEST 135 FEET OF LOT 3 AND THE EAST 8.0 FEET OF THE WEST 144.0 FEET OF THE NORTH 8.0 FEET OF LOT 3, BLOCK 48, OF OCEAN BEACH, FLORIDA, ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, AT PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
 A/K/A 550 WASHINGTON AVE., MIAMI BEACH, FL 33139

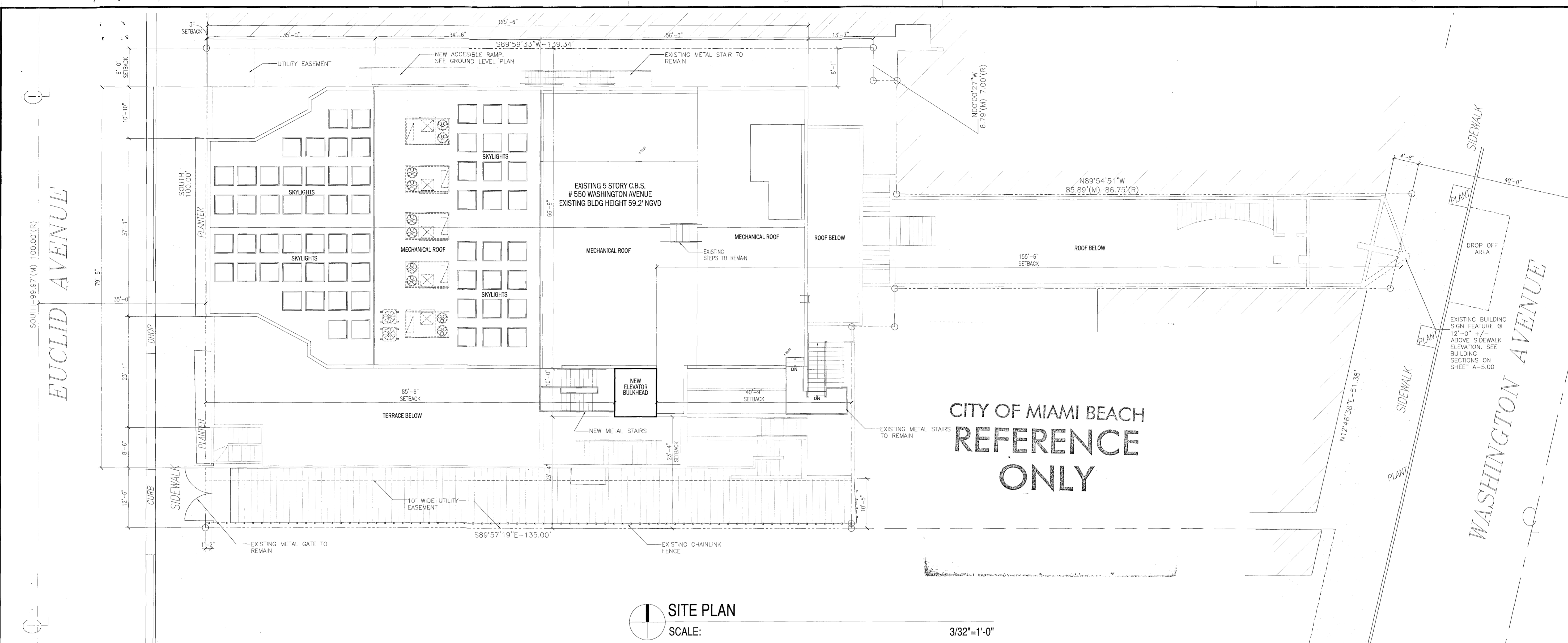


ARCHITECTURE INTERIOR DESIGN PLANNING
 AIA ASID NCARB
 2916 Biscayne Boulevard
 Miami, Florida 33137
 O 305.573.1818
 F 305.573.3766
 WWW.KOBKARP.COM
 Lic. # AR0012578



DRAWN BY: MD,JO
 CHECKED BY: JG
 DATE: 09-08-11

A-0.00



CITY OF MIAMI BEACH
REFERENCE ONLY

SITE PLAN
 SCALE: 3/32"=1'-0"

PROJECT DATA

BAMBOO GROUP INC 550 WASHINGTON AVENUE, MIAMI BEACH		
BUILDING INFORMATION		
EXISTING BUILDING TYPE OF OCCUPANCY = ASSEMBLY A-2 NEW ENTERTAINMENT ESTABLISHMENT		
ZONING INFORMATION		
	REQUIRED	PROVIDED
ZONING DISTRICT	CPS-2	
FLOOD ELEVATION	AE-8.0	
NET LOT AREA	6,000 SQFT MIN	16,078 SQFT (0.37 ACRE)
MIN LOT WIDTH	50'-0"	50'-0"
SITE REQUIREMENTS		
	REQUIRED/ALLOWED	PROVIDED
BUILDING HEIGHT	50'-0"	53'-8" (EXISTING) 62'-6" (NEW-TOP OF ELEVATOR BULKHEAD)
MAX NUMBER OF STORES	5	5 STORES
FLOOR AREA RATIO (F.A.R.) (2.00XNLA)	(2.00 X 16,078) 32,156 S.F.	21,522 S.F. (SEE SHEET A-0.1) (A/C AREA)
SETBACK REQUIREMENTS		
	REQUIRED	PROVIDED
FRONT- WASHINGTON AVENUE	0' FT	155'-6" (NEW ELEV. BULKHEAD) 4'-8" (EXISTING)
REAR- EUCLID AVENUE	5' FT	85'-6" (NEW ELEV. BULK-HEAD) 0'-3" (EXISTING)
SIDE INTERIOR- NORTH	0' FT	66'-9" (NEW ELEV. BULK-HEAD) 8'-0" (EXISTING)
SIDE INTERIOR- SOUTH	0' FT	66'-9" (NEW ELEV. BULK-HEAD) 8'-0" (EXISTING)

APPLICABLE CODES
 ALL WORK ON THIS PROJECT SHALL COMPLY WITH:
 2007 FLORIDA BUILDING CODE: BUILDING
 2007 FLORIDA BUILDING CODE: EXISTING BUILDING
 NATIONAL FIRE PROTECTION ASSOCIATION
 (N.F.P.A 101, LIFE SAFETY CODE, FLORIDA 2007 EDITION)

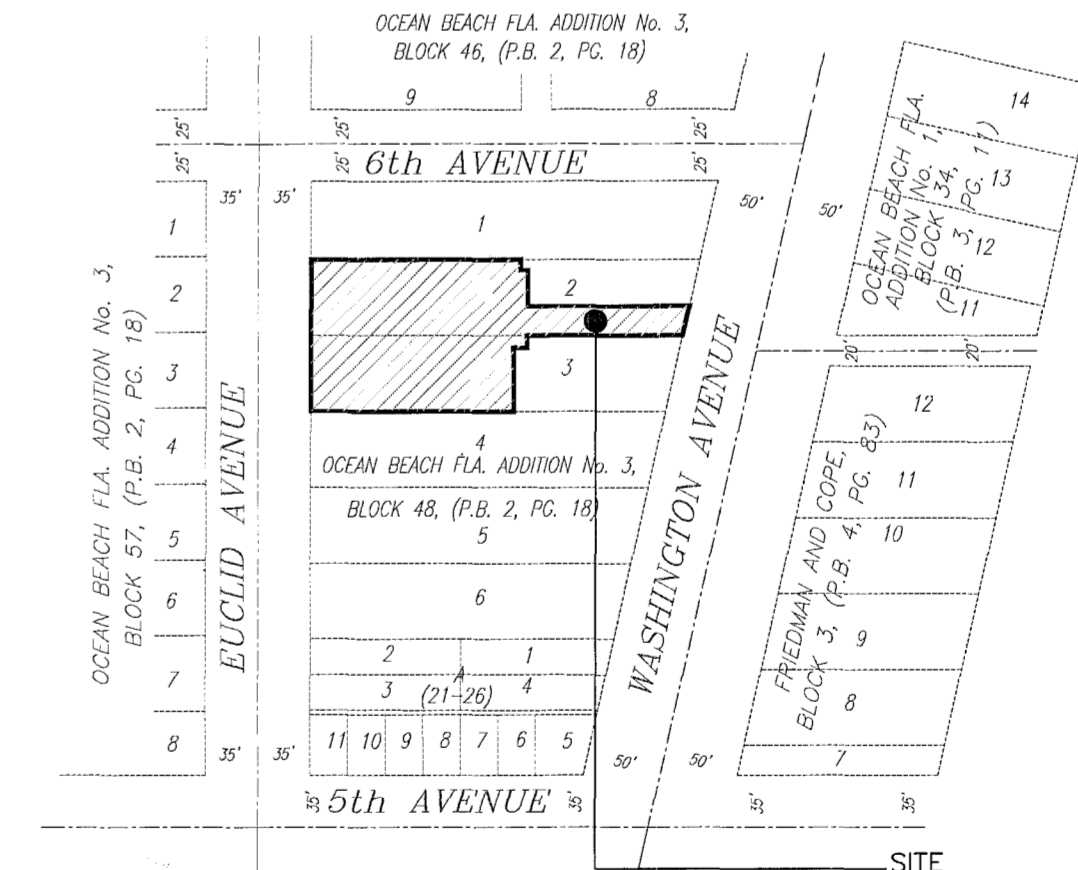
SCOPE OF WORK
 RENOVATION OF EXISTING BUILDING FOR NEW ENTERTAINMENT ESTABLISHMENT (PERFORMANCE THEATER AND LOUNGE). THE SCOPE INCLUDE PROVIDING ACCESSIBILITY THROUGH ALL PUBLIC LEVELS OF THE EXISTING BUILDING, SELECTIVE DEMOLITION AND BUILDOUT OF THE INTERIOR, MINIMAL EXTERIOR WORK IS INCLUDED, PROVIDING FOR THE NEW VERTICAL TRANSPORTATION STRUCTURES AND OTHER MINOR ADJUSTMENTS TO ACCOMMODATE THE NEW INTERIOR BUILDOUT.

NOV 29 2011
 MIAMI-DADE COUNTY
 APPROVED

DERM Number: 2011-0920-1208-2278
 Contact Name: JEFF WELOFF
 Contact Phone: (786) 262-3777
 Folio: 02-4203-009-1900
 Project Name: PARIS THEATRE
 Date Received: 09/20/2011

DERM
PLAN REVIEW
FINAL
APPROVAL
 DEPARTMENT OF ENVIRONMENTAL
 RESOURCES MANAGEMENT

CORE REVIEWER (PRINT): *KARLA TUN*
 SIGNATURE: *[Signature]* DATE: 10-08-11
 (21,522) sq ft entertainment establishment and performing arts lounge



LOCATION MAP
 SCALE: N.T.S.

LEGAL DESCRIPTION
 ALL OF LOT 2, BLOCK 48, OF OCEAN BEACH, FLORIDA, ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, AT PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS THE PORTION MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2; THENCE RUN SOUTH-WESTERLY ALONG THE EAST LINE OF SAID LOT 2, A DISTANCE OF 31.22 FEET MORE OR LESS TO THE POINT OF INTERSECTION WITH THE EASTERLY EXTENSION OF THE NORTH FACE OF A C.B.S. BUILDING; THENCE RUN WESTWARDLY ALONG THE WESTERLY EXTENSION, A DISTANCE OF 21.75 FEET, MORE OR LESS TO A BREAK IN SAID C.B.S. BUILDING; THENCE RUN SOUTH ALONG A FACE OF SAID C.B.S. BUILDING A DISTANCE OF 0.2 FEET, MORE OR LESS TO THE FACE OF A NORTH WALL OF SAID C.B.S. BUILDING; THENCE RUN WESTWARDLY ALONG THE FACE OF THE NORTH WALL OF SAID C.B.S. BUILDING, A DISTANCE OF 86.75 FEET, MORE OR LESS, TO A POINT; THENCE RUN NORTHWARDLY ALONG AN EAST FACE OF SAID C.B.S. BUILDING AND ITS NORTHERLY EXTENSION A DISTANCE OF 23.98 FEET, MORE OR LESS, TO A POINT; THENCE RUN WESTWARDLY ALONG A LINE PARALLEL TO THE NORTH LINE OF SAID LOT 2, FOR A DISTANCE OF 5.0 FEET TO A POINT; THENCE RUN NORTHWARDLY ALONG A LINE PARALLEL TO THE NORTHERLY EXTENSION OF SAID EAST FACE OF SAID C.B.S. BUILDING FOR A DISTANCE OF 7.0 FEET, MORE OR LESS, TO A POINT ON THE NORTH LINE OF SAID LOT 2; THENCE RUN EASTWARDLY ALONG THE NORTH LINE OF SAID LOT 2, A DISTANCE OF 119.68 FEET, MORE OR LESS TO THE POINT OF BEGINNING.
 AND
 THE WEST 138 FEET OF LOT 3 AND THE EAST 8.0 FEET OF THE WEST 144.0 FEET OF THE NORTH 8.0 FEET OF LOT 3, BLOCK 48, OF OCEAN BEACH, FLORIDA, ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, AT PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

REVISIONS / SUBMISSIONS

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1151

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BAMBOO GROUP INC.
 550 WASHINGTON AVENUE
 MIAMI BEACH, FLORIDA

SITE PLAN & PROJECT DATA

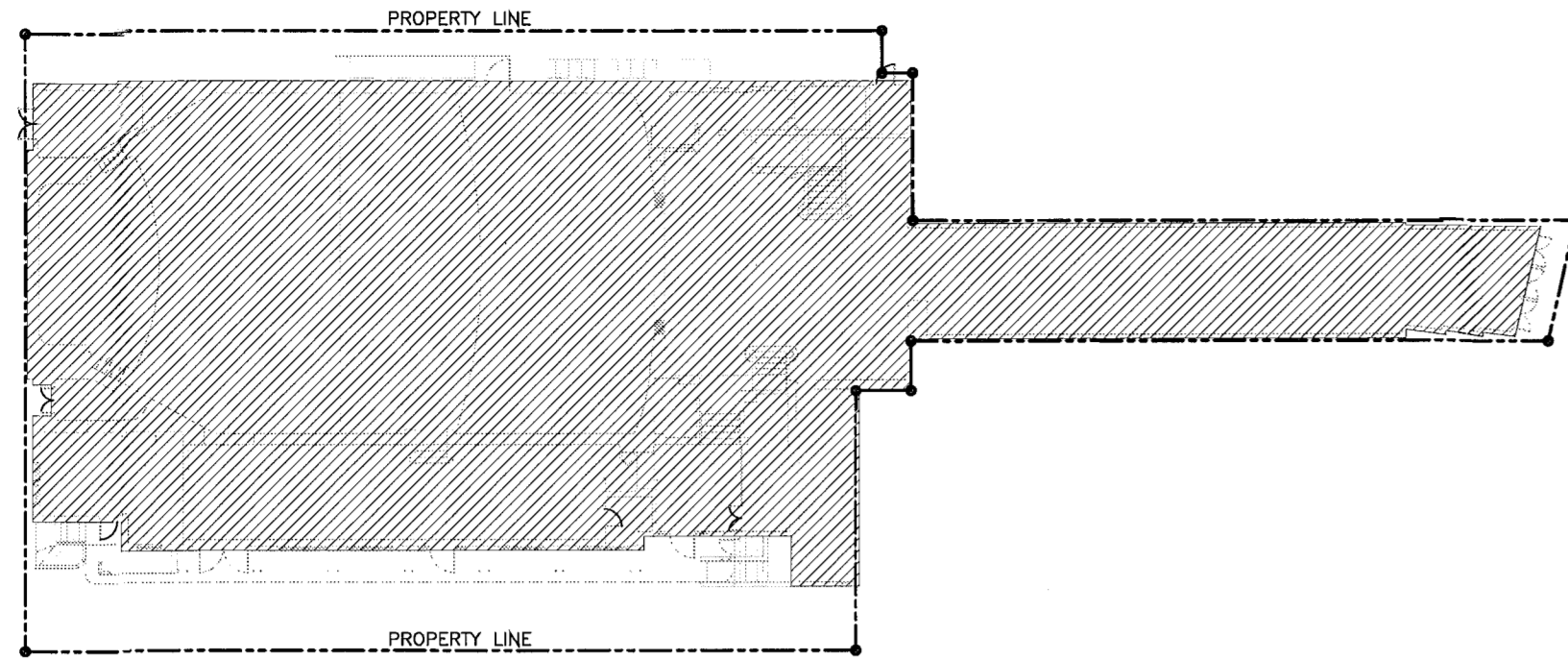
[Signature]
 SEP 13 2011
 Lic. # AR0012578

ARCHITECTURE INTERIOR DESIGN PLANNING
 AIA ASID NCARB
 2916 Biscayne Boulevard
 Suite 200
 Miami, FL 33137
 P: 305.573.3766
 WWW.KOBIKARP.COM

KOBIKARP

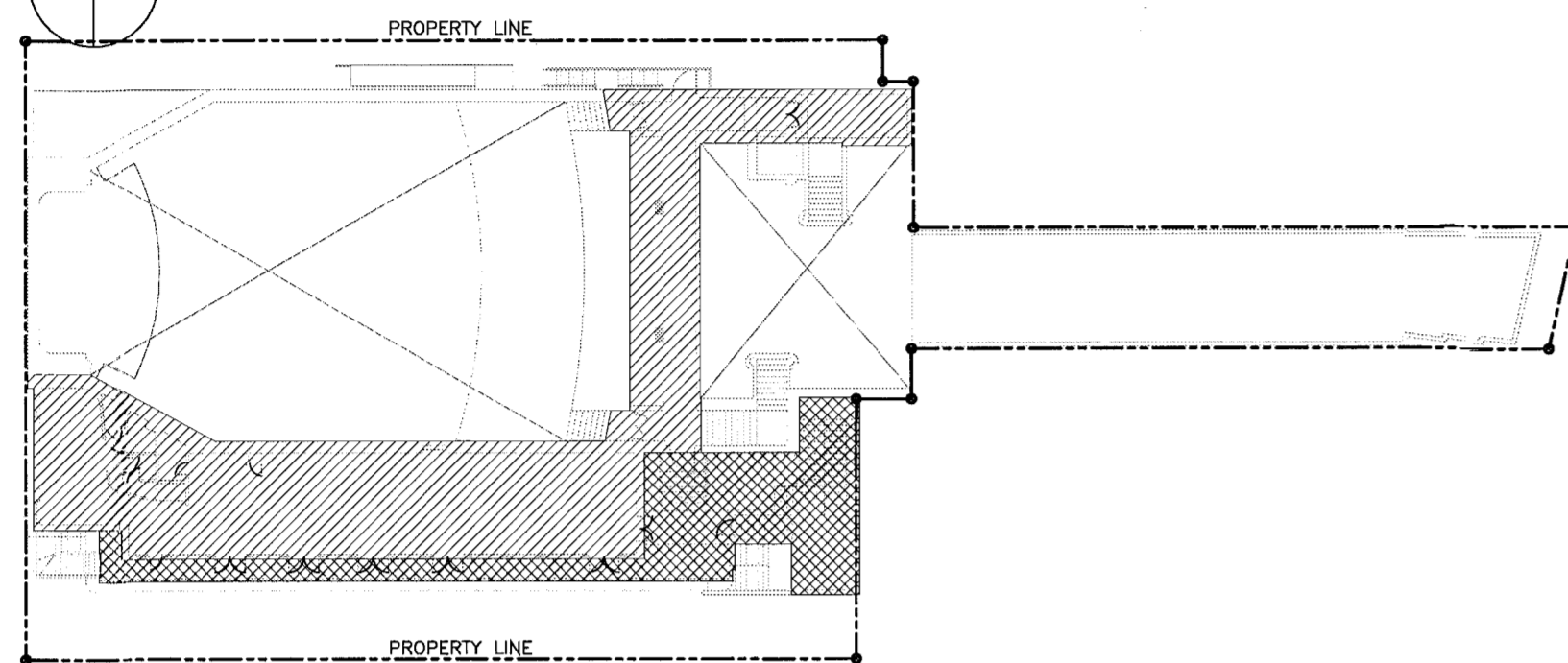
DRAWN BY: MD,JO
 CHECKED BY: JG
 DATE: 09-08-11

A-0.00



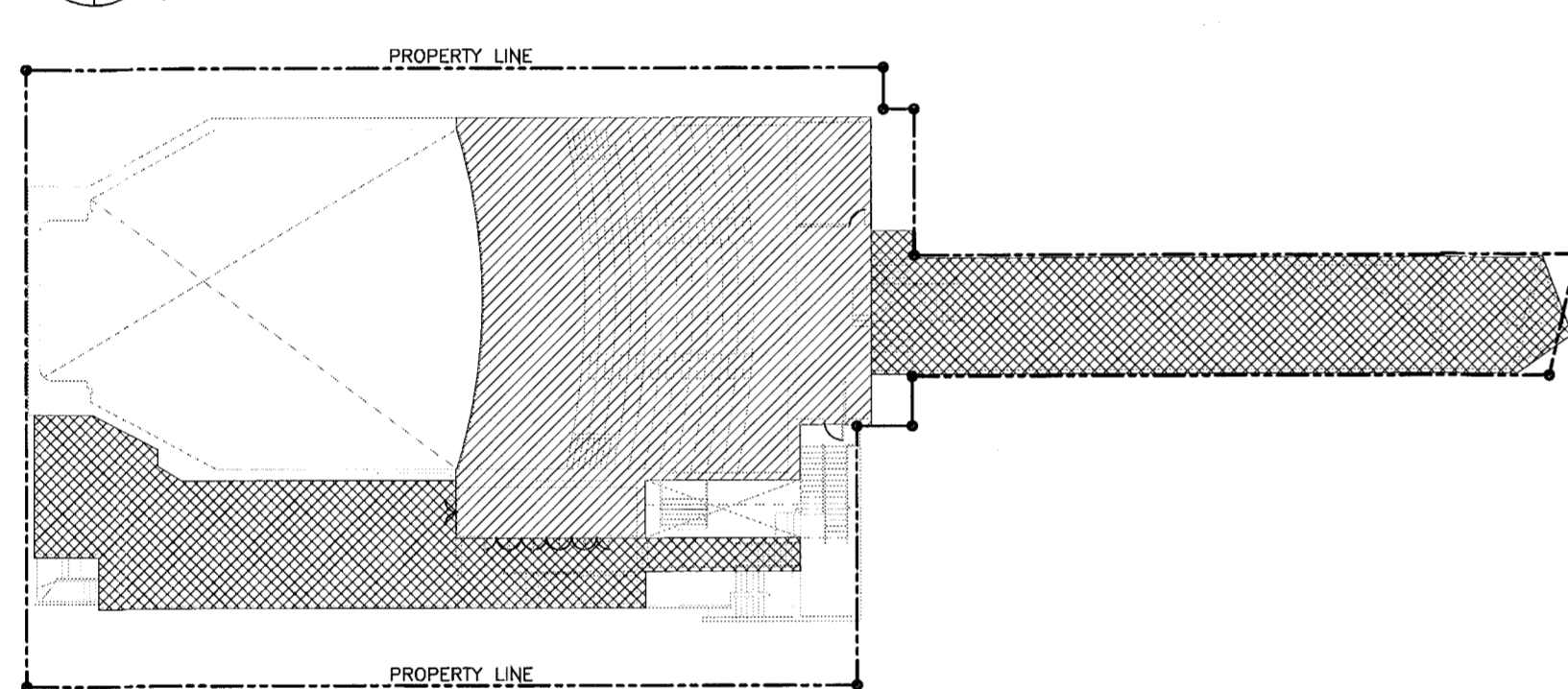
AS-BUILT GROUND FLOOR PLAN

SCALE: 1" = 30'-0"



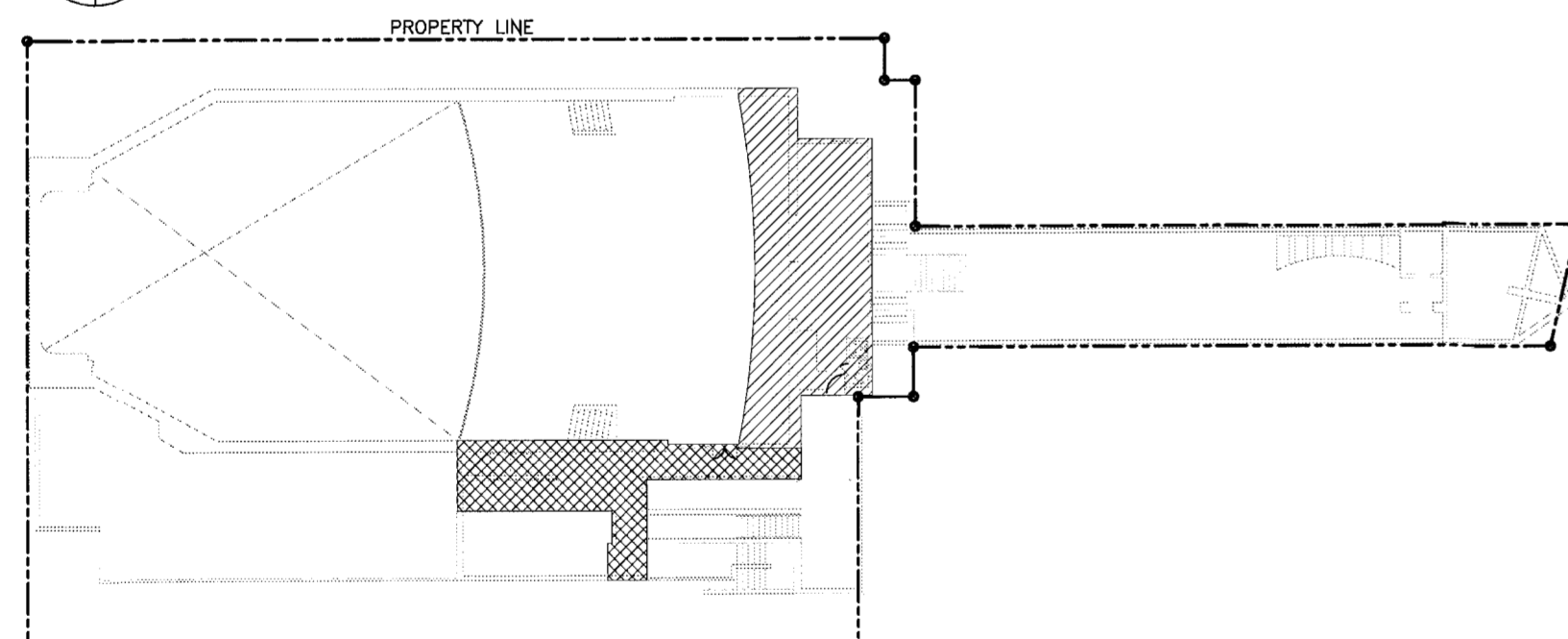
AS-BUILT SECOND FLOOR PLAN

SCALE: 1" = 30'-0"



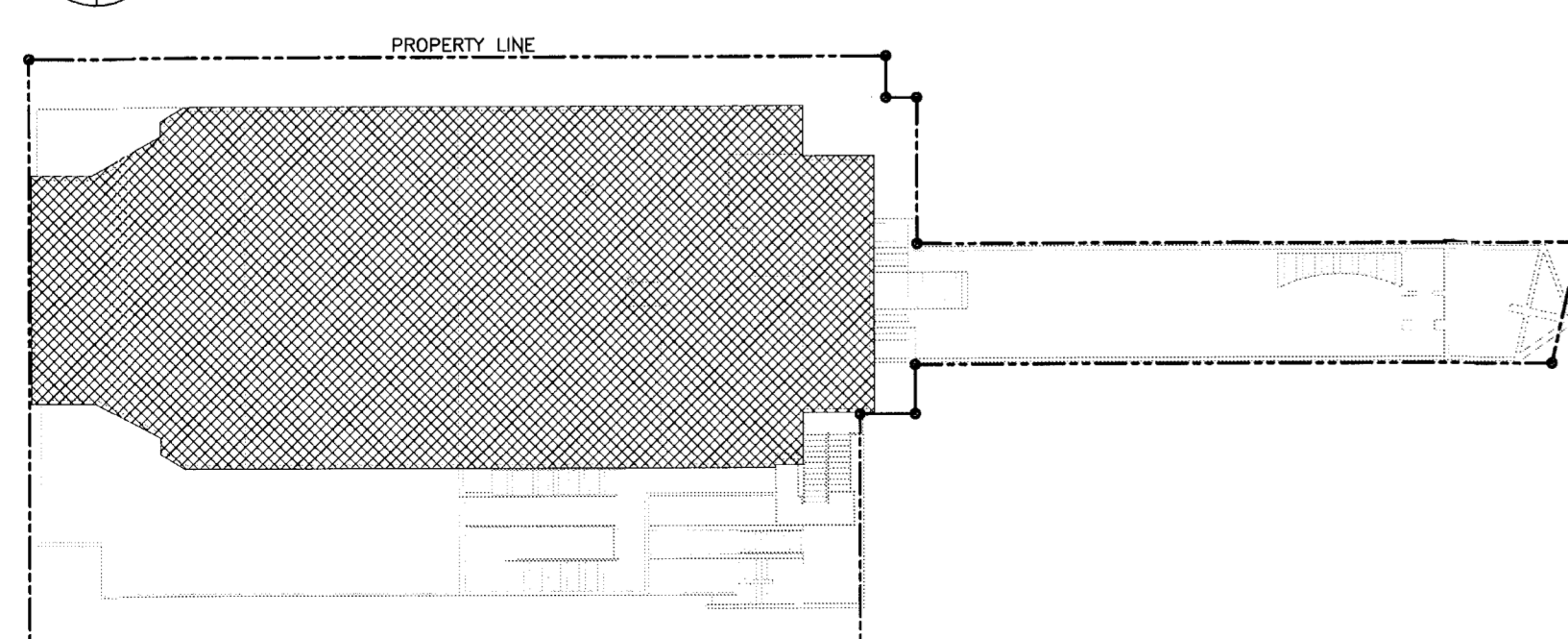
AS-BUILT THIRD FLOOR PLAN

SCALE: 1" = 30'-0"



AS-BUILT FOURTH FLOOR PLAN

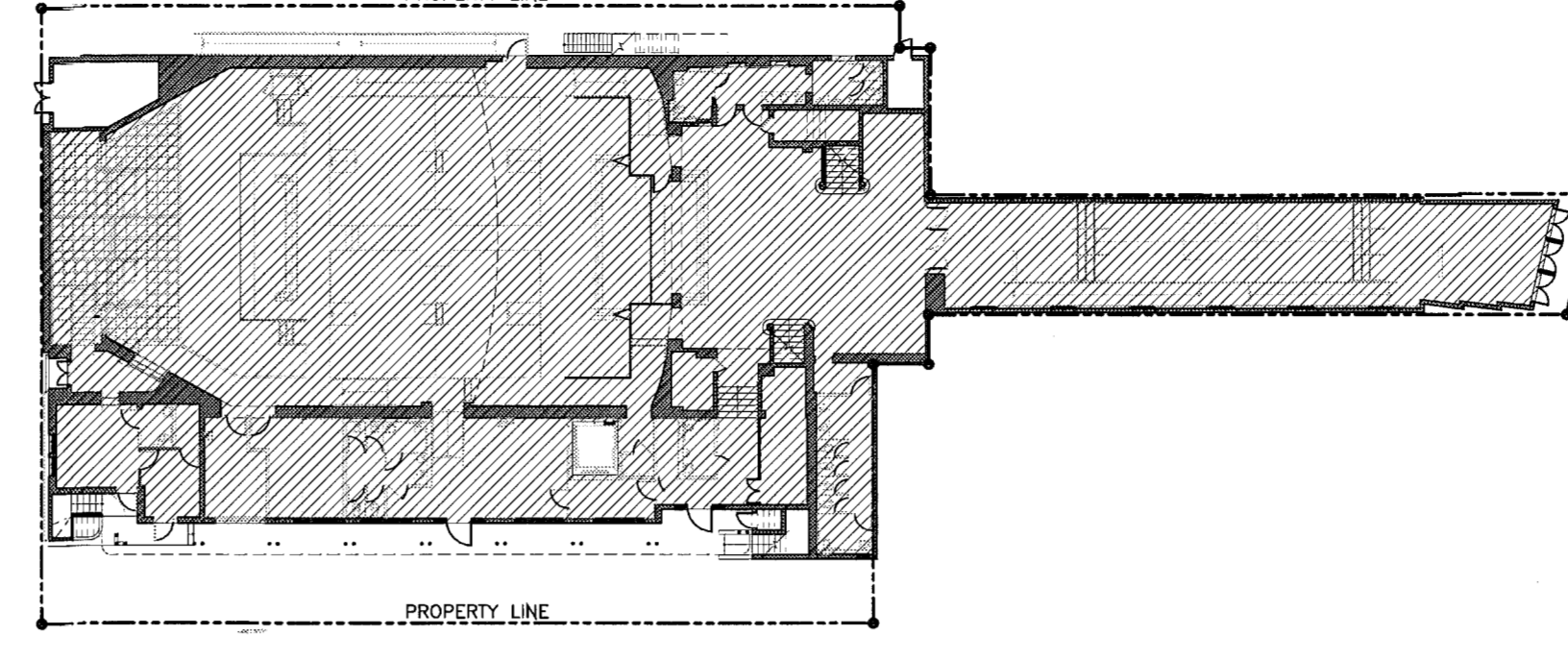
SCALE: 1" = 30'-0"



AS-BUILT ROOF FLOOR PLAN

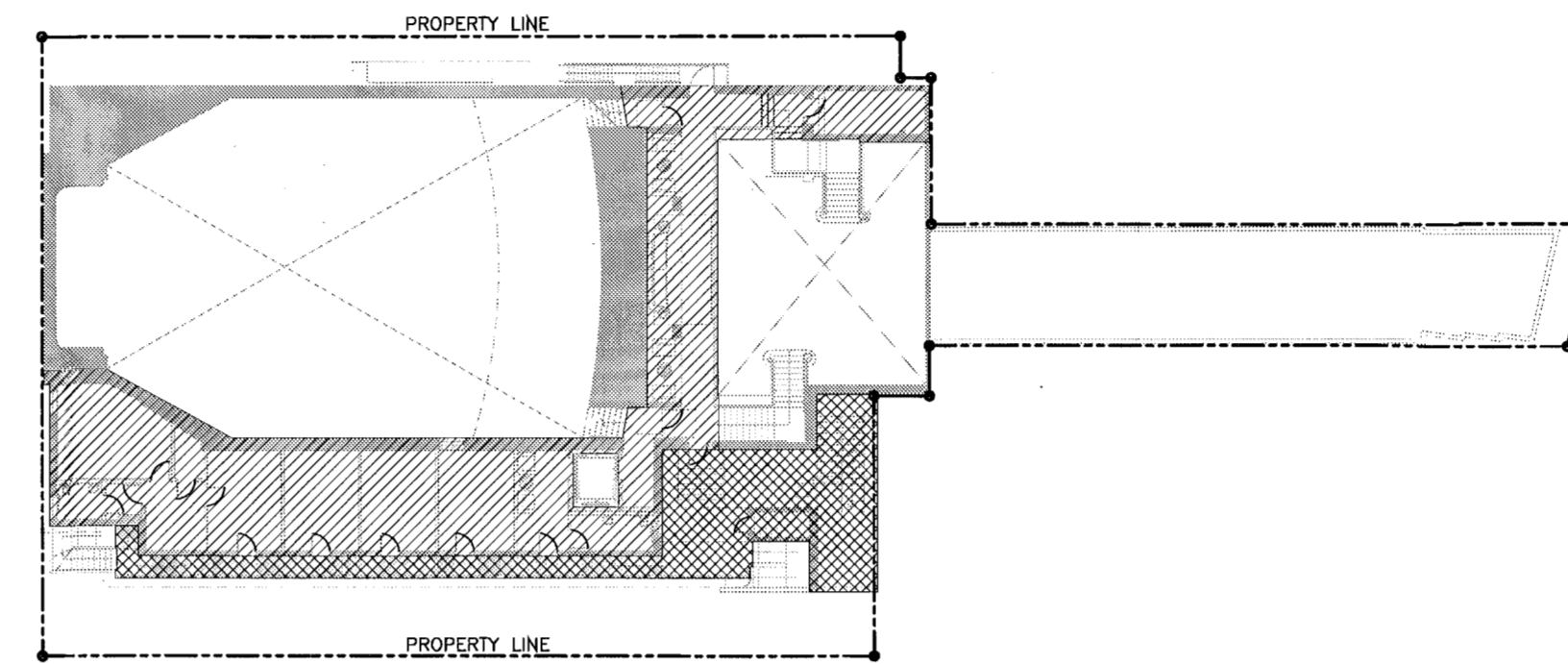
SCALE: 1" = 30'-0"

EXISTING AREA CALCULATIONS		
FLOOR:	A/C AREA (F.A.R)	EXTERIOR
LEVEL 1	12,428 SQ.FT.	0 SQ.FT.
LEVEL 2	3,052 SQ.FT.	1,120 SQ.FT.
LEVEL 3	3,989 SQ.FT.	4,124 SQ.FT.
LEVEL 4	965 SQ.FT.	558 SQ.FT.
ROOF	0 SQ.FT.	7,448 SQ.FT.
SUB-TOTAL	20,434 SQ.FT.	13,250 SQ.FT.
TOTAL GROSS AREA		33,684 SQ. FT.



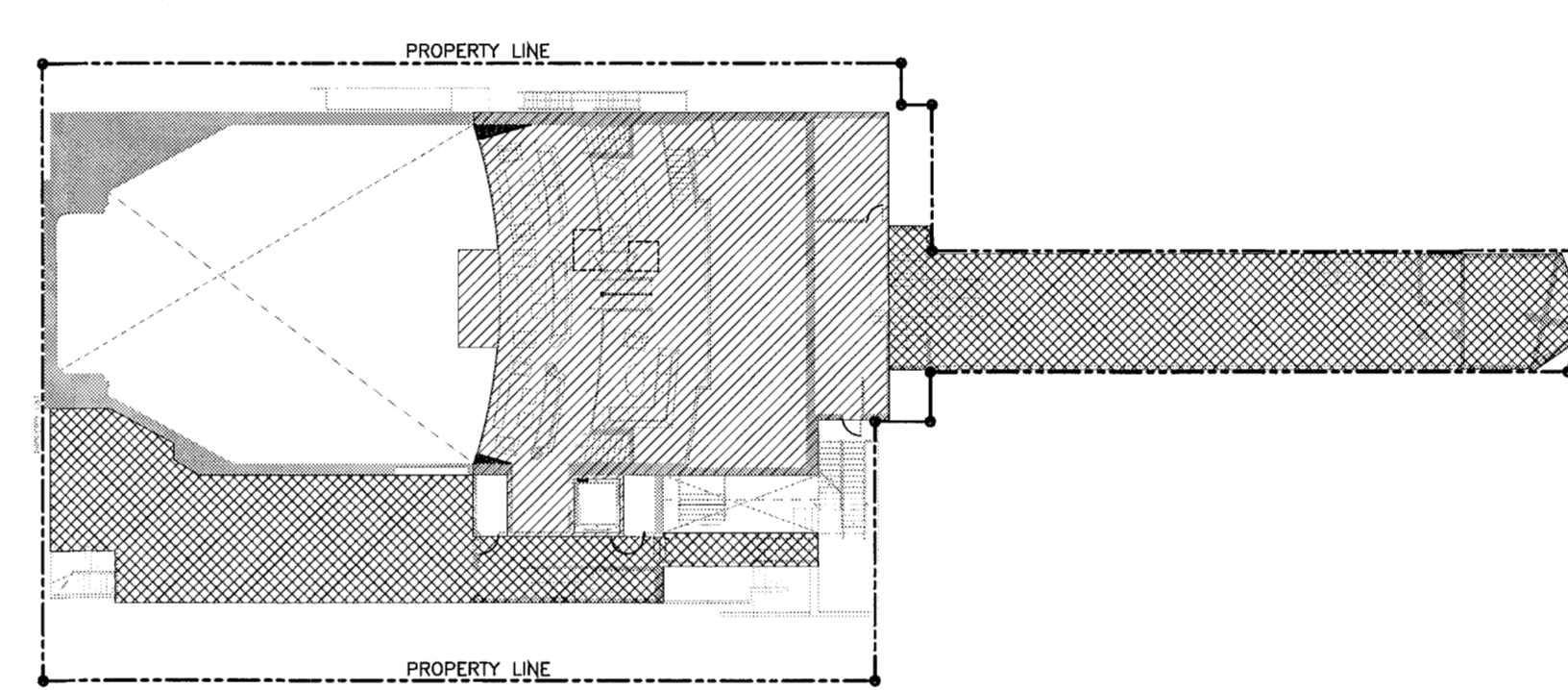
PROPOSED GROUND FLOOR PLAN

SCALE: 1" = 30'-0"



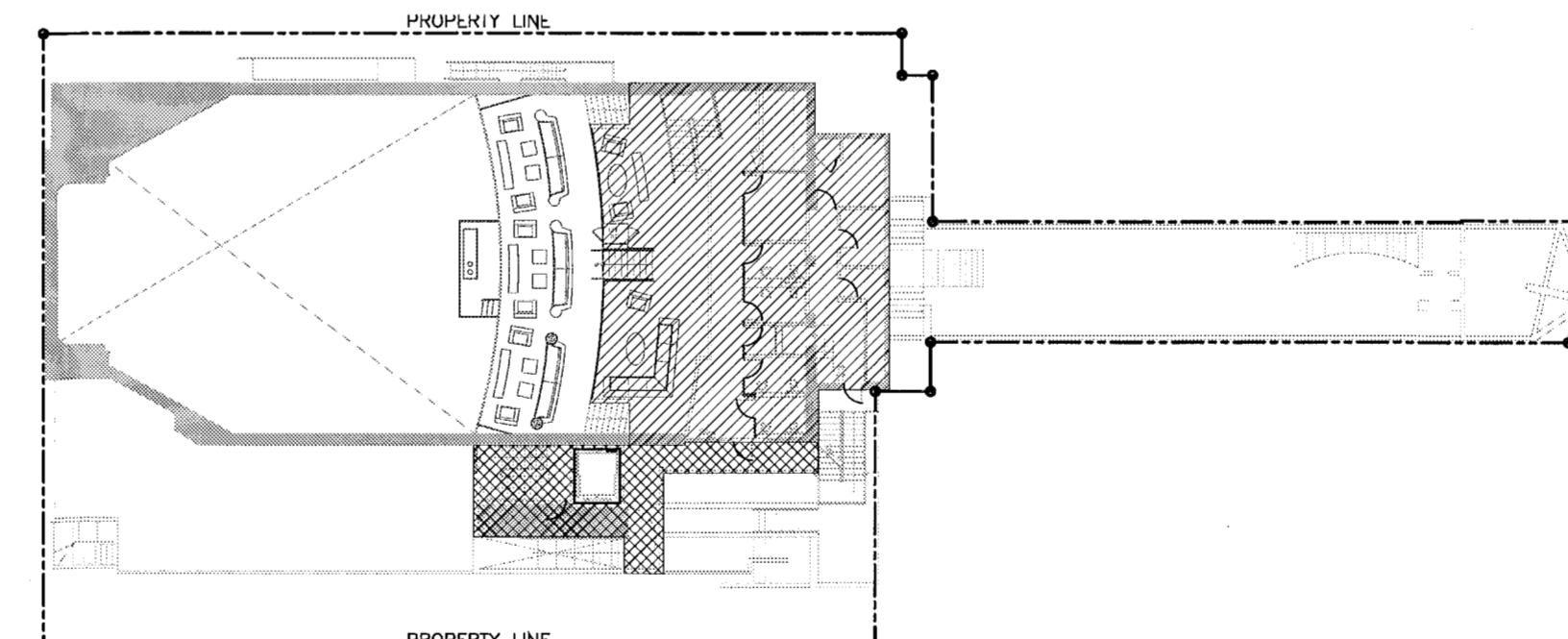
PROPOSED SECOND FLOOR PLAN

SCALE: 1" = 30'-0"



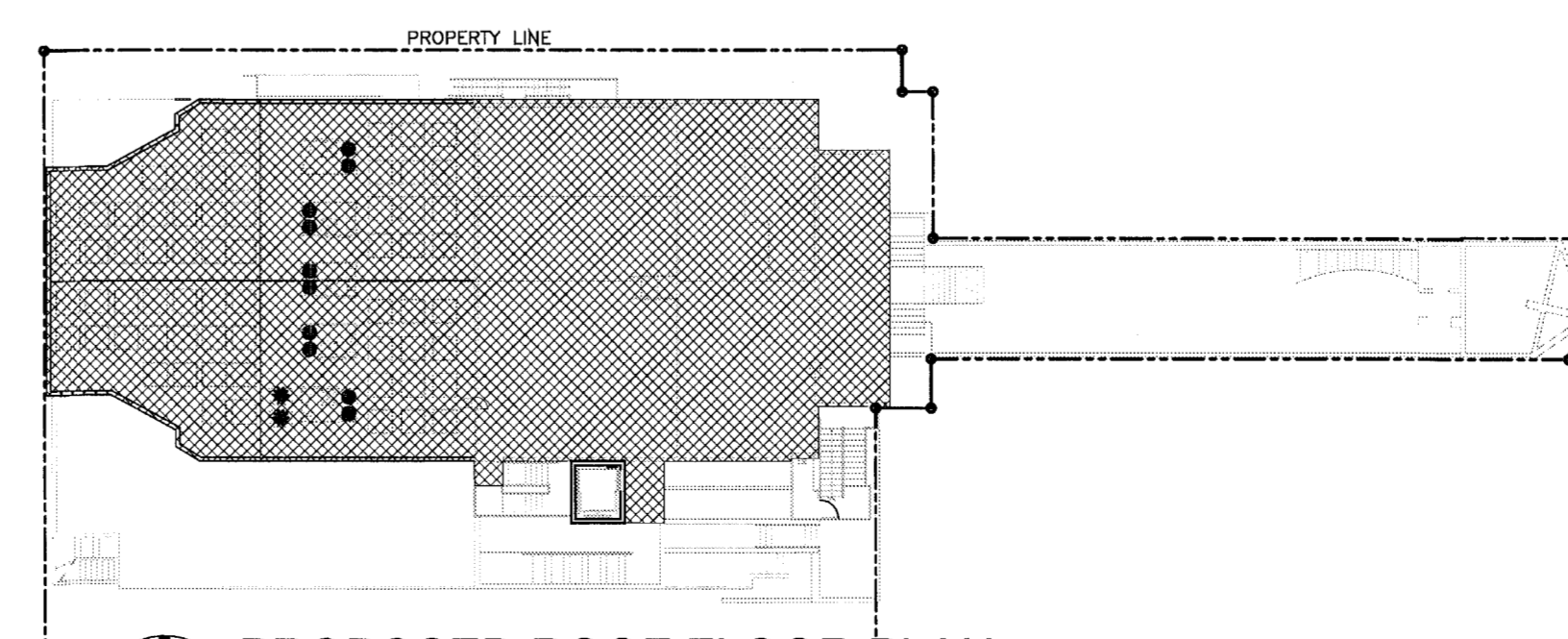
PROPOSED THIRD FLOOR PLAN

SCALE: 1" = 30'-0"



PROPOSED FOURTH FLOOR PLAN

SCALE: 1" = 30'-0"



PROPOSED ROOF FLOOR PLAN

SCALE: 1" = 30'-0"

PROPOSED AREA CALCULATIONS		
FLOOR:	A/C AREA (F.A.R)	EXTERIOR
LEVEL 1	12,115 SQ.FT.	0 SQ.FT.
LEVEL 2	2,988 SQ.FT.	1,120 SQ.FT.
LEVEL 3	3,927 SQ.FT.	4,106 SQ.FT.
LEVEL 4	2,492 SQ.FT.	556 SQ.FT.
ROOF	0 SQ.FT.	7,618 SQ.FT.
SUB-TOTAL	21,522 SQ.FT.	13,400 SQ.FT.
TOTAL GROSS AREA		34,922 SQ. FT.

LEGEND

▨ A/C AREA

▩ NON A/C AREA

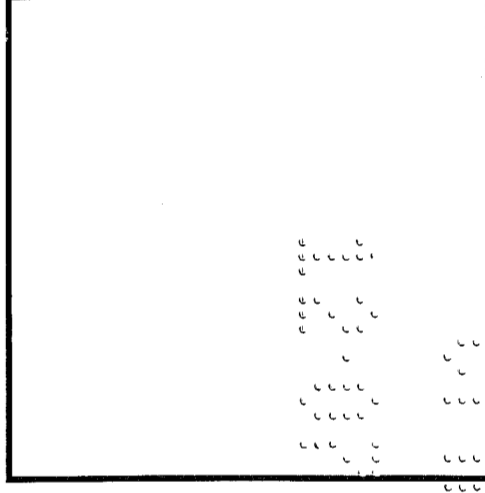
REVISIONS / SUBMISSIONS	
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550 WASHINGTON AVENUE
MIAMI BEACH, FLORIDA

AREA DIAGRAMS



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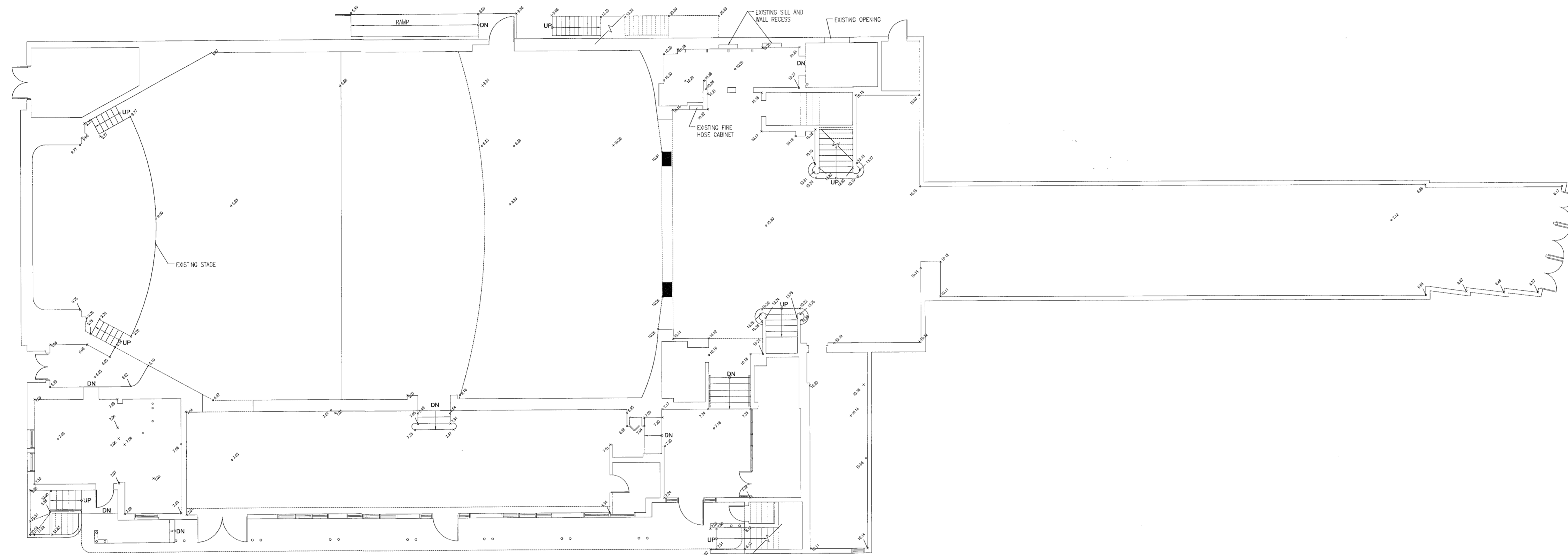
ARCHITECTURE
INTERIOR DESIGN
PLANNING

AIA ASID NCARB
2915 Bluebonnet Boulevard
Suite 200
Miami, Florida 33137
O: 305.573.1818
F: 305.573.2766
WWW.KOBIKARP.COM

K O B I K A R P

DRAWN BY: MD,JO
CHECKED BY: JG
DATE: 09-08-11

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AS-BUILT GROUND FLOOR PLAN

SCALE: 3/32"=1'-0"

REVISIONS / SUBMISSIONS

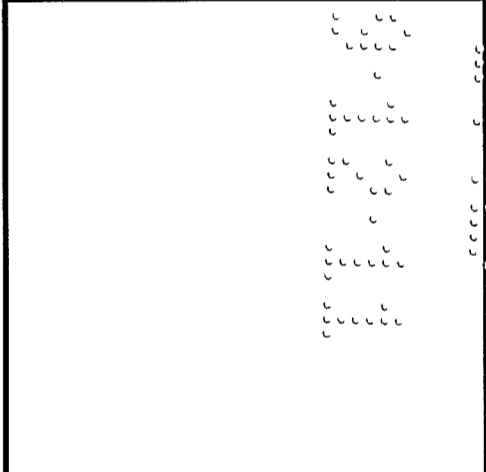
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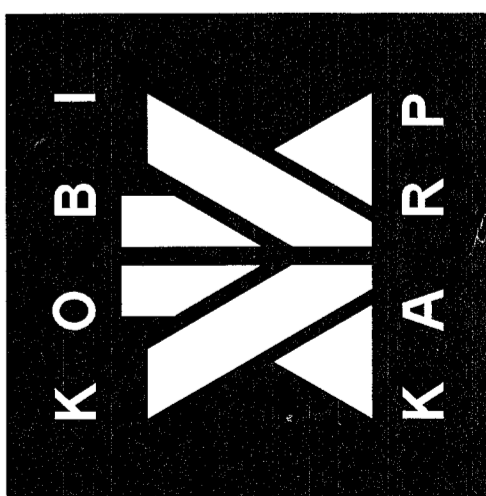
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AS-BUILT GROUND FLOOR



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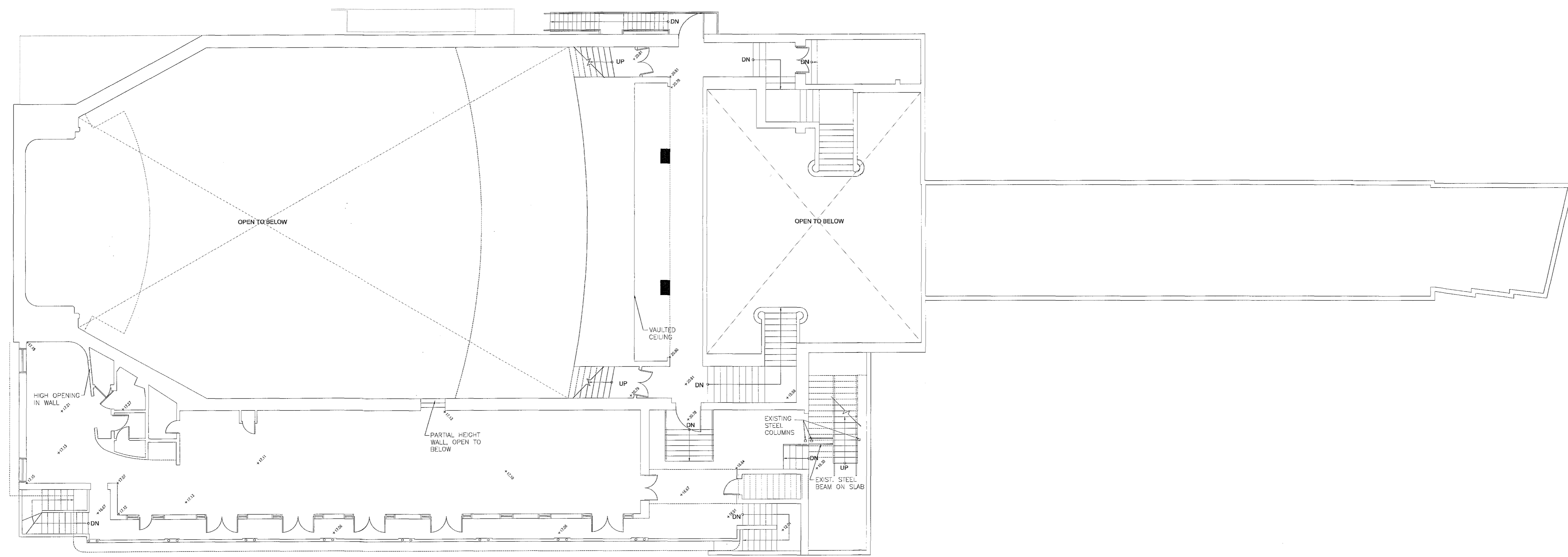
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PLANNING
AIA ASID NCARB
2915 Biscayne Boulevard
Suite 200
Miami, FL 33137
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AS-BUILT SECOND FLOOR PLAN

SCALE: 3/32"=1'-0"

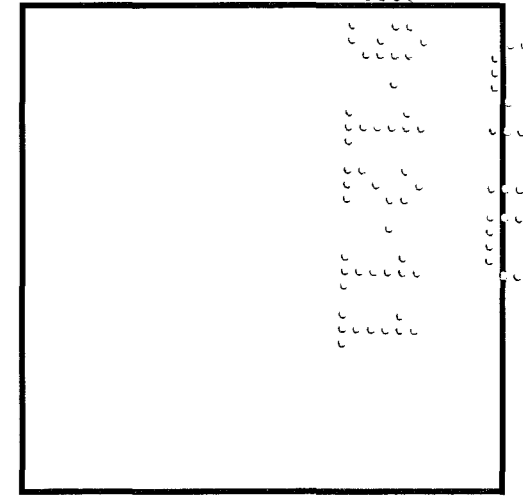
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AS-BUILT SECOND FLOOR



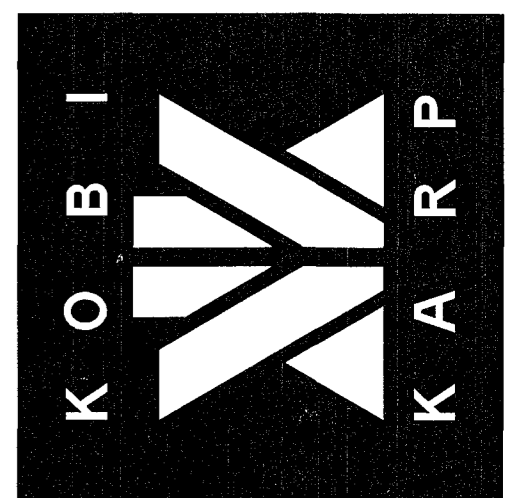
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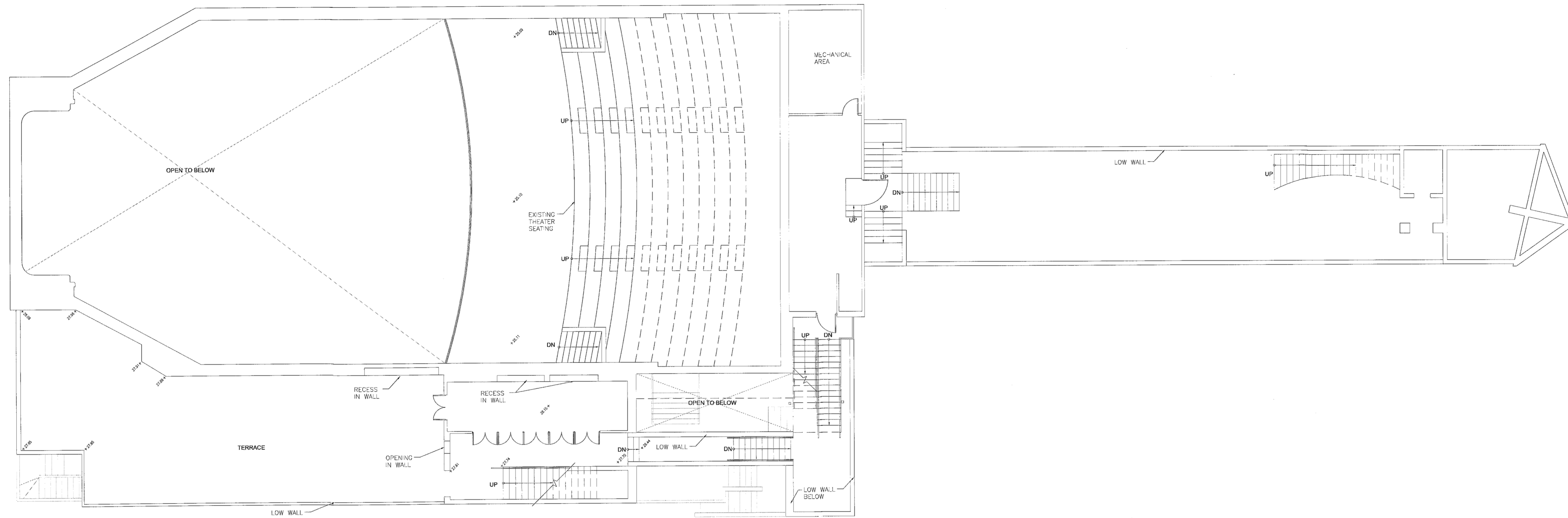
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O: 305.573.1818
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DATE:	09-08-11

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AS-BUILT THIRD FLOOR PLAN

SCALE: 3/32"=1'-0"

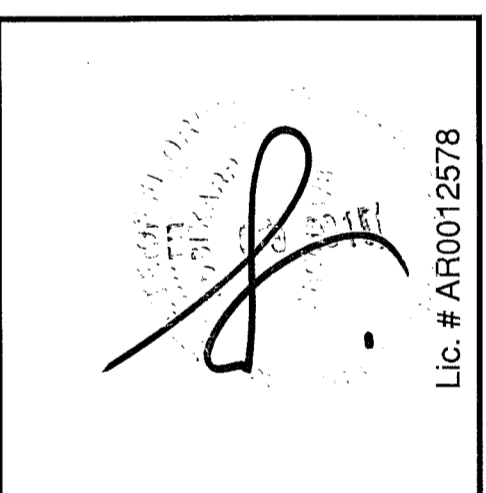
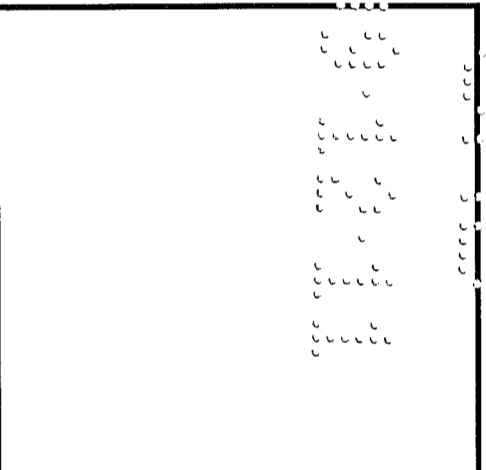
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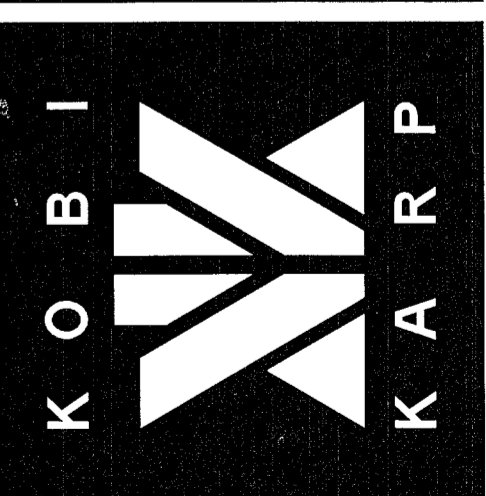
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AS-BUILT THIRD FLOOR PLAN



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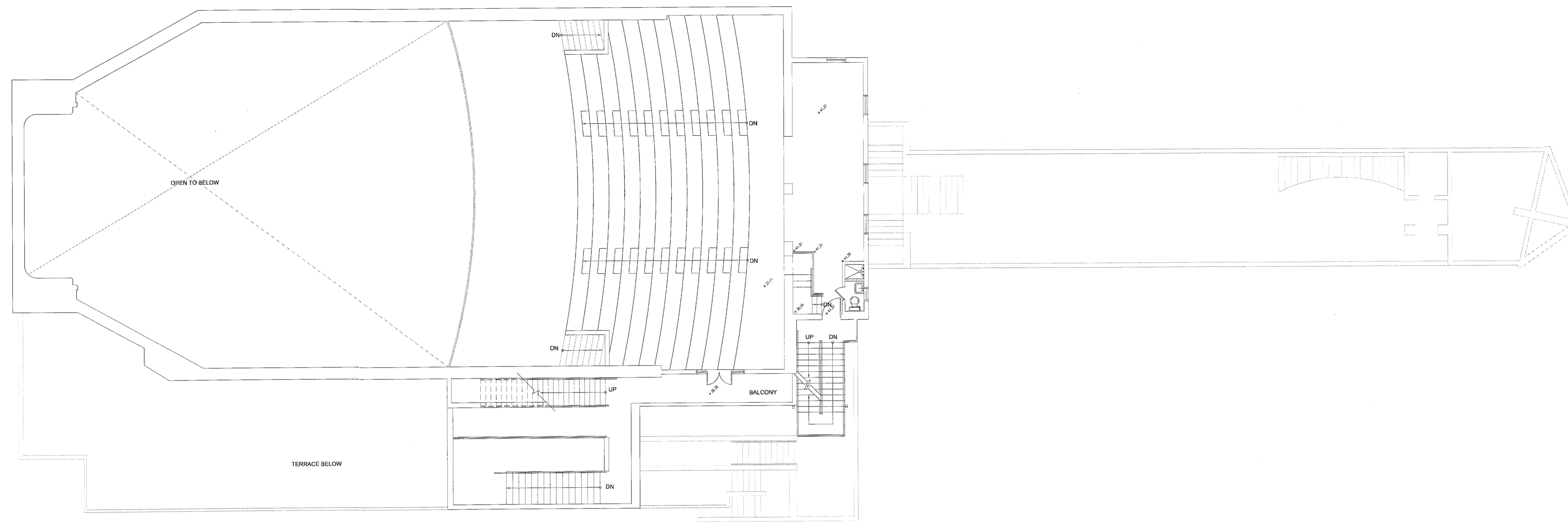
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Suite 200
Miami, FL 33137
Tel: 305.573.1818
Fax: 305.573.3766
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AS-BUILT FOURTH FLOOR PLAN

SCALE: 3/32"=1'-0"

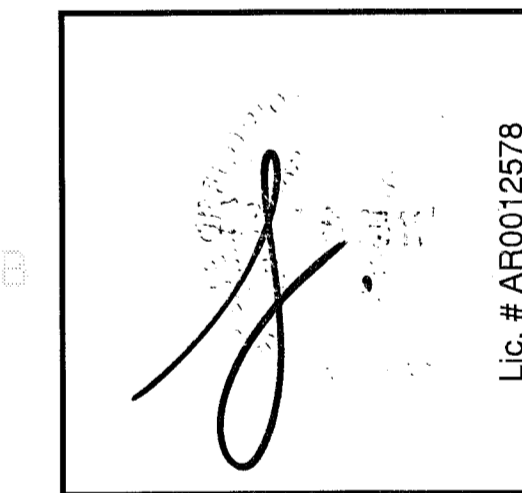
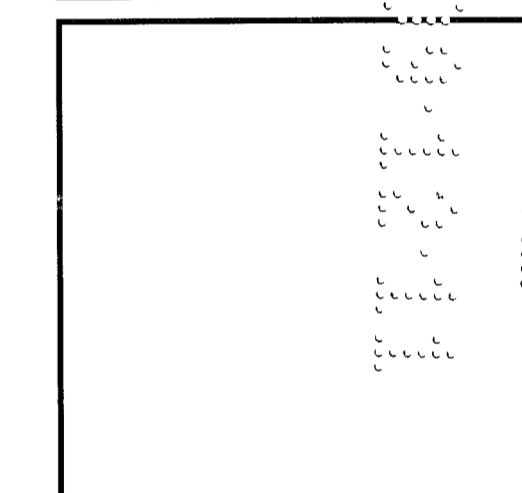
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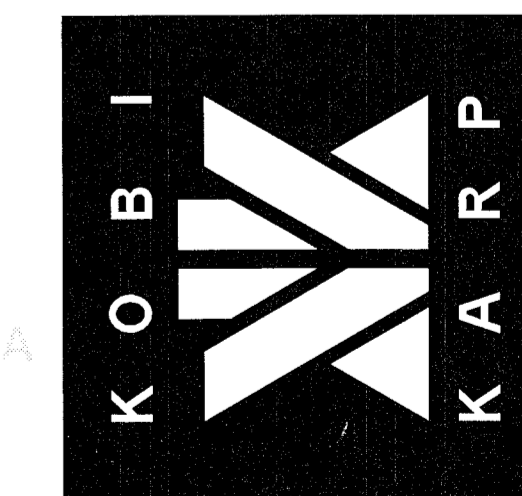
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AS-BUILT FOURTH FLOOR



ARCHITECTURE
INTERIOR DESIGN
PLANNING
AIA ASID NCARB
2915 Biscayne Boulevard
Suite 200
Miami, Florida 33137
Tel: 305.573.1819
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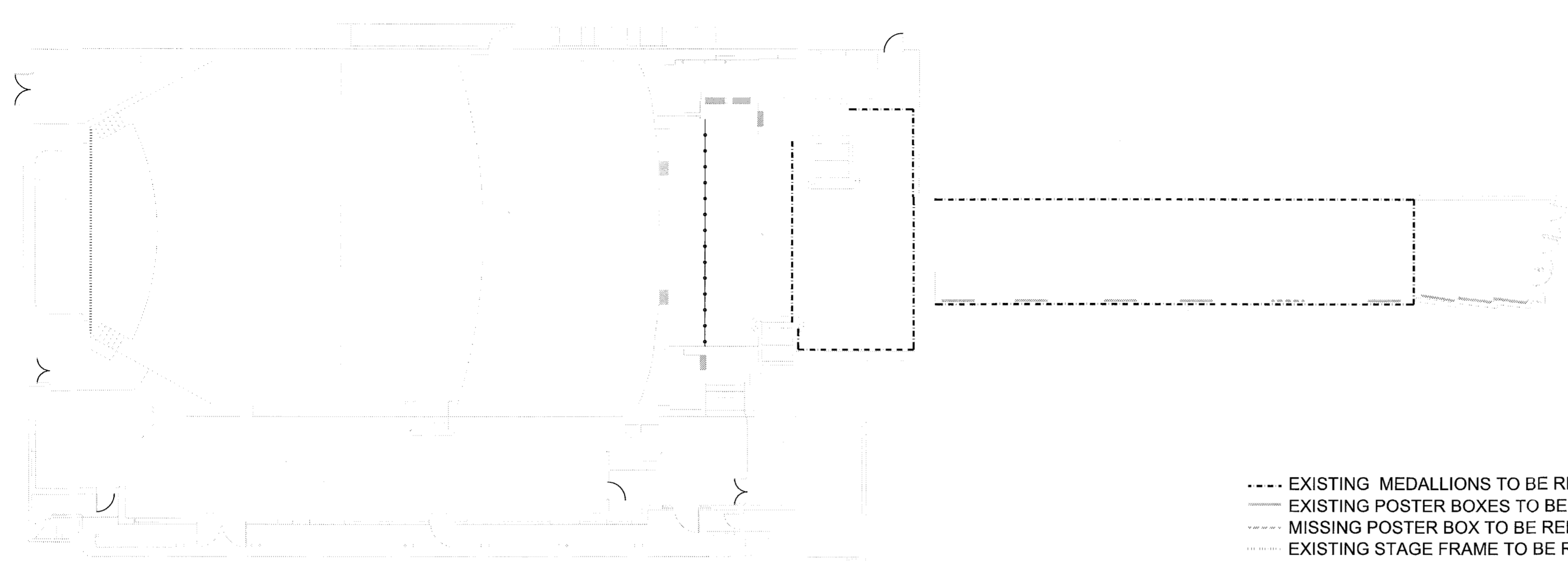
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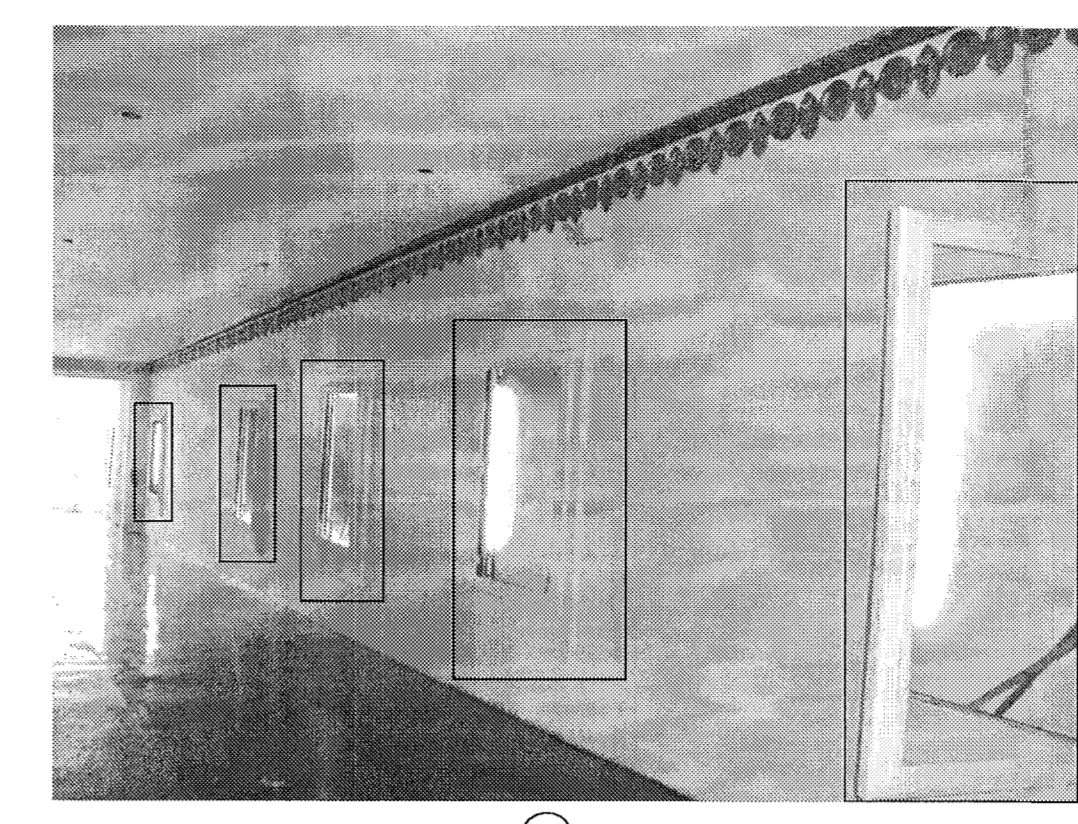
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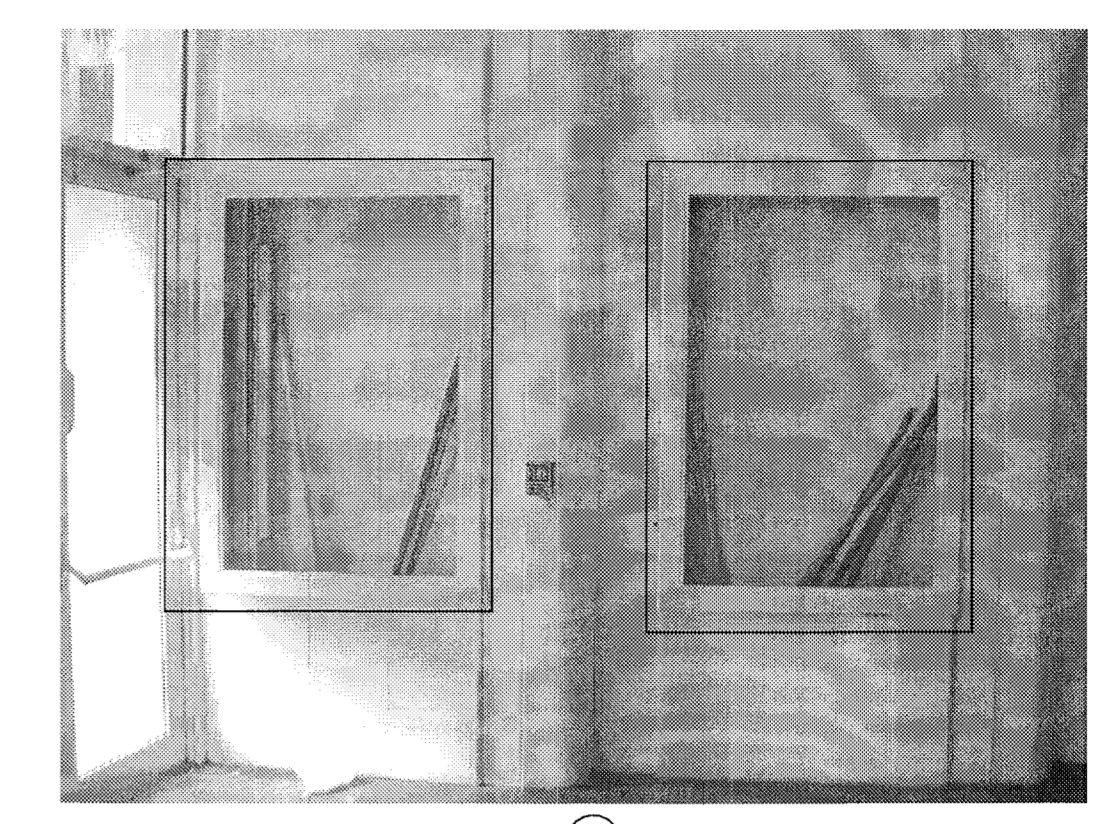
KEYPLAN

SCALE: 3/32"=1'-0"

- EXISTING MEDALLIONS TO BE RESTORED
- EXISTING POSTER BOXES TO BE RESTORED
- MISSING POSTER BOX TO BE REPLACED
- EXISTING STAGE FRAME TO BE RESTORED
- EXISTING DOOR FRAMES TO BE RESTORED
- EXISTING RAILING ABOVE TO BE RESTORED



①

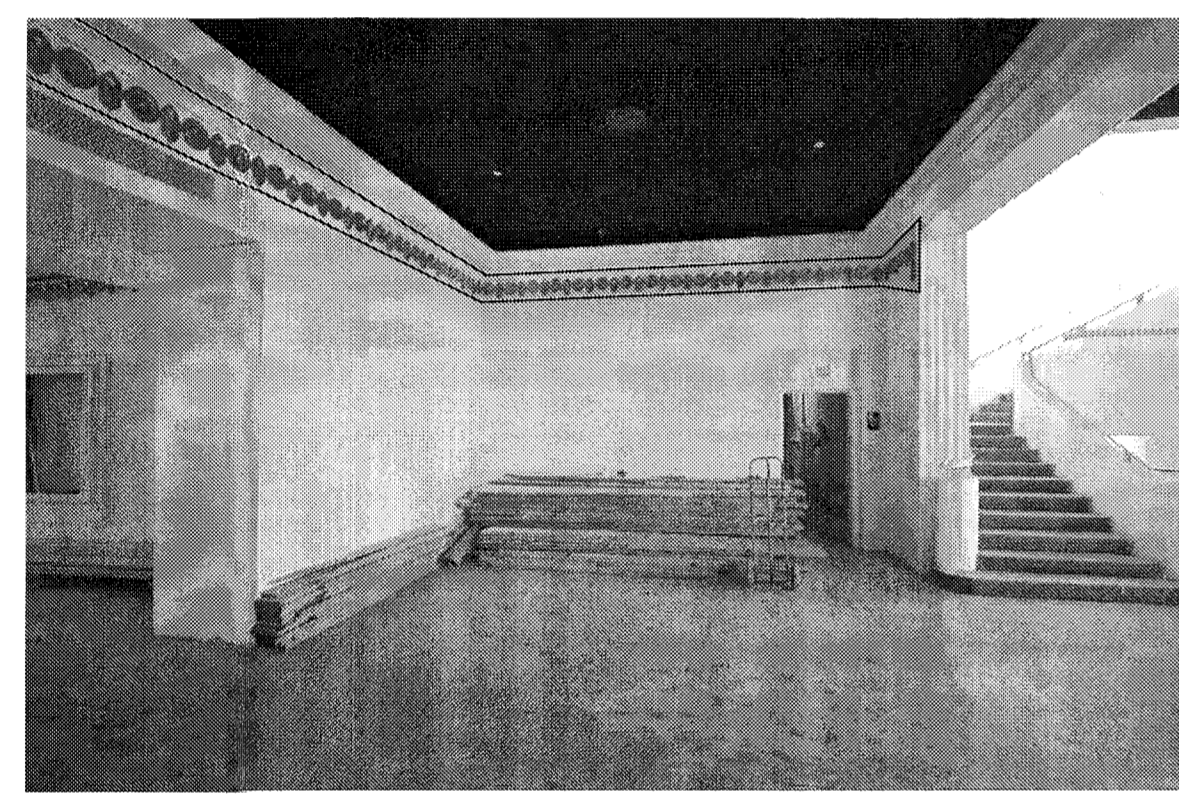


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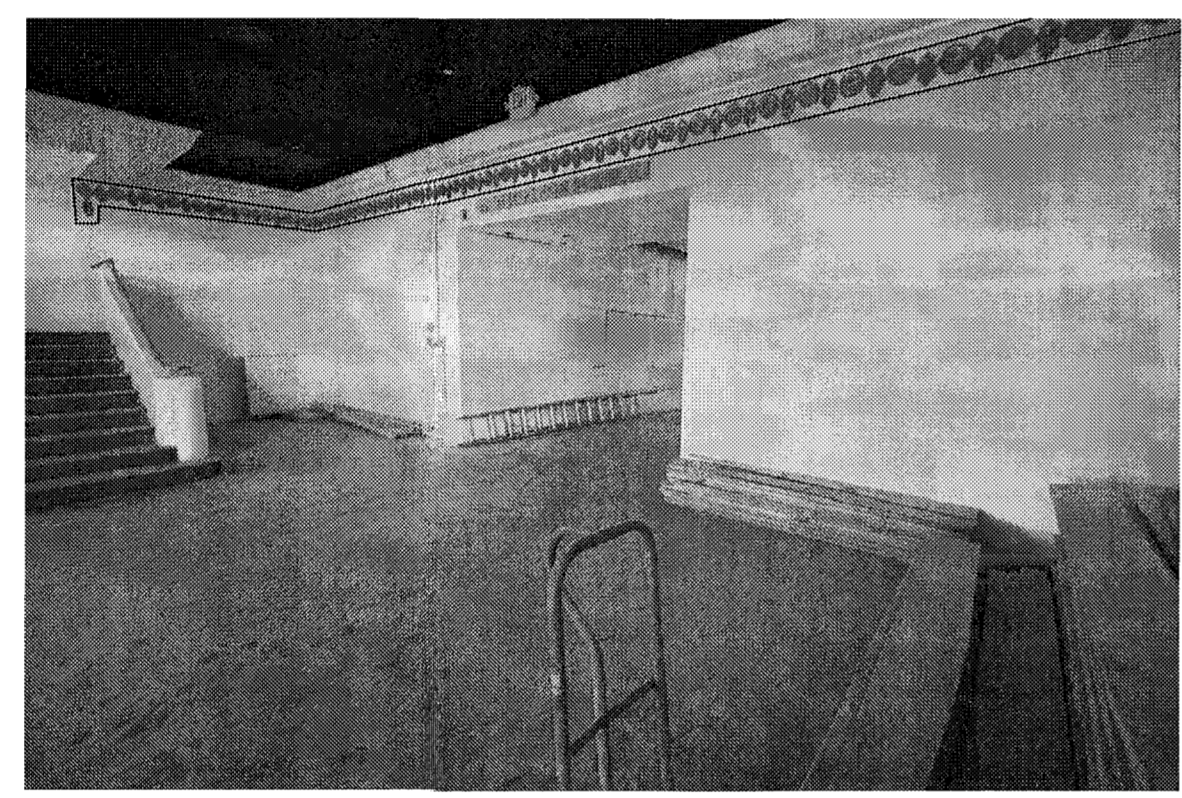
- ① EXISTING POSTER BOXES TO BE RESTORED
- REPLACE HINGES
- REPLACE GLASS
- REPLACE FRAME

C

C



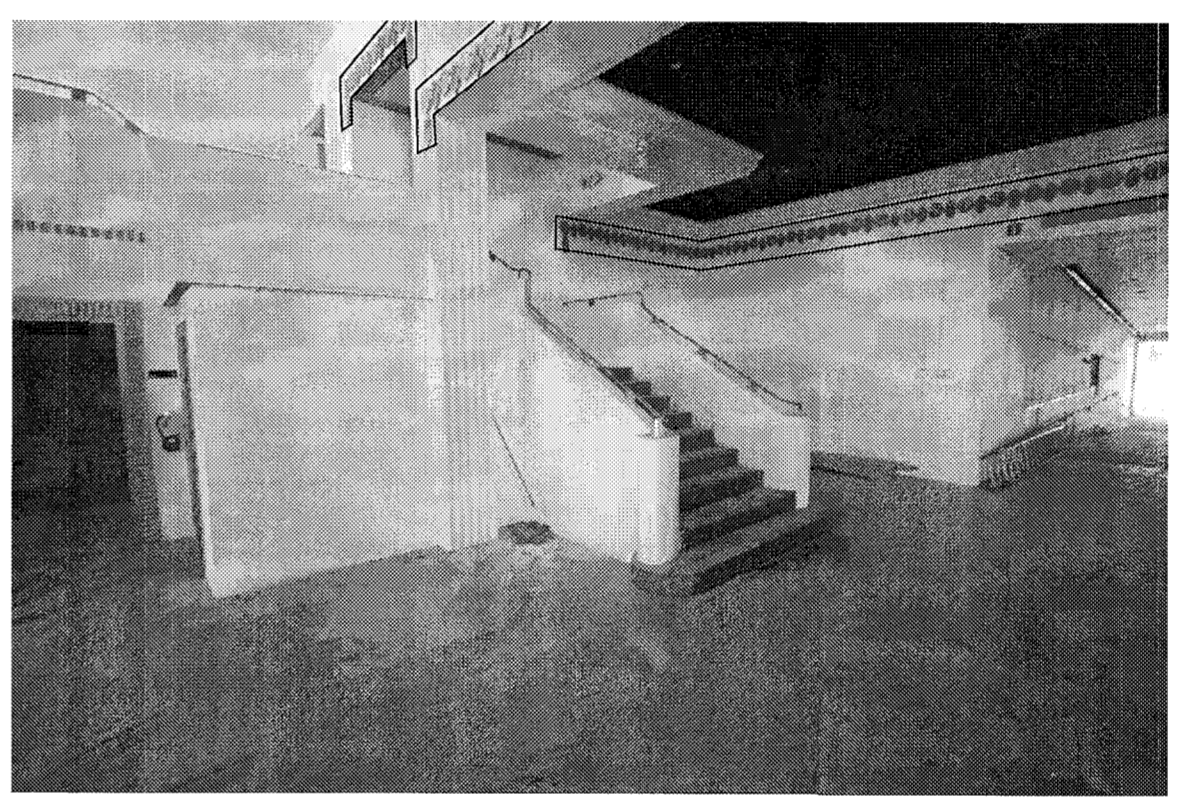
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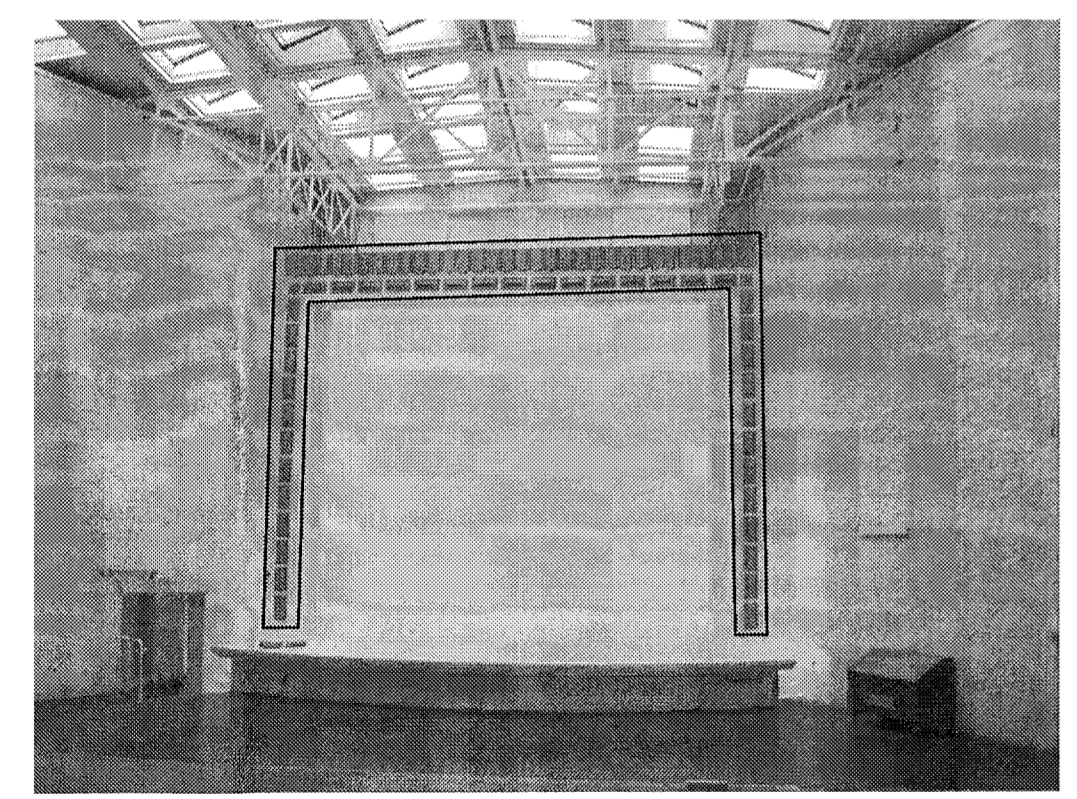


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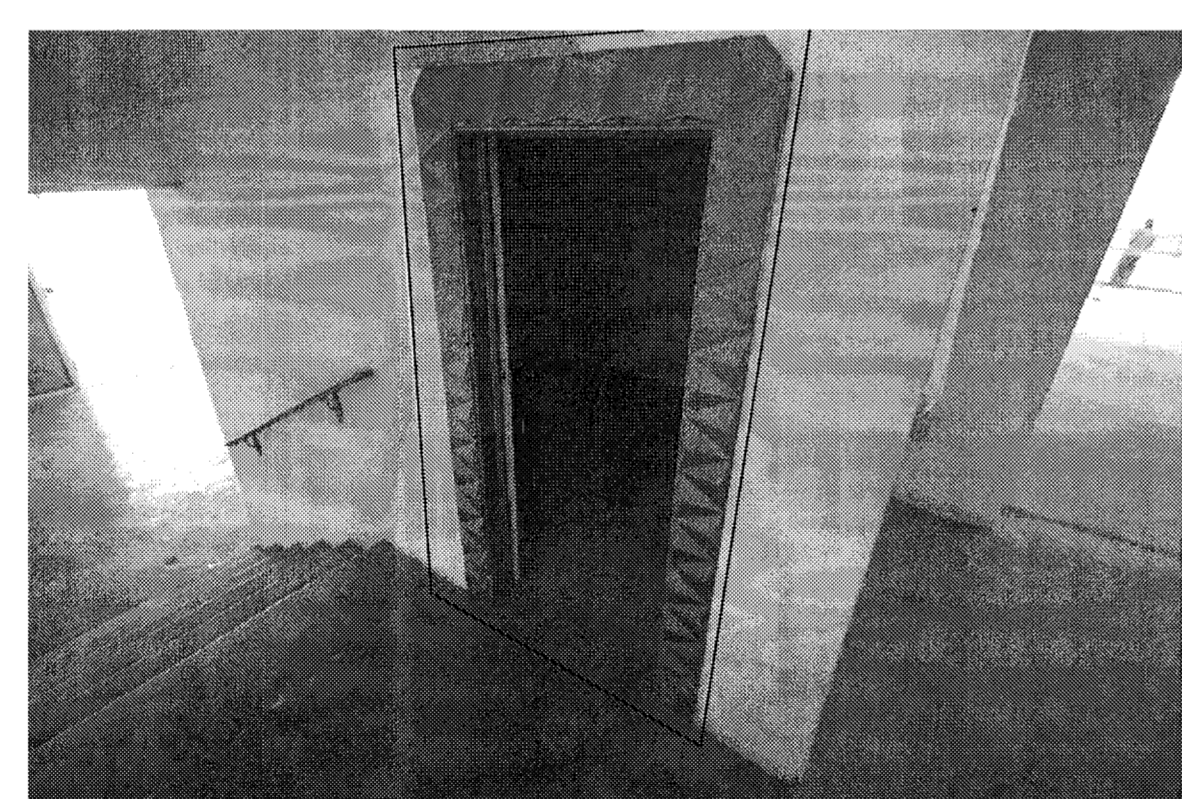
- ② EXISTING DECORATIVE MEDALLIONS TO BE RESTORED AND PAINTED
- SEE KEYPLAN FOR LOCATION

B

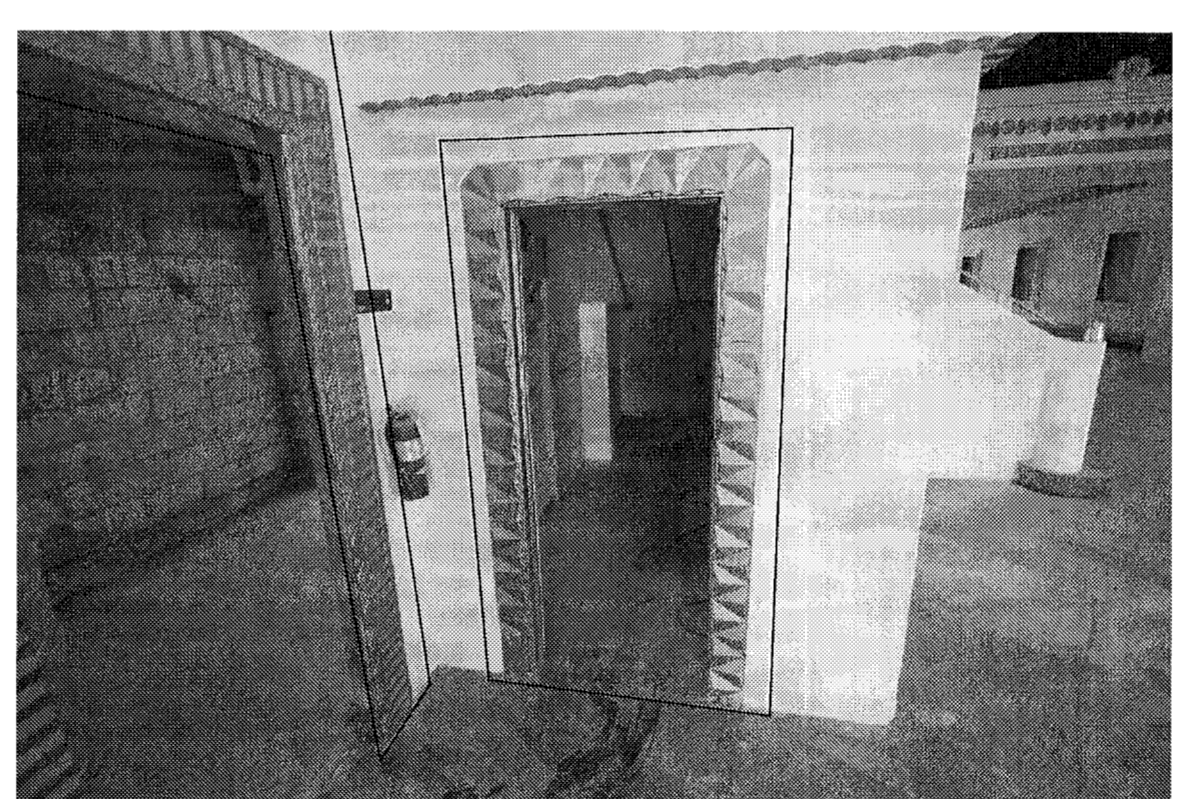
B



- ③ EXISTING DECORATIVE FRAME AT STAGE TO BE RESTORED AND PAINTED



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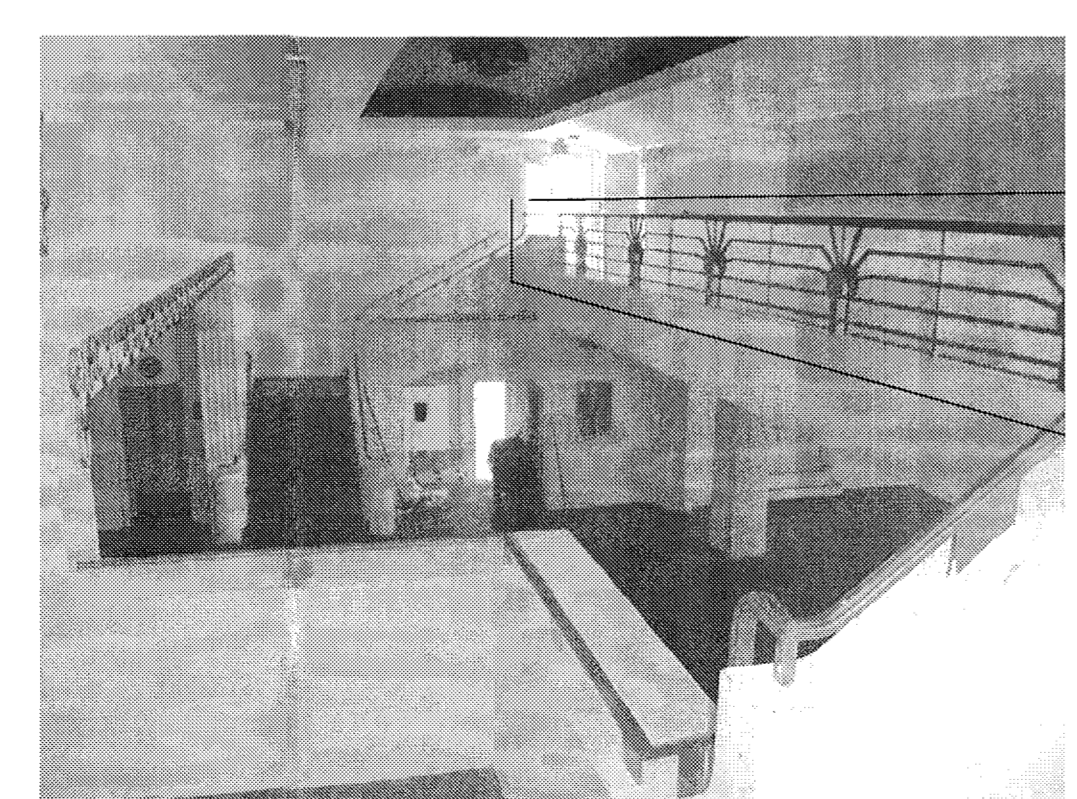


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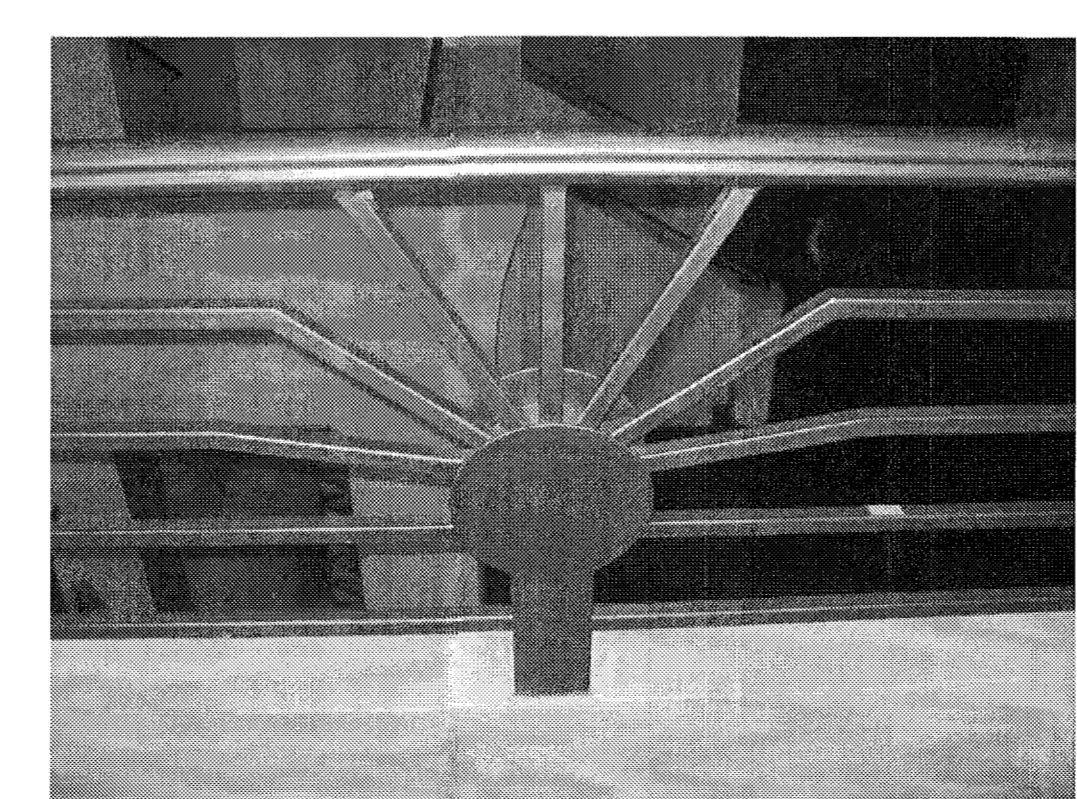
- ④ EXISTING DECORATIVE FRAME AT DOORS TO BE RESTORED AND PAINTED

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- ⑤ EXISTING RAILING TO BE RESTORED AND PAINTED

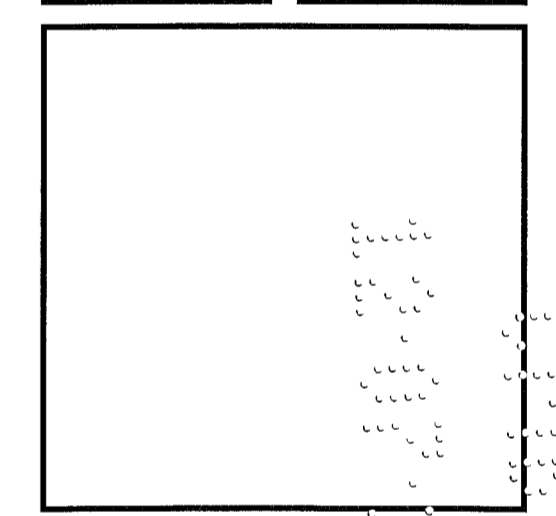
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AIA ASID NCARB
2815 Biscayne Boulevard
Suite 205
Miami, Florida 33137
C: 305.573.8818
F: 305.573.3766
WWW.KOBIKARP.COM

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DATE:	09-08-11

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