

Owner C. H. HECKER, JR. Mailing Address Bond #1513 Permit No. 9126  
Lot 3 Block 11 Subdivision LA GORCE and/or No. 6610 Street Brevity Lane Date Nov. 16-1936  
ISLAND 31 La Gorce Circle  
General Contractor Wm. F. Bonsack Address  
Architect Carlos B. Schoeppel Address  
Front 113-6 Depth 68-8 Height Stories 2 Use Residence & garage  
Type of construction c-b-s- Cost \$ 27,000.00 Foundation Concrete Pile Roof Tile

Plumbing Contractor Christen # 9619 Address Date Nov. 23-1936  
No. fixtures 17 Gas 3 Rough approved by Gas JJ Farrey- Dec. 20-1937 Date

No. Receptacles

Plumbing Contractor Address Date  
No. fixtures set Final approved by Date

Sewer connection Septic tank Make Date  
#12055- Stolpman 1 water closet - 1 lavatory - May 24-1939

Electrical Contractor Bankier Bros. Inc. # 7650 Address Date Nov. 23-1936

No. outlets 34 Heaters 4 Stoves 1 Motors 1 Fans Temporary service  
37  
Rough approved by Receptacles 41 Date

Electrical Contractor Bankier Bros. # 8390 Address Date Mar. 13-1937

No. fixtures set 35 Final approved by Lincoln Brown, Jr. Date

Date of service December 11-1937 # 14006: Bankier Bros; 1 motor - Dec. 6-1939

Alterations or repairs # 6402 Painting- interior - \$ 525..... Date Dec. 15, 1947  
BUILDING PERMIT # 31764 Painting, outside - Joe Teijeiro, contr. \$ 500... Dec. 21, 1949

#60082 Owner (Dilworth) Rearrange partitions, renew windows & rework kitchen, \$5000, 9/18/59  
# 60236 Beach York Corp. Install 1 - 10 ton AC package unit \$ 9000W 3,000.00 10/8/59  
#60712 Mystrand Lloyd Corp: Roof repairs, repair broken tiles & secure loose tiles - \$395 - Dec. 2, 1959  
#60839 Snapp, Inc: Demolishing using exp. precautions as per City Ordinances - \$500 - Dec. 17, 1959

#47278 Sam Hamilton 1 Gas Water heater 5/26/69

#626 Sam Hamilton: 1-15 ton chiller 5/27/69

#86507 - Sheppard Roofing - reroof \$4,000.00 4/19/71

#08629-Calumet Windows-Install 44 aluminum windows-\$3386-219-76

#90222 Swimming pool/James M. McGrath Swimming Pools, Inc/\$25,000/9/8/80

#M04766 1-Central air-conditioning, 15 ton chiller/Rich Air-Conditioning, Inc/\$10,300/9/9/80

#19205 E.W. Reed Inc/repairs & remodeling/\$2,700/11-4-80

#21105 10/27/81 E.W. Reed, Inc. - add one bathroom as per plans \$6,000.

# #M05582 1/11/82 James McGrath Swimming Pools - pool heater 175,000 btu valuation \$1,000.

#21587 1/29/82 Construction Resources of America - post and beam porch over existin patio \$9,000.

#M06597 2/15/84 Classic Air Inc - central strip, 1-4 ton air cond central

#25762 8/16/84 owner/bldger - new roof & siding per SFBC 3403 3.5 sqs \$1,500.

#25801 8/28/84 owner-bldger repair wooden siding on exist garage/studio (repair exist only) \$300.

#26001 10/8/84 Doral Roofing Corp - reroof 8 sqs \$3,000.

#### PLUMBING PERMITS

#41903 J.E. Blackwell: 2 sinks, 1 laundry washing machine, 1 dish washing machine, 1 safe waste drain, 1 elec. water heater -  
October 19, 1959

#58844 Swimming pool/James M. McGrath Swimming Pools Inc/9/11/80

1-26-81/#59169/1 heater replacement/Lindgren/\$10

2-12-81/#59248/1 gas meter set/Peoples Gas System/\$5

#59835 10/30/81 Lingren Plumb - 1 rgh, 1 set floor drain, 1 rgh, 1 set lavatory, 1 rgh, 1 set water closet

#### ELECTRIC PERMITS

#94337 L. C. Igner Elec: 6 switch outlets, 4 receptacles, 4 light outlets, 4 fixtures, 1 iron outlet, 1 water heater outlet,  
1 range outlet, 7 appliance outlets, 3 centers of distrib, 1 service equip, 1 motor change, 6 motors(1HP), 2 motors(2-3HP),  
October 13, 1959 OK 4/30/60 Higgins

12-2-80/#76776/10 combination switch, light & receptacle, 1 pool motor(1-3hp/\$14/Lee Electric

#77572 11/10/81 R & L Electric - 2 switch outlets, 3 light outlets, 1 receptacles, 1 water heater, 1 motor 0-1 hp

#79229 2/27/84 R & L Elect - 1-4 ton air cond, 1-20 kw strip heater (double fee)

BUILDING PERMITS: #5314 - Certificate of Occupancy - Re-issue - L.G.S. Associates, Inc. - 3-22-88  
#BS891496 - 6-16-89 - Groden Stamp Const. - Partial demo interior - \$30,000.00  
#BS891921 - 8-18-89 - Affordable Painting Service - Interior and exterior painting - \$39,000.00  
#BS892083 - 9-14-89 - Howe Construction - Reroof 8000 sq. ft. flat roof - \$20,000.00  
#BM891200 - Chanin Air - Space heaters, 140-279ton a/c central, duct work, 6fans mechanical ventilation, drains by others 1 wall a/c 8,800 BTU's - 9-14-89  
#BS890067 - 10-16-89 - Supreme Alumn. Product - Replace 260 existing windows - \$75,000.00

ELECTRICAL PERMITS: #BE891176 - Land & Sea Electric - Demolition (only) - 6-12-89  
#BE891435 - K&R Electric - Electrical demolition only - 7-27-89  
#BE890003 - Mabri Electric - New smoke detectors (137) - 10-2-89  
#BE890103 - K&R Electric - New electrical repairs (Rooms, a/c, gen) - 10-19-89

PLUMBING PERMITS: #BP891087 - A Sentry Plumbing - Water/sewer/gas demo - 8-15-89  
#BP891192 - Wiginton Sprinklers - New fire sprinkler system - 9-26-89  
#BP890033 - A Sentry Plumbing - Remolding new fixtures - 10-4-89

## COASTAL CONTROL ZONE

## CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED

1701 Collins Ave.

16479

DATE	PROCESS	DESCRIPTION	WORK	CUMULATIVE	APPRAISED BLDG.			BUILDING
ISSUED	NO.	OF WORK	COST	WORK COST	VALUE BEFORE REMODEL	%	COMMENTS	PERMIT NO.
6-16-89		PARTIAL demo interior	\$30,000.00					BS891496
8-18-89		INTERIOR & EXTERIOR PAINTING	\$39,000.00					BS891921
9-14-89		REEROOF 8000 sq. ft.	\$20,000.00					BS892083
10-13-89		REPLACE 260 EXISTING WINDOWS	\$75,000.00					BS890067

CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED

DATE	PROCESS	DESCRIPTION	WORK	CUMULATIVE	APPRAISED BLDG.		BUILDING
ISSUED	NO.	OF WORK	COST	WORK COST	VALUE BEFORE REMODEL	%	PERMIT NO.



PERMIT #

B0401561

75

COMPLETE THE NECESSARY SECTIONS OF THE UNIFORM ROOFING PERMIT APPLICATION FORM AND ATTACH THE REQUIRED DOCUMENTS AS NOTED BELOW

Roof System	Required sections of the	Attach
Low Slope Application	Permit Application	
Prescriptive (2/2)		

Roof System	Required sections of the Permit Application Form	Attachments Required See List Below
Low Slope Application	A.H.C.	1,2,3,4,5,6,7
Prescriptive RITE RAS 150 Application Sample	A.C.C.	1,2,4,5,6,7
Concrete or Clay Tile	A.B.D.	1,2,4,5,6,7
Metal Roof	A.H.D.E.	1,2,4,5,6,7
Wood Shingles and Shakes	A.B.D.	1,2,4,5,6,7
Other	A.B.D.	1,2,4,5,6,7
	As Applicable	1,2,3,4,5,6,7

REQUIRED ATTACHMENTS

- ## REQUIRED ATTACHMENTS
1. Fax Directory Listing Page
  2. From Notice of Acceptance:
    - Front Page
    - Specific System Description
    - Specific System Limitations
    - General Limitations
    - Applicable Detail Drawings
  3. Design Calculations (see Chapter 10, or if applicable, RAS 127 or RAS 128)
  4. Other Component Notes (if applicable)
  5. Municipal Permit Application(s)
  6. Owners Notification for Roofing Considerations (if roofing Only)
  7. Any Required Roof Testing Calculations/Documentation
- Any other additional information:

Any other additional data reasonably required by the Building Official to determine the integrity of the roofing system.

Contractor's Name Wentworth Cattle Project No. 100 100  
Job Address 31 Larpac Lane 100 100 100 100  
Roof Category  
☒ Low slope ☐ Mechanically Attached Tile ☒ Shingle/Asph/Flt Sls Tile  
☐ Asphalt Shingles ☐ Metal Panel Shingles ☐ Wind Shingles/Slates  
☐ Precast/Prefab Concrete ☐ Plastic/FRP  
New Roof ☒ Re-roofing ☐ Recovering ☐ Repair ☐ Maintenance  
Roof System Information  
City of San Jose

[illegible][illegible][illegible]

A hand-drawn diagram of a roof structure. The diagram shows a cross-section of a roof with various components labeled. At the top, a line is labeled "Stone Slab". Below it, a horizontal line is labeled "Roofing". A vertical line on the left is labeled "3/4\" Slab". A horizontal line in the middle is labeled "Wood Beam". Below the wood beam, a horizontal line is labeled "2\" Ply Truss". A vertical line on the right is labeled "Wall". A horizontal line on the right is labeled "Waterproofing". A horizontal line on the right is labeled "L. Flashing". A horizontal line on the right is labeled "Transmitted S.W.". A horizontal line on the right is labeled "Waterproofing". A horizontal line on the right is labeled "W.T.L. on the side of roof".

Section D (Steep Sloped Roof System)

Roof System Manufacturer: FMJ E & S

Notice of Acceptance Number: 01-0417-09

Minimum Design Wind Pressures, If Applicable (From ASCE 177 or Calculations):

F1: 47.6 F2: 100.6 F3: 100.6

Maximum Design Wind Pressures, If Applicable (From ASCE 177 or Calculations):

F1: 100.6 F2: 100.6 F3: 100.6

Method of tile attachment: Adhesive

30 #

Deck Type SPG 1x6

Underlayment Type WURO

Insulation 30 #

Fur Barrier n/a

Fastener Type & Spacing 1/2" made x 4 in. cap.

Adhesive Type Apheel

Type Cap Sheet 40 #

Roof Covering 10352-2 9" Flat

Type & Size Drop 3x3 "ado.

Method 1 - Moment Based Tie Calculations Per RAS 127

Method 2 "Simplified Life Calculation Per Table Below"

Required Moment of Resistance ( $M_R$ ) From Table Below =

NOA  $M_R$ : 21.7  
 NOA  $M_R$ : 21.7  
 NOA  $M_R$ : 21.7

Mean Roof Height Roof Slope	Required Moment Resistance					NOA $M_R$
	15°	20°	25°	30°	40°	
2.12	12.4	20.5	23.2	26.5	40.0	
4.12	12.4	18.4	19.2	19.2	30.2	
6.12	12.4	14.4	16.0	17.4	24.2	
8.12	12.4	10.4	12.0	13.4	18.2	
9.12	12.4	8.4	9.6	10.4	14.2	
10.12	12.4	6.4	7.2	7.6	10.2	
11.12	12.4	4.4	4.8	4.8	6.2	
12.12	12.4	2.4	2.4	2.4	2.2	

NO table must be used in conjunction with a list of moment based data for  
 10 of Raft and Systems

partly based the system

partly based the system

[illegible]

**Owner's Notification for Roofing Permits issued under the Florida Building Code**  
Section 1524 - High Velocity Hurricane Zones Required Owners Notification for Roofing Code

between the owner and the contractor. The owner's initial in the adjacent box indicates that the

1.1.1 Aesthetics Workmanship The workmanship of Chapter 15 (High Velocity Hurricane Zone) is for the purpose of providing that the roof system meets the aesthetic and water exclusion performance standards. Aesthetic issues are not a restoration and water exclusion provisions. Aesthetic issues such as color or architectural appearance, that are not part of the zoning code, should be addressed as part of the agreement between the owner and the contractor.

1.1.2 Restoring Wood Decks When restoring or replacing the existing wood roof deck may have to be replaced in accordance with the current provisions of Chapter 15 (High Velocity Hurricane Zone Building Code). The roof deck is usually replaced prior to removing the existing roof system.

1.1.3 Common Roofs Common roofs are those which have no visible delineation between roofing units (i.e. hawthorne, concanum, etc.). In Chapter 15 (High Velocity Hurricane Zone Building Code) and exposed ceilings. Exposed, clean beam ceilings are where the underside of the roof decking has full penetrations of the underside of the decking may not be performed.

1.1.4 Exposed Ceilings Exposed, clean beam ceilings are where the underside of the roof decking may cause water to pond (accumulate) in low lying areas, etc. It is not acceptable. The Florida Building Code requires the ponding to be removed. The roof decking may not be performed. Therefore, the life expectancy and performance of the new roofing system. Ponding conditions may not be corrected.

1.1.5 Overlaid Scaffolding (wall outlets) It is required that any new roof system be installed from a built up of water. Overlaid roof walls or other roof extensions may not be installed or discharged or otherwise supported. Roofing conditions may not be corrected.

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1.1.7 Ventilation Most roof structures should have some ability to vent natural air flow through the roof or the structural elements (the building itself). The existing structure of the building may not be required. It may be beneficial to consider additional venting which can result in venting the service life of the roof.

Owner's/Agent's Signatures \_\_\_\_\_ Date \_\_\_\_\_

Contractor's Signature \_\_\_\_\_

**PUBLIC WORKS  
PLAN REVIEW NOTICE**  
Phone 335-673-7080 Fax 335-473-7029

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR  
OBTAINING BUILDING PERMITS ONLY.

As construction and/or use of equipment in the right-of-way and/or  
sewerage, requires a separate Public Works Department permit.

Permit Requirements: Proof of existing sidewalk, seal area conditions  
(anchored and in place) of sidewalk to 20' x 6' min.  
(Public Works inspection of the right-of-way will be required prior to  
installation of the sidewalk.)

Approved/Reviewed By: *[Signature]* Date: *1-14-03*

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installation of the sidewalk.)

Approved/Reviewed By: *[Signature]* Date: *1-14-03*

31 La Merce Cr  
01-20-09  
160401561





Internet mail address: [postmaster@belfingrodonline.com](mailto:postmaster@belfingrodonline.com) Home page: <http://www.belfingrodonline.com>

2 Roofing Product Control Examiner

Frank Zelonga, RRC  
Racing Product Control Examiner

**Frank Zulaga, RRC**  
**Roofing Product Control Examiner**

Internet e-mail address: [patrick.hay@eddygordon.co.uk](mailto:patrick.hay@eddygordon.co.uk) ● Homepage: <http://www.eddygordon.co.uk>

  
Frank Salzano, RBC  
Reading Product Control Dept.



ROOFING SYSTEM APPROVAL  
 Date of Approval: 11/06/08  
 Product Name: GAF Mineral Shield  
 Manufacturer: GAF Materials Corp.  
 See General Limitation #1

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

Product	Dimensions	Test Specification	Product Description
GAF Asphalt Concrete Primer (Matrix™ 307 Primer)	5.55 gallons	ASTM D 41	Asphalt concrete primer used to promote adhesion of asphalt in built up roofing.
GAF Mineral Shield Granules	60 lb. Bags, 100 lb. Bags	ASTM D 1563	Granules for surfacing of exposed asphalt, cold process cement or emulsion. GAF Mineral Shield Granules shall be used for flashing applications only.
GAF WeatherCoat® Emulsion (Matrix™ Emulsion)	5 gallons	ASTM D 1227	Surface coating for smooth surfaced roofs.
GAF Premium Fiberglass Reinforced Matrix™ System Pro Aluminum Roof Coating (Matrix™ System Pro Aluminum Roof Coating Fiberglass Reinforced Matrix™ System Pro)	1.5 gallons	ASTM D 2524	Fiberglass reinforced aluminum coating.
GAF JotBlack All Weather Plastic Cement (Matrix™ Standard WetDry Roof Cement 204)	1.5 gallons	ASTM D 3019	Refined asphalt blended with a mineral stabilizer and fibers. Permits adhesion to wet and dry surfaces.
GAFGLAS #75-D	39.37" (1 meter) Wide	ASTM D 4601	Asphalt impregnated and coated glass mat base sheet.
GAFGLAS #80 Ultima™ Base Sheet	39.37" (1 meter) Wide	ASTM D 4601	Asphalt impregnated and coated, fiberglass base sheet.
GAFGLAS Flex Ply™ 6	39.37" (1 meter) Wide	ASTM D 2178	Type IV asphalt impregnated glass felt with asphalt coating.
GAFGLAS Ply 4.0	39.37" (1 meter) Wide	ASTM D 2178	Type IV asphalt impregnated glass felt with asphalt coating.
GAFGLAS Mineral Surface Cap Sheet	39.37" (1 meter) Wide	ASTM D 3909	Asphalt coated, glass fiber mat cap sheet surfaced with mineral granules.
GAFGLAS 9	39.37" (1 meter) Wide	ASTM D 3072	Fiberglass base sheet coated on both sides with asphalt. Surfaced on the bottom side with mineral granules embedded in asphaltic coating with factory performance.
STRATAVENT®	39.37" (1 meter) Wide	ASTM D 1897	Fiberglass base sheet coated on both sides with asphalt. Surfaced on the bottom side with mineral granules embedded in asphaltic coating with factory performance.

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Product	Dimensions	Test Specification	Product Description
GAFGLAS 9	39.37" (1 meter) Wide	ASTM D 3072	Fiberglass base sheet coated on both sides with asphalt. Surfaced on the bottom side with mineral granules embedded in asphaltic coating with factory performance.
STRATAVENT®	39.37" (1 meter) Wide	ASTM D 1897	Fiberglass base sheet coated on both sides with asphalt. Surfaced on the bottom side with mineral granules embedded in asphaltic coating with factory performance.
RUBEROID® SBS Heat-Weld™ Smooth	1 meter (39.37") Wide	ASTM D 6164	Non-Woven Polyester mat coated with polymer modified asphalt and surfaced with mineral granules.
RUBEROID® SBS Heat-Weld™ Granule	1 meter (39.37") Wide	ASTM D 6164	Non-Woven Polyester mat coated with polymer modified asphalt and surfaced with mineral granules.
RUBEROID® SBS Heat-Weld™ 170 FR	1 meter (39.37") Wide	ASTM D 6164	Non-Woven Polyester mat coated with fire retardant polymer modified asphalt and surfaced with mineral granules.
RUBEROID® SBS Heat-Weld™ PLUS	1 meter (39.37") Wide	ASTM D 6164	Non-Woven Polyester mat coated with polymer modified asphalt and surfaced with mineral granules.
RUBEROID® SBS Heat-Weld™ PLUS FR	1 meter (39.37") Wide	ASTM D 6164	Non-Woven Polyester mat coated with fire retardant polymer modified asphalt and surfaced with mineral granules.
RUBEROID Modified Base Sheet	39.37" (1 meter) Wide	ASTM D 4601, Type II, UL Type G2 BUR	Premium glass fiber reinforced SBS modified base sheet.
RUBEROID Modified Rhinex Adhesive	5 gallons	ASTM D 3019	Non-Woven Polyester mat coated with polymer modified asphalt and surfaced with mineral granules.
RUBEROID Modified Rhinex Heat-Weld™ 25	1 meter (39.37") Wide	ASTM D 6164	Non-Woven Polyester mat coated with polymer modified asphalt and surfaced with mineral granules.
RUBEROID MOP Smooth	1 sq. roll 100 lb.	ASTM D 5147	Non-woven polyester mat coated with polymer modified asphalt and surfaced with mineral granules.
RUBEROID MOP PLUS	39.37" (1 meter) Wide	ASTM D 6164	Non-woven polyester mat coated with polymer modified asphalt and surfaced with mineral granules.
RUBEROID MOP 170 FR	39.37" (1 meter) Wide	ASTM D 6164	Non-woven polyester mat coated with fire retardant polymer modified asphalt and surfaced with mineral granules.
RUBEROID MOP FR	39.37" (1 meter) Wide	ASTM D 6164	Non-woven polyester mat coated with fire retardant polymer modified asphalt and surfaced with mineral granules.
RUBEROID TORCH Smooth	39.37" (1 meter) Wide	ASTM D 6222	Heavy duty, polyester reinforced, asphalt modified bitumen membrane, smooth surface.

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Product	Dimensions	Test Specification	Product Description
RUBEROID TORCH	39.37" (1 meter) Wide	ASTM D 6222	Heavy duty, polyester reinforced, asphalt modified bitumen membrane, granule surface.
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Product	Dimensions	Test Specification	Product Description
Tile-Mate Modified Cap	1 sq. roll 100 lb.	ASTM D 5147	Non-woven polyester mat coated with polymer modified asphalt and surfaced with mineral granules. The modified asphalt is applied to the underside of the mat.
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Product Name	Product Description	Manufacturer (With Current NOA)
GAITEMP Isotherm R, RA, RN & Composite Energy Guard RA	Polyisocyanurate foam insulation with high density fiberboard or Phenolic	GAF Materials Corp.
GAITEMP Isotherm R, RA, RN & Composite Energy Guard RA	Polyisocyanurate foam insulation with high density fiberboard or Phenolic	GAF Materials Corp.
GAITEMP Isotherm R, RA, RN & Composite Energy Guard RA	Polyisocyanurate foam insulation with high density fiberboard or Phenolic	GAF Materials Corp.
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GAITEMP Isotherm R, RA, RN & Composite Energy Guard RA	Polyisocyanurate foam insulation with high density fiberboard or Phenolic	GAF Materials Corp.
GAITEMP Isotherm R, RA, RN & Composite Energy Guard RA	Polyisocyanurate foam insulation with high density fiberboard or Phenolic	GAF Materials Corp.
GAITEMP Isotherm R, RA, RN & Composite Energy Guard RA	Polyisocyanurate foam insulation with high density fiberboard or Phenolic	GAF Materials Corp.

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GAITEMP Isotherm R, RA, RN & Composite Energy Guard RA	Polyisocyanurate foam insulation with high density fiberboard or Phenolic	GAF Materials Corp.
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 Expiration Date: 11/06/08  
 Approval Date: 11/06/08  
 Page 3 of 32





31 La Lure cr  
B0401561

**CITY OF MIAMI BEACH**  
**Building Department**  
**1700 Convention Ctr Drive, 2nd Floor**  
**Miami Beach, Florida 33139**

**B1001245 APP**

**Inspections: (305) 673-7370**

**Office: (305) 673-7610**

**Application-Work Permit**

**01-11-2010**

**Activity Number: B1001245**

Status: APPROVED

Issued By: BUILTRIL

Site Address: 31 LA GORCE CR MBCH

Applied: 01/11/2010

Parcel #: 32100030320

Approved: 01/11/2010

Completed:

To Expire: 07/10/2010

Valuation: \$1,520.00

Applicant: ALL AMERICAN DOORS INC  
8155 NW 93 ST  
MIAMI FL 33166  
305-885-8070

Property Owner: HULET PROPERTIES NV  
31 LA GORCE CIR  
MIAMI BEACH FL 331414519

Description: Rplc (2) garage doors.

Inspector Area: s

Class Code: r3

**DETAIL LIST**

**Alteration/Repair Fees**

Alteration Bulding/Structures - Per Costs:	\$1,520.00	\$63.00
Awning, Canopy, Patio Cover - Per Costs:	\$0.00	\$0.00
Area Under Roof - RADON - Per Sq.Ft.:	0	\$0.00
Walk-Thru - Per Valuation:	\$0.00	\$0.00
Repairs to Building/Structure - Per Costs:	\$0.00	\$0.00
Roofing or Re-roofing - Per Sq.Ft.:	0	\$0.00
Window/Doors - Per # of:	0	\$0.00
Signs 36-4 (Writer/Erect) - Per Sq.Ft.:	0	\$0.00
Fence and/or Wall - Per Linear Feet:	0	\$0.00
Partial Demo (Struct, Sign, Wall) - Per Costs:	\$0.00	\$0.00
Swimming Pool - Per Gallon:	0	\$0.00
Painting - Per Costs:	\$0.00	\$0.00
Sandblasting - Per Costs:	\$0.00	\$0.00
Paving - Per Sq.Ft.:	0	\$0.00
Concrete Slab - No Paving - Per Sq.Ft.:	0	\$0.00
Trees - Per # of:	0	
Hedges - Per Linear Feet:	0	
Groundcover - Per Sq.Ft.:	0	
Landscaping Fee:		\$0.00
Other Fees:		\$0.00
Penalty Fee (If Applicable):		\$0.00



**Activity Number: B1001245****Fire Safety Fees**

New Building or Addition - Per Sq.Ft.:	0	\$0.00
Storage/Industrial Bldg - E & F Occup - Per Sq.Ft.:	0	\$0.00
Greenhouse/Argiculture on Premises - Per Sq.Ft.:	0	\$0.00
Screen Enclsoure/Trail on Premises - Per Sq.Ft.:	0	\$0.00
SS Underground Tanks/App Shelter - Per #:	0	\$0.00
Construction not shown Above - Per Costs:	\$0.00	\$0.00
Alt/Repair Building/Structure - Per Costs:	\$0.00	\$0.00

**Marine Structure Fee**

Dock Area - Per Sq.Ft.:	0	\$0.00
Seawall - Per Linear Feet:	0	\$0.00
Boat Lifts, Davits, Hoist - Per # of:	0	\$0.00
Batter, Mooring, Dock Piles - Per # of:	0	\$0.00
Marine Structure Alt/Repair - Per Costs:	\$0.00	\$0.00

**SFBC Compliance Surcharge**

New Const/Add - Res/Mult-Fam/Comm - Per Sq.Ft.:	0	\$0.00
New Const/Add - Strg/Ind/Msc - Per Sq.Ft.:	0	\$0.00
Cost for Other Construction:		\$0.00

**Training Fee**

Training Fee:		\$2.00
Sanitation Fee:		\$20.00

**Additional Fees**

1st Reinspection:		\$0.00
Continued Reinspections - Per # of:	0	\$0.00
Building Joint Inspections - Per # of:	0	\$0.00
Change of Contractor Per # of:	0	\$0.00
Permit Extension - Per # of:	0	\$0.00

Residential Card:

Commercial Card:

Permit Card Replacements: \$0.00

Lost Plan Fee - SF: \$0.00

Lost Plan Fee - Other: \$0.00

Overtime Inspection Fees: \$0.00

Total of All Fees: \$101.20

Total of Payments: \$101.20

Balance Due: \$0.00





CITY OF MIAMI BEACH  
Miami Beach, Florida 33139

**RECEIPT OF PAYMENT**

*(This is not a permit it is a receipt only)*

01-11-2010

Receipt: R100005916

Activity Number: B1001245  
Status: INREVIEW

Date Applied: 01/11/2010  
Date Completed:

Date Issued:  
Date Expired:

Entered By: BUILTRIL

Site Address: 31 LA GORCE CR MBCH  
Parcel #: 32100030320

Balance Due: \$0.00  
Valuation: \$1,520.00

Applicant: ALL AMERICAN DOORS INC  
8155 NW 93 ST  
MIAMI FL 33166  
305-885-8070

Owner: HULET PROPERTIES NV  
31 LA GORCE CIR  
MIAMI BEACH FL 331414519

Description: Rplc (2) garage doors.

**Payments made for this receipt:**

Type	Method	Desct.	Amount
Payment	Check	13452	101.20

Payment Made: 01/11/2010 09:48 AM Accepted By: LT

Total Payment: 101.20 Payee: all american doors inc.

**Current Payment Made to the Following Items:**

Account Code	Description	Amount
011800032210	Building Permits	63.00
011800032263	Zoning	15.00
435800036329	Sanitation Impact Fees	20.00
601700022921	SFBC Compliance Fee	1.20
601700022925	Training	2.00

**Account Summary for Fees and Payments:**

Item#	Description	Account Code	Tot Fee	Paid	Prev. Pmts	Cur. Pmts
10	Building Permits	0118000322100	63.00	63.00	.00	63.00
270	Zoning	0118000322630	15.00	15.00	.00	15.00
420	SFBC Compliance Fee	6017000229217	1.20	1.20	.00	1.20
430	Training	6017000229253	2.00	2.00	.00	2.00
440	Sanitation Impact Fe	4358000363293	20.00	20.00	.00	20.00





MIAMI BEACH

BUILDING DEPARTMENT  
1700 Convention Center Drive  
Miami Beach, FL 33139  
Office: 305-673-7610 Fax: 305-673-7857

\$112.20

## WORK PERMIT APPLICATION

FLORIDA BUILDING CODE IN EFFECT

Date 12/01/09

Permit # 24001245

If subsidiary or revision: provide the Master building permit number here B: \_\_\_\_\_

IS THIS PERMIT ASSOCIATED WITH A VIOLATION? If so; BV # \_\_\_\_\_

Is this a City Owned Property? ☐ Yes ☒ No HISTORIC DISTRICT ☐ Yes ☒ No

For DEMOLITION provide the year the structure was built: \_\_\_\_\_

Type of Property: ☒ Single Family ☐ Commercial ☐ Multi-Family/Condo ☐ \*Condo Conversion

TYPE OF IMPROVEMENT: ☒ Building ☐ Electrical ☐ Plumbing ☐ Mechanical

☐ New Construction ☒ Alteration/Remodel/Renovation ☐ Construction Revision

Description of Work: REPLACING 2 GARAGE DOORS

Job Value \$ 1520<sup>00</sup> Square Feet 64 (2) S/F

Linear Feet \_\_\_\_\_ Pool Gallonage \_\_\_\_\_ No. of units \_\_\_\_\_

Job Address 31 LAGORCE CIRCLE M BEACH 33141

Folio # 02-3210-003-0320

Owner/Builder JEAN H. BOULTON Drivers License No. \_\_\_\_\_

Address 31 LAGORCE CIR Unit # \_\_\_\_\_

City MIAMI BEACH State FL Zip 33141 Phone (305) 864 1390

Fee Simple Title Holder's Name (if other than owner) NA

Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_ Phone \_\_\_\_\_

Contractor ALL AMERICAN DOORS License No. 000018220

Address 8155 NW 93 ST

City MIAMI BEACH State FL Zip 33166 Phone 305 885 8088

Cell # 786 302 1819 E-mail \_\_\_\_\_ Fax # \_\_\_\_\_

☐ Architect \_\_\_\_\_ License No. \_\_\_\_\_

Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_ Phone \_\_\_\_\_

☐ Engineer \_\_\_\_\_ License No. \_\_\_\_\_

Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_ Phone \_\_\_\_\_



Bonding Company Name NA

Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_ Phone \_\_\_\_\_

Mortgage Lender's Name NA

Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_ Phone \_\_\_\_\_

This application is hereby made to obtain a permit to do the work and installations as indicated. I certify that all work will be performed to meet the standards of all laws and construction regulations in this jurisdiction. I understand that **SEPARATE PERMITS** are required for **Electrical, Mechanical, Plumbing, Signs, Swimming Pools, Spas, Windows, Sliding Glass Doors and Roofing.**

**\*CONDO CONVERSIONS are a change use of the building and require a new certificate of occupancy. If this application implies a condo conversion, it shall be clearly stated in the description and on the plans; otherwise, the certificate of occupancy will be denied.**

**OWNER'S AFFIDAVIT:** I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and Zoning.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies.

*Under penalties of perjury, I declare that to the best of my knowledge, the facts stated in this document are true. Any information found to be false may cause the revocation and/or denial of the permit and/or certificate of occupancy.*

If the contractor is going to be hired by the tenant, check here. ☐

Jean H. Boulton  
Signature of Owner or Agent

Signature of Tenant

[Signature]  
Signature of Qualifier

JEAN H. BOULTON  
Printed Name of Owner or Agent

Printed Name of Tenant

WIS TANNER  
Printed Name of Qualifier

Date 12/01/09

Date \_\_\_\_\_

Date 12/01/09

[Signature]  
Signature of Notary Public

Signature of Notary Public

[Signature]  
Signature of Notary Public

Identification Dhence

Identification \_\_\_\_\_

Identification KNOWN

Sworn to and subscribed before me this

Sworn to and subscribed before me this

Sworn to and subscribed before me this

18th day of Dec, 2009  
NOTARY PUBLIC-STATE OF FLORIDA  
(SEAL) Raul P. Martinez  
Commission #DD732653  
Expires: NOV. 26, 2011

\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_  
(SEAL)

21st day of Dec, 2009  
NOTARY PUBLIC-STATE OF FLORIDA  
(SEAL) Raul F. Martinez  
Commission #DD732653  
Expires: NOV. 26, 2011

**\*If you are applying for this permit as Owner/Builder, please sign below only.**

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. NOTICE OF COMMENCEMENT SHOULD BE FILED AT: 22 NW 1<sup>ST</sup> STREET, MIAMI, FL

STATE OF FLORIDA

COUNTY OF DADE

JEAN H BOULTON  
Print Owner's Name

Jean H. Boulton  
Owner's Signature

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by: \_\_\_\_\_

( ) Personally Known ( ) Produced Identification - Type of Identification \_\_\_\_\_

Signature of Notary Public

(Seal)

Application Approved By: \_\_\_\_\_ (Permit Clerk)





## Curaçao Commercial Register

### Excerpt from the Commercial Register

Registration number: 27777 (0)  
Date: January 5, 2010 Time: 4:51:01 PM

*OK to accept*

*[Signature]*

*1/11/10*

In the Commercial Register of the Curaçao Chamber of Commerce & Industry is registered under number 27777: Hulet Properties N.V.

Trade name	Hulet Properties N.V.
Legal form	Limited Liability Company
Official company name	Hulet Properties N.V.
Statutory seat	Curaçao
Date of incorporation	January 14, 1981
Date established	January 14, 1981
Authorized capital	U.S.A. Dollar 30,000.00
Issued capital	U.S.A. Dollar 6,000.00
Paid up capital	U.S.A. Dollar 6,000.00
Shares	There are different kinds of shares
Fiscal year	The fiscal year is equal to the calendar year
Address	Werfstraat 6 Curaçao Netherlands Antilles
Correspondence address	same as above
Object	Investment Company(8135), Finance Company(8137), Owning and Dealing in Real Estate(8311)

Official(s)	
1	
Function	Statutory director
Title description	Managing Director
Name	Covenant Managers N.V.
Address	Werfstraat 6 Curaçao Netherlands Antilles

Registration number official	31371
2	
Function	Statutory director
Title description	Managing Director
Name	Jean Hartley Boulton
Address	P.o. Box 929 Caracas Venezuela
Date of birth	August 3, 1928
Nationality	Venezuelan

Source: Registry-information Internet. This document is not an excerpt in accordance with article 19 paragraph 1 of the Commercial Register Decree (O.G. 1946 no. 41)





*M. Kromberg* Page 2

QUITCLAIM DEED

This Instrument  
Prepared By: Edric Hanson, Esq.  
Address: 1111 Kane Concourse, Suite 610  
Bay Harbor Islands, FL 33154  
Tel: (305) 864-9934

OFF: 1770402530 - 97R302733 1997 JUL 03 10:41

Identification (Folio) No(s): 02-3210-003-0320

DOCSTPDEE 3,900.00 BURTX 0.00  
HARVEY RUVIN, CLERK DADE COUNTY, FL

THIS QUITCLAIM DEED, Made this 23 day of May, A.D. 1997, between

JEAN HARTLEY BOULTON, A MARRIED WOMAN

of the County of Dade, in the State of Florida, party of the first part,

and BULET PROPERTIES, N.V. A NETHERLAND ANTILLES CORPORATION Reserving unto the Grantor's Husband, ANDRES BOULTON, a Life Estate in and to the property hereinbelow described of the County of Dade, in the State of Florida, whose post office address is 31 La Gorce Circle, La Gorce Island, Miami Beach, Fla. 33141 party of the second part.

Witnesseth, That the said party of the first part, for and in consideration of the sum of 750 and 00/100 ----- (\$750.00) Dollars, and other good and valuable considerations, to it in hand paid by the said party of the second part, the receipt whereof is hereby acknowledge, does hereby remise, release and quitclaim unto the said party of the second part, all of the right, title, interest, claim and demand which the said first party has in the following described lot, piece or parcel of land, situate, lying and being in the County of Dade, State of Florida, to-wit:

Lot 3 Block 11 of LA GORCE ISLAND  
according to the Plat thereof as recorded  
in Plat Book 34 at Page 83 of the Public  
Records of Dade County, Florida

The subject property is not now, nor has same ever been the homestead of the Grantor who resides in, and is a citizen of, Venezuela.

This is a transfer without consideration, and no consideration shall be imputed hereby.

TO HAVE AND TO HOLD The same together with all and singular the appurtenances thereunto belonging on in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said party of the first part, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

In Witness Whereof, The said party of the first part has hereunto set her seal the day and year first above written.

Signed, sealed and delivered  
in the presence of:

Witness Signature  
MARC HANSON  
Printed Name  
MARC HANSON  
Witness Signature  
EDRIC HANSON  
Printed Name  
EDRIC HANSON

Jean Hartley Boulton (L.S.)  
Grantor Signature  
JEAN HARTLEY BOULTON  
Printed Name  
31 La Gorce Cir. La Gorce Is.  
Miami Beach, Fla. 33141  
Post Office Address

STATE OF FLORIDA )  
COUNTY OF DADE )

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared JEAN HARTLEY BOULTON, A MARRIED WOMAN, known to me to be the persons described in and who executed the foregoing instrument, who acknowledged before me that she executed the same, that I relied upon the following forms of identification of the above-named person: personal knowledge and that an oath was taken.

23 WITNESS my hand and official seal in the County and State last aforesaid this day of May, 1997.

My Commission No.:  
Expires:

[Signature]  
Notary Signature



The positive and negative design windloads for the garage door opening(s) listed below are derived from the Florida Building Code (American Society of Civil Engineers, SEI/ASCE 7-05), Section 1619 for "components and cladding" (Exposure C), 146 mph wind velocity for Miami-Dade County.

**Address:** Jean H. Boulton  
31 La Gorge Circle  
Miami Beach, FL 33141, Miami-Dade County

**Garage Opening Size:** 8' 0" x 7' 9"

**Mean Roof Height:** Less than 15'

**Measured Minimum Building Dimension:** 52' 0"

**Measurement of Nearest Garage Door Opening to Building Corner:** 0' 0"

**Positive Design Load:** +41 PSF

**Negative Design Load:** -48 PSF

The following Clopay Building Products Company Doors meet the requirements for the stated loads:

Clopay Model 84A/93/94W9, 8'0" x 7'9", Approval # 08-0724.04, Dwg # 181706 Windload Capacity: +62/-72 PSF.

The design loads shown above area are based upon the measurements listed above for "enclosed" buildings, and require that the door being installed meets the requirements of Section 1626 of the 2007 Florida Building Code for windborne debris in high velocity hurricane zones.

The related calculations do not address the jambs or structural adequacy of the supporting members. The building official is the final determiner of the suitability of the garage door connections for the particular building or home at the designated location. The "structural interface" of the designated door is the existing door jamb. The structural capacity of the existing, designated door-jamb and associated building frame must be confirmed adequate by a certified registered professional engineer in the state of Florida. The mounting hardware designated for the subject door, and details for installation are provided on the certified approved drawing, as listed above.

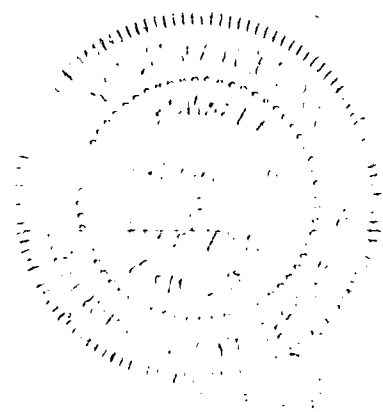
Scott Hamilton, P.E.  
Florida P.E. License No. 63286  
8585 Duke Blvd.  
Mason, OH 45040  
(513) 770-4800

12/15/2009

DRW/HPB:  
CONCURRENCY:  
PLUMBING:  
ELECTRICAL:  
MECHANICAL:  
FIRE PROTECTION:  
ENGINEERING:  
PUBLIC WORKS:  
STRUCTURAL:  
ELEVATOR:

1/11/10  
1/11/10  
1/11/10

0203



The positive and negative design windloads for the garage door opening(s) listed below are derived from the Florida Building Code (American Society of Civil Engineers, SEI/ASCE 7-05), Section 1619 for "components and cladding" (Exposure C), 146 mph wind velocity for Miami-Dade County.

**Address:** Jean H. Boulton  
31 La Gorge Circle  
Miami Beach, FL 33141, Miami-Dade County

**Garage Opening Size:** 8' 0" x 7' 9"

**Mean Roof Height:** Less than 15'

**Roof Slope:** Not provided (use greater than 10 degrees)

**Measured Minimum Building Dimension:** 52' 0"

**Measurement of Nearest Garage Door Opening to Building Corner:** 9' 6"

**Positive Design Load:** +41 PSF

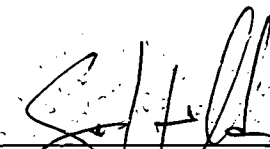
**Negative Design Load:** -44.9 PSF

**The following Clopay Building Products Company Doors meet the requirements for the stated loads:**

Clopay Model 84A/93/94W9, 8'0" x 7'9", Approval # 08-0724.04, Dwg # 101706, Windload Capacity: +62/-72 PSF.

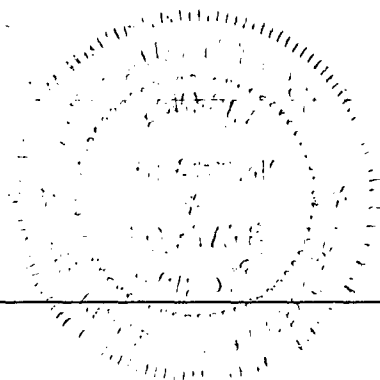
The design loads shown above area are based upon the measurements listed above for "enclosed" buildings, and require that the door being installed meets the requirements of Section 1626 of the 2007 Florida Building Code for windborne debris in high velocity hurricane zones.

The related calculations do not address the jambs or structural adequacy of the supporting members. The building official is the final determiner of the suitability of the garage door connections for the particular building or home at the designated location. The "structural interface" of the designated door is the existing door-jamb. The structural capacity of the existing, designated door-jamb and associated building frame must be confirmed adequate by a certified registered professional engineer in the state of Florida. The mounting hardware designated for the subject door, and details for installation are provided on the certified, approved drawing, as listed above.

  
\_\_\_\_\_  
Scott Hamilton, P.E.  
Florida P.E. License No. 63286  
8585 Duke Blvd.  
Mason, OH 45040  
(513) 770-4800

12/15/2009

020  
825





**MIAMI-DADE COUNTY**  
BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 372-6339

## NOTICE OF ACCEPTANCE (NOA)

[www.miamidade.gov/buildingcode](http://www.miamidade.gov/buildingcode)

**Clopay Building Products Company,**  
8585 Duke Boulevard  
Mason, OH 45040

### SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code, including the High Velocity Hurricane Zone.

**DESCRIPTION:** Steel Sectional Garage Door up to 9' wide w/ Optional Impact Resistant Lites

**APPROVAL DOCUMENT:** Drawing No. 101706, titled "Single-Car Steel Pan Garage Door with Opt. Impact Resist. Lites", sheet 1 of 1, dated 11/18/96, with last revision 7, dated 07/2008, prepared by Clopay Building Products Company, signed and sealed by Scott Hamilton, P.E., bearing the Miami-Dade County Product Control Revision stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

**MISSILE IMPACT RATING:** Large and Small Missile Impact Resistant

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**LIMITATION:** This approval requires the manufacturer to do testing of all coils used to fabricate door panels under this Notice of Acceptance. A minimum of 2 specimens shall be cut from each coil and tensile tested according to ASTM E-8 by a Dade County approved laboratory selected and paid by the manufacturer. Every 3 months, four times a year, the manufacturer shall mail to this office: a copy of the tested reports with confirmation that the specimen were selected from coils at the manufacturer production facilities. And a notarized statement from the manufacturer that only coils with yield strength of 34900 psi or more shall be used to make door panels for Dade County under this Notice of Acceptance.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises NOA # 03-0520.03 and consists of this page 1 and evidence pages E-1 and E-2, as well as approval document mentioned above.

The submitted documentation was reviewed by Carlos M. Utrera, P.E.

94/109



*Signature*  
8/4/08

NOA No 08-0724.04  
Expiration Date: September 25, 2013  
Approval Date: August 28, 2008  
Page 1



020  
343

**NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**

**A. DRAWINGS**

1. Drawing No. 101706, titled "Single-Car Steel Pan Garage Door with Opt. Impact Resist. Lites", sheet 1 of 1, dated 11/18/96, with last revision 7, dated 07/2008, prepared by Clopay Building Products Company, signed and sealed by Scott Hamilton, P.E.

**B. TESTS**

1. Test reports on
  - 1) Uniform Static Air Pressure Test, Loading per FBC TAS 202-94
  - 2) Large Missile Impact Test per FBC, TAS 201-94
  - 3) Cyclic Wind Pressure Loading per FBC, TAS 203-94
  - 4) Forced Entry Test, per FBC 2411 3.2.1, TAS 202-94
  - 5) Tensile Test per ASTM E8

Along with marked-up drawings and installation diagram of Clopay 9'x 8', 24 ga. steel garage door Model 94W9 with windows, prepared by American Test Lab, Inc., Test Report No. ATLNC 0610.01-08, dated 07/16/08, signed and sealed by David W. Johnson, P.E.

2. Test report on Salt Spray per ASTM B117 of painted G40 galvanized coated panels, prepared by Stork Materials Technology, Test Report No. 30160-04-63365, dated 01/26/05, signed by John D. Lee, P.E.

**C. CALCULATIONS**

1. Jamb anchor calculations, complying with FBC-2004, prepared by Clopay Building Products Company, dated 07/22/08, signed and sealed by Scott Hamilton, P.E.

**D. QUALITY ASSURANCE**

1. Miami Dade Building Code Compliance Office (BCCO)

  
8/4/08

Carlos M. Utrera, P.E.  
Product Control Examiner  
NOA No 08-0724.04

Expiration Date: September 25, 2013  
Approval Date: August 28, 2008

025  
25

Clopay Building Products Company

NOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED

**E. MATERIAL CERTIFICATIONS**

1. Test report on Accelerated Weathering Using Xenon Arc Light Apparatus per ASTM G155 of Lexan SLX2432T Clear Polycarbonate, prepared by Hurricane Engineering & Testing, Inc., Test Report No. **HETI-06-A002**, dated 12/04/06, signed by Rafael E. Droz-Seda, P.E.
2. Test report on Self-Ignition Temperature per ASTM D1929, Rate of Burn per ASTM D635, and Smoke Density per ASTM D2843 of the Lexan Plastic, prepared by ETC Laboratories, Test Report No. **ETC-06-1024-17496.0**, dated 05/26/06, signed by Joseph L. Doldan, P.E.

**F. STATEMENTS**

1. Statement letter of conformance issued by Clopay Building Products Company, dated 07/18/08, signed and sealed by Scott Hamilton, P.E.
2. Statement letter of no financial interest issued by Clopay Building Products Company, dated 07/18/08, signed and sealed by Scott Hamilton, P.E.

**G. OTHER**

1. Notice of Acceptance No. **03-0520.03**, issued to Clopay Building Products Company, approved on 09/04/03 and expiring on 09/25/08.



8/4/08

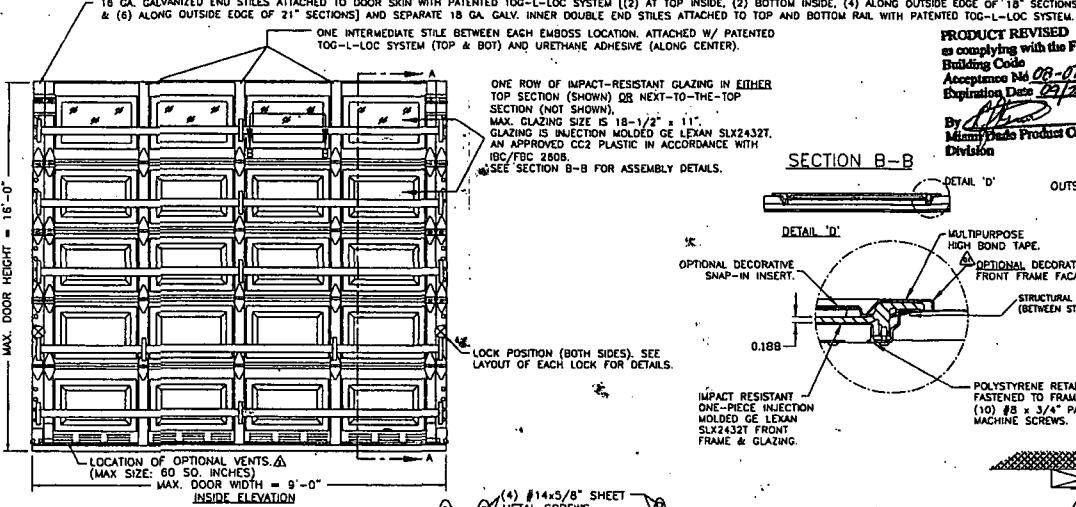
Carlos M. Utrera, P.E.  
Product Control Examiner  
NOA No 08-0724.04

Expiration Date: September 25, 2013

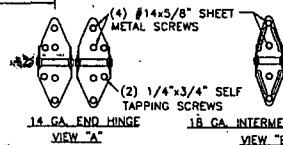
Approval Date: August 28, 2008

0203  
245

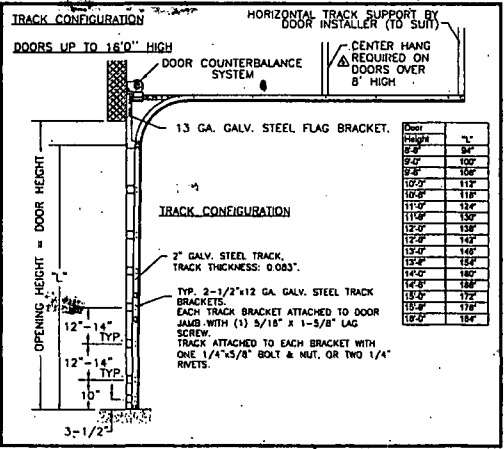
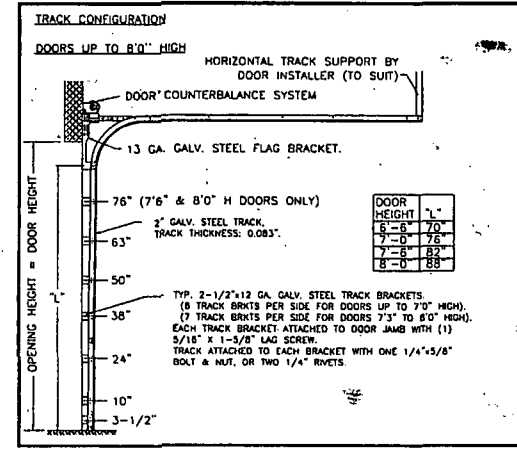
# CLOPAY MODELS 84A, 93, 94, 98; IDEAL MODELS 4RST, 4F; HOLMES MODELS 48, 48B



DOOR HEIGHT	NUMBER OF SECTIONS*
8'0" TO 7'0"	5
7'0" TO 6'0"	5
6'0" TO 5'0"	5
5'0" TO 4'0"	5
4'0" TO 3'0"	5
3'0" TO 2'0"	5
2'0" TO 1'0"	5
1'0" TO 0'0"	5

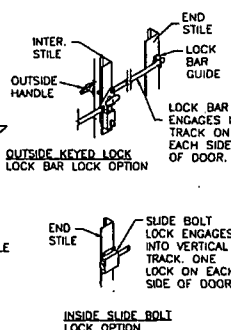
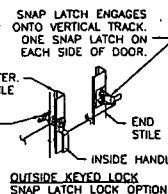
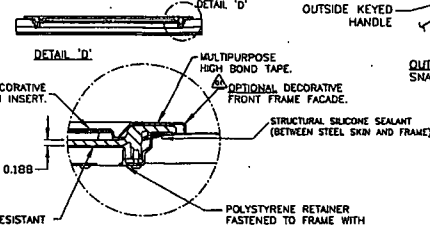


TRACK CONFIGURATION ABOVE THE DOOR OPENING DOES NOT AFFECT THE WIND LOAD RATING.



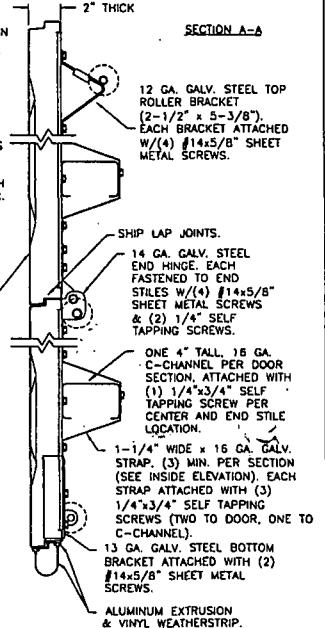
PRODUCT REVISED as complying with the Florida Building Code Acceptance 146-08-0124-03 Expiration Date 02/25/2013 By [Signature] Miami Dade Product Control Division

## SECTION B-B



NO.	DATE	REVISION
2	8/18/82	ADD VENT SIZE. ADD G-RD
3	1/2/2001	G-40 MIN. WAS G-60
4	5/2001	ADD EXTENDED HEIGHT MODELS
5	8/2003	REVISED LOCK NOTE
6	8/2008	ADDED OPTIONAL LITES. INCREASE DESIGN LOAD
7	7/2008	REVISED MAX. HT. MIN. YIELD. ADDED 48B

## SECTION A-A



## JAMB TO SUPPORTING STRUCTURE ATTACHMENT

- ALL THE LOAD FROM THE DOOR IS TRANSFERRED TO THE TRACK AND THEN FROM THE TRACK TO THE 2x6 VERTICAL SYP (GRADE #2 OR BETTER) JAMBS. NO LOAD FROM THE DOOR IS TRANSFERRED TO THE HORIZONTAL (TOP) JAMB.
- ALL JAMB FASTENERS MAY BE (BUT ARE NOT REQUIRED TO BE) COUNTERSUNK TO PROVIDE A FLUSH MOUNTING SURFACE.
- A 1/3 STRESS INCREASE EPM WIND LOAD WAS USED IN THE CALCULATION OF ALLOWABLE LOADS FOR ANCHORS AND FASTENERS FOR STEEL, CONCRETE AND MASONRY.

## WOOD FRAME BUILDINGS

STUD WALLS OF DOOR OPENING SHALL BE FRAMED SOLID BY NOT LESS THAN (3) 2x4 (OPENINGS UP TO 8'0" W) OR (3) 2x6 (OPENINGS UP TO 10'0" W) PRESSURE TREATED SYP (GRADE #2 OR BETTER) WOOD STUDS OF A STRESS GRADE NOT LESS THAN 1200 PSI NOMINAL EXTREME FIBER STRESS IN BENDING (F). STUD WALLS TO BE CONTIGUOUS FROM FOOTING TO THE BEAMS.

2x6 JAMB TO SUPPORTING STRUCTURE ATTACHMENT (NOT TO BE USED FOR ATTACHMENT OF TRACK BRACKETS)

BUILDING TYPE	FASTENER TYPE	MAXIMUM CENTER-TO-CENTER DISTANCE BETWEEN FASTENERS	STEEL WASHERS REQUIRED?
C-50 BLOCK (HOLLOW OR GROUTED)	1/4" x 3" (1-1/4" EMBED) ITW TAPCON CONCRETE ANCHOR (2-1/2" MIN. EDGE DISTANCE)	7"	1" O.D.
2,000 PSI MIN. CONCRETE	1/2" x 8" (1-3/4" EMBED) ITW TAPCON CONCRETE ANCHOR (2-1/2" MIN. EDGE DISTANCE)	11-7/8"	1" O.D.
1,500 PSI MIN. CONCRETE	1/2" x 8" (1-3/4" EMBED) ITW TAPCON CONCRETE ANCHOR (2-1/2" MIN. EDGE DISTANCE)	11-7/8"	1" O.D.
2,000 PSI MIN. CONCRETE	1/2" x 8" (1-3/4" EMBED) ITW TAPCON CONCRETE ANCHOR (2-1/2" MIN. EDGE DISTANCE)	11-7/8"	1" O.D.
WOOD FRAME	1/2" x 8" (1-3/4" EMBED) LAG SCREW (ASTM A307, GRADE A) (2-1/2" MIN. EDGE DISTANCE)	18-3/4"	1" O.D.

\* FIRST ANCHOR/SCREW STARTING FROM BOTTOM AT NO MORE THAN HALF OF JAMB OR CENTER DISTANCE. HIGHEST ANCHOR/SCREW INSTALLED AT LEAST AS HIGH AS THE DOOR OPENING HEIGHT.

DESIGN LOADS: +62.0 PSF & -72.0 PSF

SCOTT HAMILTON, P.E. FLORIDA P.E. No. 53286

CLOPAY BUILDING PRODUCTS COMPANY  
55555 DUKE BLVD  
MASON, OH 45040  
(513) 770-4800

DATE: 1/18/88  
BY: [Signature]  
CHECKED BY: [Signature]

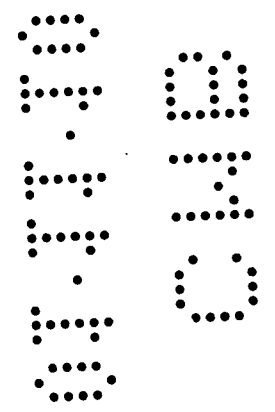
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100. 1/18/88

OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

*[Signature]* 1/11/10  
*[Signature]* 1/11/10  
*[Signature]* 1/11/10

BUILDING:  
ZONING:  
DEVELOPER:  
CONSTRUCTION:  
PERMITTING:  
INSPECTION:  
PLANNING:  
ENVIRONMENTAL:  
PUBLIC WORKS:  
STREETS:  
ELECTRICITY:

3160  
1600  
1600



**CITY OF MIAMI BEACH**  
**Building Department**  
**1700 Convention Ctr Drive, 2nd Floor**  
**Miami Beach, Florida 33139**  
**Inspections: (305) 673-7370**  
**Office: (305) 673-7610**

**B1103512 APP**

**Bldg Small Work Permit**

**06-08-2011**

**Activity Number: B1103512**

Status: APPROVED

Issued By: BUILMATN

Site Address: 31 LA GORCE CR MBCH  
Parcel #: 32100030320

Applied: 06/06/2011  
Approved: 06/08/2011  
Completed:  
To Expire: 12/05/2011

Valuation: \$12,150.00

Applicant: PERKINS ROOFING CORP  
575 NW 152 ST  
MIAMI FL 33169  
331414519  
305-687-6521

Property Owner: HULET PROPERTIES NV  
31 LA GORCE CIR  
MIAMI BEACH FL 33141-4519

Description: Re-roof upper tile roof.  
Inspector Area: C

Class Code: R3

**DETAIL LIST**

**Alteration/Repair Fees**

New Construction - Per Sq.Ft.:	0	\$0.00
Alteration Bulding/Structures - Per Sq.Ft.:	1300	\$190.00
Awning, Canopy, Patio Cover - Per Costs:	\$0.00	\$0.00
Area Under Roof - RADON - Per Sq.Ft.:	1300	\$0.00
Walk-Thru (Zoning)- Per Valuation:	\$12,150.00	\$10.00
Repairs to Building/Structure - Per Sq.Ft.:	\$0.00	\$0.00
Roofing or Re-roofing - Per Sq.Ft.:	1300	\$0.00
Window/Doors - Per # of Openings:	0	\$0.00
Signs 36-4 (Written/Direct) - Per Sq.Ft.:	0	\$0.00
Fence and/or Wall - Per Linear Feet:	0	\$0.00
Partial Demo (Struct, Sign, Wall) - Per Costs:	\$0.00	\$0.00
Swimming Pool - Per Gallon:	0	\$0.00
Painting - Per Costs:	\$0.00	\$0.00
Sandblasting - Per Costs:	\$0.00	\$0.00
Paving - Per Sq.Ft.:	0	\$0.00
Concrete Slab - No Paving - Per Sq.Ft.:	0	\$0.00
Trees - Per # of:	0	
Hedges - Per Linear Feet:	0	
Groundcover - Per Sq.Ft.:	0	
Landscaping Fee:		\$0.00
Other Fees:		\$0.00
Penalty Fee (If Applicable):		\$0.00



**Activity Number: B1103512****Fire Safety Fees**

New Building or Addition - Per Sq.Ft.:	0	\$0.00
Storage/Industrial Bldg - E & F Occup - Per Sq.Ft.:	0	\$0.00
Greenhouse/Argiculture on Premises - Per Sq.Ft.:	0	\$0.00
Screen Enclsoure/Trail on Premises - Per Sq.Ft.:	0	\$0.00
SS Underground Tanks/App Shelter - Per #:	0	\$0.00
Construction not shown Above - Per Costs:	\$0.00	\$0.00
Alt/Repair Building/Structure - Per Costs:	\$0.00	\$0.00
Fire Fee		\$0.00

**Marine Structure Fee**

Dock Area - Per Sq.Ft.:	0	\$0.00
Seawall - Per Linear Feet:	0	\$0.00
Boat Lifts, Davits, Hoist - Per # of:	0	\$0.00
Batter, Mooring, Dock Piles - Per # of:	0	\$0.00
Marine Structure Alt/Repair - Per Costs:	\$0.00	\$0.00

**SFBC Compliance Surcharge**

New Const/Add - Res/Mult-Fam/Comm - Per Sq.Ft.:	0	\$0.00
New Const/Add - Strg/Ind/Msc - Per Sq.Ft.:	0	\$0.00
Cost for Other Construction:		\$0.00
SFBC Compliance:		\$7.80

**Training Fee**

Training Fee:	\$11.40	\$0.00
Sanitation Fee:		\$36.45
Fire Training Fee:		\$0.00
Public Works Fee:		\$0.00

**Additional Fees**

1st Reinspection:		\$0.00
Continued Reinspections - Per # of:	0	\$0.00
Building Joint Inspections - Per # of:	0	\$0.00
Change of Contractor Per # of:	0	\$0.00
Permit Extension - Per # of:	0	\$0.00

Residential Card:

Commercial Card:

Permit Card Replacements: \$0.00

Lost Plan Fee - SF: \$0.00

Lost Plan Fee - Other: \$0.00

Overtime Inspection Fees: \$0.00

Total of All Fees: \$261.35

Total of Payments: \$261.35

Balance Due: \$0.00



MIAMIBEACH

**BUILDING DEPARTMENT**

1700 Convention Center Drive | Miami Beach, FL 33139

Office: 305.673.7610 | Fax: 305.673.7857

**WORK PERMIT APPLICATION**

FLORIDA BUILDING CODE 2004 EDITION

Date: <u>6/6/11</u>		<b>DATA INFORMATION</b> PLEASE PRINT (USE BLACK OR BLUE INK)		Permit No: <u>B/103512</u> (For office use only)	
Parcel/ Folio No. <u>02-3210-003-0320</u>			Job Address: <u>31 Lg Gorce Cir. MB 33141</u>		
If subsidiary or revision, provide the Master Building Permit Number:			Is this permit associated with a violation? If yes, BV #:		
<b>Type of Service:</b> Check Applicable		<input checked="" type="checkbox"/> New Permit Application		<input type="checkbox"/> Revision	
		<input type="checkbox"/> Architect		<input type="checkbox"/> Shop Drawings	
		<input type="checkbox"/> Engineer		<input type="checkbox"/> Occupant Content	
<b>Type of Permit:</b> Check Applicable Provide permit detail on page 4		<input checked="" type="checkbox"/> Building		<input type="checkbox"/> Electrical	
		<input type="checkbox"/> Mechanical		<input type="checkbox"/> Plumbing	
		<input type="checkbox"/> Fire		<input type="checkbox"/> Special Events	
				<input type="checkbox"/> Demolition Year Built: _____	
<b>Type of Property:</b> Check Applicable		<input type="checkbox"/> Commercial		<input checked="" type="checkbox"/> Residential (SFH or Duplex)	
				<input type="checkbox"/> Multi - Family	
<b>Type of Improvement:</b> Check Applicable		<input type="checkbox"/> New Construction		<input type="checkbox"/> Addition	
		<input type="checkbox"/> Reconfiguration of space		<input checked="" type="checkbox"/> Remove & Replace	
<b>Type of Review:</b> Check Applicable		<input type="checkbox"/> Regular Walk Thru		<input type="checkbox"/> 24 Hour Walk Thru	
		<input type="checkbox"/> Drop Off		<input type="checkbox"/> Electronic Plan Review	
				<input type="checkbox"/> Expedited Plan Review (O.T Payment Required)	
<b>Type of Project:</b> Check Applicable		<input type="checkbox"/> City Project		<input type="checkbox"/> Historic	
		<input type="checkbox"/> Housing Urban Development (HUD)		<input type="checkbox"/> Leadership In Energy & Environmental (LEED)	
		<input type="checkbox"/> Special Inspector		<input type="checkbox"/> Private Provider	
<b>Type of Occupancy:</b> Check Applicable		<input type="checkbox"/> A-1 Assembly (Theater/ Concert Hall)		<input type="checkbox"/> I-1 Institutional (Ambulatory)	
		<input type="checkbox"/> A-2 Assembly (Restaurant/Night Club/ Bar)		<input type="checkbox"/> I-2 Institutional (Non Ambulatory)	
		<input type="checkbox"/> A-3 Assembly (Worship/Amusement/ Arcade Community Hall)		<input type="checkbox"/> M -Department Store / Drug Store	
		<input type="checkbox"/> B - Business		<input type="checkbox"/> M -Gas Station	
		<input type="checkbox"/> D/E -Daycare & Educational		<input type="checkbox"/> M - Retail/ Warehouse	
				<input type="checkbox"/> R-1 Residential Transient (Boarding House/ Hotel/Motel)	
				<input type="checkbox"/> R-2 Residential Permanent (Apartment/Dormitory/ Timeshare)	
				<input checked="" type="checkbox"/> R-3 Residential (Dwelling/ Custom Homes)	
				<input type="checkbox"/> R-4 Residential (Assisted Living 6-16 person)	
				<input type="checkbox"/> S-1 Storage (Mod. Hazard (Repair Garage)	
				<input type="checkbox"/> S-2 Storage (Low Hazard (excluding Parking Garage)	
				<input type="checkbox"/> S-2 Storage (Parking Garage)	
<b>Other:</b>		Job Value: <u>\$12,150.</u>		Square Ft: <u>1300</u>	
<b>Description of Work:</b> Please be specific with description		<u>Re-roof upper tile roof</u>			
<b>Extent of Work:</b> Check Applicable		<input type="checkbox"/> Alteration Level I		<input type="checkbox"/> Alteration Level III	
		<input type="checkbox"/> Alteration Level II		<input type="checkbox"/> Change of Occupancy	
<b>Building Information:</b>		Number of Units:		Height of Building: <u>20'</u>	
				Number of Stories: <u>2</u>	
<b>New Construction/Addition:</b>		Job Value \$:		Sq Ft:	
<b>Alteration/Reconfiguration of space:</b>		Job Value \$:		Sq Ft:	

Architect:	Name: _____	Engineer:	Name: _____
	Address: _____		Address: _____
	Suite No: _____		Suite No: _____
	City/State/Zip Code: _____		City/State/Zip Code: _____
	Email Address: _____		Email Address: _____
	License No: _____		License No: _____
Office#: _____ Cell#: _____		Office#: _____ Cell#: _____	
Bonding Company Name:	Name: _____	Fee Simple Title Holder: (If Other Than Owner)	Name: _____
	Address: _____		Address: _____
	Suite No: _____		Suite No: _____
	City/State/Zip Code: _____		City/State/Zip Code: _____
	Office#: _____ Cell#: _____		Office#: _____ Cell#: _____
	Office#: _____ Cell#: _____		Office#: _____ Cell#: _____
Contractor:	Name: <u>Perkins Roofing Corp</u>	Property Owner:	Name: <u>Jeann Boulton</u>
	Address: <u>575 NW 152 St</u>		Address: <u>31 La Gorce Cir.</u>
	Suite No: _____		Suite No: _____
	City/State/Zip Code: <u>Miami, FL 33169</u>		City/State/Zip Code: <u>Miami Beach, FL 33141</u>
	Email Address: <u>perkinsroofing@bellsouth.net</u>		Email Address: _____
	License No: <u>CCC 042786</u>		Driver License No: _____
Office#: <u>305-687-6521</u> Cell#: <u>786-277-8486</u>		Office#: <u>305-864-1390</u> Cell#: _____	

**ATTENTION:**  
Important Notice  
Please Read Carefully

This application is hereby made to obtain a permit to do the work and installations as indicated. I certify that all work will be performed to meet the standards of all laws and construction regulations in this jurisdiction. I understand that a **separate permit** must be secured for **Electrical, Mechanical, Plumbing, Signs, Wells, Pools, Furnaces, Boilers, Heaters, Tanks, and Air Conditioners, Etc.**

**CONDO CONVERSIONS** are a change of use of the building and require a new certificate of occupancy. If this application implies a condo conversion, it shall be clearly stated in the description and on the plans; otherwise, the certificate of occupancy will be denied.

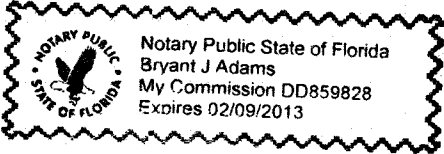
**OWNER'S AFFIDAVIT:** I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and Zoning.

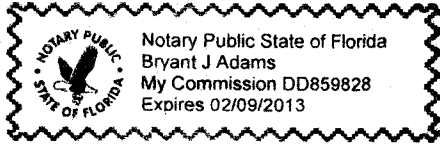
**OWNER'S OR PERSON RESPONSIBLE FOR IMPROVEMENTS AFFIDAVIT:** I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and Zoning.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies.

Under penalties of perjury, I declare that to the best of my knowledge, the facts stated in this document are true. Any information found to be false may cause the revocation and/or denial of the permit and/or certificate of occupancy.

* Owner	Tenant (If Applicable)	* Qualifier
<u>Jean Boulton</u> Signature of Owner of Agent: <u>Jean Boulton</u> Printed Name of Owner of Agent: <u>6/3/11</u> Date of Signature: <u>Bryant Adams</u> Signature of Notary Public <u>personally known</u> Identification Swore to and subscribed before me this <u>3rd</u> day of <u>June</u> 20 <u>11</u> (SEAL)	 Signature of Tenant:  Printed Name of Tenant:  Date of Signature:  Signature of Notary Public  Identification Swore to and subscribed before me this _____ day of _____ 20 _____ (SEAL)	<u>Dean Perkins</u> Signature of Qualifier: <u>Dean Perkins</u> Printed Name of Qualifier: <u>6/3/11</u> Date of Signature: <u>Bryant Adams</u> Signature of Notary Public <u>personally known</u> Identification Swore to and subscribed before me this <u>3rd</u> day of <u>June</u> 20 <u>11</u> (SEAL)





**THE SIGNATURE REQUIRED BELOW IS FOR \*OWNER/BUILDER APPLICANTS ONLY\*. PLEASE DO NOT SIGN BELOW IF THIS IS NOT AN OWNER/BUILDER APPLICATION.**

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. NOTICE OF COMMENCEMENT SHOULD BE FILED AT: 22 NW FIRST STREET, MIAMI, FL**

STATE OF FLORIDA \_\_\_\_\_ COUNTY OF \_\_\_\_\_

Print Owner's Name \_\_\_\_\_ Owner's Signature \_\_\_\_\_

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_\_, by \_\_\_\_\_

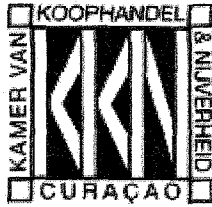
- ☐ Personally  
☐ Produced Identification – Type of Identification \_\_\_\_\_

Signature of Notary Public \_\_\_\_\_ (SEAL)

Application Approval By: \_\_\_\_\_ Permit Clerk Signature \_\_\_\_\_ Date \_\_\_\_\_

<b>BUILDING: SPECIALTY PERMITS</b>	<input type="checkbox"/> Kitchen Renovation <input type="checkbox"/> Bath Renovation <input type="checkbox"/> Indoor Flooring, Sq.Ft. _____ <input type="checkbox"/> Generator, Sq.Ft. _____ <input type="checkbox"/> Solar (Photovoltaic)/Alternate Power _____ <input type="checkbox"/> Swimming Pool, gallons _____ (select one, new and renovation includes equipment) <input type="checkbox"/> New Pool <input type="checkbox"/> Renovation of existing pool <input type="checkbox"/> Resurfacing <input type="checkbox"/> Equipment relocation only <input type="checkbox"/> Swimming pool lighting only <input type="checkbox"/> Demolition <input type="checkbox"/> Total, # of stories _____ <input type="checkbox"/> Partial, Sq.Ft. _____ <input type="checkbox"/> Other (signs, fences or other then above) _____ <input type="checkbox"/> Marine <input type="checkbox"/> Docks, Sq.Ft. _____ <input type="checkbox"/> Seawall, linear feet _____ <input type="checkbox"/> Boat lift, # units _____ <input type="checkbox"/> Pilings/Moorings, # units _____ <input type="checkbox"/> Raise existing mechanical equipment on roof <input type="checkbox"/> Parking lot lighting <input type="checkbox"/> Access control, # devices _____	<input type="checkbox"/> Temporary and Special Events <input type="checkbox"/> Platform, select: first or re-approval (circle one) <input type="checkbox"/> Bleachers, select: first or re-approval (circle one) <input type="checkbox"/> Tents, # independent tents (not attached) _____ Sq.Ft. each unattached tent _____, etc. <input type="checkbox"/> Temporary chiller/generator, # units _____ <input type="checkbox"/> Temporary multi-seat toilet, # trailers _____ <input type="checkbox"/> Temporary toilet (per event), # events _____ <input type="checkbox"/> Amusement Ride <input type="checkbox"/> Other _____ <input type="checkbox"/> Temporary <input type="checkbox"/> Temporary power for construction <input type="checkbox"/> Temporary power for test <input type="checkbox"/> Trailer, # units _____ <input type="checkbox"/> Temporary electric work, # shows _____ <input type="checkbox"/> Water drainage risers and mains, # floors _____ <input type="checkbox"/> Natural gas, # appliances _____, # outlets _____ <input type="checkbox"/> Irrigation, # zones _____ <input type="checkbox"/> Heaters, <input type="checkbox"/> select: gas or electric (circle one) <input type="checkbox"/> select: new or replacement (circle one) <input type="checkbox"/> Cooling tower, new <input type="checkbox"/> Chiller replacement with structural work <input type="checkbox"/> AC unit new, # units _____ If commercial, CFM _____
<b>BUILDING: TRADE PERMITS</b>	<input type="checkbox"/> Painting <input type="checkbox"/> Windows/doors, # openings _____ <input type="checkbox"/> Shutters, # openings _____ <input type="checkbox"/> Storefront, Sq.Ft. _____ <input type="checkbox"/> Moving structures, Sq.Ft. _____ <input type="checkbox"/> Paving/concrete, Sq.Ft. _____ <input type="checkbox"/> Signs (non-electric), Sq.Ft. _____ <input type="checkbox"/> Roofing, re-roofing, waterproofing, Sq.Ft. _____ <input type="checkbox"/> Fences, walls, linear feet _____ <input type="checkbox"/> Awning, canopy or patio cover, Sq.Ft. _____ <input type="checkbox"/> Other _____	<b>ELECTRICAL: TRADE PERMITS</b> <input type="checkbox"/> Electrical demolition only <input type="checkbox"/> Electrical safety check for service reconnect <input type="checkbox"/> Electrical services, # meters _____ <input type="checkbox"/> Panel replacement, # panels _____ <input type="checkbox"/> Busway installation, linear feet _____ <input type="checkbox"/> Signs (electric), # signs _____ <input type="checkbox"/> Low voltage, # devices _____ <input type="checkbox"/> Empty conduit, # openings _____ <input type="checkbox"/> Generator Transfer Switch <input type="checkbox"/> Other _____
<b>PLUMBING: TRADE PERMITS</b>	<input type="checkbox"/> Plumbing only demolition <input type="checkbox"/> Fixtures <input type="checkbox"/> Rough, # units _____ <input type="checkbox"/> Sets, # sets _____ <input type="checkbox"/> Interceptors, # units _____ <input type="checkbox"/> Water drainage, # inlets _____ <input type="checkbox"/> Condensation drains <input type="checkbox"/> Dry or discharge wells, # wells _____ <input type="checkbox"/> Water/gas mains, linear feet _____ <input type="checkbox"/> Sanitary, storm or collector lines, linear feet _____ <input type="checkbox"/> Backflow protection, # devices _____ <input type="checkbox"/> Other _____	<b>MECHANICAL: TRADE PERMITS</b> <input type="checkbox"/> Mechanical only demolition <input type="checkbox"/> AC Replacement <input type="checkbox"/> HVAC, # units _____ <input type="checkbox"/> Window unit, # units _____ <input type="checkbox"/> Cooling tower, replacement <input type="checkbox"/> Chiller replacement without structural work <input type="checkbox"/> Refrigeration equipment replacement <input type="checkbox"/> Gas or oil furnace <input type="checkbox"/> Hood replacement, # hoods _____ <input type="checkbox"/> Duct work <input type="checkbox"/> Single Family Home, # drops _____ <input type="checkbox"/> All other occupancy type, linear feet _____ <input type="checkbox"/> Other _____
<b>ELEVATOR: TRADE PERMITS</b>	<input type="checkbox"/> Installation or major revamping <input type="checkbox"/> Commercial elevator, # stories _____ <input type="checkbox"/> Residential elevator, # elevators _____ <input type="checkbox"/> Wheelchair lift, # lifts _____ <input type="checkbox"/> Escalator, # escalators _____	<input type="checkbox"/> Elevator repair <input type="checkbox"/> Removal from service <input type="checkbox"/> Emergency power test <input type="checkbox"/> Elevator fire recall test <input type="checkbox"/> Temporary use <input type="checkbox"/> Other _____
<b>FIRE: PERMITS</b>	<input type="checkbox"/> Fire Suppression Permit <input type="checkbox"/> Cooking hood suppression, # of systems _____ <input type="checkbox"/> Room suppression, # of systems _____ <input type="checkbox"/> Minor work on existing systems <input type="checkbox"/> Fire Alarm Permit <input type="checkbox"/> Fire alarm system, Sq.Ft. _____ <input type="checkbox"/> Smoke alarms – 120v, # devices _____ <input type="checkbox"/> Minor work on existing systems <input type="checkbox"/> Incidental Permit <input type="checkbox"/> Fire Hydrant Flow Test Permit	<input type="checkbox"/> Fire Sprinkler Permit <input type="checkbox"/> Sprinkler systems, Sq. Ft. _____ <input type="checkbox"/> Standpipe system only (no sprinkler) Size (Inches) _____ Linear Ft. _____ <input type="checkbox"/> Minor work on existing systems <input type="checkbox"/> Fire Pump <input type="checkbox"/> Fire Pump Only, # of pumps _____ <input type="checkbox"/> Underground Fire Line Permit <input type="checkbox"/> Underground line or appurtenances, replace <input type="checkbox"/> Incidental (new installation-separate from sprinkler permit)

<b>BUILDING: SPECIALTY PERMITS</b>	<input type="checkbox"/> Kitchen Renovation <input type="checkbox"/> Bath Renovation <input type="checkbox"/> Indoor Flooring, Sq.Ft. _____ <input type="checkbox"/> Generator, Sq.Ft. _____ <input type="checkbox"/> Solar (Photovoltaic)/Alternate Power <input type="checkbox"/> Swimming Pool, gallons _____ <i>(select one, new and renovation includes equipment)</i> <input type="checkbox"/> New Pool <input type="checkbox"/> Renovation of existing pool <input type="checkbox"/> Resurfacing <input type="checkbox"/> Equipment relocation only <input type="checkbox"/> Swimming pool lighting only <input type="checkbox"/> Demolition <input type="checkbox"/> Total, # of stories _____ <input type="checkbox"/> Partial, Sq.Ft. _____ <input type="checkbox"/> Other (signs, fences or other then above) _____ <input type="checkbox"/> Marine <input type="checkbox"/> Docks, Sq.Ft. _____ <input type="checkbox"/> Seawall, linear feet _____ <input type="checkbox"/> Boat lift, # units _____ <input type="checkbox"/> Pilings/Moorings, # units _____ <input type="checkbox"/> Raise existing mechanical equipment on roof <input type="checkbox"/> Parking lot lighting <input type="checkbox"/> Access control, # devices _____	<input type="checkbox"/> Temporary and Special Events <input type="checkbox"/> Platform, select: first or re-approval (circle one) <input type="checkbox"/> Bleachers, select: first or re-approval (circle one) <input type="checkbox"/> Tents, # independent tents (not attached) _____ Sq.Ft. each unattached tent _____, etc. <input type="checkbox"/> Temporary chiller/generator, # units _____ <input type="checkbox"/> Temporary multi-seat toilet, # trailers _____ <input type="checkbox"/> Temporary toilet (per event), # events _____ <input type="checkbox"/> Amusement Ride <input type="checkbox"/> Other _____ <input type="checkbox"/> Temporary <input type="checkbox"/> Temporary power for construction <input type="checkbox"/> Temporary power for test <input type="checkbox"/> Trailer, # units _____ <input type="checkbox"/> Temporary electric work, # shows _____ <input type="checkbox"/> Water drainage risers and mains, # floors _____ <input type="checkbox"/> Natural gas, # appliances _____, # outlets _____ <input type="checkbox"/> Irrigation, # zones _____ <input type="checkbox"/> Heaters, <input type="checkbox"/> select: gas or electric (circle one) <input type="checkbox"/> select: new or replacement (circle one) <input type="checkbox"/> Cooling tower, new <input type="checkbox"/> Chiller replacement with structural work <input type="checkbox"/> AC unit new, # units _____ If commercial, CFM _____
<b>BUILDING: TRADE PERMITS</b>	<input type="checkbox"/> Painting <input type="checkbox"/> Windows/doors, # openings _____ <input type="checkbox"/> Shutters, # openings _____ <input type="checkbox"/> Storefront, Sq.Ft. _____ <input type="checkbox"/> Moving structures, Sq.Ft. _____ <input type="checkbox"/> Paving/concrete, Sq.Ft. _____ <input type="checkbox"/> Signs (non-electric), Sq.Ft. _____ <input type="checkbox"/> Roofing, re-roofing, waterproofing, Sq.Ft. <u>1300</u> <input type="checkbox"/> Fences, walls, linear feet _____ <input type="checkbox"/> Awning, canopy or patio cover, Sq.Ft. _____ <input type="checkbox"/> Other _____	<b>ELECTRICAL: TRADE PERMITS</b> <input type="checkbox"/> Electrical demolition only <input type="checkbox"/> Electrical safety check for service reconnect <input type="checkbox"/> Electrical alteration/remodeling, Sq.Ft. _____ <input type="checkbox"/> Electrical services, # meters _____ <input type="checkbox"/> Panel replacement, # panels _____ <input type="checkbox"/> Busway installation, linear feet _____ <input type="checkbox"/> Signs (electric), # signs _____ <input type="checkbox"/> Low voltage, # devices _____ <input type="checkbox"/> Empty conduit, # openings _____ <input type="checkbox"/> Generator Transfer Switch <input type="checkbox"/> Other _____
<b>PLUMBING: TRADE PERMITS</b>	<input type="checkbox"/> Plumbing only demolition <input type="checkbox"/> Fixtures <input type="checkbox"/> Rough, # units _____ <input type="checkbox"/> Sets, # sets _____ <input type="checkbox"/> Interceptors, # units _____ <input type="checkbox"/> Other _____	<input type="checkbox"/> Water drainage, # inlets _____ <input type="checkbox"/> Condensation drains <input type="checkbox"/> Dry or discharge wells, # wells _____ <input type="checkbox"/> Water/gas mains, linear feet _____ <input type="checkbox"/> Sanitary, storm or collector lines, linear feet _____ <input type="checkbox"/> Backflow protection, # devices _____
<b>MECHANICAL: TRADE PERMITS</b>	<input type="checkbox"/> Mechanical only demolition <input type="checkbox"/> AC Replacement <input type="checkbox"/> HVAC, # units _____ <input type="checkbox"/> Window unit, # units _____ <input type="checkbox"/> Cooling tower, replacement <input type="checkbox"/> Chiller replacement without structural work <input type="checkbox"/> Other _____	<input type="checkbox"/> Refrigeration equipment replacement <input type="checkbox"/> Gas or oil furnace <input type="checkbox"/> Hood replacement, # hoods _____ <input type="checkbox"/> Duct work <input type="checkbox"/> Single Family Home, # drops _____ <input type="checkbox"/> All other occupancy type, linear feet _____
<b>FIRE: PERMITS</b>	<input type="checkbox"/> Cooking hood suppression, # systems _____ <input type="checkbox"/> Room fire suppression, # systems _____ <input type="checkbox"/> Fire alarm system, Sq.Ft. _____ <input type="checkbox"/> Minor work on existing fire alarm <input type="checkbox"/> Electrical smoke detector, # devices _____ <input type="checkbox"/> Other _____	<b>ELEVATOR: TRADE PERMITS</b> <input type="checkbox"/> Installation or major revamping <input type="checkbox"/> Commercial elevator, # stories _____ <input type="checkbox"/> Residential elevator, # elevators _____ <input type="checkbox"/> Wheelchair lift, # lifts _____ <input type="checkbox"/> Escalator, # escalators _____ <input type="checkbox"/> Elevator repair <input type="checkbox"/> Removal from service <input type="checkbox"/> Emergency power test <input type="checkbox"/> Elevator fire recall test <input type="checkbox"/> Temporary use <input type="checkbox"/> Other _____



## Curaçao Commercial Register

Excerpt from the Commercial Register

Registration number: 27777 (0)  
Date: June 6, 2011 Time: 3:03:39 PM

In the Commercial Register of the Curaçao Chamber of Commerce & Industry is registered under number 27777: Hulet Properties N.V.

Trade name	Hulet Properties N.V.
Legal form	Limited Liability Company
Official company name	Hulet Properties N.V.
Statutory seat	Curaçao
Date of incorporation	January 14, 1981
Date established	January 14, 1981
Authorized capital	U.S.A. Dollar 30,000.00
Issued capital	U.S.A. Dollar 6,000.00
Paid up capital	U.S.A. Dollar 6,000.00
Shares	There are different kinds of shares
Fiscal year	The fiscal year is equal to the calendar year
Address	Werfstraat 6
Country	Curaçao
Correspondence address	(same as above)
Object	Investment Company(8135), Finance Company(8137), Owning and Dealing in Real Estate(8311)

---

### Official(s)

1

Function	Statutory director
Title description	Managing Director
Name	Jean Hartley Boulton
Date of birth	August 3, 1928
Nationality	Venezuelan

2

Function	Statutory director
Title description	Managing Director
Name	Tracey Casari
Date of birth	August 3, 1961
Place of birth	Schlieren ZH
Country of birth	Switzerland
Nationality	Swiss

3

Function	Proxy holder
Title description	Local Representative



## My Home

miamidade.gov

ACTIVE TOOL: SELECT



MIAMI-DADE

## Show Me:

Property Information

## Search By:

Select Item

Text only

Property Appraiser Tax Estimator

Property Appraiser Tax Comparison

## Summary Details:

Folio No.:	02-3210-003-0320
Property:	31 LA GORCE CIR
Mailing Address:	HULET PROPERTIES NV
Address:	31 LA GORCE CIR MIAMI BEACH FL 33141-4519

## Property Information:

Primary Zone:	2100 SINGLE FAMILY RESIDENCE
CLUC:	0001 RESIDENTIAL - SINGLE FAMILY
Beds/Baths:	5/5
Floors:	2
Living Units:	1
Adj Sq Footage:	4,574
Lot Size:	22,500 SQ FT
Year Built:	1936
Legal Description:	10-11 53 42 LA GORCE ISLAND PB 34-83 LOT 3 BLK 11 LOT SIZE SITE VALUE OR 17704-2530 0597 4 OR 17704-2530 0597 01

## Assessment Information:

Year:	2010	2009
Land Value:	\$890,625	\$1,282,500
Building Value:	\$478,372	\$499,313
Market Value:	\$1,368,997	\$1,781,813
Assessed Value:	\$1,368,997	\$1,781,813

## Taxable Value Information:

Year:	2010	2009
Taxing Authority:	Applied Exemption/ Taxable Value:	Applied Exemption/ Taxable Value:
Regional:	\$0/ \$1,368,997	\$0/ \$1,781,813
County:	\$0/ \$1,368,997	\$0/ \$1,781,813
City:	\$0/ \$1,368,997	\$0/ \$1,781,813
School Board:	\$0/ \$1,368,997	\$0/ \$1,781,813

## Sale Information:

Sale Date:	5/1997
Sale Amount:	\$0
Sale O/R:	17704-2530
Sales Qualification Description:	Sales which are disqualified as a result of examination of the deed
View Additional Sales	

## Additional Information:



Aerial Photography - 2009

0 124 ft

## Legend

- Property Boundary
- Selected Property
- Street
- Highway
- Miami-Dade County
- Water



My Home | Property Information | Property Taxes  
| My Neighborhood | Property Appraiser

Home | Using Our Site | Phone Directory | Privacy | Disclaimer

If you experience technical difficulties with the Property Information application or wish to send us your comments, questions or suggestions please email us at [Webmaster](#).

Web Site  
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## Curacao Commercial Register

### Excerpt from the Commercial Register

Registration number: 27777 (0)  
Date: February 4, 2005 Time: 4:03:46 AM

In the Commercial Register of the Curacao Chamber of Commerce & Industry is registered with number 27777 the company with the trade name Hulet Properties N.V.

Trade name	Hulet Properties N.V.
Legal form	Limited Liability Company
Official company name	Hulet Properties N.V.
Statutory seat	Curacao
Date of incorporation	January 14, 1981
Date established	January 14, 1981
Authorized capital	U.S.A. Dollar 30,000.00
Issued capital	U.S.A. Dollar 6,000.00
Paid up capital	U.S.A. Dollar 6,000.00
Is different shares	There are different kinds of shares
Fiscal year	The fiscal year is equal to the calendar year
Business address	Werkstraat 6 Curacao Netherlands Antilles
Correspondence address	same as above
Object categories of the business	Investment Company, Finance Company, Owning and Dealing in Real Estate

#### Official(s)

1

Function	Statutory director
Title description	Managing Director
Name	Corporate Agents N.V.
Address	Werkstraat 6 Curacao Netherlands Antilles
Registration number official	9773

2

Function	Statutory director
Title description	Managing Director
Name	Jean Hartley Boulton
Address	P.O. Box 929 Caracas Venezuela
Date of birth	August 3, 1928
Nationality	Venezuelan

Source: Registry-information Internet. This document is not an excerpt in accordance with article 19 paragraph 1 of the Commercial Register Decree (O.G. 1946 no. 41)

## QUITCLAIM DEED

This instrument  
Prepared by: Marc Hammet, Esq.  
Address: 1111 Kane Concourse, Suite 610  
Bay Harbor Islands, FL 33134  
Tel: (305) 864-9934

OFF-  
REC: 17704PC2530

97R302733 1997 JUL 08 10:41

Identification (Folio) No(s): 02-3710-002-0320

DOCSTPDEE 3,900.00 SURTX 0.00  
HARVEY RUVIN, CLERK DADE COUNTY, FL

THIS QUITCLAIM DEED, Made this 23 day of May, A.D. 1997, between

JEAN HARTLEY BOULTON, A MARRIED WOMAN

of the County of Dade, in the State of Florida, party of the first part,

and HULET PROPERTIES, N.Y. A NETHERLAND ANTILLES CORPORATION Reserving unto the Grantor's Husband, ANDRES BOULTON, a Life Estate in and to the property hereinbelow described

of the County of Dade, in the State of Florida, whose post office address is 31 La Gorce Circle, La Gorce Island, Miami Beach, Fla. 33141 party of the second part.

Witnesseth, That the said party of the first part, for and in consideration of the sum of TEY and 00/100 ----- (\$10.00) Dollars, and other good and valuable considerations, to it in hand paid by the said party of the second part, the receipt whereof is hereby acknowledge, does hereby remise, release and quitclaim unto the said party of the second part, all of the right, title, interest, claim and demand which the said first party has in the following described lot, piece or parcel of land, situate, lying and being in the County of Dade, State of Florida, to-wit:

Lot 3 Block 11 of LA GORCE ISLAND  
according to the Plat thereof as recorded  
in Plat Book 34 at Page 83 of the Public  
Records of Dade County, Florida

The subject property is not now, nor has same ever been the homestead of the Grantor who resides in, and is a citizen of, Venezuela.

This is a transfer without consideration, and no consideration shall be imputed hereby.

TO HAVE AND TO HOLD The same together with all and singular the appurtenances thereunto belonging on in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said party of the first part, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

In Witness Whereof, The said party of the first part has hereunto set her seal the day and year first above written.

Signed, sealed and delivered  
in the presence of:

Witness Signature

Marc Hammet

Printed Name

Witness Signature

Debra L. Schaefer

Printed Name

STATE OF FLORIDA )  
COUNTY OF DADE )

Grantor Signature

JEAN HARTLEY BOULTON

Printed Name

31 La Gorce Cir. La Gorce Is.

Miami Beach, Fla. 33141

Post Office Address

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared JEAN HARTLEY BOULTON, A MARRIED WOMAN, known to me to be the persons described in and who executed the foregoing instrument, who acknowledged before me that she executed the same, that I relied upon the following forms of identification of the above-named person: personal knowledge and that an oath was taken.

23 WITNESS my hand and official seal in the County and State last aforesaid this day of May, 1997.

My Commission No.:

Expires:

Notary Signature



BUILDING DEPARTMENT  
1700 Convention Center Drive, 2<sup>nd</sup> Floor  
Miami Beach, FL, 33139

PERMIT APPLICATION SUBMITTAL CHECKLIST

All of the checked items listed below must be submitted with your completed work permit application. Your Permit Application cannot be processed if any one of the items checked is incomplete or missing.

**"An upfront fee is required prior to issuance of a process number"**  
**All payments must be made prior to 3:00pm**

Checklist was Received: ☐ Downstairs ☐ Permit Counter Ticket # A105  
Activity # B1103512 Job Address 31 La Gorce Circle

☐ **COMPLETE WORK PERMIT APPLICATION**

☐ Owner info. ☐ Folio/Parcel ID # ☐ Contractor info. ☐ Architect info. ☐ Engineer info.

Required Signatures: ☐ Owner ☐ Tenant ☐ Qualifier ☐ New Application Required

**Note:** All signatures must be notarized & original

☐ **ARCHITECTURAL & ENGINEERING AFFIDAVIT FOR JOB VALUE AND TOTAL GROSS SQUARE FOOTAGE FOR NEW CONSTRUCTION AND ALTERATION AND REPAIRS (A/E AFFIDAVIT)**

☒ **PROOF OF OWNERSHIP**

☐ Recorded warranty deed

☐ Unrecorded warranty deed with a letter from the closing attorney; or  
Title company stating that the warranty deed is in process of being recorded

☒ Articles of Incorporation - Corporation Documents (listing managing members/officers/directors)

**Note:** Registered Agents cannot sign permit applications unless authorized by the owner(s)

☐ **CONTRACTOR INFORMATION**

☐ Liability insurance ☐ Workman's Compensation insurance or State of Florida exemption

☐ State License ☐ Occupational License ☐ Expired Permits ☐ Needs to register with the City

☐ Certificate of Competency ☐ Municipal Contractor Occupational License ☐ Contractor to be assigned

**Note:** All Insurance Certificates must be addressed to the City of Miami Beach. See attached handout.

☐ **PROPERTY INFORMATION**

☐ Violation on Property – Need to see the Violations Section

☐ **FEE SHEET(S)**

☐ Mechanical ☐ Electrical ☐ Plumbing ☐ Fire

**Note:** (A Hold Harmless form is required for Temp for Test)

☐ **PLANS**

☐ Two (2) sets – walk thru ☐ Three (3) sets – drop off

**Note:** If a walk-thru is converted to a drop off you will be required to submit three (3) sets of plans

☐ **ORIGINAL AUTHORIZATION LETTER FROM OWNER TO AGENT**

☐ **ORIGINAL AUTHORIZATION LETTER FROM CONDOMINIUM ASSOCIATION**

☐ Condominium letterhead ☐ Board member signature ☐ Notary or condo seal

=====

**REQUIRED REVIEWS**

☐ Building/Accessibility ☐ Structural ☐ Mechanical ☐ Electrical ☐ Plumbing ☐ Elevator

☐ Engineering ☐ Fire ☐ Public Works ☐ Planning & Zoning

Received by: Signature [Signature]

Print Bryant Adams

Permit Clerk: Signature [Signature]

Print N. M. Adams

**CITY OF MIAMI BEACH**  
**Building Department**  
**1700 Convention Ctr Drive, 2nd Floor**  
**Miami Beach, Florida 33139**  
**Inspections: (305) 673-7370**  
**Office: (305) 673-7610**

**B1103512 APP**

**Bldg Small Work Permit**

**06-08-2011**

**Activity Number: B1103512**

Status: APPROVED

Issued By: BUILMATN

Site Address: 31 LA GORCE CR MBCH  
Parcel #: 32100030320

Applied: 06/06/2011  
Approved: 06/08/2011  
Completed:  
To Expire: 12/05/2011

Valuation: \$12,150.00

Applicant: PERKINS ROOFING CORP  
575 NW 152 ST  
MIAMI FL 33169  
331414519  
305-687-6521

Property Owner: HULET PROPERTIES NV  
31 LA GORCE CIR  
MIAMI BEACH FL 33141-4519

Description: Re-roof upper tile roof.  
Inspector Area: C

Class Code: R3

**DETAIL LIST**

**Alteration/Repair Fees**

New Construction - Per Sq.Ft.:	0	\$0.00
Alteration Bulding/Structures - Per Sq.Ft.:	1300	\$190.00
Awning, Canopy, Patio Cover - Per Costs:	\$0.00	\$0.00
Area Under Roof - RADON - Per Sq.Ft.:	1300	\$0.00
Walk-Thru (Zoning)- Per Valuation:	\$12,150.00	\$10.00
Repairs to Building/Structure - Per Sq.Ft.:	\$0.00	\$0.00
Roofing or Re-roofing - Per Sq.Ft.:	1300	\$0.00
Window/Doors - Per # of Openings:	0	\$0.00
Signs 36-4 (Written/Direct) - Per Sq.Ft.:	0	\$0.00
Fence and/or Wall - Per Linear Feet:	0	\$0.00
Partial Demo (Struct, Sign, Wall) - Per Costs:	\$0.00	\$0.00
Swimming Pool - Per Gallon:	0	\$0.00
Painting - Per Costs:	\$0.00	\$0.00
Sandblasting - Per Costs:	\$0.00	\$0.00
Paving - Per Sq.Ft.:	0	\$0.00
Concrete Slab - No Paving - Per Sq.Ft.:	0	\$0.00
Trees - Per # of:	0	
Hedges - Per Linear Feet:	0	
Groundcover - Per Sq.Ft.:	0	
Landscaping Fee:		\$0.00
Other Fees:		\$0.00
Penalty Fee (If Applicable):		\$0.00

**Activity Number: B1103512****Fire Safety Fees**

New Building or Addition - Per Sq.Ft.:	0	\$0.00
Storage/Industrial Bldg - E & F Occup - Per Sq.Ft.:	0	\$0.00
Greenhouse/Argiculture on Premises - Per Sq.Ft.:	0	\$0.00
Screen Enclsoure/Trail on Premises - Per Sq.Ft.:	0	\$0.00
SS Underground Tanks/App Shelter - Per #:	0	\$0.00
Construction not shown Above - Per Costs:	\$0.00	\$0.00
Alt/Repair Building/Structure - Per Costs:	\$0.00	\$0.00
Fire Fee		\$0.00

**Marine Structure Fee**

Dock Area - Per Sq.Ft.:	0	\$0.00
Seawall - Per Linear Feet:	0	\$0.00
Boat Lifts, Davits, Hoist - Per # of:	0	\$0.00
Batter, Mooring, Dock Piles - Per # of:	0	\$0.00
Marine Structure Alt/Repair - Per Costs:	\$0.00	\$0.00

**SFBC Compliance Surcharge**

New Const/Add - Res/Mult-Fam/Comm - Per Sq.Ft.:	0	\$0.00
New Const/Add - Strg/Ind/Msc - Per Sq.Ft.:	0	\$0.00
Cost for Other Construction:		\$0.00
SFBC Compliance:		\$7.80

**Training Fee**

Training Fee:	\$11.40	\$0.00
Sanitation Fee:		\$36.45
Fire Training Fee:		\$0.00
Public Works Fee:		\$0.00

**Additional Fees**

1st Reinspection:		\$0.00
Continued Reinspections - Per # of:	0	\$0.00
Building Joint Inspections - Per # of:	0	\$0.00
Change of Contractor Per # of:	0	\$0.00
Permit Extension - Per # of:	0	\$0.00

Residential Card:

Commercial Card:

Permit Card Replacements: \$0.00

Lost Plan Fee - SF: \$0.00

Lost Plan Fee - Other: \$0.00

Overtime Inspection Fees: \$0.00

Total of All Fees: \$261.35

Total of Payments: \$261.35

Balance Due: \$0.00



MIAMIBEACH

**BUILDING DEPARTMENT**

1700 Convention Center Drive | Miami Beach, FL 33139

Office: 305.673.7610 | Fax: 305.673.7857

**WORK PERMIT APPLICATION**

FLORIDA BUILDING CODE 2004 EDITION

Date: <u>6/6/11</u>		<b>DATA INFORMATION</b> PLEASE PRINT (USE BLACK OR BLUE INK)		Permit No: <u>B/103512</u> (For office use only)	
Parcel/ Folio No. <u>02-3210-003-0320</u>			Job Address: <u>31 Lg Gorce Cir. MB 33141</u>		
If subsidiary or revision, provide the Master Building Permit Number:			Is this permit associated with a violation? If yes, BV #:		
<b>Type of Service:</b> Check Applicable		<input checked="" type="checkbox"/> New Permit Application		<input type="checkbox"/> Revision	
		<input type="checkbox"/> Architect		<input type="checkbox"/> Shop Drawings	
		<input type="checkbox"/> Engineer		<input type="checkbox"/> Occupant Content	
<b>Type of Permit:</b> Check Applicable Provide permit detail on page 4		<input checked="" type="checkbox"/> Building		<input type="checkbox"/> Electrical	
		<input type="checkbox"/> Mechanical		<input type="checkbox"/> Plumbing	
		<input type="checkbox"/> Fire		<input type="checkbox"/> Special Events	
				<input type="checkbox"/> Demolition Year Built: _____	
<b>Type of Property:</b> Check Applicable		<input type="checkbox"/> Commercial		<input checked="" type="checkbox"/> Residential (SFH or Duplex)	
				<input type="checkbox"/> Multi - Family	
<b>Type of Improvement:</b> Check Applicable		<input type="checkbox"/> New Construction		<input type="checkbox"/> Addition	
		<input type="checkbox"/> Reconfiguration of space		<input checked="" type="checkbox"/> Remove & Replace	
<b>Type of Review:</b> Check Applicable		<input type="checkbox"/> Regular Walk Thru		<input type="checkbox"/> 24 Hour Walk Thru	
		<input type="checkbox"/> Drop Off		<input type="checkbox"/> Electronic Plan Review	
				<input type="checkbox"/> Expedited Plan Review (O.T Payment Required)	
<b>Type of Project:</b> Check Applicable		<input type="checkbox"/> City Project		<input type="checkbox"/> Historic	
		<input type="checkbox"/> Housing Urban Development (HUD)		<input type="checkbox"/> Leadership In Energy & Environmental (LEED)	
		<input type="checkbox"/> Special Inspector		<input type="checkbox"/> Private Provider	
<b>Type of Occupancy:</b> Check Applicable		<input type="checkbox"/> A-1 Assembly (Theater/ Concert Hall)		<input type="checkbox"/> I-1 Institutional (Ambulatory)	
		<input type="checkbox"/> A-2 Assembly (Restaurant/Night Club/ Bar)		<input type="checkbox"/> I-2 Institutional (Non Ambulatory)	
		<input type="checkbox"/> A-3 Assembly (Worship/Amusement/ Arcade Community Hall)		<input type="checkbox"/> M -Department Store / Drug Store	
		<input type="checkbox"/> B - Business		<input type="checkbox"/> M -Gas Station	
		<input type="checkbox"/> D/E -Daycare & Educational		<input type="checkbox"/> M - Retail/ Warehouse	
				<input type="checkbox"/> R-1 Residential Transient (Boarding House/ Hotel/Motel)	
				<input type="checkbox"/> R-2 Residential Permanent (Apartment/Dormitory/ Timeshare)	
				<input checked="" type="checkbox"/> R-3 Residential (Dwelling/ Custom Homes)	
				<input type="checkbox"/> R-4 Residential (Assisted Living 6-16 person)	
				<input type="checkbox"/> S-1 Storage (Mod. Hazard (Repair Garage)	
				<input type="checkbox"/> S-2 Storage (Low Hazard (excluding Parking Garage)	
				<input type="checkbox"/> S-2 Storage (Parking Garage)	
<b>Other:</b>		Job Value: <u>\$12,150.</u>		Square Ft: <u>1300</u>	
<b>Description of Work:</b> Please be specific with description		<u>Re-roof upper tile roof</u>			
<b>Extent of Work:</b> Check Applicable		<input type="checkbox"/> Alteration Level I		<input type="checkbox"/> Alteration Level III	
		<input type="checkbox"/> Alteration Level II		<input type="checkbox"/> Change of Occupancy	
<b>Building Information:</b>		Number of Units:		Height of Building: <u>20'</u>	
				Number of Stories: <u>2</u>	
<b>New Construction/Addition:</b>		Job Value \$:		Sq Ft:	
<b>Alteration/Reconfiguration of space:</b>		Job Value \$:		Sq Ft:	

Architect:	Name: _____	Engineer:	Name: _____
	Address: _____		Address: _____
Bonding Company Name:	Suite No: _____	Fee Simple Title Holder: (If Other Than Owner)	Suite No: _____
	City/State/Zip Code: _____		City/State/Zip Code: _____
Contractor:	Email Address: _____	Property Owner:	Email Address: _____
	License No: _____		License No: _____
	Office#: _____ Cell#: _____		Office#: _____ Cell#: _____
	Name: <u>Perkins Roofing Corp</u>		Name: <u>Jeann Boulton</u>
	Address: <u>575 NW 152 St</u>		Address: <u>31 La Gorce Cir.</u>
	Suite No: _____		Suite No: _____
	City/State/Zip Code: <u>Miami, FL 33169</u>		City/State/Zip Code: <u>Miami Beach, FL 33141</u>
	Email Address: <u>perkinsroofing@bellsouth.net</u>		Email Address: _____
	License No: <u>CCC 042786</u>		Driver License No: _____
	Office#: <u>305-687-6521</u> Cell#: <u>786-277-8486</u>		Office#: <u>305-864-1390</u> Cell#: _____

**ATTENTION:**  
Important Notice  
Please Read Carefully

This application is hereby made to obtain a permit to do the work and installations as indicated. I certify that all work will be performed to meet the standards of all laws and construction regulations in this jurisdiction. I understand that a **separate permit** must be secured for **Electrical, Mechanical, Plumbing, Signs, Wells, Pools, Furnaces, Boilers, Heaters, Tanks, and Air Conditioners, Etc.**

**CONDO CONVERSIONS** are a change of use of the building and require a new certificate of occupancy. If this application implies a condo conversion, it shall be clearly stated in the description and on the plans; otherwise, the certificate of occupancy will be denied.

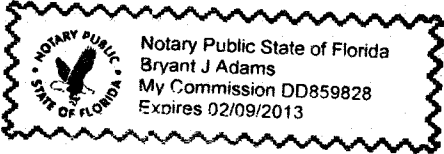
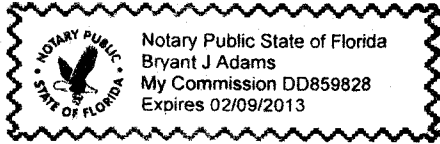
**OWNER'S AFFIDAVIT:** I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and Zoning.

**OWNER'S OR PERSON RESPONSIBLE FOR IMPROVEMENTS AFFIDAVIT:** I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and Zoning.

**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies.

Under penalties of perjury, I declare that to the best of my knowledge, the facts stated in this document are true. Any information found to be false may cause the revocation and/or denial of the permit and/or certificate of occupancy.



* Owner	Tenant (If Applicable)	* Qualifier
<u>Jean Boulton</u> Signature of Owner of Agent: <u>Jean Boulton</u> Printed Name of Owner of Agent: <u>6/3/11</u> Date of Signature: <u>Bryant Adams</u> Signature of Notary Public <u>personally known</u> Identification Swore to and subscribed before me this <u>3rd</u> day of <u>June</u> 20 <u>11</u> (SEAL)	 Signature of Tenant:  Printed Name of Tenant:  Date of Signature:  Signature of Notary Public  Identification Swore to and subscribed before me this _____ day of _____ 20 _____ (SEAL)	<u>Dean Perkins</u> Signature of Qualifier: <u>Dean Perkins</u> Printed Name of Qualifier: <u>6/3/11</u> Date of Signature: <u>Bryant Adams</u> Signature of Notary Public <u>personally known</u> Identification Swore to and subscribed before me this <u>3rd</u> day of <u>June</u> 20 <u>11</u> (SEAL)
		

**THE SIGNATURE REQUIRED BELOW IS FOR \*OWNER/BUILDER APPLICANTS ONLY\*. PLEASE DO NOT SIGN BELOW IF THIS IS NOT AN OWNER/BUILDER APPLICATION.**

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. NOTICE OF COMMENCEMENT SHOULD BE FILED AT: 22 NW FIRST STREET, MIAMI, FL**

STATE OF FLORIDA \_\_\_\_\_ COUNTY OF \_\_\_\_\_

Print Owner's Name \_\_\_\_\_ Owner's Signature \_\_\_\_\_

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_\_, by \_\_\_\_\_

- ☐ Personally  
☐ Produced Identification – Type of Identification \_\_\_\_\_

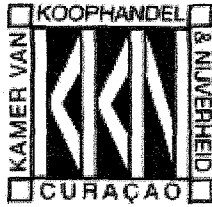
Signature of Notary Public \_\_\_\_\_ (SEAL)

Application Approval By: \_\_\_\_\_ Permit Clerk Signature \_\_\_\_\_ Date \_\_\_\_\_



<b>BUILDING: SPECIALTY PERMITS</b>	<input type="checkbox"/> Kitchen Renovation <input type="checkbox"/> Bath Renovation <input type="checkbox"/> Indoor Flooring, Sq.Ft. _____ <input type="checkbox"/> Generator, Sq.Ft. _____ <input type="checkbox"/> Solar (Photovoltaic)/Alternate Power _____ <input type="checkbox"/> Swimming Pool, gallons _____ <i>(select one, new and renovation includes equipment)</i> <input type="checkbox"/> New Pool <input type="checkbox"/> Renovation of existing pool <input type="checkbox"/> Resurfacing <input type="checkbox"/> Equipment relocation only <input type="checkbox"/> Swimming pool lighting only <input type="checkbox"/> Demolition <input type="checkbox"/> Total, # of stories _____ <input type="checkbox"/> Partial, Sq.Ft. _____ <input type="checkbox"/> Other (signs, fences or other then above) _____ <input type="checkbox"/> Marine <input type="checkbox"/> Docks, Sq.Ft. _____ <input type="checkbox"/> Seawall, linear feet _____ <input type="checkbox"/> Boat lift, # units _____ <input type="checkbox"/> Pilings/Moorings, # units _____ <input type="checkbox"/> Raise existing mechanical equipment on roof <input type="checkbox"/> Parking lot lighting <input type="checkbox"/> Access control, # devices _____	<input type="checkbox"/> Temporary and Special Events <input type="checkbox"/> Platform, select: first or re-approval (circle one) <input type="checkbox"/> Bleachers, select: first or re-approval (circle one) <input type="checkbox"/> Tents, # independent tents (not attached) _____ Sq.Ft. each unattached tent _____, etc. <input type="checkbox"/> Temporary chiller/generator, # units _____ <input type="checkbox"/> Temporary multi-seat toilet, # trailers _____ <input type="checkbox"/> Temporary toilet (per event), # events _____ <input type="checkbox"/> Amusement Ride <input type="checkbox"/> Other _____ <input type="checkbox"/> Temporary <input type="checkbox"/> Temporary power for construction <input type="checkbox"/> Temporary power for test <input type="checkbox"/> Trailer, # units _____ <input type="checkbox"/> Temporary electric work, # shows _____ <input type="checkbox"/> Water drainage risers and mains, # floors _____ <input type="checkbox"/> Natural gas, # appliances _____, # outlets _____ <input type="checkbox"/> Irrigation, # zones _____ <input type="checkbox"/> Heaters, <input type="checkbox"/> select: gas or electric (circle one) <input type="checkbox"/> select: new or replacement (circle one) <input type="checkbox"/> Cooling tower, new <input type="checkbox"/> Chiller replacement with structural work <input type="checkbox"/> AC unit new, # units _____ If commercial, CFM _____
<b>BUILDING: TRADE PERMITS</b>	<input type="checkbox"/> Painting <input type="checkbox"/> Windows/doors, # openings _____ <input type="checkbox"/> Shutters, # openings _____ <input type="checkbox"/> Storefront, Sq.Ft. _____ <input type="checkbox"/> Moving structures, Sq.Ft. _____ <input type="checkbox"/> Paving/concrete, Sq.Ft. _____ <input type="checkbox"/> Signs (non-electric), Sq.Ft. _____ <input type="checkbox"/> Roofing, re-roofing, waterproofing, Sq.Ft. _____ <input type="checkbox"/> Fences, walls, linear feet _____ <input type="checkbox"/> Awning, canopy or patio cover, Sq.Ft. _____ <input type="checkbox"/> Other _____	<b>ELECTRICAL: TRADE PERMITS</b> <input type="checkbox"/> Electrical demolition only <input type="checkbox"/> Electrical safety check for service reconnect <input type="checkbox"/> Electrical services, # meters _____ <input type="checkbox"/> Panel replacement, # panels _____ <input type="checkbox"/> Busway installation, linear feet _____ <input type="checkbox"/> Signs (electric), # signs _____ <input type="checkbox"/> Low voltage, # devices _____ <input type="checkbox"/> Empty conduit, # openings _____ <input type="checkbox"/> Generator Transfer Switch <input type="checkbox"/> Other _____
<b>PLUMBING: TRADE PERMITS</b>	<input type="checkbox"/> Plumbing only demolition <input type="checkbox"/> Fixtures <input type="checkbox"/> Rough, # units _____ <input type="checkbox"/> Sets, # sets _____ <input type="checkbox"/> Interceptors, # units _____ <input type="checkbox"/> Water drainage, # inlets _____ <input type="checkbox"/> Condensation drains <input type="checkbox"/> Dry or discharge wells, # wells _____ <input type="checkbox"/> Water/gas mains, linear feet _____ <input type="checkbox"/> Sanitary, storm or collector lines, linear feet _____ <input type="checkbox"/> Backflow protection, # devices _____ <input type="checkbox"/> Other _____	<b>MECHANICAL: TRADE PERMITS</b> <input type="checkbox"/> Mechanical only demolition <input type="checkbox"/> AC Replacement <input type="checkbox"/> HVAC, # units _____ <input type="checkbox"/> Window unit, # units _____ <input type="checkbox"/> Cooling tower, replacement <input type="checkbox"/> Chiller replacement without structural work <input type="checkbox"/> Refrigeration equipment replacement <input type="checkbox"/> Gas or oil furnace <input type="checkbox"/> Hood replacement, # hoods _____ <input type="checkbox"/> Duct work <input type="checkbox"/> Single Family Home, # drops _____ <input type="checkbox"/> All other occupancy type, linear feet _____ <input type="checkbox"/> Other _____
<b>ELEVATOR: TRADE PERMITS</b>	<input type="checkbox"/> Installation or major revamping <input type="checkbox"/> Commercial elevator, # stories _____ <input type="checkbox"/> Residential elevator, # elevators _____ <input type="checkbox"/> Wheelchair lift, # lifts _____ <input type="checkbox"/> Escalator, # escalators _____	<input type="checkbox"/> Elevator repair <input type="checkbox"/> Removal from service <input type="checkbox"/> Emergency power test <input type="checkbox"/> Elevator fire recall test <input type="checkbox"/> Temporary use <input type="checkbox"/> Other _____
<b>FIRE: PERMITS</b>	<input type="checkbox"/> Fire Suppression Permit <input type="checkbox"/> Cooking hood suppression, # of systems _____ <input type="checkbox"/> Room suppression, # of systems _____ <input type="checkbox"/> Minor work on existing systems <input type="checkbox"/> Fire Alarm Permit <input type="checkbox"/> Fire alarm system, Sq.Ft. _____ <input type="checkbox"/> Smoke alarms – 120v, # devices _____ <input type="checkbox"/> Minor work on existing systems <input type="checkbox"/> Incidental Permit <input type="checkbox"/> Fire Hydrant Flow Test Permit	<input type="checkbox"/> Fire Sprinkler Permit <input type="checkbox"/> Sprinkler systems, Sq. Ft. _____ <input type="checkbox"/> Standpipe system only (no sprinkler) Size (Inches) _____ Linear Ft. _____ <input type="checkbox"/> Minor work on existing systems <input type="checkbox"/> Fire Pump <input type="checkbox"/> Fire Pump Only, # of pumps _____ <input type="checkbox"/> Underground Fire Line Permit <input type="checkbox"/> Underground line or appurtenances, replace <input type="checkbox"/> Incidental (new installation-separate from sprinkler permit)

<b>BUILDING: SPECIALTY PERMITS</b>	<input type="checkbox"/> Kitchen Renovation <input type="checkbox"/> Bath Renovation <input type="checkbox"/> Indoor Flooring, Sq.Ft. _____ <input type="checkbox"/> Generator, Sq.Ft. _____ <input type="checkbox"/> Solar (Photovoltaic)/Alternate Power <input type="checkbox"/> Swimming Pool, gallons _____ (select one, new and renovation includes equipment) <input type="checkbox"/> New Pool <input type="checkbox"/> Renovation of existing pool <input type="checkbox"/> Resurfacing <input type="checkbox"/> Equipment relocation only <input type="checkbox"/> Swimming pool lighting only <input type="checkbox"/> Demolition <input type="checkbox"/> Total, # of stories _____ <input type="checkbox"/> Partial, Sq.Ft. _____ <input type="checkbox"/> Other (signs, fences or other then above) _____ <input type="checkbox"/> Marine <input type="checkbox"/> Docks, Sq.Ft. _____ <input type="checkbox"/> Seawall, linear feet _____ <input type="checkbox"/> Boat lift, # units _____ <input type="checkbox"/> Pilings/Moorings, # units _____ <input type="checkbox"/> Raise existing mechanical equipment on roof <input type="checkbox"/> Parking lot lighting <input type="checkbox"/> Access control, # devices _____	<input type="checkbox"/> Temporary and Special Events <input type="checkbox"/> Platform, select: first or re-approval (circle one) <input type="checkbox"/> Bleachers, select: first or re-approval (circle one) <input type="checkbox"/> Tents, # independent tents (not attached) _____ Sq.Ft. each unattached tent _____, etc. <input type="checkbox"/> Temporary chiller/generator, # units _____ <input type="checkbox"/> Temporary multi-seat toilet, # trailers _____ <input type="checkbox"/> Temporary toilet (per event), # events _____ <input type="checkbox"/> Amusement Ride <input type="checkbox"/> Other _____ <input type="checkbox"/> Temporary <input type="checkbox"/> Temporary power for construction <input type="checkbox"/> Temporary power for test <input type="checkbox"/> Trailer, # units _____ <input type="checkbox"/> Temporary electric work, # shows _____ <input type="checkbox"/> Water drainage risers and mains, # floors _____ <input type="checkbox"/> Natural gas, # appliances _____, # outlets _____ <input type="checkbox"/> Irrigation, # zones _____ <input type="checkbox"/> Heaters, <input type="checkbox"/> select: gas or electric (circle one) <input type="checkbox"/> select: new or replacement (circle one) <input type="checkbox"/> Cooling tower, new <input type="checkbox"/> Chiller replacement with structural work <input type="checkbox"/> AC unit new, # units _____ If commercial, CFM _____
<b>BUILDING: TRADE PERMITS</b>	<input type="checkbox"/> Painting <input type="checkbox"/> Windows/doors, # openings _____ <input type="checkbox"/> Shutters, # openings _____ <input type="checkbox"/> Storefront, Sq.Ft. _____ <input type="checkbox"/> Moving structures, Sq.Ft. _____ <input type="checkbox"/> Paving/concrete, Sq.Ft. _____ <input type="checkbox"/> Signs (non-electric), Sq.Ft. _____ <input type="checkbox"/> Roofing, re-roofing, waterproofing, Sq.Ft. <u>1300</u> <input type="checkbox"/> Fences, walls, linear feet _____ <input type="checkbox"/> Awning, canopy or patio cover, Sq.Ft. _____ <input type="checkbox"/> Other _____	<b>ELECTRICAL: TRADE PERMITS</b> <input type="checkbox"/> Electrical demolition only <input type="checkbox"/> Electrical safety check for service reconnect <input type="checkbox"/> Electrical alteration/remodeling, Sq.Ft. _____ <input type="checkbox"/> Electrical services, # meters _____ <input type="checkbox"/> Panel replacement, # panels _____ <input type="checkbox"/> Busway installation, linear feet _____ <input type="checkbox"/> Signs (electric), # signs _____ <input type="checkbox"/> Low voltage, # devices _____ <input type="checkbox"/> Empty conduit, # openings _____ <input type="checkbox"/> Generator Transfer Switch <input type="checkbox"/> Other _____
<b>PLUMBING: TRADE PERMITS</b>	<input type="checkbox"/> Plumbing only demolition <input type="checkbox"/> Fixtures <input type="checkbox"/> Rough, # units _____ <input type="checkbox"/> Sets, # sets _____ <input type="checkbox"/> Interceptors, # units _____ <input type="checkbox"/> Other _____	<input type="checkbox"/> Water drainage, # inlets _____ <input type="checkbox"/> Condensation drains <input type="checkbox"/> Dry or discharge wells, # wells _____ <input type="checkbox"/> Water/gas mains, linear feet _____ <input type="checkbox"/> Sanitary, storm or collector lines, linear feet _____ <input type="checkbox"/> Backflow protection, # devices _____
<b>MECHANICAL: TRADE PERMITS</b>	<input type="checkbox"/> Mechanical only demolition <input type="checkbox"/> AC Replacement <input type="checkbox"/> HVAC, # units _____ <input type="checkbox"/> Window unit, # units _____ <input type="checkbox"/> Cooling tower, replacement <input type="checkbox"/> Chiller replacement without structural work <input type="checkbox"/> Other _____	<input type="checkbox"/> Refrigeration equipment replacement <input type="checkbox"/> Gas or oil furnace <input type="checkbox"/> Hood replacement, # hoods _____ <input type="checkbox"/> Duct work <input type="checkbox"/> Single Family Home, # drops _____ <input type="checkbox"/> All other occupancy type, linear feet _____
<b>FIRE: PERMITS</b>	<input type="checkbox"/> Cooking hood suppression, # systems _____ <input type="checkbox"/> Room fire suppression, # systems _____ <input type="checkbox"/> Fire alarm system, Sq.Ft. _____ <input type="checkbox"/> Minor work on existing fire alarm <input type="checkbox"/> Electrical smoke detector, # devices _____ <input type="checkbox"/> Other _____	<b>ELEVATOR: TRADE PERMITS</b> <input type="checkbox"/> Installation or major revamping <input type="checkbox"/> Commercial elevator, # stories _____ <input type="checkbox"/> Residential elevator, # elevators _____ <input type="checkbox"/> Wheelchair lift, # lifts _____ <input type="checkbox"/> Escalator, # escalators _____ <input type="checkbox"/> Elevator repair <input type="checkbox"/> Removal from service <input type="checkbox"/> Emergency power test <input type="checkbox"/> Elevator fire recall test <input type="checkbox"/> Temporary use <input type="checkbox"/> Other _____



## Curaçao Commercial Register

Excerpt from the Commercial Register

Registration number: 27777 (0)  
Date: June 6, 2011 Time: 3:03:39 PM

In the Commercial Register of the Curaçao Chamber of Commerce & Industry is registered under number 27777: Hulet Properties N.V.

Trade name	Hulet Properties N.V.
Legal form	Limited Liability Company
Official company name	Hulet Properties N.V.
Statutory seat	Curaçao
Date of incorporation	January 14, 1981
Date established	January 14, 1981
Authorized capital	U.S.A. Dollar 30,000.00
Issued capital	U.S.A. Dollar 6,000.00
Paid up capital	U.S.A. Dollar 6,000.00
Shares	There are different kinds of shares
Fiscal year	The fiscal year is equal to the calendar year
Address	Werfstraat 6
Country	Curaçao
Correspondence address	(same as above)
Object	Investment Company(8135), Finance Company(8137), Owning and Dealing in Real Estate(8311)

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### Official(s)

1

Function	Statutory director
Title description	Managing Director
Name	Jean Hartley Boulton
Date of birth	August 3, 1928
Nationality	Venezuelan

2

Function	Statutory director
Title description	Managing Director
Name	Tracey Casari
Date of birth	August 3, 1961
Place of birth	Schlieren ZH
Country of birth	Switzerland
Nationality	Swiss

3

Function	Proxy holder
Title description	Local Representative

## My Home

miamidade.gov

ACTIVE TOOL: SELECT



MIAMI-DADE

## Show Me:

Property Information

## Search By:

Select Item

Text only

Property Appraiser Tax Estimator

Property Appraiser Tax Comparison

## Summary Details:

Folio No.:	02-3210-003-0320
Property:	31 LA GORCE CIR
Mailing Address:	HULET PROPERTIES NV
Address:	31 LA GORCE CIR MIAMI BEACH FL 33141-4519

## Property Information:

Primary Zone:	2100 SINGLE FAMILY RESIDENCE
CLUC:	0001 RESIDENTIAL - SINGLE FAMILY
Beds/Baths:	5/5
Floors:	2
Living Units:	1
Adj Sq Footage:	4,574
Lot Size:	22,500 SQ FT
Year Built:	1936
Legal Description:	10-11 53 42 LA GORCE ISLAND PB 34-83 LOT 3 BLK 11 LOT SIZE SITE VALUE OR 17704-2530 0597 4 OR 17704-2530 0597 01

## Assessment Information:

Year:	2010	2009
Land Value:	\$890,625	\$1,282,500
Building Value:	\$478,372	\$499,313
Market Value:	\$1,368,997	\$1,781,813
Assessed Value:	\$1,368,997	\$1,781,813

## Taxable Value Information:

Year:	2010	2009
Taxing Authority:	Applied Exemption/ Taxable Value:	Applied Exemption/ Taxable Value:
Regional:	\$0/ \$1,368,997	\$0/ \$1,781,813
County:	\$0/ \$1,368,997	\$0/ \$1,781,813
City:	\$0/ \$1,368,997	\$0/ \$1,781,813
School Board:	\$0/ \$1,368,997	\$0/ \$1,781,813

## Sale Information:

Sale Date:	5/1997
Sale Amount:	\$0
Sale O/R:	17704-2530
Sales Qualification Description:	Sales which are disqualified as a result of examination of the deed
View Additional Sales	

## Additional Information:



Aerial Photography - 2009

0 124 ft

## Legend

- Property Boundary
- Selected Property
- Street
- Highway
- Miami-Dade County
- Water



My Home | Property Information | Property Taxes  
| My Neighborhood | Property Appraiser

Home | Using Our Site | Phone Directory | Privacy | Disclaimer

If you experience technical difficulties with the Property Information application or wish to send us your comments, questions or suggestions please email us at [Webmaster](#).

Web Site  
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## Curaçao Commercial Register

### Excerpt from the Commercial Register

Registration number: 27777 (0)  
Date: February 4, 2005 Time: 4:03:46 AM

In the Commercial Register of the Curaçao Chamber of Commerce & Industry is registered with number 27777 the company with the trade name Hulet Properties N.V.

Trade name	Hulet Properties N.V.
Legal form	Limited Liability Company
Official company name	Hulet Properties N.V.
Statutory seat	Curaçao
Date of incorporation	January 14, 1981
Date established	January 14, 1981
Authorized capital	U.S.A. Dollar 30,000.00
Issued capital	U.S.A. Dollar 6,000.00
Paid up capital	U.S.A. Dollar 6,000.00
Is different shares	There are different kinds of shares
Fiscal year	The fiscal year is equal to the calendar year
Business address	Werkstraat 6 Curaçao Netherlands Antilles
Correspondence address	same as above
Object categories of the business	Investment Company, Finance Company, Owning and Dealing in Real Estate

#### Official(s)

1	
Function	Statutory director
Title description	Managing Director
Name	Corporate Agents N.V.
Address	Werkstraat 6 Curaçao Netherlands Antilles
Registration number official	9773

2	
Function	Statutory director
Title description	Managing Director
Name	Jean Hartley Boulton
Address	P.O. Box 929 Caracas Venezuela
Date of birth	August 3, 1928
Nationality	Venezuelan

Source: Registry-information Internet. This document is not an excerpt in accordance with article 19 paragraph 1 of the Commercial Register Decree (O.G. 1946 no. 41)

## QUITCLAIM DEED

This instrument  
Prepared by: Marc Hammet, Esq.  
Address: 1111 Kane Concourse, Suite 610  
Bay Harbor Islands, FL 33134  
Tel: (305) 864-9934

OFF-  
REC: 17704PC2530

97R302733 1997 JUL 08 10:41

Identification (Folio) No(s): 02-3710-002-0320

DOCSTPDEE 3,900.00 SURTX 0.00  
HARVEY RUVIN, CLERK DADE COUNTY, FL

THIS QUITCLAIM DEED, Made this 23 day of May, A.D. 1997, between

JEAN HARTLEY BOULTON, A MARRIED WOMAN

of the County of Dade, in the State of Florida, party of the first part,

and HULET PROPERTIES, N.V. A NETHERLAND ANTILLES CORPORATION Reserving unto the Grantor's Husband, ANDRES BOULTON, a Life Estate in and to the property hereinbelow described

of the County of Dade, in the State of Florida, whose post office address is 31 La Gorce Circle, La Gorce Island, Miami Beach, Fla. 33141 party of the second part.

Witnesseth, That the said party of the first part, for and in consideration of the sum of TEY and 00/100 ----- (\$10.00) Dollars, and other good and valuable considerations, to it in hand paid by the said party of the second part, the receipt whereof is hereby acknowledge, does hereby remise, release and quitclaim unto the said party of the second part, all of the right, title, interest, claim and demand which the said first party has in the following described lot, piece or parcel of land, situate, lying and being in the County of Dade, State of Florida, to-wit:

Lot 3 Block 11 of LA GORCE ISLAND  
according to the Plat thereof as recorded  
in Plat Book 34 at Page 83 of the Public  
Records of Dade County, Florida

The subject property is not now, nor has same ever been the homestead of the Grantor who resides in, and is a citizen of, Venezuela.

This is a transfer without consideration, and no consideration shall be imputed hereby.

TO HAVE AND TO HOLD The same together with all and singular the appurtenances thereunto belonging on in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said party of the first part, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

In Witness Whereof, The said party of the first part has hereunto set her seal the day and year first above written.

Signed, sealed and delivered  
in the presence of:

Witness Signature

Marc Hammet

Printed Name

Witness Signature

Debra L. Schaefer

Printed Name

STATE OF FLORIDA )

COUNTY OF DADE )

Grantor Signature

JEAN HARTLEY BOULTON

Printed Name

31 La Gorce Cir. La Gorce Is.

Miami Beach, Fla. 33141

Post Office Address

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared JEAN HARTLEY BOULTON, A MARRIED WOMAN, known to me to be the persons described in and who executed the foregoing instrument, who acknowledged before me that she executed the same, that I relied upon the following forms of identification of the above-named person: personal knowledge and that an oath was taken.

23 WITNESS my hand and official seal in the County and State last aforesaid this day of May, 1997.

My Commission No.:

Expires:

Notary Signature



BUILDING DEPARTMENT  
1700 Convention Center Drive, 2<sup>nd</sup> Floor  
Miami Beach, FL, 33139

PERMIT APPLICATION SUBMITTAL CHECKLIST

All of the checked items listed below must be submitted with your completed work permit application. Your Permit Application cannot be processed if any one of the items checked is incomplete or missing.

**"An upfront fee is required prior to issuance of a process number"**  
**All payments must be made prior to 3:00pm**

Checklist was Received: ☐ Downstairs ☐ Permit Counter Ticket # A105  
Activity # B1103512 Job Address 31 La Gorce Circle

☐ **COMPLETE WORK PERMIT APPLICATION**

☐ Owner info. ☐ Folio/Parcel ID # ☐ Contractor info. ☐ Architect info. ☐ Engineer info.

Required Signatures: ☐ Owner ☐ Tenant ☐ Qualifier ☐ New Application Required

**Note:** All signatures must be notarized & original

☐ **ARCHITECTURAL & ENGINEERING AFFIDAVIT FOR JOB VALUE AND TOTAL GROSS SQUARE FOOTAGE FOR NEW CONSTRUCTION AND ALTERATION AND REPAIRS (A/E AFFIDAVIT)**

☒ **PROOF OF OWNERSHIP**

☐ Recorded warranty deed

☐ Unrecorded warranty deed with a letter from the closing attorney; or  
Title company stating that the warranty deed is in process of being recorded

☒ Articles of Incorporation - Corporation Documents (listing managing members/officers/directors)

**Note:** Registered Agents cannot sign permit applications unless authorized by the owner(s)

☐ **CONTRACTOR INFORMATION**

☐ Liability insurance ☐ Workman's Compensation insurance or State of Florida exemption

☐ State License ☐ Occupational License ☐ Expired Permits ☐ Needs to register with the City

☐ Certificate of Competency ☐ Municipal Contractor Occupational License ☐ Contractor to be assigned

**Note:** All Insurance Certificates must be addressed to the City of Miami Beach. See attached handout.

☐ **PROPERTY INFORMATION**

☐ Violation on Property – Need to see the Violations Section

☐ **FEE SHEET(S)**

☐ Mechanical ☐ Electrical ☐ Plumbing ☐ Fire

**Note:** (A Hold Harmless form is required for Temp for Test)

☐ **PLANS**

☐ Two (2) sets – walk thru ☐ Three (3) sets – drop off

**Note:** If a walk-thru is converted to a drop off you will be required to submit three (3) sets of plans

☐ **ORIGINAL AUTHORIZATION LETTER FROM OWNER TO AGENT**

☐ **ORIGINAL AUTHORIZATION LETTER FROM CONDOMINIUM ASSOCIATION**

☐ Condominium letterhead ☐ Board member signature ☐ Notary or condo seal

=====

**REQUIRED REVIEWS**

☐ Building/Accessibility ☐ Structural ☐ Mechanical ☐ Electrical ☐ Plumbing ☐ Elevator

☐ Engineering ☐ Fire ☐ Public Works ☐ Planning & Zoning

Received by: Signature [Signature]

Print Bryant Adams

Permit Clerk: Signature [Signature]

Print N. M. Adams

**CONCENTRATED UPLIFT LOAD TESTING ON ROOF TILE  
TO COMPLY WITH METRO-DADE COUNTY PROTOCOL TAS-106**

PROPERTY ADDRESS: 31 Lagorce Circle Miami BeachPERMIT No: B1103512

OWNER: \_\_\_\_\_

ROOFING SQUARES: 13CONTRACTOR: Perkins RoofingROOF PITCH: 3:12TILE TYPE: FlatINSPECTOR INITIALS: AAATTACHMENT: Polyfoam™ / Polypro™TEST DATE: 7/18/2011Testing Equipment: Digital Chatillon DFIS 200

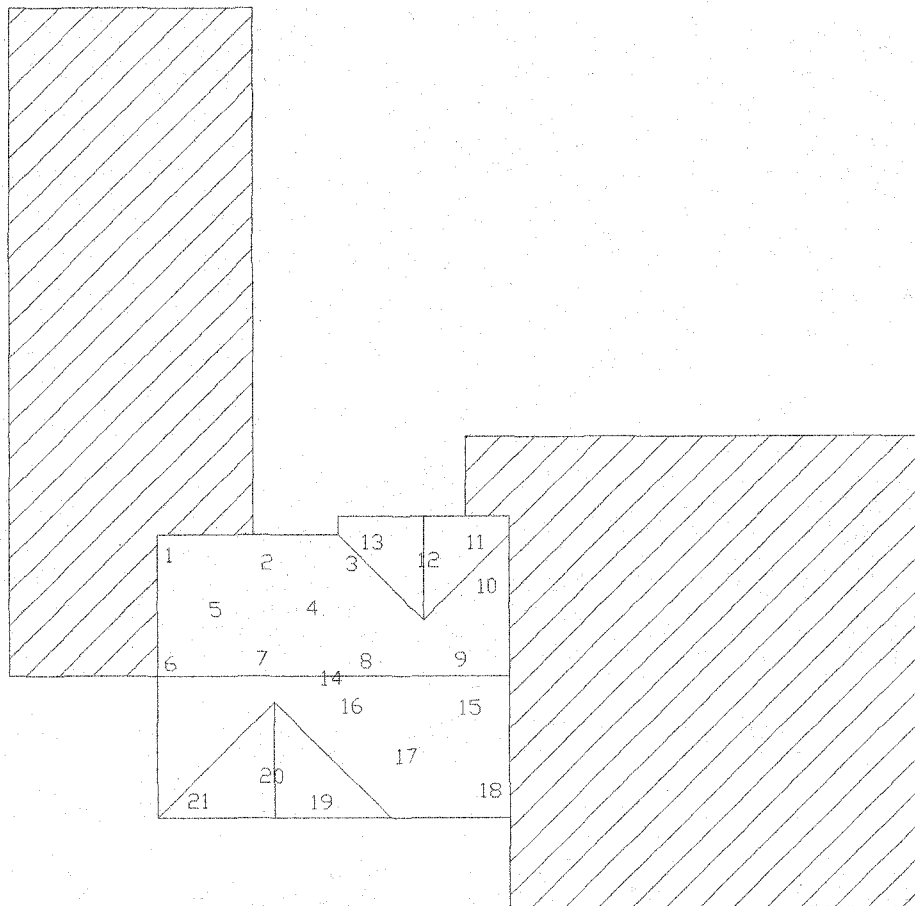
Test Tabulation

Required Testing Force: 35 lbs

No.	RESULT	No.	RESULT	No.	RESULT	No.	RESULT	No.	RESULT
1-5	Passed								
6-10	Passed								
11-15	Passed								
16-21	Passed								

THIS ROOF HAS: PASSED ☒ FAILED ☐ THE STATIC UPLIFT IN ACCORDANCE WITH MIAMI-DADE COUNTY TAS 106.

"ROOF SKETCH"



Reviewed by:

*Alberto Cardona*  
7-19-11  
Alberto Cardona, P.E.-Lic #17138

10735 SW 216 Street 416  
Miami, FL 33170

www.floridatec.net

Tel: (305) 256-4550  
Fax (305) 256-6833



**CONCENTRATED UPLIFT LOAD TESTING ON ROOF TILE  
TO COMPLY WITH METRO-DADE COUNTY PROTOCOL TAS-106**

PROPERTY ADDRESS: 31 Lagorce Circle Miami BeachPERMIT No: B1103512

OWNER: \_\_\_\_\_

ROOFING SQUARES: 13CONTRACTOR: Perkins RoofingROOF PITCH: 3:12TILE TYPE: FlatINSPECTOR INITIALS: AAATTACHMENT: Polyfoam™ / Polypro™TEST DATE: 7/18/2011Testing Equipment: Digital Chatillon DFIS 200

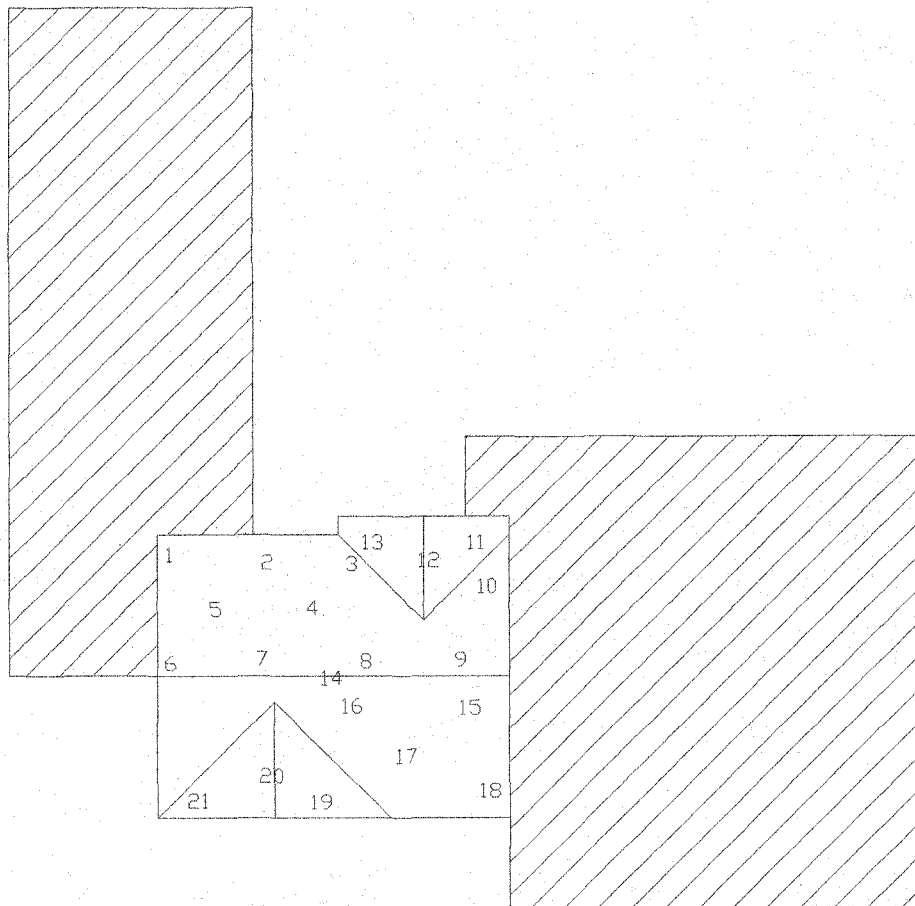
Test Tabulation

Required Testing Force: 35 lbs

No.	RESULT	No.	RESULT	No.	RESULT	No.	RESULT	No.	RESULT
1-5	Passed								
6-10	Passed								
11-15	Passed								
16-21	Passed								

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# B1103512

Florida Building Code Edition 2004  
High-Velocity Hurricane Zone Uniform Permit Application Form.

## Section A (General Information)

Master Permit No. \_\_\_\_\_ Process No. \_\_\_\_\_

Contractor's Name Perkins Roofing Corp.

Job Address 31 La Gorce Cir. M.B. FL 33141

### ROOF CATEGORY

- ☐ Low Slope      ☐ Mechanically Fastened Tile      ☒ Mortar/Adhesive Set Tile  
☐ Asphaltic Shingles      ☐ Metal Panel/Shingles      ☐ Wood Shingles/Shakes  
☐ Prescriptive BUR-RAS 150

### ROOF TYPE

- ☐ New Roof      ☒ Reroofing      ☐ Recovering      ☐ Repair      ☐ Maintenance

### ROOF SYSTEM INFORMATION

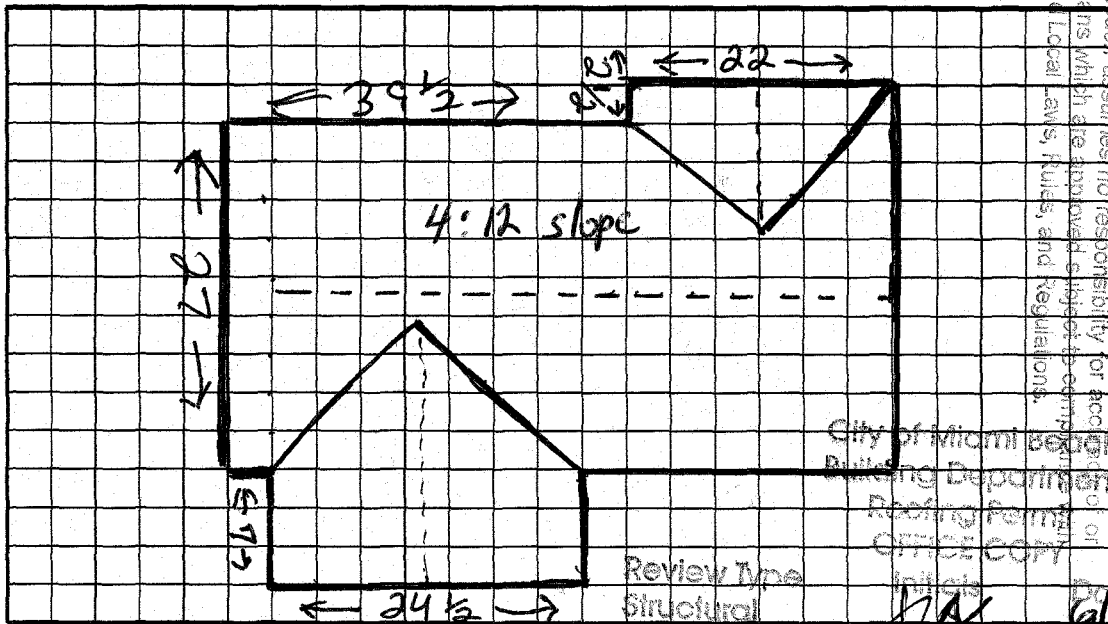
Low Slope Roof Area (SF)  
0

Steep Sloped Roof Area (SF)  
1300

Total (SF)  
1300

## Section B (Roof Plan)

Sketch Roof Plan: Illustrate all levels and sections, roof drains, scuppers, overflow scuppers and overflow drains. Include dimensions of sections and levels, clearly identify dimensions of elevated pressure zones and location of parapets.



NOTICE: In addition to the requirement of this permit there may be additional restrictions applicable to this property that may be found in the Public Records of this County and there may be additional permits required from other government entities such as water management districts, state agencies, or federal agencies. The City of Miami Beach assumes no responsibility for accuracy of these plans which are approved subject to compliance with all Federal, State, and Local laws, rules, and Regulations.

City of Miami Beach  
Building Department  
Roofing Permit  
OFFICE COPY

Review Type  
Structural  
Zoning  
Engineering  
Public Works

Initials  
Date  
6/6/11  
6/6/11

Bond  
NA  
NA  
NA

48 HOURS PRIOR TO EXCAVATING  
CONTRACTOR SHALL CALL FOR LOCATION  
OF UNDERGROUND UTILITIES  
SUNSHINE ONE-CALL 1-800-452-4770  
CITY OF MIAMI BEACH 305-673-7080

N/A

**Florida Building Code Edition 2004**

High-Velocity Hurricane Zone Uniform Permit Application Form.

**Section C (Low Slope Application)**

Fill in specific roof assembly components and identify manufacturer

(If a component is not used, identify as "NA")

System Manufacturer: \_\_\_\_\_

Product Approval No.: \_\_\_\_\_

Design Wind Pressures, From RAS 128 or Calculations:

Pmax1: \_\_\_\_\_ Pmax2: \_\_\_\_\_ Pmax3: \_\_\_\_\_

Max. Design Pressure, from the specific Product Approval system: \_\_\_\_\_

Deck:  
Type: \_\_\_\_\_

Gauge/Thickness: \_\_\_\_\_

Slope: \_\_\_\_\_

Anchor/Base Sheet & No. of Ply(s): \_\_\_\_\_

Anchor/Base Sheet Fastener/Bonding Material: \_\_\_\_\_

Insulation Base Layer: \_\_\_\_\_

Base Insulation Size and Thickness: \_\_\_\_\_

Base Insulation Fastener/Bonding Material: \_\_\_\_\_

Top Insulation Layer: \_\_\_\_\_

Top Insulation Size and Thickness: \_\_\_\_\_

Top Insulation Fastener/Bonding Material: \_\_\_\_\_

Base Sheet(s) & No. of Ply(s): \_\_\_\_\_

Base Sheet Fastener/Bonding Material: \_\_\_\_\_

Ply Sheet(s) & No. of Ply(s): \_\_\_\_\_

Ply Sheet Fastener/Bonding Material: \_\_\_\_\_

Top Ply: \_\_\_\_\_

Top Ply Fastener/Bonding Material: \_\_\_\_\_

Surfacing: \_\_\_\_\_

Fastener Spacing for Anchor/Base Sheet Attachment:

Field: \_\_\_\_\_" oc @ Lap, # Rows \_\_\_\_\_ @ \_\_\_\_\_" oc

Perimeter: \_\_\_\_\_" oc @ Lap, # Rows \_\_\_\_\_ @ \_\_\_\_\_" oc

Corner: \_\_\_\_\_" oc @ Lap, # Rows \_\_\_\_\_ @ \_\_\_\_\_" oc

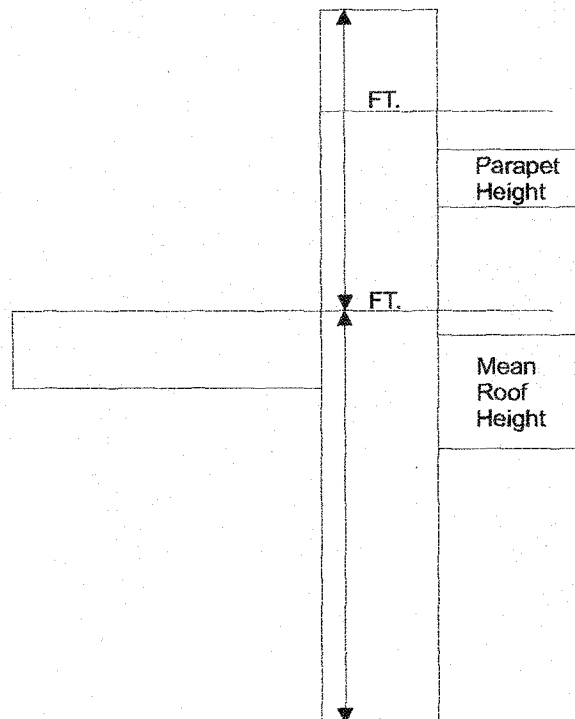
Number of Fasteners Per Insulation Board: \_\_\_\_\_

Field \_\_\_\_\_ Perimeter \_\_\_\_\_ Corner \_\_\_\_\_

Illustrate Components Noted and Details as Applicable:

Woodblocking, Gutter, Edge Termination, Stripping, Flashing, Continuous Cleat, Cant Strip, Base Flashing, Counter-Flashing, Coping, Etc.

Indicate: Mean Roof Height, Parapet Height, Height of Base Flashing, Component Material, Material Thickness, Fastener Type, Fastener Spacing or Submit



**Florida Building Code Edition 2004**

High-Velocity Hurricane Zone Uniform Permit Application Form.

**Section D (Steep Sloped Roof System)**

Roof System Manufacturer: <u>Entegra</u>
Notice of Acceptance Number: <u>11-0414.04</u>
Minimum Design Wind Pressures, If Applicable (From RAS 127 or Calculations): P1: <u>45.1</u> P2: <u>78.6</u> P3: <u>116.2</u>
Maximum Design Pressure (From the Product Approval Specific System): <u>40.4</u>

**Steep Sloped Roof System Description**

Roof Slope: <u>4</u> : <u>12</u>	Deck Type: <u>plywood</u>
	Type Underlayment: <u>ASTM D226</u>
	Insulation: <u>—</u>
	Fire Barrier: <u>—</u>
Ridge Ventilation? <u>—</u>	Fastener Type & Spacing: <u>1/4" R.S. nails &amp; TC</u> <sup>center</sup> <u>12" oc</u> <u>2 rows</u> <u>12" oc</u> <u>Side</u> <u>6" oc</u> <u>2 rows</u> <u>6" oc</u>
	Adhesive Type: <u>—</u>
	Type Cap Sheet: <u>Flintlastic SA Cap FR</u>
Mean Roof Height: <u>20'</u>	Roof Covering: <u>Concrete tile</u>
	Type & Size Drip Edge: <u>3x3 26 ga.</u>

**Florida Building Code Edition 2004**  
**High-Velocity Hurricane Zone Uniform Permit Application Form.**  
**Section E (Tile Calculations)**

For Moment based tile systems, choose either Method 1 or 2. Compare the values for  $M_r$  with the values from  $M_f$ . If the  $M_f$  values are greater than or equal to the  $M_r$  values, for each area of the roof, then the tile attachment method is acceptable.

Method 1 "Moment Based Tile Calculations Per RAS 127"

$$\begin{aligned} (P_1: 45.1 \times \lambda \cdot 205 &= 9.24) - Mg: 6.86 = M_{r1} \quad 2.38 & \text{Product Approval } M_f &= 40.4 \\ (P_2: 78.6 \times \lambda \cdot 205 &= 16.11) - Mg: 6.86 = M_{r2} \quad 9.25 & \text{Product Approval } M_f &= 40.4 \\ (P_3: 116.2 \times \lambda \cdot 205 &= 23.82) - Mg: 6.86 = M_{r3} \quad 16.96 & \text{Product Approval } M_f &= 40.4 \end{aligned}$$

Method 2 "Simplified Tile Calculations Per Table Below"

Required Moment of Resistance ( $M_r$ ) From Table Below \_\_\_\_\_ Product Approval  $M_f$  \_\_\_\_\_

<b><math>M_r</math> required Moment Resistance*</b>					
Mean Roof Height → Roof Slope ↓	15'	20'	25'	30'	40'
2:12	34.4	36.5	38.2	39.7	42.2
3:12	32.2	34.4	36.0	37.4	39.8
4:12	30.4	32.2	33.8	35.1	37.3
5:12	28.4	30.1	31.6	32.8	34.9
6:12	26.4	28.0	29.4	30.5	32.4
7:12	24.4	25.9	27.1	28.2	30.0

\*Must be used in conjunction with a list of moment based tile systems endorsed by the Broward County Board of Rules and Appeals.

For Uplift based tile systems use Method 3. Compared the values for  $F'$  with the values for  $F_r$ . If the  $F'$  values are greater than or equal to the  $F_r$  values, for each area of the roof, then the tile attachment method is acceptable.

Method 3 "Moment Based Tile Calculations Per RAS 127"

$$\begin{aligned} (P_1: \text{_____} \times L \text{_____} = \text{_____} \times w: \text{_____}) - W: \text{_____} \times \cos \theta \text{_____} &= F_{r1} \text{_____} & \text{Product Approval } F' &= \text{_____} \\ (P_2: \text{_____} \times L \text{_____} = \text{_____} \times w: \text{_____}) - W: \text{_____} \times \cos \theta \text{_____} &= F_{r2} \text{_____} & \text{Product Approval } F' &= \text{_____} \\ (P_3: \text{_____} \times L \text{_____} = \text{_____} \times w: \text{_____}) - W: \text{_____} \times \cos \theta \text{_____} &= F_{r3} \text{_____} & \text{Product Approval } F' &= \text{_____} \end{aligned}$$

<b>Where to Obtain Information</b>		
Description	Symbol	Where to find
Design Pressure	$P_1$ or $P_2$ or $P_3$	RAS 127 Table 1 or by an engineering analysis prepared by PE based on ASCE 7
Mean Roof Height	$H$	Job Site
Roof Slope	$\theta$	Job Site
Aerodynamic Multiplier	$\lambda$	Product Approval
Restoring Moment due to Gravity	$M_g$	Product Approval
Attachment Resistance	$M_f$	Product Approval
Required Moment Resistance	$M_r$	Calculated
Minimum Attachment Resistance	$F'$	Product Approval
Required Uplift Resistance	$F_r$	Calculated
Average Tile Weight	$W$	Product Approval
Tile Dimensions	$L$ = length $W$ = width	Product Approval

All calculations must be submitted to the building official at the time of permit application.



"Delivering Excellence Every Day"

## SECTION 1524

**HIGH VELOCITY HURRICANE ZONES-- REQUIRED OWNERS NOTIFICATION FOR ROOFING CONSIDERATIONS**

**1524.1 Scope.** As it pertains to this section, it is the responsibility of the roofing contractor to provide the owner with the required roofing permit, and to explain to the owner the content of this section. The provisions of Chapter 15 of the *Florida Building Code, Building* govern the minimum requirements and standards of the industry for roofing system installations. Additionally, the following items should be addressed as part of the agreement between the owner and the contractor. The owner's initial in the designated space indicates that the item has been explained.

**JB** **1. Aesthetics-workmanship:** The workmanship provisions of Chapter 15 (High Velocity Hurricane Zone) are for the purpose of providing that the roofing system meets the wind resistance and water intrusion performance standards. Aesthetics (appearance) are not a consideration with respect to workmanship provisions. Aesthetic issues such as color or architectural appearance, that are not part of a zoning code, should be addressed as part of the agreement between the owner and the contractor.

**JB** **2. Renailing wood decks:** When replacing roofing, the existing wood roof deck may have to be renailed in accordance with the current provisions of Chapter 16 (High Velocity Hurricane Zones) of the Florida Building Code. (The roof deck is usually concealed prior to removing the existing roof system).

**JB** **3. Common roofs:** Common roofs are those which have no visible delineation between neighboring units (i.e. townhouses, condominiums, etc.). In buildings with common roofs, the roofing contractor and/or owner should notify the occupants of adjacent units of roofing work to be performed.

**JB** **4. Exposed ceilings:** Exposed, open beam ceilings are where the underside of the roof decking can be viewed from below. The owner may wish to maintain the architectural appearance; therefore, roofing nail penetrations of the underside of the decking may not be acceptable. The owner provides the option of maintaining this appearance.

**JB** **5. Ponding water:** The current roof system and/or deck of the building may not drain well and may cause water to pond (accumulate) in low-lying areas of the roof. Ponding can be an indication of structural distress and may require the review of a professional structural engineer. Ponding may shorten the life expectancy and performance of the new roofing system. Ponding conditions may not be evident until the original roofing system is removed. Ponding conditions should be corrected.

**JB** **6. Overflow scuppers (wall outlets):** It is required that rainwater flow off so that the roof is not overloaded from a build up of water. Perimeter/edge walls or other roof extensions may block this discharge if overflow scuppers (wall outlets) are not provided. It may be necessary to install overflow scuppers in accordance with the requirements of: Chapter 15 and 16 herein and the *Florida Building Code, Plumbing*.

**JB** **7. Ventilation:** Most roof structures should have some ability to vent natural airflow through the interior of the structural assembly (the building itself). The existing amount of attic ventilation shall not be reduced. **Exception:** Attic spaces, designed by a Florida-licensed engineer or registered architect to eliminate the attic venting, venting shall not be required.

Owner's/Agent's Signature: Jean BoultonDate: 6 / 2 / 11Contractor's Signature: John Parkinson, pres.Permit Number: Property Address: 31 La Gorce Cir M.B. FL 33141

B1103512



BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**NOTICE OF ACCEPTANCE (NOA)**

CertainTeed Corporation  
1400 Union Meeting Road  
P.O. Box 1100  
Blue Bell PA 19422

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code and the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: CertainTeed Underlayment Systems**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This revises NOA # 10-0119.01 and consists of pages 1 through 7.

The submitted documentation was reviewed by Alex Tigera.



*Alex Tigera*

NOA No.: 10-0608.01  
Expiration Date: 11/24/14  
Approval Date: 11/18/10  
Page 1 of 7

## ROOFING COMPONENT APPROVAL

**Category:** Roofing  
**Sub-Category:** Underlayment  
**Material:** SBS

### TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
WinterGuard HT Manufacturing Location #1	36" x 65' rolls Roll Weight: 45 lbs	ASTM D 1970	Modified fiberglass reinforced, bituminous sheet material for use as an underlayment in sloped roof assemblies. Designed as an ice & rain shield.
WinterGuard Granular Manufacturing Location #2	36" x 65' rolls Roll Weight: 72 lbs	ASTM D 1970	Granular surfaced modified, fiberglass reinforced, bituminous sheet material for use as an underlayment in sloped roof assemblies. Designed as an ice & rain shield.
WinterGuard Sand Manufacturing Location #2	36" x 65' rolls Roll Weight: 72 lbs	ASTM D 1970	Embedded sand surfaced modified, fiberglass reinforced, bituminous sheet material for use as an underlayment in sloped roof assemblies. Designed as an ice & rain shield.
Diamond Deck™ Manufacturing Location #3	48" x 250' Roll Weight: 38 lbs.	ASTM D 226	Synthetic, scrim reinforced underlayment for use under shake, shingles, slate or metal roofing.
MetaLayment™ Manufacturing Location #1	39 3/8" x 61' Roll Weight: 54 lbs.	ASTM D 1970	A film surfaced, self-adhering underlayment for use under metal roofing.
Black Diamond™ Base Sheet Manufacturing Location #2	39 3/8" x 68' 7"; Roll Weight: 76 lbs.	ASTM D 1970	Granular surfaced modified, fiberglass reinforced, bituminous sheet material for use as an underlayment in sloped roof assemblies. Designed as an ice & rain shield. <b>Not for use as an Anchor Sheet. Direct adhesion to wood deck not permitted in the HVHZ.</b>
Flintlastic GTA Manufacturing Location #1	39 3/8" x 32' 10", Roll Weight: 105 lbs.	ASTM D 6222, Grade G, Type I	Granule surfaced APP Modified Bitumen membrane with non-woven polyester mat reinforcement for torch application.
All Weather/Empire Base Sheet Manufacturing Location #1	39 3/8" x 65' 10", Weight: 70 lbs.	ASTM D 4601 Type II	Asphalt coated fiberglass reinforced base sheet.

MIAMI-DADE COUNTY  
APPROVED

NOA No.: 10-0608.01  
 Expiration Date: 11/24/14  
 Approval Date: 11/18/10  
 Page 2 of 7



<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Flintlastic SA Cap FR <i>Manufacturing Location #1</i>	33'11" x 39-3/8"	TAS 103	Fiberglass reinforced, fire retardant SBS cap sheet.
Flintlastic GMS <i>Manufacturing Location #1</i>	39-3/8" x 33'11" Roll Weight: 97 lbs.	ASTM D 6164 Grade G, Type I	Granule surfaced SBS Modified Bitumen membrane with non-woven polyester mat reinforcement for mop application.

#### MANUFACTURING LOCATION:

1. Little Rock, AR.
2. Shakopee, MN
2. Hangzhou, China

#### EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Momentum Technologies, Inc.	AX31G8D	ASTM D4601	09/05/08
	AX31G8G	ASTM D6222	06/05/09
	RX02J9A	ASTM D6164	12/22/09
Trinity   ERD	C8440.04.08	ASTM D4798, D1970	04/08/08
	C9560.05.08	ASTM D1970	05/27/08
	C12960.06.09	TAS 103	06/02/09
	3530.12.05-1-R1	AC 152 & ASTM D1623	10/05/09
	3523.03.05-R2	ASTM D1623	01/12/10
	C32240.03.10	TAS-104 / ASTM D 4977	03/04/10
	C3500.04.10	TAS-103	04/01/10
	C30280.12.09-R2	ASTM D 226	12/11/09
	C30890.03.10-1	ASTM D1970	03/17/10



**Deck Type 1:** Wood, Non-insulated

**Deck Description:**  $\frac{19}{32}$ " or greater plywood or wood plank

**System E(3):** Anchor sheet mechanically fastened to deck, membrane adhered.

**Anchor sheet:** One ply of ASTM D 226 Type II organic felt or All Weather/Empire Base mechanically attached with a minimum 4" side lap and a minimum 6" end lap. Anchor sheet shall be applied at a right angle (90°) to the slope of the deck with approved annular ring shank nails and tin caps at a fastener spacing of 6" o.c. at the side lap, and two 12" o.c. staggered rows along the center of the base sheet.

**Ply Sheet:** (Optional) One or more plies of an ASTM D226 ply sheet adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Membrane:** One ply of Flintlastic GMS adhered in a full mopping of Type IV asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or Flintlastic GTA torch applied to the preceding sheet or Flintlastic SA Cap FR self-adhering membranes adhered to the preceding sheet with a minimum 4" side lap and 6" end lap. Place the first course of membrane parallel to the eave, rolling the membrane to obtain maximum contact. Remove the release membrane as the membrane is applied. Vertical strapping of the membrane is acceptable. If membrane is strapped, then anchor sheet and ply sheet must also be strapped.

When used in Tile roof systems the cap sheet shall be back nailed to deck with approved annular ring shank nails and tin caps at a maximum 12" o.c. at the side laps and 6" o.c. at the end laps. No nails or tin caps shall be exposed.

**Surfacing:** Flintlastic SA Cap FR, Flintlastic GTA and Flintlastic GMS may be used with any approved roof tile system mechanically fastened or foam adhered.

Must comply with appropriate Roofing Application Standard RAS 118, RAS 119, RAS 120 and applicable Building Codes.



**LABELING:**

All membranes or packaging shall bear the imprint or identifiable marking of the manufacturer's name or logo and the following statement: "Miami-Dade County Product Control Approved" or the Miami-Dade County Product Control Seal as shown below.

**BUILDING PERMIT REQUIREMENTS:**

Application for building permit shall be accompanied by copies of the following:

1. This Notice of Acceptance.
2. Any other documents required by the Building Official or applicable building code in order to properly evaluate the installation of this material.

**LIMITATIONS:**

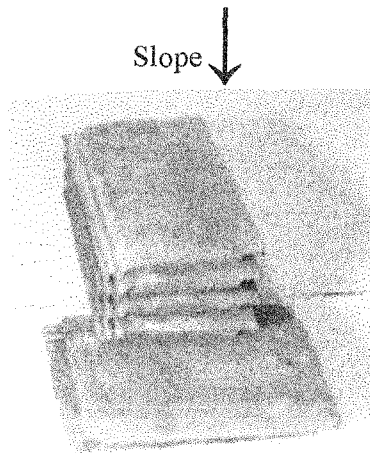
1. Fire classification is not part of this acceptance.
2. CertainTeed underlayment roofing systems utilizing Flintlastic GTA, WinterGuard HT, WinterGuard Granular, WinterGuard Sand, Diamond Deck, MetaLayment or Black Diamond Base Sheet as a cap membrane shall be acceptable for use in asphaltic shingles, wood shakes, & shingles, quarry slate, and metal roof applications.
3. CertainTeed underlayment roofing systems utilizing Flintlastic SA Cap FR, Flintlastic GTA, or Flintlastic GMS as a cap membrane shall be acceptable for use in foam adhesive set and mechanically fastened roof tile systems.
4. This acceptance is for prepared roofing applications. Minimum deck requirements shall be in compliance with applicable building code. CertainTeed underlayment roofing systems shall be installed in strict compliance with applicable Building Code.
5. CertainTeed underlayment roofing systems membranes shall be applied to a smooth, clean and dry surface with deck free of irregularities.
6. CertainTeed underlayment roofing systems membranes shall not be applied over an existing roof membrane as a recover system but may be applied over an approved roofing Base/Anchor sheet underlayment.
7. WinterGuard HT, WinterGuard Granular, WinterGuard Sand, Black Diamond Base Sheet, Flintlastic SA Cap FR, MetaLayment, Diamond Deck, Flintlastic GMS, and Flintlastic GTA shall not be left exposed as a temporary roof for longer than 180 days of application.
8. CertainTeed underlayment products may be used with any approved roof covering Notice of Acceptance listing CertainTeed underlayment products as a component part of an assembly in the Notice of Acceptance. If CertainTeed underlayment products are not listed, a request may be made to the Authority Having Jurisdiction (AHJ) or the Miami-Dade County Product Control Department for approval provided that appropriate documentation is provided to detail compatibility of the products, wind uplift resistance, and fire testing results.
9. All nails in the deck shall be carefully checked for protruding heads. Re-fasten any loose decking panels. Sweep the deck thoroughly to remove any dust and debris prior to application.
10. When applying the membrane in the valley, start at the low point and work to the high point, rolling the membrane from the center outward in both directions.
11. Roll or broom the entire membrane surface so as to have 100% contact with the surface, giving special attention to overlap areas.



NOA No.: 10-0608.01  
Expiration Date: 11/24/14  
Approval Date: 11/18/10  
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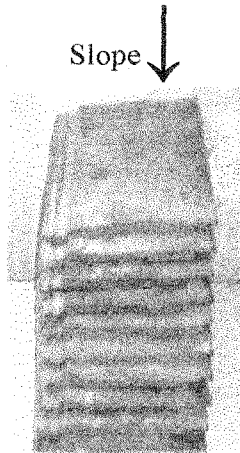
### **LIMITATIONS:**

12. Flash vent pipes, stacks, chimneys and penetrations in compliance with Roof Assembly current Product Control Notice of Acceptance and applicable Building Code.
13. All systems using Flintlastic SA Cap FR, and Flintlastic GMS shall be limited to the maximum roof slopes outlined in the table below:
  - Slopes up to 4:12 – Stage by placing two tiles perpendicular to the slope followed by maximum four tiles on top parallel to the slope (Illustrated in Figure 1 below).
  - Slopes of 4:12 up to and including 7:12 – Horizontal batten strips are required. Stage tiles upslope and touching horizontal battens; tiles (maximum 10) must be stacked parallel to the slope (See Figure 2 below).
  - Slopes greater than 7:12 – Horizontal batten strips are required as described in the tile manufacturer's NOA per RAS 118 and RAS 119.



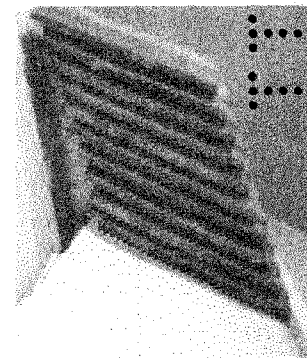
Front View

Figure 1: Staged Method,



Front View

Figure 2: Batten Method



Side View

Figure 2: Batten Method

**END OF THIS ACCEPTANCE**



NOA No.: 10-0608.01  
Expiration Date: 11/24/14  
Approval Date: 11/18/10  
Page 7 of 7



# B1103512

BUILDING AND NEIGHBORHOOD COMPLIANCE DEPARTMENT (BNC)  
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY  
PRODUCT CONTROL SECTION

11805 SW 26 Street, Room 208  
Miami, Florida 33175-2474  
T (786) 315-2590 F (786) 315-2599

[www.miamidade.gov/building/](http://www.miamidade.gov/building/)

## NOTICE OF ACCEPTANCE (NOA)

Entegra Roof Tile, Inc.  
1289 NE 9<sup>th</sup> Ave.  
Okeechobee, FL. 34972

### SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County BNC - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BNC reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code. This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

### DESCRIPTION: Bermuda Concrete Flat Roof Tile

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This renews NOA # 10-0518.01 and consists of pages 1 through 6.  
The submitted documentation was reviewed by Alex Tigera.



NOA No. 11-0414.09  
Expiration Date: 06/07/16  
Approval Date: 05/26/11  
Page 1 of 6

## ROOFING ASSEMBLY APPROVAL

Category: Roofing  
Sub Category: Roofing Tiles  
Material: Concrete

### 1. SCOPE

This revises a roofing system using Entegra Flat Concrete Roof Tile, as manufactured Entegra Roof Tile Corporation in Okeechobee, FL. as described in Section 2 of this Notice of Acceptance, designed to comply with the Florida Building Code for High Velocity Hurricane Zone. For the locations where the pressure requirements, as determined by applicable Building Code, does not exceed the design pressure values obtain by calculations in compliance with RAS 127 using the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.

### 2. PRODUCT DESCRIPTION

<u>Manufactured by</u> <u>Applicant</u>	<u>Dimensions</u>	<u>Test</u> <u>Specifications</u>	<u>Product</u> <u>Description</u>
Entegra Flat Tile	l = 16" w = 10"	TAS 112	Flat profile, interlocking, high pressure extruded concrete roof tile equipped with two nail holes. For mechanical, mortar or adhesive set applications.
Trim Pieces	l = varies w = varies varying thickness	TAS 112	Accessory trim, concrete roof pieces for use at hips, rakes, ridges and valley terminations. Manufactured for each tile profile.

#### 2.1 MANUFACTURING LOCATION

2.1.1. Okeechobee, FL.

#### 2.2 EVIDENCE SUBMITTED

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Redland Technologies	7161-03	Static Uplift Testing	Dec. 1991
	Appendix III	PA 102 & PA 102(A)	
The Center for Applied Engineering, Inc.	94-084	Static Uplift Testing	May 1994
		PA 101 (Mortar Set)	
The Center for Applied Engineering, Inc.	94-060A	Static Uplift Testing	March, 1994
		PA 101 (Adhesive Set)	
The Center for Applied Engineering, Inc.	25-7094-2	Static Uplift Testing	Oct. 1994
		PA 102	
		(4" Headlap, Nails, Direct Deck, New Construction)	

MIAMI-DADE COUNTY  
APPROVED

NOA No. 11-0414.09  
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The Center for Applied Engineering, Inc.	25-7094-8	Static Uplift Testing PA 102 (4" Headlap, Nails, Battens)	Oct. 1994
The Center for Applied Engineering, Inc.	25-7094-5	Static Uplift Testing PA 102 (4" Headlap, Nails, Direct Deck, Recover/Reroof)	Oct. 1994
The Center for Applied Engineering, Inc.	25-7183-6	Static Uplift Testing PA 102	Feb. 1995
The Center for Applied Engineering, Inc.	25-7183-5	(2 Quik-Drive Screws, Direct Deck) Static Uplift Testing PA 102	Feb. 1995
The Center for Applied Engineering, Inc.	25-7214-1	(2 Quik-Drive Screws, Battens) Static Uplift Testing PA 102	March, 1995
The Center for Applied Engineering, Inc.	25-7214-5	(1 Quik-Drive Screw, Direct Deck) Static Uplift Testing PA 102	March, 1995
Redland Technologies	7161-03 Appendix II	(1 Quik-Drive Screw, Battens) Wind Tunnel Testing PA 108 (Nail-On)	Dec. 1991
Redland Technologies	Letter Dated Aug. 1, 1994	Wind Tunnel Testing PA 108 (Nail-On)	Aug. 1994
Redland Technologies	P0631-01	Wind Tunnel Testing PA 108 (Mortar Set)	July 1994
Redland Technologies	P0402	Withdrawal Resistance Testing of screw vs. smooth shank nails	Sept. 1993
The Center for Applied Engineering, Inc.	Project No. 307025 Test #MDC-77	Wind Driven Rain PA 100	Oct. 1994
Atlanta Testing & Engineering, Inc.	R1.894 R2.894 R3.894	Physical Properties PA 112	Aug. 1994
Professional Service Industries, Inc.	395-40011-1	Physical Properties PA 112	Feb 2004
Celotex Corporation Testing Service	520109-1 520111-4	Static Uplift Testing PA 101	Dec. 1998
Celotex Corporation Testing Service	520191-1	Static Uplift Testing PA 101	March 1999
Walker Engineering, Inc.	Calculations	Aerodynamic Multiplier	March 2004
Walker Engineering, Inc.	Evaluation Calculations	25-7094	Feb 1996
Walker Engineering, Inc.	Evaluation Calculations	25-7496	April 1996
Walker Engineering, Inc.	Evaluation Calculations	25-7584	December 1996
		25-7804b-8	
		25-7804-4 & 5	
		25-7848-6	
Walker Engineering, Inc.	Evaluation Calculations	25-7183	March 1995
Walker Engineering, Inc.	Evaluation Calculations	Restoring Moment, $M_R$	March 2004
Walker Engineering, Inc.	Calculations	Two Patty Adhesive Set System	April 1999
Nutting Engineers	13343.1	TAS 112	05/06/08

### 3. LIMITATIONS:

- 3.1 Fire classification is not part of this acceptance.
- 3.2 For mortar or adhesive set tile applications, a static field uplift test in accordance with TAS 106 may required, refer to applicable building code.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with TAS 112, appendix 'A'. Such testing shall be submitted to the Building and Neighborhood Compliance Department – Product Control Section for review.
- 3.4 Minimum underlayment shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable building code.

### 4. INSTALLATION

- 4.1 Entegra 'Flat' Concrete Roof Tile and its components shall be installed in strict compliance with Miami Dade County Roofing Application Standard RAS 118, RAS 119, and RAS 120.
- 4.2 Data For Attachment Calculations.

Table 1: Average Weight (W) and Dimensions (l x w)			
Tile Profile	Weight-W (lbf)	Length-l (ft)	Width-w (ft)
Entegra Flat Tile	9.7	1.33	.833

Table 2: Aerodynamic Multipliers - $\lambda$ (ft <sup>3</sup> )		
Tile Profile	$\lambda$ (ft <sup>3</sup> ) Batten Application	$\lambda$ (ft <sup>3</sup> ) Direct Deck Application
Entegra Flat Tile	0.189	0.205

Table 3: Restoring Moments due to Gravity - $M_g$ (ft-lbf)										
Tile Profile	3":12"		4":12"		5":12"		6":12"		Greater than 7":12"	
Entegra Flat Tile	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck
	6.53	6.97	6.43	6.86	6.29	6.71	6.14	6.54	5.97	6.35



Table 4: Attachment Resistance Expressed as a Moment - M <sub>t</sub> (ft-lbf) for Nail-On Systems				
Tile Profile	Fastener Type	Direct Deck (min 15/32" plywood)	Direct Deck (min. 19/32" plywood)	Battens
Entegra Flat Tile	2-10d Ring Shank Nails	30.9	38.1	17.2
	1-10d Smooth or Screw Shank Nail	7.3	9.8	4.9
	2-10d Smooth or Screw Shank Nails	14.0	18.8	7.4
	1 #8 Screw	30.8	30.8	18.2
	2 #8 Screw	51.7	51.7	24.4
	1-10d Smooth or Screw Shank Nail (Field Clip)	24.3	24.3	24.2
	1-10d Smooth or Screw Shank Nail (Eave Clip)	19.0	19.0	22.1
	2-10d Smooth or Screw Shank Nails (Field Clip)	35.5	35.5	34.8
	2-10d Smooth or Screw Shank Nails (Eave Clip)	31.9	31.9	32.2
	2-10d Ring Shank Nails <sup>1</sup>	50.3	65.5	48.3
<sup>1</sup> Installation with a 4" tile headlap and fasteners are located a min. of 2½" from head of tile.				

Table 5: Attachment Resistance Expressed as a Moment M <sub>t</sub> (ft-lbf) for Two Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Entegra Flat Tile	Adhesive	31.3 <sup>3</sup>
<sup>2</sup> See manufactures component approval for installation requirements.		
<sup>3</sup> Flexible Products Company TileBond Average weight per patty 13.9 grams. Polyfoam Product, Inc. Average weight per patty 8 grams.		

Table 6: Attachment Resistance Expressed as a Moment - M <sub>t</sub> (ft-lbf) for Single Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Entegra Flat Tile	PolyPro™	118.9 <sup>4</sup>
	PolyPro™	40.4 <sup>5</sup>
<sup>4</sup> Large paddy placement of 45 grams of PolyPro™.		
<sup>5</sup> Medium paddy placement of 24 grams of PolyPro™.		



**5. LABELING:**

All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo (See Detail Below), or following statement: "Miami-Dade County Product Control Approved".



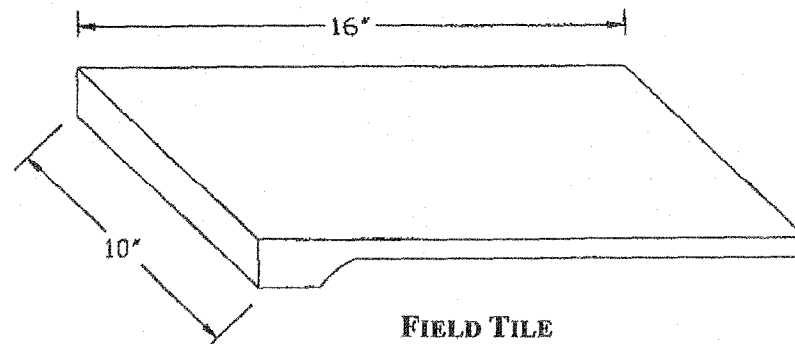
**ENTEGRA FLAT TILE LABEL (LOCATED ON UNDERSIDE OF TILE)**

**6. BUILDING PERMIT REQUIREMENTS:**

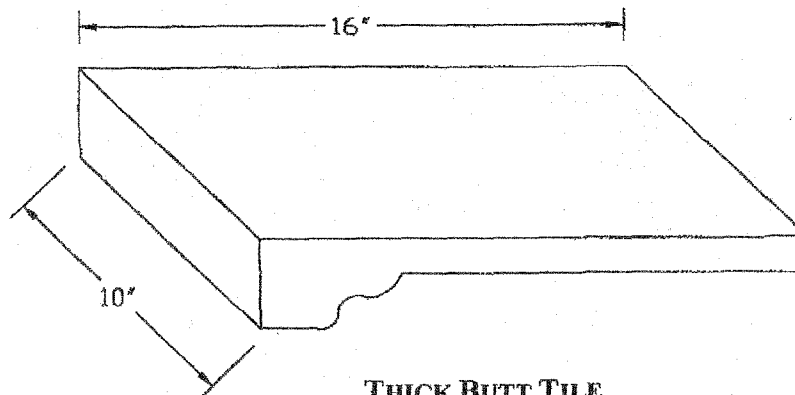
- 6.1** Application for building permit shall be accompanied by copies of the following:
- 6.1.1** This Notice of Acceptance.
  - 6.1.2** Any other documents required by Building Official or Applicable building code in order to properly evaluate the installation of this system.

**PROFILE DRAWING**

**ENTEGRA "FLAT" CONCRETE ROOF TILE**



**FIELD TILE**



**THICK BUTT TILE**

**END OF THIS ACCEPTANCE**

**MIAMI-DADE COUNTY**  
APPROVED

NOA No. 11-0414.09  
Expiration Date: 06/07/16  
Approval Date: 05/26/11  
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# B1103512

BUILDING AND NEIGHBORHOOD COMPLIANCE DEPARTMENT (BNC)  
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY  
PRODUCT CONTROL SECTION  
11805 SW 26 Street, Room 208  
Miami, Florida 33175-2474  
T (786) 315-2590 F (786) 315-2599  
[www.miamidade.gov/building/](http://www.miamidade.gov/building/)

## NOTICE OF ACCEPTANCE (NOA)

Polyfoam Products, Inc.  
11715 Boudreaux Road  
Tomball, TX 77375

### SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County BNC - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BNC reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code. This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

### DESCRIPTION: Polypro® AH160

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This renews NOA# 06-0201.02 and consists of pages 1 through 7.  
The submitted documentation was reviewed by Alex Tigera.



NOA No.: 11-0124.04  
Expiration Date: 05/10/12  
Approval Date: 04/14/11  
Page 1 of 7

## ROOFING COMPONENT APPROVAL:

Category: Roofing  
Sub Category: Roof tile adhesive  
Materials: Polyurethane

### SCOPE:

This approves Polypro® AH160 as manufactured by Polyfoam Products, Inc. as described in Section 2 of this Notice of Acceptance. For the locations where the design pressure requirements, as determined by applicable building code, does not exceed the design pressure values obtained by calculations in compliance with Roofing Application Standard RAS 127, for use with approved flat, low, and high profile roof tiles system using Polypro® AH 160. Where the attachment calculations are done as a moment based system for single patty placement, and as an uplift based system for double patty systems

### PRODUCTS MANUFACTURED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Polypro® AH160	N/A	TAS 101	Two component polyurethane foam adhesive
Foampro® RTF1000	N/A		Dispensing Equipment
ProPack® 30 & 100	N/A		Dispensing Equipment

### PRODUCTS MANUFACTURED BY OTHERS:

Any Miami-Dade County Product Control Accepted Roof Tile Assembly having a current NOA which list moment resistance values with the use of Polypro AH160 roof tile adhesive.

### PHYSICAL PROPERTIES:

<u>Property</u>	<u>Test</u>	<u>Results</u>
Density	ASTM D 1622	1.6 lbs./ft. <sup>3</sup>
Compressive Strength	ASTM D 1621	18 PSI Parallel to rise 12 PSI Perpendicular to rise
Tensile Strength	ASTM D 1623	28 PSI Parallel to rise
Water Absorption	ASTM D 2127	0.08 Lbs./Ft <sup>2</sup>
Moisture Vapor Transmission	ASTM E 96	3.1 Perm / Inch
Dimensional Stability	ASTM D 2126	+0.07% Volume Change @ -40° F., 2 weeks +6.0% Volume Change @158°F., 100% Humidity, 2 weeks
Closed Cell Content	ASTM D 2856	86%

Note: The physical properties listed above are presented as typical average values as determined by accepted ASTM test methods and are subject to normal manufacturing variation.



NOA No.: 11-0124.04  
Expiration Date: 05/10/12  
Approval Date: 04/14/11  
Page 2 of 7

# **EVIDENCE SUBMITTED:**

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Center for Applied Engineering	#94-060	TAS 101	04/08/94
	257818-1PA	TAS 101	12/16/96
	25-7438-3	SSTD 11-93	10/25/95
	25-7438-4		
	25-7438-7	SSTD 11-93	11/02/95
	25-7492	SSTD 11-93	12/12/95
Miles Laboratories Polymers Division	NB-589-631	ASTM D 1623	02/01/94
Ramtech Laboratories, Inc.	9637-92	ASTM E 108	04/30/93
Southwest Research Institute	01-6743-011	ASTM E 108	11/16/94
	01-6739-062b[1]	ASTM E 84	01/16/95
Trinity Engineering	7050.02.96-1	TAS 114	03/14/96
Celotex Corp. Testing Services	528454-2-1	TAS 101	10/23/98
	528454-9-1		
	528454-10-1		
	520109-1	TAS 101	12/28/98
	520109-2		
	520109-3		
	520109-6		
	520109-7		
	520191-1	TAS 101	03/02/99
	520109-2-1		

# **LIMITATIONS:**

1. Fire classification is not part of this acceptance. Refer to the Prepared Roof Tile Assembly for fire rating.
2. Polypro® AH160 shall solely be used with flat, low, & high tile profiles.
3. Minimum underlayment shall be in compliance with the Roofing Application Standard RAS 120.
4. Roof Tile manufactures acquiring acceptance for the use of Polypro® AH160 roof tile adhesive with their tile assemblies shall test in accordance with TAS 101.
5. Roof Tile manufactures acquiring acceptance for the use of HANDI-STICK roof tile adhesive with their tile assemblies shall test in accordance with TAS 101 with section 10.4 as modified herein.

$$F' = \frac{\left( \frac{F}{2} \right) - W}{MS}$$

MIAMI-DADE COUNTY  
[APPROVED]

NOA No.: 11-0124.04  
Expiration Date: 05/10/12  
Approval Date: 04/14/11  
Page 3 of 7

## INSTALLATION:

1. Polypro® AH160 may be used with any roof tile assembly having a current NOA that lists uplift resistance values with the use of Polypro® AH160.
2. Polypro® AH160 shall be applied in compliance with the Component Application section and the corresponding Placement Details noted herein. The roof tile assembly's adhesive attachment with the use of Polypro® AH160 shall provide sufficient attachment resistance, expressed as an uplift based system, to meet or exceed the uplift resistance determined in compliance with Miami-Dade County Roofing Application Standards RAS 127. The adhesive attachment data is noted in the roof tile assembly NOA.
3. Polypro® AH160 roof tile adhesive and its components shall be installed in accordance with Roofing Application Standard RAS 120, and Polyfoam Products, Inc. Polypro® AH160 Operating Instruction and Maintenance Booklet.
4. Installation must be by a Factory Trained 'Qualified Applicator' approved and licensed by Polyfoam Products, Inc. Polyfoam Products Inc. shall supply a list of approved applicators to the authority having jurisdiction.
5. Calibration of the Foampro® dispensing equipment is required before application of any adhesive. The mix ratio between the "A" component and the "B" component shall be maintained between 1.0-1.15 (A): 1.0 (B). The dispense timer shall be set to deliver 0.0175 to 0.15 pounds per tile as determined at calibration. No other settings shall be approved.
6. Polypro® AH160 shall be applied with Foampro RTF1000 or ProPack® 30 & 100 dispensing equipment only.
7. Polypro® AH160 shall not be exposed permanently to sunlight.
8. Tiles must be adhered in freshly applied adhesive. Tile must be set within 2 to 3 minutes after Polypro® AH160 has been dispensed.
9. Polypro® AH160 placement and minimum patty weight shall be in accordance with the 'Placement Details' herein. Each generic tile profile requires the specific placement noted herein.

**Table 1: Adhesive Placement For Each Generic Tile Profile**

Tile Profile	Placement Detail	Single Paddy Weight Min. (grams)	Two Paddy Weight per paddy Min. (grams)
Flat, Low, High Profiles	#1	35	N/A
High Profile (2 Piece Barrel)	#1	17/side on cap and 34/pan	N/A
Flat, Low, High Profiles	#2	24	N/A
Flat, Low, High Profiles	#3		8

## LABELING:

All Polypro® AH160 containers shall comply with the Standard Conditions listed herein.

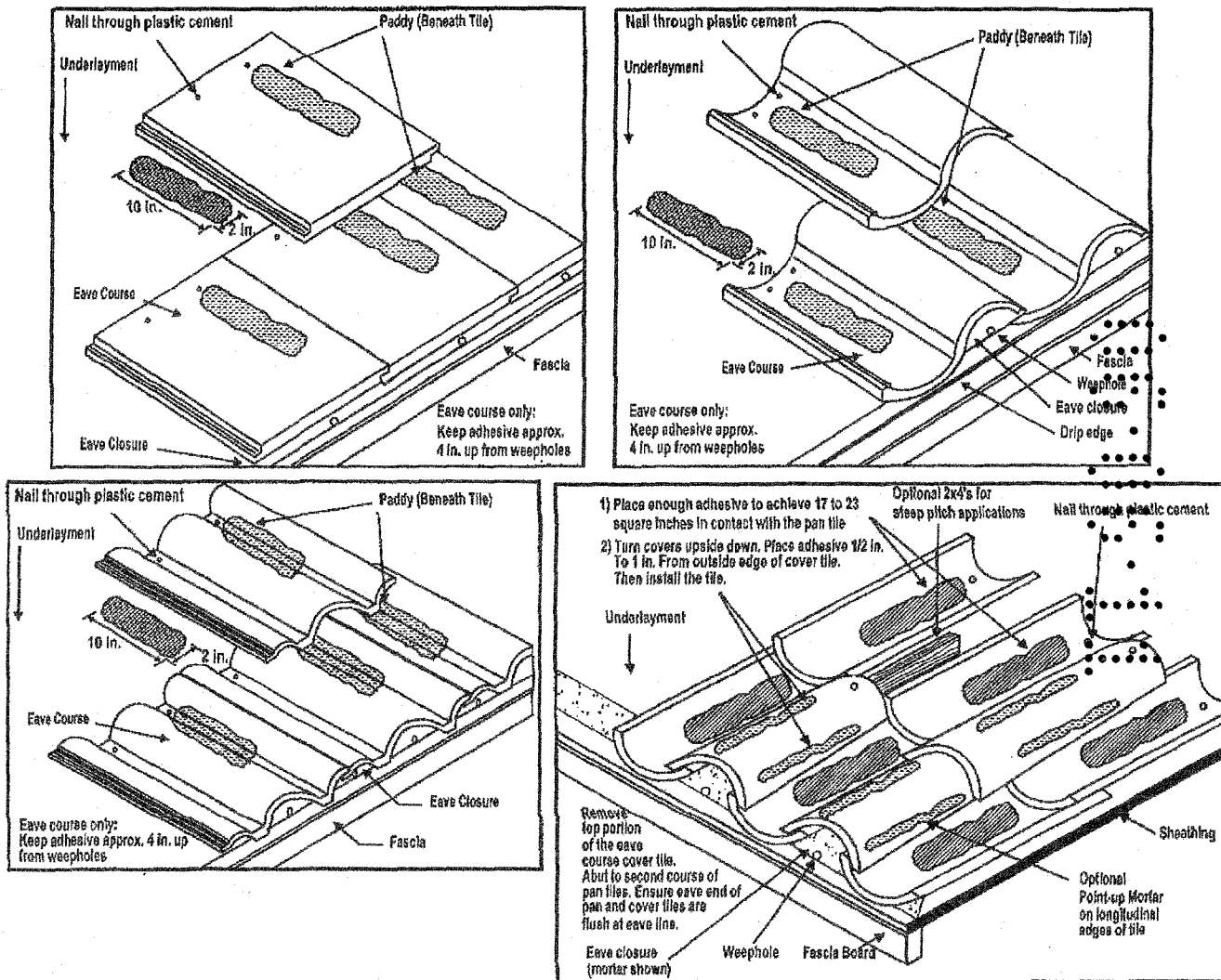
## BUILDING PERMIT REQUIREMENTS:

As required by the Building Official or applicable building code in order to properly evaluate the installation of this system.

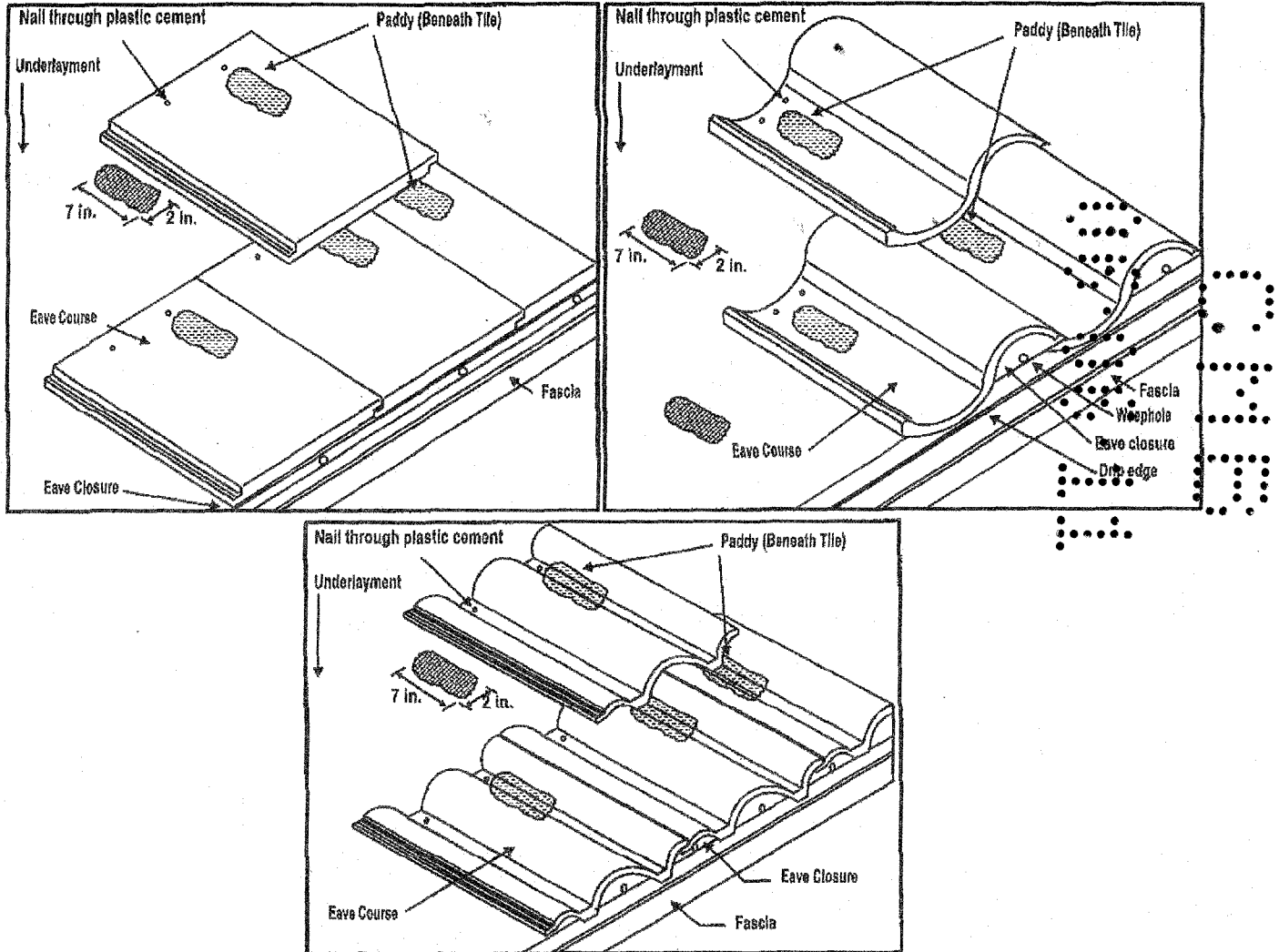
MIAMI-DADE COUNTY  
APPROVED

NOA No.: 11-0124.04  
Expiration Date: 05/10/12  
Approval Date: 04/14/11  
Page 4 of 7

## ADHESIVE PLACEMENT DETAIL 1 SINGLE PATTY

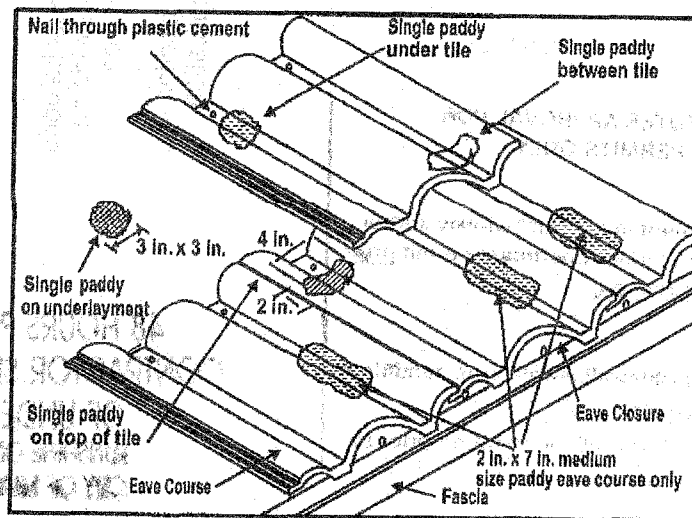
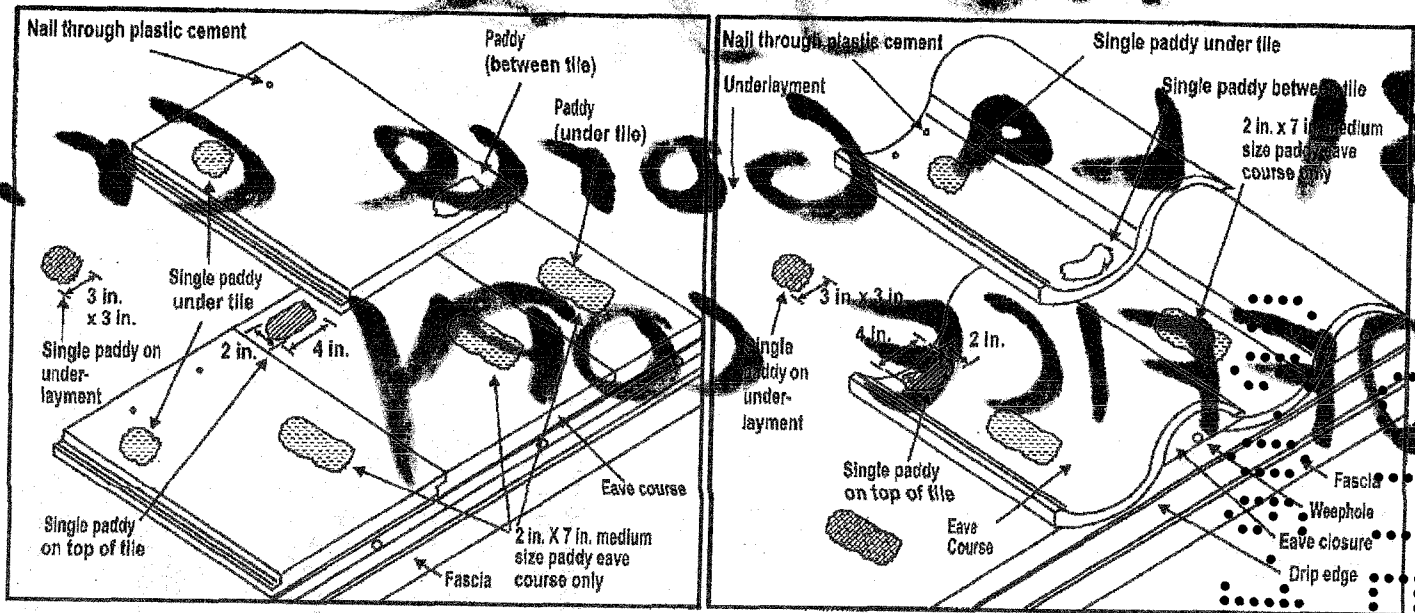


## ADHESIVE PLACEMENT DETAIL 2 SINGLE PATTY





# ADHESIVE PLACEMENT DETAIL DOUBLE PADDY



END OF THIS ACCEPTANCE



NOA No.: 11-0124.04  
Expiration Date: 05/10/12  
Approval Date: 04/14/11  
Page 7 of 7

# Bld 3512

## 31 LA 600000

### OFFICE COPY

As per Florida Building Code Section 104.5.3  
 REVIEWED FOR CODE COMPLIANCE

**NOTICE**  
 Waterproofing work under this project will require a separate Waterproofing Permit. Contractor must call for all mandatory inspections.

**NOTICE**  
 Any lightweight insulation or lightweight structural concrete installation will require a separate permit. Contractor must call for all required inspection during the installation of the lightweight

For all roofing jobs, a sheathing inspection must be done before covering any deck. Contractor may provide an Engineer certification for sheathing inspection:  
 For a roof recovery, an Engineer letter of inspection for sheathing must be provided with permit application.

**PLAN REVIEW NOTICE**  
 Phone 305-673-7080 Fax 305-673-7026

**THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.**

All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.

Permit Requirements: Proof of existing sidewalk/swale area conditions (pictures) and/or posting of sidewalk/roadway bonds (Public Works Inspection of the right of-way will be required prior to final sign-off on the C.C. / C.O., or the release of bonds.)

Reviewed By: EH-6-6-2011 Date: 6-6-2011

**48 HOURS PRIOR TO EXCAVATING CONTRACTOR SHALL CALL FOR LOCATION OF UNDERGROUND UTILITIES**  
 SUNSHINE ONE-CALL 1-800-432-4770  
 CITY OF MIAMI BEACH 305-673-7080

City of Miami Beach  
 Building Department  
 Routing Form  
 Official Copy

Review Type	Initials	Date	Bond
Structural	<u>NA</u>	<u>4/6/11</u>	<u>NA</u>
Zoning	<u>NA</u>	<u>NA</u>	<u>NA</u>
Engineering	<u>NA</u>	<u>NA</u>	<u>NA</u>
Public Works	<u>NA</u>	<u>NA</u>	<u>NA</u>

EH-6-6-2011

# B1103512

Florida Building Code Edition 2004  
High-Velocity Hurricane Zone Uniform Permit Application Form.

## Section A (General Information)

Master Permit No. \_\_\_\_\_ Process No. \_\_\_\_\_

Contractor's Name Perkins Roofing Corp.

Job Address 31 La Gorce Cir. M.B. FL 33141

### ROOF CATEGORY

- ☐ Low Slope      ☐ Mechanically Fastened Tile      ☒ Mortar/Adhesive Set Tile  
☐ Asphaltic Shingles      ☐ Metal Panel/Shingles      ☐ Wood Shingles/Shakes  
☐ Prescriptive BUR-RAS 150

### ROOF TYPE

- ☐ New Roof      ☒ Reroofing      ☐ Recovering      ☐ Repair      ☐ Maintenance

### ROOF SYSTEM INFORMATION

Low Slope Roof Area (SF)

0

Steep Sloped Roof Area (SF)

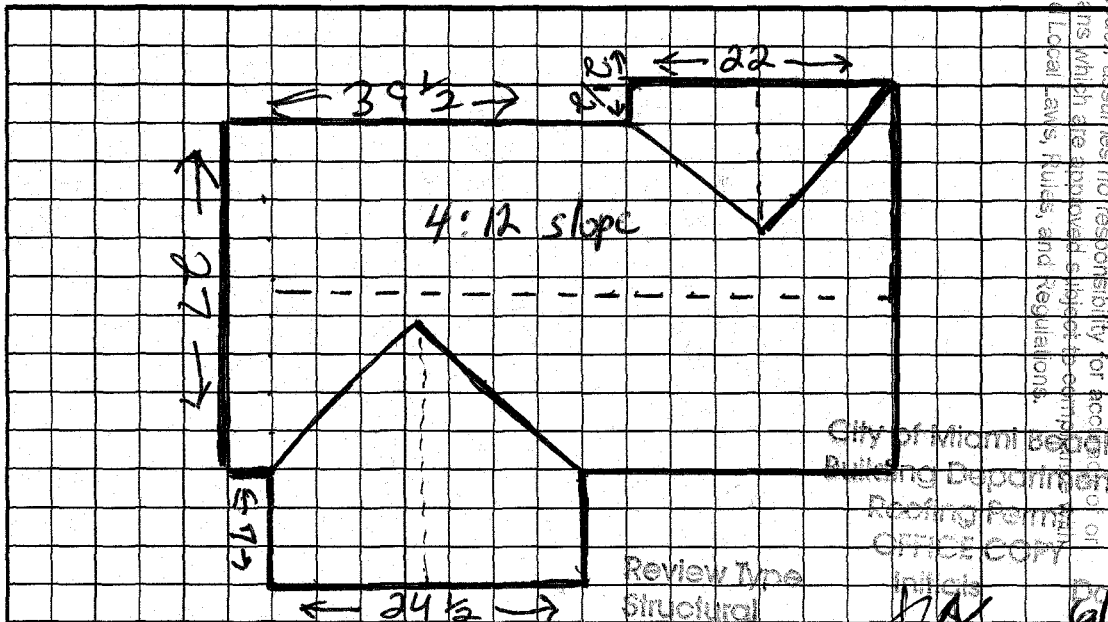
1300

Total (SF)

1300

## Section B (Roof Plan)

Sketch Roof Plan: Illustrate all levels and sections, roof drains, scuppers, overflow scuppers and overflow drains. Include dimensions of sections and levels, clearly identify dimensions of elevated pressure zones and location of parapets.



NOTICE: In addition to the requirement of this permit there may be additional restrictions applicable to this property that may be found in the Public Records of this County and there may be additional permits required from other government entities such as water management districts, state agencies, or federal agencies. The City of Miami Beach assumes no responsibility for accuracy of these plans which are approved subject to compliance with all Federal, State, and Local laws, rules, and Regulations.

City of Miami Beach  
Building Department  
Roofing Permit  
OFFICE COPY

Review Type  
Structural  
Zoning  
Engineering  
Public Works

Initials  
Date  
6/6/11  
6/6/11

Bond  
NA  
NA  
NA

48 HOURS PRIOR TO EXCAVATING  
CONTRACTOR SHALL CALL FOR LOCATION  
OF UNDERGROUND UTILITIES  
SUNSHINE ONE-CALL 1-800-452-4770  
CITY OF MIAMI BEACH 305-673-7080

FLORIDA BUILDING CODE - BUILDING

N/A

**Florida Building Code Edition 2004**

High-Velocity Hurricane Zone Uniform Permit Application Form.

**Section C (Low Slope Application)**

Fill in specific roof assembly components and identify manufacturer

(If a component is not used, identify as "NA")

System Manufacturer: \_\_\_\_\_

Product Approval No.: \_\_\_\_\_

Design Wind Pressures, From RAS 128 or Calculations:

Pmax1: \_\_\_\_\_ Pmax2: \_\_\_\_\_ Pmax3: \_\_\_\_\_

Max. Design Pressure, from the specific Product Approval system: \_\_\_\_\_

Deck:  
Type: \_\_\_\_\_

Gauge/Thickness: \_\_\_\_\_

Slope: \_\_\_\_\_

Anchor/Base Sheet & No. of Ply(s): \_\_\_\_\_

Anchor/Base Sheet Fastener/Bonding Material: \_\_\_\_\_

Insulation Base Layer: \_\_\_\_\_

Base Insulation Size and Thickness: \_\_\_\_\_

Base Insulation Fastener/Bonding Material: \_\_\_\_\_

Top Insulation Layer: \_\_\_\_\_

Top Insulation Size and Thickness: \_\_\_\_\_

Top Insulation Fastener/Bonding Material: \_\_\_\_\_

Base Sheet(s) & No. of Ply(s): \_\_\_\_\_

Base Sheet Fastener/Bonding Material: \_\_\_\_\_

Ply Sheet(s) & No. of Ply(s): \_\_\_\_\_

Ply Sheet Fastener/Bonding Material: \_\_\_\_\_

Top Ply: \_\_\_\_\_

Top Ply Fastener/Bonding Material: \_\_\_\_\_

Surfacing: \_\_\_\_\_

Fastener Spacing for Anchor/Base Sheet Attachment:

Field: \_\_\_\_\_" oc @ Lap, # Rows \_\_\_\_\_ @ \_\_\_\_\_" oc

Perimeter: \_\_\_\_\_" oc @ Lap, # Rows \_\_\_\_\_ @ \_\_\_\_\_" oc

Corner: \_\_\_\_\_" oc @ Lap, # Rows \_\_\_\_\_ @ \_\_\_\_\_" oc

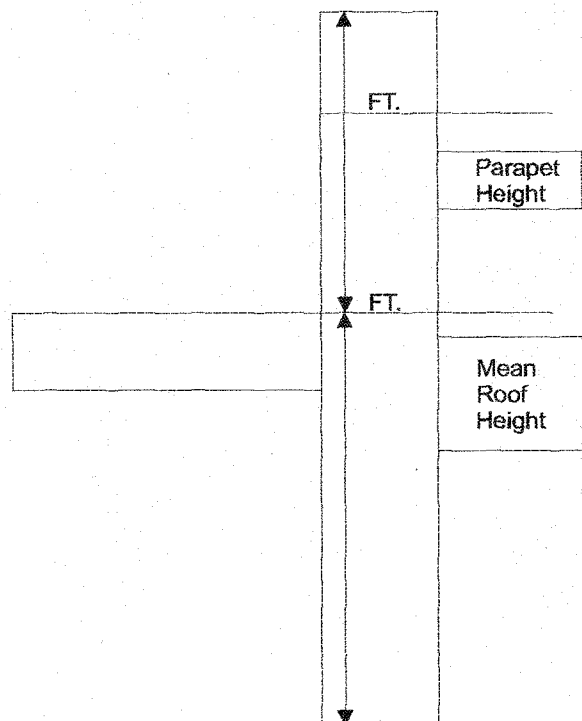
Number of Fasteners Per Insulation Board: \_\_\_\_\_

Field \_\_\_\_\_ Perimeter \_\_\_\_\_ Corner \_\_\_\_\_

Illustrate Components Noted and Details as Applicable:

Woodblocking, Gutter, Edge Termination, Stripping, Flashing, Continuous Cleat, Cant Strip, Base Flashing, Counter-Flashing, Coping, Etc.

Indicate: Mean Roof Height, Parapet Height, Height of Base Flashing, Component Material, Material Thickness, Fastener Type, Fastener Spacing or Submit



**Roof System Manufacturer:**

# Integra

**Notice of Acceptance Number:**

11-0414.09

Minimum Design Wind Pressures, If Applicable (From RAS 127 or Calculations): 112.9 116.2

P1: 45.

P2: 78.6

P3: 116.2

**Maximum Design Pressure  
(From the Product Approval Specific System):**

40.4

## Deck Type:

plywood

Type Underlayment:

ASTM D226

**Insulation:**

\_\_\_\_\_

**Fire Barrier:**

\_\_\_\_\_

**Fastener Type & Spacing:**

4 R.S. ngil/54 TC

center

12" oc 2 rows 12" oc  
side 6" oc 2 rows 6" oc

Adhesive Type:

Type Cap Sheet:

Flintlastic SA Cap FR

**Roof Covering:**

Concrete file

Type & Size Drip  
Edge:

3x3 26 ga.

Roof Slope:

4 : 12

## Ridge Ventilation?

Mean Roof Height:

201

**Florida Building Code Edition 2004**  
**High-Velocity Hurricane Zone Uniform Permit Application Form.**  
**Section E (Tile Calculations)**

For Moment based tile systems, choose either Method 1 or 2. Compare the values for  $M_r$  with the values from  $M_f$ . If the  $M_f$  values are greater than or equal to the  $M_r$  values, for each area of the roof, then the tile attachment method is acceptable.

Method 1 "Moment Based Tile Calculations Per RAS 127"

$$\begin{aligned} (P_1: 45.1 \times \lambda \cdot 205 &= 9.24) - Mg: 6.86 = M_{r1} \quad 2.38 & \text{Product Approval } M_f &= 40.4 \\ (P_2: 78.6 \times \lambda \cdot 205 &= 16.11) - Mg: 6.86 = M_{r2} \quad 9.25 & \text{Product Approval } M_f &= 40.4 \\ (P_3: 116.2 \times \lambda \cdot 205 &= 23.82) - Mg: 6.86 = M_{r3} \quad 16.96 & \text{Product Approval } M_f &= 40.4 \end{aligned}$$

Method 2 "Simplified Tile Calculations Per Table Below"

Required Moment of Resistance ( $M_r$ ) From Table Below \_\_\_\_\_ Product Approval  $M_f$  \_\_\_\_\_

<b><math>M_r</math> required Moment Resistance*</b>					
Mean Roof Height → Roof Slope ↓	15'	20'	25'	30'	40'
2:12	34.4	36.5	38.2	39.7	42.2
3:12	32.2	34.4	36.0	37.4	39.8
4:12	30.4	32.2	33.8	35.1	37.3
5:12	28.4	30.1	31.6	32.8	34.9
6:12	26.4	28.0	29.4	30.5	32.4
7:12	24.4	25.9	27.1	28.2	30.0

\*Must be used in conjunction with a list of moment based tile systems endorsed by the Broward County Board of Rules and Appeals.

For Uplift based tile systems use Method 3. Compared the values for  $F'$  with the values for  $F_r$ . If the  $F'$  values are greater than or equal to the  $F_r$  values, for each area of the roof, then the tile attachment method is acceptable.

Method 3 "Moment Based Tile Calculations Per RAS 127"

$$\begin{aligned} (P_1: \text{_____} \times L \text{_____} = \text{_____} \times w: \text{_____}) - W: \text{_____} \times \cos \theta \text{_____} &= F_{r1} \text{_____} & \text{Product Approval } F' &= \text{_____} \\ (P_2: \text{_____} \times L \text{_____} = \text{_____} \times w: \text{_____}) - W: \text{_____} \times \cos \theta \text{_____} &= F_{r2} \text{_____} & \text{Product Approval } F' &= \text{_____} \\ (P_3: \text{_____} \times L \text{_____} = \text{_____} \times w: \text{_____}) - W: \text{_____} \times \cos \theta \text{_____} &= F_{r3} \text{_____} & \text{Product Approval } F' &= \text{_____} \end{aligned}$$

<b>Where to Obtain Information</b>		
Description	Symbol	Where to find
Design Pressure	P1 or P2 or P3	RAS 127 Table 1 or by an engineering analysis prepared by PE based on ASCE 7
Mean Roof Height	H	Job Site
Roof Slope	$\theta$	Job Site
Aerodynamic Multiplier	$\lambda$	Product Approval
Restoring Moment due to Gravity	$M_g$	Product Approval
Attachment Resistance	$M_f$	Product Approval
Required Moment Resistance	$M_r$	Calculated
Minimum Attachment Resistance	$F'$	Product Approval
Required Uplift Resistance	$F_r$	Calculated
Average Tile Weight	W	Product Approval
Tile Dimensions	L = length W = width	Product Approval

All calculations must be submitted to the building official at the time of permit application.



"Delivering Excellence Every Day"

## SECTION 1524

**HIGH VELOCITY HURRICANE ZONES-- REQUIRED OWNERS NOTIFICATION FOR ROOFING CONSIDERATIONS**

**1524.1 Scope.** As it pertains to this section, it is the responsibility of the roofing contractor to provide the owner with the required roofing permit, and to explain to the owner the content of this section. The provisions of Chapter 15 of the *Florida Building Code, Building* govern the minimum requirements and standards of the industry for roofing system installations. Additionally, the following items should be addressed as part of the agreement between the owner and the contractor. The owner's initial in the designated space indicates that the item has been explained.

**JB** **1. Aesthetics-workmanship:** The workmanship provisions of Chapter 15 (High Velocity Hurricane Zone) are for the purpose of providing that the roofing system meets the wind resistance and water intrusion performance standards. Aesthetics (appearance) are not a consideration with respect to workmanship provisions. Aesthetic issues such as color or architectural appearance, that are not part of a zoning code, should be addressed as part of the agreement between the owner and the contractor.

**JB** **2. Renailing wood decks:** When replacing roofing, the existing wood roof deck may have to be renailed in accordance with the current provisions of Chapter 16 (High Velocity Hurricane Zones) of the Florida Building Code. (The roof deck is usually concealed prior to removing the existing roof system).

**JB** **3. Common roofs:** Common roofs are those which have no visible delineation between neighboring units (i.e. townhouses, condominiums, etc.). In buildings with common roofs, the roofing contractor and/or owner should notify the occupants of adjacent units of roofing work to be performed.

**JB** **4. Exposed ceilings:** Exposed, open beam ceilings are where the underside of the roof decking can be viewed from below. The owner may wish to maintain the architectural appearance; therefore, roofing nail penetrations of the underside of the decking may not be acceptable. The owner provides the option of maintaining this appearance.

**JB** **5. Ponding water:** The current roof system and/or deck of the building may not drain well and may cause water to pond (accumulate) in low-lying areas of the roof. Ponding can be an indication of structural distress and may require the review of a professional structural engineer. Ponding may shorten the life expectancy and performance of the new roofing system. Ponding conditions may not be evident until the original roofing system is removed. Ponding conditions should be corrected.

**JB** **6. Overflow scuppers (wall outlets):** It is required that rainwater flow off so that the roof is not overloaded from a build up of water. Perimeter/edge walls or other roof extensions may block this discharge if overflow scuppers (wall outlets) are not provided. It may be necessary to install overflow scuppers in accordance with the requirements of: Chapter 15 and 16 herein and the *Florida Building Code, Plumbing*.

**JB** **7. Ventilation:** Most roof structures should have some ability to vent natural airflow through the interior of the structural assembly (the building itself). The existing amount of attic ventilation shall not be reduced. **Exception:** Attic spaces, designed by a Florida-licensed engineer or registered architect to eliminate the attic venting, venting shall not be required.

Owner's/Agent's Signature: Jean BoultonDate: 6 / 2 / 11Contractor's Signature: John Parkinson, pres.Permit Number: Property Address: 31 La Gorce Cir M.B. FL 33141

B1103512



BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**NOTICE OF ACCEPTANCE (NOA)**

CertainTeed Corporation  
1400 Union Meeting Road  
P.O. Box 1100  
Blue Bell PA 19422

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by the BCCO and accepted by the Building Code and Product Review Committee to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code and the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: CertainTeed Underlayment Systems**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This revises NOA # 10-0119.01 and consists of pages 1 through 7.

The submitted documentation was reviewed by Alex Tigera.



*Alex Tigera*

NOA No.: 10-0608.01  
Expiration Date: 11/24/14  
Approval Date: 11/18/10  
Page 1 of 7



## ROOFING COMPONENT APPROVAL

**Category:** Roofing  
**Sub-Category:** Underlayment  
**Material:** SBS

### TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
WinterGuard HT Manufacturing Location #1	36" x 65' rolls Roll Weight: 45 lbs	ASTM D 1970	Modified fiberglass reinforced, bituminous sheet material for use as an underlayment in sloped roof assemblies. Designed as an ice & rain shield.
WinterGuard Granular Manufacturing Location #2	36" x 65' rolls Roll Weight: 72 lbs	ASTM D 1970	Granular surfaced modified, fiberglass reinforced, bituminous sheet material for use as an underlayment in sloped roof assemblies. Designed as an ice & rain shield.
WinterGuard Sand Manufacturing Location #2	36" x 65' rolls Roll Weight: 72 lbs	ASTM D 1970	Embedded sand surfaced modified, fiberglass reinforced, bituminous sheet material for use as an underlayment in sloped roof assemblies. Designed as an ice & rain shield.
Diamond Deck™ Manufacturing Location #3	48" x 250' Roll Weight: 38 lbs.	ASTM D 226	Synthetic, scrim reinforced underlayment for use under shake, shingles, slate or metal roofing.
MetaLayment™ Manufacturing Location #1	39 3/8" x 61' Roll Weight: 54 lbs.	ASTM D 1970	A film surfaced, self-adhering underlayment for use under metal roofing.
Black Diamond™ Base Sheet Manufacturing Location #2	39 3/8" x 68' 7"; Roll Weight: 76 lbs.	ASTM D 1970	Granular surfaced modified, fiberglass reinforced, bituminous sheet material for use as an underlayment in sloped roof assemblies. Designed as an ice & rain shield. <b>Not for use as an Anchor Sheet. Direct adhesion to wood deck not permitted in the HVHZ.</b>
Flintlastic GTA Manufacturing Location #1	39 3/8" x 32' 10", Roll Weight: 105 lbs.	ASTM D 6222, Grade G, Type I	Granule surfaced APP Modified Bitumen membrane with non-woven polyester mat reinforcement for torch application.
All Weather/Empire Base Sheet Manufacturing Location #1	39 3/8" x 65' 10", Weight: 70 lbs.	ASTM D 4601 Type II	Asphalt coated fiberglass reinforced base sheet.

MIAMI-DADE COUNTY  
APPROVED

NOA No.: 10-0608.01  
 Expiration Date: 11/24/14  
 Approval Date: 11/18/10  
 Page 2 of 7

<u>Product</u>	<u>Dimensions</u>	<u>Test Specification</u>	<u>Product Description</u>
Flintlastic SA Cap FR <i>Manufacturing Location #1</i>	33'11" x 39-3/8"	TAS 103	Fiberglass reinforced, fire retardant SBS cap sheet.
Flintlastic GMS <i>Manufacturing Location #1</i>	39-3/8" x 33'11" Roll Weight: 97 lbs.	ASTM D 6164 Grade G, Type I	Granule surfaced SBS Modified Bitumen membrane with non-woven polyester mat reinforcement for mop application.

#### MANUFACTURING LOCATION:

1. Little Rock, AR.
2. Shakopee, MN
2. Hangzhou, China

#### EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Momentum Technologies, Inc.	AX31G8D	ASTM D4601	09/05/08
	AX31G8G	ASTM D6222	06/05/09
	RX02J9A	ASTM D6164	12/22/09
Trinity   ERD	C8440.04.08	ASTM D4798, D1970	04/08/08
	C9560.05.08	ASTM D1970	05/27/08
	C12960.06.09	TAS 103	06/02/09
	3530.12.05-1-R1	AC 152 & ASTM D1623	10/05/09
	3523.03.05-R2	ASTM D1623	01/12/10
	C32240.03.10	TAS-104 / ASTM D 4977	03/04/10
	C3500.04.10	TAS-103	04/01/10
	C30280.12.09-R2	ASTM D 226	12/11/09
	C30890.03.10-1	ASTM D1970	03/17/10



**Deck Type 1:** Wood, Non-insulated

**Deck Description:**  $\frac{19}{32}$ " or greater plywood or wood plank

**System E(3):** Anchor sheet mechanically fastened to deck, membrane adhered.

**Anchor sheet:** One ply of ASTM D 226 Type II organic felt or All Weather/Empire Base mechanically attached with a minimum 4" side lap and a minimum 6" end lap. Anchor sheet shall be applied at a right angle (90°) to the slope of the deck with approved annular ring shank nails and tin caps at a fastener spacing of 6" o.c. at the side lap, and two 12" o.c. staggered rows along the center of the base sheet.

**Ply Sheet:** (Optional) One or more plies of an ASTM D226 ply sheet adhered in a full mopping of approved asphalt applied within the EVT range and at a rate of 20-40 lbs./sq.

**Membrane:** One ply of Flintlastic GMS adhered in a full mopping of Type IV asphalt applied within the EVT range and at a rate of 20-40 lbs./sq. or Flintlastic GTA torch applied to the preceding sheet or Flintlastic SA Cap FR self-adhering membranes adhered to the preceding sheet with a minimum 4" side lap and 6" end lap. Place the first course of membrane parallel to the eave, rolling the membrane to obtain maximum contact. Remove the release membrane as the membrane is applied. Vertical strapping of the membrane is acceptable. If membrane is strapped, then anchor sheet and ply sheet must also be strapped.

When used in Tile roof systems the cap sheet shall be back nailed to deck with approved annular ring shank nails and tin caps at a maximum 12" o.c. at the side laps and 6" o.c. at the end laps. No nails or tin caps shall be exposed.

**Surfacing:** Flintlastic SA Cap FR, Flintlastic GTA and Flintlastic GMS may be used with any approved roof tile system mechanically fastened or foam adhered.

Must comply with appropriate Roofing Application Standard RAS 118, RAS 119, RAS 120 and applicable Building Codes.



**LABELING:**

All membranes or packaging shall bear the imprint or identifiable marking of the manufacturer's name or logo and the following statement: "Miami-Dade County Product Control Approved" or the Miami-Dade County Product Control Seal as shown below.

**BUILDING PERMIT REQUIREMENTS:**

Application for building permit shall be accompanied by copies of the following:

1. This Notice of Acceptance.
2. Any other documents required by the Building Official or applicable building code in order to properly evaluate the installation of this material.

**LIMITATIONS:**

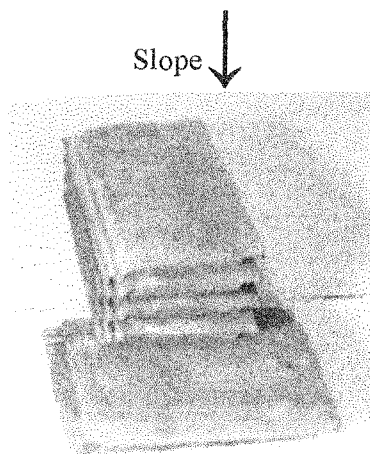
1. Fire classification is not part of this acceptance.
2. CertainTeed underlayment roofing systems utilizing Flintlastic GTA, WinterGuard HT, WinterGuard Granular, WinterGuard Sand, Diamond Deck, MetaLayment or Black Diamond Base Sheet as a cap membrane shall be acceptable for use in asphaltic shingles, wood shakes, & shingles, quarry slate, and metal roof applications.
3. CertainTeed underlayment roofing systems utilizing Flintlastic SA Cap FR, Flintlastic GTA, or Flintlastic GMS as a cap membrane shall be acceptable for use in foam adhesive set and mechanically fastened roof tile systems.
4. This acceptance is for prepared roofing applications. Minimum deck requirements shall be in compliance with applicable building code. CertainTeed underlayment roofing systems shall be installed in strict compliance with applicable Building Code.
5. CertainTeed underlayment roofing systems membranes shall be applied to a smooth, clean and dry surface with deck free of irregularities.
6. CertainTeed underlayment roofing systems membranes shall not be applied over an existing roof membrane as a recover system but may be applied over an approved roofing Base/Anchor sheet underlayment.
7. WinterGuard HT, WinterGuard Granular, WinterGuard Sand, Black Diamond Base Sheet, Flintlastic SA Cap FR, MetaLayment, Diamond Deck, Flintlastic GMS, and Flintlastic GTA shall not be left exposed as a temporary roof for longer than 180 days of application.
8. CertainTeed underlayment products may be used with any approved roof covering Notice of Acceptance listing CertainTeed underlayment products as a component part of an assembly in the Notice of Acceptance. If CertainTeed underlayment products are not listed, a request may be made to the Authority Having Jurisdiction (AHJ) or the Miami-Dade County Product Control Department for approval provided that appropriate documentation is provided to detail compatibility of the products, wind uplift resistance, and fire testing results.
9. All nails in the deck shall be carefully checked for protruding heads. Re-fasten any loose decking panels. Sweep the deck thoroughly to remove any dust and debris prior to application.
10. When applying the membrane in the valley, start at the low point and work to the high point, rolling the membrane from the center outward in both directions.
11. Roll or broom the entire membrane surface so as to have 100% contact with the surface, giving special attention to overlap areas.



NOA No.: 10-0608.01  
Expiration Date: 11/24/14  
Approval Date: 11/18/10  
Page 6 of 7

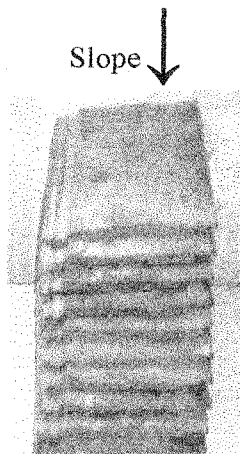
### **LIMITATIONS:**

12. Flash vent pipes, stacks, chimneys and penetrations in compliance with Roof Assembly current Product Control Notice of Acceptance and applicable Building Code.
13. All systems using Flintlastic SA Cap FR, and Flintlastic GMS shall be limited to the maximum roof slopes outlined in the table below:
  - Slopes up to 4:12 – Stage by placing two tiles perpendicular to the slope followed by maximum four tiles on top parallel to the slope (Illustrated in Figure 1 below).
  - Slopes of 4:12 up to and including 7:12 – Horizontal batten strips are required. Stage tiles upslope and touching horizontal battens; tiles (maximum 10) must be stacked parallel to the slope (See Figure 2 below).
  - Slopes greater than 7:12 – Horizontal batten strips are required as described in the tile manufacturer's NOA per RAS 118 and RAS 119.



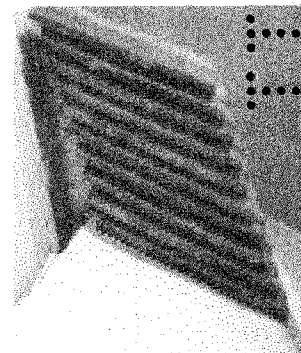
Front View

Figure 1: Staged Method,



Front View

Figure 2: Batten Method



Side View

Figure 2: Batten Method

**END OF THIS ACCEPTANCE**



NOA No.: 10-0608.01  
Expiration Date: 11/24/14  
Approval Date: 11/18/10  
Page 7 of 7



# B1103512

BUILDING AND NEIGHBORHOOD COMPLIANCE DEPARTMENT (BNC)  
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY  
PRODUCT CONTROL SECTION

11805 SW 26 Street, Room 208  
Miami, Florida 33175-2474  
T (786) 315-2590 F (786) 315-2599

[www.miamidade.gov/building/](http://www.miamidade.gov/building/)

## NOTICE OF ACCEPTANCE (NOA)

Entegra Roof Tile, Inc.  
1289 NE 9<sup>th</sup> Ave.  
Okeechobee, FL. 34972

### SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County BNC - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BNC reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code. This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

### DESCRIPTION: Bermuda Concrete Flat Roof Tile

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This renews NOA # 10-0518.01 and consists of pages 1 through 6.  
The submitted documentation was reviewed by Alex Tigera.



NOA No. 11-0414.09  
Expiration Date: 06/07/16  
Approval Date: 05/26/11  
Page 1 of 6

## ROOFING ASSEMBLY APPROVAL

Category: Roofing  
Sub Category: Roofing Tiles  
Material: Concrete

### 1. SCOPE

This revises a roofing system using Entegra Flat Concrete Roof Tile, as manufactured Entegra Roof Tile Corporation in Okeechobee, FL. as described in Section 2 of this Notice of Acceptance, designed to comply with the Florida Building Code for High Velocity Hurricane Zone. For the locations where the pressure requirements, as determined by applicable Building Code, does not exceed the design pressure values obtain by calculations in compliance with RAS 127 using the values listed in section 4 herein. The attachment calculations shall be done as a moment based system.

### 2. PRODUCT DESCRIPTION

<u>Manufactured by Applicant</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Entegra Flat Tile	l = 16" w = 10"	TAS 112	Flat profile, interlocking, high pressure extruded concrete roof tile equipped with two nail holes. For mechanical, mortar or adhesive set applications.
Trim Pieces	l = varies w = varies varying thickness	TAS 112	Accessory trim, concrete roof pieces for use at hips, rakes, ridges and valley terminations. Manufactured for each tile profile.

#### 2.1 MANUFACTURING LOCATION

2.1.1. Okeechobee, FL.

#### 2.2 EVIDENCE SUBMITTED

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Redland Technologies	7161-03	Static Uplift Testing	Dec. 1991
	Appendix III	PA 102 & PA 102(A)	
The Center for Applied Engineering, Inc.	94-084	Static Uplift Testing	May 1994
		PA 101 (Mortar Set)	
The Center for Applied Engineering, Inc.	94-060A	Static Uplift Testing	March, 1994
		PA 101 (Adhesive Set)	
The Center for Applied Engineering, Inc.	25-7094-2	Static Uplift Testing	Oct. 1994
		PA 102	
		(4" Headlap, Nails, Direct Deck, New Construction)	

MIAMI-DADE COUNTY  
APPROVED

NOA No. 11-0414.09  
Expiration Date: 06/07/16  
Approval Date: 05/26/11  
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The Center for Applied Engineering, Inc.	25-7094-8	Static Uplift Testing PA 102 (4" Headlap, Nails, Battens)	Oct. 1994
The Center for Applied Engineering, Inc.	25-7094-5	Static Uplift Testing PA 102 (4" Headlap, Nails, Direct Deck, Recover/Reroof)	Oct. 1994
The Center for Applied Engineering, Inc.	25-7183-6	Static Uplift Testing PA 102	Feb. 1995
The Center for Applied Engineering, Inc.	25-7183-5	(2 Quik-Drive Screws, Direct Deck) Static Uplift Testing PA 102	Feb. 1995
The Center for Applied Engineering, Inc.	25-7214-1	(2 Quik-Drive Screws, Battens) Static Uplift Testing PA 102	March, 1995
The Center for Applied Engineering, Inc.	25-7214-5	(1 Quik-Drive Screw, Direct Deck) Static Uplift Testing PA 102	March, 1995
Redland Technologies	7161-03 Appendix II	(1 Quik-Drive Screw, Battens) Wind Tunnel Testing PA 108 (Nail-On)	Dec. 1991
Redland Technologies	Letter Dated Aug. 1, 1994	Wind Tunnel Testing PA 108 (Nail-On)	Aug. 1994
Redland Technologies	P0631-01	Wind Tunnel Testing PA 108 (Mortar Set)	July 1994
Redland Technologies	P0402	Withdrawal Resistance Testing of screw vs. smooth shank nails	Sept. 1993
The Center for Applied Engineering, Inc.	Project No. 307025 Test #MDC-77	Wind Driven Rain PA 100	Oct. 1994
Atlanta Testing & Engineering, Inc.	R1.894 R2.894 R3.894	Physical Properties PA 112	Aug. 1994
Professional Service Industries, Inc.	395-40011-1	Physical Properties PA 112	Feb 2004
Celotex Corporation Testing Service	520109-1 520111-4	Static Uplift Testing PA 101	Dec. 1998
Celotex Corporation Testing Service	520191-1	Static Uplift Testing PA 101	March 1999
Walker Engineering, Inc.	Calculations	Aerodynamic Multiplier	March 2004
Walker Engineering, Inc.	Evaluation Calculations	25-7094	Feb 1996
Walker Engineering, Inc.	Evaluation Calculations	25-7496	April 1996
Walker Engineering, Inc.	Evaluation Calculations	25-7584	December 1996
		25-7804b-8	
		25-7804-4 & 5	
		25-7848-6	
Walker Engineering, Inc.	Evaluation Calculations	25-7183	March 1995
Walker Engineering, Inc.	Evaluation Calculations	Restoring Moment, $M_R$	March 2004
Walker Engineering, Inc.	Calculations	Two Patty Adhesive Set System	April 1999
Nutting Engineers	13343.1	TAS 112	05/06/08



### 3. LIMITATIONS:

- 3.1 Fire classification is not part of this acceptance.
- 3.2 For mortar or adhesive set tile applications, a static field uplift test in accordance with TAS 106 may required, refer to applicable building code.
- 3.3 Applicant shall retain the services of a Miami-Dade County Certified Laboratory to perform quarterly test in accordance with TAS 112, appendix 'A'. Such testing shall be submitted to the Building and Neighborhood Compliance Department – Product Control Section for review.
- 3.4 Minimum underlayment shall be in compliance with the applicable Roofing Applications Standards listed section 4.1 herein.
- 3.5 30/90 hot mopped underlayment applications may be installed perpendicular to the roof slope unless stated otherwise by the underlayment material manufacturers published literature.
- 3.6 This acceptance is for wood deck applications. Minimum deck requirements shall be in compliance with applicable building code.

### 4. INSTALLATION

- 4.1 Entegra 'Flat' Concrete Roof Tile and its components shall be installed in strict compliance with Miami Dade County Roofing Application Standard RAS 118, RAS 119, and RAS 120.
- 4.2 Data For Attachment Calculations.

Table 1: Average Weight (W) and Dimensions (l x w)			
Tile Profile	Weight-W (lbf)	Length-l (ft)	Width-w (ft)
Entegra Flat Tile	9.7	1.33	.833

Table 2: Aerodynamic Multipliers - $\lambda$ (ft <sup>3</sup> )		
Tile Profile	$\lambda$ (ft <sup>3</sup> ) Batten Application	$\lambda$ (ft <sup>3</sup> ) Direct Deck Application
Entegra Flat Tile	0.189	0.205

Table 3: Restoring Moments due to Gravity - $M_g$ (ft-lbf)										
Tile Profile	3":12"		4":12"		5":12"		6":12"		Greater than 7":12"	
Entegra Flat Tile	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck	Battens	Direct Deck
	6.53	6.97	6.43	6.86	6.29	6.71	6.14	6.54	5.97	6.35

Table 4: Attachment Resistance Expressed as a Moment - M <sub>t</sub> (ft-lbf) for Nail-On Systems				
Tile Profile	Fastener Type	Direct Deck (min 15/32" plywood)	Direct Deck (min. 19/32" plywood)	Battens
Entegra Flat Tile	2-10d Ring Shank Nails	30.9	38.1	17.2
	1-10d Smooth or Screw Shank Nail	7.3	9.8	4.9
	2-10d Smooth or Screw Shank Nails	14.0	18.8	7.4
	1 #8 Screw	30.8	30.8	18.2
	2 #8 Screw	51.7	51.7	24.4
	1-10d Smooth or Screw Shank Nail (Field Clip)	24.3	24.3	24.2
	1-10d Smooth or Screw Shank Nail (Eave Clip)	19.0	19.0	22.1
	2-10d Smooth or Screw Shank Nails (Field Clip)	35.5	35.5	34.8
	2-10d Smooth or Screw Shank Nails (Eave Clip)	31.9	31.9	32.2
	2-10d Ring Shank Nails <sup>1</sup>	50.3	65.5	48.3
<sup>1</sup> Installation with a 4" tile headlap and fasteners are located a min. of 2½" from head of tile.				

Table 5: Attachment Resistance Expressed as a Moment M <sub>t</sub> (ft-lbf) for Two Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Entegra Flat Tile	Adhesive	31.3 <sup>3</sup>
<sup>2</sup> See manufactures component approval for installation requirements.		
<sup>3</sup> Flexible Products Company TileBond Average weight per patty 13.9 grams. Polyfoam Product, Inc. Average weight per patty 8 grams.		

Table 6: Attachment Resistance Expressed as a Moment - M <sub>t</sub> (ft-lbf) for Single Patty Adhesive Set Systems		
Tile Profile	Tile Application	Minimum Attachment Resistance
Entegra Flat Tile	PolyPro™	118.9 <sup>4</sup>
	PolyPro™	40.4 <sup>5</sup>
<sup>4</sup> Large paddy placement of 45 grams of PolyPro™.		
<sup>5</sup> Medium paddy placement of 24 grams of PolyPro™.		



**5. LABELING:**

All tiles shall bear the imprint or identifiable marking of the manufacturer's name or logo (See Detail Below), or following statement: "Miami-Dade County Product Control Approved".



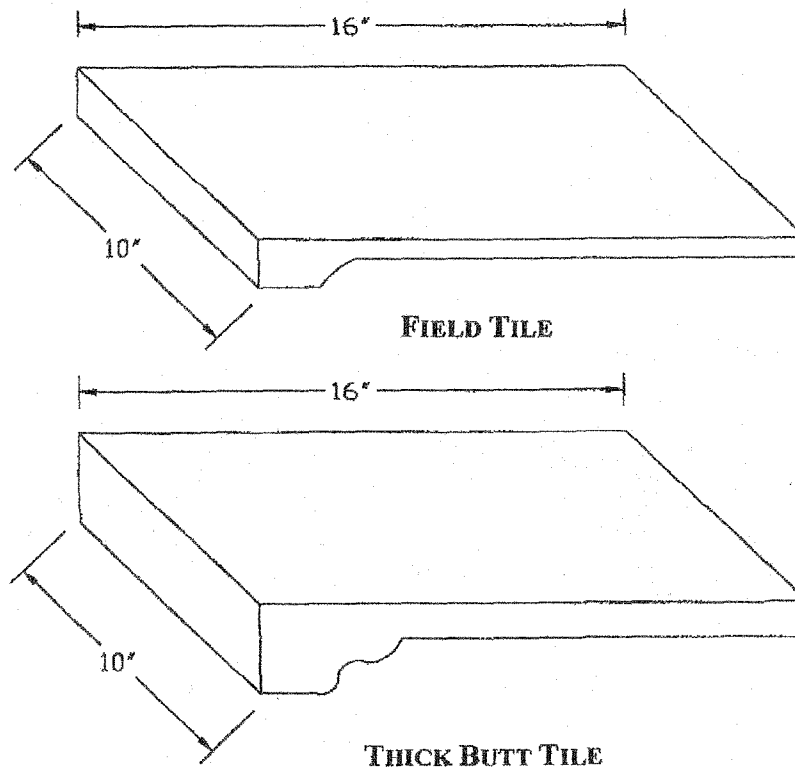
**ENTEGRA FLAT TILE LABEL (LOCATED ON UNDERSIDE OF TILE)**

**6. BUILDING PERMIT REQUIREMENTS:**

- 6.1 Application for building permit shall be accompanied by copies of the following:
- 6.1.1 This Notice of Acceptance.
  - 6.1.2 Any other documents required by Building Official or Applicable building code in order to properly evaluate the installation of this system.

**PROFILE DRAWING**

**ENTEGRA "FLAT" CONCRETE ROOF TILE**



**END OF THIS ACCEPTANCE**

**MIAMI-DADE COUNTY**  
APPROVED

NOA No. 11-0414.09  
Expiration Date: 06/07/16  
Approval Date: 05/26/11  
Page 6 of 6



# B1103512

BUILDING AND NEIGHBORHOOD COMPLIANCE DEPARTMENT (BNC)  
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY  
PRODUCT CONTROL SECTION  
11805 SW 26 Street, Room 208  
Miami, Florida 33175-2474  
T (786) 315-2590 F (786) 315-2599  
[www.miamidade.gov/building/](http://www.miamidade.gov/building/)

## NOTICE OF ACCEPTANCE (NOA)

Polyfoam Products, Inc.  
11715 Boudreaux Road  
Tomball, TX 77375

### SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County BNC - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BNC reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code. This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

### DESCRIPTION: Polypro® AH160

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This renews NOA# 06-0201.02 and consists of pages 1 through 7.  
The submitted documentation was reviewed by Alex Tigera.



NOA No.: 11-0124.04  
Expiration Date: 05/10/12  
Approval Date: 04/14/11  
Page 1 of 7

## ROOFING COMPONENT APPROVAL:

Category: Roofing  
Sub Category: Roof tile adhesive  
Materials: Polyurethane

### SCOPE:

This approves Polypro® AH160 as manufactured by Polyfoam Products, Inc. as described in Section 2 of this Notice of Acceptance. For the locations where the design pressure requirements, as determined by applicable building code, does not exceed the design pressure values obtained by calculations in compliance with Roofing Application Standard RAS 127, for use with approved flat, low, and high profile roof tiles system using Polypro® AH 160. Where the attachment calculations are done as a moment based system for single patty placement, and as an uplift based system for double patty systems

### PRODUCTS MANUFACTURED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Polypro® AH160	N/A	TAS 101	Two component polyurethane foam adhesive
Foampro® RTF1000	N/A		Dispensing Equipment
ProPack® 30 & 100	N/A		Dispensing Equipment

### PRODUCTS MANUFACTURED BY OTHERS:

Any Miami-Dade County Product Control Accepted Roof Tile Assembly having a current NOA which list moment resistance values with the use of Polypro AH160 roof tile adhesive.

### PHYSICAL PROPERTIES:

<u>Property</u>	<u>Test</u>	<u>Results</u>
Density	ASTM D 1622	1.6 lbs./ft. <sup>3</sup>
Compressive Strength	ASTM D 1621	18 PSI Parallel to rise 12 PSI Perpendicular to rise
Tensile Strength	ASTM D 1623	28 PSI Parallel to rise
Water Absorption	ASTM D 2127	0.08 Lbs./Ft <sup>2</sup>
Moisture Vapor Transmission	ASTM E 96	3.1 Perm / Inch
Dimensional Stability	ASTM D 2126	+0.07% Volume Change @ -40° F., 2 weeks +6.0% Volume Change @158°F., 100% Humidity, 2 weeks
Closed Cell Content	ASTM D 2856	86%

Note: The physical properties listed above are presented as typical average values as determined by accepted ASTM test methods and are subject to normal manufacturing variation.



NOA No.: 11-0124.04  
Expiration Date: 05/10/12  
Approval Date: 04/14/11  
Page 2 of 7

**EVIDENCE SUBMITTED:**

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Center for Applied Engineering	#94-060	TAS 101	04/08/94
	257818-1PA	TAS 101	12/16/96
	25-7438-3	SSTD 11-93	10/25/95
	25-7438-4		
	25-7438-7	SSTD 11-93	11/02/95
	25-7492	SSTD 11-93	12/12/95
Miles Laboratories Polymers Division	NB-589-631	ASTM D 1623	02/01/94
Ramtech Laboratories, Inc.	9637-92	ASTM E 108	04/30/93
Southwest Research Institute	01-6743-011	ASTM E 108	11/16/94
	01-6739-062b[1]	ASTM E 84	01/16/95
Trinity Engineering	7050.02.96-1	TAS 114	03/14/96
Celotex Corp. Testing Services	528454-2-1	TAS 101	10/23/98
	528454-9-1		
	528454-10-1		
	520109-1	TAS 101	12/28/98
	520109-2		
	520109-3		
	520109-6		
	520109-7		
	520191-1	TAS 101	03/02/99
	520109-2-1		

**LIMITATIONS:**

1. Fire classification is not part of this acceptance. Refer to the Prepared Roof Tile Assembly for fire rating.
2. Polypro® AH160 shall solely be used with flat, low, & high tile profiles.
3. Minimum underlayment shall be in compliance with the Roofing Application Standard RAS 120.
4. Roof Tile manufactures acquiring acceptance for the use of Polypro® AH160 roof tile adhesive with their tile assemblies shall test in accordance with TAS 101.
5. Roof Tile manufactures acquiring acceptance for the use of HANDI-STICK roof tile adhesive with their tile assemblies shall test in accordance with TAS 101 with section 10.4 as modified herein.

$$F' = \frac{\left( \frac{F}{2} \right) - W}{MS}$$

MIAMI-DADE COUNTY  
[APPROVED]

NOA No.: 11-0124.04  
Expiration Date: 05/10/12  
Approval Date: 04/14/11  
Page 3 of 7

## INSTALLATION:

1. Polypro® AH160 may be used with any roof tile assembly having a current NOA that lists uplift resistance values with the use of Polypro® AH160.
2. Polypro® AH160 shall be applied in compliance with the Component Application section and the corresponding Placement Details noted herein. The roof tile assembly's adhesive attachment with the use of Polypro® AH160 shall provide sufficient attachment resistance, expressed as an uplift based system, to meet or exceed the uplift resistance determined in compliance with Miami-Dade County Roofing Application Standards RAS 127. The adhesive attachment data is noted in the roof tile assembly NOA.
3. Polypro® AH160 roof tile adhesive and its components shall be installed in accordance with Roofing Application Standard RAS 120, and Polyfoam Products, Inc. Polypro® AH160 Operating Instruction and Maintenance Booklet.
4. Installation must be by a Factory Trained 'Qualified Applicator' approved and licensed by Polyfoam Products, Inc. Polyfoam Products Inc. shall supply a list of approved applicators to the authority having jurisdiction.
5. Calibration of the Foampro® dispensing equipment is required before application of any adhesive. The mix ratio between the "A" component and the "B" component shall be maintained between 1.0-1.15 (A): 1.0 (B). The dispense timer shall be set to deliver 0.0175 to 0.15 pounds per tile as determined at calibration. No other settings shall be approved.
6. Polypro® AH160 shall be applied with Foampro RTF1000 or ProPack® 30 & 100 dispensing equipment only.
7. Polypro® AH160 shall not be exposed permanently to sunlight.
8. Tiles must be adhered in freshly applied adhesive. Tile must be set within 2 to 3 minutes after Polypro® AH160 has been dispensed.
9. Polypro® AH160 placement and minimum patty weight shall be in accordance with the 'Placement Details' herein. Each generic tile profile requires the specific placement noted herein.

**Table 1: Adhesive Placement For Each Generic Tile Profile**

Tile Profile	Placement Detail	Single Paddy Weight Min. (grams)	Two Paddy Weight per paddy Min. (grams)
Flat, Low, High Profiles	#1	35	N/A
High Profile (2 Piece Barrel)	#1	17/side on cap and 34/pan	N/A
Flat, Low, High Profiles	#2	24	N/A
Flat, Low, High Profiles	#3		8

## LABELING:

All Polypro® AH160 containers shall comply with the Standard Conditions listed herein.

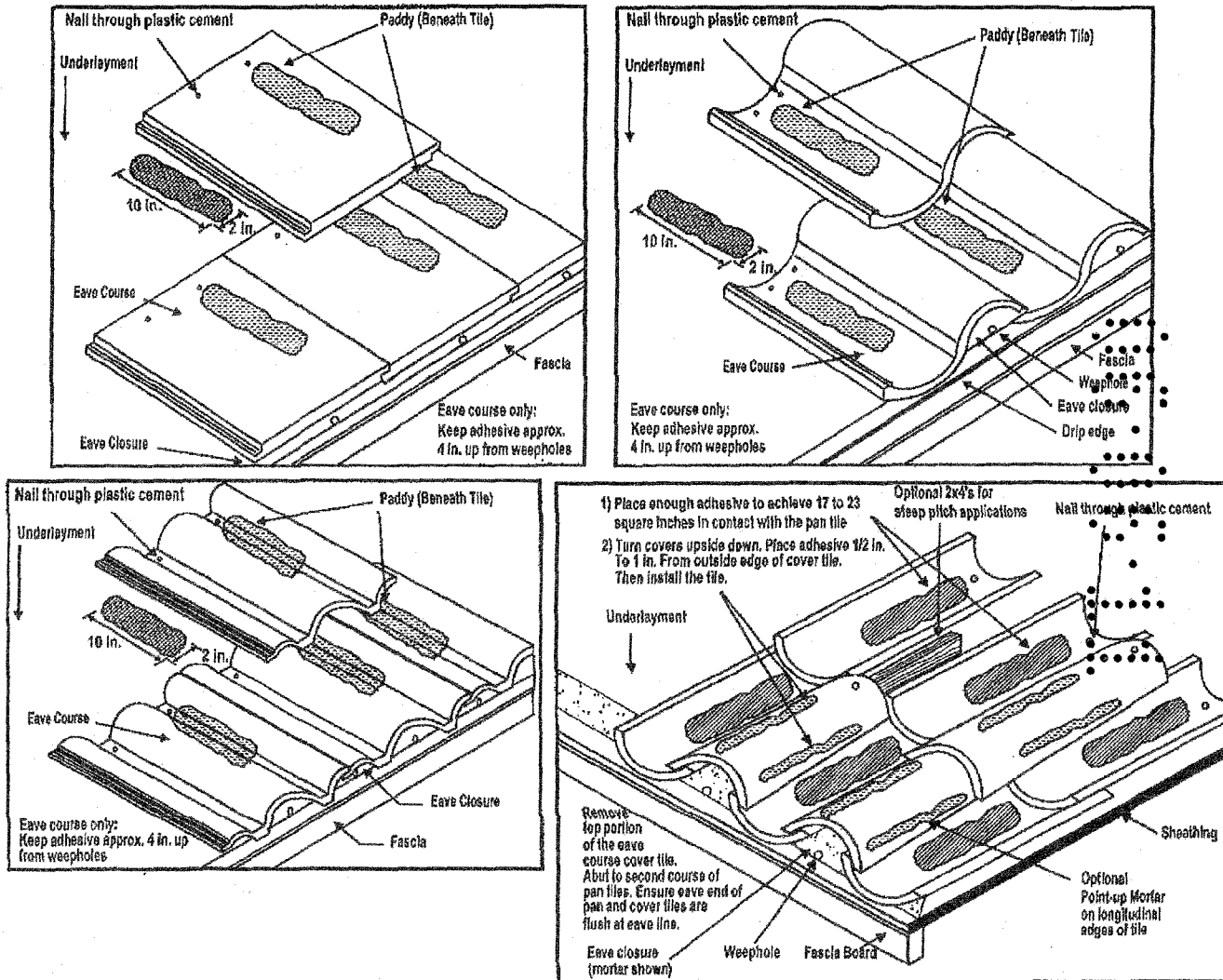
## BUILDING PERMIT REQUIREMENTS:

As required by the Building Official or applicable building code in order to properly evaluate the installation of this system.

MIAMI-DADE COUNTY  
APPROVED

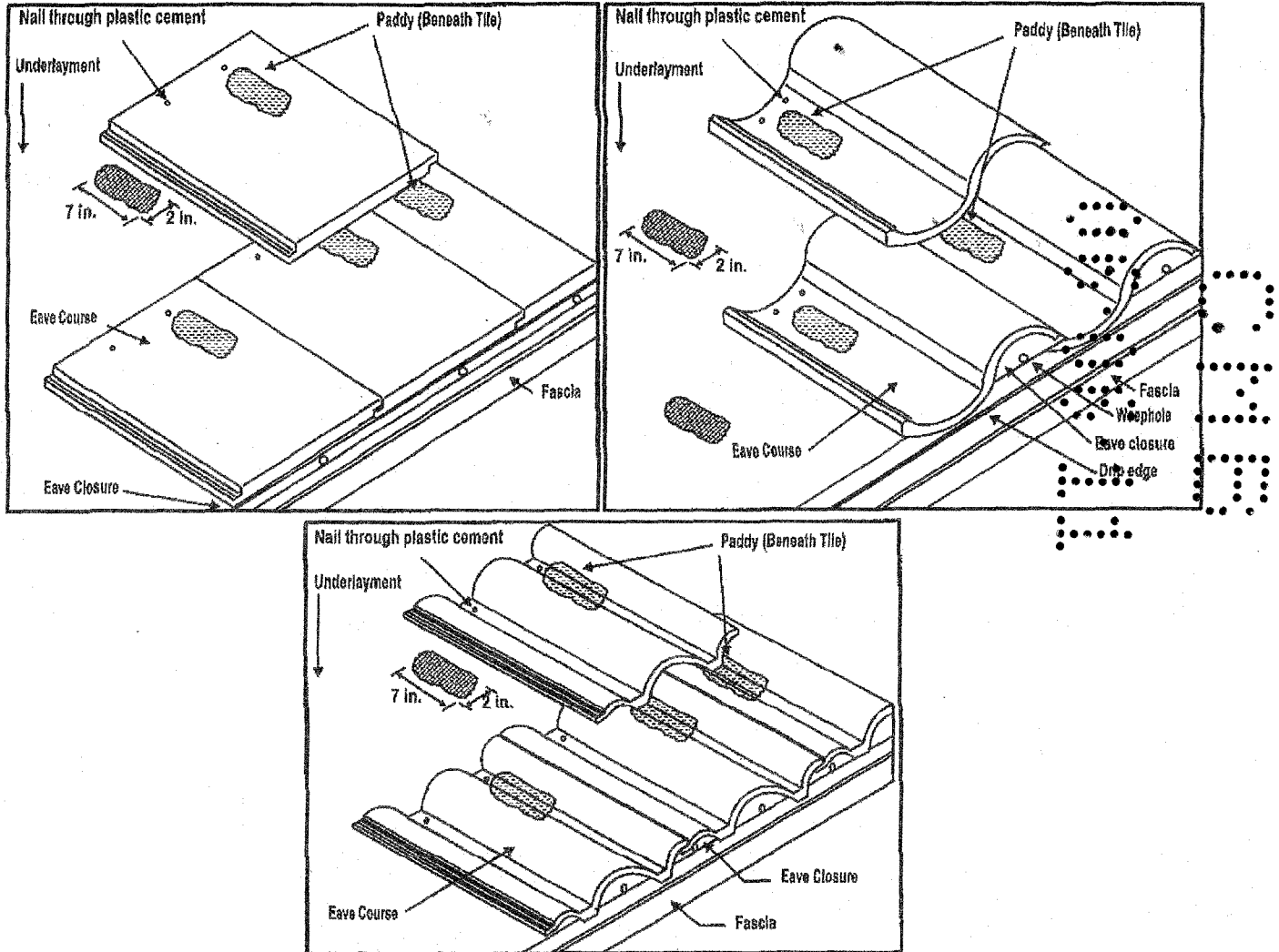
NOA No.: 11-0124.04  
Expiration Date: 05/10/12  
Approval Date: 04/14/11  
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## ADHESIVE PLACEMENT DETAIL 1 SINGLE PATTY

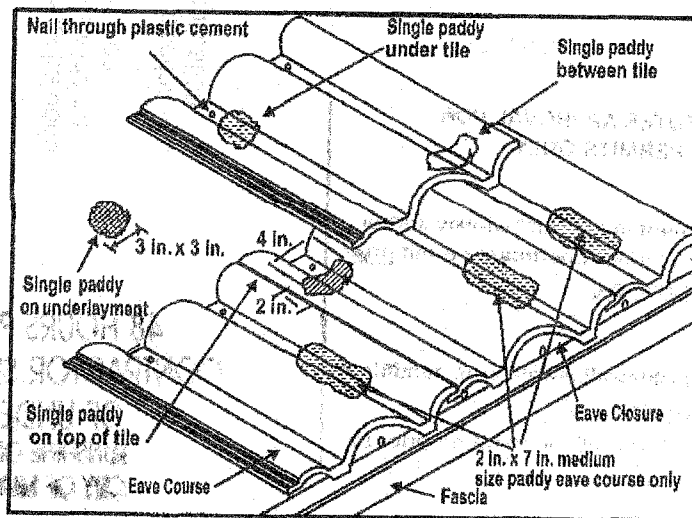
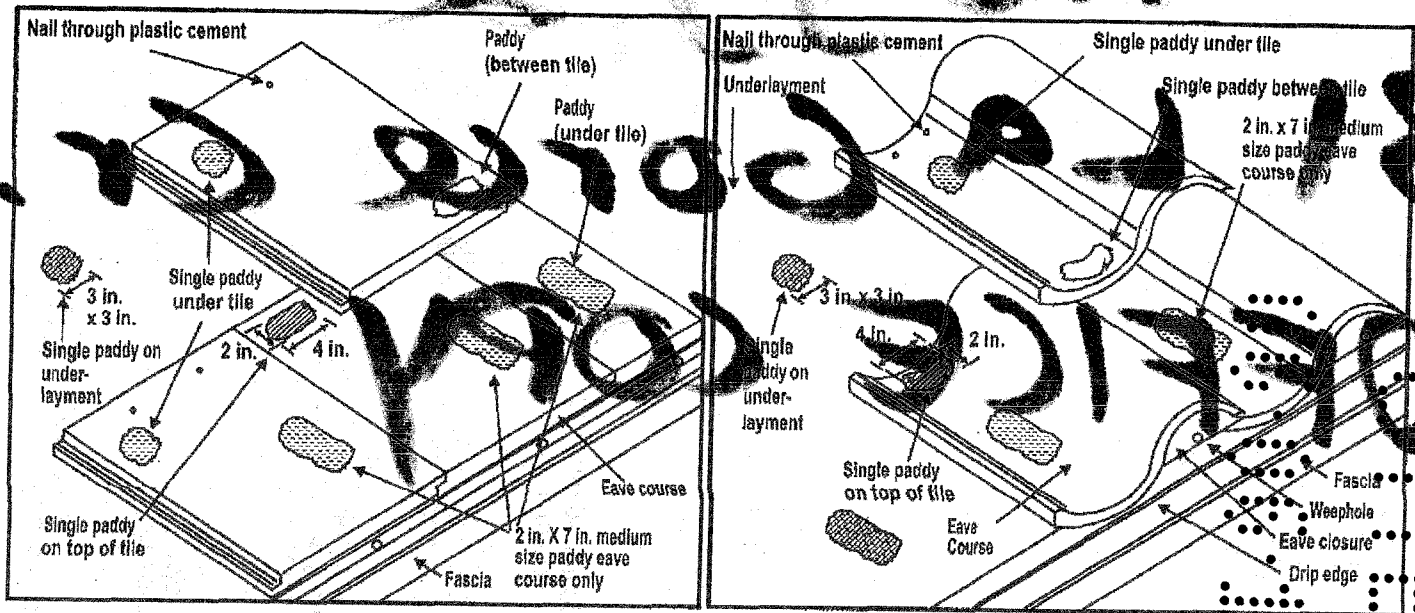




## ADHESIVE PLACEMENT DETAIL 2 SINGLE PATTY



# ADHESIVE PLACEMENT DETAIL DOUBLE PADDY



END OF THIS ACCEPTANCE



NOA No.: 11-0124.04  
Expiration Date: 05/10/12  
Approval Date: 04/14/11  
Page 7 of 7

# Bld 3512

## 31 LA 600000

### OFFICE COPY

As per Florida Building Code Section 104.5.3  
 REVIEWED FOR CODE COMPLIANCE

**NOTICE**  
 Waterproofing work under this project will require a separate Waterproofing Permit. Contractor must call for all mandatory inspections.

**NOTICE**  
 Any lightweight insulation or lightweight structural concrete installation will require a separate permit. Contractor must call for all required inspection during the installation of the lightweight

For all roofing jobs, a sheathing inspection must be done before covering any deck. Contractor may provide an Engineer certification for sheathing inspection:  
 For a roof recovery, an Engineer letter of inspection for sheathing must be provided with permit application.

**PLAN REVIEW NOTICE**  
 Phone 305-673-7080 Fax 305-673-7026

**THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.**

All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.

Permit Requirements: Proof of existing sidewalk/swale area conditions (pictures) and/or posting of sidewalk/roadway bonds (Public Works Inspection of the right of-way will be required prior to final sign-off on the C.C. / C.O., or the release of bonds.)

Reviewed By: EH-6-6-2011 Date: 6-6-2011

**48 HOURS PRIOR TO EXCAVATING CONTRACTOR SHALL CALL FOR LOCATION OF UNDERGROUND UTILITIES**  
 SUNSHINE ONE-CALL 1-800-432-4770  
 CITY OF MIAMI BEACH 305-673-7080

City of Miami Beach  
 Building Department  
 Routing Form  
 Official Copy

Review Type	Initial	Date	Bond
Structural	<u>NA</u>	<u>4/6/11</u>	<u>NA</u>
Zoning	<u>NA</u>	<u>NA</u>	<u>NA</u>
Engineering	<u>NA</u>	<u>NA</u>	<u>NA</u>
Public Works	<u>NA</u>	<u>NA</u>	<u>NA</u>

EH-6-6-2011