
SCOPE OF WORK

The project is a non-structurally connected lateral addition to Lehrman Community Day School (an existing Early Childhood – 5th Grade Elementary Private School) located in the North Shore Historic District.

The program consists of approx. 29,000 sf new construction focused on improving amenities such as a new cafeteria, kitchen, STEAM educational program spaces (Art, Music, Science, Media, Technology) and a Indoor Gymnasium.

Site improvements include a new carpool lane and covered walkway located within the school property and a reconfigured surface parking lot that accommodates 29 cars. A new dedicated loading area for back of house operations and deliveries. A new 8' high perimeter property fence and new/ reconfigured outdoor playground and landscape areas.

Student enrollment will remain at current maximum capacity.

May 11, 2020

**Design Review Board
DRB20-0529
Final Submittal**



LEHRMAN COMMUNITY DAY SCHOOL
7710 Dickens Ave. Miami Beach, Florida 33141

NC-office
architecture / urbanism

T 305.377.0082
E info@nc-office.com

111 EAST FLAGLER ST. #205
Miami FL 33131

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Lehrman Community Day School

DRB20-0529

Narrative Response to May 1, 2020 Comments

DEFICIENCIES IN ARCHITECTURAL PRESENTATION

a. Mechanical equipment on rooftop must be screened

Screens will be provided.

ZONING COMMENTS

a. Where is parking lot lightings? Height of poles?

See Civil and Landscape Drawings.

Zoning/variances?

No variances needed with approval and adoption of North Beach Private and Public Schools Overlay District.

b. Missing letter of intent.

Provided

c. Lot area shall be noted in survey. See revised survey Lot Area 64,066 sf.

Grade elevation is not clear in survey. One of the two values indicated on Dickens Ave is not clear. Based on elevations indicated in survey grade is not 4.0' NGVD. Dickens elevation varies between 3.5'-3.8' NGVD.

Revise survey and zoning information. Revised Survey Provided and Revised Sheet 0.2

d. The project requires a waiver from the maximum lot coverage allowed. Parking does not count as pervious for lot coverage calculation regardless of finish surface. Revise lot coverage calculation to indicate maximum 45% lot coverage allowed and proposed.

Sec. 142-870.15. - Development regulations and area requirements.

The following overlay regulations shall apply to the North Beach National Register Overlay. All development regulations in the underlying RM-1 regulations shall apply, except as follows:

(d) Exterior building and lot standards.

(2) There shall be no minimum or maximum yard elevation requirements, or maximum lot coverage requirements within the North Beach National Register Overlay.

In addition Future Overlay North Beach Private and Public Schools Overlay District

(c) Exterior building and lot standards.

(1) There shall be no minimum or maximum yard elevation requirements or maximum lot coverage requirements within the North Beach Private and Public School District Overlay.

e. Provide elevations in NGVD on fence sections.

See sheet 1.12 and 1.13. Per public works future sidewalk elevation is 5.26' NGVD.

Fence max elevation is 13.26' NGVD.

f. The building height for existing buildings is measured from the first finish floor elevation to the top of the highest roof. Existing Building Height measured from FF to Roof is 41'6".

g. In order to measure the new building height from BFE+5, the interior of the first floor shall be 12' as measured from the elevation of the adjacent ROW. Indicate building elevations, as noted.

New Building Height measured from FF to Roof is 60'-0".

h. The minimum width for a loading space shall be 10'-0".

Loading Space provided is 10'-0" wide. See sheet 1.9 (Site Parking and Operational Diagram).

i. Elevation of ramp and deck in the front yard facing Dickens Ave are not allowed to exceed 25% of the required yard and are not allowed to exceed maximum elevation for projections in section 142-1132(o)

The front yard facing Dickens has two Walkway areas encroaching 5' both intended for means of egress and ADA accessibility.

See Sheet 0.9 (Setback Diagram). The front yard separation between the building facade and the property wall becomes a secure way to funnel emergency exit paths that allow the children to go outside without immediately running out to the street.

142-1132(o) (11) Walkways: Maximum 44 inches. May be increased to a maximum of five feet for those portions of walkways necessary to provide Americans with Disabilities Act (ADA) required turn around areas and spaces associated with doors and gates. Walkways in required yards may exceed these restrictions when approved through the design review or certificate of appropriateness procedures, as applicable, and pursuant to chapter 118, article VI, of the city Code.

j. Elevation of deck in the street yard facing 77th Street is not allowed to exceed 25% of the required yard and is not allowed to exceed maximum elevation for projections in section 142-1132(o). Any portion exceeding maximum 44" for a walkway is considered a deck.

77th Street Deck is existing no new work is being done to this deck.

k. The existing building has a non-conforming side setback. In order to retain the non-conforming setback, the improvements on the property cannot exceed 50%. If the improvements are determined higher than 50%, as determined by the building official, the building shall comply with required side setback of 12'-0", unless is determined architecturally significant by the Planning Director or designee. See section 118-395(b)(2)c. and e.

The existing school building will not have improvements exceeding 50%. The new school building is a lateral non structurally connected addition independent of the existing school.

l. If existing building is determined architecturally significant, it shall comply with the resiliency and sustainability criteria on chapter 133. N/A

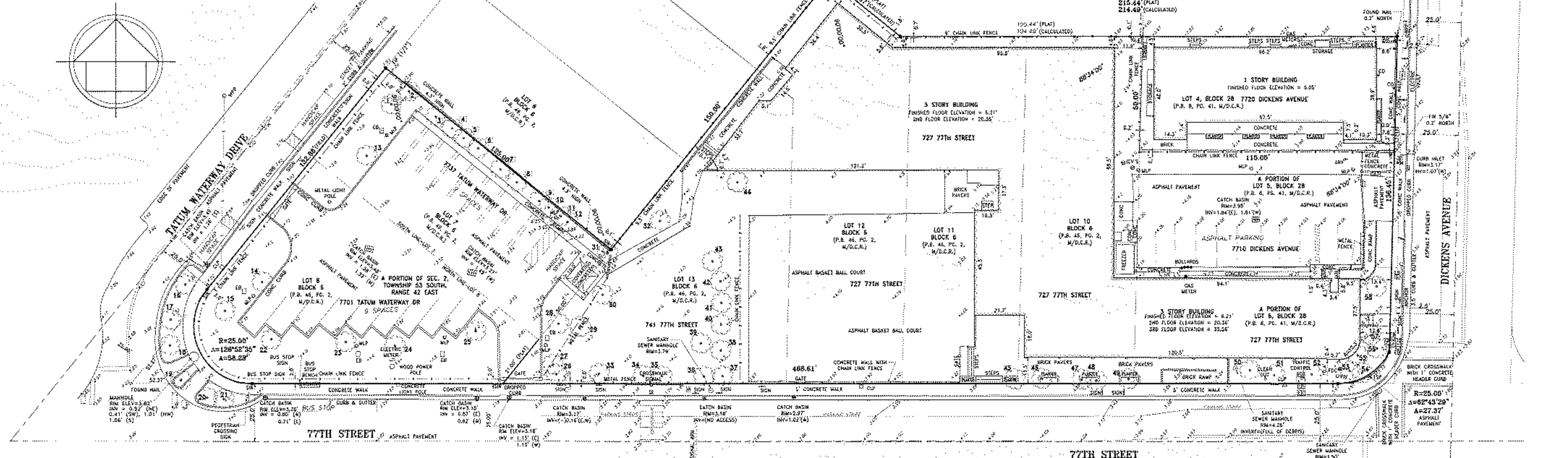
m. Any existing fence to be retained shall comply with the maximum height allowed.

Any existing fence will comply with 13.26' NGVD (max allowed height)

DESIGN COMMENTS

- a. Staff has concerns re/ 8' HIGH AND 6' HIGH BLANK stone wall along property line at Dickens Avenue
The proposed stone-cladd wall along Dickens Avenue, provides a secure frontage to the cafeteria program immediately behind the wall. Due to the security of the wall the main building facade may have lower windows providing light into the cafeteria space. The front yard separation between the building facade and the property wall becomes a secure way to funnel emergency exit paths that allow the children to go outside without immediately running out to the street. Aesthetically the coralina stone clad wall provides a natural texture at the sidewalk pedestrian scale. In addition the design has been slightly modified to provide a landscape hedge in front of a portion of the wall.
- b. How does the proposal address the Urban Heat Island Ordinance re/ repurposed parking area and drive carpool lane.
Review Landscape Narrative.
- c. Explore green roof for new addition, herbs, plantings, butterflies etc, as a educational learning opportunity.
Although this is a wonderful idea, having elementary school children on a roof garden may cause safety issues. In addition this would be a very expensive design feature requiring increased structural loads, water drainage etc. The school promotes native landscapes on the campus. However, because these are young children, small gardens that have been attempted in the past become a maintenance issue.
- d. Explore incorporating artistic mural on blank vertical element of new addition along Dickens Avenue (preferred treatment of façade from 03/12/20 meeting with staff)
Murals are not allowed by code.
- e. Explore modifying façade of existing building along Dickens Avenue
The school has significantly landscaped the corner along Dickens Ave, within the last year, as a way to visually improve the intersection. The intent of the project is an independent addition with minimal impact to the existing school.

SKETCH OF SURVEY



FLOOD ZONE INFORMATION

COMMUNITY NUMBER	120651
PANEL NUMBER	0307L
ZONE	AE
BASE FLOOD ELEVATION	6
EFFECTIVE DATE	09/11/09

LEGEND:

CKD	CHECKED BY
CONC	CONCRETE
DWN	DRAWN BY
FB/PG	FIELD BOOK AND PAGE
SIR	SET 5/8" IRON ROD & CAP #6448
SNC	SET NAIL & CAP #6448
FIR	FOUND IRON ROD
FIP	FOUND IRON PIPE
FNC	FOUND NAIL & CAP
FND	FOUND NAIL & DISK
P.B.	PLAT BOOK
M/D.C.R.	MIAMI/DADE COUNTY RECORDS
FPL	FLORIDA POWER & LIGHT
-X-	CHAIN LINK FENCE
-E-	OVERHEAD UTILITY LINES
WN	WATER METER
WV	WATER VALVE
EB	ELECTRIC BOX
WPP	WOOD POWER POLE
MLP	METAL LIGHT POLE
CLP	CONCRETE LIGHT POLE
0.00	ELEVATIONS
R	RADIUS
A	DELTA ANGLE
A	ARC DISTANCE
TSP	TRAFFIC SIGNAL POLE
TB	TRAFFIC BOX
PIV	POST INDICATOR VALVE
CO	CLEAN OUT
SIGN	SIGN

TREE NO. ON SURVEY	SPECIES	DIA. AT BREAST HEIGHT INCHES	HGT. AT BREAST HEIGHT FEET	NOISES/FEET OF TRUNK
1	MAHOGANY	14	7	1
2	FIGUS	8	7	1
3	FIGUS	12	7	1
4	UNKNOWN	5	7	1
5	FIGUS	5	7	1
6	FIGUS	5	7	1
7	FIGUS	5	7	1
8	FIGUS	12	7	1
9	FIGUS	12	7	1
10	FIGUS	5	7	1
11	FIGUS	5	7	1
12	FIGUS	10	7	1
13	PALM	14	7	1
14	MAHOGANY	5	7	1
15	GUINAO LIMBO	18	7	1
16	DAK	12	7	1
17	DAK	12	7	1
18	PALM	13	7	1
19	PALM	13	7	1
20	PALM	14	7	1
21	PALM	13	7	1
22	UNKNOWN	10	7	1
23	UNKNOWN	10	7	1
24	GUINAO LIMBO	18	7	1
25	HOTTLE BRUSH	18	7	1
26	PALM	5	7	1
27	PALM	5	7	1
28	PALM	12	7	1
29	PALM	8	7	1
30	PALM	8	7	1
31	FIGUS	24	7	1
32	UNKNOWN	6	7	1
33	PALM	6	7	1
34	PALM	6	7	1
35	PALM	6	7	1
36	PALM	6	7	1
37	PALM	6	7	1
38	PALM	5	7	1
39	DAK	10	7	1
40	PALM	6	7	2
41	PALM	6	7	2
42	PALM	6	7	2
43	DAK	8	7	1
44	DAK	8	7	1
45	PALM	4	7	1
46	PALM	4	7	1
47	PALM	6	7	1
48	PALM	6	7	1
49	PALM	6	7	1
50	PALM	6	7	2
51	PALM	8	7	1
52	PALM	8	7	1
53	PALM	8	7	1
54	PALM	8	7	1
55	PALM	14	7	1
56	PALM	7	7	1
57	PALM	7	7	1
58	PALM	7	7	1

LOT CALCULATION (AREAS SHOWN HERE PROVIDED BY OTHERS)

PROPERTY	ADDRESS	SF
1	7701 TATUM WATERWAY DRIVE	8,747
2	7737 TATUM WATERWAY DRIVE	6,250
3	741 77TH STREET	9,287
4	727 77TH STREET	28,786
5	7710 DICKENS AVENUE	5,498
6	7720 DICKENS AVENUE	5,488
TOTAL AREA		64,066

LAND DESCRIPTION:
 LOTS 7, 8, 10, 11, 12 AND 13, BLOCK 6, "TATUM WATERWAY SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 46, PAGE 2, OF THE PUBLIC RECORDS OF MIAMI/DADE COUNTY, FLORIDA;

TOGETHER WITH:
 LOTS 5 AND 6, BLOCK 28, LESS THE EAST 2.5 FEET THEREOF, "ALTOS DEL MAR NO. 3", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 41, OF THE PUBLIC RECORDS OF MIAMI/DADE COUNTY, FLORIDA.

TOGETHER WITH:
 LOT 4, BLOCK 28, LESS THE EAST 2.5 FEET THEREOF, "ALTOS DEL MAR NO. 3", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 41, OF THE PUBLIC RECORDS OF MIAMI/DADE COUNTY, FLORIDA.

- NOTES:**
- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
 - THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
 - THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
 - UNDERGROUND IMPROVEMENTS NOT SHOWN.
 - ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29).
 - BENCHMARK DESCRIPTION: MIAMI/DADE COUNTY BENCHMARK #0-180 ELEVATION = 3.51' (NGVD29)

I HEREBY CERTIFY THAT THE "SKETCH OF SURVEY" OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION IN APRIL, 2020. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE STANDARD OF PRACTICE FOR SURVEYING IN THE STATE OF FLORIDA ACCORDING TO CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE. PURSUANT TO SECTION 472.027, FLORIDA STATUTES, THERE ARE NO ABOVE GROUND ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

FOR THE FIRM, BY: _____
 RICHARD E. COUSINS
 PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA REGISTRATION NO. 4188
 SURVEY DATE : 04/14/20

COUSINS SURVEYORS & ASSOCIATES, INC.
 3921 SW 47TH AVENUE, SUITE 1011
 DAVIE, FLORIDA 33314
 CERTIFICATE OF AUTHORIZATION : LB # 6448
 PHONE (954) 689-7766 FAX (954) 689-7799
 EMAIL: OFFICE@CSASURVEY.NET

CLIENT :
LEHRMAN COMMUNITY DAY SCHOOL INC.

727 77TH STREET
 MIAMI BEACH, FLORIDA 33141

REVISIONS

REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY AND IMPROVEMENTS SURVEY	02/27/14			REC
ADDITIONAL ELEVATIONS ON SITE AND ADDED LOT 4, BLOCK 28	12/16/14			REC
COMMENTS ADDRESSSED	01/16/20			REC
ADDED TREES	04/14/20			REC
ADDED AREA TABLE	05/06/20			REC

REVISIONS

REVISIONS	DATE	FB/PG	DWN	CKD

PROJECT NUMBER: 9080-19
 SCALE : 1" = 20'

SHEET
 1
 OF
 1
 SHEET

LEHRMAN COMMUNITY DAY SCHOOL
 127 Lehrman Drive / 77th Street | Miami Beach, Florida 33141

SURVEY

0.1

5-11-20

111 EAST FLAGLER ST #205
 MIAMI, FL 33131
 T 305.377.0082
 E info@nc-office.com

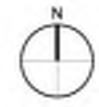
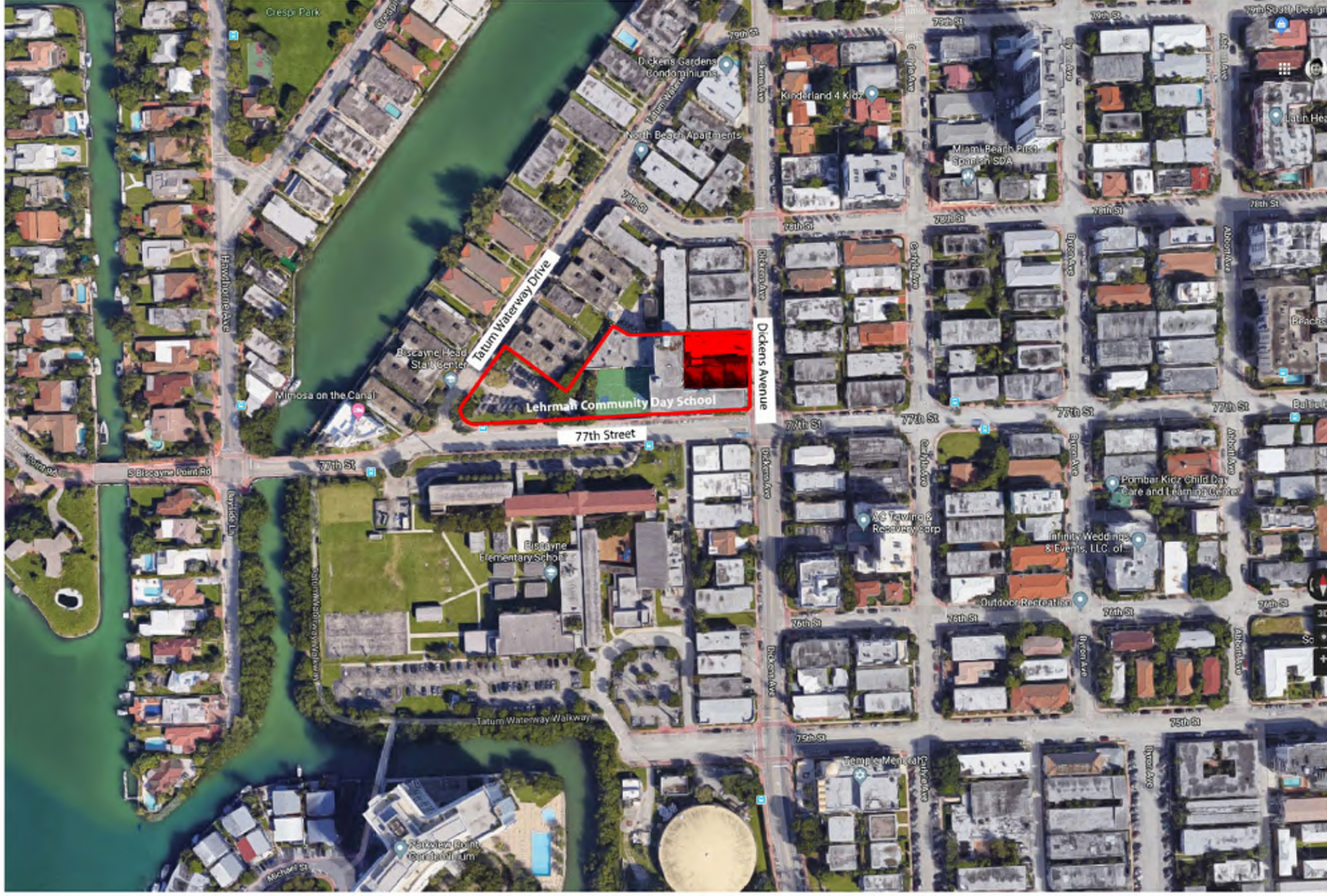
NC-office
 ARCHITECTS & ENGINEERS

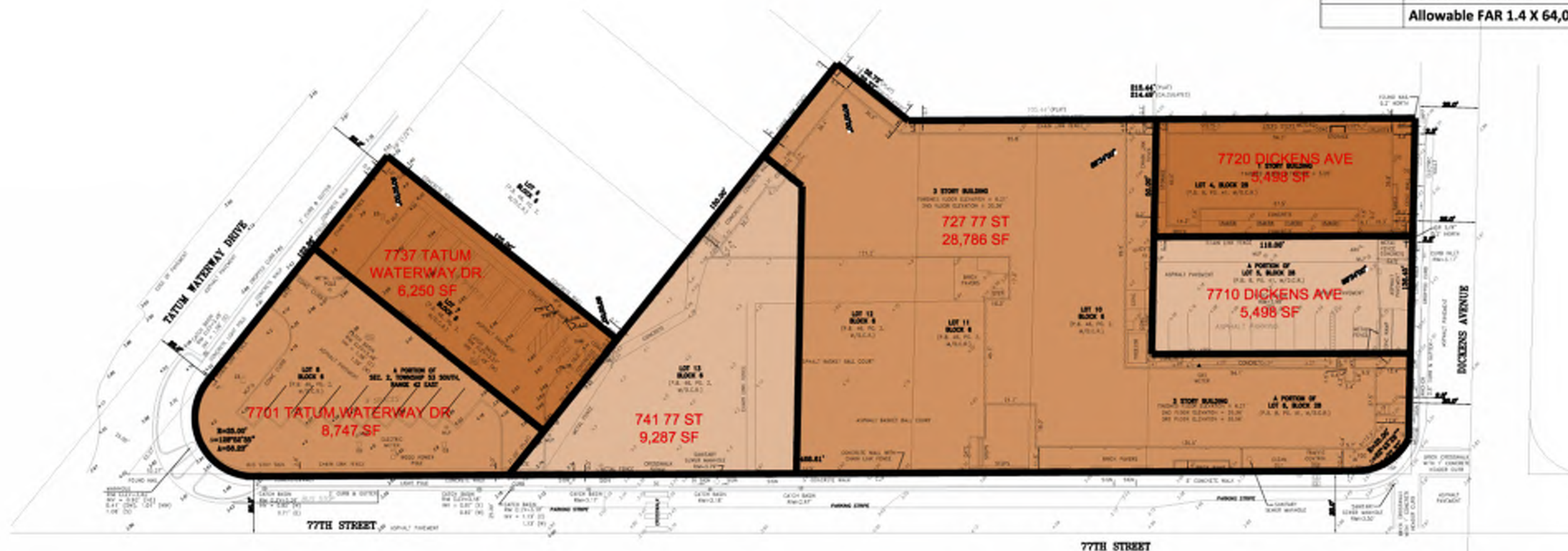
MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address:	727 77th Street, 7710 Dickens Ave			
2	Board and file numbers :	DRB20-0529, PB20-0362			
3	Folio number(s):	02-3202-007-2360,02-3202-007-2350,02-3202-002-0640,02-3202-002-0670,02-3202-002-0610,02-3202-002-0620			
4	Year constructed:	59/85/1988	Zoning District:	RM-1 - North Shore Historic District	
5	Based Flood Elevation:	8' NGVD	Grade value in NGVD:	3.5' - 3.8' NGVD	
6	Adjusted grade (Flood+Grade/2):		Lot Area:	64,006	
7	Lot width:	150'	Lot Depth:	518'	
8	Minimum Unit Size	N/A	Average Unit Size	N/A	
9	Existing use:	School	Proposed use:	School	
		Maximum	Existing	Proposed	Deficiencies
10	Height		45'	60'	*Code Amended
11	Number of Stories		3	4	
12	FAR	89,692	38,344	67,064 TOTAL	
13	Gross square footage		38,344	67,187 TOTAL	
14	Square Footage by use	N/A			
15	Number of units Residential	N/A			
16	Number of units Hotel	N/A			
17	Number of seats	N/A			
18	Occupancy load	N/A			
	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	N/A			
20	Side Setback:	N/A			
21	Side Setback:	N/A			
22	Side Setback facing street:	N/A			
23	Rear Setback:	N/A			
	At Grade Parking:				
24	Front Setback:	N/A			
25	Side Setback:	N/A			
26	Side Setback: North			5'	*Code Amended
27	Side Setback facing street:STH & WST			7'	*Code Amended
28	Rear Setback:	N/A			
	Pedestal:				
29	Front Setback:	10'	12'-8" TO REMAIN	10' ON ADDITION	
30	Side Setback: North	12'	5' TO REMAIN	15' ON ADDITION	
31	Side Setback:				
32	Side Setback facing street: South		10'-5" TO REMAIN		
33	Rear Setback:		5' TO REMAIN		
	Tower:				
34	Front Setback:		12' TO REMAIN	20' ON ADDITION	*Code Amended
35	Side Setback: North	12'		15' ON ADDITION	
36	Side Setback:			N/A	
37	Side Setback facing street: South		10'-5" TO REMAIN		
38	Rear Setback:		5' TO REMAIN		

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district				
40	Total # of parking spaces		29	29	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)			N/A	
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)			N/A	
43	Parking Space Dimensions		8.5' X 18'	8.5' X 18'	
44	Parking Space configuration (45o,60o,90o,Parallel)			29- 90o	
45	ADA Spaces			2	
46	Tandem Spaces				
47	Drive aisle width			22'	
48	Valet drop off and pick up			NO	
49	Loading zones and Trash collection areas			YES	
50	Bicycle parking, location and Number of racks			1	
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use			N/A	
52	Total # of seats			N/A	
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)			N/A	
54	Total occupant content			N/A	
55	Occupant content per venue (Provide a separate chart for a breakdown calculation)			N/A	
56	Is this a contributing building?			No	
57	Located within a Local Historic District?			No	
	Notes:				
	If not applicable write N/A				

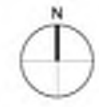
*CODE AMENDED - PENDING ADOPTION MODIFICATIONS TO ZONING REGULATIONS ON NORTH BEACH PRIVATE AND PUBLIC SCHOOLS OVERLAY DISTRICT.

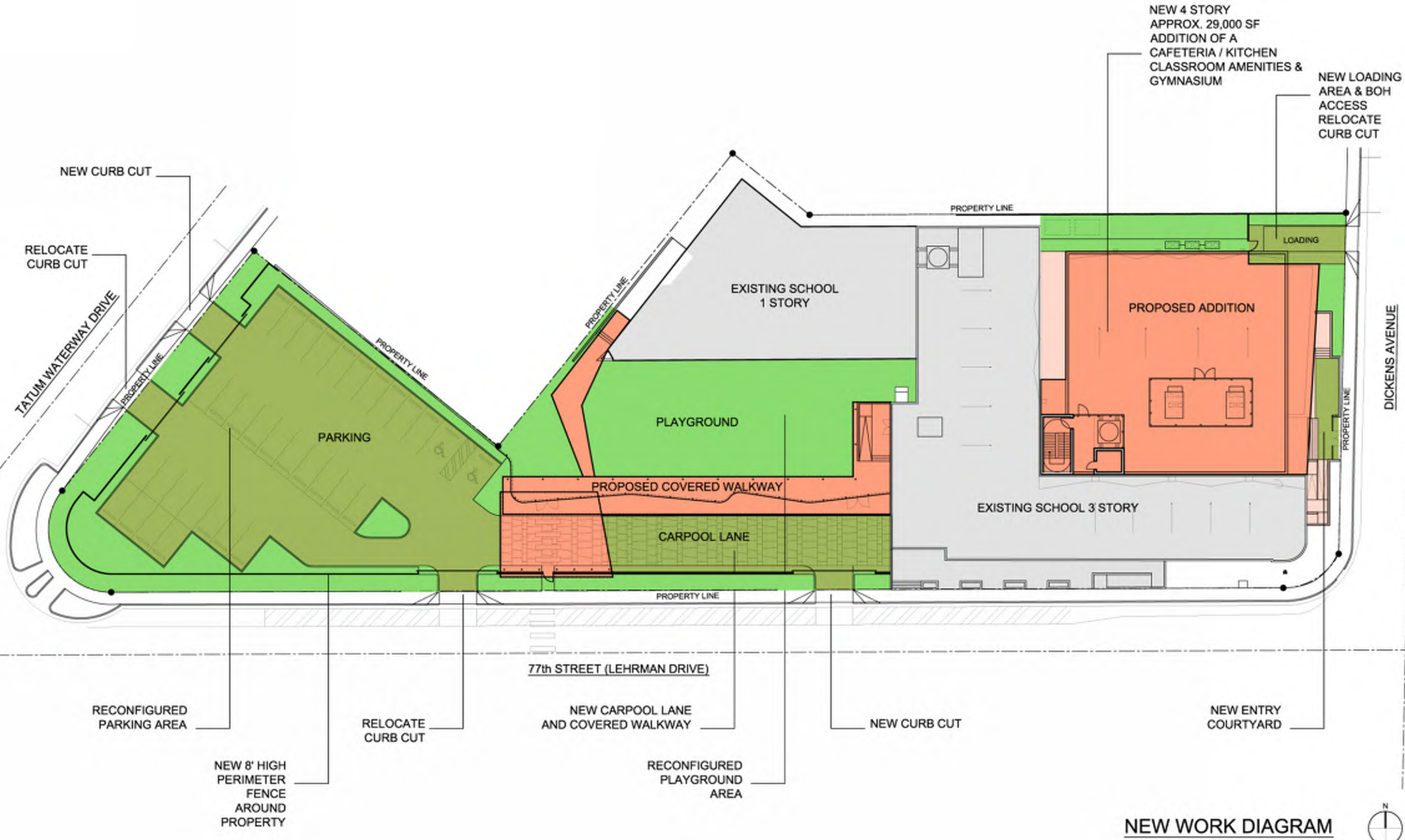




LOT CALCULATION & FAR		
Property	Address	SF
1	7701 Tatum Waterway Dr	8,747
2	7737 Tatum Waterway Dr	6,250
3	741 77 St	9,287
4	727 77 St	28,786
5	7710 Dickens Ave	5,498
6	7720 Dickens Ave	5,498
Total (9 PARCELS)		64,066
FAR	FAR Existing Building	SF
	Ground Floor	16,513
	Second Floor	10,778
	Third Floor	10,778
	Roof	275
	Total Existing SF	38,344
FAR	Proposed Building	SF
	Ground Floor	8,660
	Second Floor	8,730
	Third Floor	8,160
	Fourth Floor	2,370
	Roof	800
	Total Proposed New SF	28,720
FAR	Combined Building	SF
	Total FAR Proposed	67,064
	Allowable FAR 1.4 X 64,066 SF	89,692

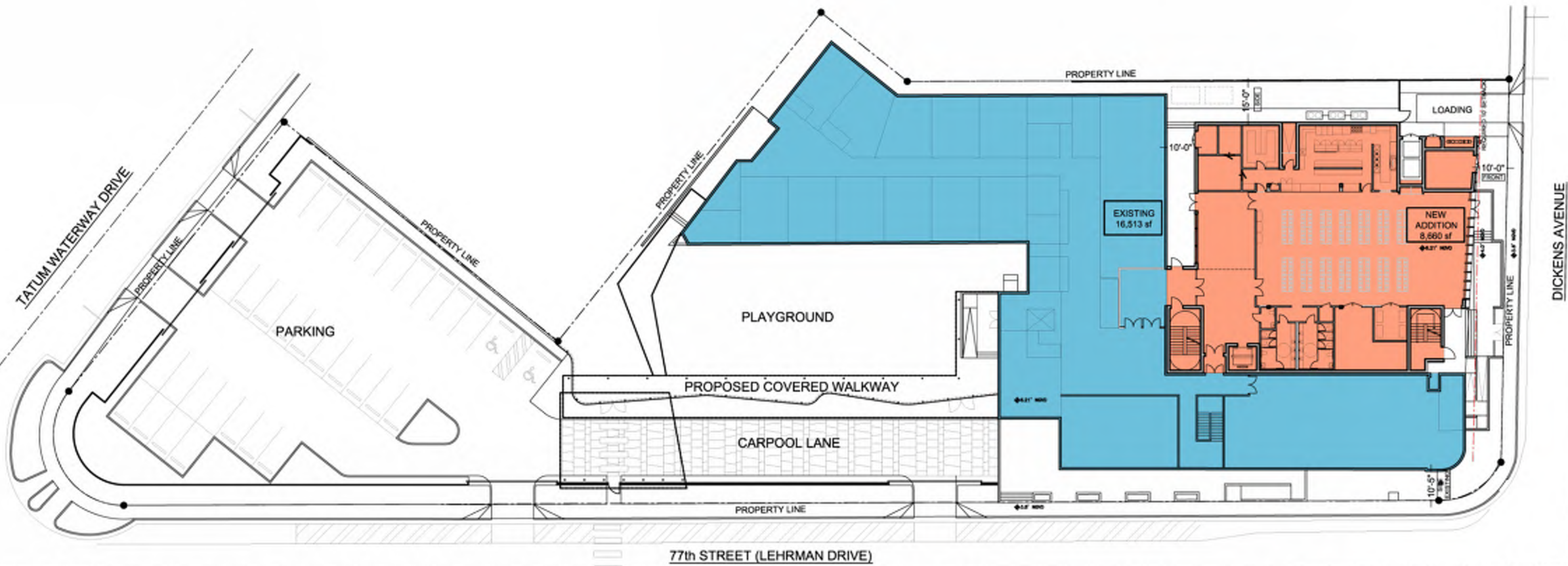
LOT AGGREGATION





NEW WORK DIAGRAM





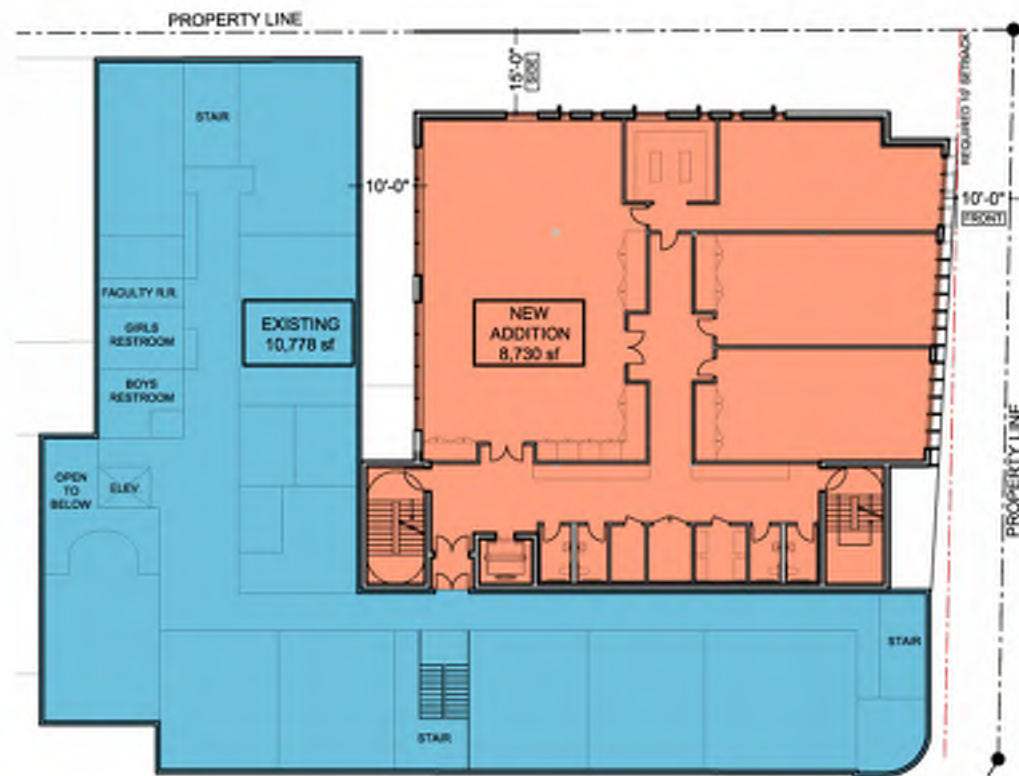
GROUND FLOOR PROPOSED BUILDING AREA
 16,513 sf (existing) + 8,660 sf (new addition) = 25,173 sf

EXISTING NEW ADDITION

TOTAL EXISTING FAR = 38,344 sf
 TOTAL NEW FAR = 28,720 sf
 TOTAL COMBINED FAR = 67,064 sf

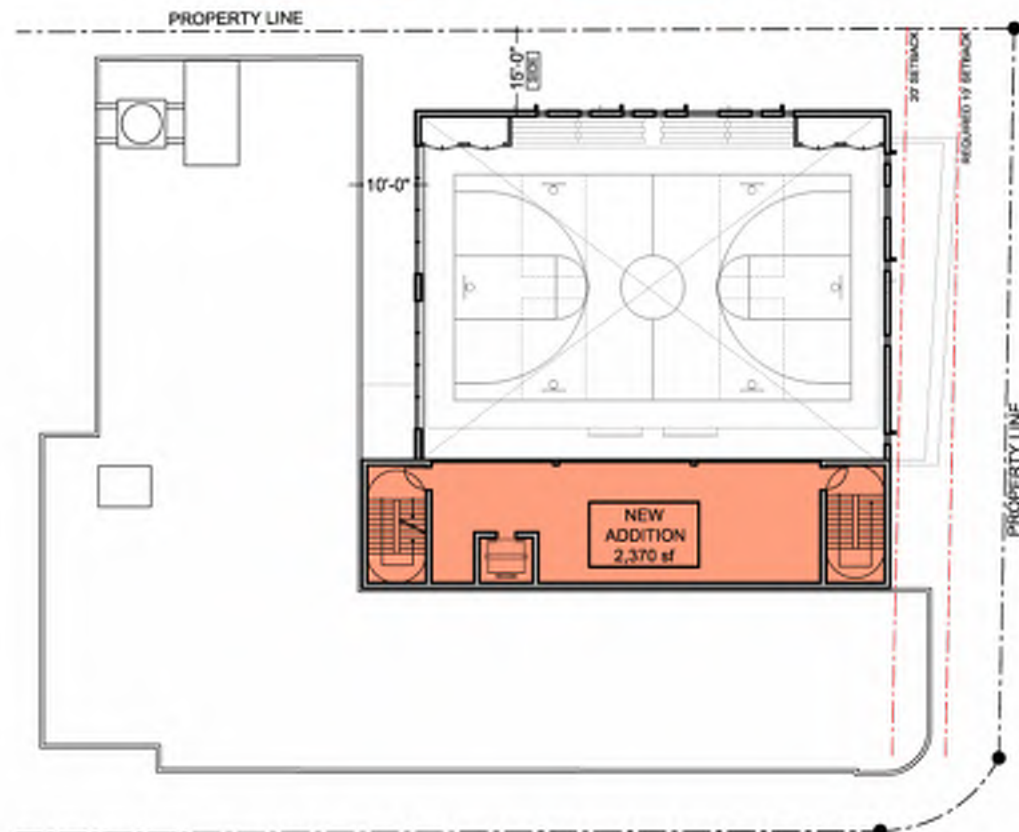
EXISTING
 NEW ADDITION

FAR DIAGRAM



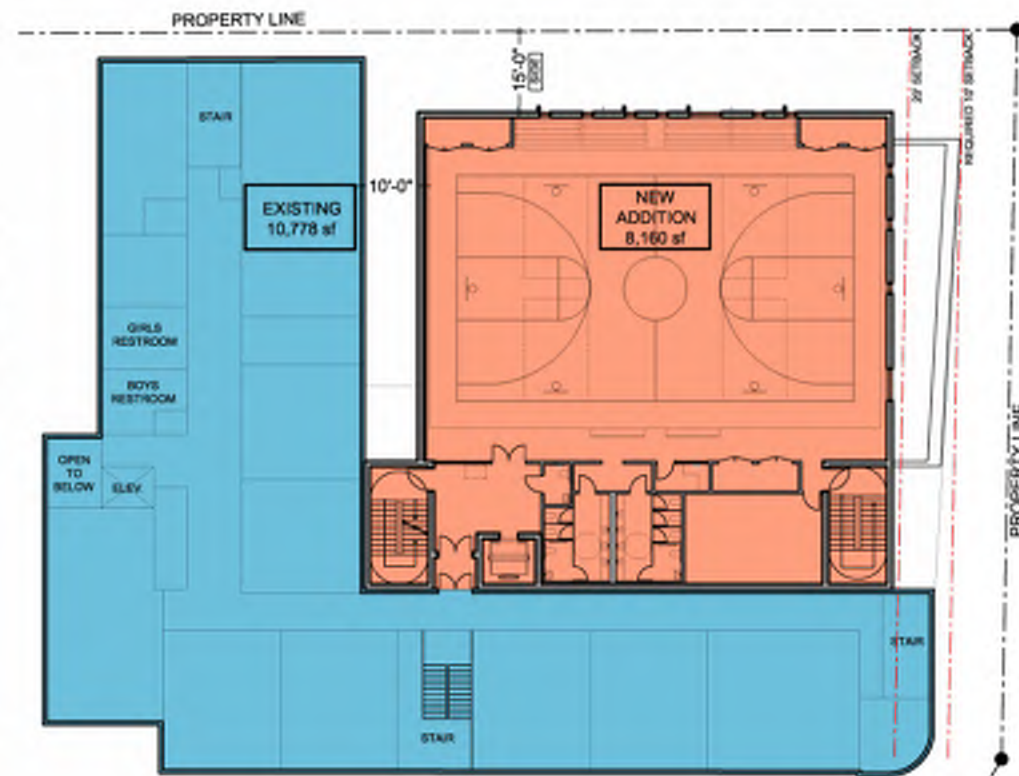
SECOND FLOOR PROPOSED BUILDING AREA
 10,778 sf (existing) + 8,730 sf (new addition) = 19,508 sf

EXISTING NEW ADDITION



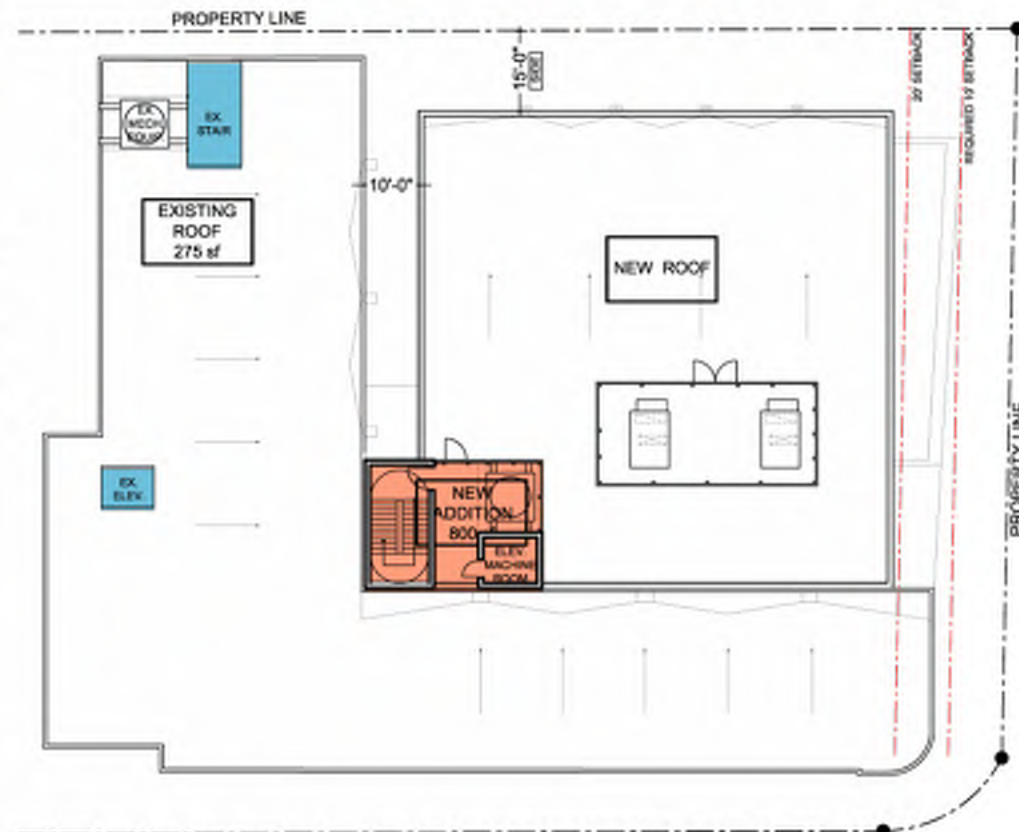
FOURTH FLOOR PROPOSED BUILDING AREA
 2,370 sf (new addition) = 2,370 sf

NEW ADDITION



THIRD FLOOR PROPOSED BUILDING AREA
 10,778 sf (existing) + 8,160 sf (new addition) = 18,938 sf

EXISTING NEW ADDITION



ROOF PROPOSED BUILDING AREA
 275 sf (existing) + 800 sf (new addition) = 1,075 sf

EXISTING NEW ADDITION

DICKENS AVENUE

DICKENS AVENUE

DICKENS AVENUE

DICKENS AVENUE

FAR DIAGRAM





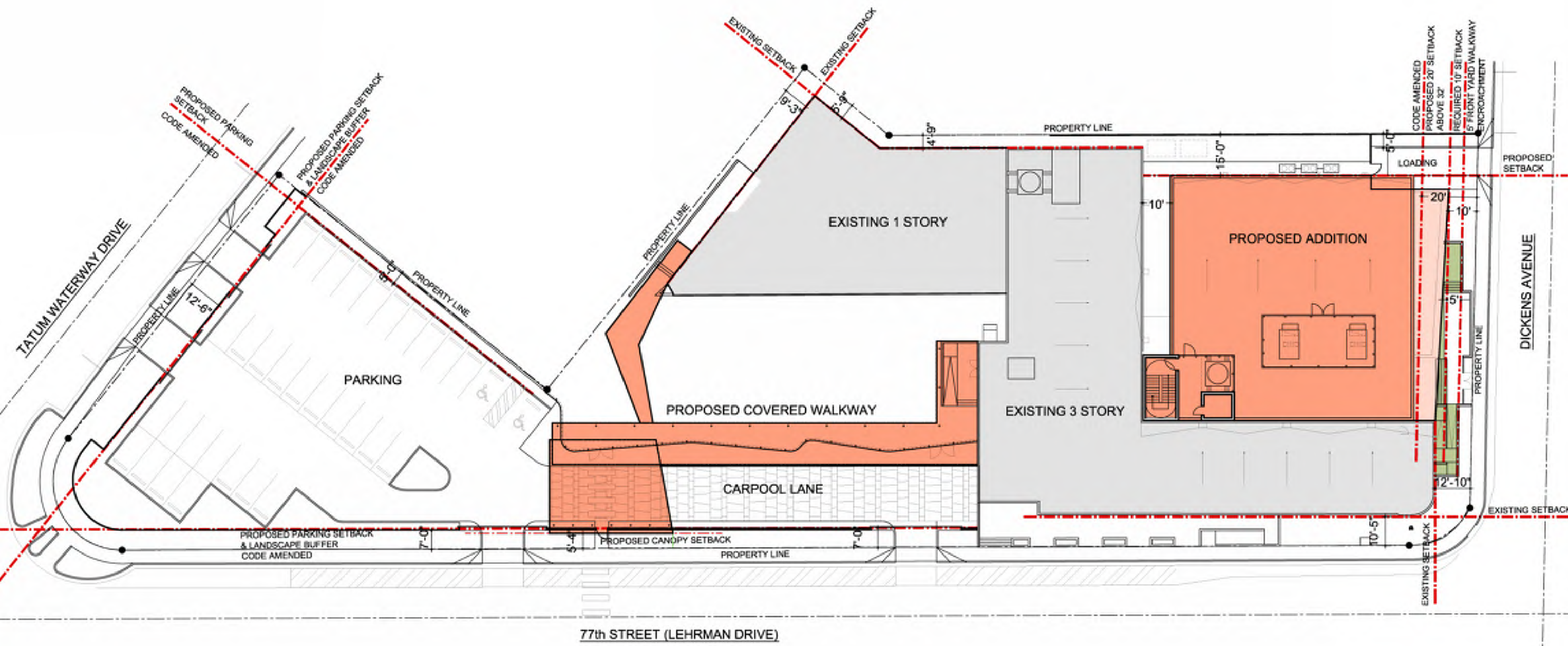
 OPEN SPACE 15,325 SF = 25%	 OPEN SPACE SEMI PERVIOUS HARDSCAPE 15,565 SF	 LOT COVERAGE 30,105 SF	 OPEN DECKS 2,375 SF
NO MINIMUM PARKING LANDSCAPE REQUIREMENTS		NO MAXIMUM LOT COVERAGE REQUIREMENTS	

TOTAL LOT COVERAGE = 48,045 SF = 75% (INCLUDES SEMI-PERVIOUS OPEN SPACE and OPEN DECKS)

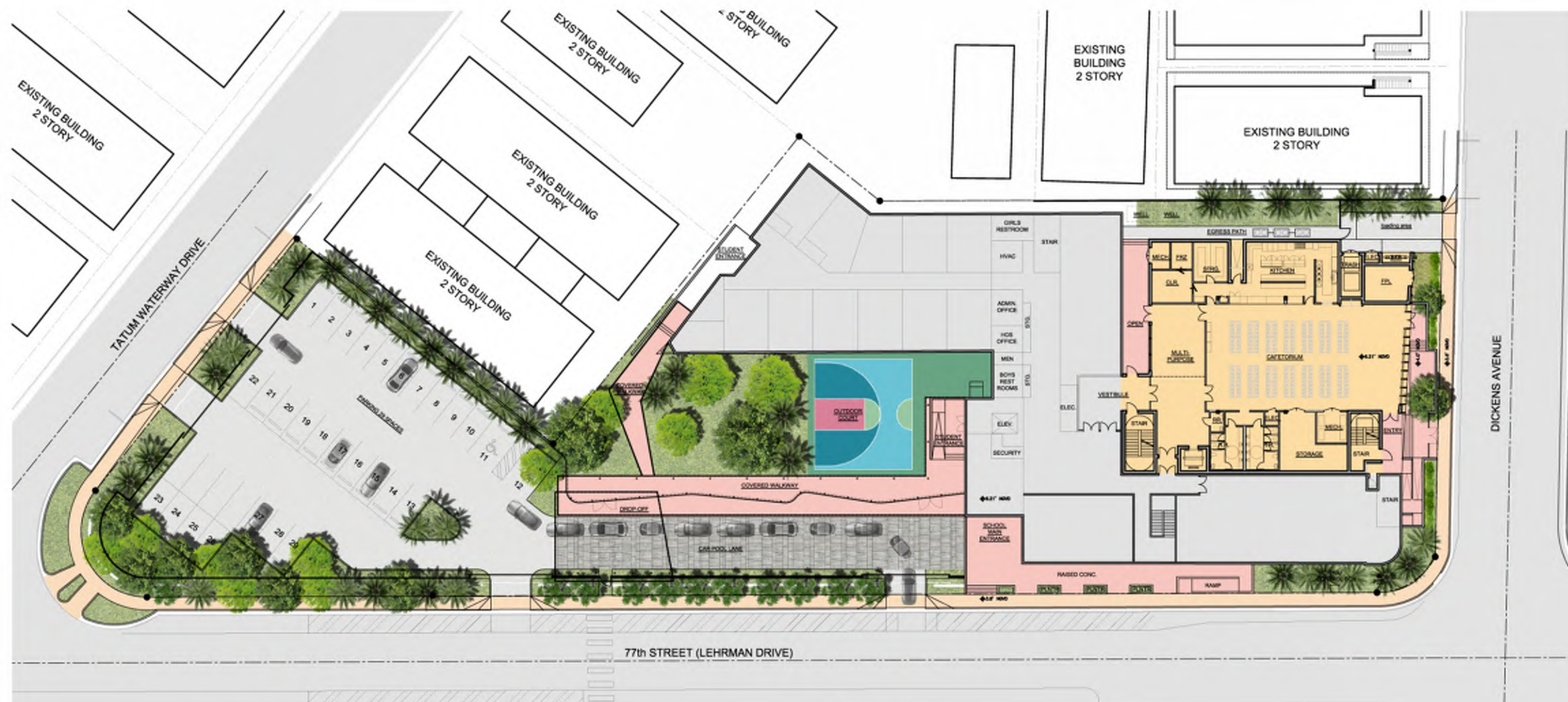
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- (d) Exterior building and lot standards.
- (2) There shall be no minimum or maximum yard elevation requirements, or maximum lot coverage requirements within the North Beach National Register Overlay.

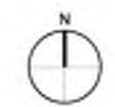
LOT COVERAGE DIAGRAM 



SETBACK DIAGRAM 



PROPOSED SITE PLAN





(1) VIEW FACING NORTH ON 77th STREET



(2) VIEW FACING NORTH ON 77th STREET



(1) VIEW FACING NORTHEAST ON 77th STREET



(2) VIEW FACING NORTHWEST ON 77th STREET & DICKENS AVE.



(3) VIEW FACING NORTH ON 77th STREET



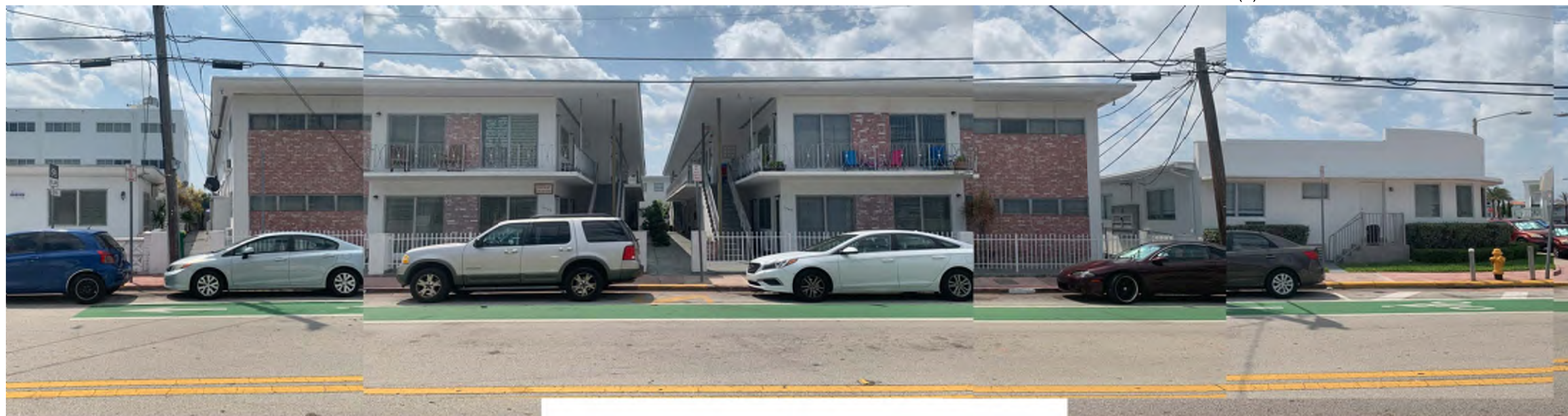
(1) VIEW FACING SOUTH ON 77th STREET



(2) VIEW FACING SOUTH ON 77th STREET



(1) VIEW FACING WEST ON DICKENS AVE.



(2) VIEW FACING WEST ON DICKENS AVE.



(1) VIEW FACING EAST ON DICKENS AVE.



(2) VIEW FACING EAST ON DICKENS AVE.



(1) VIEW FACING SOUTHEAST ON TATUM WATERWAY DRIVE



(2) VIEW FACING SOUTHEAST ON TATUM WATERWAY DRIVE



(1) VIEW FACING NORTHWEST ON 77th ST. & TATUM WATERWAY DRIVE

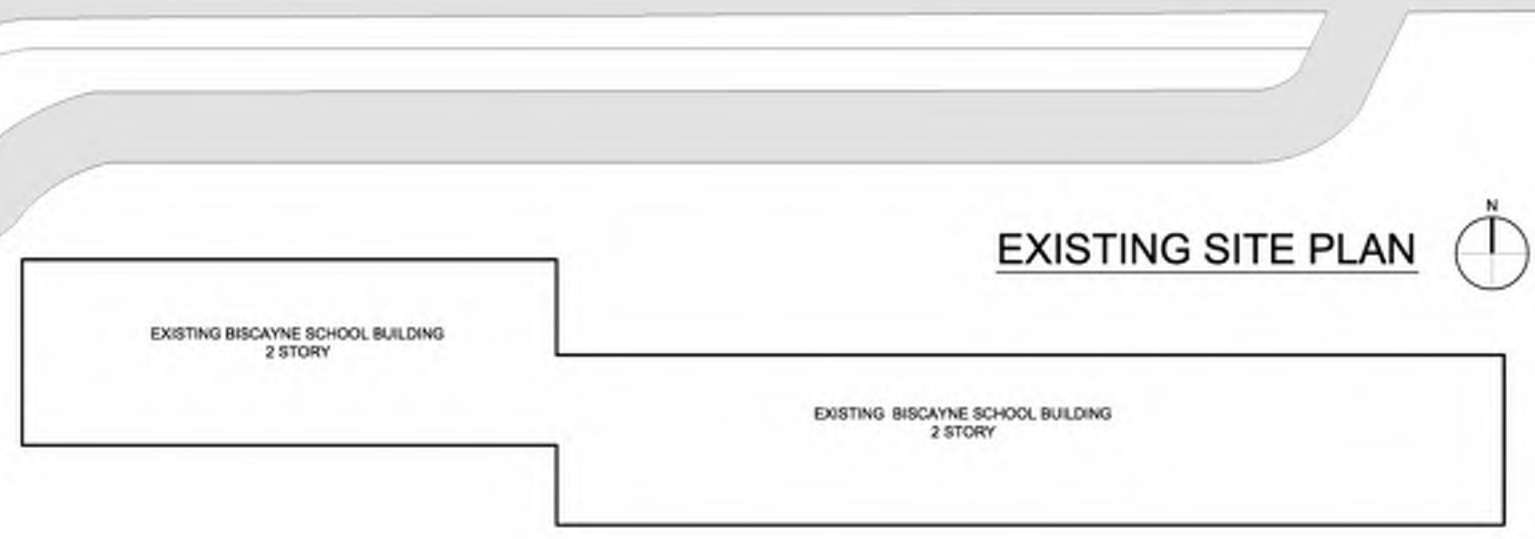


(2) VIEW FACING NORTHWEST ON TATUM WATERWAY DRIVE

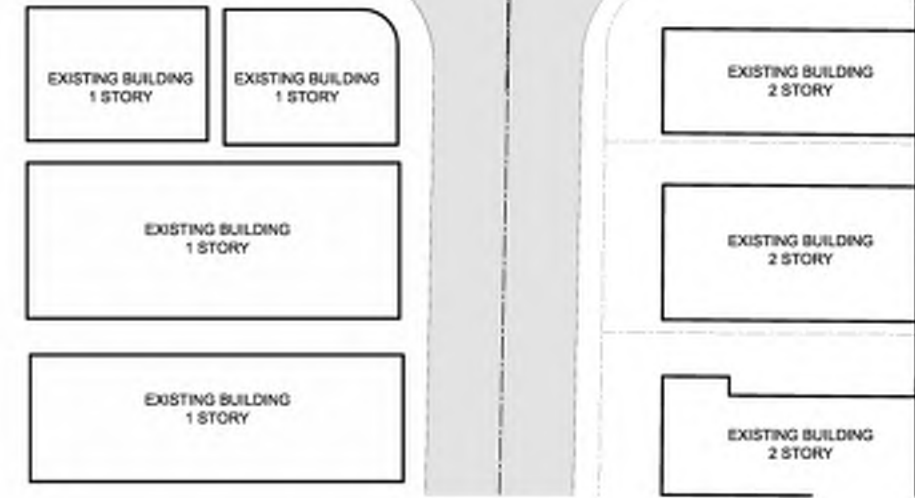
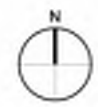


(3) VIEW FACING NORTHWEST ON TATUM WATERWAY DRIVE

PARKING	
	Existing
West Lot	19
East Lot	10
Total Parking Spaces	29



EXISTING SITE PLAN



TATUM WATERWAY

FRONT

77th STREET (LEHRMAN DRIVE)
20ft ROW

DICKENS AVENUE
20ft ROW

EXISTING BISCAYNE SCHOOL BUILDING
2 STORY

EXISTING BISCAYNE SCHOOL BUILDING
2 STORY

EXISTING BUILDING
1 STORY

EXISTING BUILDING
1 STORY

EXISTING BUILDING
1 STORY

EXISTING BUILDING
1 STORY

EXISTING BUILDING
2 STORY

EXISTING BUILDING
2 STORY

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2 STORY

EXISTING BUILDING
2 STORY

EXISTING BUILDING
4 STORY

EXISTING BUILDING
2 STORY

EXISTING BUILDING
2 STORY

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2 STORY

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EXISTING BUILDING
2 STORY

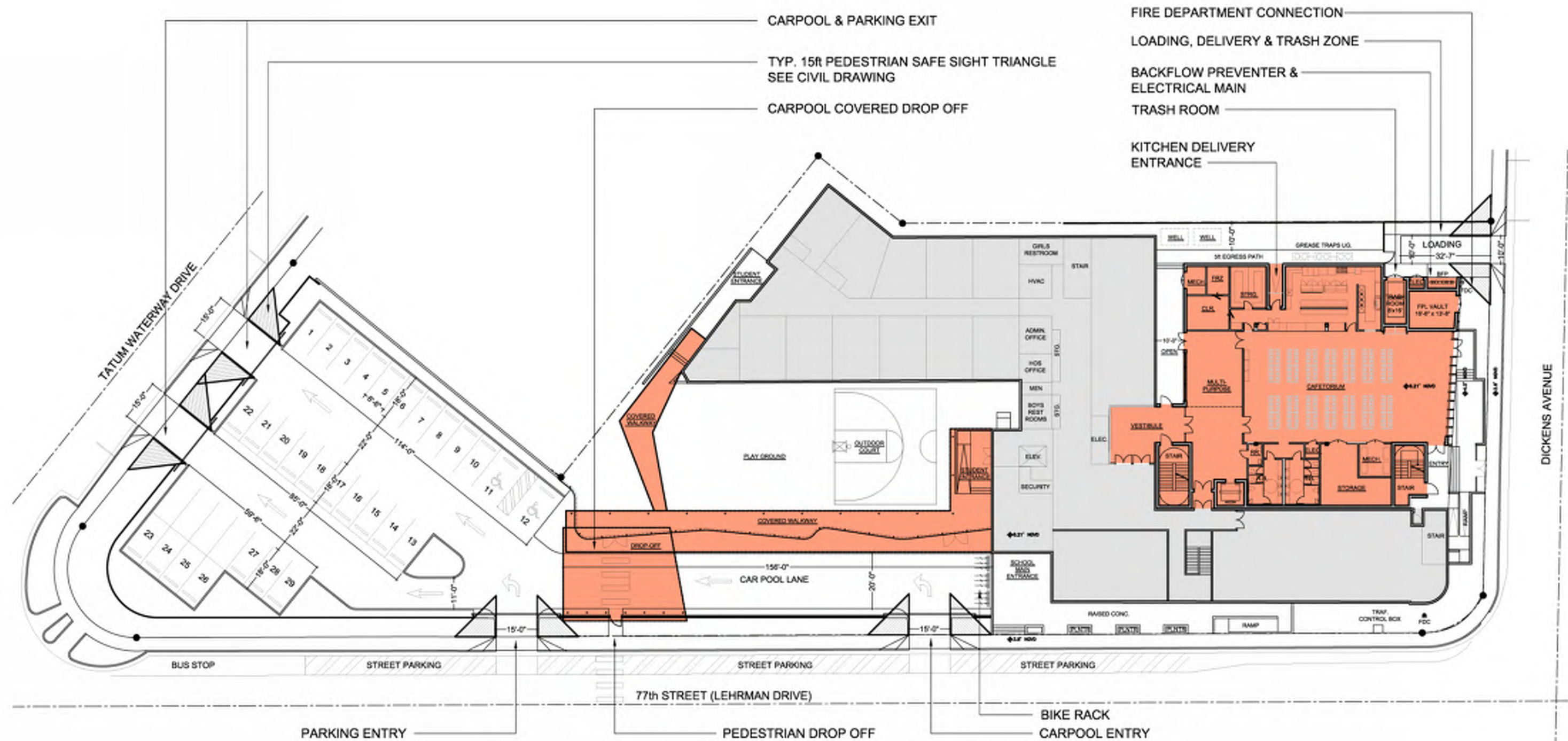
EXISTING BUILDING
1 STORY

EXISTING BUILDING
2 STORY

EXISTING BUILDING
2 STORY

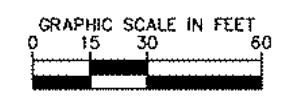
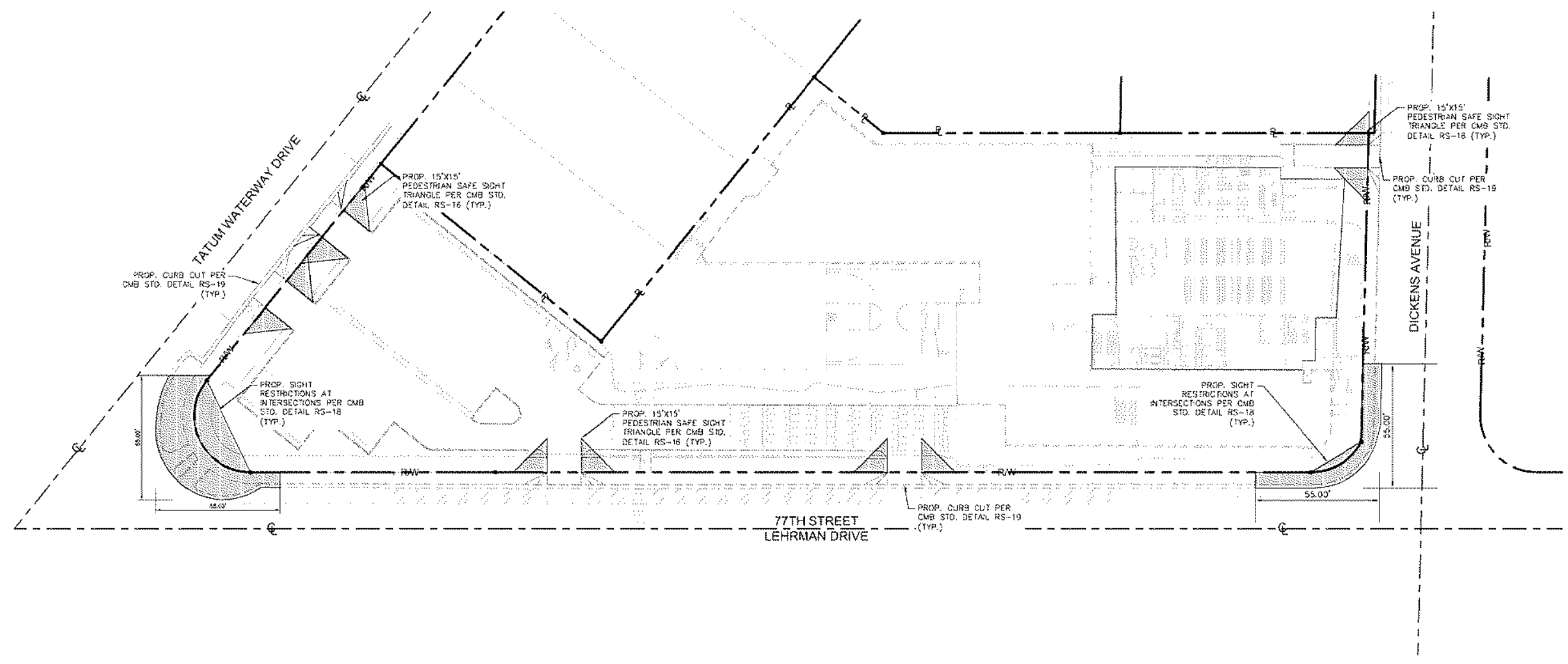
EXISTING BUILDING
2 STORY

EXISTING BUILDING
2 STORY



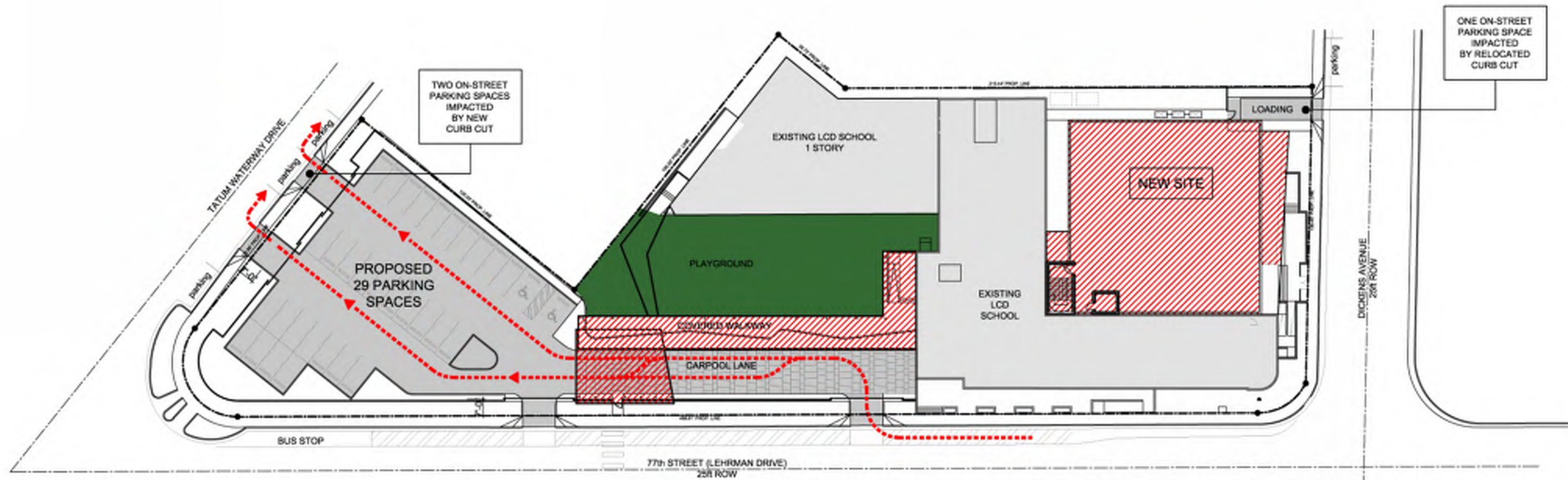
SITE PARKING & OPERATIONAL DIAGRAM



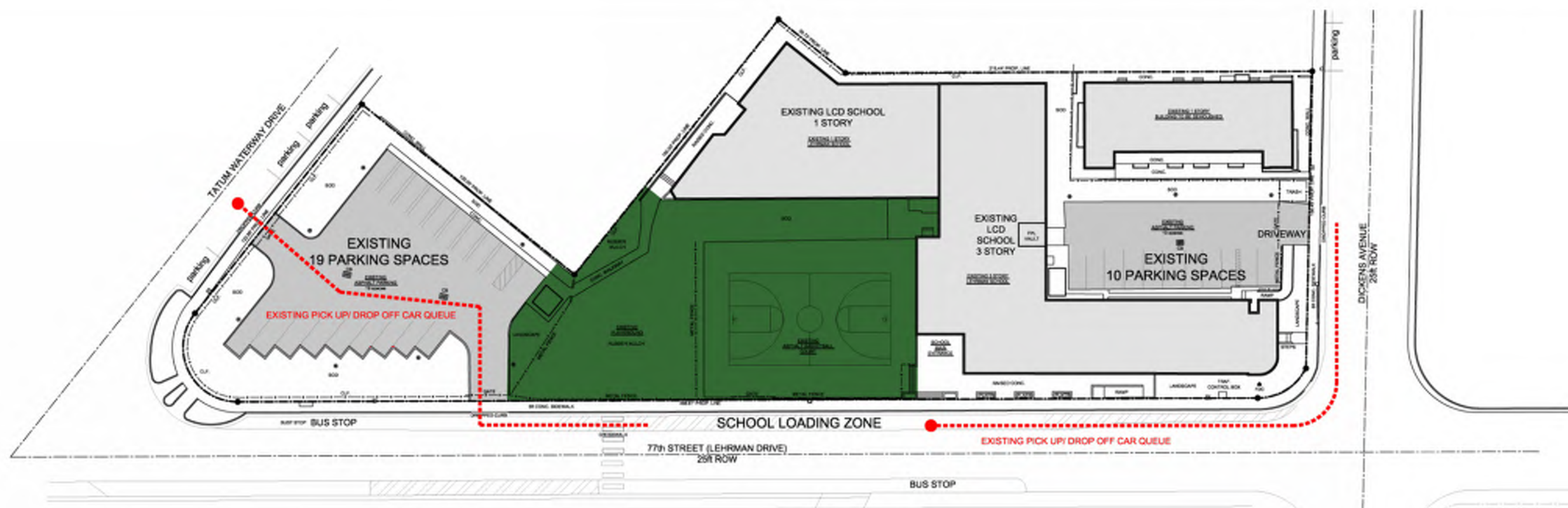


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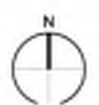
1. ALL STORMWATER RUNOFF WILL BE RETAINED WITHIN THE PRIVATE PROPERTY AND THE PROPOSED ON-SITE STORMWATER SYSTEM WILL HOLD A 10-YEAR, 24-HOUR RAINFALL EVENT WITH AN INTENSITY OF 8.75 INCHES OF RAINFALL.

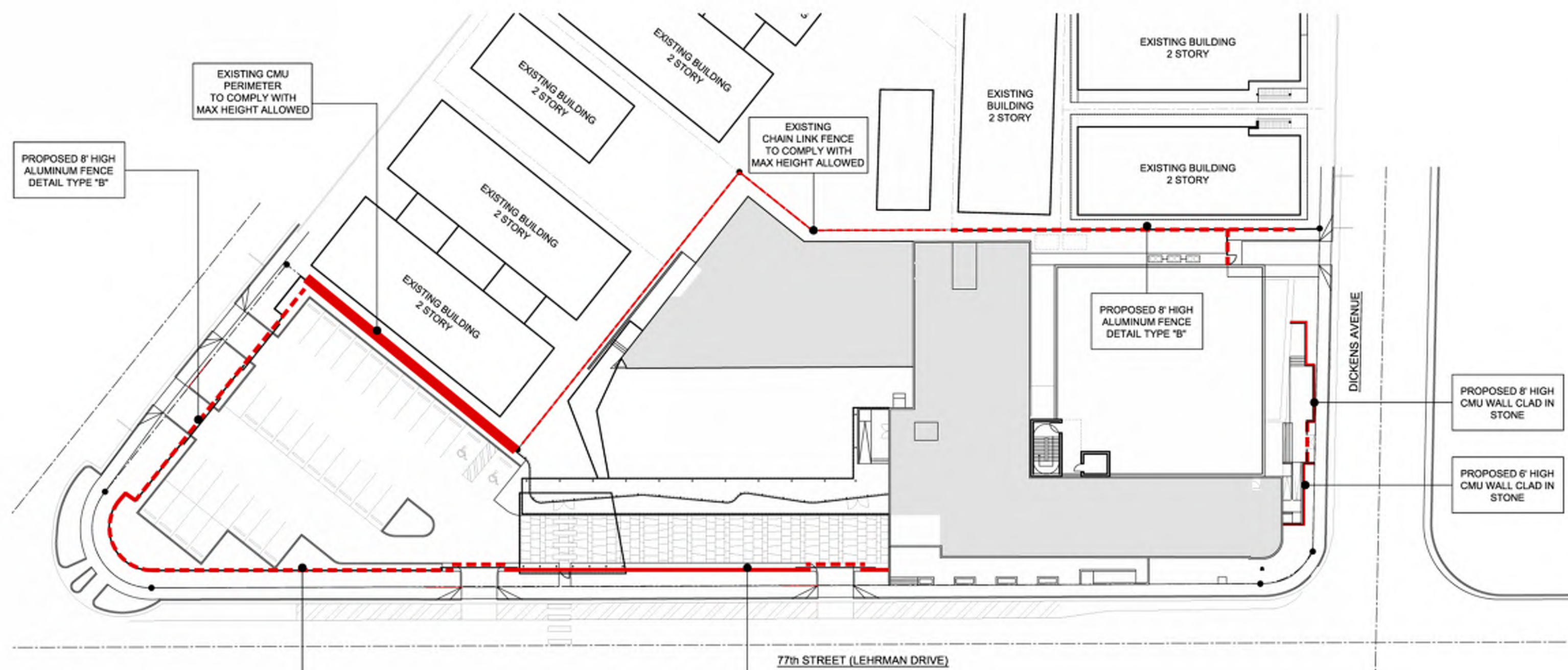


PROPOSED STREET PARKING



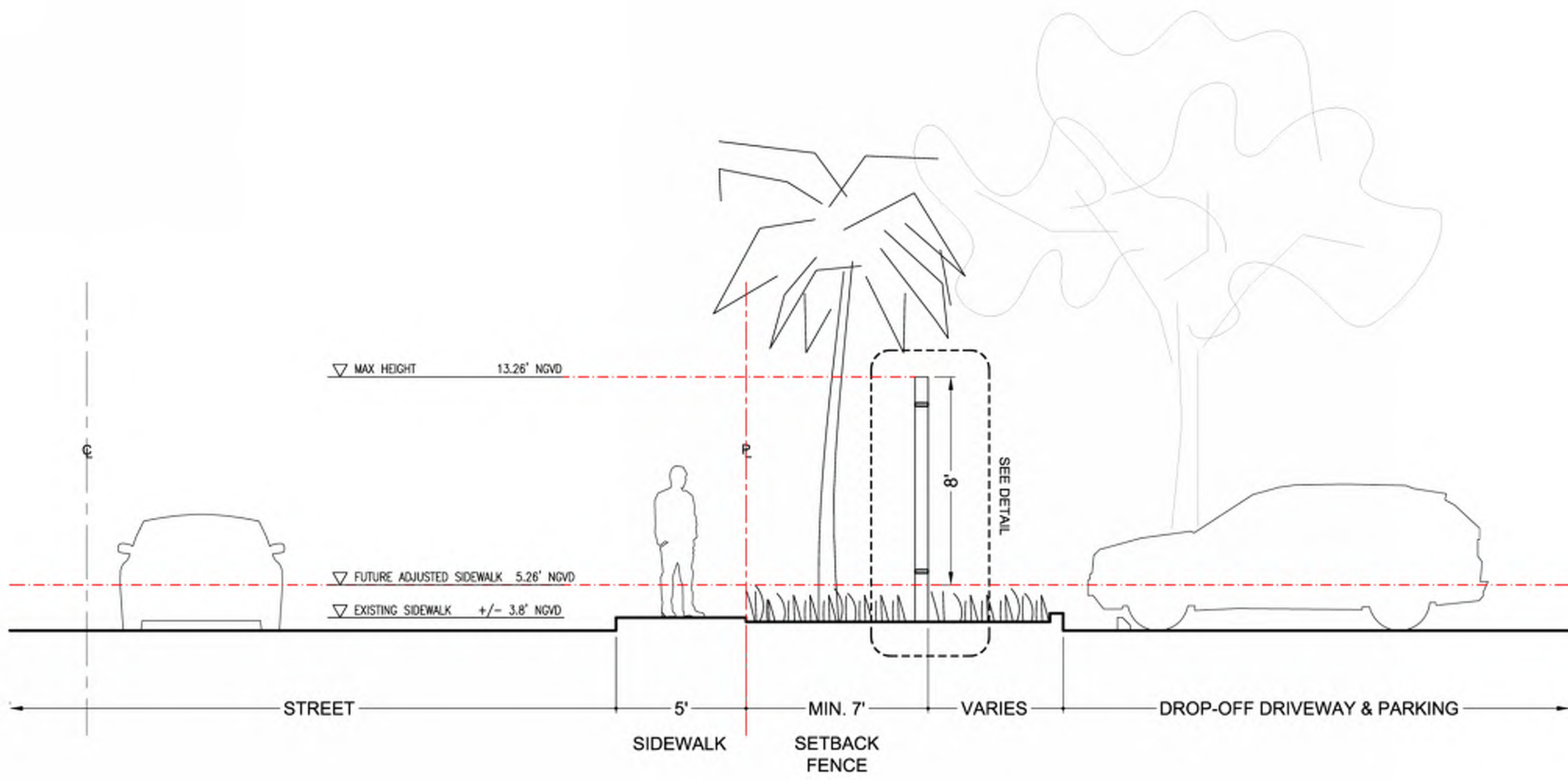
EXISTING STREET PARKING



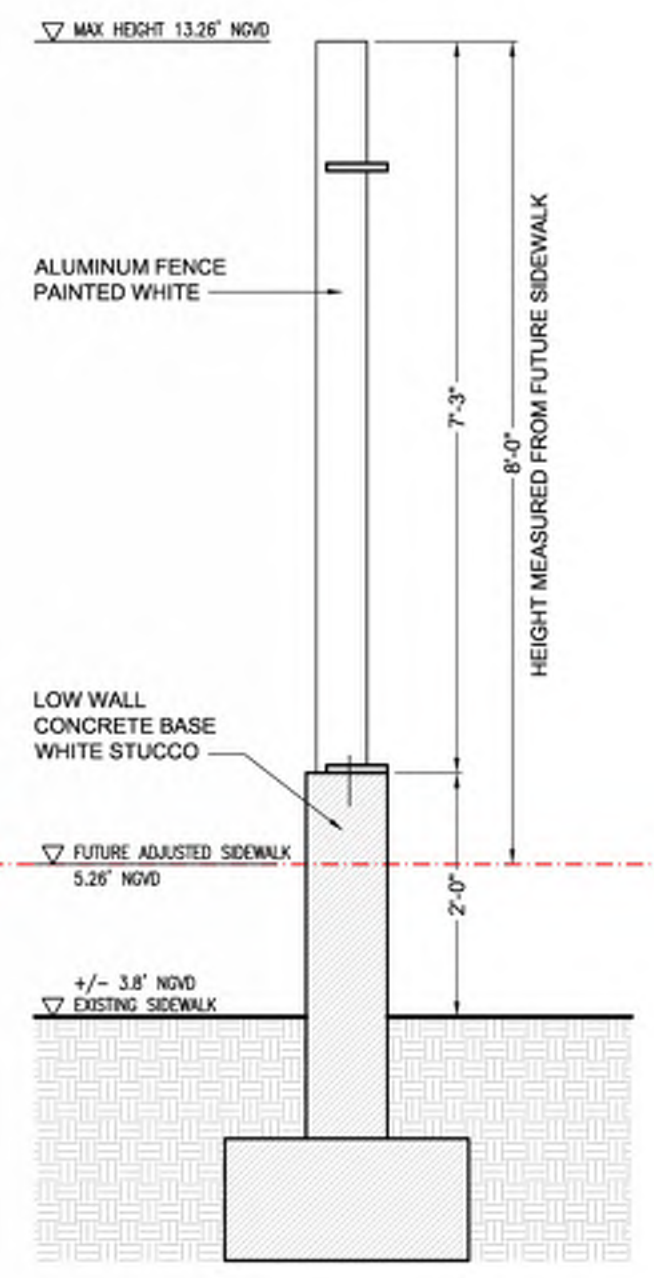
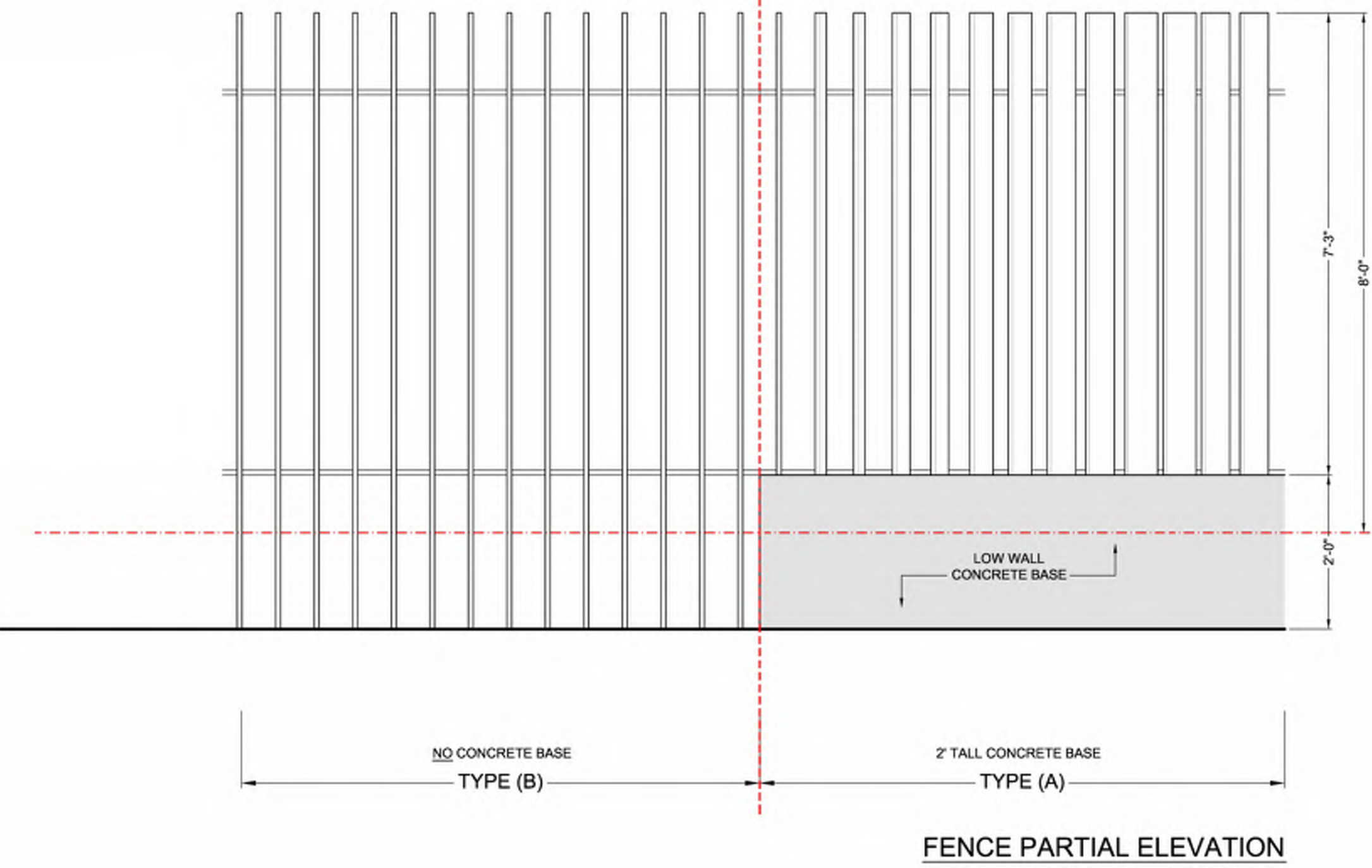
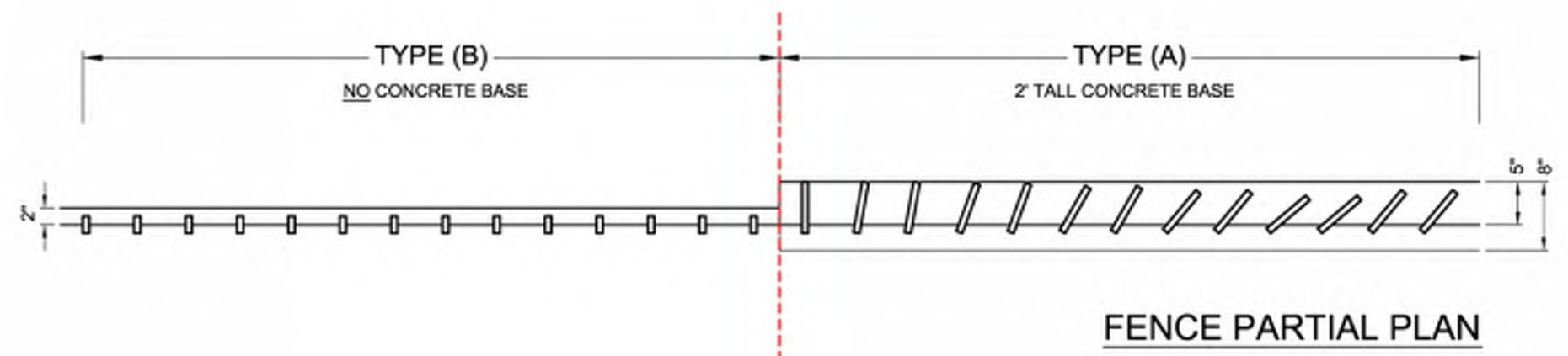


FENCE DIAGRAM





TYPICAL FENCE SECTION AT PARKING



LEHRMAN COMMUNITY DAY SCHOOL
EXISTING

LEHRMAN COMMUNITY DAY SCHOOL
EXISTING

DICKENS AVENUE

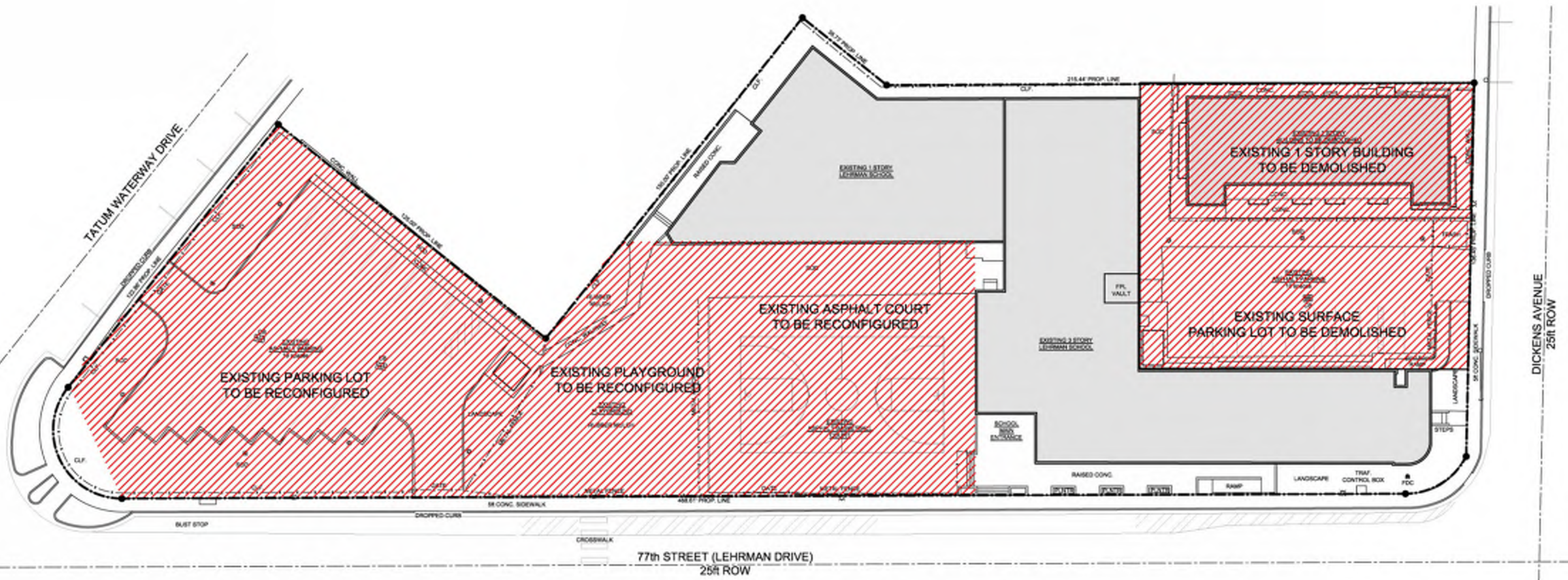
CONTEXT ELEVATIONS LOOKING NORTH ON 77TH STREET

LEHRMAN COMMUNITY DAY SCHOOL
EXISTING

77th ST. (LEHRMAN DR.)

78th ST

CONTEXT ELEVATIONS LOOKING WEST ON DICKENS AVE.



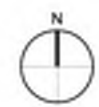
DEMOLITION AREAS



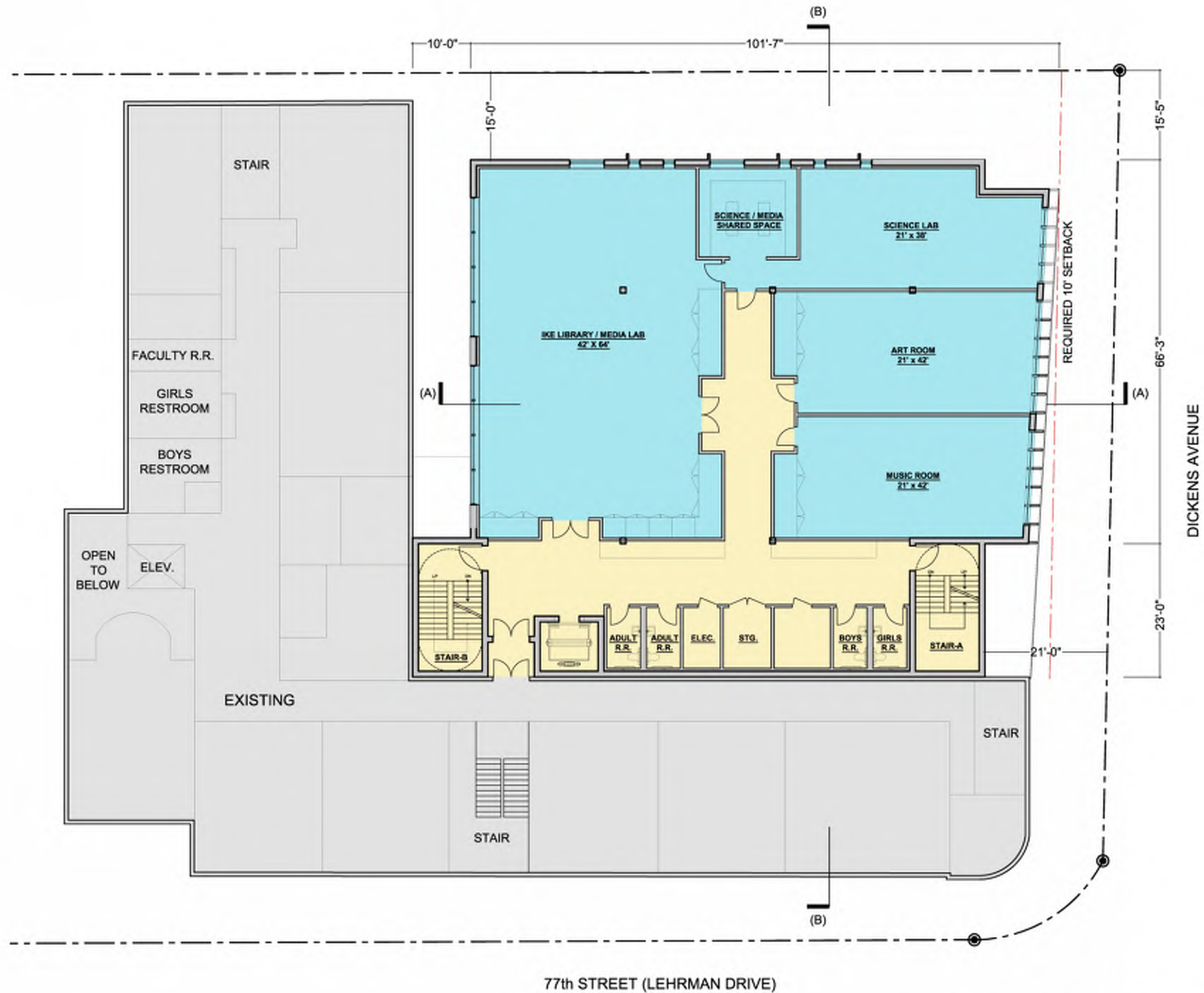


77th STREET (LEHRMAN DRIVE)

PROPOSED GROUND FLOOR PLAN

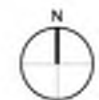


19172
LEHRMAN COMMUNITY DAY SCHOOL 727 Lehrman Drive / 77th Street Miami Beach, Florida 33141
PROPOSED GROUND FLOOR PLAN
2.0
5-11-20
111 EAST FLAGLER ST #205 MIAMI, FL 33131 T 305.377.0082 E info@nc-office.com
nc-office architects / urbanism

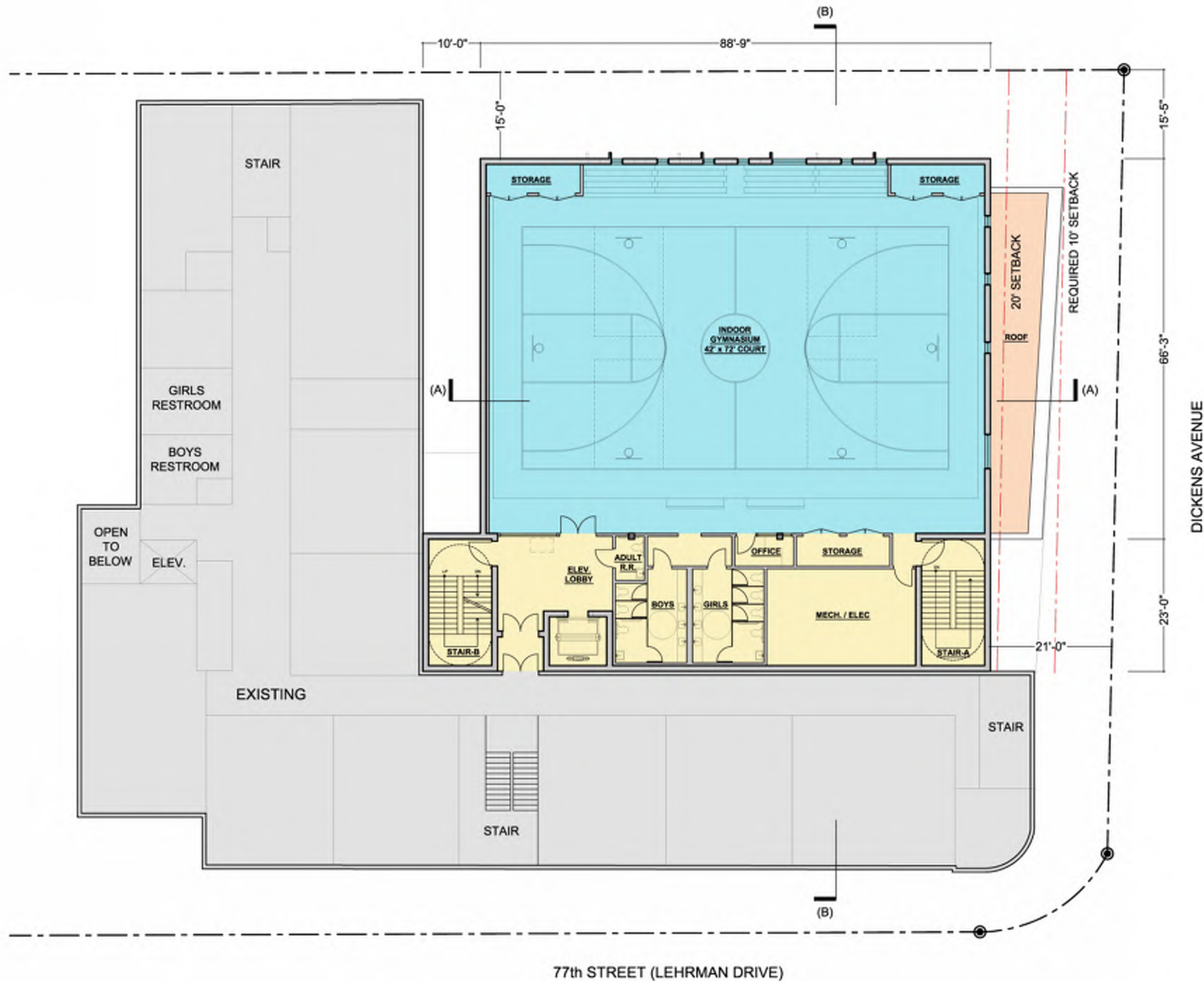


77th STREET (LEHRMAN DRIVE)

PROPOSED SECOND FLOOR PLAN



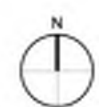
19172
LEHRMAN COMMUNITY DAY SCHOOL 727 Lehrman Drive / 77th Street Miami Beach, Florida 33141
PROPOSED SECOND FLOOR PLAN
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5-11-20
111 EAST FLAGLER ST #205 MIAMI, FL 33131 T 305.377.0082 E info@nc-office.com
NC-office architects / urbanism

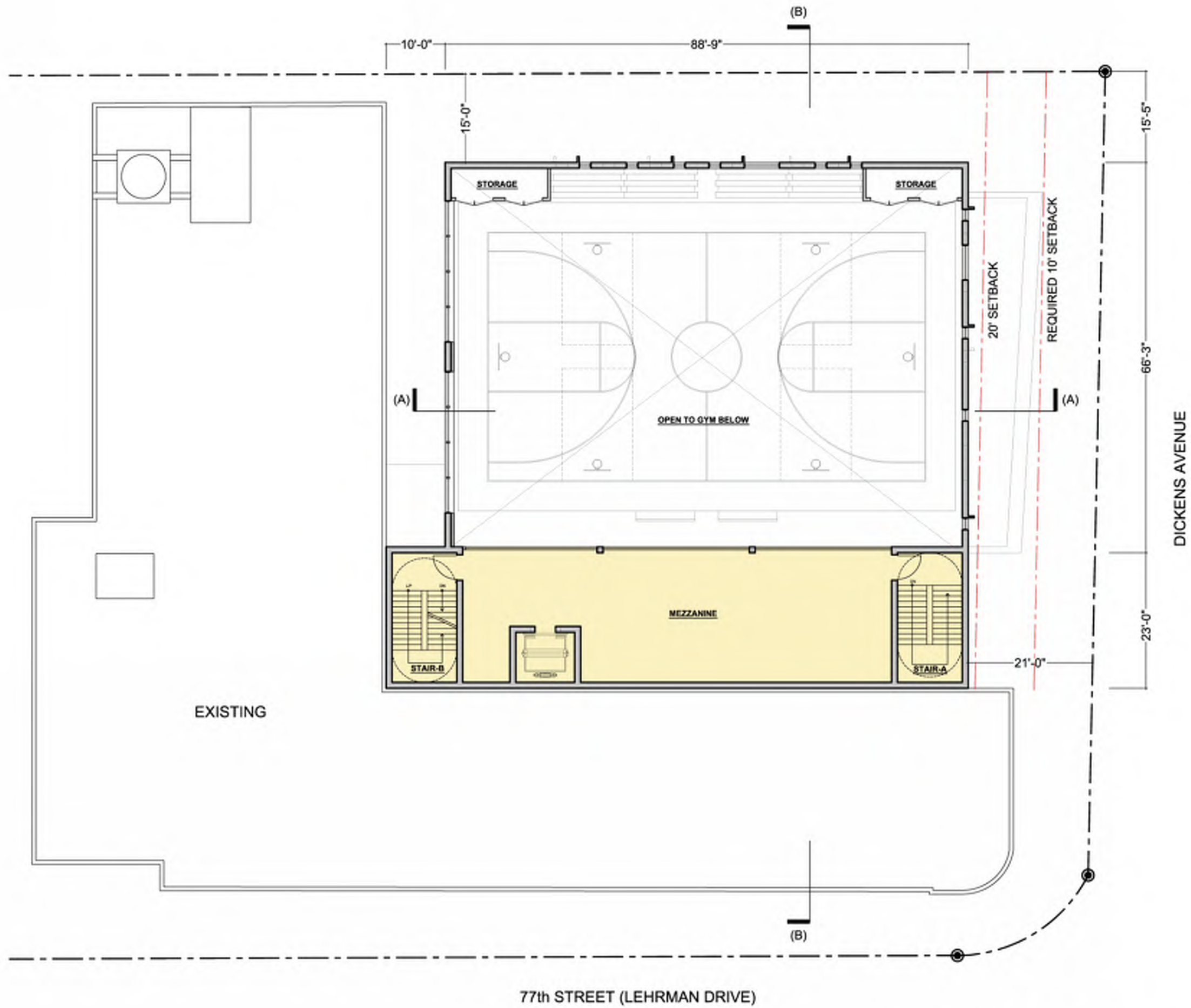


77th STREET (LEHRMAN DRIVE)

DICKENS AVENUE

PROPOSED THIRD FLOOR PLAN





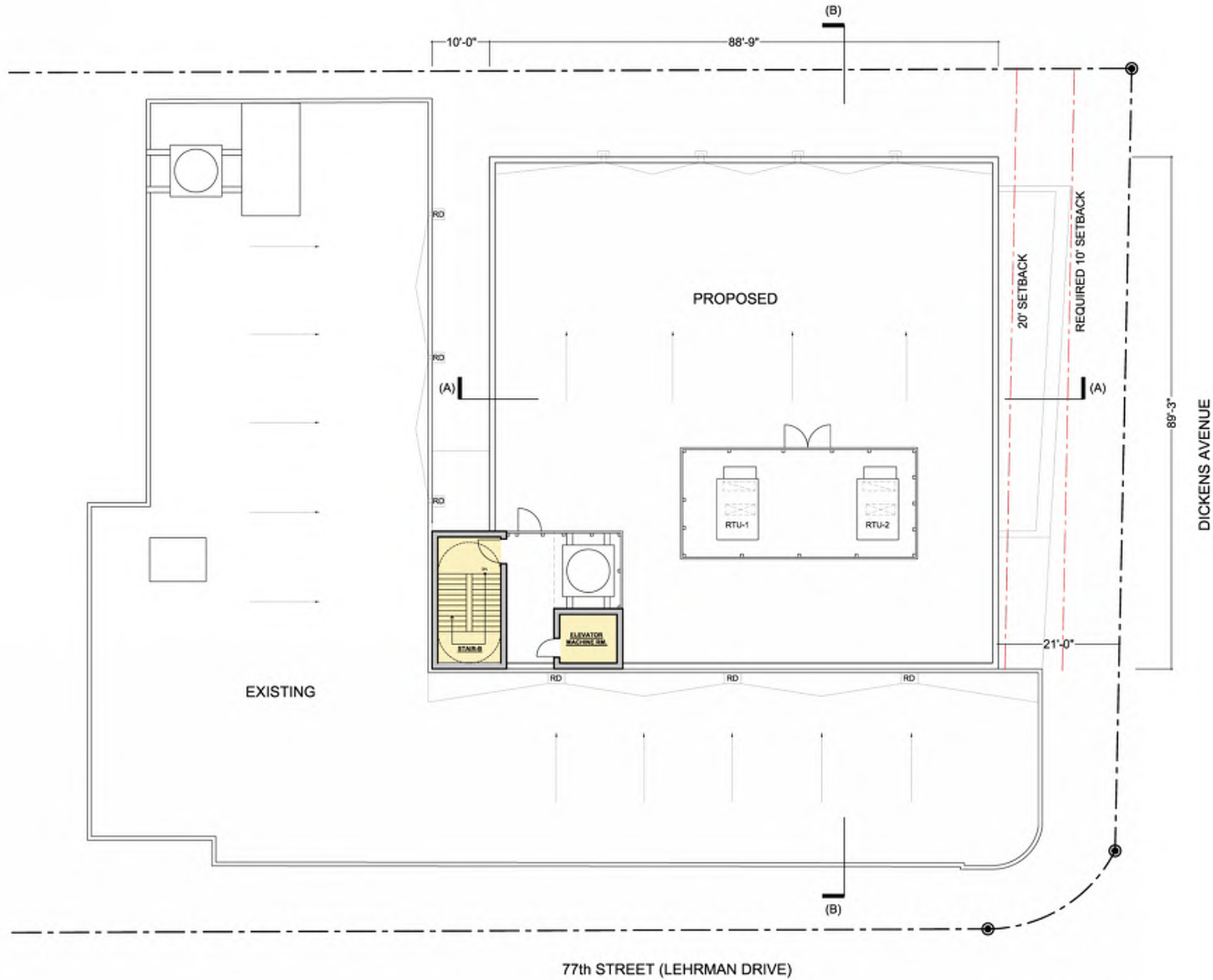
77th STREET (LEHRMAN DRIVE)

DICKENS AVENUE

PROPOSED FOURTH FLOOR PLAN



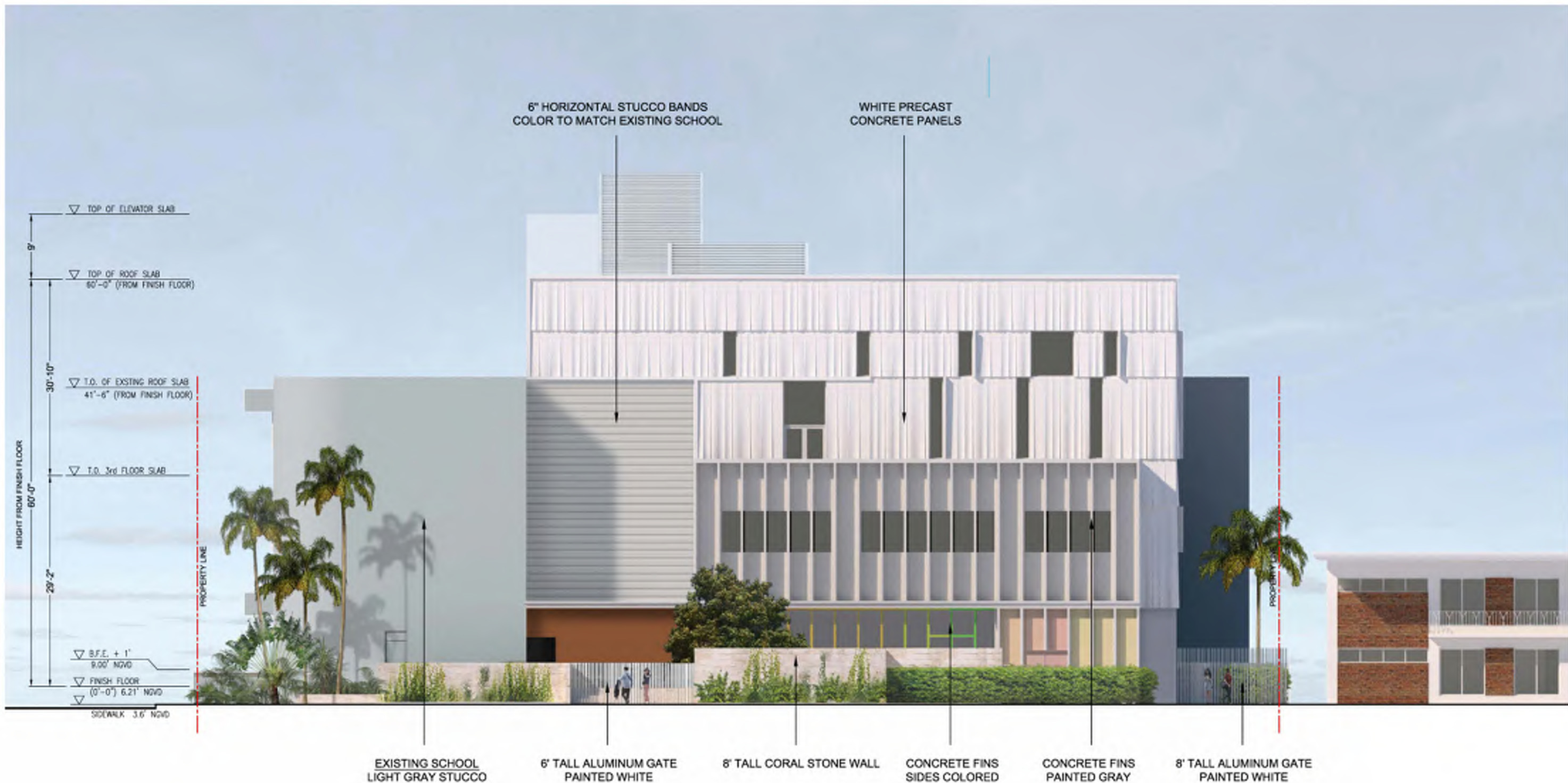
<p>NC-office architects / urbanism</p>	<p>111 EAST FLAGLER ST #205 MIAMI, FL 33131 T 305.377.0082 E info@nc-office.com</p>	<p>2.3 5-11-20</p>	<p>PROPOSED FOURTH FLOOR PLAN</p>	<p>LEHRMAN COMMUNITY DAY SCHOOL 727 Lehman Drive / 77th Street Miami Beach, Florida 33141</p>	<p>19172</p>
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77th STREET (LEHRMAN DRIVE)

PROPOSED ROOF PLAN





PROPOSED EAST ELEVATION (DICKENS AVE.)



PROPOSED NORTH ELEVATION



HORIZONTAL STUCCO BANDS
at the transition between existing
school and new addition



COLORED LOUVERS
at the drop off as well as the
ground floor of new addition



SCULPTURAL PRECAST PANELS
at the second and third floors of new addition



VERTICAL CONCRETE FINES
at the lower volume of new addition



CORAL STONE WALL
at the entry on Dickens Ave



PRECAST PAVERS
at the drop-off



HORIZONTAL STUCCO BANDS



SOFT EDGES



WINDOWS AND SOFT CROWN



COLOR TONE VARIATION

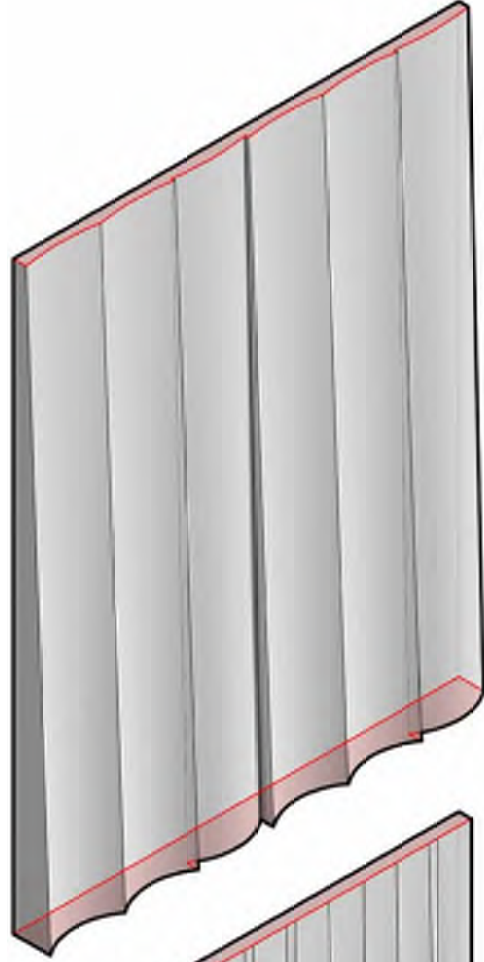


ORNAMENTAL TEXTURE

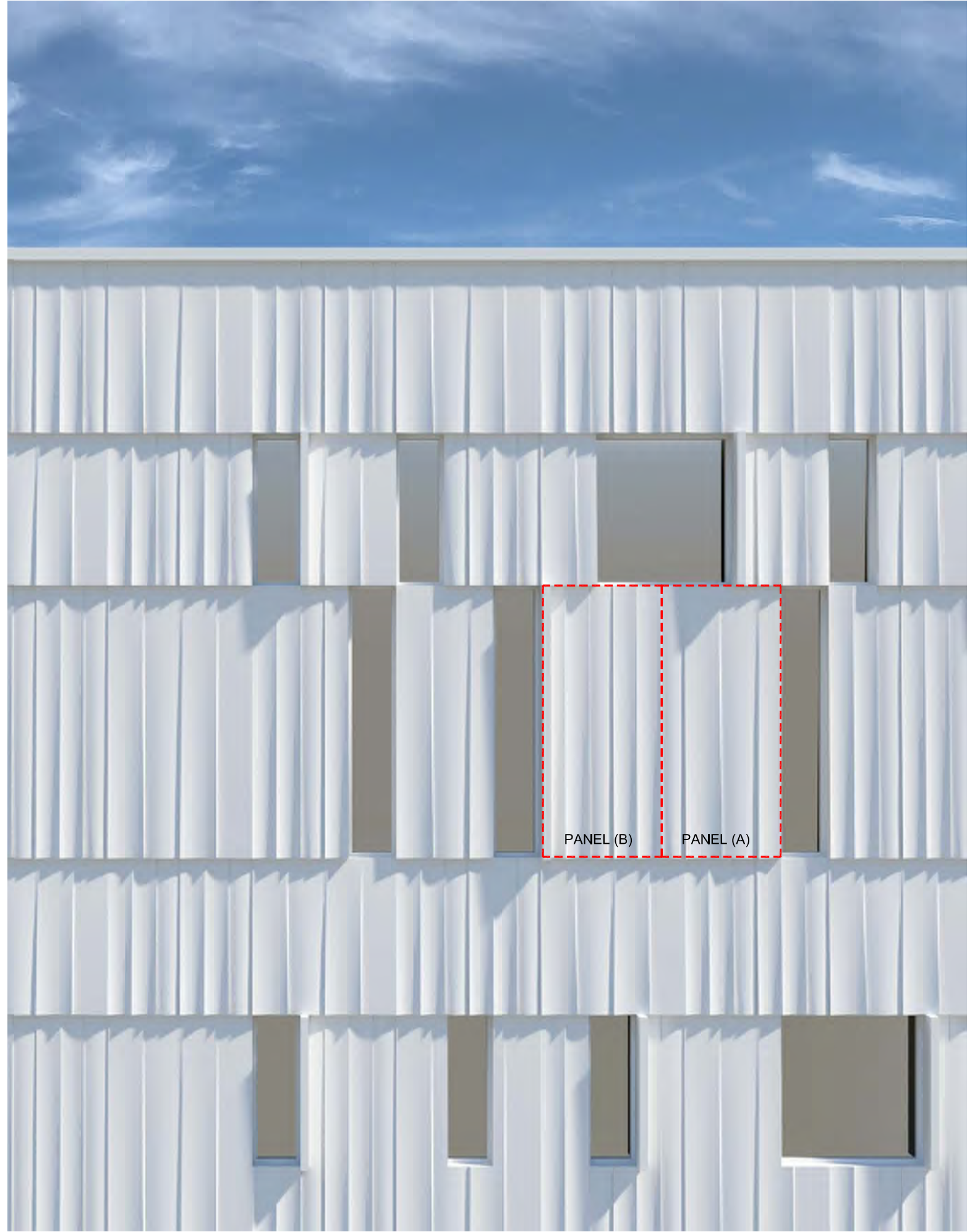
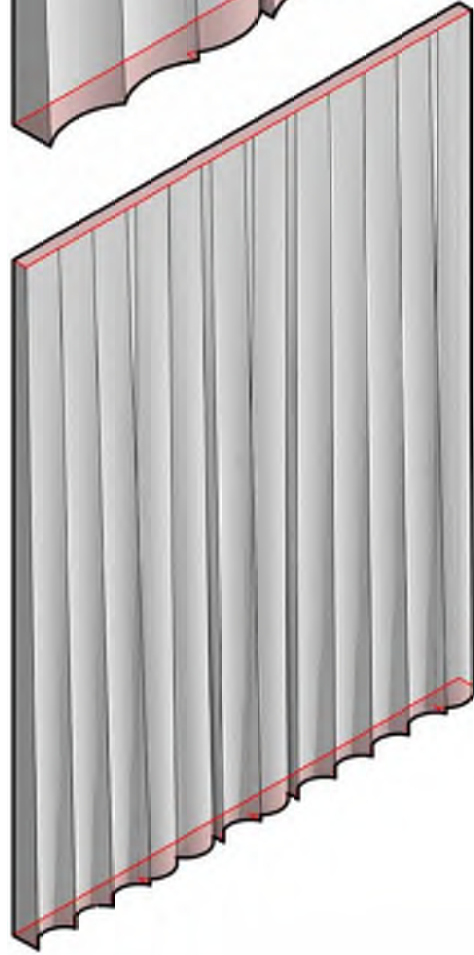


VERTICAL BANDS VS SOLID

PANEL (A)



PANEL (B)





19172

LEHRMAN COMMUNITY DAY SCHOOL
727 Lehman Drive / 77th Street | Miami Beach, Florida 33141

SE VIEW

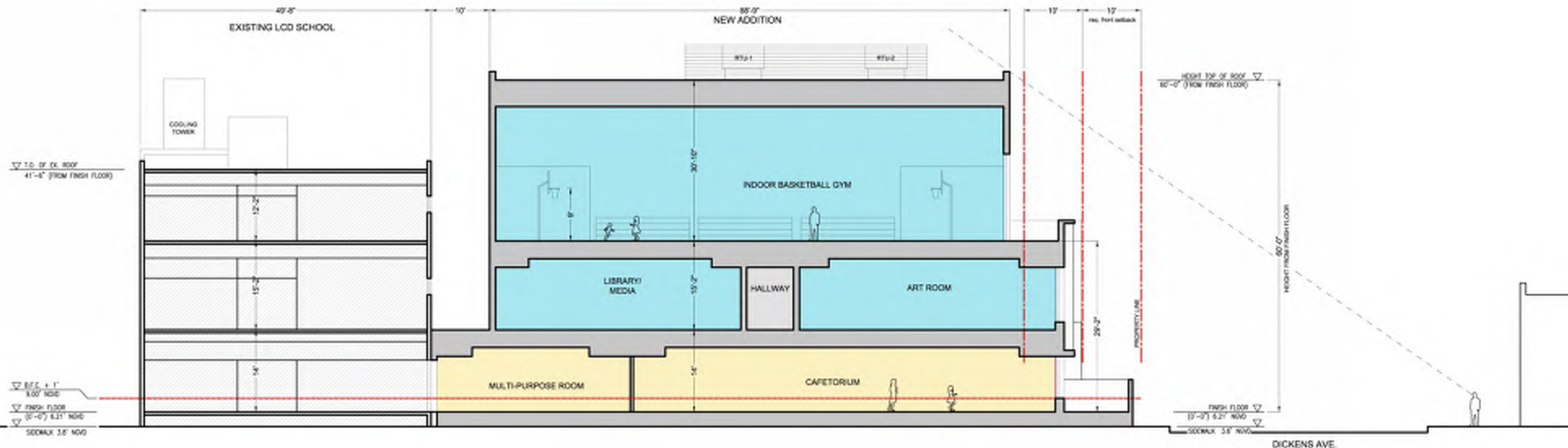
3.5

5-11-20

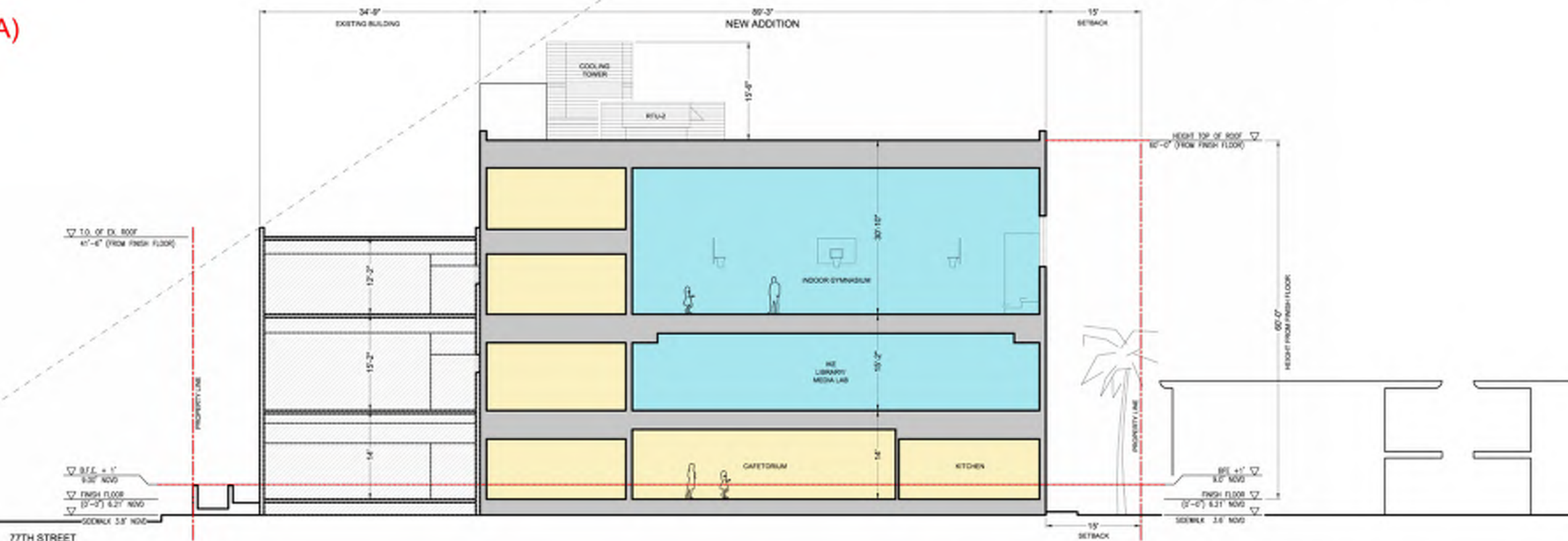
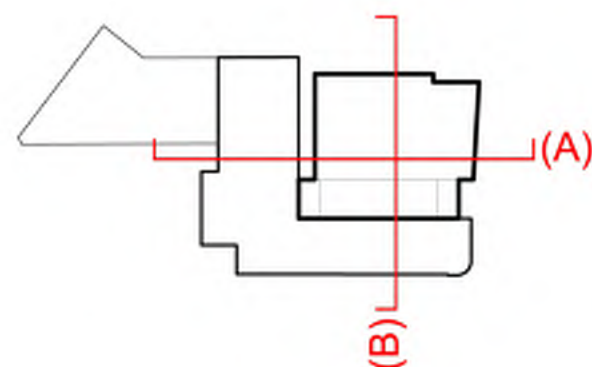
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NC-office
architects / urbanists

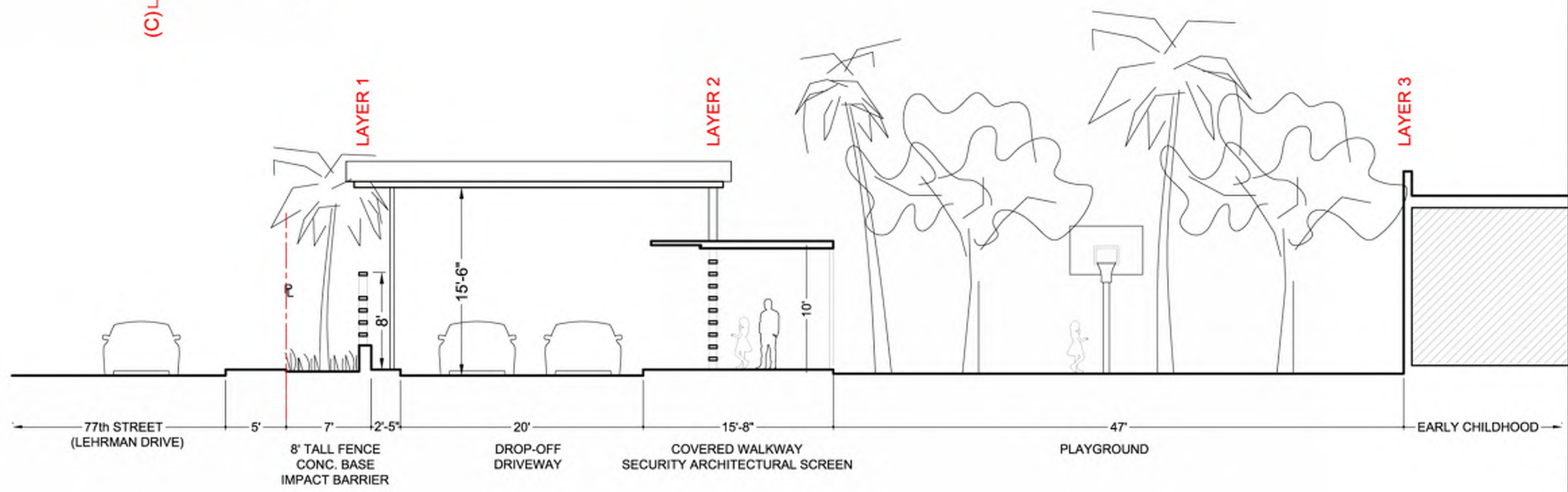
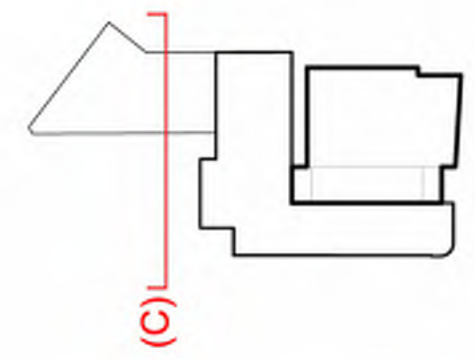




PROPOSED SECTION (A) LOOKING NORTH



PROPOSED SECTION (B) LOOKING WEST



PROPOSED SECTION (C) CARPOOL LANE



CARPOOL



PROPOSED CANOPY & FENCE

LEHRMAN COMMUNITY DAY SCHOOL
EXISTING

LEHRMAN COMMUNITY DAY SCHOOL
EXISTING

PROPOSED EXPANSION
BEYOND

DICKENS AVENUE

CONTEXT ELEVATIONS LOOKING NORTH ON 77TH STREET

LEHRMAN COMMUNITY DAY SCHOOL
EXISTING

77th ST. (LEHRMAN DR.)

PROPOSED EXPANSION

CONTEXT ELEVATIONS LOOKING WEST ON DICKENS AVE.



