

OK-E.C.Ox 9-8-52  
W. pt. of Lot 1 & 2 Block 16 Subdivision NORMANDY BEACH SOUTH  
Owner MR. ALAN M. KAUFMAN Permit No. 120 38510 Cost \$ 16,000..  
General Contractor H.V. Green Construction Co. Address 736-40 71st Street & 7091 Bonita Drive  
Architect Nathan A. Seiderman 23149 Bond No. 5340  
Engineer Alfred U. boler  
Zoning Regulations: Use BAA Area 19 Lot Size ? 3211-02-126  
Building Size: approx. Front 45' Depth 78' Height 16' Stories 1

Certificate of Occupancy No. 1856 (9-10-52)

Type of Construction #2 CBS Foundation Spread Footing 12 x 16 Roof Flat Date May 20, 1952

PLUMBING Contractor # 33406 Keeton Plumbing Co. Sewer Connection - 1-4" Date May 28, 1952

Temporary Water Closet 1

Water Closets 3

Lavatories 3

Bath Tubs

Showers

Urinals

Sinks

Dish Washing Machine

Laundry Trays

Laundry Washing Machines

Drinking Fountains

Floor Drains

Grease Traps

Safe Wastes

AIR CONDITIONING Contractor

SEPTIC TANK Contractor

OIL BURNER Contractor

SPRINKLER Contractor

Swimming Pool Traps

Steam or Hot Water Boilers

ROUGH APPROVAL E. Cox 6-18-52

FINAL APPROVAL E. Cox 9--8-52

Down Spouts ----- 2

Wells

GAS Contractor

Gas Ranges

Gas Water Heaters

Gas Space Heaters

Gas Refrigerators

Gas Steam Tables

Gas Broilers

Date

Gas Frylators

Gas Pressing Machine

Gas Vents for Stove

GAS Rough APPROVAL

GAS FINAL APPROVAL

ELECTRICAL Contractor # 36944 Gates Elec. Co. Inc.

Date July 7, 1952

OUTLETS Switches 10  
Lights 23  
Receptacles 18

Ranges  
Irons  
Refrigerators  
Fans

Motors 2

Appliances

HEATERS Water  
Space

FIXTURES 23

Electrical Contractor

Temporary Service #36599 Gates Elec. Co. 5/22/52

Neon Transformers

Sign Outlets

Meter Change

Centers of Distributions 3

Service-Equipment 1

Violations

Date

FINAL APPROVAL

By P. Meginniss

Date 8-18-52

Alterations or Repairs Over

# ALTERATIONS & ADDITIONS

740 Building Permits: # 39842 Eight ton air condition unit- Miami Beach Air Conditioning \$2,800..Oct.22,1952  
 740 # 39873 Flat wall sign - Claude Southern Corp. \$ 300:..Oct.27,1952  
 740

736-71st St. #55685 Tropicalites: Flat wall neon sign - 15x5'- 75 sq.ft.total- 2ZENITH ATLAS T.V.-  
 \$400.00 - March 11, 1958

734-71st St. #56803 ABC Neon: Flat wall neon sign - 28 sq.ft.- \$300 - July 18, 1958(Maurice of Paris BT)  
 736-40-71st: On 2/16/60, Zoning Board of Adjustment granted a variance to Atlas TV Center, Inc. to permit use  
 of the rear of the store as a TV & radio repair shop, with conditions that repairs be obscured by a partition  
 from the view of the public & that no signs advertising repairs be visible from the public way.

734-71st St. #64462 Lang Roofing: Roof Repairs - \$85.00 - March 24, 1961

740 71st St. #64646 L & G Glass & Mirror Works:- remove plate glass windows and replace with smaller panes & aluminum ribs &  
 porcelain panels - no structural changes - \$2,000. - Apr.21,1961

736 71st ~~XXXXXX~~ #65609 Syd Hayman: alterations to existing store. Block existing window and add door.  
 replace front door - \$975 - 8/11/61

730 - 71st St.: #66515 M. R. Schwartz: Remodel front of bldg. and install partitions for offices - \$1,000. - 12/11/61

~~720-71st St. #66515 M. R. Schwartz: Remodel front of bldg. and install partitions for offices - \$1,000. - 12/11/61~~  
 OK Saperstein 12/31/64

OK FLAAG 3/13/62

730 - 71st St.: #66577 Thermo Air Service, Inc.: Install a 10-ton air conditioning system, water cooled - \$3,000. - 12/20/61

736 - 71st St.: #66983 Cherry Roof Cleaning and Painting: Exterior Painting - \$100. - 3/21/62

720 - 71st St.: #69161 C. E. Morgan: Two 2-ton a.c. wall units - \$800. - 4/16/63 OK Plaag 5/28/63

## PLUMBING PERMITS:

#45419 Morgen Plumbing: 1 laundry wash.machine; 1 steam boiler,oil fired; 1 steam pressing machine - 7/21/66

740 Electrical Permits# 37829 Gates Electric Co; Inc.: 4 switch outlets, 6 receptacles, 4 light outlets,  
 4 fixtures- Oct. 21, 1952 OK, Meginniss, 2-12-53

740 # 37872 Claude Southern Corp: 2 neon transformers- Oct. 27, 1952-OK,Meginniss,1/21/53

736 #42161 Tropicalite: 3 neon transformers, 1 flasher: June 8, 1954

734 #44113 Electro Neon Sign Co: one neon transformer March 11, 1955

714 - 71st Street #44212 Astor Electric Service: 2 fixtures, 1 motor March 31, 1955 OK, Plaag  
 4/29/1955

714 71st Street 47606 Astor Electric Serv., Inc: one motor OK, May 31, 1956  
 Plaag 8/21/1956

736-71st #51679 Tropicalites: 2 Neon Transformers - 3/11/58

734-71st #52325 ABC Neon: 1 Neon Transformer - July 18, 1958

720 - 71st St. - #57723 Lyon Electric Co., Inc.: 4 switch outlets; 35 receptacles; 30 light outlets; 30 fixtures - 12/13/61  
 OK Scarborough 5/25/62

#59501 Lewis C. Wagner Elec: 16 receptacles, 4 fixtures, 2 motors 2-5 HP-4/16/63 OK Fidler 8/6/63

#59947 Lewis Wagner Elec: 1 switch outlet, 17 receptacles, 8 fixtures-7/30/63 OK Fidler 8/6/63

*Ruth Scott County Sales*

Owner ALLAN M. KAUFMAN Permit No. 35946 *38510* Cost \$ 4,200...  
 parts Lot 1 & 2 Block 16 Subdivision NORMANDY BEACH Address 734 71st Street  
 General Contractor J. C. Woodruff SOUTH Bond No. 736  
 Architect Nathan A. Seiderman  
 Zoning Regulations: Use BAA Area 19 Lot Size ?  
 Building Size: Front 16'8 Depth 62'4 Height 15'6 Stories 1  
 Certificate of Occupancy No. Use STORE - (check overhang)  
 Type of Construction #2 CBS Foundation Spread Footing Roof Flat Date May 25, 1951

PLUMBING Contractor #31858 Futch & Associates Sewer Connection 1 (4") Date 6/21/1951  
 #31841 Futch & Assoc. Temporary Water Closet June 18, 1951

Water Closets 1,	Swimming Pool Traps	Down Spouts 1,
Lavatories 4,	Steam or Hot Water Boilers	Wells
Bath Tubs	ROUGH APPROVAL Sewer, rough & top-out	6/22/51 Rothman
Showers	FINAL APPROVAL 7-24-51	Rothman
Urinals		
Sinks		

Dish Washing Machine	GAS Contractor	Date
Laundry Trays	Gas Ranges	Gas Frylators
Laundry Washing Machines	Gas Water Heaters 1,	Gas Pressing Machine
Drinking Fountains	Gas Space Heaters	Gas Vents for Stove
Floor Drains	Gas Refrigerators	
Grease Traps	Gas Steam Tables	
Safe Wastes	Gas Broilers	
	GAS Rough APPROVAL 7-24-51	Rothman
	GAS FINAL APPROVAL 7-24-51	Rothman

AIR CONDITIONING Contractor  
 SEPTIC TANK Contractor  
 OIL BURNER Contractor  
 SPRINKLER Contractor

ELECTRICAL Contractor # 34402 Lyon Electric Date July 5, 1951  
 OUTLETS Switches 5 Ranges Temporary Service #34449 Lyon Electric 7/11/51  
 Lights 8 Irons Neon Transformers  
 Receptacles 14 Refrigerators Sign Outlets  
 Fans  
 Motors  
 HEATERS Water Appliances Centers of Distributions 2  
 Space Service Equipment 1  
 Violations  
 FIXTURES 8 Electrical Contractor Date

FINAL APPROVAL  
 By H.O. Rosser  
 Date 7/24/51  
 10-4-1951

# ALTERATIONS & ADDITIONS

Building Permits: # 39535 Air conditioning (rental unit) - One 5 ton unit - United Engineering Corp.  
 OK - A. Plaag 10-10-52 \$ 250.... Sept. 23, 1952

ok Plaag 11-12

740 71 st : # 39842

ON MAY 17, 1965, ZONING BD. OF ADJUSTMENT GRANTED VARIANCE TO PERMIT A MORTUARY OFFICE IN THE REAR 35' OF BLDG. SITUATED ON LOTS 1 & 2, BLOCK 16, NORMANDY BEACH SOUTH, PROVIDED THAT NO PORTION OF THE CHAPEL OR REPOSE AREA BE LOCATED IN THE "BAA" ZONE, IN ACCORDANCE WITH ONE-PAGE PLAN OF ARCHITECT HOWARD DUTKIN. ON MAY 19, 1965, CITY COUNCIL APPROVED. FILE #365.

#74276 Lang Roofing & Tile Co. Inc.: reroof - \$1320 - 6/22/65

#74464 Arkin Const. Co.: Remodel interior for mortuary - Howard Dutkin, arch. - \$15,000 - 7/23/65 TEMP. C.O. #4058, 10/21/65  
 FINAL C.O. #4063, 11/10/65 O.K. Brown 11/15/65

## Plumbing Permits:

734 - 71st Scott Beauty Salon # 34966 McCaughan Plumbing Co: 1 Electric water heater (30 gal) June 9, 1953  
 730 - 71st St. #44886 Service Plumbing: 5 water closets; 4 lavatories; 2 showers; 2 sinks; 1 drinking fountain - 8/12/65  
 730 - 71st St. #44891 Service Plumbing: 1 water closet; 1 lavatory; 1 sink; 2 slop sinks; 1 urinal; 2 floor drains-sand traps;  
 OK Jenks 10/26/65 1 elec. hot water heater - 8/17/65 (add to permit #44886)

~~736xxx71stx8tx~~

Electrical Permits: # 35142 Lyon Electric: 4 receptacles, violations - Oct. 2, 1951

# 37518 Astor Electric Service: 1 center of distribution, 1 meter change, 2 motors -  
 OK - H.O. Rosser 9-22-52 Sept. 12, 1952

740 71st str: # 37997 Angler Electric Co: 1 Meter change, 2 Motors, Nov. 10, 1952 ok 11-12-52 PM

720 - 71st St. Hammer & Wood, Inc.: #62612 26 switch outlets; 30 light outlets; 64 receptacles; 37 fixtures - 8/16/65

Owner L. B. JACKSON COMPANY

Permit No. 30471

Cost \$ 19,000.

Lot 1 &amp; 2 Block 16 Subdivision NORMANDY BEACH

Address 720 &amp; 730 71st Street

See Over-

General Contractor L. B. Jackson Company SOUTH

Bond No. 4194

716 &amp; 718 --71st str --

Architect August Swarz

&amp; Aaron Goldman 8/18/1949

Engineer Riley &amp; Ross

Zoning Regulations: Use BAA

Area 19

Lot Size

Building Size: Front 42'

Depth 80'

Height 13'8

Stories 1

Certificate of Occupancy No.

Use POST OFFICE BUILDING

Type of Construction #2 C B S

Foundation Spread footing 15x30

2nd Roof

Flat

Date Aug. 4, 1949

PLUMBING Contractor # 28630 Futch &amp; Roberts

Sewer Connection

1

Date Aug. 25, 1949

Temporary Water Closet

1

Water Closets 4

Swimming Pool Traps

Down Spouts

Lavatories 4

Steam or Hot Water Boilers

Wells

Bath Tubs

Showers

ROUGH APPROVAL

Urinals 2

FINAL APPROVAL

Sinks 1

Dish Washing Machine

GAS Contractor

Date

Laundry Trays

Gas Ranges

Gas Frylators

Laundry Washing Machines

Gas Water Heaters

Gas Pressing Machine

Drinking Fountains 1

Gas Space Heaters

Gas Vents for Stove

Floor Drains

Gas Refrigerators

Grease Traps

Gas Steam Tables

Safe Wastes

Gas Broilers

GAS Rough APPROVAL T. A. O'Neill 11/14/49

GAS FINAL APPROVAL T. A. O'Neill 11/14/49

AIR CONDITIONING Contractor

SEPTIC TANK Contractor

OIL BURNER Contractor

SPRINKLER Contractor

ELECTRICAL Contractor #29462 Grimm Electric

Date Sept. 1, 1949

OUTLETS Switches 9

Ranges

Temporary Service 1,

Lights 35

Irons

Neon Transformers

Receptacles 15

Refrigerators

Sign Outlets 2,

Fans 1

Meter Change

Motors

Centers of Distributions 1,

HEATERS Water

Appliances

Service 1,

Space

Violations

FIXTURES 35,

Electrical Contractor

Date

FINAL APPROVAL

By R. Woodmansee

Date 11-23-49

# ALTERATIONS & ADDITIONS

ADDITION #40902 Phil-Clare Realty Co: owner:  
 on parts Building Permits: 1 NEW STORE and REMODELING & ADDITION TO PRESENT POST OFFICE: \$ 13,000....Mar.9,1953  
 of L-1,2,11 & 12: (addn 39' x 80' x 17') #2 CBS, Spread footing: Flat roof:  
 N.A. Seiderman, architect: M. Feldman, Engr: J.J. Foos, Contractor: OK, Brown, 5/20/53

Note: Change of Easement approved by City Council Jan. 7, 1953

#44977	V. Baliasny:	Painting:	\$ 225.90	June 21, 54
736 - 71st St #44859	Tropicalites:	Roof Sign:	\$700.00	June 8, 54
710 - 71st St #47013	work by owner:	REMODELING one store into two stores with new toilet room:	\$ 600...	March 1, 1955
734 - 71st St. #47088	Electro Neon Sign Company:	flat wall sign, 26 sq. ft	\$ 150	March 11, 1955
730 - 71st St. #49706	J. J. Foos	Repairs to doors and door frames	\$ 300..	Feb. 1, 1956

Plumbing Permits# 29086 Futch & Roberts: 1 gas space heater - Nov. 28, 1949

(LR--Rough 3/4/55ok  
 IGC--Final 3/16/55)

716-718- 71st Str: # 34656 Leo Rosselle - 1 SEWER connection, 1 Water closet, 1 Lavatory: Mar.12,1953  
 716 71st Str: # 36885 Leo Rosselle - one water closet, 1 lavatory March 4, 1955

~~#39005 Kenny Elec Co: 8 Switch Outlets, 8 Receptacles, 24 Light Outlets, 24 Fixtures~~

Electrical Permits: #39005 Kenny Elec Co: 8 Switch Outlets, 8 Receptacles, 24 Light Outlets, 24 Fixtures  
 3 Centers of Distribution, 1 Serv. Equip., 1 Motor (2-5 HP):  
 OK, Meginniss, 7-6-53 . . . . . March 25, 1953



Lot 1 & 2 Block 16

Subdivision NORMANDY BEACH SOUTH (734 - 71st St.)

ALTERATIONS & ADDITIONS

Building Permits: #75143 S & S Air Conditioning: Install 2 - 8½ ton air cond. systems - \$5,000 - 11/1/65 OK Plaag <sup>11/8/65</sup>  
~~#74464 Arkin Const Co: Remodel interior for mortuary, \$15,000. - 7/23/65~~  
#75633 Alert Sandblasting: Sandblast sidewalk - \$115 - 1/13/66  
#77201 Tropical Neon: Roof sign 10 x 15 ft high - \$1,000 - 10/17/66 OK McLaughlin 12/1/66

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Plumbing Permits:

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Electrical Permits:

#64029 Tropical Neon: 4 neon transformers - 10/17/66

Lot

Block

Subdivision

## ALTERATIONS & ADDITIONS

Building Permits: #02394-R. Kleppinger-Partitions 2 offices-\$1000-1-15-73

- #20942 9/28/81 Tri-County Sign Co - remove existing metal sign 4'x8' & install 1 single face elect sign 4'x8' "ERA VALENTINO REALTY" 32 sq.ft. \$400.
- #MO6492 11/23/83 Allco Air Cond - 5 ton central install new 5 ton package in place of old 5 ton no heat
- #26532 2/15/85 Murton Roof Corp - reroof 38 sqs SFBC 3402.3 \$6,500.
- #MO7221 3/26/85 Allco Air Cond - 7½ ton cooling towers replacement of cooling tower connect to exist elec & water.

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Plumbing Permits:

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Electrical Permits: #70265-Meg Electric- 3 switch outlets; 5 light outlets; 10 receptacles;

10 fixtures 24 tubes fluorescent-1-15-73

- #77486 10/2/81 Tri County Sign Co 1 switch outlet, 4 sign tubes

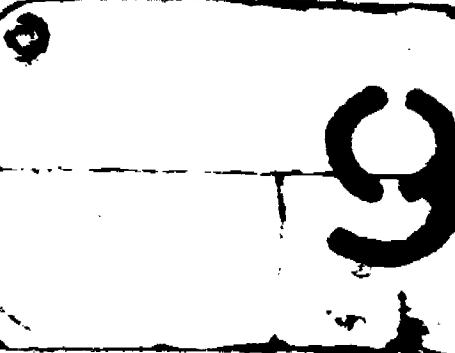


**PERMIT NUMBER**

B9300439

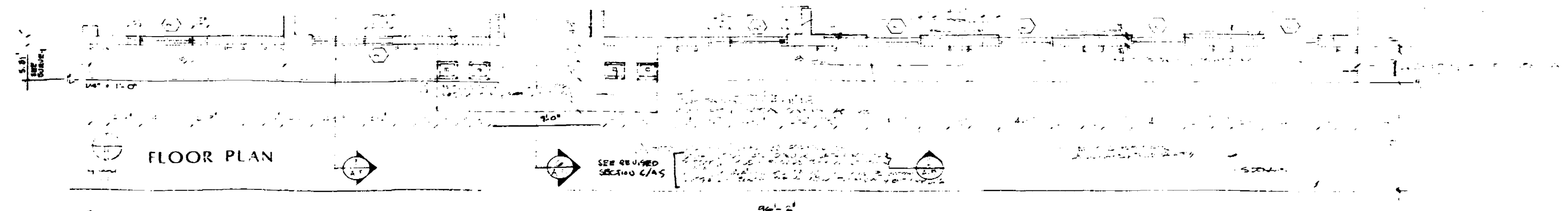
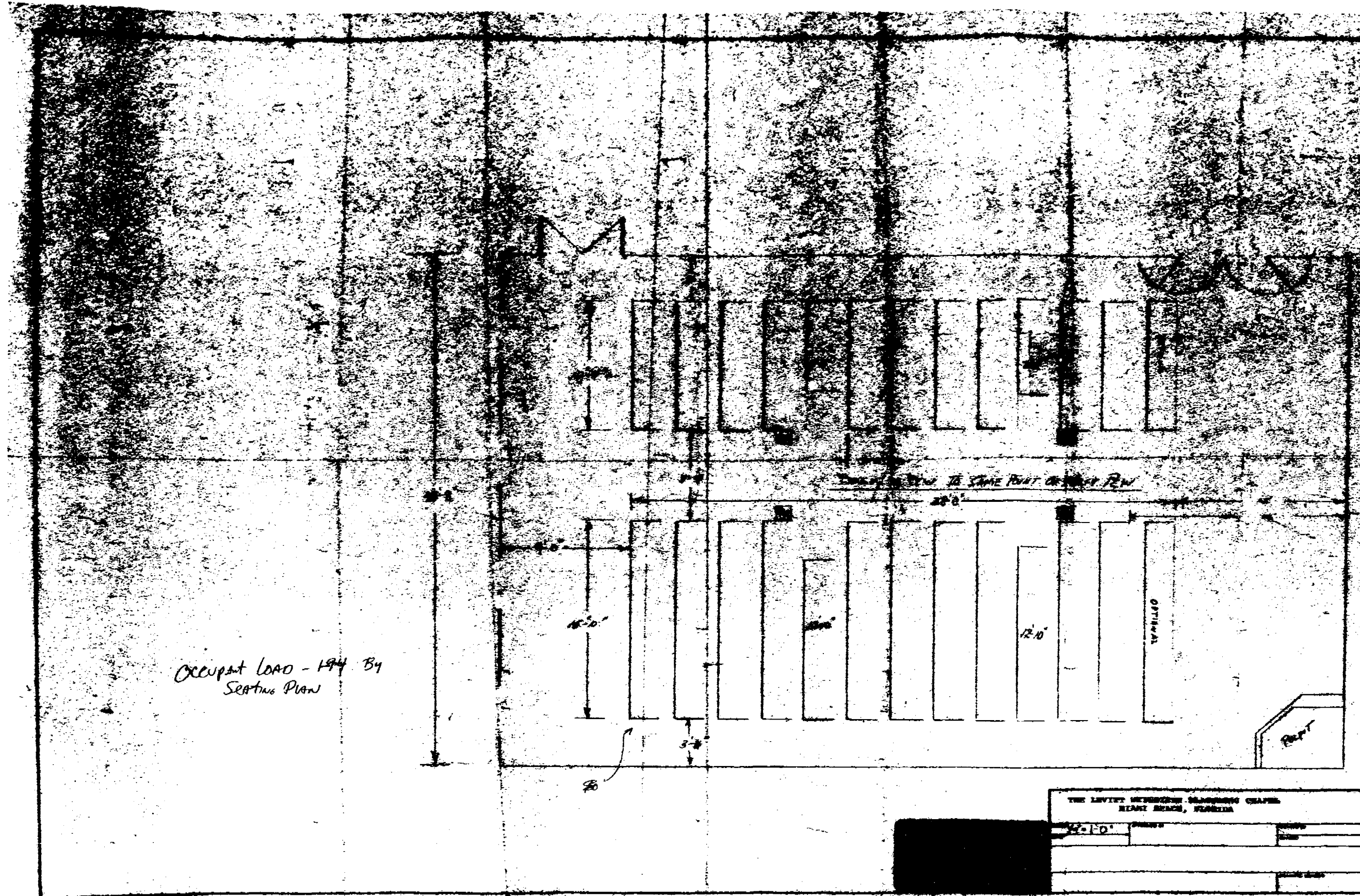
**ADDRESS**

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COPY  
MI BEACH  
PERMIT BY  
OWING:  
10-19-93

LEVITT WEINSTEIN FUNERAL HOME  
720 71ST STREET MIAMI BEACH, FLORIDA

**Frankel & Associates, Inc.**  
Architects - Planners - Interiors

1130 Washington Avenue, 8th Floor  
Miami Beach, Florida 33139 (305) 638-3853

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS

JOB NO. \_\_\_\_\_  
DATE \_\_\_\_\_

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and shall remain  
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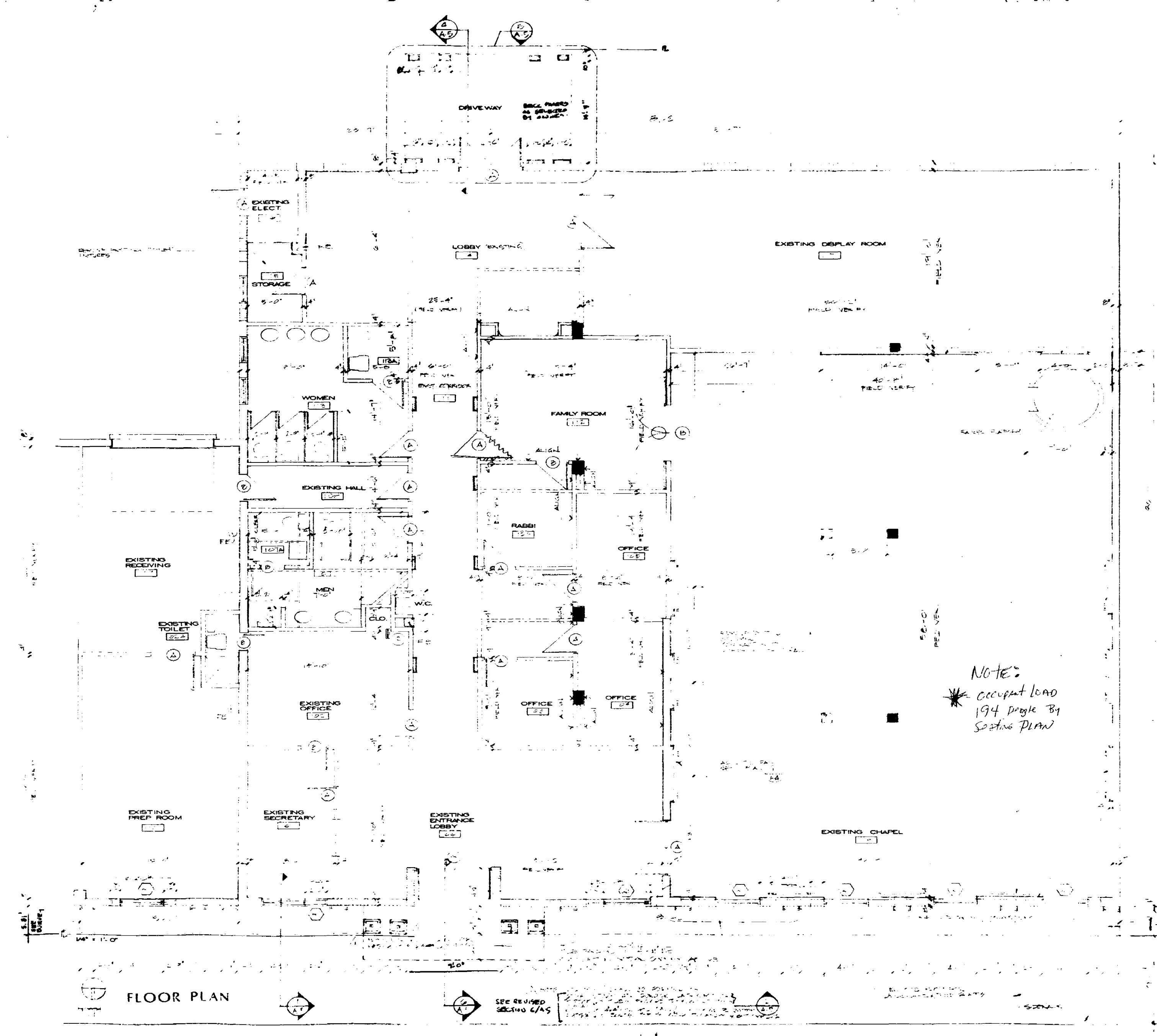
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A-3

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1. ALL EXISTING WALLS TO REMAIN  
 2. ALL EXISTING DOORS TO REMAIN  
 3. ALL EXISTING FLOORS TO REMAIN  
 4. ALL EXISTING CEILING TO REMAIN  
 5. ALL EXISTING MECHANICAL TO REMAIN  
 6. ALL EXISTING ELECTRICAL TO REMAIN  
 7. ALL EXISTING PIPING TO REMAIN  
 8. ALL EXISTING STRUCTURE TO REMAIN  
 9. ALL EXISTING LANDSCAPE TO REMAIN  
 10. ALL EXISTING UTILITIES TO REMAIN



NOTE:  
 Occupant load  
 194 Proje B1  
 Setting Plan

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 CITY OF MIAMI BEACH  
 APPROVED FOR PERMIT BY  
 THE FOLLOWING:  
 [Signature] 10-19-93

LEVITT WEINSTEIN FUNERAL HOME  
 720 71ST STREET MIAMI BEACH, FLORIDA

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 Miami Beach, Florida 33139 (305) 538-3663  
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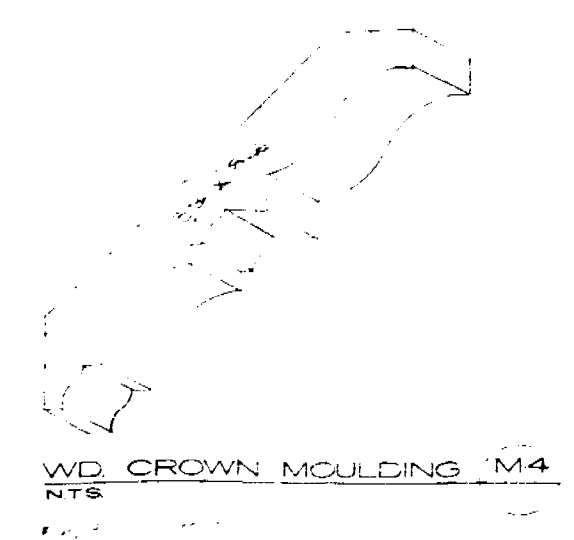
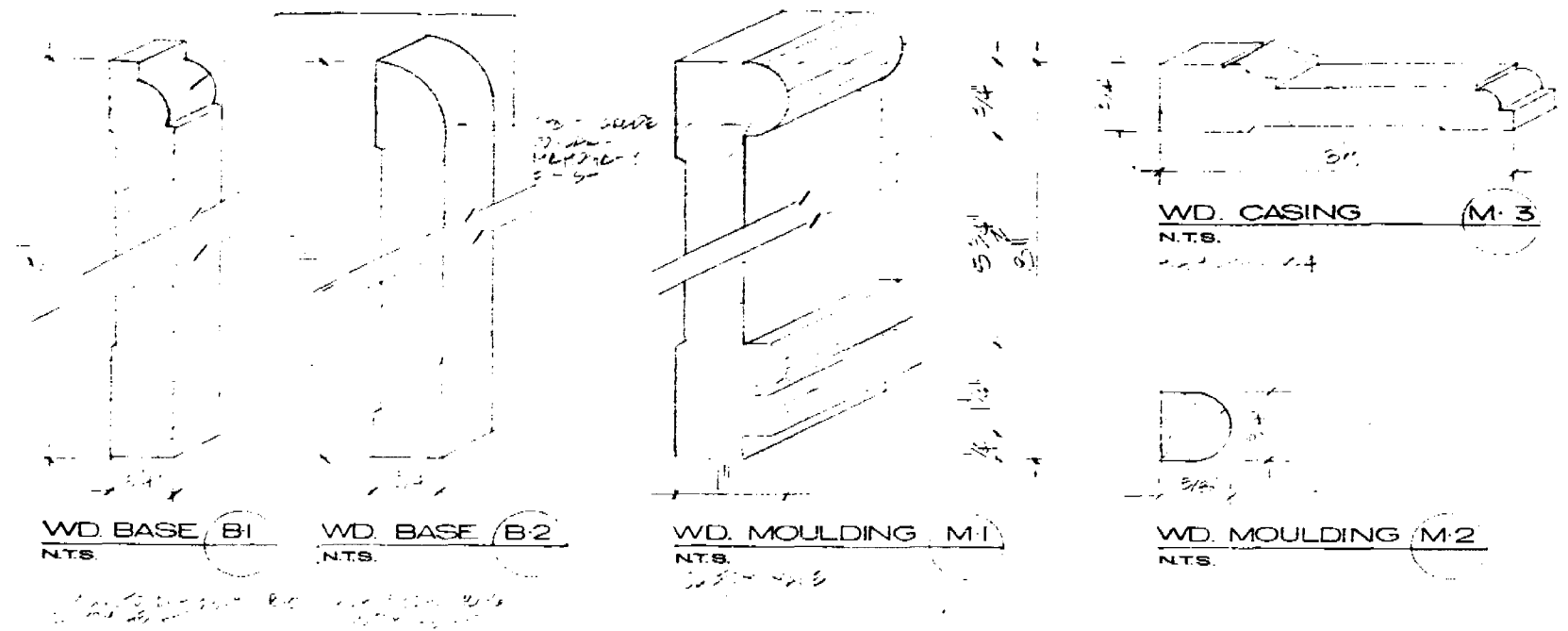
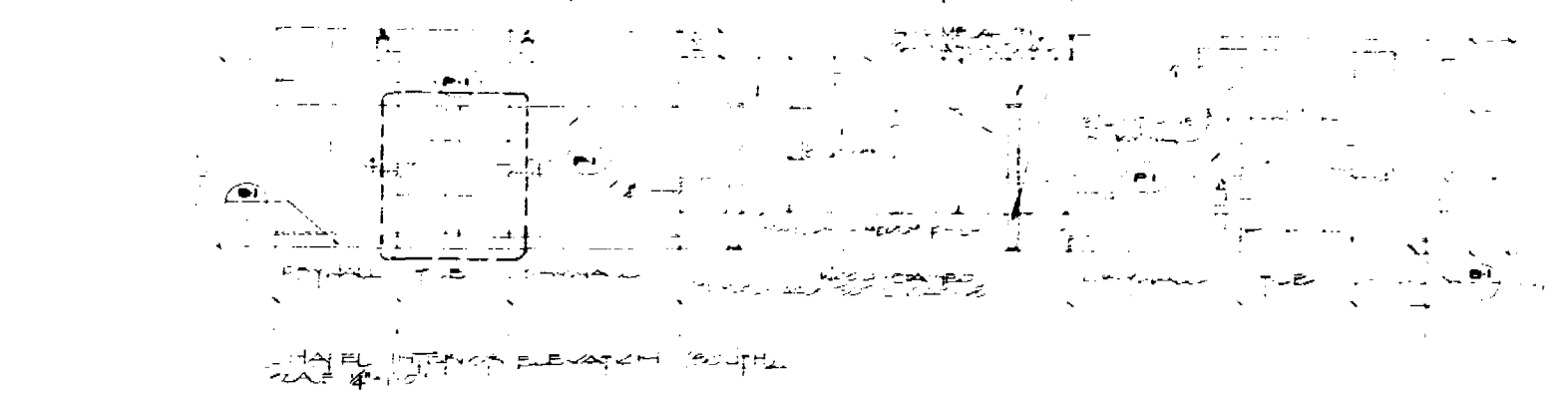
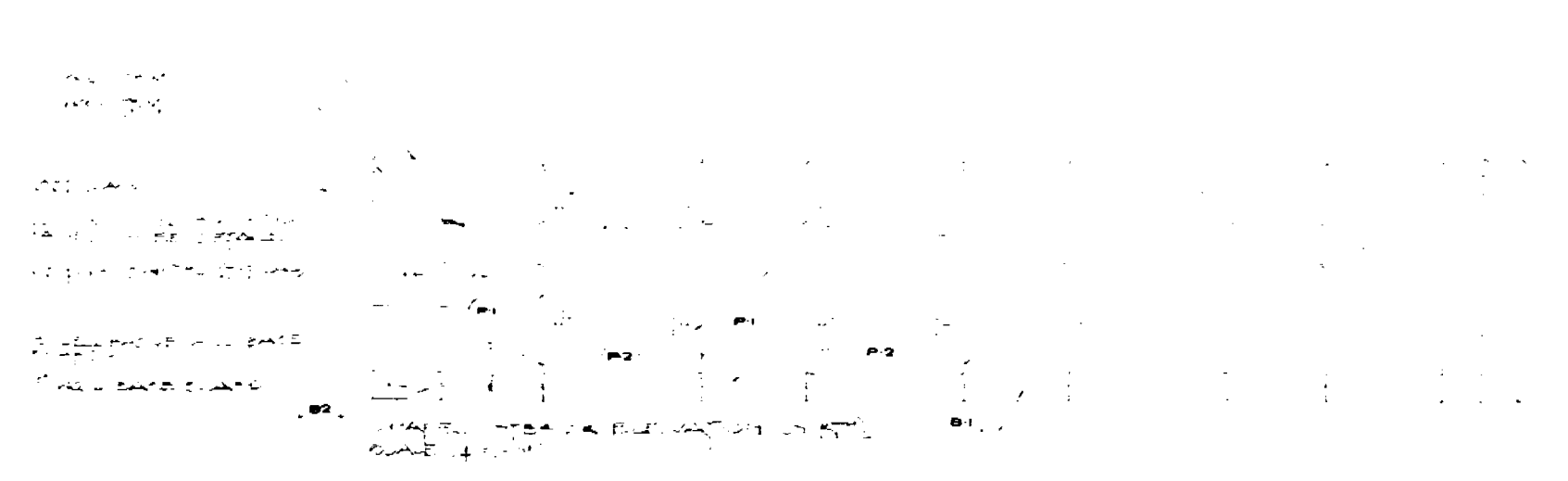
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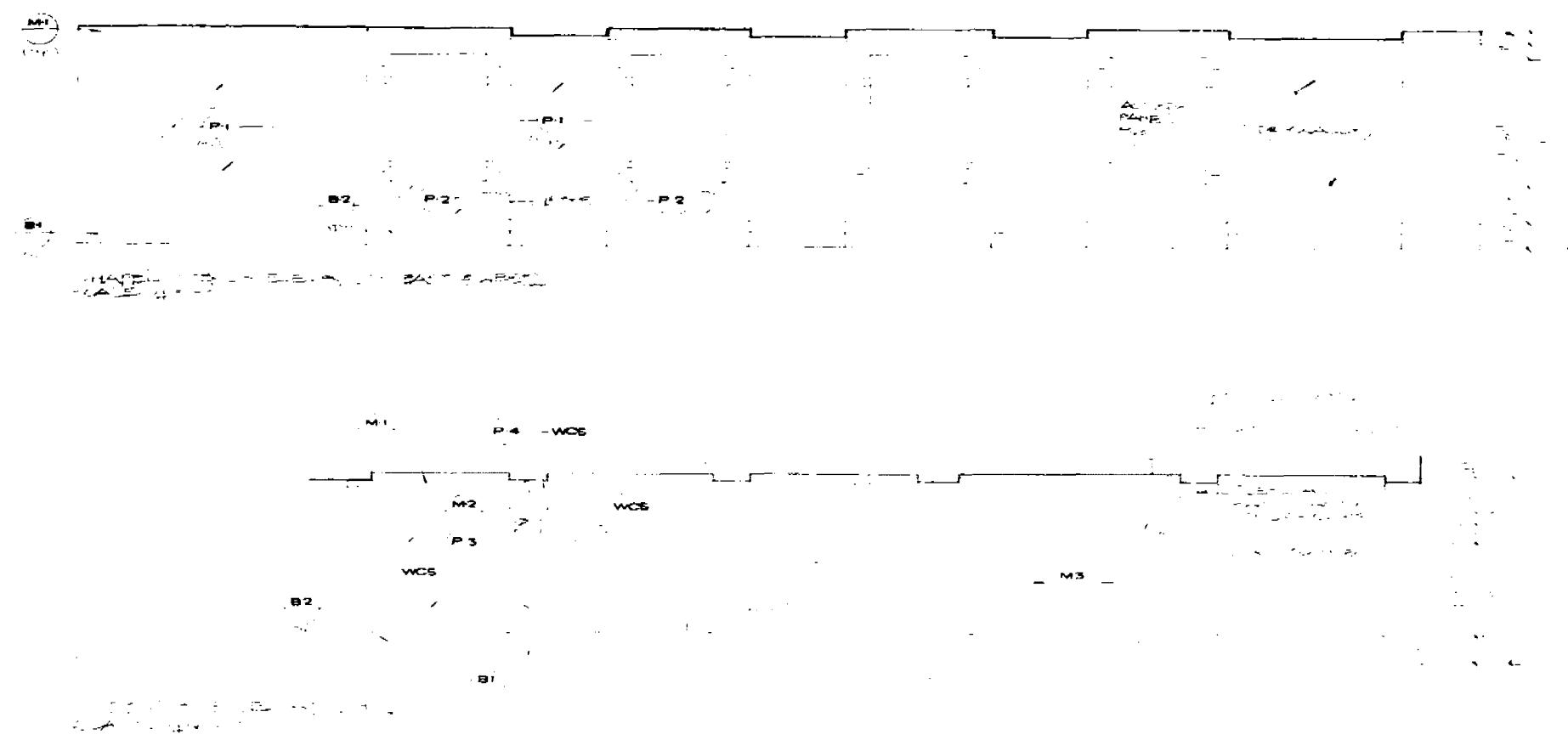
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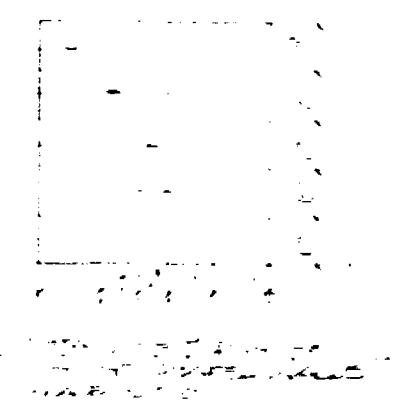




Notes:  
1. All woodwork to be finished with a clear finish.  
2. All woodwork to be installed in accordance with the manufacturer's instructions.  
3. All woodwork to be installed in accordance with the local building code.



ALL WORK TO BE  
IN ACCORDANCE WITH  
THE FOLLOWING:



APPROVED BY  
DATE: 10-19-93

*Signature*

LEVITT WEINSTEIN FUNERAL HOME  
720 71ST STREET MIAMI BEACH, FLORIDA

**Frankel & Associates, Inc.**  
Architects • Planners • Interiors

1130 WASHINGTON AVENUE, 8TH FLOOR  
MIAMI BEACH, FLORIDA 33138 (305) 535-5555

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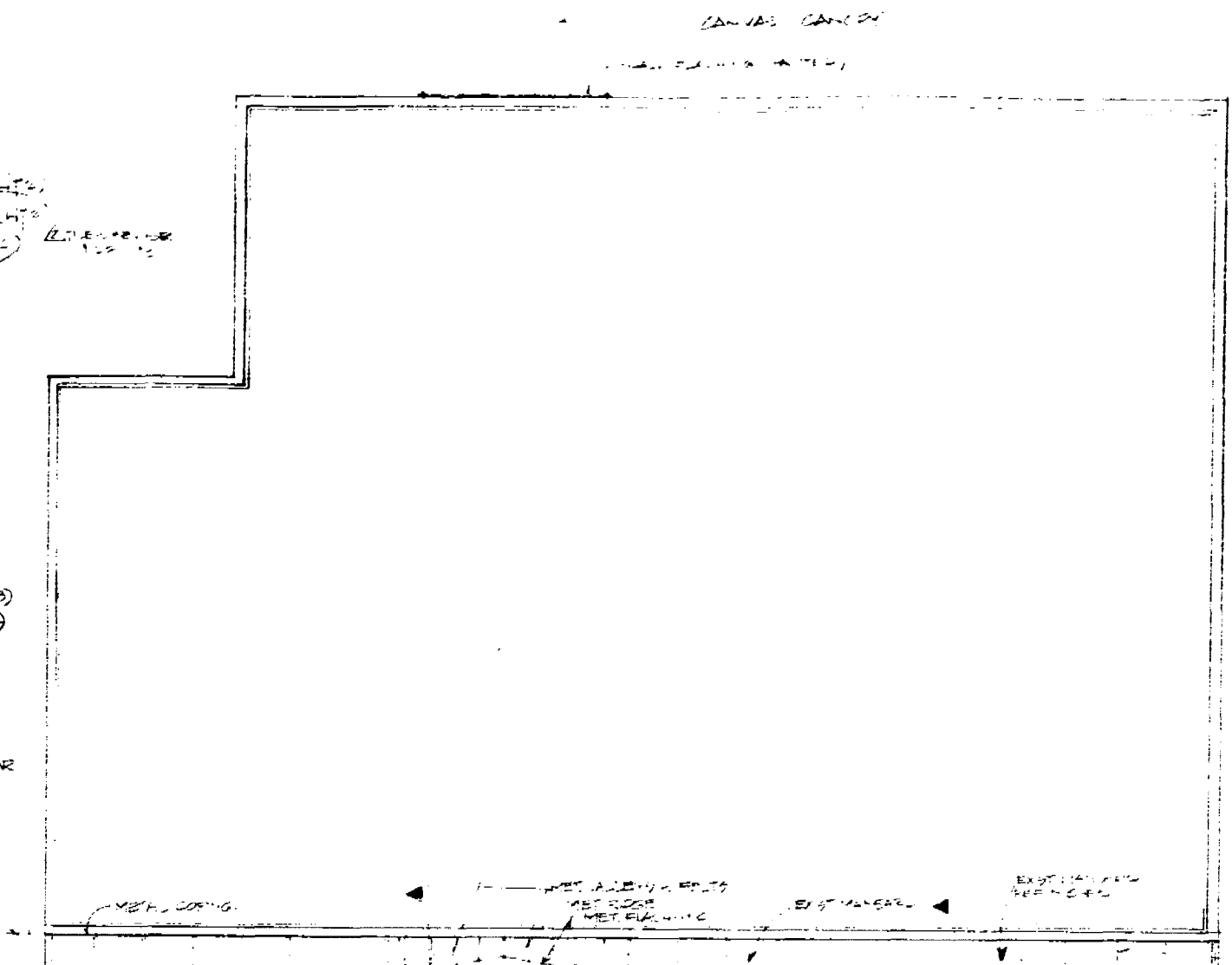
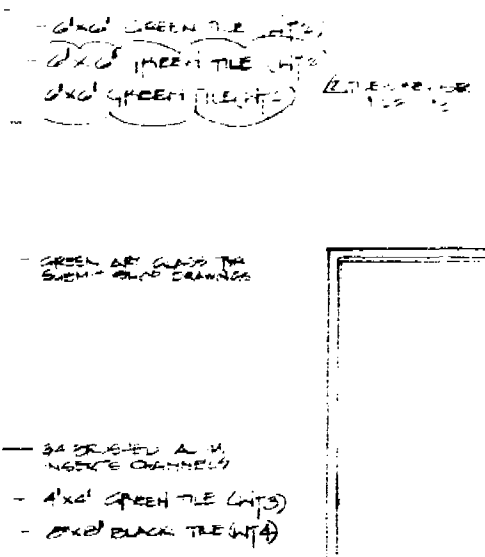
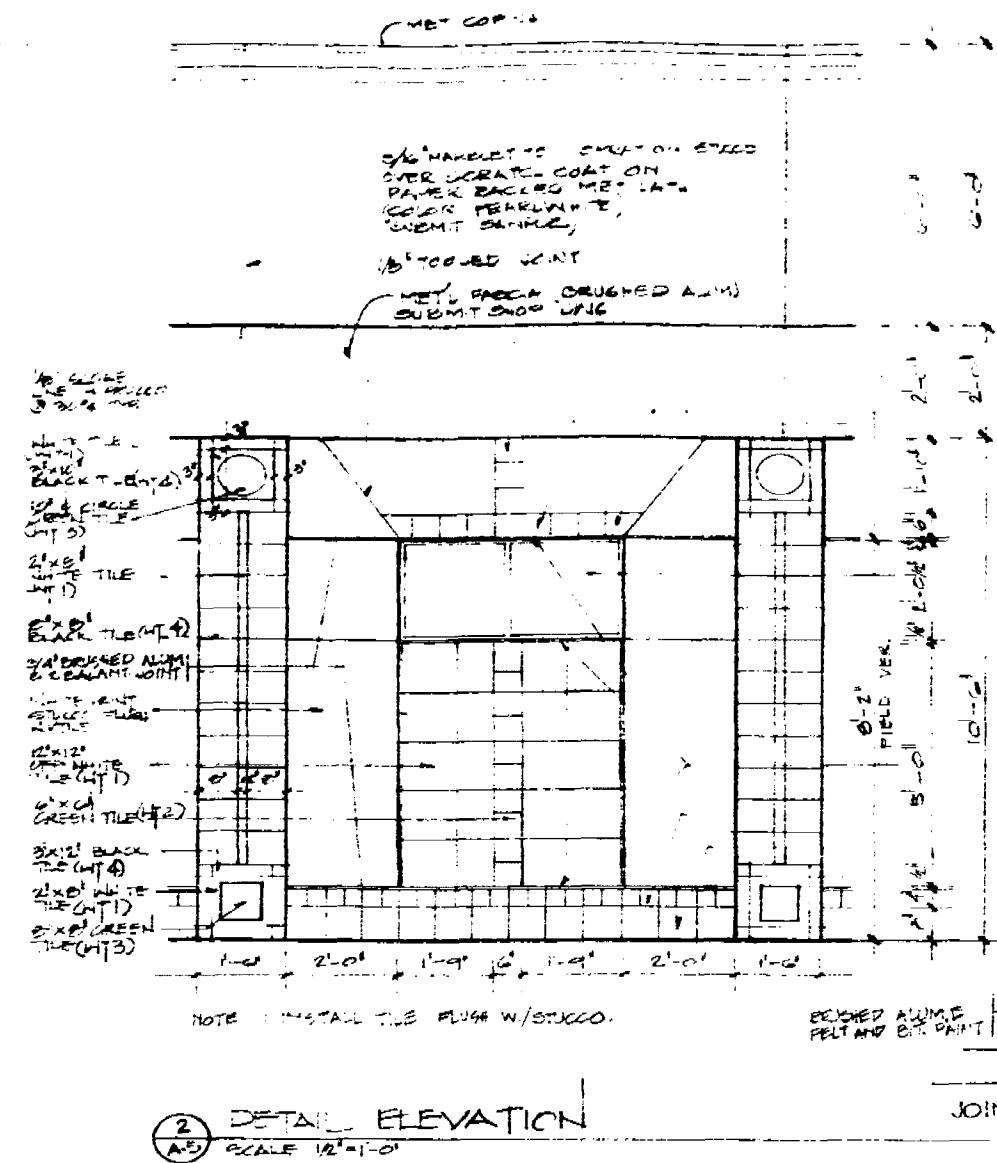
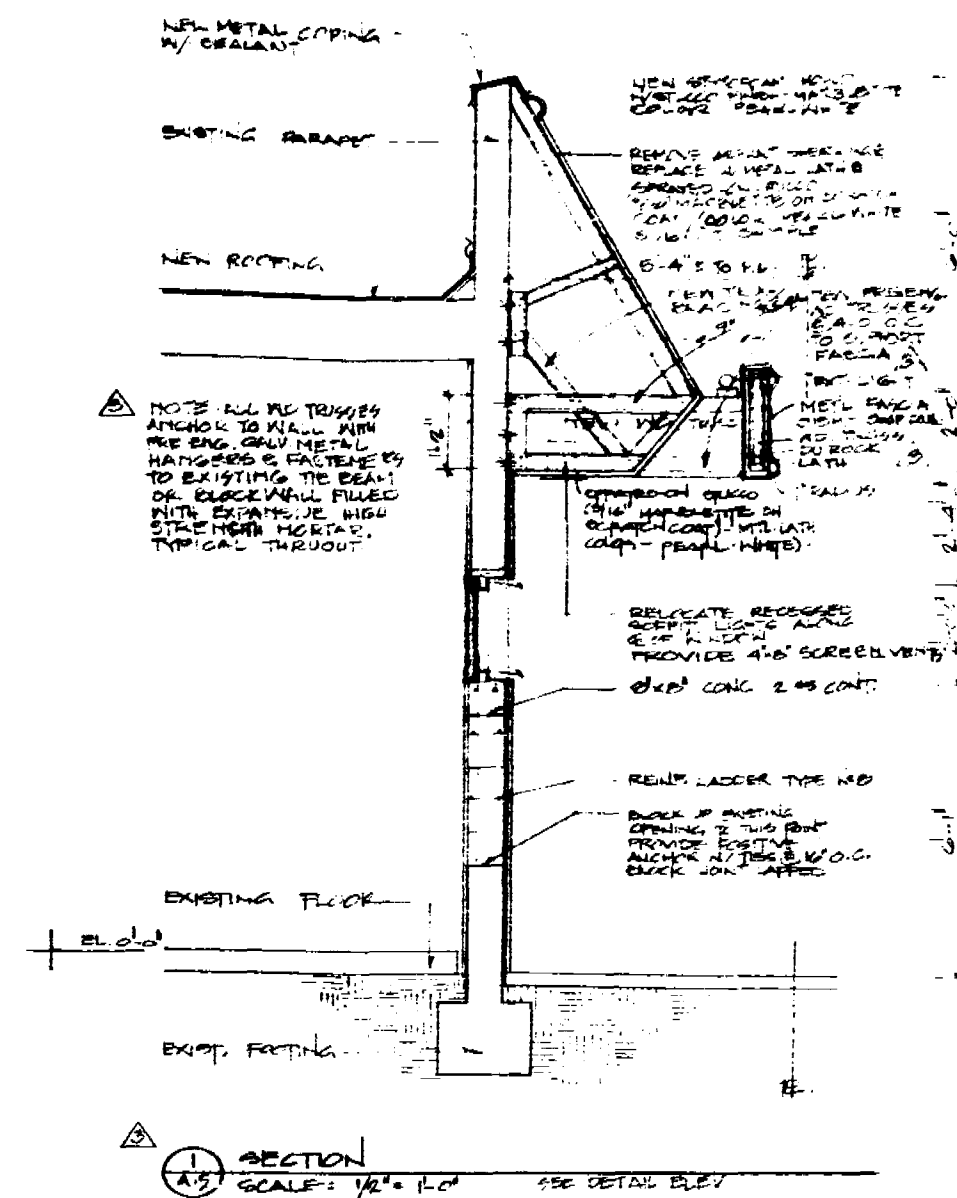
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REVISIONS:

NO.	DATE	DESCRIPTION

SHEET: A-4

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CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY

THE FOLLOWING:

BUILDING: 100 10-19-93

ZONING:

PLUMBING:

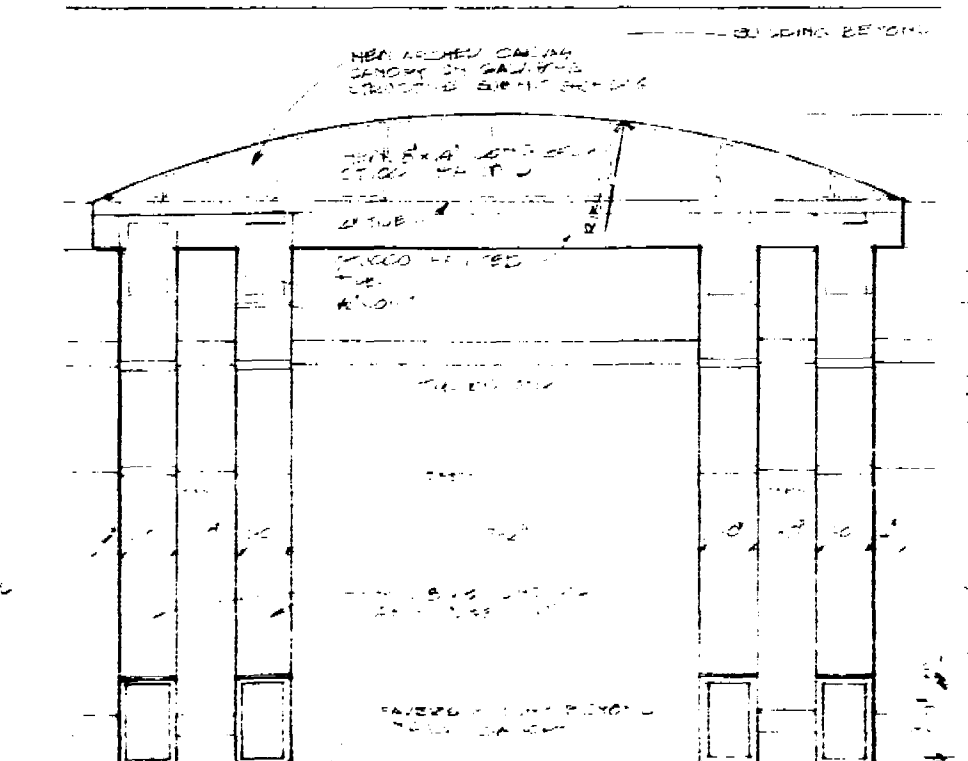
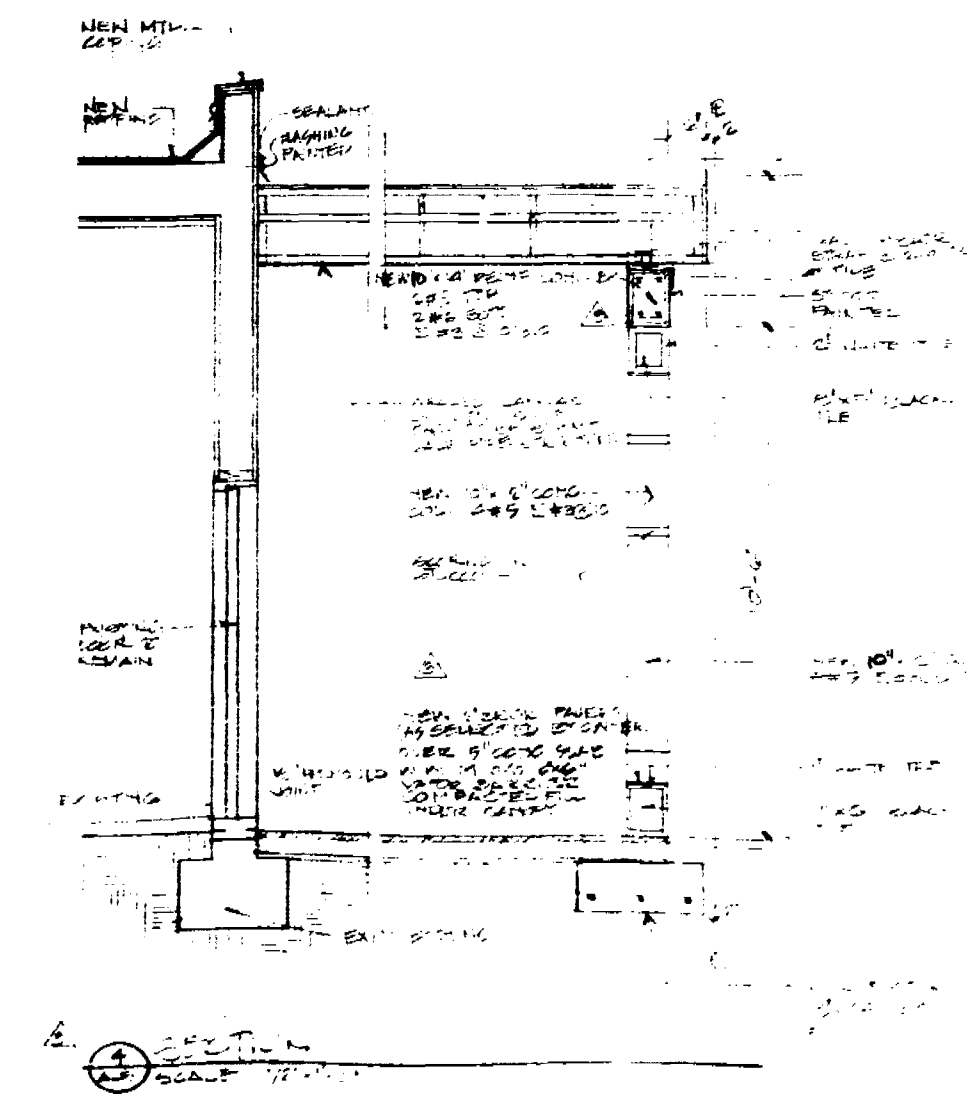
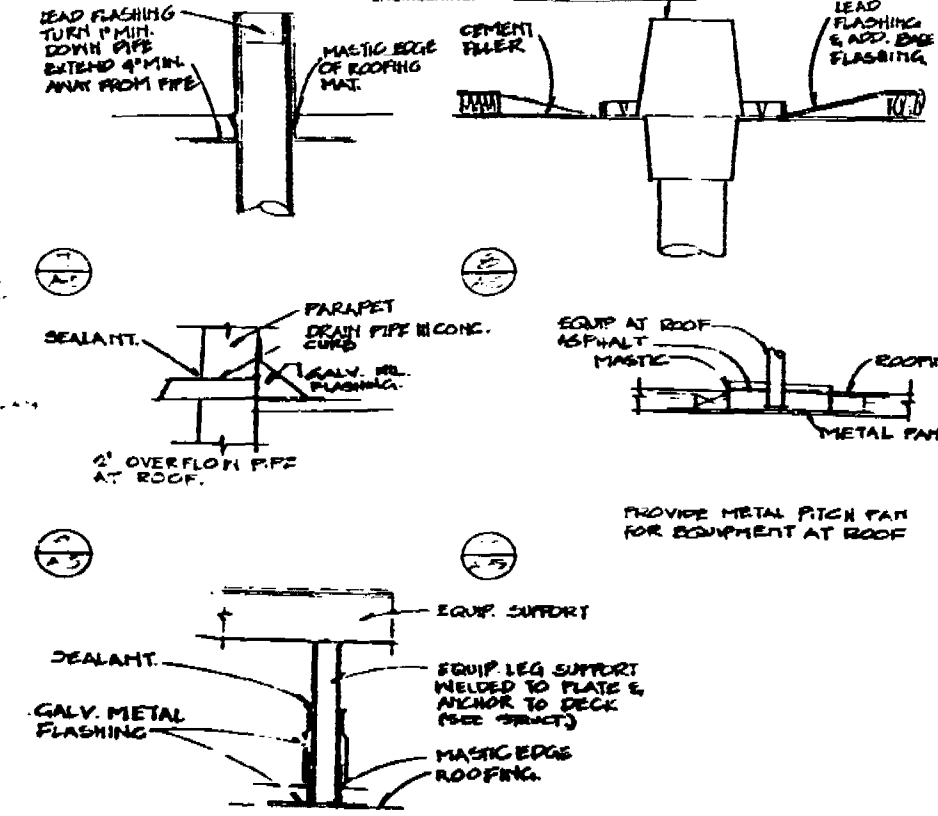
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MECHANICAL:

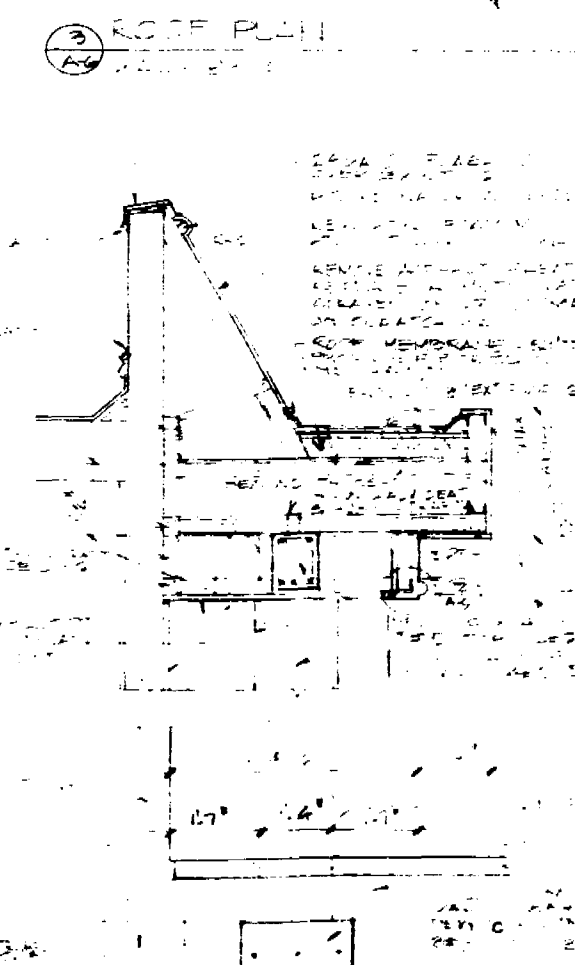
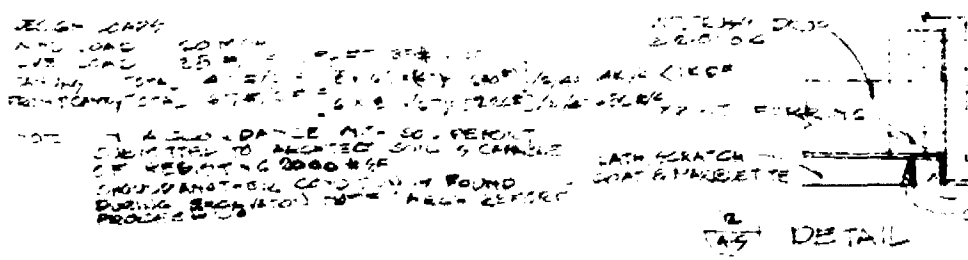
FIRE PREVENTION:

ENGINEERING:

ALON EQUIP. SEE MECH. PLAN



4 ELEVATION  
SCALE: 1/4" = 1'-0"



5 SECTION AT POINT  
SCALE: 1/4" = 1'-0"

LEVITT WEINSTEIN FUNERAL HOME  
720 71ST STREET MIAMI BEACH, FLORIDA

**Frankel & Associates, Inc.**  
Architects - Planners - Interiors

1120 Washington Avenue, 8th Floor  
Miami Beach, Florida 33139 (305) 535-3953

JOB NO: 2007

DATE: 10-19-93

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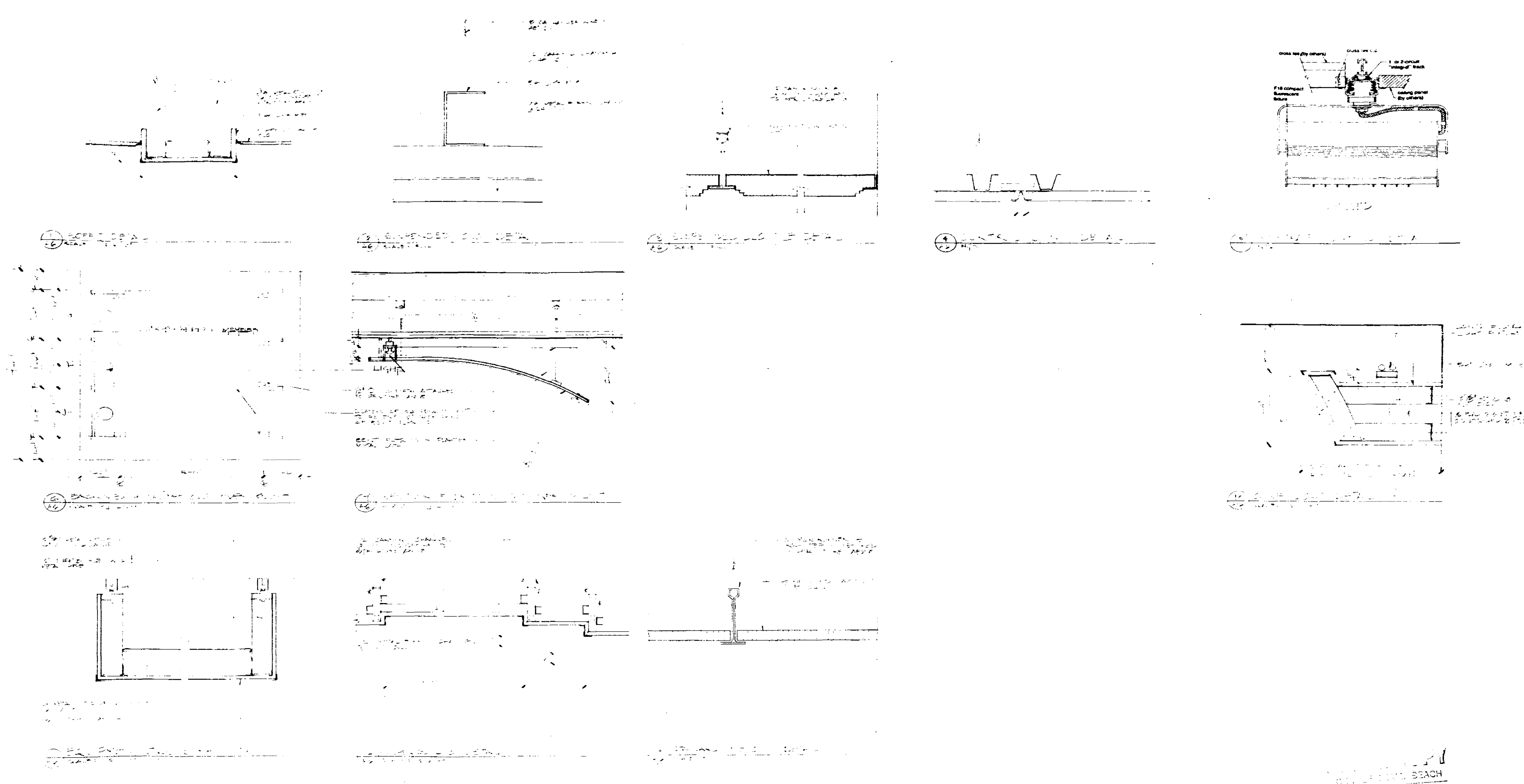
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SHEET:

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CITY OF MIAMI BEACH  
 DEPT. OF PERMITS  
 1100 BAYVIEW BLVD.  
 MIAMI BEACH, FL 33139  
 305-673-1234  
 11/14/13

LEVITT WEINSTEIN FUNERAL HOME  
 720 71ST STREET MIAMI BEACH, FLORIDA

**Frankel & Associates, Inc.**  
 Architects • Planners • Interiors

1130 Washington Avenue, 8th Floor  
 Miami Beach, Florida 33139 (305) 638-3883

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 A-6

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ROOM FINISH SCHEDULE						
NO.	ROOM	FLOOR	BASE	WALLS	CEILING	REMARKS
1	ENTRANCE					
2	RECEPTION					
3	OFFICE					
4	CONFERENCE					
5	RESTROOM					
6	STORAGE					
7	LOBBY					
8	HALL					
9	STAIR					
10	MEETING					
11	TRAINING					
12	WORKSHOP					
13	LABORATORY					
14	OFFICE					
15	CONFERENCE					
16	RESTROOM					
17	STORAGE					
18	LOBBY					
19	HALL					
20	STAIR					
21	MEETING					
22	TRAINING					
23	WORKSHOP					
24	LABORATORY					
25	OFFICE					
26	CONFERENCE					
27	RESTROOM					
28	STORAGE					
29	LOBBY					
30	HALL					
31	STAIR					
32	MEETING					
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99	TRAINING					
100	WORKSHOP					

NOTES: Existing floor tiles to remain. Do not remove or disturb.  
 1. ALL FINISHES TO BE APPROVED BY OWNER/ARCHITECT.  
 2. DURABLE AND EASY TO MAINTAIN MATERIALS.  
 3. COLOR MATCHING SPECIFIC.

DOOR SCHEDULE									
NO.	ROOM	DOOR TYPE	DOOR SIZE	MAX. CORR.	FRAME	GLASS	THRESHOLD	LABEL	REMARKS
1	ENTRANCE	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	101	
2	RECEPTION	SLIDING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	102	
3	OFFICE	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	103	
4	CONFERENCE	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	104	
5	RESTROOM	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	105	
6	STORAGE	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	106	
7	LOBBY	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	107	
8	HALL	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	108	
9	STAIR	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	109	
10	MEETING	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	110	
11	TRAINING	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	111	
12	WORKSHOP	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	112	
13	LABORATORY	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	113	
14	OFFICE	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	114	
15	CONFERENCE	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	115	
16	RESTROOM	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	116	
17	STORAGE	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	117	
18	LOBBY	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	118	
19	HALL	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	119	
20	STAIR	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	120	
21	MEETING	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	121	
22	TRAINING	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	122	
23	WORKSHOP	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	123	
24	LABORATORY	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	124	
25	OFFICE	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	125	
26	CONFERENCE	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	126	
27	RESTROOM	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	127	
28	STORAGE	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	128	
29	LOBBY	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	129	
30	HALL	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	130	
31	STAIR	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	131	
32	MEETING	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	132	
33	TRAINING	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	133	
34	WORKSHOP	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	134	
35	LABORATORY	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	135	
36	OFFICE	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	136	
37	CONFERENCE	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	137	
38	RESTROOM	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	138	
39	STORAGE	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	139	
40	LOBBY	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	140	
41	HALL	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	141	
42	STAIR	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	142	
43	MEETING	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	143	
44	TRAINING	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	144	
45	WORKSHOP	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	145	
46	LABORATORY	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	146	
47	OFFICE	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	147	
48	CONFERENCE	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	148	
49	RESTROOM	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	149	
50	STORAGE	SWING	36" X 80"	1/2"	ALUM.	GLASS	1/2"	150	

LEVITT WEINSTEIN GENERAL HOME  
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 212 696-1300

- PC-1 CARPET (N.I.C.)  
 MFG.: PATCRAFT  
 COLOR/STYLE: LEGENDS 694-079 LOCHNESS  
 YARN: 100% NONSANTO ULTRON  
 CONTINUOUS FILAMENT NYLON  
 YARN WGT: 45 OZ.  
 STATIC CONTROL: BUILT-IN PERMANENT STATIC CONTROL  
 ASTM E-648, CLASS 1 FIRE RATING.
- PC-2 CARPET (N.I.C.)  
 MFG.: PATCRAFT  
 COLOR/STYLE: JAZZ 38 736027 VIBES  
 YARN: 100% NONSANTO LXI TYPE NYLON  
 YARN WGT: 38 OZ.  
 STATIC CONTROL: BUILT-IN PERMANENT STATIC CONTROL  
 ASTM E-648, CLASS 1 FIRE RATING.
- PC-3 PORCELAIN TILE AT LOBBIES  
 MFG.: IBERIA TILES  
 STYLE: CERAMICSTONE  
 COLOR: ORIGO ARDENNE MATTE #89553  
 SIZE: 12x12
- PC-4 PORCELAIN TILE ACCENT AT LOBBIES  
 MFG.: IBERIA TILES  
 STYLE: CERAMICSTONE  
 COLOR: SEASHELL #350 POLISHED  
 SIZE: 12x12 TILE CUT TO 4x12. REFER TO SHEET 10-1 FOR SIZE AND FLOOR PATTERN.
- PC-5 PORCELAIN TILE ACCENT AT LOBBIES  
 MFG.: IBERIA TILES  
 STYLE: CERAMICSTONE  
 COLOR: T-1 NERO NATURAL FINISH  
 SIZE: 12x12 & 9x12. REFER TO SHEET 10-1 FOR SIZE AND FLOOR PATTERN.
- PC-6 PORCELAIN TILE ACCENT AT RESTROOMS  
 MFG.: IBERIA TILES  
 STYLE: CERAMICSTONE  
 COLOR: T-1 NERO NATURAL FINISH  
 SIZE: 12x12 TILE CUT TO 3x3. REFER TO SHEET 10-1 FOR SIZE AND FLOOR PATTERN.
- PC-7 PORCELAIN TILE AT RESTROOMS  
 MFG.: IBERIA TILES  
 STYLE: CERAMICSTONE  
 COLOR: JAVANTI ORIGO SCURO NATTE  
 SIZE: 12x12
- PC-8 PORCELAIN TILE ACCENT AT RESTROOMS  
 MFG.: IBERIA TILES  
 STYLE: CERAMICSTONE  
 COLOR: T-1 NERO NATURAL FINISH  
 SIZE: 12x12
- PC-9 PORCELAIN TILE BASE AT RESTROOMS  
 MFG.: IBERIA TILES  
 STYLE: CERAMICSTONE  
 COLOR: T-1 NERO NATURAL FINISH  
 SIZE: 12x12
- PC-10 VINYL TILE AT EXISTING BASE AND STORAGE ROOM  
 MFG.: TARKET  
 STYLE: EXCELRON IMPERIAL MODERN  
 COLOR: PEARL YELLOW SANT  
 SIZE: 12x12/6" T.M.
- B-3 VINYL BASE (N.I.C.)  
 MFG.: TARKET  
 STYLE: EXCELRON IMPERIAL MODERN  
 COLOR: PEARL YELLOW SANT  
 SIZE: 12x12/6" T.M.

ACOUSTICAL PANEL FABRIC & CHAIRS

GUILFORD OF MAIN : FR 701 PANEL FABRIC  
 STYLE 2100  
 COLOR: 474 ADOBE  
 WEAVE: PLAIN  
 CONTENTS: 100% POLYESTER  
 WIDTH: 66" USABLE  
 ASTM E-84: CLASS 1 OF A

SUSPENDED CEILING TILE

SCT-1 ARMSTRONG : CIRRIUS-SCORED BEADED CIRRIUS  
 9562 - 24x24x3/4"  
 REGULAR LAY IN FOR 9/16"  
 SUSPENDING EXPOSED TEE GRID  
 NET RANGE: 40 - 70  
 ST. RANGE: 35-39  
 CO. : COLORTONE CREAM

SCT-2 ARMSTRONG : CORTICA  
 4704 - 24x24x5/8"  
 REGULAR LAY IN FOR 15/16"  
 PRELUDER EXPOSED TEE GRID  
 NET RANGE: 40 - 70  
 ST. RANGE: 35 - 39  
 CO. : COLORTONE CREAM

WALLCOVERING AND LINEN

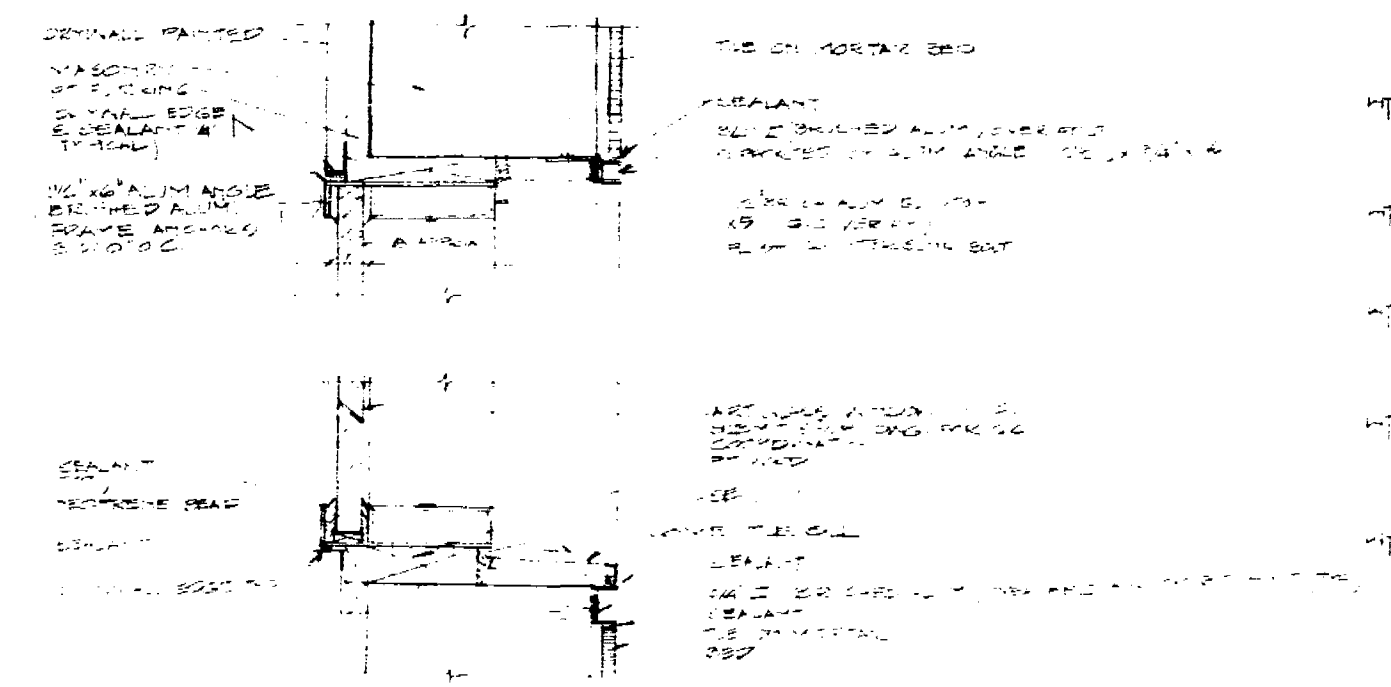
WC-1 VINYL WALLCOVERING AT RESTROOMS  
 MFG.: SEASHELL #350 POLISHED  
 STYLE: CERAMICSTONE  
 COLOR: ORIGO ARDENNE MATTE #89553  
 SIZE: 12x12

WC-2 ACQUAT BORDER WALLCOVERING AT RESTROOMS  
 MFG.: SEASHELL #350 POLISHED  
 STYLE: CERAMICSTONE  
 COLOR: ORIGO ARDENNE MATTE #89553  
 SIZE: 12x12

WC-3 VINYL WALLCOVERING AT OFFICES #101 THRU #105  
 MFG.: SEASHELL #350 POLISHED  
 STYLE: CERAMICSTONE  
 COLOR: ORIGO ARDENNE MATTE #89553  
 SIZE: 12x12

WC-4 VINYL WALLCOVERING AT BOTH LOBBIES, PARTIAL OFFICE AND FAMILY ROOM  
 MFG.: SEASHELL #350 POLISHED  
 STYLE: CERAMICSTONE  
 COLOR: ORIGO ARDENNE MATTE #89553  
 SIZE: 12x12

WC-5 VINYL WALLCOVERING AT WALL BETWEEN LOBBIES & EXIST.  
 MFG.: SEASHELL #350 POLISHED  
 STYLE: CERAMICSTONE  
 COLOR: ORIGO ARDENNE MATTE #89553  
 SIZE: 12x12



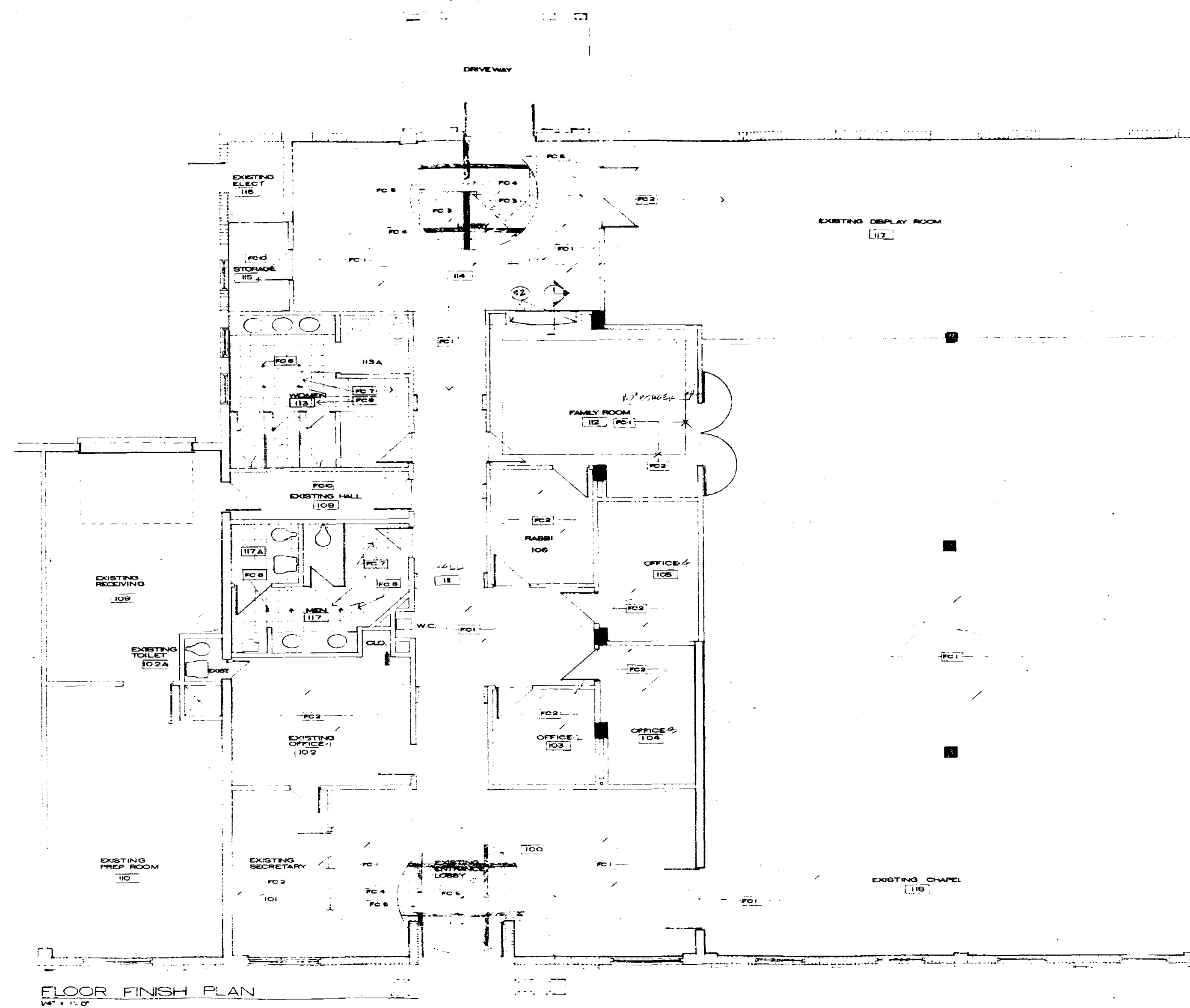
- HT-1 PLASTER ELEVATION  
 MFG.: ANHEIM  
 COLOR: WHITE  
 SIZE: 12x12
- HT-2 PLASTER ELEVATION  
 MFG.: ANHEIM  
 COLOR: WHITE  
 SIZE: 12x12
- HT-3 PLASTER ELEVATION  
 MFG.: ANHEIM  
 COLOR: WHITE  
 SIZE: 12x12
- HT-4 PLASTER ELEVATION  
 MFG.: ANHEIM  
 COLOR: WHITE  
 SIZE: 12x12
- HT-5 PLASTER ELEVATION  
 MFG.: ANHEIM  
 COLOR: WHITE  
 SIZE: 12x12
- HT-6 PLASTER ELEVATION  
 MFG.: ANHEIM  
 COLOR: WHITE  
 SIZE: 12x12

OFFICE DESIGN  
 1019-93

LEVITT WEINSTEIN GENERAL HOME  
 780 71ST STREET MANHATTAN, NY 10019  
**Frankel & Associates, Inc.**  
 780 71ST STREET MANHATTAN, NY 10019  
 212 696-1234  
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ROOM FINISHES				
RM. NO.	FLOOR	BASE	WALL	CEILING
100	EXIST.	FC-1	FC-2	FC-3
101	FC-2	FC-1	FC-2	FC-3
102	FC-2	FC-1	FC-2	FC-3
102A	EXIST.	EXIST.	EXIST.	EXIST.
103	FC-2	FC-1	FC-2	FC-3
104	FC-2	FC-1	FC-2	FC-3
105	FC-2	FC-1	FC-2	FC-3
106	FC-2	FC-1	FC-2	FC-3
107	FC-2	FC-1	FC-2	FC-3
107A	FC-2	FC-1	FC-2	FC-3
108	FC-2	FC-1	FC-2	FC-3
109	EXIST.	EXIST.	EXIST.	EXIST.
110	EXIST.	EXIST.	EXIST.	EXIST.
111	FC-2	FC-1	FC-2	FC-3
112	FC-2	FC-1	FC-2	FC-3
113	FC-2	FC-1	FC-2	FC-3
113A	FC-2	FC-1	FC-2	FC-3
114	FC-2	FC-1	FC-2	FC-3
115	FC-2	FC-1	FC-2	FC-3
116	FC-2	FC-1	FC-2	FC-3
117	FC-2	FC-1	FC-2	FC-3
118	FC-2	FC-1	FC-2	FC-3

MARBLE TOP AT DISPLAY NICHE

FLOOR FINISH PLAN

LEVITT WEINSTEIN FUNERAL HOME  
720 71ST STREET MIAMI BEACH, FLORIDA

**Frankel & Associates, Inc.**  
Architects - Planners - Interiors

1130 Washington Avenue, 8th Floor  
Miami Beach, Florida 33139 (305) 531-1330

JOB NO. \_\_\_\_\_

DATE \_\_\_\_\_

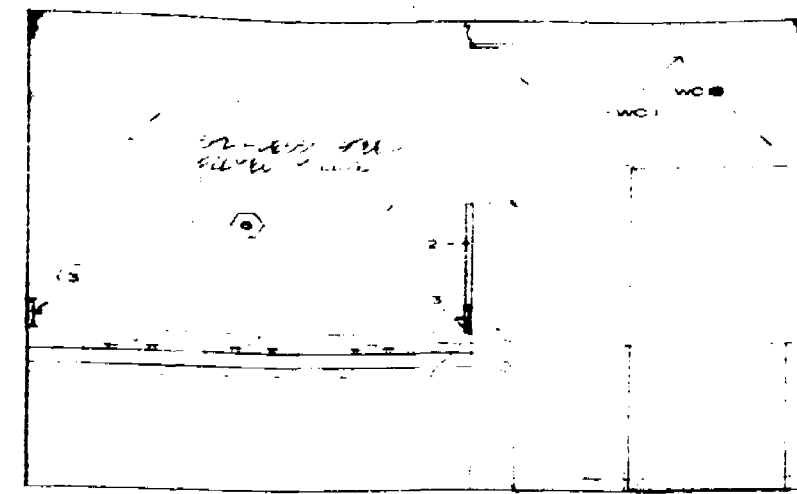
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REVISIONS:

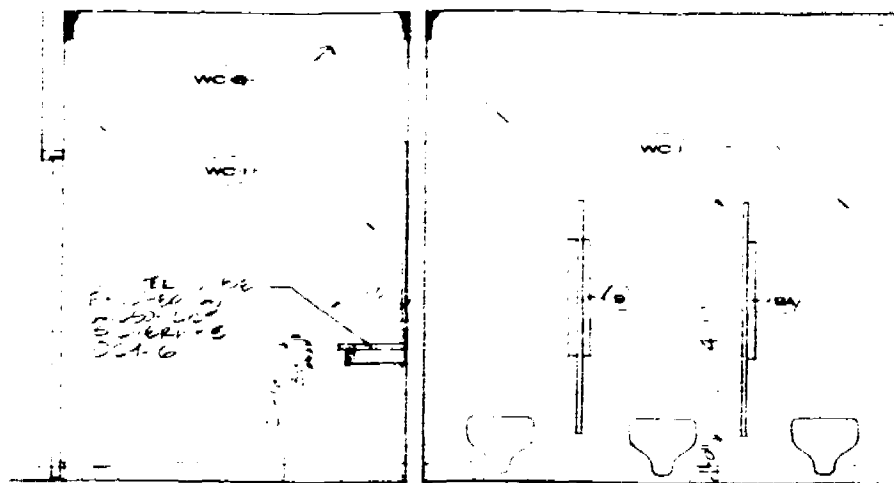
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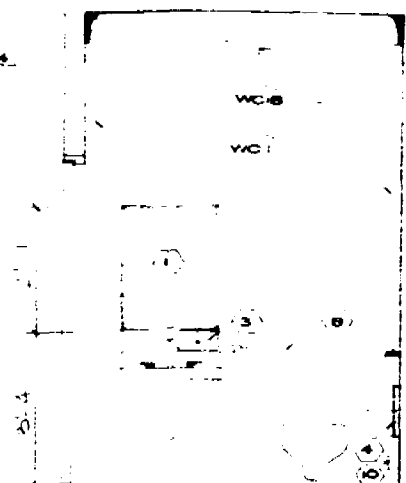
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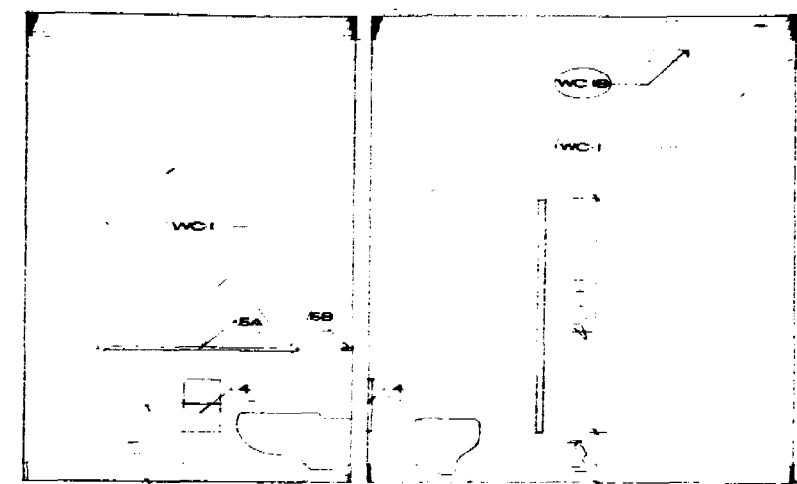
1 WOMEN TOILET ELEVATION



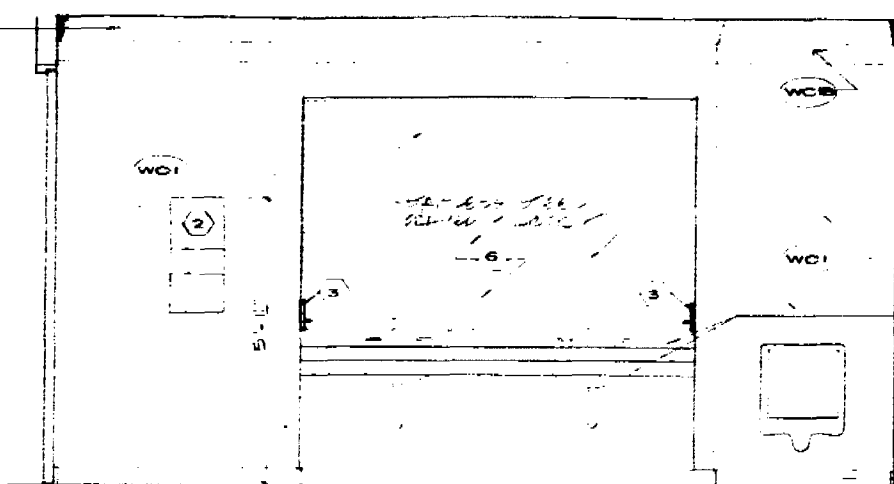
2 WOMEN TOILET ELEVATION



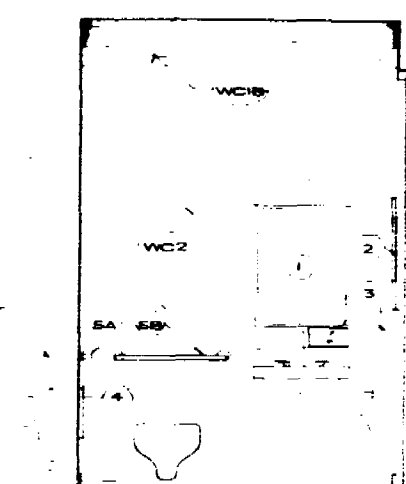
3 MEN HANDICAP TOILET



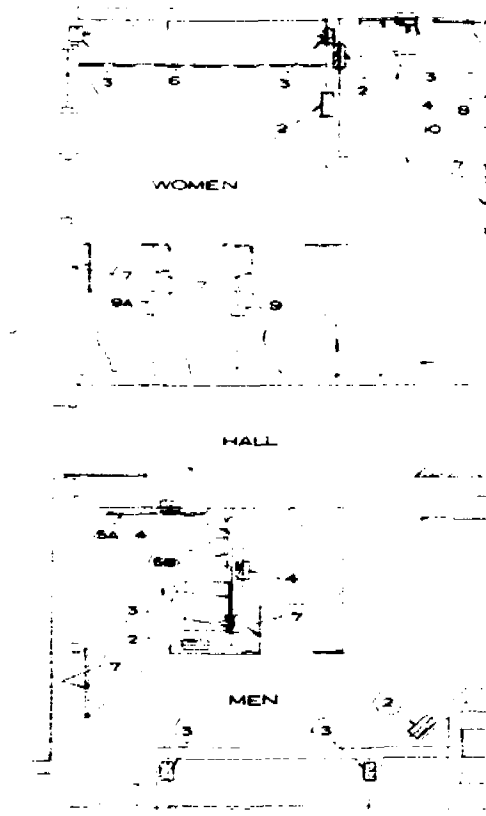
4 MEN TOILET ELEVATION



5 MEN TOILET ELEVATION



6 MEN HANDICAP TOILET



TOILET ROOMS ACCESSORIES PLAN

TOILET ACCESSORIES			
SYMBOL	MFG.	MODEL N.	DESCRIPTION
1	AMERICAN STANDARD	4410	TOILET
2	AMERICAN STANDARD	4410	TOILET
3	AMERICAN STANDARD	4410	TOILET
4	AMERICAN STANDARD	4410	TOILET
5	AMERICAN STANDARD	4410	TOILET
6	AMERICAN STANDARD	4410	TOILET
7	AMERICAN STANDARD	4410	TOILET
8	AMERICAN STANDARD	4410	TOILET
9	AMERICAN STANDARD	4410	TOILET
10	AMERICAN STANDARD	4410	TOILET

TOILET PARTITIONS	
MFG.	DESCRIPTION
1	AMERICAN STANDARD
2	AMERICAN STANDARD
3	AMERICAN STANDARD
4	AMERICAN STANDARD
5	AMERICAN STANDARD
6	AMERICAN STANDARD
7	AMERICAN STANDARD
8	AMERICAN STANDARD
9	AMERICAN STANDARD
10	AMERICAN STANDARD

TOILET FIXTURES

ALL FIXTURES MANUFACTURED BY AMERICAN STANDARD

R.C. TOILET: MODEL: 4410, 40H  
STYLE: ELEGANT  
COLOR: WHITE  
SEAT: HINGED  
SEAT: HINGED

TOILET: MODEL: 4410, 40H  
STYLE: ELEGANT  
COLOR: WHITE  
SEAT: HINGED  
SEAT: HINGED

COUNTER TOP LAVATORY: MODEL: 4410, 40H  
STYLE: ELEGANT  
COLOR: WHITE  
FAUCET: 4410, 40H

R.C. LAVATORY: MODEL: 4410, 40H  
STYLE: ELEGANT  
COLOR: WHITE  
FAUCET: 4410, 40H

LEVITT WEINSTEIN FUNERAL HOME  
720 71ST STREET MIAMI BEACH, FLORIDA

**Frankel & Associates, Inc.**  
Architects - Planners - Interiors

MEMBERS OF THE AMERICAN INSTITUTE OF ARCHITECTS  
1730 Washington Avenue, 8th Floor  
Miami Beach, Florida 33139 (305) 536-3883

JOB NO:

DATE:

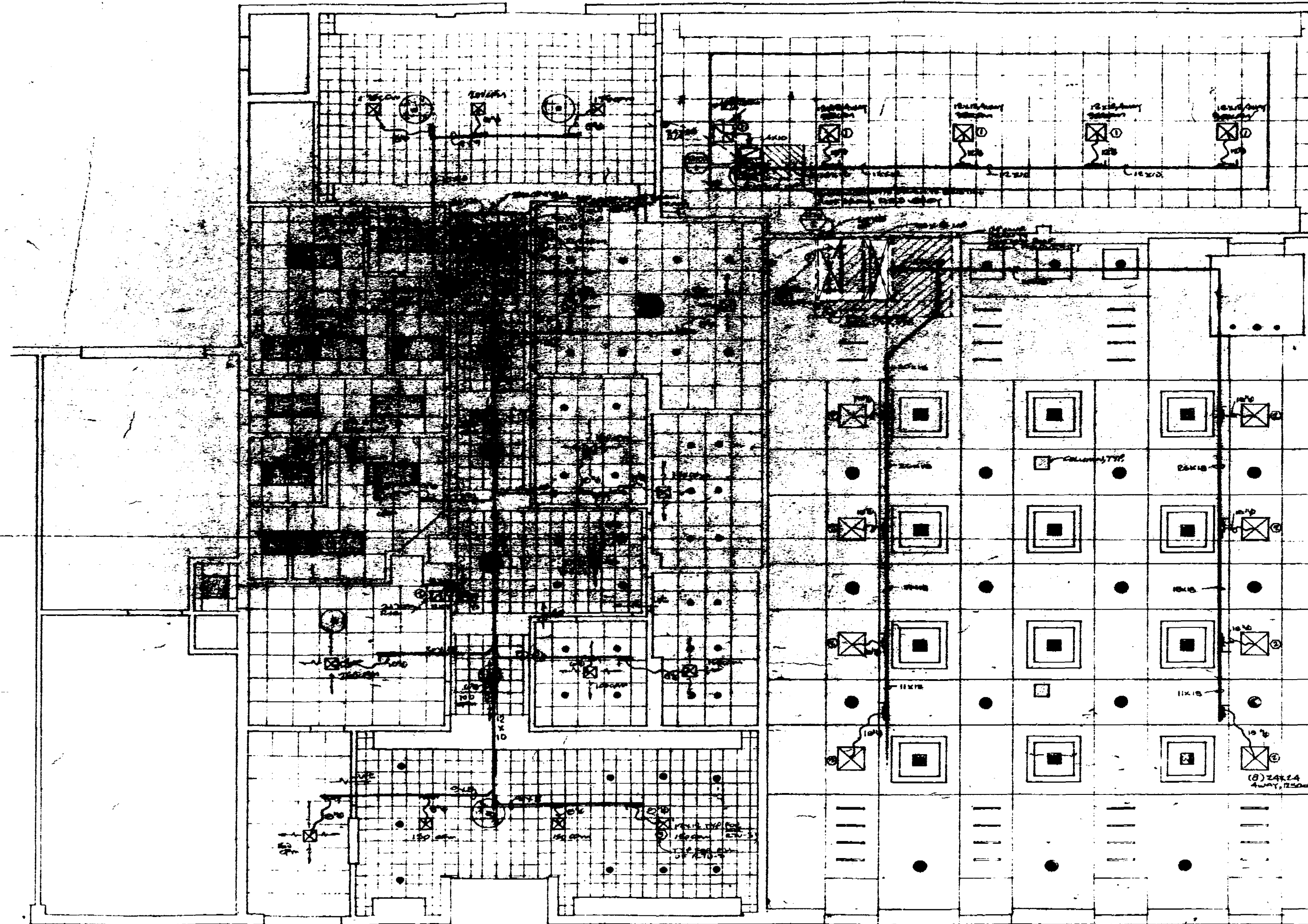
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REVISIONS:

SHEET: A-10

FOR REFERENCE ONLY





NOTE: REMOVE EXISTING RTU'S AND INSTALL NEW RTU'S AND DUCTWORK AS SHOWN. FIELD ADJUST LOCATION OF NEW RTU'S AND DUCTWORK TO MATCH EXISTING RTU ROOF PENETRATIONS. DO NOT TO SUBSTANTIAL NEW ROOFING.

EXISTING HALL DUCTWORK IS REMAIN: NOTE DO NOT REMOVE

3A. CHANGES  
2.00 RISE IN FLOOR/THROAT STRIKE  
AS PER ASHRAE 55-92

**OFFICE COPY**  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

BUILDING: \_\_\_\_\_  
ZONING: \_\_\_\_\_  
PLUMBING: \_\_\_\_\_  
ELECTRICAL: *OR 7/16/18*  
MECHANICAL: \_\_\_\_\_  
FIRE PREVENTION: \_\_\_\_\_  
ENGINEERING: \_\_\_\_\_

**Frankel & Associates, Inc.**

JOB NO. 9805-00  
DATE: 7/16/18

REVISIONS:

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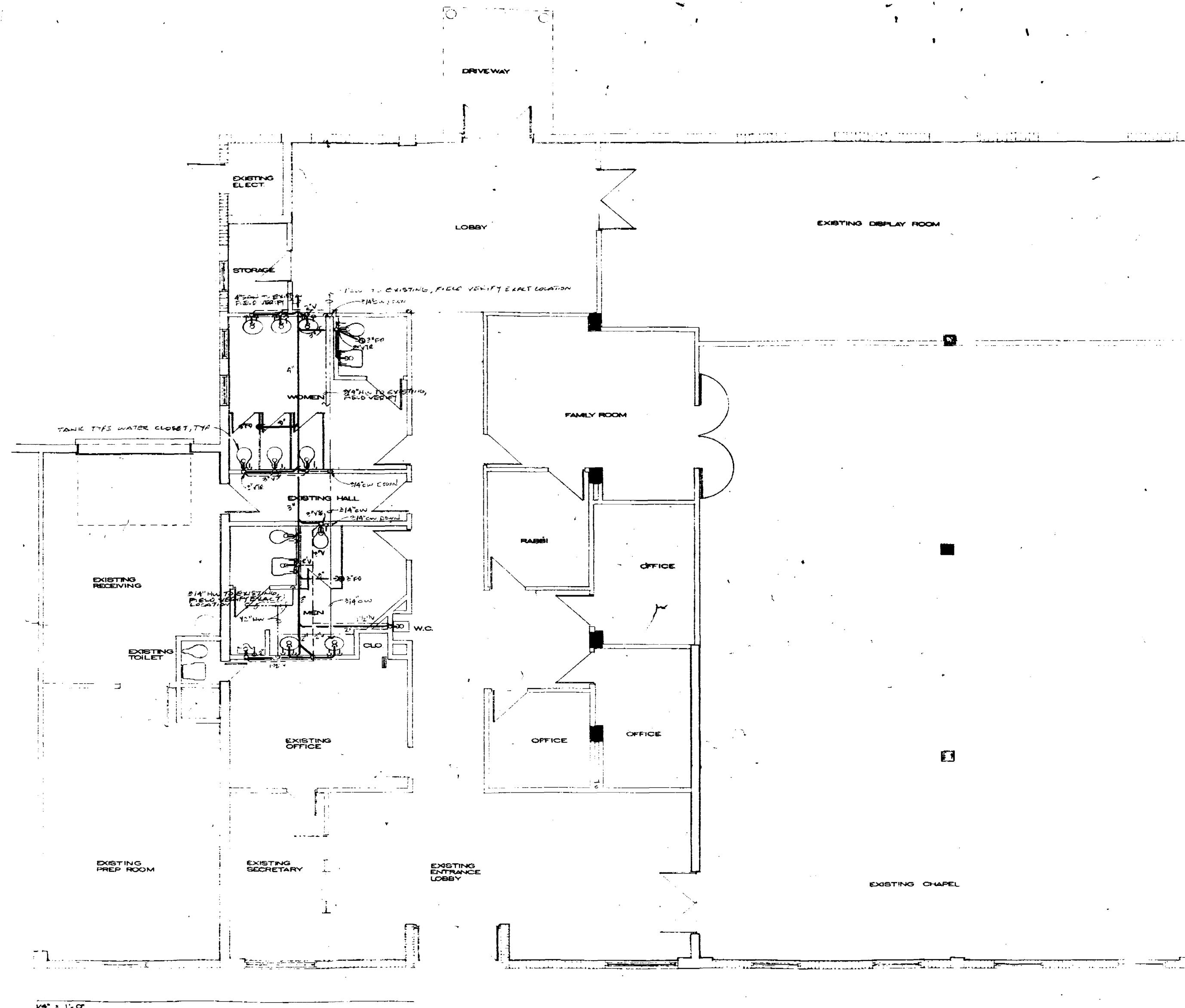
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COPY  
 CITY OF MIAMI BEACH  
 APPLIED FOR PERMIT BY  
 THE FOLLOWING:  
 SIGNED: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 PROJECT: \_\_\_\_\_  
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 PROPOSED: \_\_\_\_\_

DESIGNED BY  
**UCI**  
 PROFESSIONAL  
 ENGINEERING CONSULTANTS

LEVITT WEINSTEIN FUNERAL HOME  
 720 74TH STREET MIAMI BEACH, FLORIDA  
**Frankel & Associates, Inc.**  
 Architects • Planners • Interiors  
 1130 Washington Avenue, 8th Floor  
 Miami Beach, Florida 33139 (305) 538-3883  
 MEMBERS OF THE AMERICAN  
 INSTITUTE OF ARCHITECTS

JOB NO. 0800-70

DATE: 12/1/70

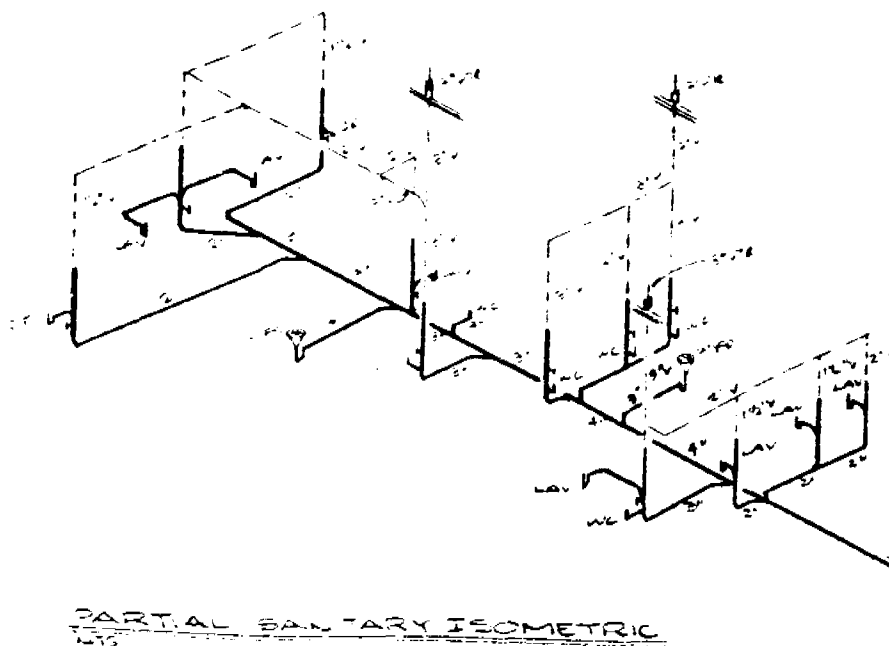
Drawings and specifications as instruments of service are and shall remain the property of the architect.

REVISIONS:

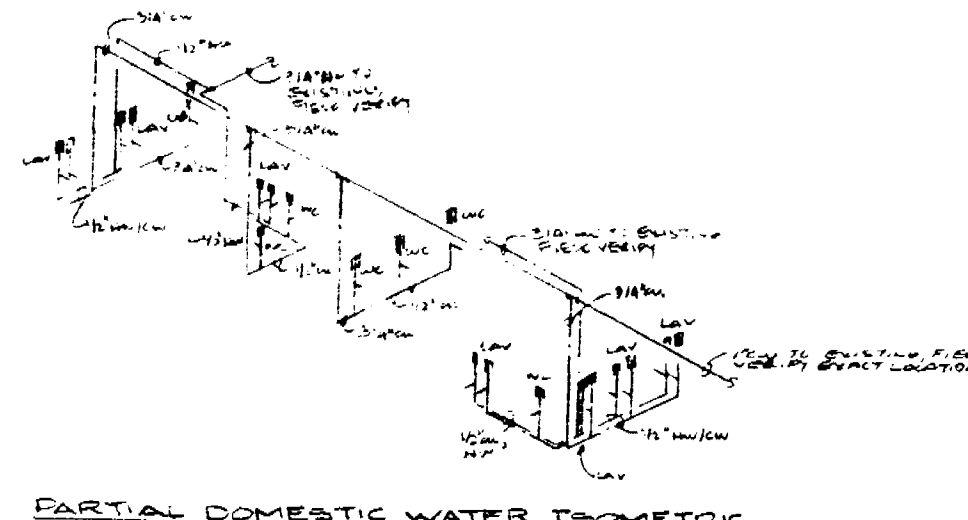

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PARTIAL SANITARY ISOMETRIC



PARTIAL DOMESTIC WATER ISOMETRIC

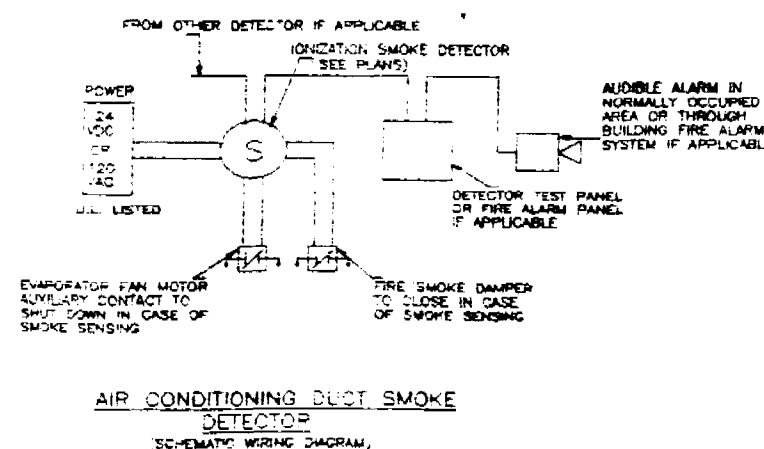
# GENERAL MECHANICAL NOTES

1. ALL WALL AND ROOF OPENING SIZES SHALL BE COORDINATED WITH FINAL MANUFACTURER SELECTED.
2. ALL ROOF EXHAUST FANS SHALL BE PROVIDED WITH MOTOR STARTERS AND DISCONNECT SWITCHES.
3. ALL LOWVOLTAGE AND COORDINATES SHALL HAVE RIGID SCREENS, 1/2" BARS, 14 GA. ALL PENETRATIONS THROUGH FINE WATERED WALLS SHALL BE SEALED AS REQUIRED BY LOCAL FLORIDA BUILDING CODES.
4. ALL PIPING AND DUCT IN FINISHED ROOMS OR SPACES SHALL BE CONCEALED IN CHASES OR SUSPENDED CEILING.
5. CONTRACTOR SHALL FIELD VERIFY ALL HVAC DUCT WORK AND EQUIPMENT BEFORE FINAL INSTALLATION AND COORDINATE WITH ALL DISCIPLINES.
6. ALL AIR CONDITIONING DUCT WORK INSIDE BUILDING TO BE 18" OVERSIZING 1/2" R-6 G-6 RIGID FIBERGLASS FABRICATED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE SMACNA FIBERGLASS CLASS DUCT HANGING/STANDARD HANGING/STANDARD OR INSULATION.
7. ALL EXHAUST DUCT TO BE GALVANIZED SHEET METAL AND ROUND ALUMINUM FLEXIBLE DUCT. USE A MINIMUM INSIDE BEND RADIUS OF 1/2 THE INSIDE DIAMETER OF THE DUCT.
8. SUPPORT HORIZONTAL DUCT RUNS FOR A MAXIMUM RAC OF 4" PER 10 FEET. USE 3/4" OR VIDER GALVANIZED STRAP HANGER MATERIAL.
9. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF ALL LOCAL BUILDING CODES.
10. ALL EXTERIOR DUCT SHALL BE INSULATED SHEET METAL IN ACCORDANCE WITH THE LATEST EDITION OF SMACNA.
11. ALL DUCT CONSTRUCTION AND MATERIAL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SMACNA HVAC METAL DUCT STANDARDS.
12. CONTRACTOR SHALL TEST AND BALANCE THE HVAC SYSTEM IN ACCORDANCE WITH THE LATEST EDITION OF THE SMACNA HVAC SYSTEM TESTING, ADJUSTING AND BALANCING STANDARD.
13. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL COSTS INCURRED RESULTING FROM SUBSTITUTION OF EQUIPMENT AS WELL AS THE PERFORMANCE OF SUCH EQUIPMENT.

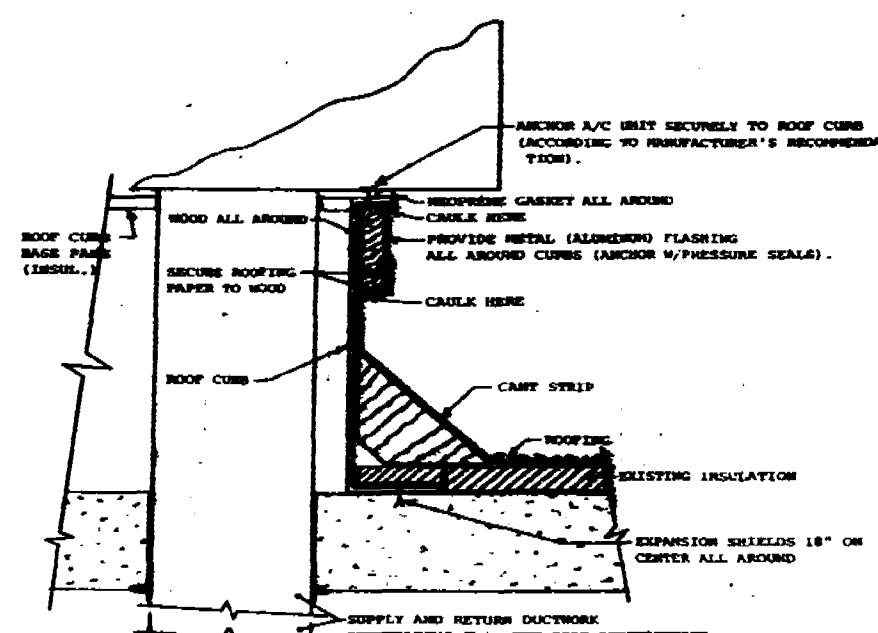
A/C SCHEDULE				
UNIT NUMBER	RTU-1	RTU-2	RTU-3	
SUPPLY CFM/ O/A CFM	1400/250	1000/100	300/100	
SENSIBLE CAPACITY, BTU/HR.	24,000	20,000	6,000	
TOTAL CAPACITY, BTU/HR.	43,000	20,000	9,000	
STEEL HEATER SIZE/STAGES	10KW	34KW/3	17.5KW	
AIR TEMP. ENT. CONDENSER	95°F	95°F	95°F	
AIR TEMP. ENT. EVAP., DB/WH	80/67	80/67	80/67	
LOAD, F.L.A.	20 MCA	95 MCA	37 MCA	
EVAP. MOTOR F.L.A.				
VOLTAGE, PHASE	208-240V	208-240V	208-240V	
COND. UNIT MODEL	Tecumseh	Tecumseh	Tecumseh	
A.S.U. MODEL				
MANUFACTURER	TRANE	TRANE	TRANE	
UNIT TYPE	Package	Package	Package	
SEER OR EER	10.0 EER	9.8 EER	9.0 EER	
AREA SERVING	DISPLAY RM	CHAPEL	GENERAL AREA	
REMARKS	335 LBS	1930 LBS	689 LBS	

FIR SCHEDULE					
FIR No.	OF	E.P.	EMERGENCY	DET. I	POWER & VOLTAGE
BF-1	110		675		10.0 EER
BF-2	70		671		
BF-3	270		602		

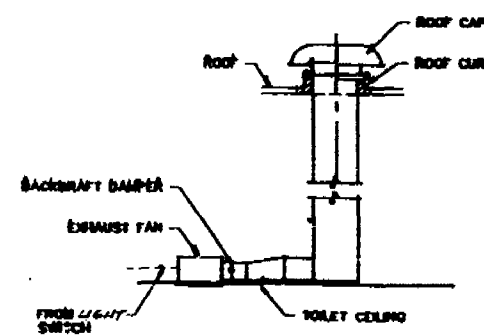
AIR DISTRIBUTION SCHEDULE				
SYMBOL	SERVICE	DESCRIPTION	MFR.	MODEL NO.
①	DISPLAY ROOM	T-1000 LOW-VOL	AND G-1000	AV-1000
②	CHAPEL	EXHAUST FAN		PS-1-FGB
③	GENERAL AREA	CEILING DIF.		CA-1,2,3,4
④	ALL AREAS	EXHAUST FAN		RF-2-08-08
⑤	TRANSFER DUCT	RETURN GRUE		RA-00



AIR CONDITIONING DUCT SMOKE DETECTOR SCHEMATIC WIRING DIAGRAM



ROOF CURB DETAIL FOR AC-1



TOILET EXHAUST FAN DETAIL

**PLUMBING GENERAL NOTES**

1. ALL WORK TO BE IN ACCORDANCE WITH THE LOCAL PLUMBING CODES AND STANDARDS.

2. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL PLUMBING CODES AND STANDARDS.

3. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL PLUMBING CODES AND STANDARDS.

4. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL PLUMBING CODES AND STANDARDS.

5. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL PLUMBING CODES AND STANDARDS.

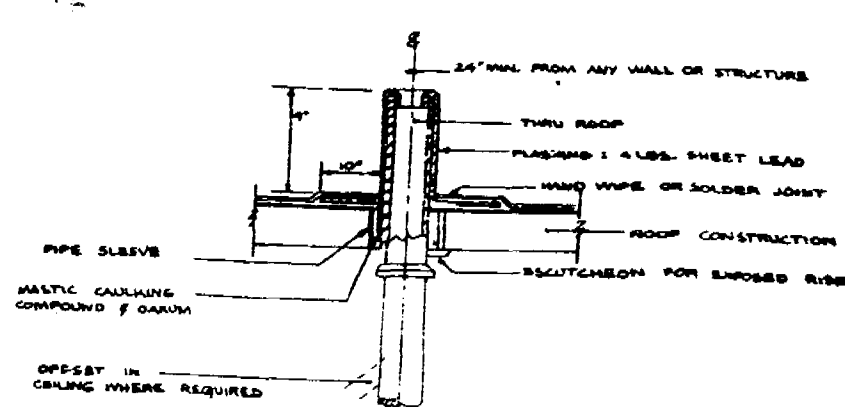
6. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL PLUMBING CODES AND STANDARDS.

7. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL PLUMBING CODES AND STANDARDS.

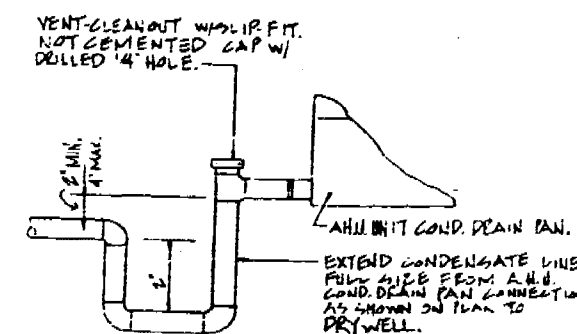
8. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL PLUMBING CODES AND STANDARDS.

9. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL PLUMBING CODES AND STANDARDS.

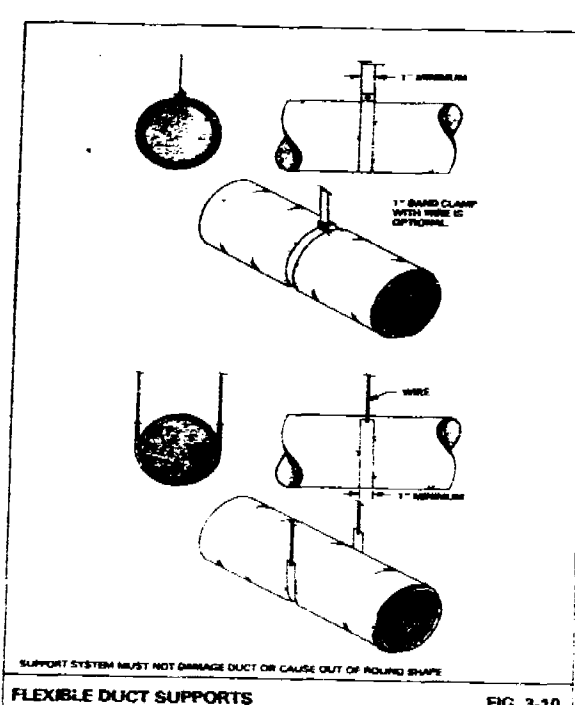
10. ALL PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL PLUMBING CODES AND STANDARDS.



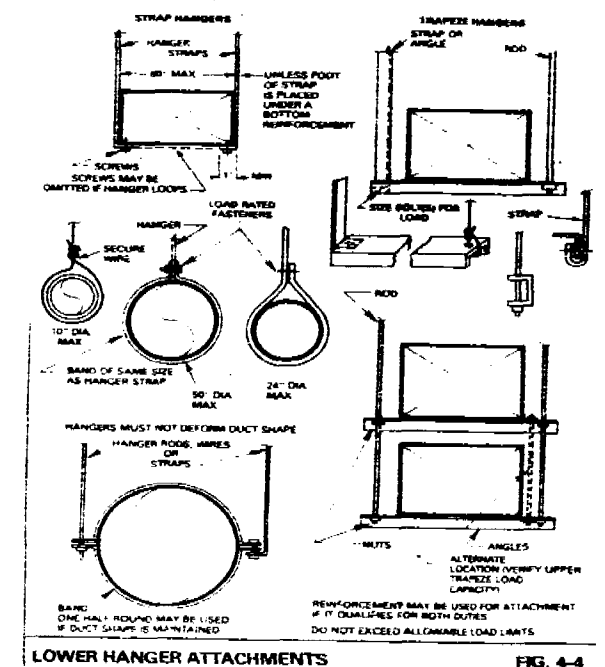
VENT THRU ROOF DETAIL



CONDENSATE TRAP DETAIL



FLEXIBLE DUCT SUPPORTS



LOWER HANGER ATTACHMENTS

## OFFICE COPY

CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

BUILDING: \_\_\_\_\_  
ZONING: \_\_\_\_\_  
PLUMBING: \_\_\_\_\_  
ELECTRICAL: \_\_\_\_\_  
MECHANICAL: \_\_\_\_\_  
FIRE PREVENTION: \_\_\_\_\_  
ENGINEERING: \_\_\_\_\_

LEVI WEINSTEIN FUNERAL HOME 720 71ST STREET MIAMI BEACH, FLORIDA

FOR REFERENCE ONLY









# ELECTRICAL GENERAL NOTES

1. DRAWINGS ARE DIAGNOSTIC. DO NOT SCALE DRAWINGS FOR EXACT LOCATION OF EQUIPMENT. THESE DRAWINGS ARE NOT INTENDED TO SHOW EXACT DIMENSIONS. HOWEVER, THE CONTRACTOR SHALL VERIFY AND INSTALL ALL ITEMS REQUIRED FOR A COMPLETE AND ACCEPTABLE WORKING INSTALLATION PER CODE.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES.
3. ALL MATERIAL SHALL BE NEW AND SHALL BEAT THE UL LABEL WHERE APPLICABLE. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT FOR A COMPLETE INSTALLATION. ALL THE CONTRACTOR.
4. CIRCUITS SHOWN ON THESE PLANS ARE SYMBOLICALLY SHOWN TO DETERMINE LOAD DATA AND EQUIPMENT SIZES. THE CONTRACTOR SHALL PHYSICALLY PROVIDE CIRCUITS AND ROUTING OF CONDUITS TO THICKNESS. THE CONTRACTOR SHALL ENSURE THAT REVEAL WIRING AND EQUIPMENT GROUND WIRES ARE INSTALLED WHERE EVER APPLICABLE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE POWER UTILITY TO SCHEDULE INSTALLATION OF TEMPORARY POWER SO THAT CONSTRUCTION DELAYS ARE AVOIDED.
6. THE CONTRACTOR SHALL COORDINATE WITH THE POWER UTILITY TO OBTAIN PERMANENT POWER IN ACCORDANCE WITH THESE DRAWINGS. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE POWER UTILITY TO SCHEDULE DELAYS ARE AVOIDED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ANY ISSUES AFFECTING PERMANENT POWER SERVICE AND TO WORK TOWARDS RESOLVING ANY ISSUES DELAYING PERMANENT SERVICE.
7. THE CONTRACTOR SHALL COORDINATE WITH THE TELEPHONE COMPANY TO OBTAIN TELEPHONE SERVICE. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE TELEPHONE COMPANY TO SCHEDULE INSTALLATION OF THE TELEPHONE SERVICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ANY ISSUES AFFECTING TELEPHONE SERVICE AND TO WORK TOWARDS RESOLVING ANY ISSUES DELAYING TELEPHONE SERVICE.
8. IF APPLICABLE, THE CONTRACTOR SHALL COORDINATE WITH THE CABLE TV COMPANY IN THE SAME MANNER AS DESCRIBED IN PARAGRAPHS 6-7 FOR POWER AND TELEPHONE UTILITIES.
9. IF ANY OF ALL OF THE UTILITIES (ELECTRICAL, TELEPHONE, CATV) ARE EXISTING, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SMALL TRACED DOWN ALL EXISTING SYSTEMS. THE CONTRACTOR SHALL VERIFY THAT ALL CIRCUITS AND WIRING ARE CORRECT. THE CONTRACTOR SHALL GUARANTEE THE PERFORMANCE OF SUCH EQUIPMENT FOR 1 YEAR. THE CONTRACTOR SHALL REPLACE ANY EQUIPMENT THAT IS IDENTIFIED FOR REPLACEMENT SHALL BE PROVIDED TO THE OWNER (OR OWNER'S REPRESENTATIVE) AND THE ENGINEER PRIOR TO REPLACEMENT.
10. THE CONTRACTOR SHALL THOROUGHLY REVIEW THESE DRAWINGS AND EXISTING CONDITIONS PRIOR TO BID. ANY QUESTIONS, DISCREPANCIES OR PERCEIVED AMBIGUITIES SHALL BE DISCUSSED WITH THE ENGINEER AND ALL ISSUES SHALL BE CLARIFIED PRIOR TO BID.
11. ELECTRICAL DESIGN IS BASED UPON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL REVIEW NAMEPLATE INFORMATION AND MANUFACTURER'S SUPPLIED LITERATURE FOR ALL PIECES OF EQUIPMENT PRIOR TO INSTALLATION. THE CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO ANY FIELD ADJUSTMENTS.
12. ALL CONDUCTORS SHALL BE COPPER WITH THIN INSULATION FOR SIZE NO. 10 AND SMALLER. CONDUCTORS LARGER THAN NO. 10 SHALL HAVE THIN (OR THIN) INSULATION. ALL CONDUCTORS NO. 10 AND SMALLER MAY BE SOLID. ALL CONDUCTORS NO. 8 AND LARGER SHALL BE STRANDED. PLEASE NOTE THIN AND THIN INSULATION IS RATED FOR DRY AND WET LOCATIONS. THIN INSULATION IS RATED FOR DRY AND WET LOCATIONS ONLY.
13. ALL PANELS SHALL BE CLEARLY LABELED ON THE OUTSIDE FOR QUICK AND EASY IDENTIFICATION. ALL CIRCUITS IN ALL PANELS SHALL BE CLEARLY IDENTIFIED AND SHALL APPEAR WITH COMPLETE INFORMATION (DESCRIPTION OF CIRCUIT, BREAKER SIZE, NUMBER OF POLES & BREAKER POSITION NUMBER) ON THE PANEL DIRECTORIES. THE ABOVE APPLIES FOR ANY AND ALL EXISTING PANEL BOARDS AND CIRCUITS.

14. THE CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF ELECTRICAL PLANS, SPECIFICATIONS AND SMALL DELIVER THIS SET TO THE OWNER'S REPRESENTATIVE UPON COMPLETION OF WORK.
15. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE THIS SUPERSEDED ALL DRAWINGS, SPECIFICATIONS AND NOTES. THE CONTRACTOR SHALL COMMUNICATE AND COORDINATE WITH THE ENGINEER AND SHALL PROVIDE ALL NECESSARY SHOP DRAWINGS AND SYSTEMS ARE TO LOCAL CODE ACCEPTANCE.
16. ALL SERVICE ENTRANCE EQUIPMENT IS TO BE RATED AT 100% CONDUCT UNLESS OTHERWISE NOTED. TO PROVIDE SERVICE ENTRANCE EQUIPMENT WITH LOWER RATINGS THE CONTRACTOR SHALL VERIFY IN WRITING INFORMATION FROM THE POWER UTILITY PROVIDE THAT CALCULATED FAULT CURRENTS ARE AT AN ACCEPTABLE LEVEL. TO ACCOMMODATE THE LOWER RATED EQUIPMENT, IF SERVICE ENTRANCE EQUIPMENT IS EXISTING, THE CONTRACTOR SHALL VERIFY THAT ALL RATINGS OF EXISTING EQUIPMENT ARE PROPER. THE CONTRACTOR SHALL COORDINATE WITH THE POWER UTILITY AND THE ENGINEER PRIOR TO BID.
17. ALL OUTSIDE EQUIPMENT, OUTLETS, LIGHTING FIXTURES, ENCLOSURES, ETC. SHALL BE WEATHERPROOF.
18. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED CONNECTIONS FOR ALL OTHER TRADES.
19. THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR WORK UNDER THIS CONTRACT.
20. THE NUMBER, EXACT LOCATION AND MOUNTING HEIGHTS OF ALL OUTLETS, LIGHTS AND ELECTRICAL FIXTURES SHALL BE DETERMINED BY THE OWNER AND ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL AND LOCATIONS WITH ARCHITECT AND OWNER PRIOR TO BID AND TO INSTALLATION.
21. THE CONTRACTOR SHALL PROVIDE ROUTING FOR ALL FLOOR MOUNTED OUTLETS AND OTHER LOADS AND CONNECTIONS NOT EASILY COORDINATE WITH ARCHITECT AND OWNER TO DETERMINE THE METHOD (POLE, ETC.) PRIOR TO BID.
22. ALL RACEWAYS AND PIPES PLACED IN OR THROUGH ANY CONCRETE SLAB SHALL BE SPACED A MINIMUM OF THREE DIAMETERS OF THE LARGEST CONDUIT OR PIPE OF ANY OTHER SERVICE.
23. ALL RACEWAYS UNDERGROUND AND/OR LARGER THAN 2 INCHES IN DIAMETER SHALL BE GALVANIZED RIGID STEEL. PVC RIGID PIPE WILL BE ACCEPTABLE IF APPROVED BY LOCAL REGULATIONS. CONTRACTOR TO VERIFY. ALL OTHER RACEWAYS 2" AND SMALLER IN DIAMETER MAY BE EMT.
24. OUTLET BOXES SHALL BE PRESSED STEEL IN ANY LOCATIONS AND CAST ALLOY WITH THREADED RIMS IN WET OR DAMP LOCATIONS.
25. DISCONNECT SWITCHES SHALL BE NON-SPARKING RATED, HEAVY DUTY, GUICE-MAKE, GUICE-BREAK, IN NEMA 1 OR NEMA 3B ENCLOSURES AS REQUIRED BY EXPOSURE.
26. THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED FOR NEC REQUIREMENTS AND STATE AND LOCAL CODE REQUIREMENTS.
27. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANSHIP MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE. ACCEPTANCE BY ENGINEER/ARCHITECT MUST BE A CONDITION OF THE CONTRACT.
28. IT IS NOT THE INTENTION OF THESE DRAWINGS TO ESTABLISH LIGHTING LEVELS OF ANY KIND. THE NUMBER, STYLE AND LOCATION OF LIGHTING FIXTURES ARE DETERMINED BY THE ARCHITECT AND/OR THE OWNER. THE LIGHTING FIXTURE SCHEDULE IF APPEARING ON THESE DRAWINGS IS FOR INFORMATION PURPOSES AND HAS BEEN DEVELOPED BY THE ARCHITECT AND/OR THE OWNER. FOR DETAILED QUESTIONS REGARDING LIGHTING FIXTURES CONTACT THE ARCHITECT.
29. EXISTING LIGHTING FIXTURES ARE TO BE RECIPIENTED, RECONNECTED AND REUSED WHERE APPLICABLE. ALL DEFECT, LIGHTING FIXTURES SHALL BE REPLACED, CLEANED AND REPAIRED IF NECESSARY. ANY EXISTING LIGHTING FIXTURES BEYOND REPAIR SHALL BE REPLACED. ALL LIGHTING FIXTURES SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT PRIOR TO BID REGARDING REUSED LIGHTING FIXTURES.
30. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ELECTRICAL SERVICES TO MECHANICAL EQUIPMENT IS ACCOUNTED FOR PRIOR TO BID. IN ADDITION, ALL MECHANICAL EQUIPMENT SUBSTITUTIONS ARE TO BE ACCOUNTED FOR PRIOR TO BID AND SHALL BE COORDINATED ELECTRICALLY.
31. FOR HVAC EQUIPMENT THE MECHANICAL CONTRACTOR SHALL PROVIDE THE SMOKE DETECTOR, IF REQUIRED, AND THE ELECTRICAL CONTRACTOR SHALL INSTALL THE SMOKE DETECTOR.
32. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL CONTRACTOR FOR INSTALLATION OF ALL MECHANICAL CONTROLS.

## ELECTRICAL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
○	WALL MTD LIGHT FIXTURE	□	1" x 1" FLUORESCENT FIXTURE
○	RECESSED REMOTE LIGHT FIXTURE	□	1" x 1" FLUORESCENT FIXTURE SURFACE OR PENDANT MTD
□	2" x 2" FLUORESCENT TRIMMER	□	ELECTRICAL JUNCTION BOX
□	FLUORESCENT STEP FIXTURE	□	WALLS RECEPTACLE (NEMA 150V 0/1 ISOLATED GROUND)
□	EXIT LIGHT V. BATTERY	□	COMPUTER OUTLET
□	EMERGENCY LIGHT V. BATTERY	□	TELEVISION OUTLET
□	TROUBLE SWITCH SINGLE POLE 20A	□	TELEPHONE OUTLET
□	TROUBLE SWITCH TRIPLE POLE 20A	□	DISCONNECT SWITCH POLE AMP/FUSE
□	TROUBLE SWITCH FOUR POLE 20A	□	METER NUMBER INDICATES MP
□	RECEPTACLE 20A 150V	□	ELECTRICAL PANEL
□	RECEPTACLE 20A 150V	□	POWER BRANCH OUT HOW RUN 2" MIN. LESS 1" MIN. RADIUS
□	RECEPTACLE 20A 150V	□	ABOVE FINISHED FLOOR
□	RECEPTACLE 20A 150V	□	BELOW FINISHED CEILING
□	RECEPTACLE 20A 150V	□	WEATHER PROOF
□	RECEPTACLE 20A 150V	□	RELATING HEIGHT
□	RECEPTACLE 20A 150V	□	NOTE: ALL SYMBOLS NOT NECESSARILY SHOWN IN THIS LEGEND. SEE OTHER SHEETS UNLESS OTHERWISE NOTED. WALL BULLETS SPECIAL PURPOSE RECEPTACLE ARE MOUNTED 18" AFT. SWITCHES 48" AFT.

### Panel Schedule

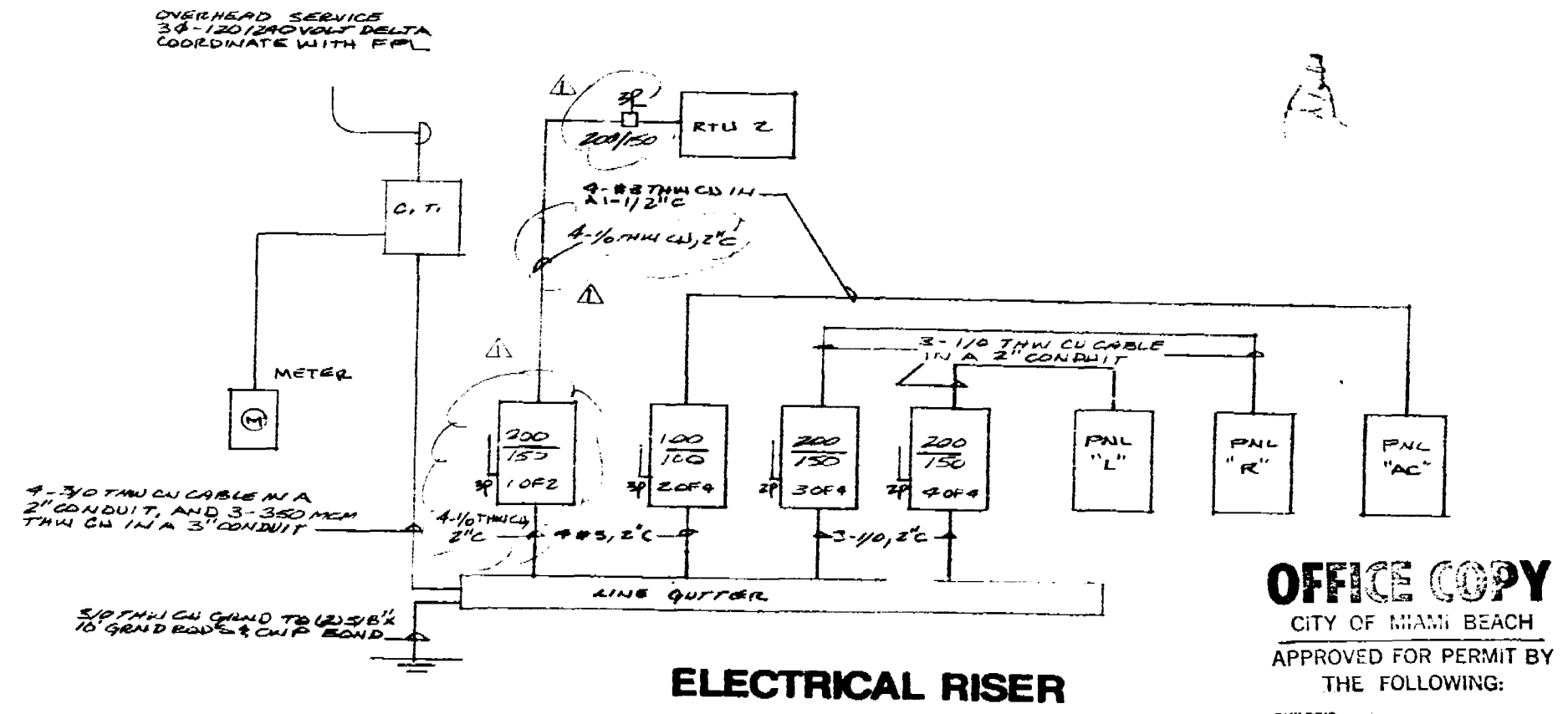
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RECEPT	WIRING	CONDUCTOR	TERMINAL	WIRING	CONDUCTOR	TERMINAL	WIRING	CONDUCTOR	TERMINAL

### Panel Schedule

RECEPT	WIRING	CONDUCTOR	TERMINAL	WIRING	CONDUCTOR	TERMINAL	WIRING	CONDUCTOR	TERMINAL
RECEPT	WIRING	CONDUCTOR	TERMINAL	WIRING	CONDUCTOR	TERMINAL	WIRING	CONDUCTOR	TERMINAL
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RECEPT	WIRING	CONDUCTOR	TERMINAL	WIRING	CONDUCTOR	TERMINAL	WIRING	CONDUCTOR	TERMINAL

### Panel Schedule

RECEPT	WIRING	CONDUCTOR	TERMINAL	WIRING	CONDUCTOR	TERMINAL	WIRING	CONDUCTOR	TERMINAL
RECEPT	WIRING	CONDUCTOR	TERMINAL	WIRING	CONDUCTOR	TERMINAL	WIRING	CONDUCTOR	TERMINAL
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RECEPT	WIRING	CONDUCTOR	TERMINAL	WIRING	CONDUCTOR	TERMINAL	WIRING	CONDUCTOR	TERMINAL



ELECTRICAL RISER

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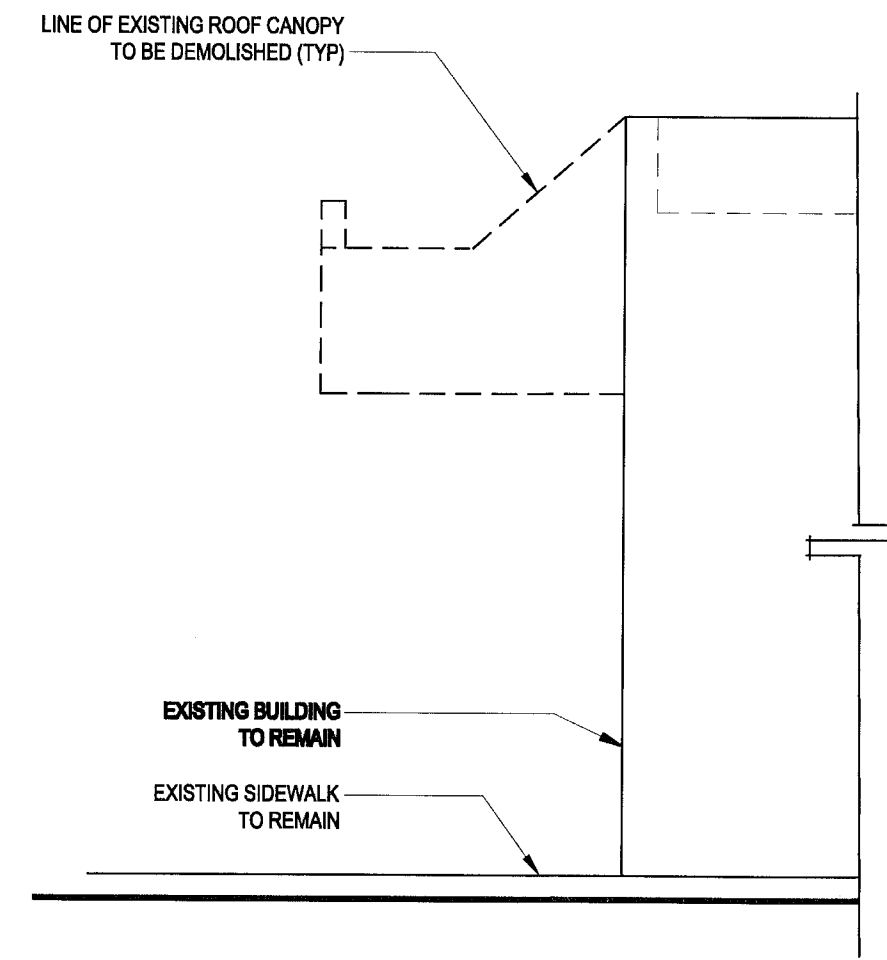
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ZONING: \_\_\_\_\_  
PLUMBING: \_\_\_\_\_  
ELECTRICAL: \_\_\_\_\_  
MECHANICAL: \_\_\_\_\_  
FIRE PROTECTION: \_\_\_\_\_  
Signatures: \_\_\_\_\_

PREPARED BY:  
UCI  
10000 SW 15th Ave  
Miami, FL 33155  
Tel: 305-251-1000  
Fax: 305-251-1001  
E-MAIL: info@uci.com  
www.uci.com

LEVITT WEINSTEIN FUNERAL HOME  
720 71ST STREET MIAMI BEACH, FLORIDA

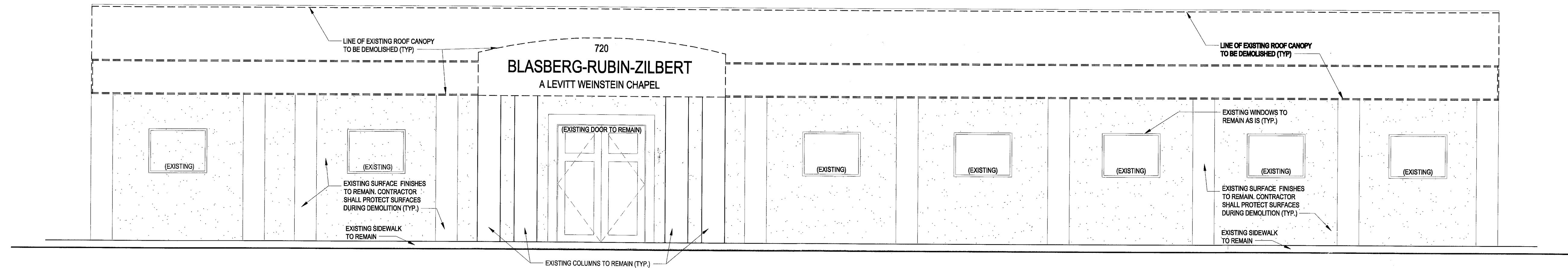
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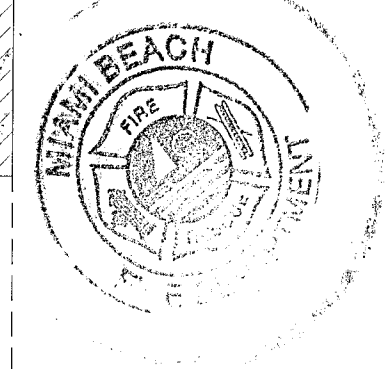
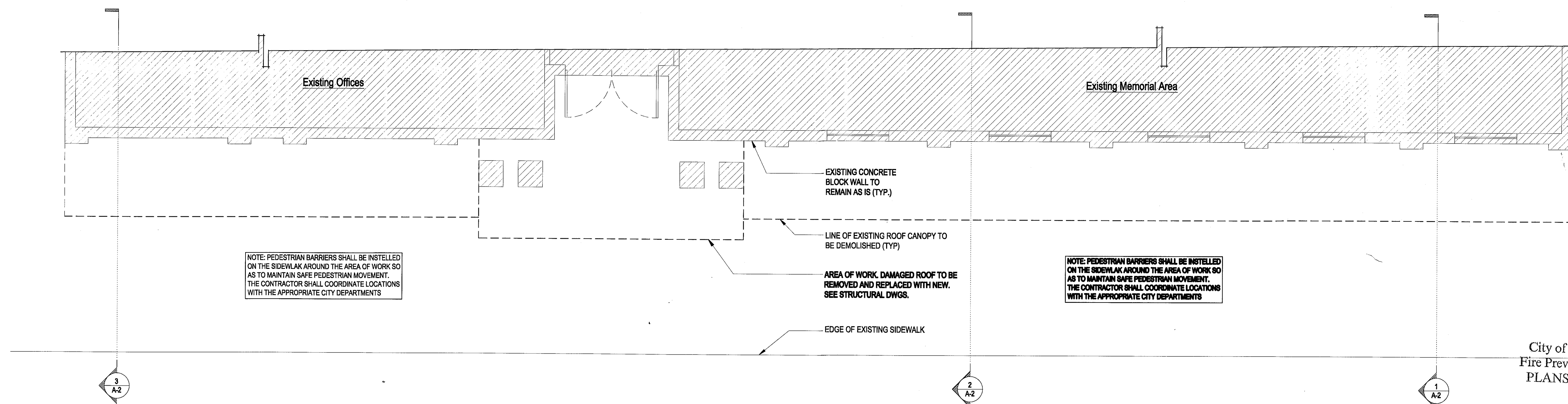


#### GENERAL DEMOLITION NOTES:

1. GENERAL CONTRACTOR SHALL FIELD COORDINATE AND VERIFY CONDITIONS AT ADJOINING STRUCTURAL COMPONENTS IN ORDER TO ASSURE THAT EXISTING STRUCTURE WILL MAINTAIN ITS STRUCTURAL INTEGRITY AT TIME OF DEMOLITION AND AFTER.
2. GENERAL CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL UNDERGROUND UTILITIES (VERTICAL AND HORIZONTAL) BEFORE STARTING ANY DEMOLITION OR EXCAVATION.
3. COORDINATE DEMOLITION PLANS WITH PROPOSED ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
4. ALL ITEMS SHOWN IN DASHED LINES ARE TO BE REMOVED UNLESS OTHERWISE NOTED.
5. ALL ELECTRICAL LIGHTING AND RECEPTACLES THAT ARE BEING DELETED SHALL BE REMOVED BACK TO ELECTRICAL PANEL.
6. THE TERM 'REMOVE' SHALL BE UNDERSTOOD TO REMOVE FROM BUILDING AND DISPOSE OF SUCH ITEMS IN A TIMELY, NEATLY AND LEGAL METHOD. STORAGE OF CONSTRUCTION DEBRIS WILL NOT BE PERMITTED ON SITE.
7. ANY EXISTING CONSTRUCTION TO REMAIN SHALL BE PREPARED FOR NEW CONSTRUCTION AND NEW FINISHES AS SHOWN IN THESE CONSTRUCTION DOCUMENTS.
8. EXISTING BUILDING MATERIALS TO BE REMOVED MAY BE FINISHED WITH LEAD-BASED OR LEAD-CONTAINING PAINT. REMOVE AND DISPOSE WITH DEMOLITION WORK AS REQUIRED.
9. PATCH AND REPAIR WALLS AND FLOORS TO RECEIVE NEW FINISHES WHERE APPLICABLE.



Existing North Elevation  
SCALE: 1/4" = 1'-0"



City of Miami Beach  
Fire Prevention Division  
PLANS APPROVED

Demolition Plan  
SCALE: 1/4" = 1'-0"

**FOR REFERENCE ONLY**

ARCHITECTURAL OFFICE OF  
**DAVID & DAVID**  
OFFICE LIC. No. AA0002322  
940 LINCOLN ROAD, SUITE 306  
MIAMI BEACH, FLORIDA 33139  
305.538-1686

PARTIAL EXPLORATORY PLAN FOR:  
**BLASBERG-RUBIN-ZILBERT  
MEMORIAL CHAPEL**  
730 71st STREET  
MIAMI BEACH, FL 33141

REVISIONS:  
1 BLDG. DEPT. REVS.  
MAY 12, 2014

SEAL:  
ROBERT G. DAVID, AIA  
ARCHITECT  
REG No.: AR 0006219

DRAWN  
GM  
CHECKED  
RGD  
DATE  
04.01.14  
SCALE  
As Indicated  
JOB NO.

SHEET  
**D-1**

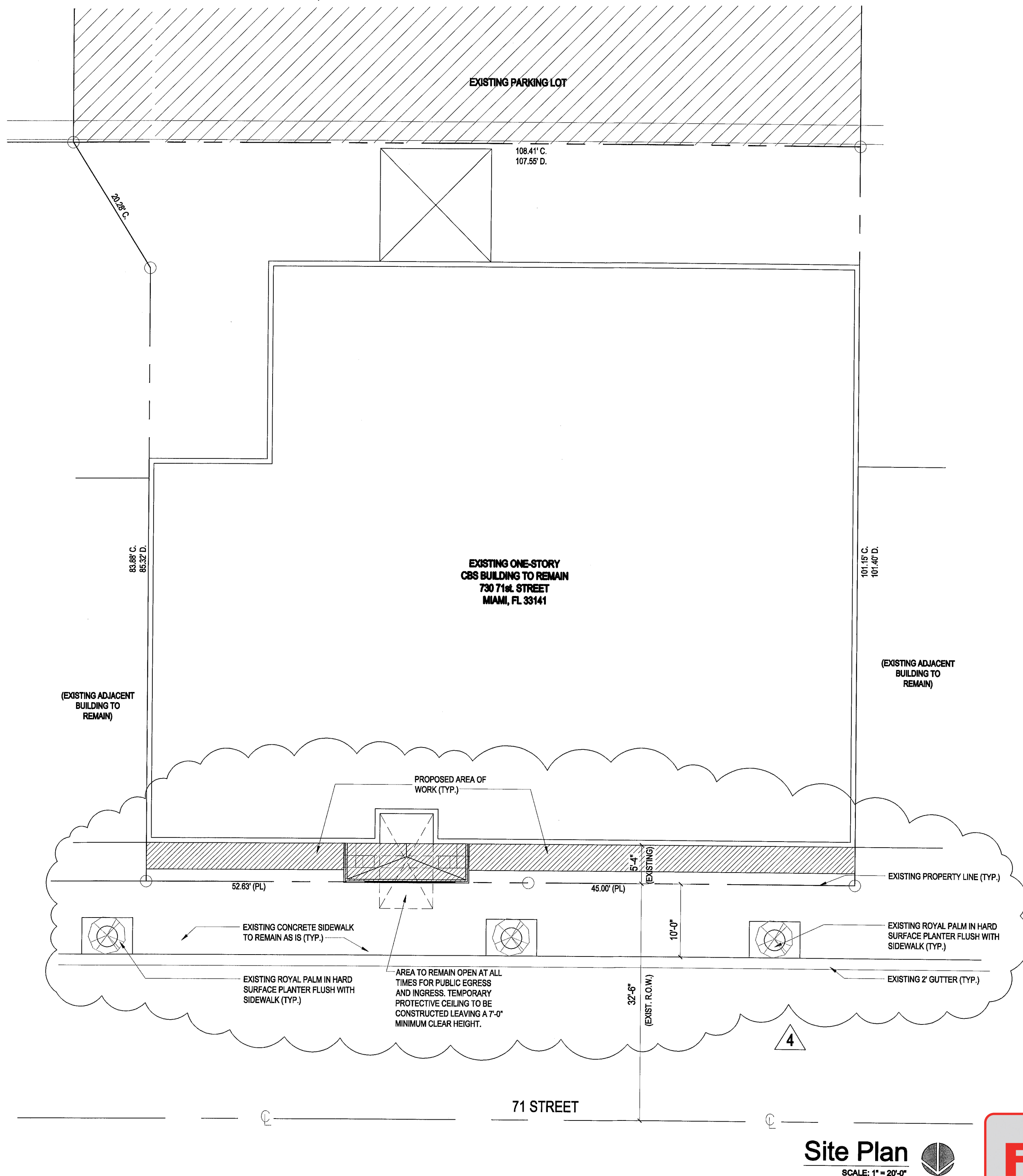
OF SHEETS



## GENERAL NOTES:

01. GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE EXACTLY WHAT SCOPE IS REQUIRED TO BE PERFORMED BY THE GENERAL CONTRACTOR AND WHAT SCOPE WILL BE HANDLED DIRECTLY BY THE OWNER. IT IS EXPECTED THAT THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THE WORK OF ALL SUBCONTRACTORS WHETHER THEY BE CONTRACTED BY THE OWNER OR THE GENERAL CONTRACTOR.
02. ALL WORK SHALL COMPLY WITH THE REGULATIONS OF THE GOVERNMENTAL AUTHORITIES HAVING JURISDICTION. THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLEMENTAL TO ALL LAWS & CODES OF GOVERNMENTAL REGULATING BODIES RELATING TO BUILDINGS. ALL APPLICABLE REQUIREMENTS SPECIFIED IN THESE REGULATIONS SHALL BE FOLLOWED AS THOUGH SPECIFICALLY NOTED IN THE CONSTRUCTION DOCUMENTS. HOWEVER, THIS SHOULD NOT BE CONSTRUED TO MEAN THAT ANY REQUIREMENTS SET FORTH IN THE CONSTRUCTION DOCUMENTS CAN BE MODIFIED BECAUSE THEY ARE NOT SPECIFICALLY NOTED BY SUCH CODES.
03. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR FIELD FIT AND QUALITY OF THE WORK. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS CONCEALED BELOW GRADE, INCLUDING, BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, PLUMBING, TELEPHONE, COMMUNICATIONS ETC. NO ALLOWANCES SHALL BE MADE ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS/HER PART. ALL CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS, MEASUREMENTS AND ELEVATIONS AT THE SITE. THE CONTRACTOR IS TO NOTIFY THE ARCHITECT OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS BEFORE COMMENCING ANY WORK. ALL CONTRACTORS INCLUDING SUBCONTRACTORS SHALL EXAMINE THE SITE, BUILDING, ETC. INCLUDING ITS CONDITIONS BEFORE SUBMITTING THEIR BID(S). CONTRACTORS SHALL MAKE NO CLAIM FOR AND HAVE NO RIGHT TO ADDITIONAL PAYMENT, EXTENSION OF TIME OR ANY OTHER CONCESSION BECAUSE OF FAILURE TO VISIT THE SITE AND BUILDING TO ACQUANT THEMSELVES WITH THE CONDITIONS OF OR RELATING TO THE WORK.
04. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF HE OR SHE CANNOT COMPLY WITH ANY AND/OR ALL INCLUDED CONSTRUCTION DOCUMENTS.
05. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL USE DIMENSIONS SHOWN ON DRAWINGS AND ACTUAL FIELD MEASUREMENT. DISCREPANCIES SHALL BE NOTIFIED TO THE ARCHITECT AT ONCE BEFORE PROCEEDING WITH THE WORK.
06. WHERE THE TERM "APPROVED" OR "APPROVED EQUAL" IS USED IN THE CONSTRUCTION DOCUMENTS, IT SHALL BE UNDERSTOOD THAT THE REFERENCE IS MADE TO THE RULING AND JUDGMENT OF AND PROPOSED SUBSTITUTE SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND WRITTEN APPROVAL.
07. THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATIONS OF ALL DRAIN PIPES, DOORWAYS AND VENTILATION OPENINGS SO AS TO NOT INTERFERE WITH THE LOCATIONS OF THE ARCHITECTURAL FINISH ITEMS INDICATED ON THE DRAWINGS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS.
08. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY LOCATIONS OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING ELEMENTS, OR OTHER CONDITIONS EXISTING, PRIOR TO DRILLING OR CUTTING OF SLABS OR STRUCTURAL MEMBER. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS.
09. THE ARCHITECT SHALL NOT BE OBLIGATED TO ACT AS AN ARBITRATOR BETWEEN THE CONTRACTOR AND HIS SUBCONTRACTORS, OR BETWEEN SUBCONTRACTORS, DUE TO REAL OR ALLEGED ERROR IN THE ARRANGEMENT OF THE CONTENTS OF THE CONTRACT DOCUMENTS.
10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER TO OBTAIN ALL REQUIRED PERMITS FOR CONSTRUCTION WITHIN THE GOVERNING JURISDICTION.
11. THE CHARACTER AND SCOPE OF THE WORK ARE ILLUSTRATED BY THE DRAWINGS LISTED. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND/OR REQUESTING ANY ADDITIONAL DETAIL DRAWINGS REQUIRED TO INTERPRET AND EXPLAIN THE CONSTRUCTION DOCUMENTS AND OTHER INFORMATION DEEMED NECESSARY TO PERFORM WORK. IT SHALL BE UNDERSTOOD THAT THIS ADDITIONAL DATA SHALL BE CONSIDERED AS FORMING A PART OF THESE NOTES AS THEY RELATE.
12. THE USE OF THE WORDS "SUPPLIED BY" OR "PROVIDED", IN CONNECTION WITH ANY ITEM SPECIFIED IT INTENDED TO MEAN THAT SUCH ITEM SHALL BE FURNISHED TO THE CONTRACTOR AND INSTALLED BY THE CONTRACTOR (UNLESS OTHERWISE NOTED). CONTRACTOR IS TO BECOME AWARE OF SUCH ITEMS TO ENSURE PREPARATION IS PERFORMED TO CORRECTLY INSTALL AS REQUIRED. CONTRACTOR TO RECEIVE AND STORE ITEMS AS REQUIRED.
13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND SAFETY OF THE CONSTRUCTION SITE. CONTRACTOR SHALL COORDINATE WITH LOCAL AUTHORITIES TO ENSURE AN ADEQUATE LEVEL OF LIFE SAFETY IS MAINTAINED AT ALL TIMES.
14. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION OF PUBLIC AREAS AND SHALL BE RESPONSIBLE FOR KEEPING THESE AREAS CLEAN AND FREE OF MATERIALS AT ALL TIMES.
15. CONTRACTOR SHALL COORDINATE WITH OWNER FOR ACCESS AND REGULATIONS REGARDING REQUIRED PERMITS, HOURS OF WORK AND ALL OTHER RELEVANT REGULATIONS.
16. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE GC SHALL FILE WITH THE OWNER CURRENT INSURANCE CERTIFICATIONS IN THE AMOUNTS REQUESTED BY THE OWNER FOR WORKMAN'S COMPENSATION, GENERAL LIABILITY, BODILY INJURY & PROPERTY DAMAGE. THE GC SHALL INDEMNIFY THE OWNER & THE ARCHITECT FOR AND ADDITIONAL COSTS, CLAIMS, SUITS & JUDGMENTS FOR PROPERTY DAMAGE OR PERSONAL INJURY ARISING OUT OF THE WORK OF THE GC, HIS AGENTS, EMPLOYEES AND SUBCONTRACTORS.
17. PRIOR TO THE PAYMENT OF THE FINAL INVOICE THE GC SHALL (A) CORRECT ALL PUNCH LIST ITEMS (B) PROVIDE LIEN WAIVERS FROM ALL FIRST TIER SUBCONTRACTORS (C) PROVIDE ALL GOVERNMENTAL CERTIFICATES OF COMPLETION.
18. MECHANICAL, ELECTRICAL & PLUMBING CONTRACTORS SHALL FULLY COORDINATE ALL EQUIPMENT WITH THE OTHER TRADES. THESE CONTRACTORS SHALL BE RESPONSIBLE FOR THE FINAL HOOKUP OF ALL EQUIPMENT INCLUDING EQUIPMENT NOT FURNISHED BY THEM, BUT REQUIRING THEIR SERVICES.
19. NO EXTRA WORK OR CHANGE SHALL BE MADE WITHOUT PRIOR WRITTEN REQUEST & APPROVAL FROM THE OWNER & ARCHITECT. THE CHANGE ORDER SHALL OUTLINE ADDITIONAL COSTS, ADDITIONS TO THE SCHEDULE AND MATERIALS INVOLVED.
20. GC SHALL PROVIDE SAMPLES OF ALL FINISH MATERIALS, MILLWORK & COLORS TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION ON THE JOB & IN A TIMELY FASHION SO AS NOT TO DELAY THE PROGRESS OF THE WORK.
21. THE GENERAL CONTRACTOR SHALL PROVIDE ADDITIONAL STUDS, TEMPORARY BLOCKING AND FRAMING SUPPORTS IN PARTITIONS, AND IN CEILINGS FOR THE ANCHORING AND INSTALLATION OF ALL LIGHT FIXTURES OR OTHER CEILING MOUNTED INSTALLATIONS AS REQUIRED BY THE DOCUMENTS.
22. BIDDER MUST REVIEW ALL PLANS WITH THE ARCHITECT PRIOR TO BIDDING WORK. ARCHITECT SHALL ASSUME NO RESPONSIBILITY WHEN BIDDER HAS NOT VIEWED THE NATURE OF THE WORK. IF DOUBT EXISTS IN THE MIND OF THE BIDDER AS THE TRUE MEANING OF ANY PART OF THE CONTRACT DOCUMENTS, HE / SHE MUST REQUEST THE INFORMATION, AND / OR CLARIFICATION, IN WRITING. ARCHITECT OR ENGINEERS SHALL RESPOND TO ANY INQUIRY IN WRITING.
23. THE CONTRACTOR SHALL INCLUDE WITHIN THE BID COSTS OF ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, HOSTING, ADMINISTRATION, FIELD SUPERINTEND AND COORDINATION OF ALL SUBCONTRACTORS AND ALSO OTHER CONTRACTORS OR VENDORS RETAINED BY THE OWNER, AS REQUIRED FOR THE COMPLETION OF THE WORK.
24. BID SHALL BE BASED ON WORK BEING PERFORMED DURING NORMAL WORKING HOURS.
25. THE CONTRACTOR SHALL PROTECT WORK OF OTHER TRADES SO THAT PRE-FINISH SURFACES, OR SURFACES TO BE FINISHED AT A LATER DATE ARE NOT MARRED. EACH CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJACENT WORK AND IS RESPONSIBLE FOR THE REPAIR OF SAID DAMAGE AT HIS OWN COST.
26. COMMENCEMENT OF WORK BY ONE TRADE OR SUBCONTRACTOR OVER THE EXISTING FINISHED WORK OF A PREVIOUS TRADE OR SUBCONTRACTOR SHALL CONSTITUTE ACCEPTANCE OF THAT PREVIOUS WORK BY THE NEW TRADE OR SUBCONTRACTOR.
27. ARCHITECTURAL DRAWINGS SHALL GOVERN OVER ENGINEERING DRAWINGS FOR LOCATIONS OF LIGHTING, ELECTRICAL, DATA AND TELEPHONE OUTLETS, AIR CONDITIONING, ETC. REFER TO ENGINEERING DRAWINGS FOR MINIMUM CODE COMPLIANCE.

28. UPON COMPLETION OF THE WORK, THE CONTRACTOR MUST SUBMIT AS-BUILT DRAWINGS FOR ALL TRADES TO THE BUILDING IN ORDER TO RECEIVE THEIR FINAL PAYMENTS. UPON COMPLETION OF WORK, IT SHALL BE LEFT PROFESSIONALLY CLEANED, FREE OF DIRT, DEFECTS, STAINS, SOILING, MOISTURE. ALL CLEANING AGENTS SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS AND USED SO AS NOT TO DAMAGE THE INSTALLED MATERIAL.
  29. ALL DRAWINGS AND SPECIFICATIONS ARE PART OF THE CONTRACT DOCUMENTS. THE COMPLETE SCOPE OF WORK CAN ONLY BE DETERMINED BY USING ALL OF THE CONTRACT DOCUMENTS TOGETHER. FAILURE BY THE GENERAL CONTRACTOR TO USE ALL OF THE DOCUMENTS, AND TO CROSS-REFERENCE ONE ANOTHER, SHALL NOT BE CAUSE FOR ADDITIONAL COSTS. COORDINATION OF THE WORK, AND OF THE SUBCONTRACTORS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SUPPLEMENTAL DETAIL DRAWINGS WILL BE FURNISHED DURING CONSTRUCTION AS PART OF THE FIELD ORDER PROCESS. THESE SK DRAWINGS SHALL CARRY THE SAME STRENGTH AS THE ORIGINAL CONTRACT DOCUMENTS. THE DRAWINGS (ELEVATIONS, FLOOR PLANS AND DESIGN DETAILS) AND SPECIFICATIONS ARE AN OUTLINE OF THE CRITERIA AND PERFORMANCE REQUIREMENTS OF THE WORK. THE REQUIREMENTS INDICATED BY THE DETAILS ARE INTENDED TO ESTABLISH BASIC DIMENSIONS, SITE LINES AND PROFILES. WITHIN THESE PARAMETERS, THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND ENGINEERING OF ANY SYSTEMS, INCLUDING WHATEVER MODIFICATIONS AND ADDITIONS MAY BE REQUIRED TO MEET THE SPECIFIED REQUIREMENTS AND MAINTAIN THE VISUAL DESIGN CONCEPT OF THE ENTIRE PROJECT.
- NOTE:
- A. PLANS ARE DIMENSIONED TO FINISH, U.O.N.
  - B. INTERIOR ELEVATIONS ARE DIMENSIONED TO FINISH, U.O.N.
  - C. DRAWINGS ARE NOT TO BE SCALED. DRAWINGS ARE USED TO SHOW RELATIONSHIPS ONLY.
  - D. FEATURES NOTED ALIGN OR INDICATED IN ALIGNMENT SHALL BE FINISHED FLUSH AND SMOOTH.



## INDEX OF DRAWINGS

SHEET NUMBER	DESCRIPTION	DATE	REVISION
A-1	LOCATION PLAN / GENERAL NOTES / SITE DATA / SCOPE OF WORK		
A-2	EXTERIOR ELEVATIONS / ROOF SECTIONS / ROOF DETAILS		
A-3	PARTIAL ROOF PLAN / EXTERIOR ELEVATION / ROOF SECTIONS		
D-1	PARTIAL DEMOLITION PLAN / EXISTING EXTERIOR ELEVATION		
S-1	PARTIAL ROOF FRAMING PLAN / ROOF SECTIONS		
S-2	GENERAL STRUCTURAL NOTES / ROOF SECTIONS		
E-1	PARTIAL ELECTRICAL PLAN / ELECTRICAL NOTES		

## ZONING LEGEND

ZONING:	TC-1	
BUILDING AREA	6,129 SQ. FT.	
LOT AREA	9,979 SQ. FT.	
SETBACKS	(REQUIRED / ALLOWED)	(PROVIDED)
FRONT	5'-0" MIN.	5'-0" (EXISTING)
REAR	0'-0" MIN.	5'-0" (EXISTING)
INTERIOR SIDE	0'-0"	0'-0" (EXISTING)
INTERIOR SIDE	0'-0"	0'-0" (EXISTING)
PARKING CALCULATIONS		
SINCE THIS FUNCTION IS A PART OF THE FUNERAL HOME / CHAPEL, NO ADDITIONAL PARKING IS CONTEMPLATED.		

## LEGAL DESCRIPTION

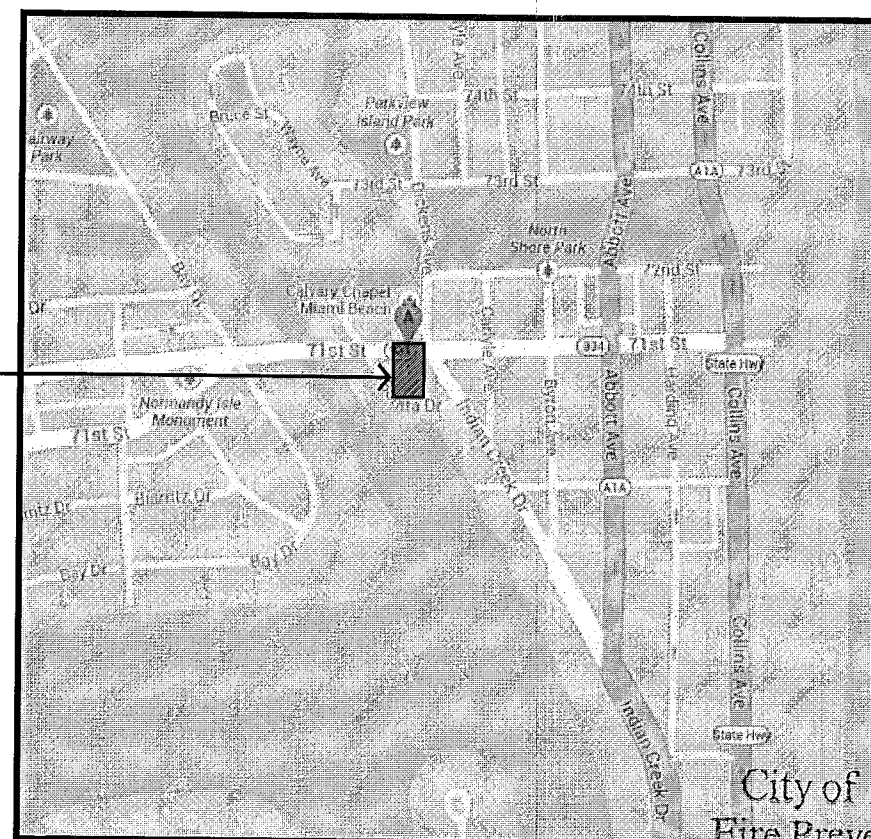
NORMANDY BEACH SOUTH PB 21-54 / PT LOTS 1 & 2 & 11 & 12 BLK 18  
- BEG NE COR LOT 1 W46FT / S101.54FT E107.83FT NWLY19.08FT / N86.32FT W82.83FT TO  
POB & EASMT / IN SW COR LOT 2 / LOT SIZE 9979 SQ. FT. / OR 19815-0906 0293 1, OF THE  
PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

## SCOPE OF WORK:

- NOTE: ALL WORK IS ON THE EXTERIOR NORTH SIDE FACADE OF THE EXISTING BUILDING.
- DEMOLISH EXISTING MANSARD ROOF CANOPY IN ITS ENTIRETY AS INDICATED.
  - PROVIDE NEW DECORATIVE ROOF CANTILEVER (OVER 3 EXISTING CANTILEVERS) TO CREATE A SINGLE, UNIFIED CANTILEVER AND ENTRANCE CANOPY. THERE IS NO WORK BEING DONE INSIDE THE BUILDING.

## ALTERATION LEVEL:

PROPOSED SCOPE OF WORK IS CLASSIFIED AS AN: ALTERATION - LEVEL 1  
(PER F.B.C. 403.1 EXISTING BUILDINGS.)



Location Plan

Site Plan

SCALE: 1" = 20'-0"

FOR REFERENCE ONLY

ARCHITECTURAL OFFICE OF  
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PARTIAL EXPLORATORY PLAN FOR:  
**BLASBERG-RUBIN-ZILBERT  
MEMORIAL CHAPEL**  
730 71st STREET  
MIAMI BEACH, FL 33141

## REVISIONS:

- |   |                                    |
|---|------------------------------------|
| 1 | BLDG. DEPT. REVS.<br>MAY 12, 2014  |
| 2 | BLDG. DEPT. REVS.<br>JUNE 5, 2014  |
| 3 | BLDG. DEPT. REVS.<br>JUNE 25, 2014 |
| 4 | BLDG. DEPT. REVS.<br>JULY 20, 2014 |

SEAL:

ROBERT G. DAVID, AIA  
ARCHITECT  
REG No.: AR 000219

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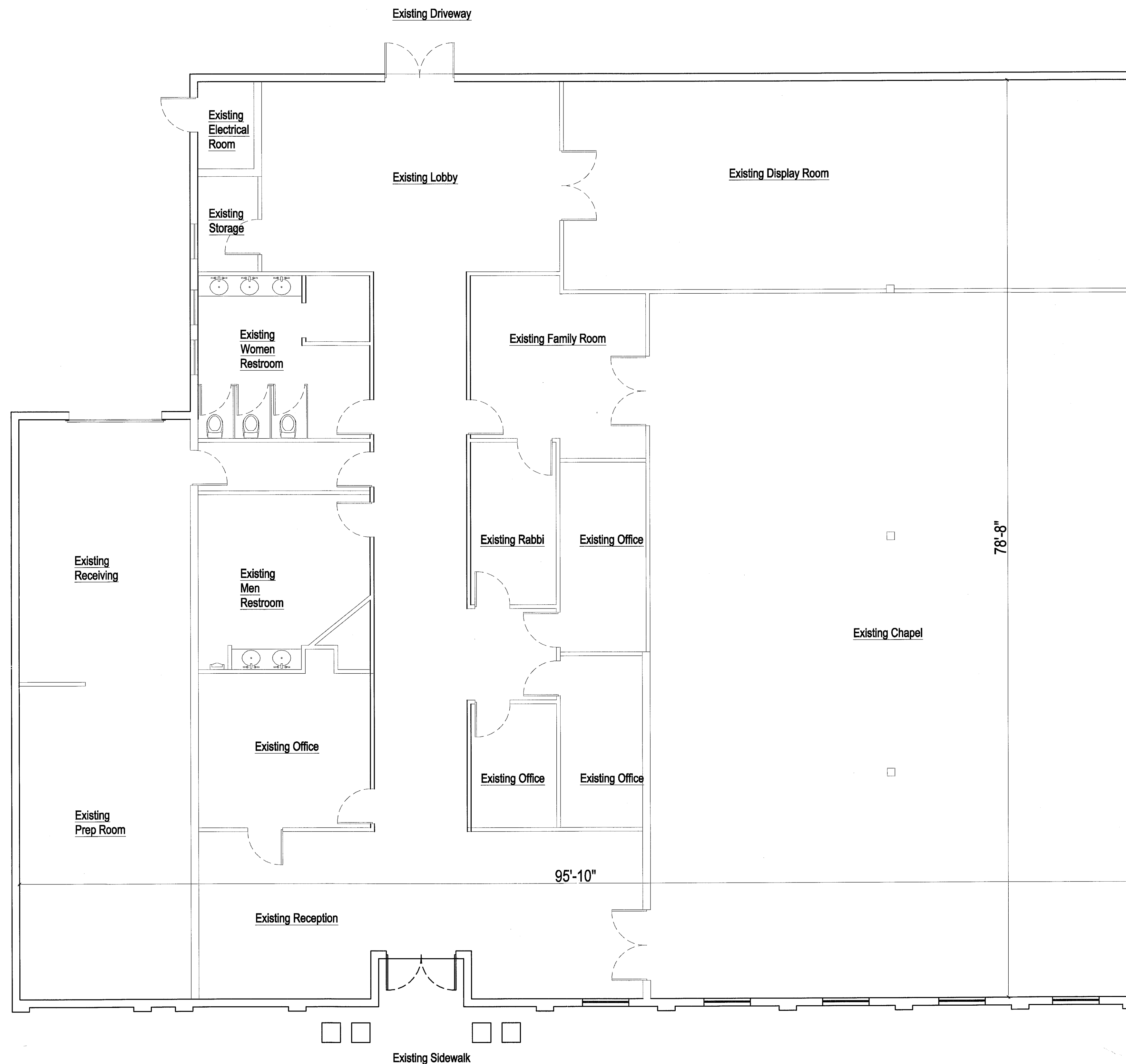
SHEET

A-1

OF

SHEETS





NOTE: PEDESTRIAN BARRIERS SHALL BE INSTALLED ON THE SIDEWALK AROUND THE AREA OF WORK SO AS TO MAINTAIN SAFE PEDESTRIAN MOVEMENT. THE CONTRACTOR SHALL COORDINATE LOCATIONS WITH THE APPROPRIATE CITY DEPARTMENTS

EDGE OF EXISTING SIDEWALK

### PROPOSED USE

PROPOSED USE= ASSEMBLY GROUP A-3

\* PROPOSED USE SHALL BE THE SAME THROUGHOUT UNIT

### ALTERATION LEVEL:

PROPOSED SCOPE OF WORK IS CLASSIFIED AS AN:  
ALTERATION - LEVEL 1 (PER F.B.C. 403.1 EXISTING BUILDINGS.)

### FIRE SPRINKLER NOTE:

THERE IS NO FIRE SPRINKLER SYSTEM INSTALLED IN EXISTING BUILDING

### SAFEGUARDS DURING BUILDING CONSTRUCTION (PER FFPC CH 16)

16.1.1- STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION, INCLUDING THOSE IN UNDERGROUND LOCATIONS, SHALL COMPLY WITH NFPA 241, STANDARD FOR DAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS AND THIS CHAPTER.

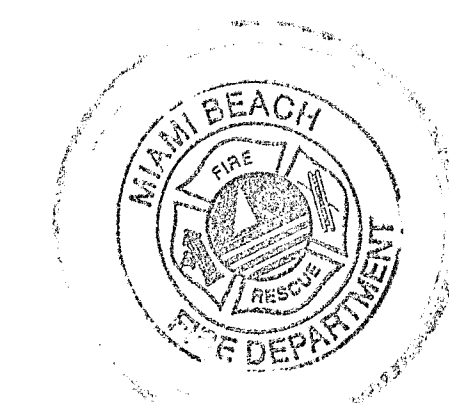
16.1.2- A FIRE PROTECTION PLAN SHALL BE ESTABLISHED WHERE REQUIRED BY THE AHJ.

16.1.3- IN BUILDINGS UNDER CONSTRUCTION, ADEQUATE FACILITIES SHALL BE MAINTAINED AT ALL TIMES FOR THE USE OF CONSTRUCTION WORKERS. ESCAPE FACILITIES SHALL CONSIST OF DOORS, WALKWAYS, STAIRS, RAMPS, FIRE ESCAPES, LADDERS, OR OTHER APPROVED MEANS FOR DEVICES ARRANGED IN ACCORDANCE WITH THE GENERAL PRINCIPLES OF CH. 14 AND NFPA 101, LIFE SAFETY CODE, INsofar AS THEY CAN BE REASONABLY APPLIED TO THE BUILDINGS UNDER CONSTRUCTION.

16.1.4- FIRE DEPARTMENT ACCESS ROADS PROVIDED IN ACCORDANCE WITH 18.2.3 SHALL BE PROVIDED AT THE START OF A PROJECT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

16.1.5- PERMANENT FIRE DEPARTMENT ACCESS ROAD MARKINGS SHALL NOT BE REQUIRED UNTIL BUILDING IS COMPLETE OR OCCUPIED FOR USE.

City of Miami Beach  
Fire Prevention Division  
PLANS APPROVED



Overall Building Floor Plan

SCALE: 3/16" = 1'-0"

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305.538-4696

OPTION DRAWINGS FOR:

BLASBERG-RUBIN-ZILBERT

MEMORIAL CHAPEL

730 71st STREET

MIAMI BEACH, FL 33141

### REVISIONS:

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SEAL:

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5-12-14

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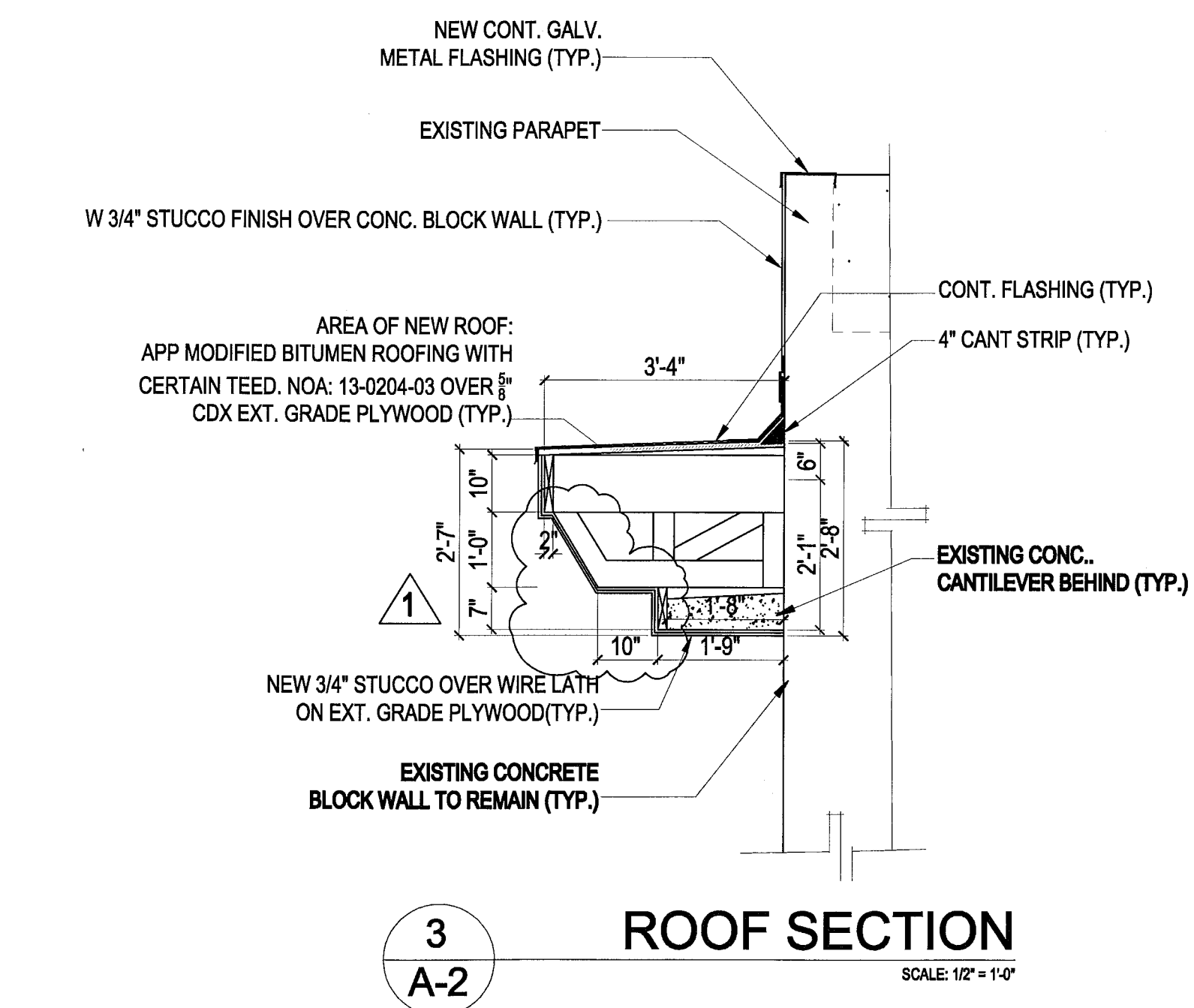
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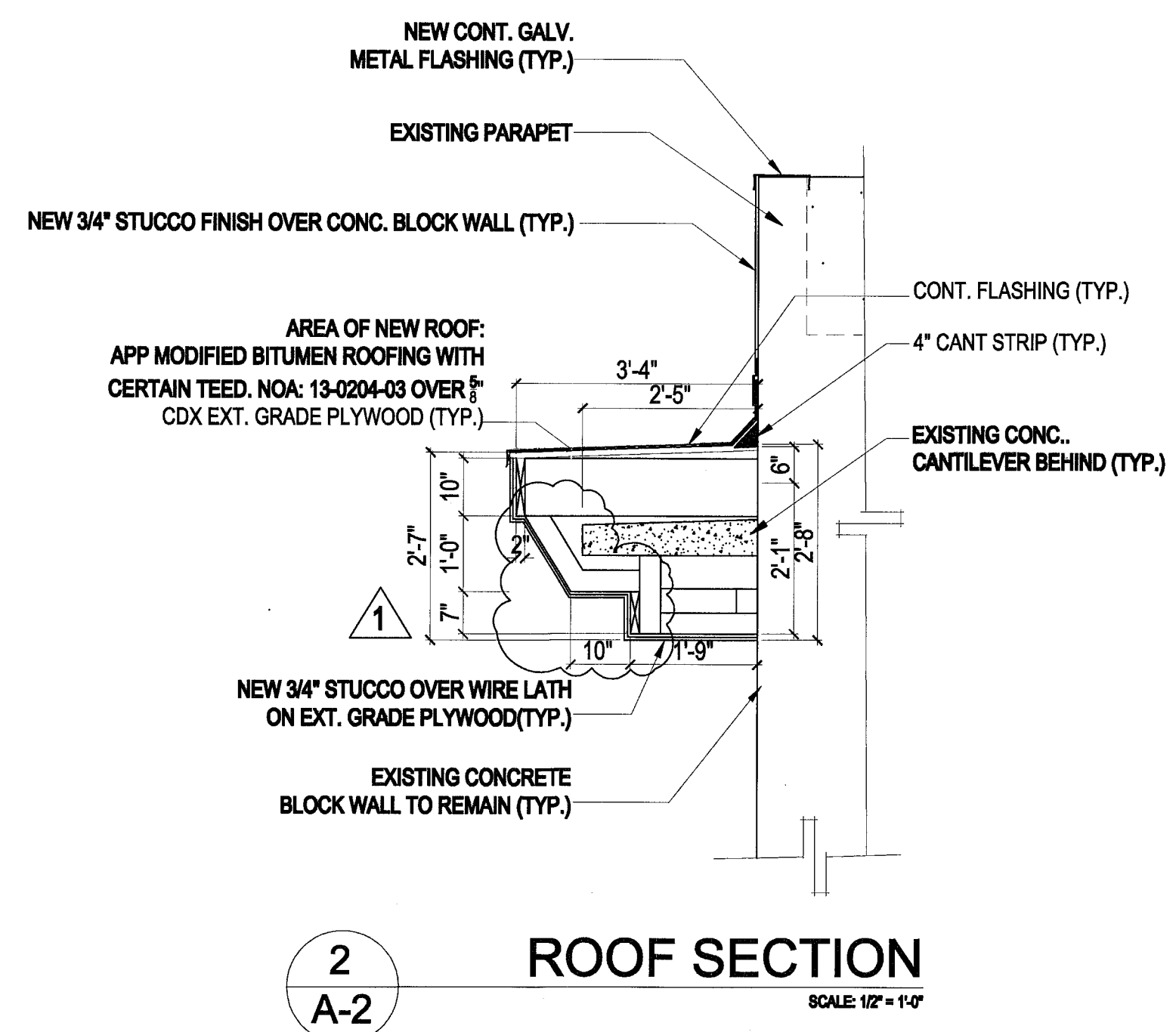
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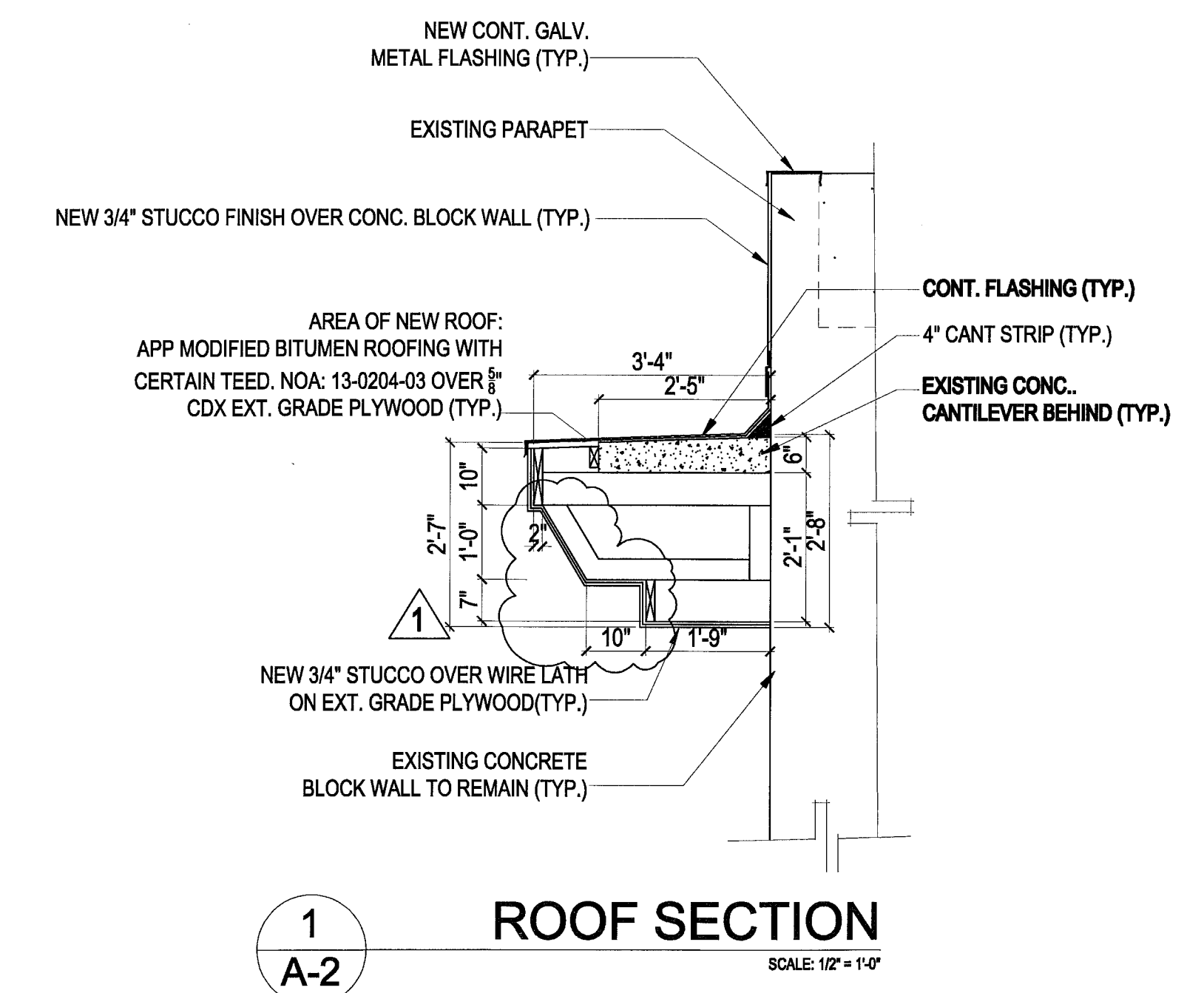




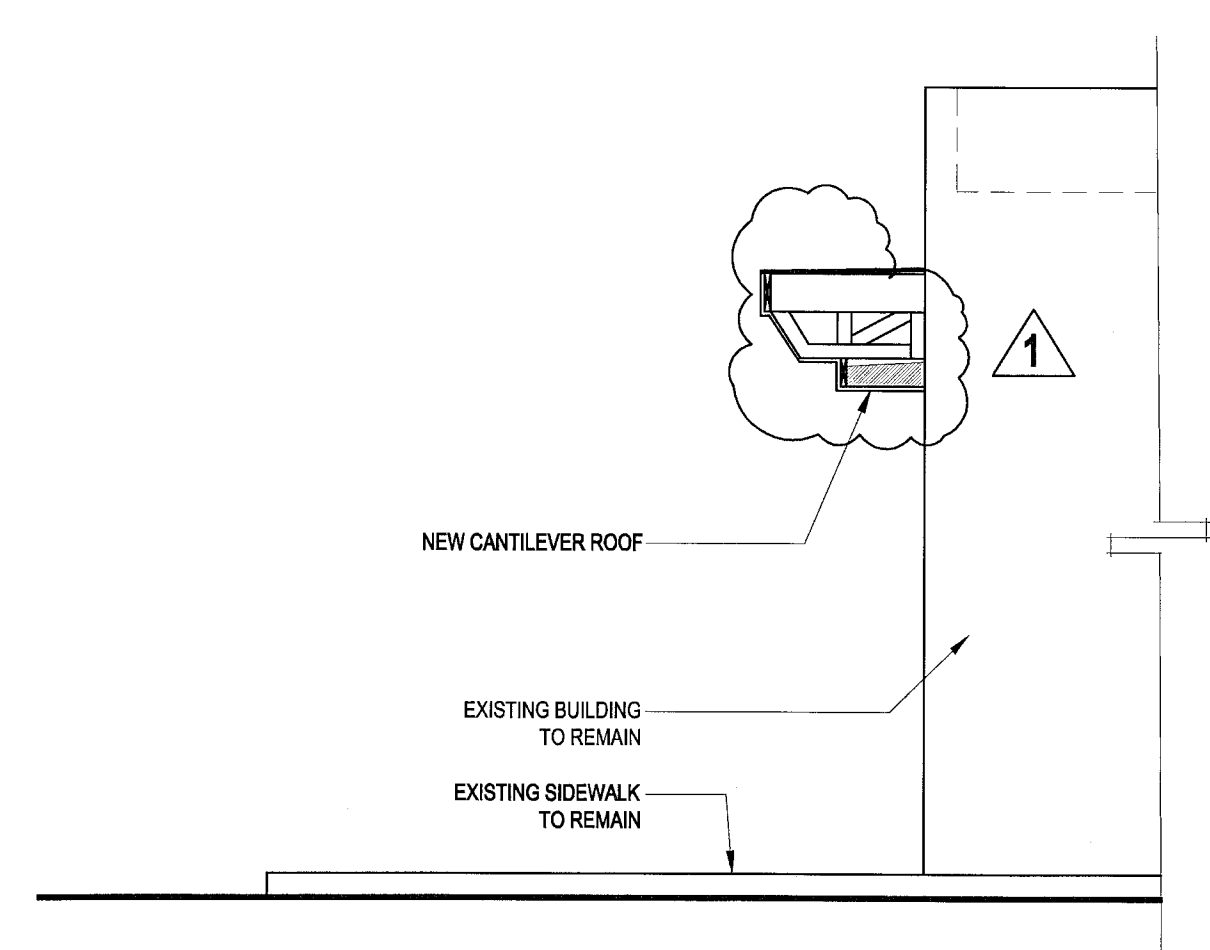
**3**  
**A-2** **ROOF SECTION**  
SCALE: 1/2" = 1'-0"



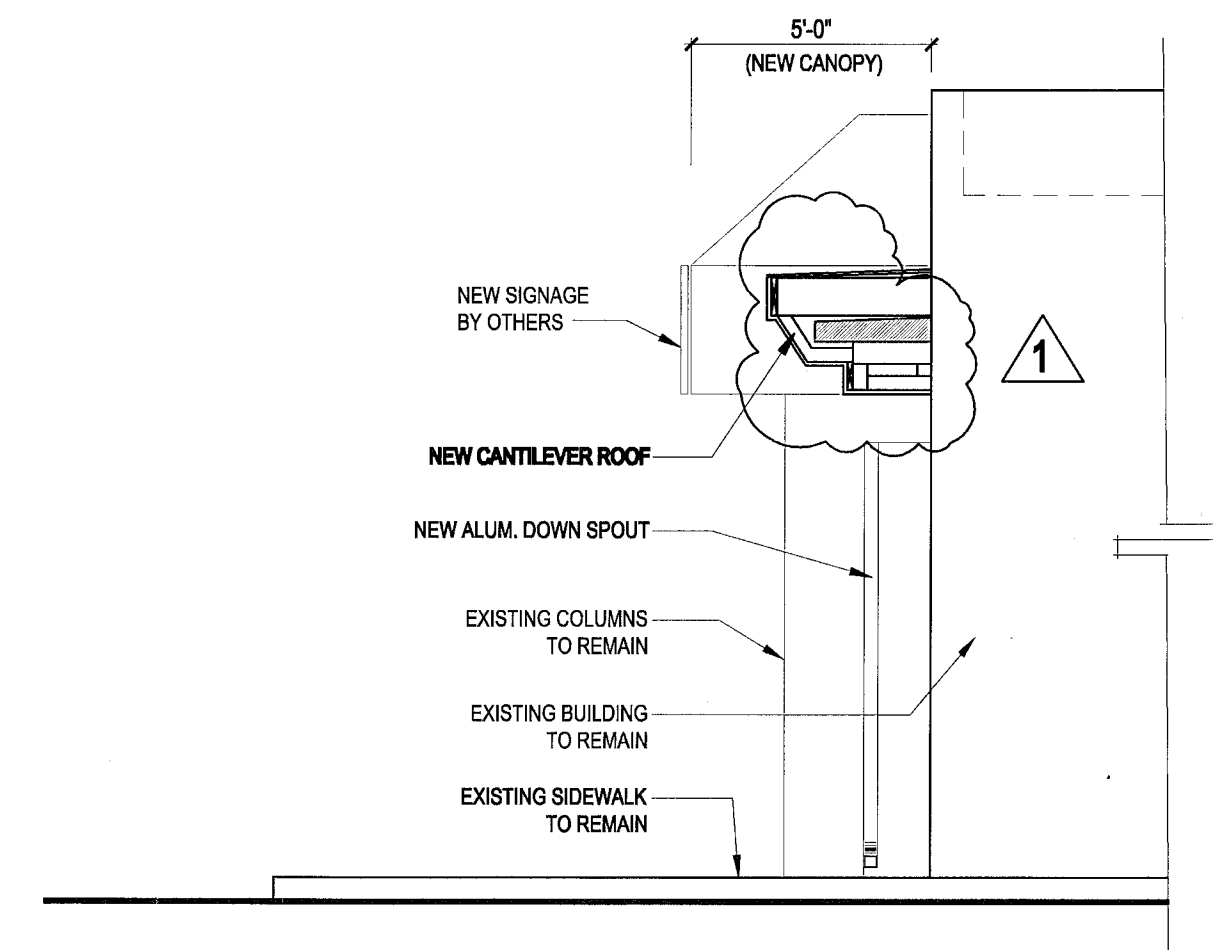
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**A-2** **ROOF SECTION**  
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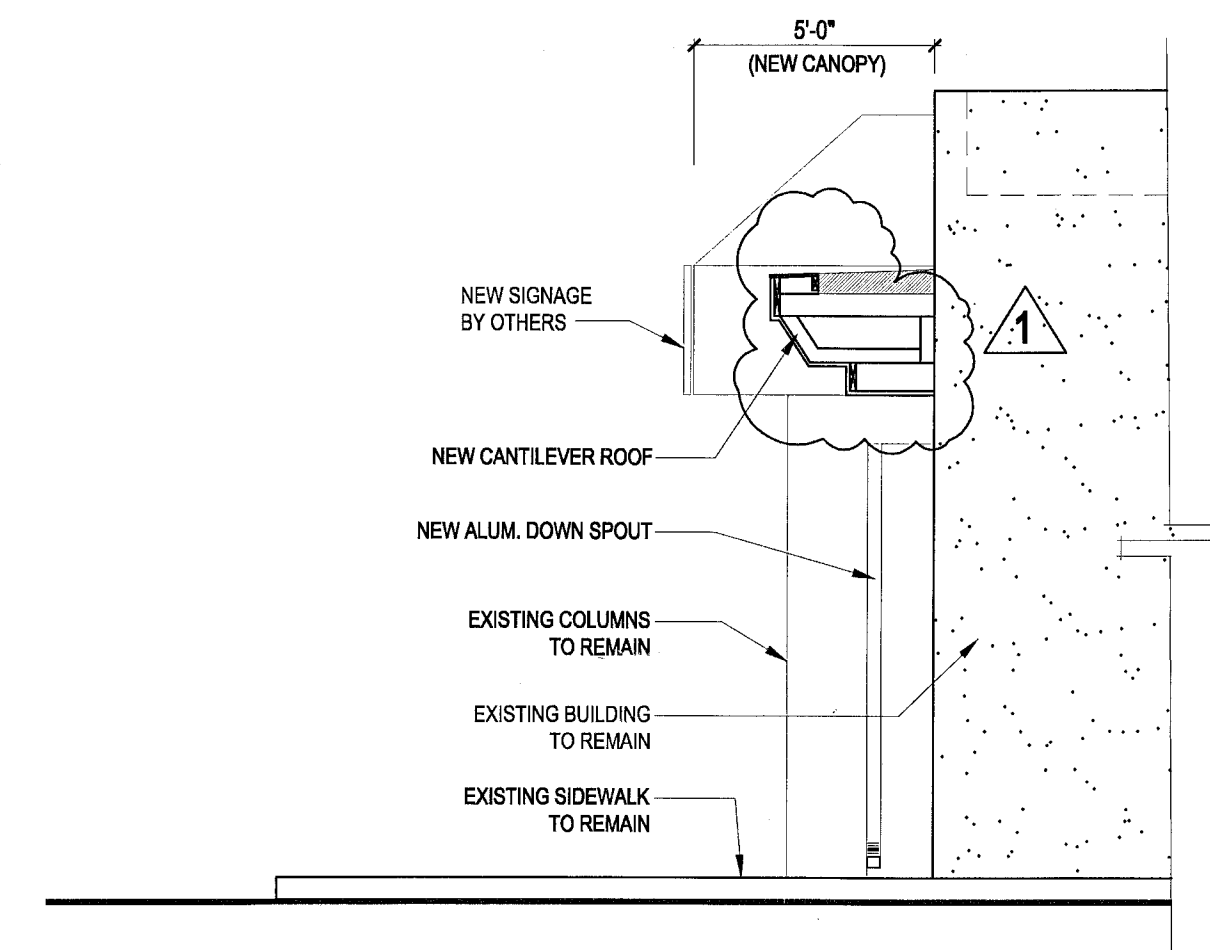
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**A-2** **ROOF SECTION**  
SCALE: 1/2" = 1'-0"



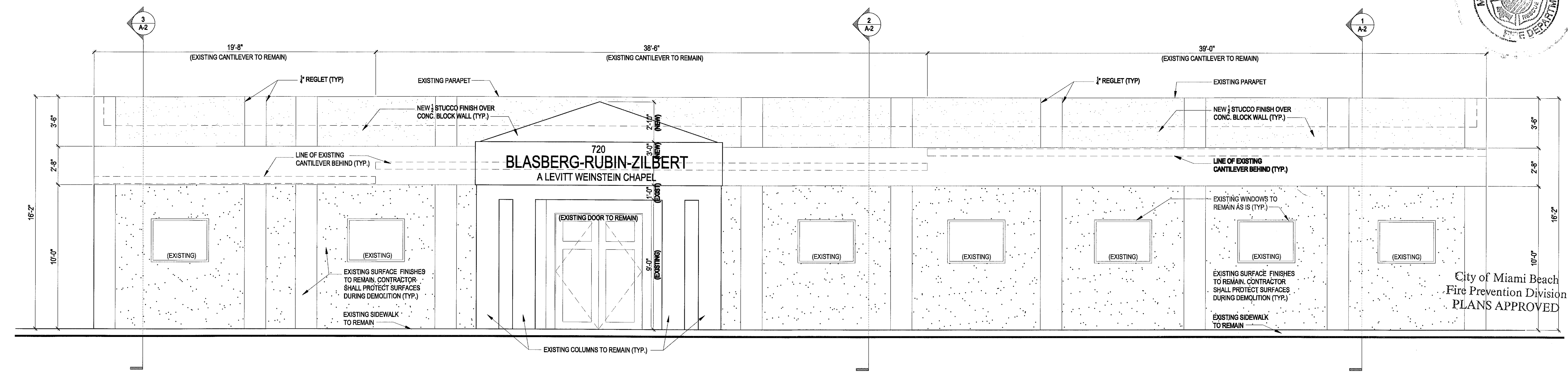
**Partial West Elevation**  
SCALE: 1/4" = 1'-0"



**Partial West Elevation**  
SCALE: 1/4" = 1'-0"

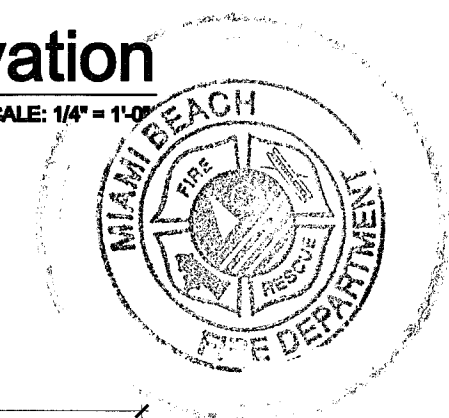


**Partial West Elevation**  
SCALE: 1/4" = 1'-0"



**North Elevation (Front)**  
SCALE: 1/4" = 1'-0"

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OPTION DRAWINGS FOR:  
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REVISIONS:  
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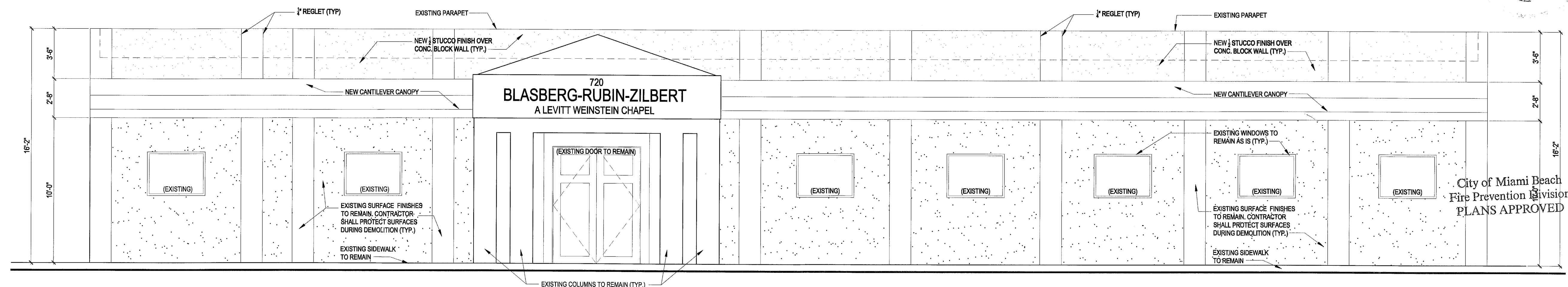
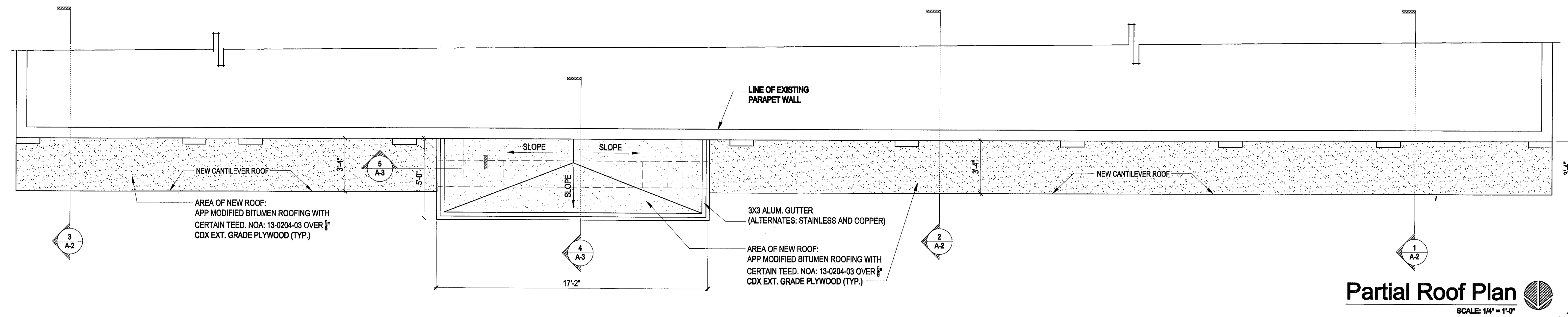
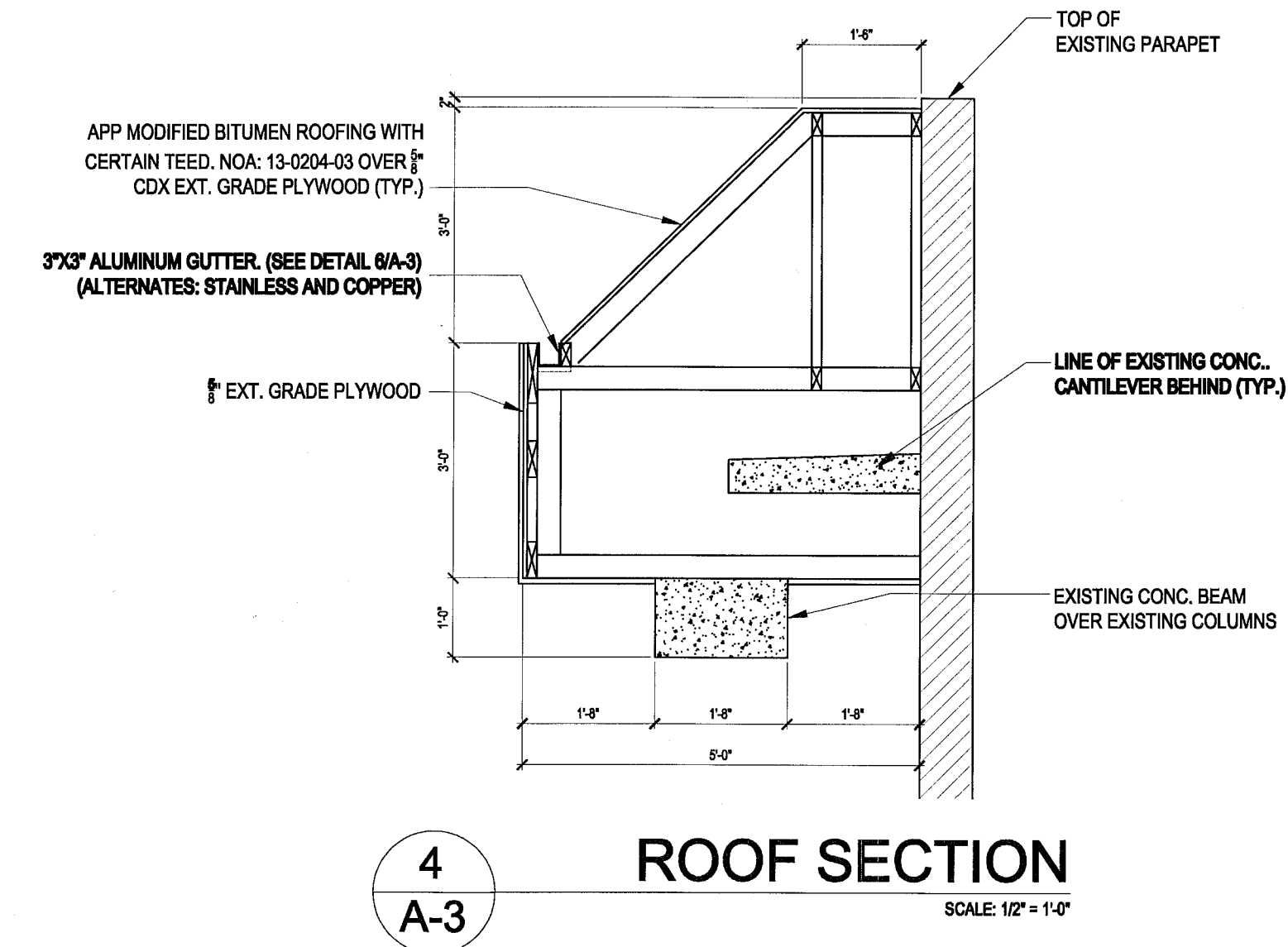
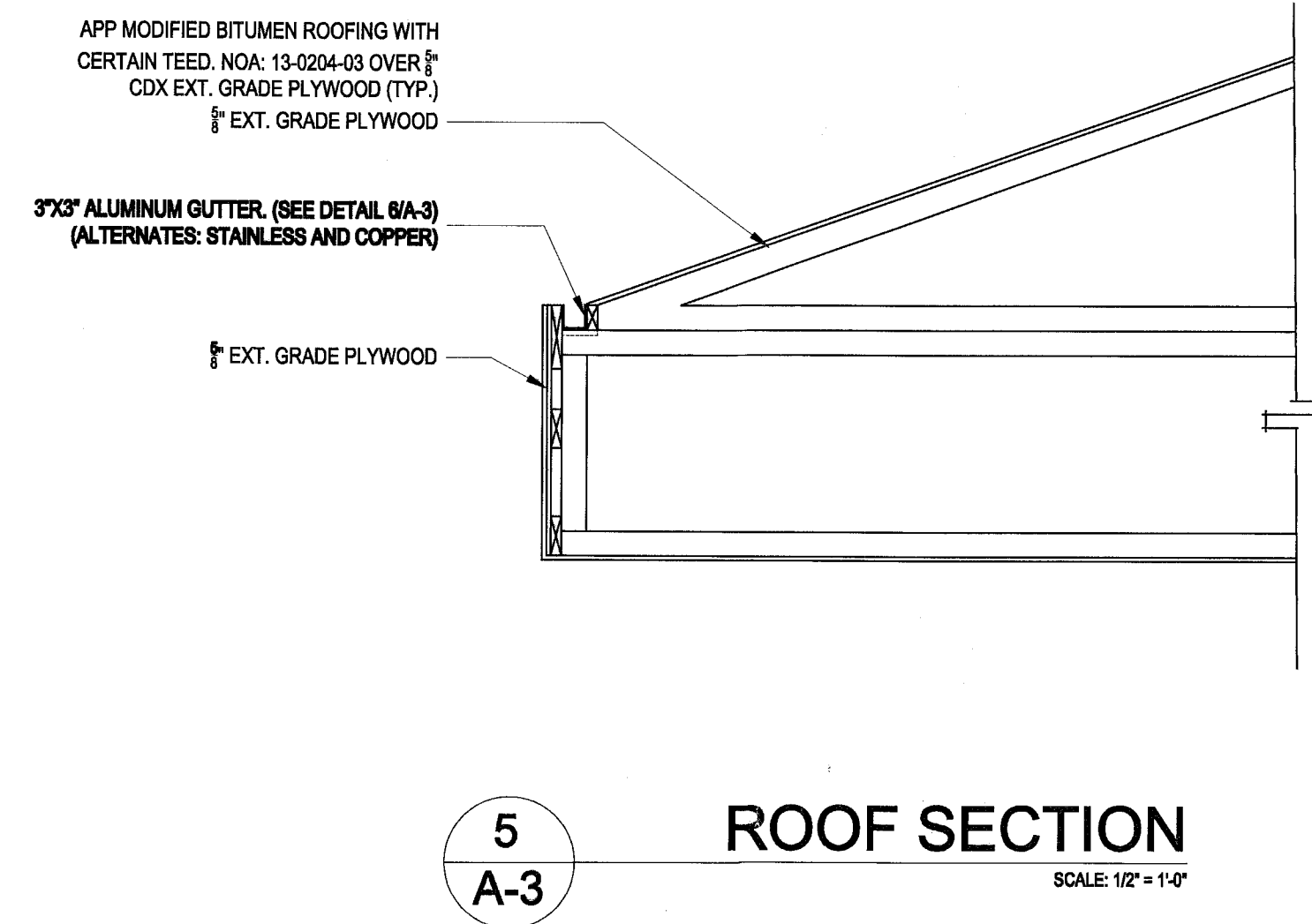
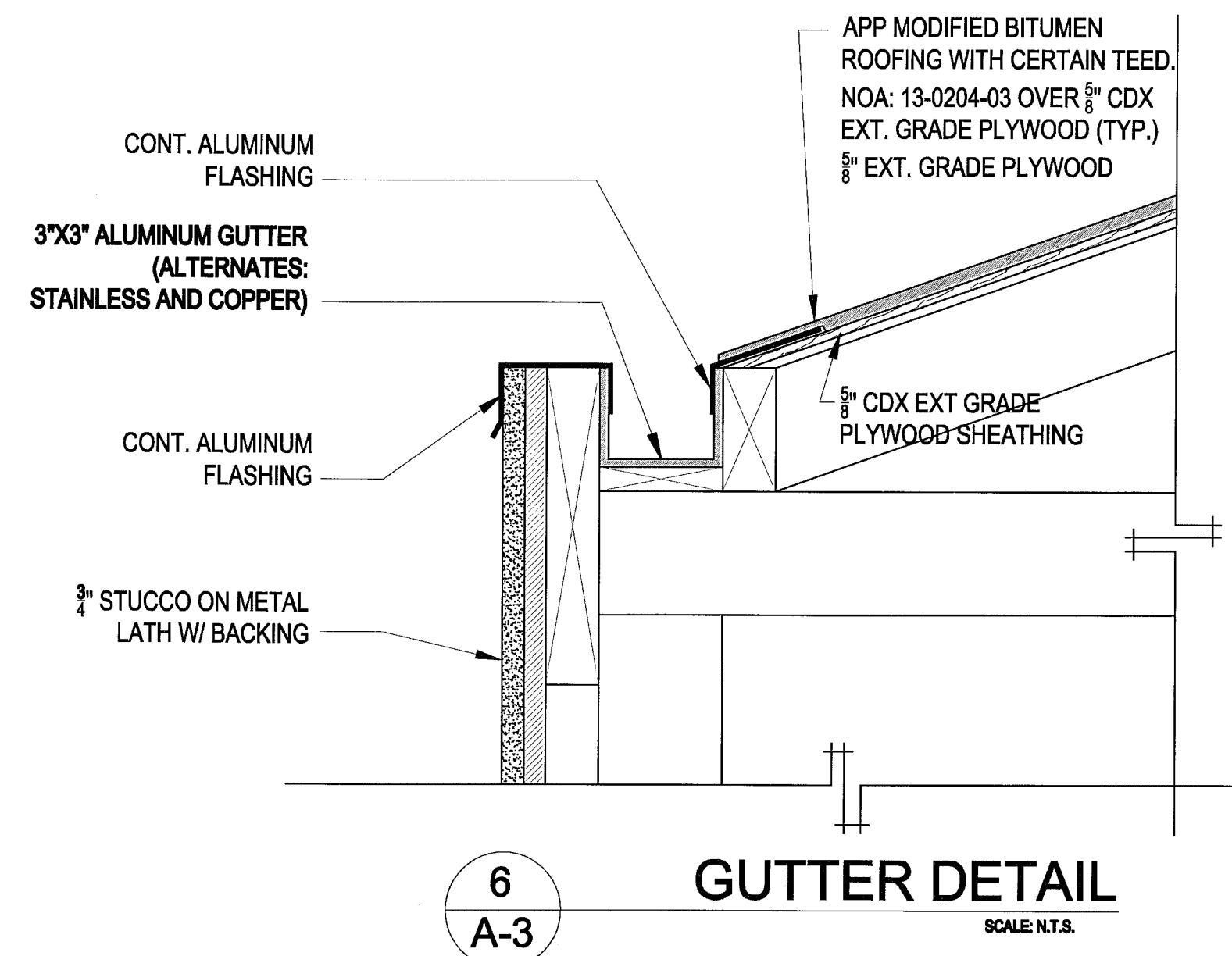
SEAL:  
*Robert G. David*  
5-13-14  
ROBERT G. DAVID, AIA  
ARCHITECT  
REG No.: AR 0006219

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SHEET

**A-2**

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**North Elevation (Front)**  
SCALE: 1/4" = 1'-0"

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OPTION DRAWINGS FOR:  
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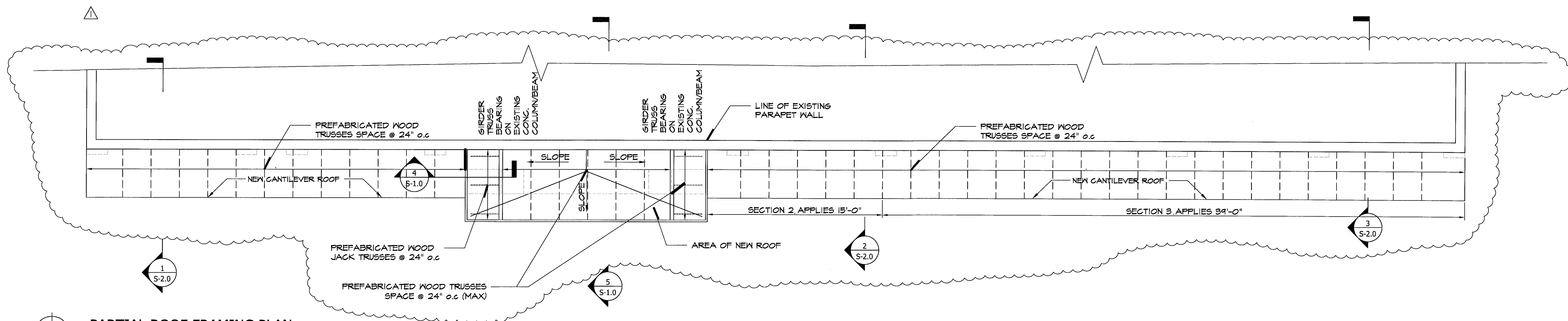
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**A-3**

OF SHEETS

City of Miami Beach  
Fire Prevention Division  
PLANS APPROVED

M/S

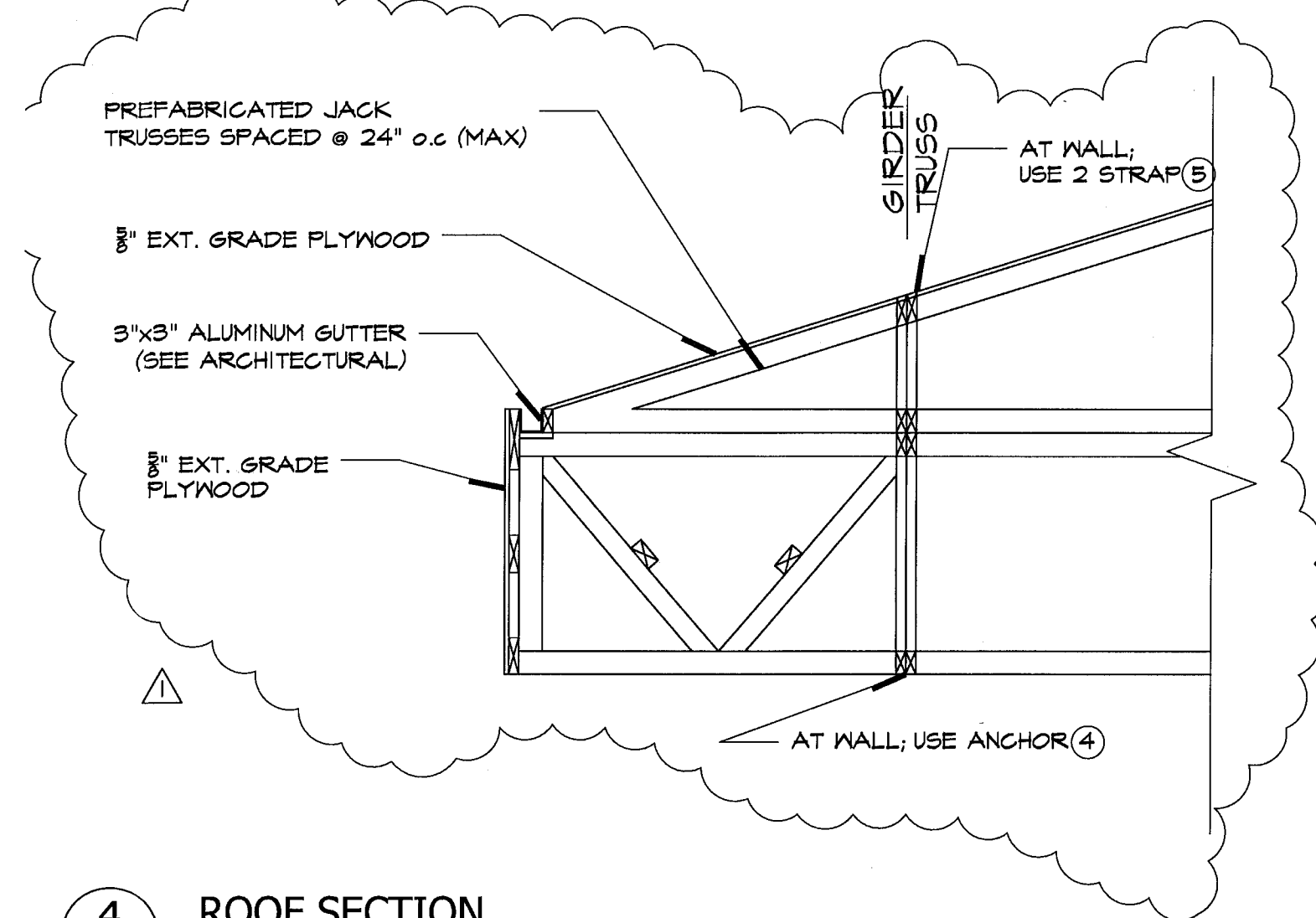




PARTIAL ROOF FRAMING PLAN

- NOTES:  
1. SEE ARCHITECTURAL FOR EXACT DIMENSIONS AND ALL STOREFRONT GEOMETRY.  
2. PROVIDE HORIZONTAL BRIDGING ALONG TOP AND BOTTOM CHORDS. (TYPICAL)

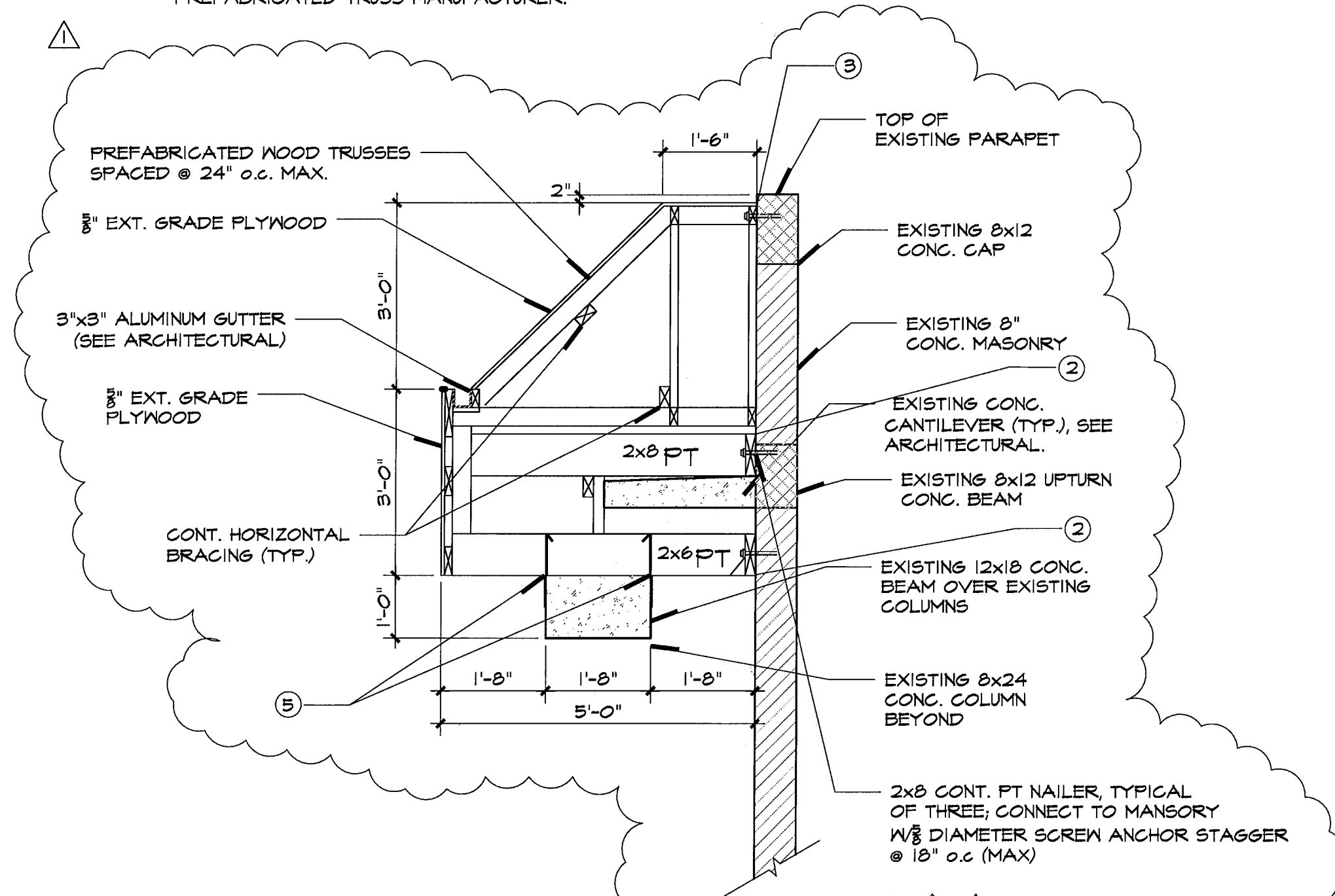
Scale: 1/4"=1'-0"



4 ROOF SECTION

- NOTES:  
1. TRUSS TO GIRDER TRUSS CONNECTION BY PREFABRICATED TRUSS MANUFACTURER.

1/2" = 1'-0"



5 ROOF SECTION

Scale: 1/2" = 1'-0"

FLOOR SUPERIMPOSED LOADS	
DEAD	20 PSF
LIVE	40 PSF

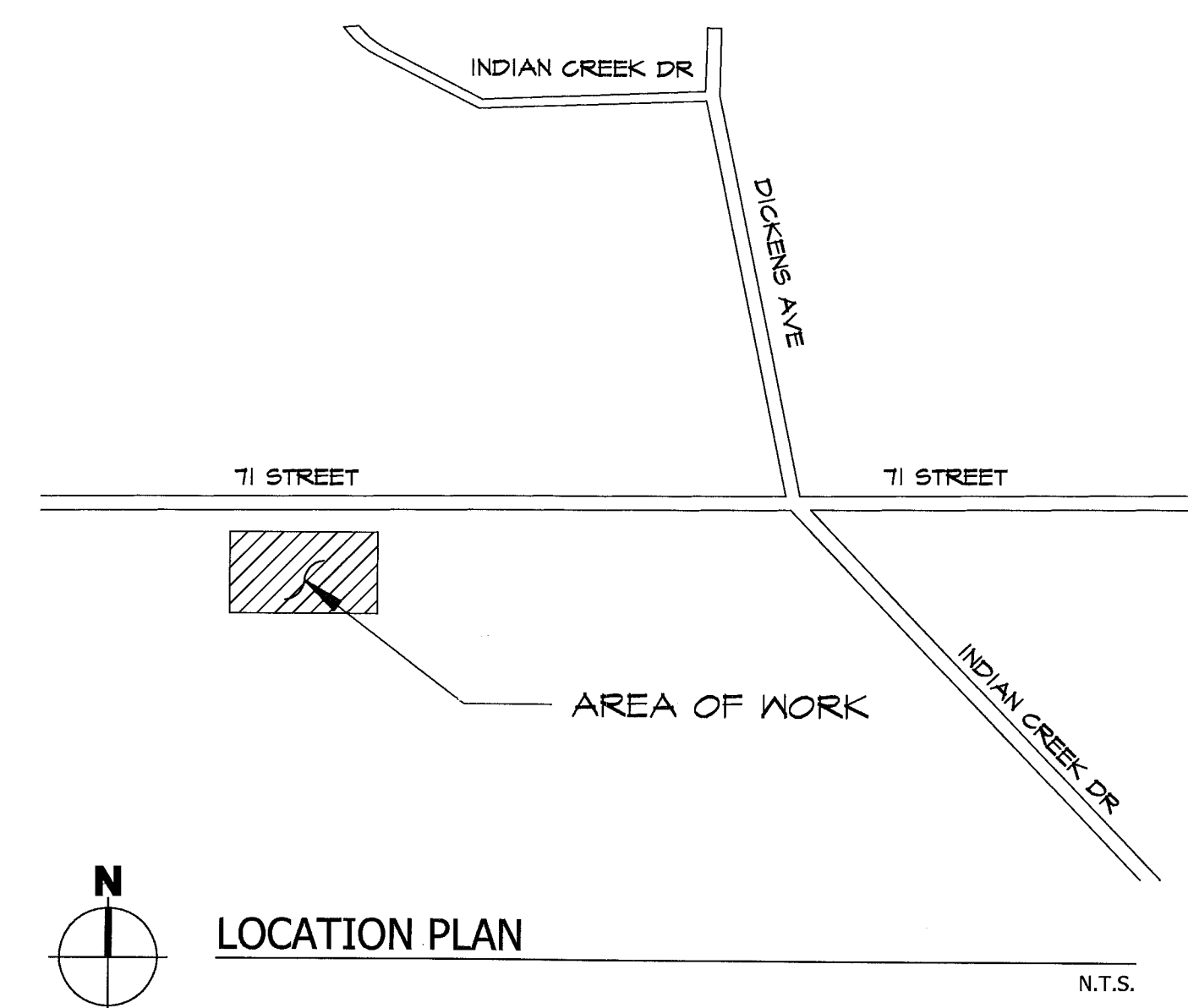
HURRICANE STRAPS/ANCHORS SCHEDULE				
	UPLIFT	GRAVITY	PRODUCT IDENT.	REMARKS
①	450 lbs	BEARING	SIMPSON H6	FL # 10456
②	565 lbs	860 lbs	SIMPSON LU26	FL # 10655
③	455 lbs	160 lbs(LT)	SIMPSON H3	FL # 10456
④	850 lbs	1435 lbs	SIMPSON LU210	FL # 10655
⑤	860 lbs	BEARING	SIMPSON MTSM-20	FL # 11473 NOTE 3
⑥	585 lbs	BEARING	SIMPSON H1	FL # 10456

- NOTES:  
1. ALL WITH TSS MOISTURE BARRIER; PRE ATTACH WITH 6d COMMON NAILS. ALL WITH SPECIAL CORROSION PROTECTION.  
2. TRUSS TO GIRDER TRUSS CONNECTIONS BY PREFABRICATED TRUSS MANUFACTURER.  
3. PROVIDE GALVANIZED SEAT



WIND LOADS DIAGRAM

OVERHANG - 26.4 PSF UPLIFT TOP SURFACE  
OVERHANG - 23.4 PSF UPLIFT BOTTM SURFACE



LOCATION PLAN

N.T.S.

**FOR REFERENCE ONLY**

**INGELMO**  
ASSOCIATES P.A.

250 CATALONIA AVENUE, SUITE 301  
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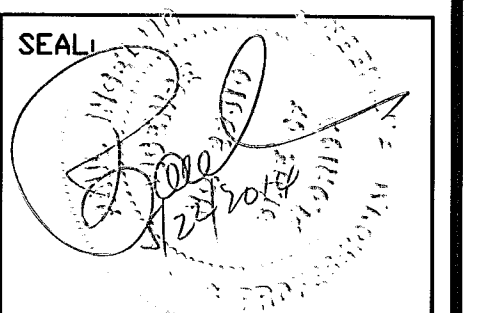
ARCHITECTURAL OFFICE OF  
**DAVID & DAVID**

OFFICE LIC. NO: AA0002322  
940 LINCOLN ROAD, SUITE 306  
MIAMI BEACH, FLORIDA 33139  
305.538-4696

OPTION DRAWINGS FOR:  
**BLASBERG-RUBIN-ZILBERT**  
**MEMORIAL CHAPEL**  
720 71st STREET  
MIAMI BEACH, FL 33141

REVISIONS:

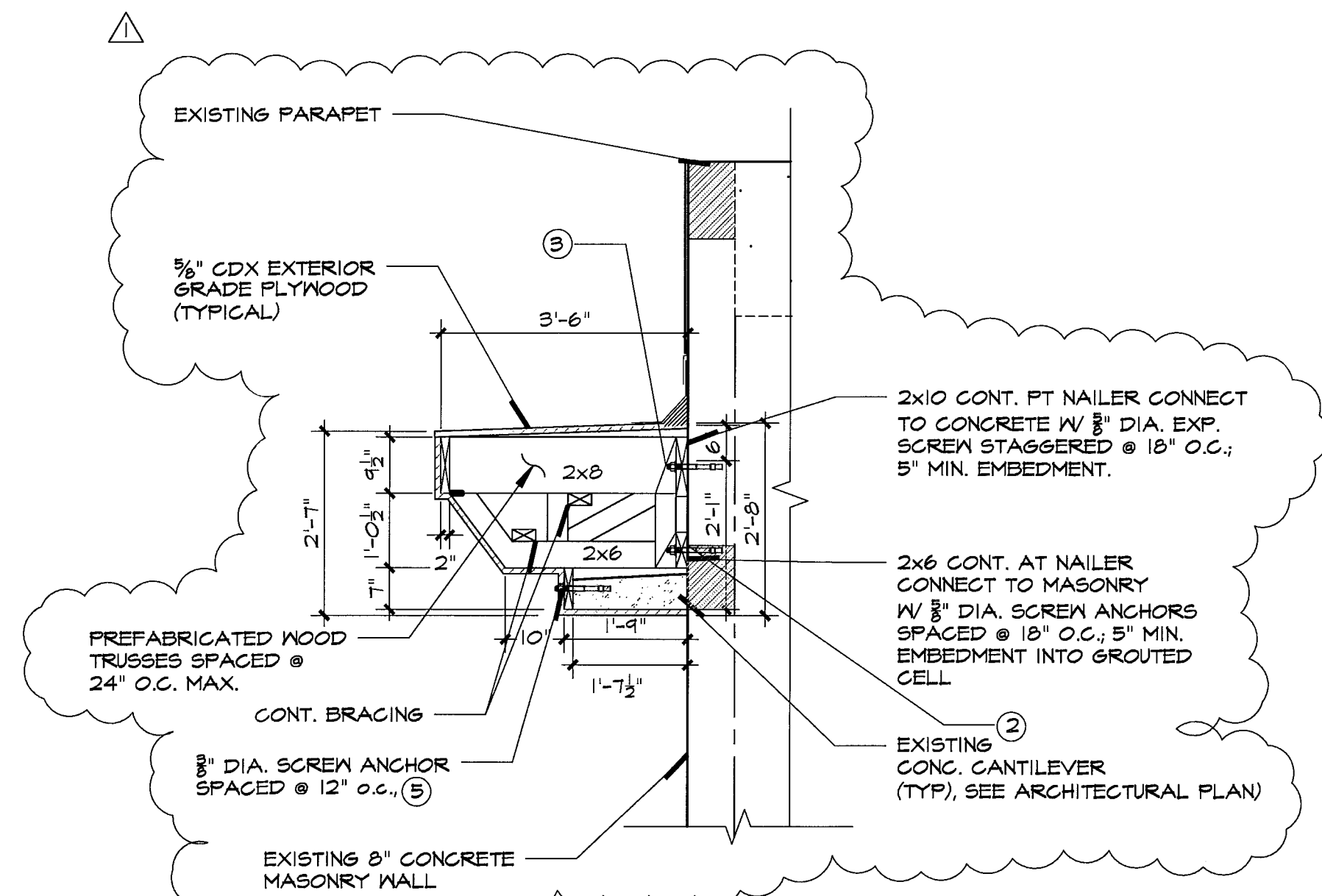
△ BUILDING DEPT.  
COMMENTS.  
5-14-2014



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DS  
CHECKED  
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DATE  
04-04-2014  
SCALE  
As Indicated  
JOB NO.

SHEET  
**S-1.0**  
OF SHEETS





1  
S-2.0

Scale: 1/2" = 1'-0"

**GENERAL NOTES:**

- All Construction shall be in accordance with the Florida Building Code 2010 or Latest Edition. All wind loadings are in accordance to ASCE 7-10.
- To the best of our knowledge, the Structural Drawings and Specifications comply with the applicable requirements of the governing Building Code.
- The structural documents are to be used in conjunction with the Architectural documents.
- Details labeled @typical apply to all situations that are the same or similar to those specifically referenced, whether or not they are keyed in at each location. All sections and details shall be construed to be typical or similar unless another section or detail is noted. Questions regarding the applicability of typical details shall be resolved by the Architect.
- Openings shown on the Structural Drawings are only pictorial. See the Architectural drawings for the size and location of openings in the structure.
- Contractors who discover discrepancies, omissions or variations in the Contract Documents during bidding shall immediately notify the Architect. The Architect will resolve the condition and issue written instructions.
- The General Contractor shall review and determine that dimensions are coordinated between architectural and structural drawings prior to fabrication or start of construction.
- The structure is designed to be structurally sound when completed. Prior to completion, the Contractor is responsible for stability and temporary bracing, including, but not limited to masonry walls. Whenever the Contractor is unsure of these requirements, the Contractor shall retain a Florida Licensed Engineer to design and inspect the temporary bracing and stability of the structure.
- No structural member shall be cut, notched or otherwise reduced in strength.

**EXPANSION ANCHORS:**

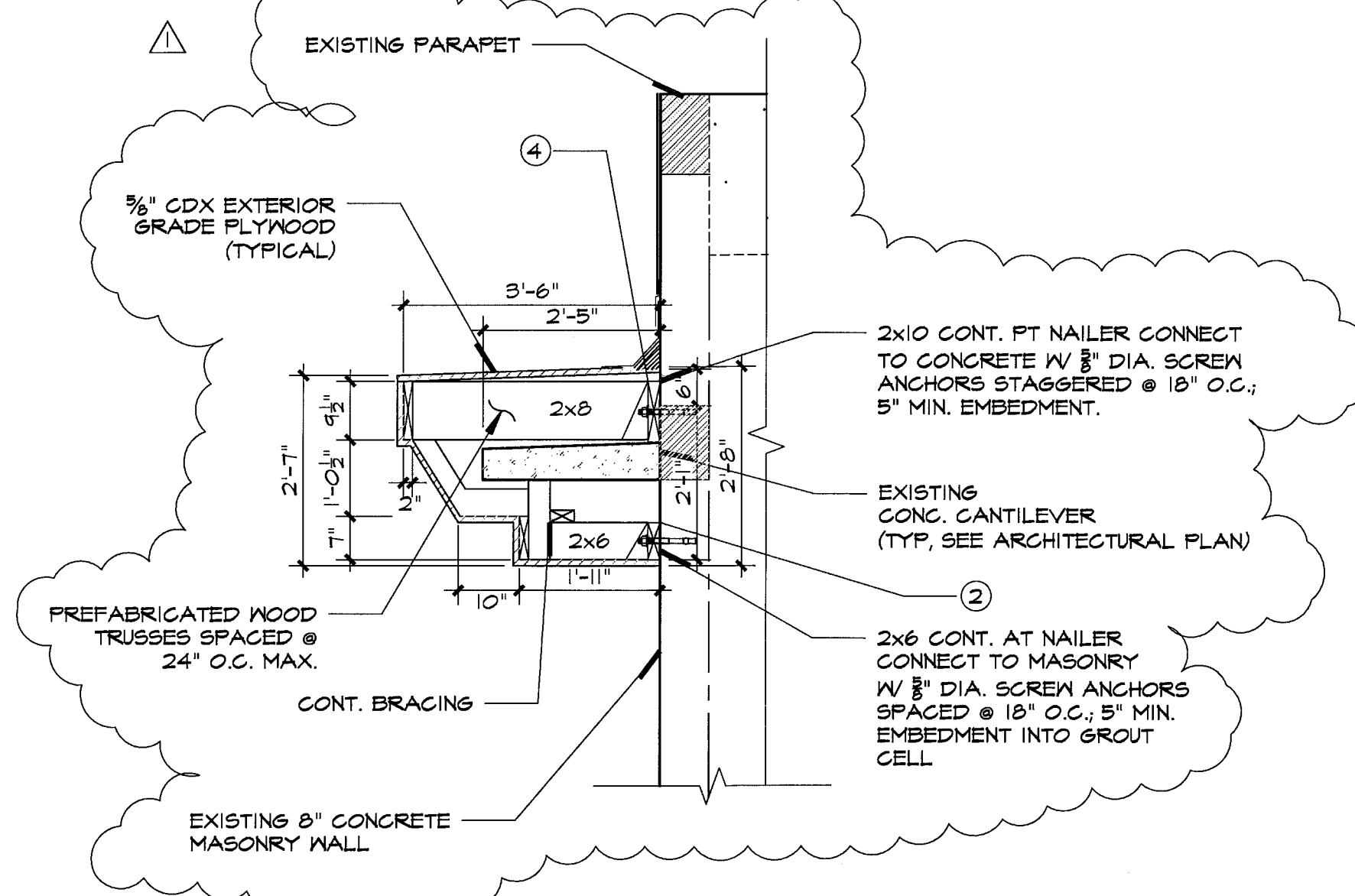
- Use screw-type expansion anchors such as the Hilti Kwik bolt HUS-EZ Carbon Steel Screw anchor or accepted equivalent. Follow manufacturer's specifications for use and installation.
- Confirms the absence of reinforcing steel by drilling a 1/4 inch diameter pilot hole for each anchor. Do not cut reinforcing steel without approval of the Structural Engineer.
- Provide anchor embedment, spacing and edge distance as shown on the Drawings.

**WOOD FRAMING:**

- Framing and miscellaneous lumber shall be:
  - Nominal size indicated, dresses S4S.
  - Southern pine No. 2 or better.
  - Moisture content, 19% maximum.
  - Minimum extreme bending fiber stress,  $F_b=1200$  psi,  $F_v=175$  psi,  $E=1,600,000$  psi
- Sheathing shall be 3/4 (min.) exterior rated plywood nailed to supporting members with engineered construction 10d ringshank nails (3A x0.135 min. shank diameter and ring a min. of .012 dia. or larger) at 6A o.c. unless otherwise noted; 4" at all perimeters and edges. Plywood shall adhere to the requirements of APA panel specifications and a span rating of 32/16. Plywood shall be placed with face grain perpendicular to supports and span over two or more supports. It shall adhere to all the requirements of Section 2322.2 of the Florida Building Code.
- Wood framing members shall be as indicated in note 1 above.
- Pressure treated lumber shall be used for members in contact with concrete, masonry or steel.
- Prefabricated wood trusses, if used, shall be designed and fabricated in accordance with the requirements of the Truss Plate Institute (TPI), latest edition. Trusses to be erected following the guidelines of the TPI Publication BWT-76. Submit for review layout plans and individual truss drawings for each different truss, all work shall be performed under the supervision of Florida Registered Professional Engineer. Drawings and Calculations shall be submitted for review by the Structural Engineer of Record and all work shall be signed and sealed by a State of Florida registered Professional Engineer.

2  
S-2.0

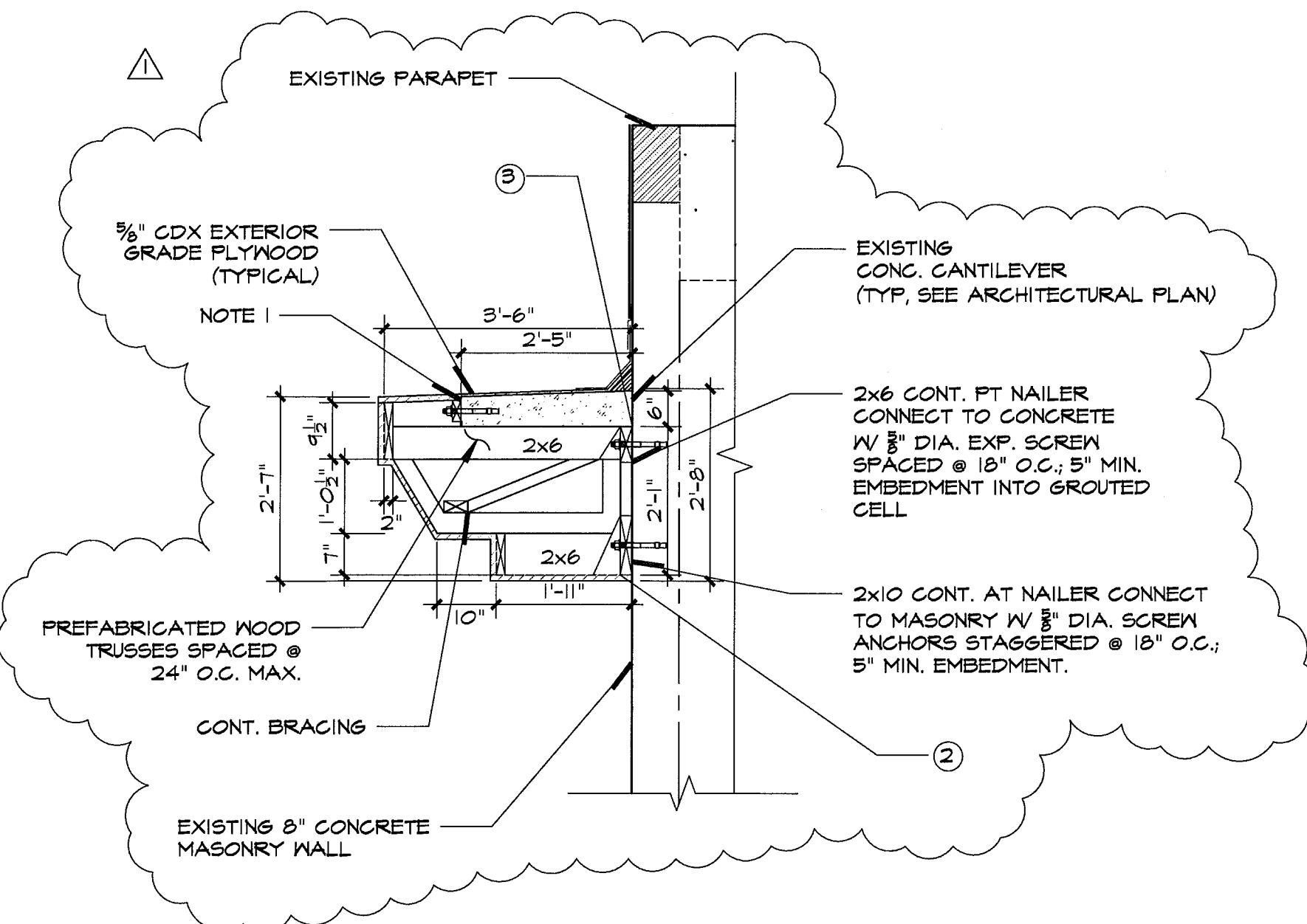
Scale: 1/2" = 1'-0"



3  
S-2.0

NOTE: 1. USE 3/8" DIAMETER SCREEN ANCHOR @ 12" o.c.; 3" EMBEDMENT, (3)

Scale: 1/2" = 1'-0"



**SHORING:**

- Provide complete shoring including temporary bracing during construction.
- Do not remove shoring until all structural items are safely connected.

**COORDINATION OF CONSTRUCTION PLANS:**

- Do not scale dimensions from drawings.
- The contractor shall verify that actual field measurements and conditions comply with contract documents and shall be responsible for identifying any deviations from the contract documents prior to submittal of shop drawing to the architect for review.
- The contractor shall be responsible for the coordination of all dimensions and locations of all openings not shown on the contract documents which are to suit equipment furnished.
- Structural documents must be worked together with architectural documents in order to:
  - Check and coordinate all dimensions all discrepancies must be brought to the attention of the architect.
  - Check all plans. Thoroughly and bring any discrepancy to the attention of the architect.

**SUBMITTALS:**

- Submit Shop Drawings for prefabricated wood trusses.

**FOR REFERENCE ONLY**

**INGELMO ASSOCIATES P.A.**  
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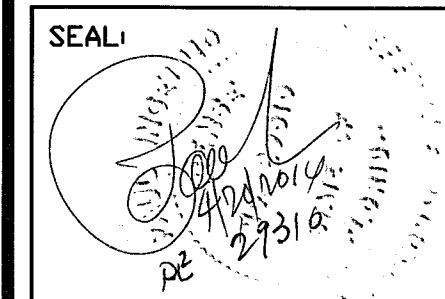
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OPTION DRAWINGS FOR:  
**BLASBERG-RUBIN-ZILBERT  
MEMORIAL CHAPEL**  
720 71st STREET  
MIAMI BEACH, FL 33141

**REVISIONS:**

REVISIONS	BUILDING DEPT. COMMENTS
5-19-2014	



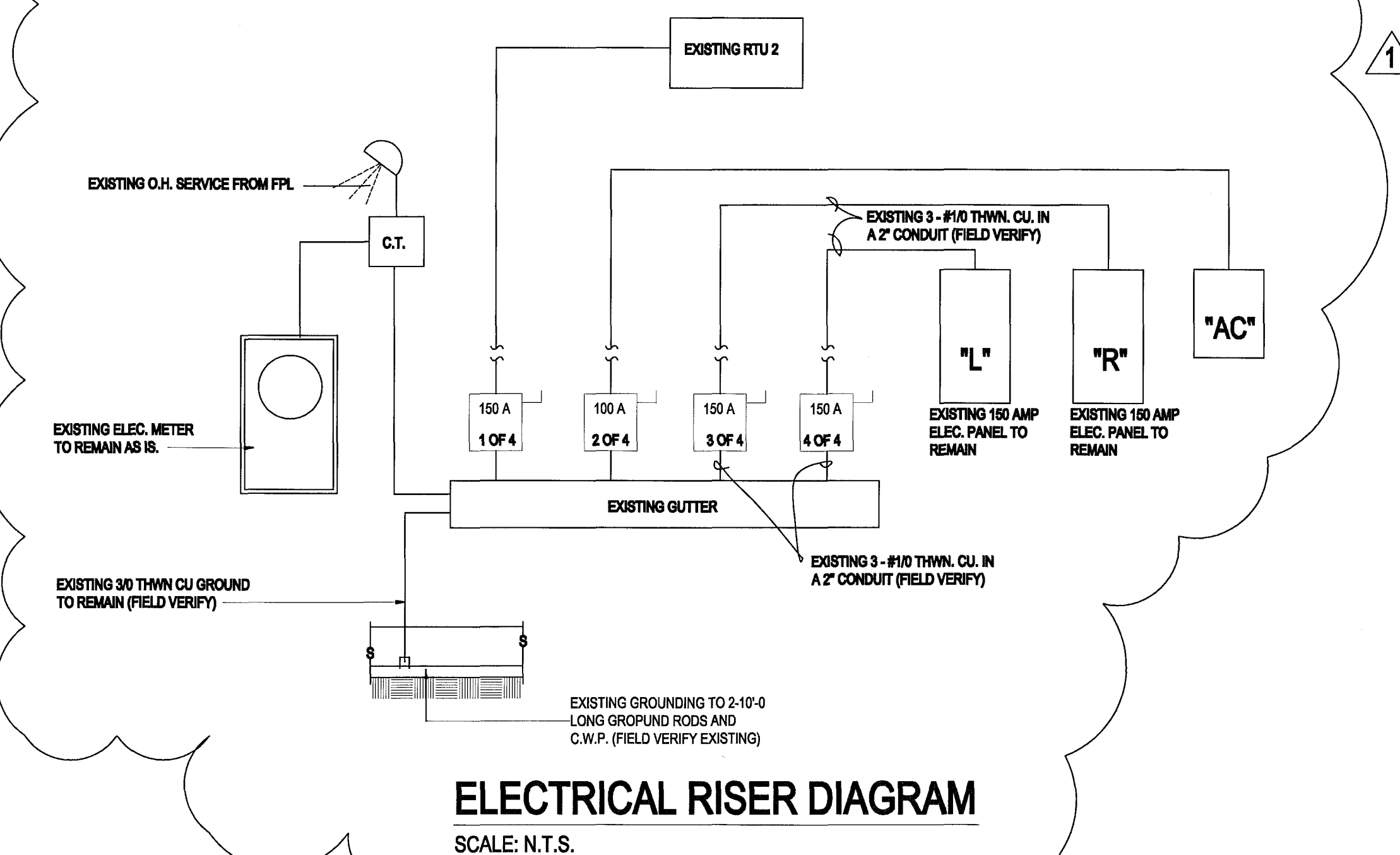
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CHECKED	PI
DATE	04-04-2014
SCALE	As Indicated
JOB NO.	

SHEET	S-2.0
OF	SHEETS



EXISTING ELECTRICAL PANEL - L									
WATTS	DESCRIPTION	WIRE	BRK	CIR	CIR	BRK	WIRE	DESCRIPTION	WATTS
750	GEN. LIGHTING & RECEPTACLES	12	20	1	2	-	-	SPACE	-
750	GEN. LIGHTING & RECEPTACLES	12	20	3	4	-	-	SPACE	-
750	GEN. LIGHTING & RECEPTACLES	12	20	5	6	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	7	8	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	9	10	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	11	12	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	13	14	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	15	16	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	17	18	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	19	20	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	21	22	20	12	GEN. LIGHTING & RECEPTACLES	750
-	SPACE	-	-	23	24	-	-	SPACE	-
-	SPACE	-	-	25	26	-	-	SPACE	-
-	SPACE	-	-	27	28	-	-	SPACE	-
-	SPACE	-	-	29	30	-	-	SPACE	-
-	SPACE	-	-	31	32	-	-	SPACE	-
-	SPACE	-	-	33	34	-	-	SPACE	-
-	SPACE	-	-	35	36	-	-	SPACE	-
-	SPACE	-	-	37	38	-	-	SPACE	-
-	SPACE	-	-	39	40	-	-	SPACE	-
TYPE: GE MTG.: FLUSH MOUNTED									
200 AMP - (M.C.B.) VOLTS 120/240 V.1-, 3W									
WIRE: 3 - #10 THWN. CU. IN A 2" CONDUIT.									

EXISTING ELECTRICAL PANEL - R									
WATTS	DESCRIPTION	WIRE	BRK	CIR	CIR	BRK	WIRE	DESCRIPTION	WATTS
750	GEN. LIGHTING & RECEPTACLES	12	20	1	2	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	3	4	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	5	6	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	7	8	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	9	10	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	11	12	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	13	14	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	15	16	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	17	18	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	19	20	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	21	22	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	23	24	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	25	26	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	27	28	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	29	30	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	31	32	20	12	GEN. LIGHTING & RECEPTACLES	750
750	GEN. LIGHTING & RECEPTACLES	12	20	33	34	20	12	GEN. LIGHTING & RECEPTACLES	750
-	SPACE	-	-	35	36	-	-	SPACE	-
-	SPACE	-	-	37	38	-	-	SPACE	-
-	SPACE	-	-	39	40	-	-	SPACE	-
TYPE: GE MTG.: FLUSH MOUNTED									
200 AMP - (M.C.B.) VOLTS 120/240 V.1-, 3W									
WIRE: 3 - #10 THWN. CU. IN A 2" CONDUIT.									



#### SITE INVESTIGATION

EXAMINATION OF CONTRACT DOCUMENTS AND SITE OF WORK: THE BIDDER IS REQUIRED, BEFORE SUBMITTING HIS PROPOSAL, TO VISIT THE SITE OF THE PROPOSED WORK AND FAMILIARIZE HIM OR HERSELF WITH THE NATURE AND EXTENT OF THE WORK AND ANY LOCAL CONDITIONS THAT MAY IN ANY MANNER AFFECT THE WORK TO BE DONE AND EQUIPMENT, MATERIALS, AND LABOR REQUIRED THEREFORE. SINCE THE WORK INVOLVES EXISTING BUILDINGS, SYSTEMS AND FACILITIES, SPECIAL CONSIDERATION SHALL BE GIVEN TO EXAMINATION OF WORKING CONDITIONS, SLIGHT VARIATION OF ROUTING AND OR CONSTRUCTIONS SHOULD BE ANTICIPATED BY THIS CONTRACTOR TO AVOID CONFLICTS WITH OTHER TRADES. THESE VARIATIONS ARE EXPRESSLY INCLUDED AS PART OF THE WORK WHENEVER REQUIRED AT NO ADDITIONAL COST TO THE OWNER. FAILURE ON THE PART OF THE CONTRACTOR WILL IN NO WAY RELIEVE HIM OF THE OBLIGATIONS AND RESPONSIBILITY ASSUMED UNDER THIS CONTRACT.

**805.2.4 EXTERIOR LIGHTING CONTROLS.**  
LIGHTING FOR ALL EXTERIOR APPLICATIONS NOT EXEMPTED IN SECTION 805.1 SHALL HAVE AUTOMATIC CONTROLS CAPABLE OF TURNING OFF EXTERIOR LIGHTING WHEN SUFFICIENT DAYLIGHT IS AVAILABLE OR WHEN THE LIGHTING IS NOT REQUIRED DURING NIGHTTIME HOURS. LIGHTING NOT DESIGNATED FOR DUSK-TO-DAWN OPERATION SHALL BE CONTROLLED BY EITHER A COMBINATION OF A PHOTOSENSOR AND A TIME SWITCH, OR AN ASTRONOMICAL TIME SWITCH.

LIGHTING DESIGNATED FOR DUSK-TO-DAWN OPERATION SHALL BE CONTROLLED BY AN ASTRONOMICAL TIME SWITCH OR PHOTOSENSOR. ALL TIME SWITCHES SHALL BE CAPABLE OF RETAINING PROGRAMMING AND THE TIME SETTING DURING LOSS OF POWER FOR A PERIOD OF AT LEAST 10 HOURS.

**EXCEPTION:**  
LIGHTING FOR COVERED VEHICLE ENTRANCES OR EXITS FROM BUILDINGS OR PARKING STRUCTURES WHERE REQUIRED FOR SAFETY, SECURITY, OR EYE ADAPTATION.

#### ELECTRICAL LEGEND

RECESSED CEILING MOUNTED FIXTURE

#### ELECTRICAL NOTES

- ALL WORK SHALL COMPLY WITH N.E.C., AND ALL OTHER APPLICABLE CODES AND/OR AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
- THE ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL WIRES, CONDUITS, CONNECTORS, ETC. TO ACHIEVE A COMPLETE ELECTRICAL SYSTEM. WHERE ELECTRICAL EQUIPMENT, OUTLET, OR OTHER FEATURES ARE REQUIRED BY CODE, BUT NOT SHOWN ON THE PLANS, THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL SAME, AS REQUIRED BY CODE.
- ALL ELECTRICAL CONDUCTORS SHALL BE COPPER IN CONDUIT OR APPROVED EQUAL.
- THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, APPROVALS, AND INSPECTIONS.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROCURING TEMPORARY POWER DURING CONSTRUCTION ACCESSIBLE TO ALL TRADES.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO CLEARLY LABEL THE CIRCUITS AT THE PANEL WITH THEIR CORRESPONDING AREA CONTROLLED BY THAT CIRCUIT.
- THESE PLANS CONSTITUTE A COMPLETE SET OF PLANS, THEREFORE NO SECTION STANDS ON ITS OWN. THE ELECTRICAL CONTRACTOR SHALL COORDINATE THIS PLAN WITH ALL OTHER PLANS IN SET, AS WELL AS HIS ACTUAL WORK WITH ALL OTHER TRADES, TO MINIMIZE CONFLICTS AT THE JOB SITE.

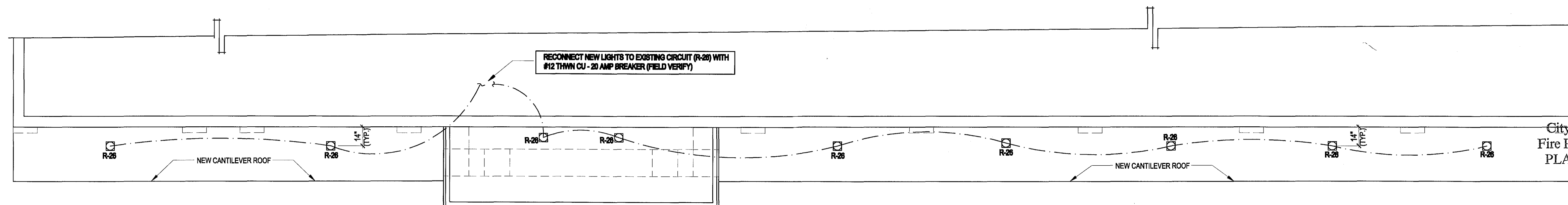
- ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE N.E.C., THE FLORIDA BUILDING CODE 2010 EDITION AND ALL LOCAL GOVERNING CODES.

- ALL ELECTRICAL LOADS ARE EXISTING TO REMAIN. AS IS UNLESS OTHERWISE NOTED.

- INSTALLATION OF ALL CEILING OUTLET BOXES SHALL BE ACCEPTABLE FOR FAN SUPPORT AS PER F.B.C. 2010.

- VERIFY EXIST. ELEC. ITEMS IN FIELD, AND PROVIDE NEW AS REQUIRED.

NOTE: EXISTING ELECTRICAL SERVICE IS SUFFICIENT FOR NEW ELECTRICAL LOADS.



Partial Electrical Plan  
SCALE: 1/4" = 1'-0"

FOR REFERENCE ONLY

ARCHITECTURAL OFFICE OF  
**DAVID & DAVID**

OFFICE LIC. No: AA0002322

940 LINCOLN ROAD, SUITE 306  
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305.538.4696

OPTION DRAWINGS FOR:  
**BLASBERG-RUBIN-ZILBERT  
MEMORIAL CHAPEL**  
730 71st STREET  
MIAMI BEACH, FL 33141

#### REVISIONS:

1 BLDG. DEPT. REV'S  
MAY 12, 2014

SEAL:

5-12-14

ROBERT G. DAVID, AIA  
ARCHITECT  
REG. NO.: AR 0006219

DRAWN

GM

CHECKED

RGD

DATE

04.01.14

SCALE

As Indicated

JOB NO.

SHEET

E-1

OF SHEETS

Ministerio Internacional El Rey Jesus,  
Inc.

730 71<sup>st</sup> Street, Miami Beach Florida

Planning Board: Conditional Use Permit

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\*

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## OVERVIEW

The Church provides a divine place to carry out God's vision. The Apostles, Pastors, and Prophets help believers to carry out God's vision in numerous stages.

The vision is the revelation of God's dream and the promise of what we will someday become. This can only be experienced by faith.

The Church confirms and strengthens the decision made by the new believers to develop the basic foundation of their new life in Christ.

The goal of the Church is the continual and constant growth of the individual.

The Church is dedicated exclusively to charitable, religious, educational, and literary purposes. The Church's primary purpose is to reach people with the Christian Gospel message and to disciple Christian believers by and through as many methods and means as possible (including by conduct of public worship, educational activities, creation, sale, and distribution of Christian media, and other related activities), so as to maximize the number of people who may be reached and disciplined for the glory of God. The Church also has the purpose of serving the needs of the needy, the sick and all, conducting other activities in keeping with the mission.

## **HOURS OF OPERATIONS | ACCESS**

### **OPERATING HOURS**

Weekly | 8:00 AM - 11:00 PM Closing

### **SERVICES**

Services vary depending on the time of year<sup>1</sup>. However, most services occur on Saturdays and Sundays before 9:00 PM.

### **ACCESS**

Pedestrian access can be achieved through 71<sup>st</sup> Street. Vehicular drop-off of congregants can be achieved along the south side of the Property, which contains a private alley and carport.

---

<sup>1</sup> The types of services depend on the religious holiday, for example Easter Sunday morning Mass versus Christmas Eve Mass. Generally, the space will operate as a church, that provides weekly mass, and spiritual guidance to its congregates. The space will not be operated as a hall for hire.



## OCCUPANCY AND STAFFING LEVELS

The final occupant load is to be determined by the City of Miami Beach's Fire Department. However, the Applicant estimates that the total occupant load will be consistent with what previously existed at the site for the funeral home and chapel.

While each service is unique and mandate its own procedures, services will not exceed occupant load.

Similarly, staffing levels will be dependent upon both the occupant load assigned by the City's Fire Department and the service event needs. However, in light of the limited occupancy and seat count, is projected that there will be a minimum of three staff members with volunteers from the Church at each service. The staff and congregation volunteers will provide assistance with the service.

Service set-up times will vary depending on the date and time of the service. However, set-up and clean-up are expected to range in time between 1-2 hours. The hours of operation are listed as 8:00 AM – 11:00 PM, daily<sup>2</sup>. This allows for staff and volunteers to set-up and clean up after services. Generally, the last service takes place at 9:00 PM, allowing the extra hours for clean-up.

---

<sup>2</sup> The hours of operation will depend on the religious activity proposed for the day, i.e. religious discussion versus Christmas Eve Mass, Sunday morning Easter Mass, or a mass in remembrance of lost loved ones. All activities at the church are consistent with mass and services provided at most churches throughout the world. Members of the church are available daily to provide spiritual guidance. Formal religious services, as more commonly associated with a church, are generally held on Saturdays and Sundays between 8:00 AM and 9:00 PM. Services may range in time from one to three hours depending on the theme for the service.

## **SOUND**

The facility houses a basic receiver and speaker, with microphone. It is anticipated that the existing sound system should suffice. In no case will there be any exterior speakers at the Church. In addition, from time to time, during services musical instruments may be played to accompany the Church's choir. Nevertheless, all services at the facility are required to and will comply with the City's noise ordinance.



## **PARKING**

There does not exist any parking at the property. However, there are three (3) public parking lots within one (1) City block, or less and there are an additional five (5) public parking lots within walking distance of the Church.

The utilization trends for the parking lots were calculated before 6:00 PM daily, as the meters are not operational past those times. Based upon a six-month<sup>3</sup> utilization trend the three (3) parking lots located within one City block or less of the Church, reflect a utilization between 8% and 18%.<sup>4</sup> The remaining parking, within walking distance from the Church, reflect similar utilization trends.

Elderly congregates, or congregates needing assistance can use the rear car-port for drop-off. After dropping off the congregate, the driver of the vehicle will then be directed to one of the area parking lots. Volunteer ushers will guide congregates to area parking lots, whenever necessary.

---

<sup>3</sup> The data received provided analyses of parking lot use from July through December, which includes peak months in the City, refer to Exhibit A, attached hereto.

<sup>4</sup> Parking Lot number 85 located at 6977 Carlyle, within one (1) City block of the Church reflects reflect increased on Sundays of 34%.

## **DELIVERIES**

The following procedures will be implemented to ensure minimal impact on local residents and businesses by deliveries.

In light of the Church use, deliveries at the Property will be minimal. Nevertheless, deliveries will be coordinated at times when the Church is not in use by members and not after 5:00 PM. Deliveries will occur between 8:00 AM and 5:00 PM, as minimally necessary.

Moreover, all deliveries will be accessed through the southern entrance. The Church's southern entrance is surrounded by a private alley. This alley provides sufficient space for delivery vehicles to temporarily park while servicing the Church. This will allow delivery vehicles to depart public roadways and thereby not have an impact on local traffic.

Due to the function of the property, delivery vehicles may range in size from commuter cars to box trucks.



### **COLLECTIONS**

All waste will be transported, through the Church interior to the existing dumpsters on the southeast side of the Property. The Applicant will work with one of the City approved waste collection companies for refuse collections. Collections will occur between 8:00 AM and 5:00 M, along the south side of the property, on an as needed basis.

# EXHIBIT A

Surface Lot P80 - 30 Spaces  
410 71st St  
Parking Transient Revenue Utilization Hours

Period	Sun	Mon	Tues	Wed	Thur	Fri	Sat	Total
Jul	228	126	109	119	183	129	217	1,111
Aug	176	60	79	67	115	59	152	709
Sep	261	124	91	76	67	107	205	930
Oct	370	119	95	144	136	106	196	1,166
Nov	307	134	146	136	132	190	221	1,266
Dec	333	169	145	149	147	133	137	1,213
Total	1,675	732	666	690	781	724	1,127	6,395
%	26%	11%	10%	11%	12%	11%	18%	100%



Surface Lot P83 - 29 Spaces  
6933 Harding Ave  
Parking Transient Revenue Utilization Hours

Period	Sun	Mon	Tues	Wed	Thur	Fri	Sat	Total
Jul	643	376	287	325	403	514	620	3,167
Aug	464	404	371	359	435	508	518	3,058
Sep	581	317	216	245	236	335	503	2,434
Oct	509	211	315	265	338	304	428	2,370
Nov	494	330	300	280	230	447	555	2,637
Dec	407	287	393	287	283	288	311	2,256
Total	3,098	1,924	1,882	1,762	1,925	2,396	2,935	15,922
%	19%	12%	12%	11%	12%	15%	18%	100%

Surface Lot P84 - 53 Spaces  
6964 Harding Ave  
Parking Transient Revenue Utilization Hours

Period	Sun	Mon	Tues	Wed	Thur	Fri	Sat	Total
Jul	554	491	514	502	683	424	663	3,832
Aug	418	282	370	359	484	532	427	2,872
Sep	398	319	308	319	279	374	478	2,476
Oct	420	295	354	322	470	392	454	2,708
Nov	355	258	353	332	314	613	677	2,902
Dec	328	484	494	398	372	505	396	2,977
Total	2,474	2,128	2,393	2,233	2,601	2,841	3,096	17,766
%	14%	12%	13%	13%	15%	16%	17%	100%



Surface Lot P85 - 14 Spaces  
6977 Carlyle Ave.  
Parking Transient Revenue Utilization Hours

Period	Sun	Mon	Tues	Wed	Thur	Fri	Sat	Total
Jul	119	42	59	79	61	16	73	448
Aug	96	3	7	13	20	47	64	249
Sep	150	15	53	25	54	31	56	385
Oct	163	24	20	34	30	57	88	416
Nov	156	37	36	37	55	65	84	468
Dec	213	86	85	45	57	65	108	659
Total	896	207	262	233	275	281	473	2,626
%	34%	8%	10%	9%	10%	11%	18%	100%

Surface Lot P86 - 36 Spaces  
7011 Indian Creek Dr.  
Parking Transient Revenue Utilization Hours

Period	Sun	Mon	Tues	Wed	Thur	Fri	Sat	Total
Jul	187	501	461	392	274	368	311	2,494
Aug	168	296	309	321	340	406	281	2,121
Sep	467	341	208	338	301	322	335	2,310
Oct	411	360	506	460	421	408	245	2,812
Nov	350	334	357	302	212	453	279	2,288
Dec	384	457	373	251	329	324	243	2,360
Total	1,967	2,290	2,214	2,065	1,878	2,280	1,693	14,386
%	14%	16%	15%	14%	13%	16%	12%	100%



Surface Lot P87 - 34 Spaces  
6950 Bay Dr  
Parking Transient Revenue Utilization Hours

Period	Sun	Mon	Tues	Wed	Thur	Fri	Sat	Total
Jul	126	152	165	169	124	138	272	1,145
Aug	105	130	139	123	266	168	250	1,180
Sep	259	110	134	140	204	205	287	1,340
Oct	276	135	176	241	306	216	238	1,587
Nov	166	214	242	244	193	237	371	1,666
Dec	251	336	248	248	341	324	294	2,042
Total	1,183	1,075	1,104	1,165	1,434	1,287	1,712	8,960
%	13%	12%	12%	13%	16%	14%	19%	100%

Surface Lot P89 - 25 Spaces  
917 Normandy Dr.  
Parking Transient Revenue Utilization Hours

Period	Sun	Mon	Tues	Wed	Thur	Fri	Sat	Total
Jul	105	58	66	66	53	76	118	543
Aug	70	38	51	57	118	93	135	560
Sep	93	48	30	35	52	54	97	409
Oct	141	34	59	85	77	54	109	559
Nov	111	52	39	68	60	91	150	571
Dec	128	94	63	62	48	102	136	634
Total	649	323	307	373	409	470	746	3,277
%	20%	10%	9%	11%	12%	14%	23%	100%

Surface Lot P90 - 16 Spaces  
7061 Bonita Dr  
Parking Transient Revenue Utilization Hours

Period	Sun	Mon	Tues	Wed	Thur	Fri	Sat	Total
Jul	95	89	82	90	81	100	110	646
Aug	63	69	85	92	89	87	80	564
Sep	147	78	58	100	64	80	80	607
Oct	114	76	79	84	115	117	99	683
Nov	102	80	80	91	65	114	112	643
Dec	102	114	113	84	69	96	92	669
Total	622	505	496	541	482	593	573	3,812
%	16%	13%	13%	14%	13%	16%	15%	100%



# PLAN CORRECTIONS REPORT (PB20-0351)

**PLAN ADDRESS:** 730 71 St  
Miami Beach, FL 33141

**PARCEL:** 0232110021260

**APPLICATION DATE:** 02/28/2020

**SQUARE FEET:** 1

**DESCRIPTION:** CUP for religious institution

**EXPIRATION DATE:**

**VALUATION:** \$1.00

CONTACTS	Name	Company	Address
Applicant	MONIKA ENTIN		200 S. Biscayne Blvd. Suite 850 Miami, FL 33131

## Plan Review

**Version:** 1

**Date Received:** 03/03/2020

**Date Completed:**

### 1. Planning Department Review - Fail

Alejandro Garavito Ph: [email: agaravito@miamibeachfl.gov](mailto:agaravito@miamibeachfl.gov)

Comments: Staff First Submittal Review Comments:

Comments Issued: March 13, 2020 | AG

Tentative PB Meeting Date: 05/19/20

- LOI: Respond to religious institution review criteria as outlined in Section 118-192 of the City Code. [Refer to the revised LOI.](#)
- LOI: clarify any changes to the interior layout, provide previous and proposed occupancy (per areas and total) and seat count information. [The Building Department Records desk was not able to locate a prior CO for the site.](#)
- Survey: missing. provide updated signed and sealed survey per check list item 10 and 11B. [Refer to the updated Survey.](#)
- Zoning Data use City of Miami beach Zoning Data and provide this larger on a separate page – Check list item 11c. [Refer to of the updated plans.](#)
- Plans must be set up on 11"X 17" format not 24"x36" (Check list item 12), make sure all text, dimensions are legible. [Refer to page the updated plans.](#)
- Context location map, incomplete. Checklist item 11d - Min 8.5"X11" Color Aerial 1/2-mile radius, identifying project and showing name of streets. (no Google images), provide this on a separate page. [Refer to of the updated plans.](#)
- Permit drawings : label them with big and bold letters as reference only. [Refer to the updated plans.](#)
- Color photographs: the photographs are confusing, provide less images, each image should be bigger in size and should capture a bigger area rather than piece by piece areas. (see checklist 11i , j and k), provide maximum 6 per page, provide a smaller key plan on each page to reference the location and direction of each image. [Refer to of the updated plans.](#)
- Provide building card. [Provided as part of this submission.](#)
- Elevation: provide line elevations. [Refer to the updated plans.](#)
- Are there any bicycle racks? [No.](#)
- Site plan - Floor plan Check list item 42 a-j and 43 a-c: occupancy calculations are missing, please provide this, occupancy load is different than the number of seats. [Refer to of the updated plans.](#)
- Provide previously approved occupancy load per space and number of seats. [No records found in the Building Department.](#)
- Operational plan: provide number and length of services and confirm if this is daily or weekly. [Refer to the revised Operations Plan.](#)
- Operational plan: please explain further why each service is unique. Describe all type of services proposed. Is this really a hall for hire? [Refer to the Updated Operation Plan. This is NOT a Hall for Hire, it is a church.](#)
- Plans: Provide location of trash room/ trash location. [Refer to of the updated plans](#)
- Where is the mechanical equipment of this building? If is in the roof, please provide a roof plan with the location of the mechanical equipment. [Refer to of the updated plans.](#)
- Provide a narrative response. [Contained herein.](#)

These comments have been provided as a preliminary review of outstanding issues and are subject to additions and/or deletions pending further review before the meeting date and during building permit review. These comments do not constitute final zoning comments or final zoning approval of the project.

Please provide the above information for Final submittal (CSS and Paper) by March 23, 2020 before 12:00 pm. Provide a narrative and label electronic files as: 'MM-DD-YYYY Document Name'.

The official application is what is submitted in CSS and is the responsibility of the applicant to upload accurate information and the electronic files coordinates with the paper submittal.

Paper submittal: submit original set (original application, letter of intent, survey, plans, color photographs and any other applicable items); 14 copies (collated sets) and the CD with the proper format (please see attached), attention to: Victor Nunez.

Please do not provide the checklist, comments, or comment replies, or copy the mailing labels for the 14 paper copies but provide a separate response sheet with the originals and in the CSS at final submittal.

Staff will review this Final submission and issue a notice to proceed on March 31, 2020. The final fees will be due by April 02, 2020.

These comments have been provided as a preliminary review of the documents and plans submitted and are subject to additions and/or deletions pending further review.

### 2. Planning Admin Review - Under Review

Victor Nunez Ph: [email: VictorNunez@miamibeachfl.gov](mailto:VictorNunez@miamibeachfl.gov)

March 13, 2020

Page 1 of 1

Comments: FINAL SUBMITTAL: PB20-0347

Comments Issued: March 13, 2020

The following fees are outstanding (tentative) and will be invoiced by March 31st.

- Advertisement - \$1,544
- Board Order Recording - \$103
- Posting - \$103
- Courier - \$77
- Mail Label Fee (\$4 per mailing label) \$ 900

Total Outstanding Balance = \$ 2,727

NOTE: All fees MUST BE PAID by April 2nd or the application will not move forward. In addition to the fees, the following shall be provided to the Department no later than March 23rd 12:00pm Final Paper submittal deadline:

- One (1) original application (Proper signed and notarized affidavits and Disclosures must be provided).
- One (1) original Letter of Intent.
- One (1) original set of architectural plans signed, sealed and dated.
- One (1) original signed, sealed and dated Survey.
- Any additional information/documents provided