

LOCATION MAP
PORTION OF SECTION 36, TOWNSHIP 54 S., RANGE 40 E.
SCALE 1" = 100'

LEGEND:	
Sq.Ft.	DENOTES SQUARE FEET
14.05	DENOTES EXISTING ELEVATIONS
	DENOTES GUY WIRE
	DENOTES WATER VALVE
	DENOTES WATER METER
	DENOTES FIRE HYDRANT
	DENOTES CATCH BASIN
	DENOTES STORM DRAINAGE MANHOLE
	DENOTES SANITARY SEWER MANHOLE
	DENOTES FLORIDA POWER & LIGHT MANHOLE
	DENOTES TELEPHONE MANHOLE
	DENOTES BELL SOUTH MANHOLE
	DENOTES GAS VALVE
	DENOTES BELL SOUTH BOX
	DENOTES CONCRETE LIGHT POLE
	DENOTES PULL BOX
	DENOTES STREET LIGHT BOX
WP	DENOTES WOOD POLE
	DENOTES CHAIN LINK FENCE
	DENOTES METAL PICKET FENCE
	DENOTES CENTER LINE
O.H.W.	DENOTES GAS PAINT MARKS
(M)	DENOTES MEASURED
(R)	DENOTES RECORD
P.O.B.	DENOTES POINT OF BEGINNING
FND.	DENOTES FOUND
I.P.	DENOTES IRON PIPE
N & D.	DENOTES NAIL AND DISC
	DENOTES EXISTING CONCRETE
	DENOTES EXISTING ASPHALT
2" C&G	DENOTES CURB & GUTTER
2" V&G	DENOTES VALLEY GUTTER
GPM	DENOTES GAS PAINT MARK
PLANT	DENOTES PLANTER
D.I.P.	DENOTES GAS DUCTILE IRON PIPE
P.V.C.	DENOTES POLYVINYL CHLORIDE PIPE

CERTIFIED TO:

- 550 LANDLORD LLC, A FLORIDA LIMITED LIABILITY COMPANY
- MITCHELL SETH POLANSKY, P.A.
- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
- IBERIABANK, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR

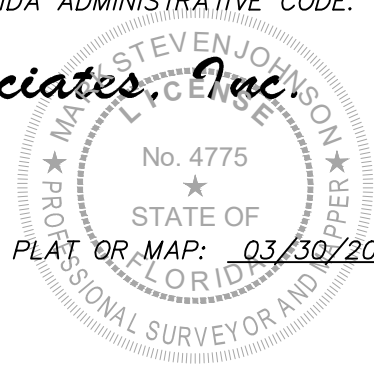
SURVEYOR'S CERTIFICATION:

THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS. THIS BOUNDARY SURVEY COMPLIES WITH THE STANDARDS OF PRACTICE REQUIREMENTS ADOPTED BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE. THE FIELDWORK WAS COMPLETED ON 01/17/2020.

Schwebke-Shiskin & Associates, Inc.

By: Mark Steven Johnson

MARK STEVEN JOHNSON, PRINCIPAL
PROFESSIONAL LAND SURVEYOR No. 4775
STATE OF FLORIDA



CERTIFICATE OF AUTHORIZATION No. LB-87

NOTE: THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

REVISIONS			
Date	Ord.No.	Remarks	By
7-14-11	199087	UP-DATE SURVEY, F.B. 2183, Pg.70	DINO
12-26-12	200751	ADD URB INFO ONLY, F.B. 2183, Pg.71	DINO
01-17-20	211376	BOUNDARY SURVEY UPDATE/DESIGN	NRC

ALTA/NSPS LAND TITLE SURVEY

A PORTION OF LOT 2 AND 3, BLOCK 48, OCEAN BEACH, FLORIDA, ADDITION No. 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 81 OF PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LYING IN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA
SECTION 03, TOWNSHIP 54 SOUTH, RANGE 42 EAST.

LEGAL DESCRIPTION:

ALL OF LOT 2, BLOCK 48, OF OCEAN BEACH, FLORIDA, ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, AT PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS THE PORTION MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NE CORNER OF SAID LOT 2; THENCE RUN SOUTHWESTERLY ALONG THE EAST LINE OF SAID LOT 2, A DISTANCE OF 31.22 FEET MORE OR LESS TO THE POINT OF INTERSECTION WITH THE EASTERLY EXTENSION OF THE NORTH FACE OF A C.B.S. BUILDING; THENCE RUN WESTWARDLY ALONG THE NORTH FACE OF SAID C.B.S. BUILDING AND ITS WESTERLY EXTENSION, A DISTANCE OF 21.75 FEET, MORE OR LESS TO A BREAK IN SAID C.B.S. BUILDING; THENCE RUN SOUTH ALONG A FACE OF SAID C.B.S. BUILDING A DISTANCE OF 0.2 FEET, MORE OR LESS TO THE FACE OF A NORTH WALL OF SAID C.B.S. BUILDING; THENCE RUN WESTWARDLY ALONG THE FACE OF THE NORTH WALL OF SAID C.B.S. BUILDING, A DISTANCE OF 86.75 FEET; MORE OR LESS, TO A POINT; THENCE RUN NORTHWARDLY ALONG AN EAST FACE OF SAID C.B.S. BUILDING AND ITS NORTHERLY EXTENSION A DISTANCE OF 23.88 FEET, MORE OR LESS, TO A POINT; THENCE RUN WESTWARDLY ALONG A LINE PARALLEL TO THE NORTH LINE OF SAID LOT 2, FOR A DISTANCE OF 5.0 FEET TO A POINT; THENCE RUN NORTHWARDLY ALONG A LINE PARALLEL TO THE NORTHERLY EXTENSION OF SAID EAST FACE OF SAID C.B.S. BUILDING FOR A DISTANCE OF 7.0 FEET, MORE OR LESS, TO A POINT ON THE NORTH LINE OF SAID LOT 2; THENCE RUN EASTWARDLY ALONG THE NORTH LINE OF SAID LOT 2, A DISTANCE OF 119.66 FEET, MORE OR LESS TO THE POINT OF BEGINNING.

AND

THE WEST 135 FEET OF LOT 3 AND THE EAST 9.0 FEET OF THE WEST 144.0 FEET OF THE NORTH 8.0 FEET OF LOT 3, BLOCK 48, OF OCEAN BEACH, FLORIDA, ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, AT PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

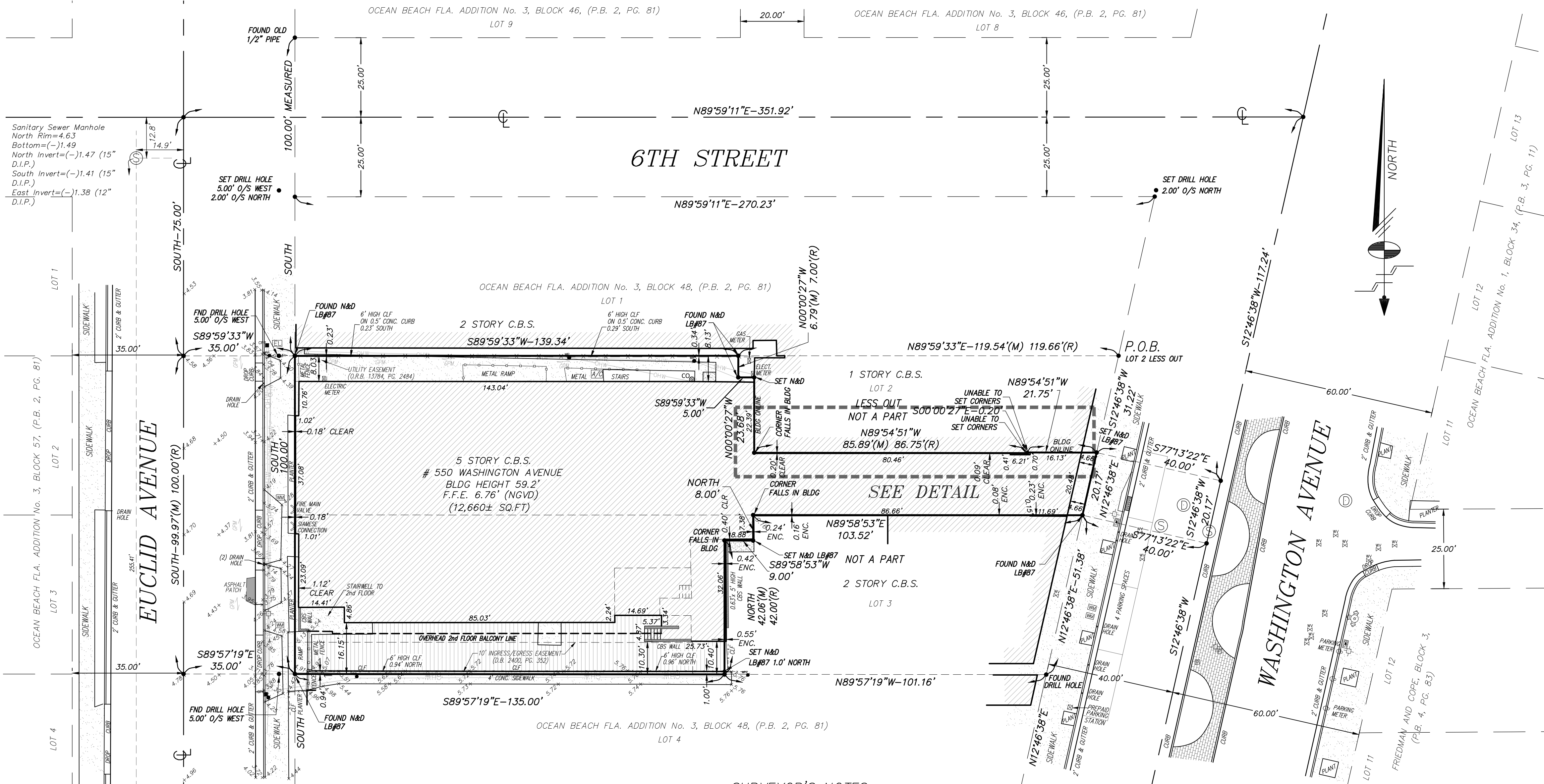
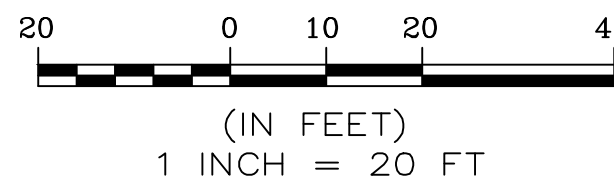
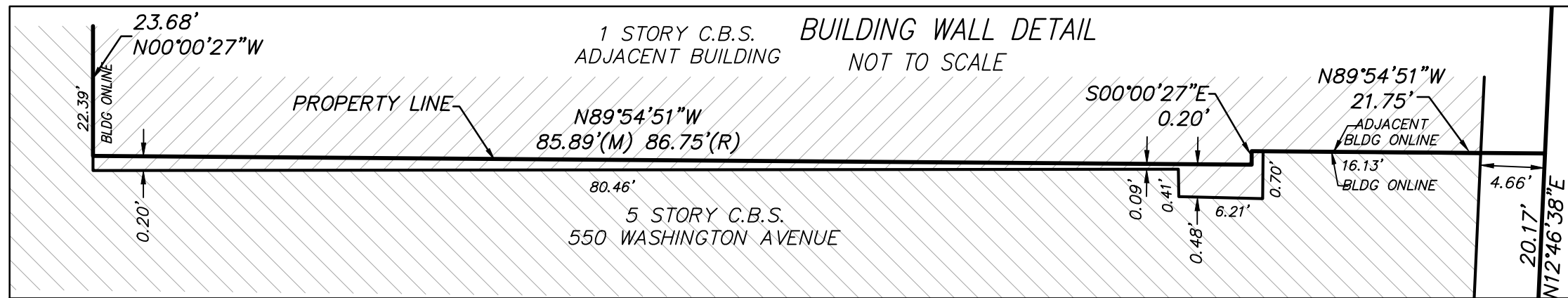
A/K/A 550 WASHINGTON AVE., MIAMI BEACH, FL 33139

SURVEYOR'S NOTES:

- BEARINGS SHOWN HEREON REFER TO AN ASSUMED BEARING OF DUE SOUTH ALONG THE CENTER LINE OF EUCLID AVENUE.
- LEGAL DESCRIPTION IS TAKEN FROM THE TITLE COMMITMENT CITED HEREON.
- THE NET AREA OF PROPERTY SHOWN HEREON= 16,078± SQ.FT. (0.369± ACRES)
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTINGS AND/OR FOUNDATIONS. NOTING ALSO, THAT THE BUILDING INTERFACE (WITH THE ADJOINER) AT THE NORTH PROPERTY LINE HAD LIMITED ACCESS AND TO SOME EXTENTS IS PHYSICALLY INTERCONNECTED.
- PREPARED FOR: 550 LANDLORD LLC
- THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE ATTACHED CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTIES.
- PROPERTY SHOWN HEREON FALLS WITHIN FEDERAL FLOOD ZONE AE (EL. 8), PER F.I.R.M. COMMUNITY PANEL NO. 120651 0319 L, OF MAP DATED 09-11-2009.
- VISIBLE INDICATORS OF UTILITIES ARE SHOWN HEREON, HOWEVER, NO ATTEMPT HAS BEEN MADE TO LOCATE UNDERGROUND ITEMS, EXCEPT AS SHOWN HEREON.
- DISTANCES ALONG BOUNDARY OF SUBJECT PROPERTY ARE RECORD AND MEASURED, UNLESS OTHERWISE STATED.
- THIS SURVEY REFLECTS ALL PLOTTABLE EASEMENTS, RIGHTS-OF-WAY AND OTHER MATTERS REFLECTED AS EXCEPTIONS IN SCHEDULE B-2 OF THAT CERTAIN TITLE COMMITMENT NUMBER 832755 ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND HAVING AN EFFECTIVE DATE OF DECEMBER 31, 2019 AT 11:00 PM.
- ELEVATIONS SHOWN HEREON REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.)
- BENCHMARKS
- CMB 5-3-12 88 TOP OF CURB OF N.E. CORNER 5th STREET AND JEFFERSON AVENUE, PK & WASHER ELEVATION=3.25' (N.G.V.D.)
- CMB 5-W-12-88 PK & WASHER ON TOP OF CURB AT N.E. END LANDSCAPE MEDIAN @ 5th STREET AND WASHINGTON AVENUE ELEVATION=5.56' (N.G.V.D.)
- THE BUILDING ON THE SUBJECT SITE ENCLOSED ACROSS THE EASTERLY AND SOUTHERLY PROPERTY LINES. ADDITIONALLY, OTHER VARIOUS ENCROACHMENTS EXIST AS MENTIONED IN ORB 5550-PG 575.

TITLE EXCEPTIONS:

- DEDICATIONS AND RESERVATIONS AND OTHER MATTERS CONTAINED ON THE PLAT OF OCEAN BEACH, FLORIDA ADDITION NO. 3, AS RECORDED IN PLAT BOOK 2, PAGE 81, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. (SHOWN HEREON)
- EASEMENT FOR INGRESS AND EGRESS CONTAINED IN INSTRUMENT RECORDED JULY 5, 1944, IN DEED BOOK 2400, PAGE 352, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. (SHOWN HEREON)
- AGREEMENT RE ENCROACHMENTS AND WAIVER OF PRESCRIPTIVE RIGHTS, AS RECORDED MARCH 16, 1966, IN O.R. BOOK 5550, PAGE 575, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. (AFFECTS PROPERTY, NOT PLOTTABLE - ALLOWS FOR VARIOUS ENCROACHMENTS)
- EASEMENT IN FAVOR OF FLORIDA POWER AND LIGHT COMPANY FOR THE CONSTRUCTION, OPERATION AND MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC UTILITY FACILITIES, RECORDED AUGUST 12, 1988, IN O.R. BOOK 13784, PAGE 2484, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. (SHOWN HEREON)
- ORDERS BEFORE THE ZONING BOARD OF ADJUSTMENT OF THE CITY OF MIAMI BEACH, FLORIDA, CASE NO: 1892, RECORDED IN O.R. BOOK 13676, PAGE 3275, O.R. BOOK 13747, PAGE 298, AS AMENDED BY AMENDED ORDER RECORDED IN O.R. BOOK 13768, PAGE 3140, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. ((AFFECTS PROPERTY, NOT PLOTTABLE - BLANKET IN NATURE)



Schwebke-Shiskin & Associates, Inc.

LAND PLANNERS ENGINEERS LAND SURVEYORS
3240 CORPORATE WAY MIRAMAR, FLORIDA 33025 TEL: (954)435-7010 FAX: (954)438-3288

By: _____

Registered Land Surveyor No. _____ State of Florida

Registered Engineer No. _____ State of Florida

Drawn By: J.G.H. Date: 08/27/08

Order No. 195796

File No. AJ-4619

Checked By: M.S.J. Date: 09/05/08

Scale: 1" = 20'

Sheet No. 1 of 1 Sheets



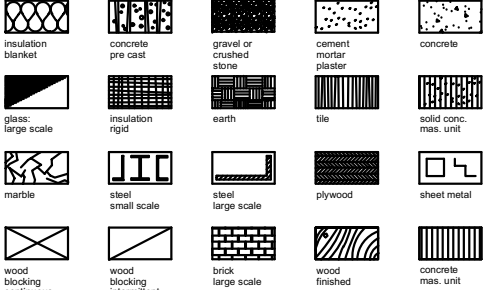
ACCEPT BY AGREEMENT IN WRITING AND WITH THE APPROPRIATE COMPENSATION TO BELUNSON GOMEZ ARCHITECTS P.A. REPRODUCTIONS OF DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF BELUNSON GOMEZ ARCHITECTS P.A. IS PROHIBITED. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

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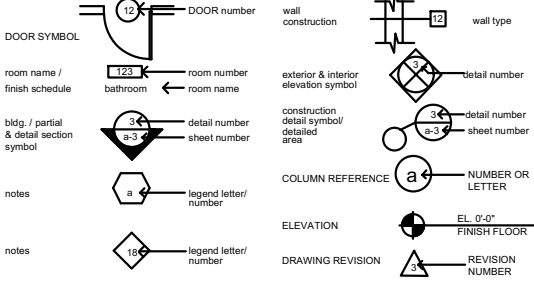
ABBREVIATIONS

A	ACOUS. A.C. A.D. ADJ. AGGR. AL. APPROX. ARCH. ASB. ASPH.	ACOUSTICAL AIR CONDITIONING AREA DRAIN ADJUSTABLE AGGREGATE ALUMINUM APPROXIMATE ARCHITECTURAL ASBESTOS ASPHALT
B	BD. BITUM. BLDG. BLK. BLKG. BLKHD. BM. BOT.	BOARD BITUMINOUS BUILDING BLOCK BLOCKING BULKHEAD BEAM BOTTOM
C	CAB. CARP. C.B. CEM. CER. C.I. C.G. CLG. CLKG. CLO. CLR. C.M.U. C.O. COL. CONC. CONN. CONSTR. CONT. CORR. CTSK. CNTR. C.T. CTR.	CABINET CARPET CATCH BASIN CEMENT CERAMIC CAST IRON CORNER GUARD CEILING CAULKING CLOSET CLEAR CONCRETE MASONRY UNIT CASED OPENING COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CORR. COUNTERSUNK COUNTER CERAMIC TILE CENTER
D	DBL. DEPT. D.F. DET. DIA. DIM. DISP. DN. D.O. DR. DWR. DS. D.S.P. DWG.	DOUBLE DEPARTMENT DRINKING FOUNTAIN DETAIL DIAMETER DIMENSION DISPENSER DOWN DOOR OPENING DOOR DRAWER DOWN SPOUT DRY STANDPIPE DRAWING
E	E. EA. E.J. EL. ELEC. ELEV. EMER. ENCL. E.P. EQ. EQPT. E.S.	EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EMERGENCY OVERFLOW SCUPPER ELECTRIC WATER COOLER EXISTING EXP0SED EXP. EXT.
F	F.A. F.B. F.D. FDN. F.E. F.E.C. F.H.C. FIN. FL. FLASH. FLUOR. F.O.C. F.O.F. F.O.S. FPRF. F.S. FT. FTG. FURR. FUT. F.V. F.V.C.	FIRE ALARM FLAT BAR FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CAB. FIRE HOSE CABINET FINISH FLOOR FLASHING FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF STUDS FIREPROOF FULL SIZE FOOT OR FEET FOOTING FURRING FUTURE FIELD VERIFY FIRE VALVE CABINET
G	GA. GALV. G.B. G.C. GL. GND. GR. GYP. G.W.B.	GAUGE GALVANIZED GRAB BAR GENERAL CONTRACTOR GLASS GROUND GRADE GYPSUM GYPSUM WALLBOARD
H	H.B. H.C. HDWD. HDWE. H.M. HORIZ. HR. HGT.	HOSE BIB HOLLOW CORE HARD WOOD HARDWARE HOLLOW METAL HORIZONTAL HOUR HEIGHT
I	I.D. IN. INSUL. INT. INV.	INSIDE DIAMETER (DIM.) INCH INSULATION INTERIOR INVERT
J	JAN. JST. JT.	JANITOR JOIST JOINT
K	KIT.	KITCHEN
L	LAB. LAM. LAV. L.F. LKR. LT. LTG. LTWT.	LABORATORY LAMINATE LAVATORY LINEAR FEET LOCKER LIGHT LIGHTING LIGHT WEIGHT
M	MAX. M.C. MACH. MECH. MEMB. MET. MFR. MH. MIN. MIR. MISC. M.L. M.O. MTD. MUL.	MAXIMUM MEDICINE CABINET MACHINE MECHANICAL MEMBRANE METAL MANUFACTURER MANHOLE MINIMUM MIRROR MISCELLANEOUS MATCH LINE MASONRY OPENING MOUNTED MULLION
N	N. N.I.C. NO. OR # NOM. N.T.S.	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
O	O.A. OBS. O.C. O.D. OFF. OPNG. OP. HD. OPP.	OVERALL OBSOLETE ON CENTER OUTSIDE DIMENSION OFFICE OPENING OPPOSITE HAND OPPOSITE
P	PRCST. P.L. P.T. PL. P.LAM. PLAS. PLYWD. POL. PR. PT. P.T.D.	PRE-CAST PROPERTY LINE PRESSURE TREATED PLATE PLASTIC LAMINATE PLASTER PLYWOOD POLISHED PAIR POINT PAPER TOWEL DISPENSER
Q	PTN. PTR.	PARTITION PAPER TOWEL RECEPTACLE
Q	Q.T.	QUARRY TILE
R	R. RAD. R.D. REF. REFL. REFR. RF. RGTR. REINF. REQ. RESIL. RM. R.O. RWD. R.W.L.	RISER RADIUS ROOF DRAIN REFERENCE REFLECTED REFRIGERATOR ROOF REGISTER REINFORCED REQUIRED RESILIENT ROOM ROUGH OPENING REDWOOD RAIN WATER LEADER
S	S. SABF S.C. S.C.D. SCHED. S.D. SECT. SH. SHR. SHT. SIM. S.N.D. SPEC. SQ. S.S.T. S.SK. STA. STD. STL. STOR. STRL. SUSP. SYM.	SOUTH SOUND ATTENUATION FIRE BLANKETS SOLID CORE SEAT COVER DISPENSER SCHEDULE SOAP DISPENSER SECTION SHELF SHOWER SHEET SIMILAR SANITARY NAPKIN DISPENSER SANITARY NAPKIN RECEPTACLE SPECIFICATION SQUARE STAINLESS STEEL SERVICE SINK STATION STANDARD STEEL STORAGE STRUCTURAL SUSPEND SYMMETRICAL
T	TRD. T.B. T.C. TEL. TEMP. T. & G. THK. TOIL. T.O.P. T.P.D. T.V. T.W. TYP. T.O.B. T.O.C. T.O.S.	TREAD TOWEL BAR TOP OF CURB TELEPHONE TEMPERED TONGUE AND GROOVE THICK TOILET TOILET PAPER DISPENSER TELEVISION TOP OF WALL TYPICAL TOP OF BEAM TOP OF CONCRETE TOP OF SLAB
U	UNF. U.O.N. UR.	UNFINISHED UNLESS OTHERWISE NOTED URINAL UNDERWRITERS LAB
V	V.I.F. VERT. V.T. VEST. V.B.	VERIFY IN FIELD VERTICAL VINYL TILE VESTIBULE VAPOR BARRIER
W	W. WT. W/ W.C. WD. W/O WP. WSC.T.	WEST WEIGHT WITH WATER CLOSET WOOD WITHOUT WATERPROOF WAINSCOT

MATERIAL LEGEND



SYMBOL LEGEND



PROJECT TEAM

CLIENT:	550 LANDLORD LLC 999 BRICKELL AVENUE, SUITE 600 MIAMI FL 33131
DESIGN/PROJECT ARCHITECT:	BEILINSON GOMEZ ARCHITECTS PA JOSE L. GOMEZ AR0015416 8101 BISCAYNE BLVD., SUITE 309-310 MIAMI, FL 33138-4664 TEL (305) 559-1250 FAX (305) 551-1740
GOVERNING ZONING CODE:	CITY OF MIAMI BEACH, FLORIDA CODE OF ORDINANCE
BUILDING CODE:	FLORIDA BUILDING CODE 2017
EXISTING BUILDING:	FLORIDA BUILDING CODE: EXISTING BUILDING CODE 2017
STRUCTURAL:	FLORIDA BUILDING CODE 2017
PLUMBING:	FLORIDA BUILDING CODE 2017 - PLUMBING
MECHANICAL:	FLORIDA BUILDING CODE 2017 - MECHANICAL
ELECTRICAL:	FLORIDA BUILDING CODE - 2017 EDITION
ACCESSIBILITY:	FLORIDA BUILDING CODE 2017 - CHAPTER 11 FACBC
FIRE PROTECTION:	FLORIDA FIRE PREVENTION CODE - 2017 EDITION

APPLICABLE CODES

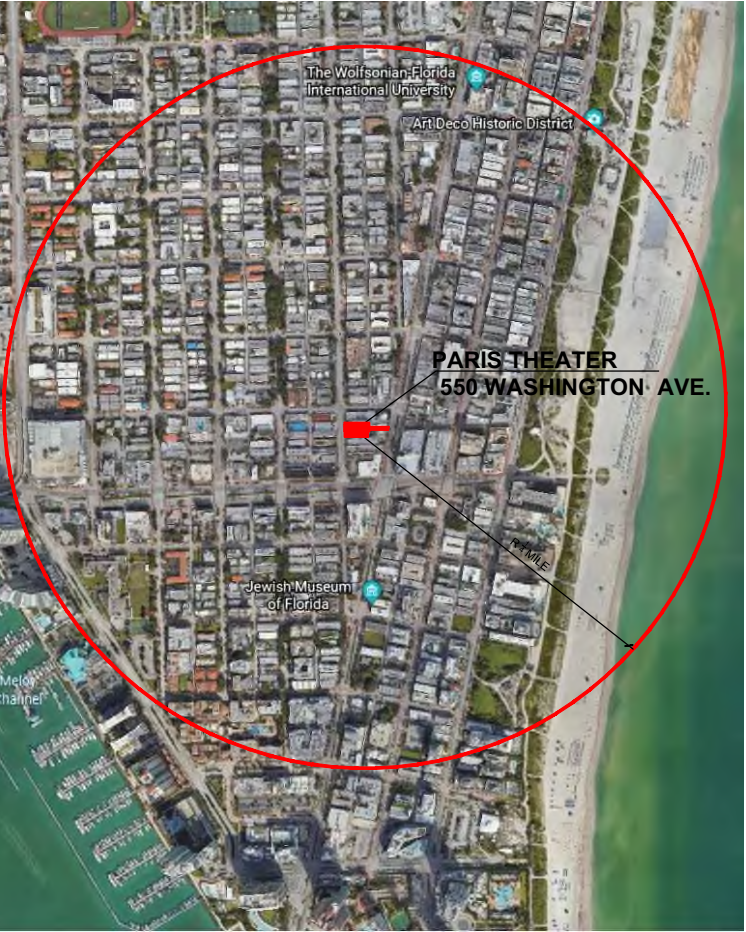
DRAWING INDEX

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A-036	EXISTING ROOF PLAN
A-037	PROPOSED ROOF PLAN
A-038	ENLARGED PROPOSED ROOF PLAN
A-039	EXISTING WEST ELEVATION
A-040	PROPOSED WEST ELEVATION
A-041	EXISTING EAST ELEVATION
A-042	PROPOSED EAST ELEVATION
A-043	EXISTING SOUTH ELEVATION
A-044	PROPOSED SOUTH ELEVATION
A-045	EXISTING NORTH ELEVATION
A-046	PROPOSED NORTH ELEVATION
A-047	EXISTING SECTION
A-048	PROPOSED SECTION
A-049	EXISTING SECTION
A-050	PROPOSED SECTION

PROJECT INFORMATION

RENOVATE AND REHABILITATE AN EXISTING HISTORIC BUILDING WITH OCCUPANCY CLASSIFICATION GROUP A2
OCCUPANCY CLASSIFICATION
ALTERATION CLASSIFICATION
CLASSIFICATION OF REHABILITATION WORK CATEGORIES
LEGAL DESCRIPTION

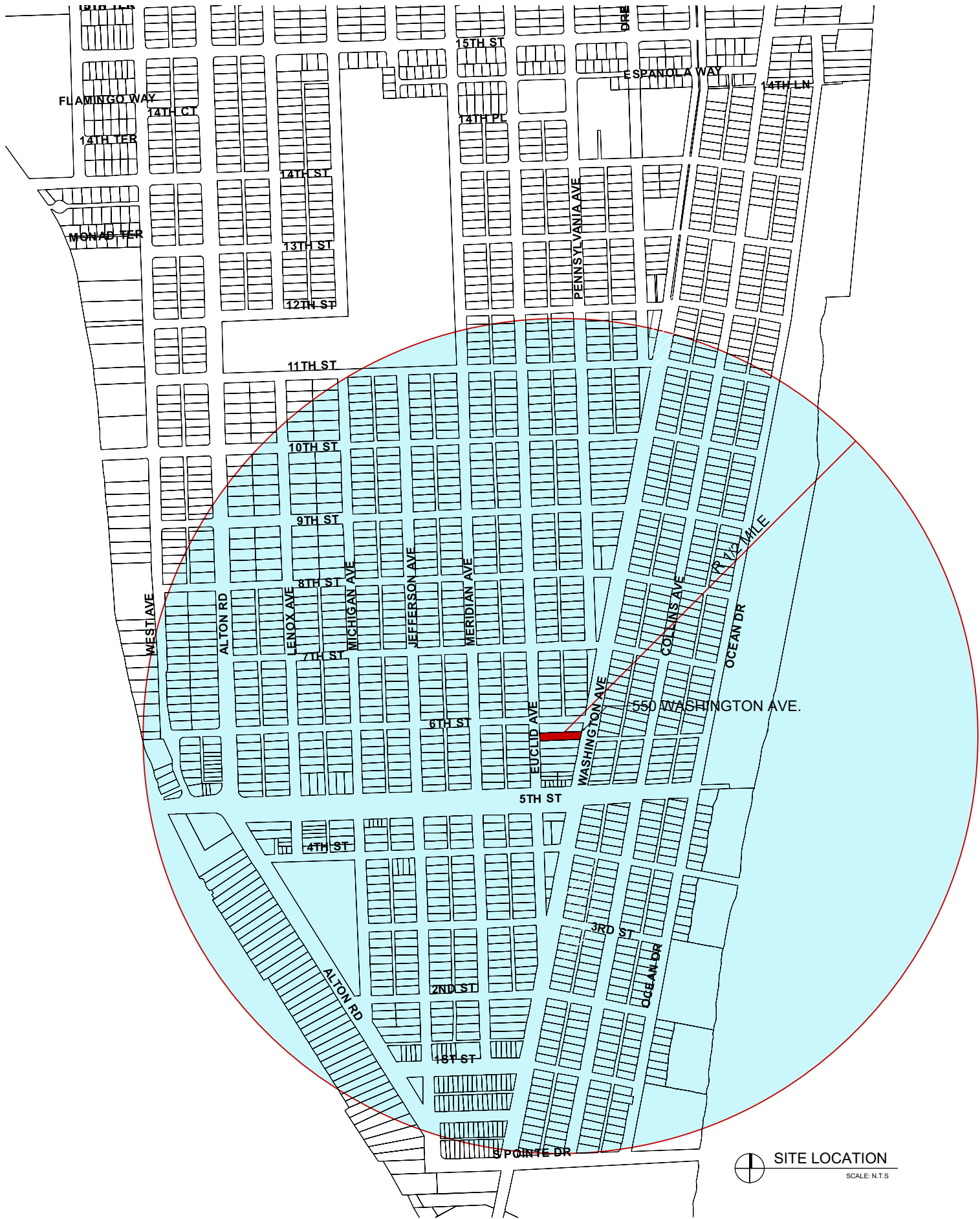
ALL OF LOT 2, BLOCK 48, OF OCEAN BEACH, FLORIDA, ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, AT PAGE 87, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS THE PORTION MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 2; THENCE RUN SOUTHWESTERLY ALONG THE EAST LINE OF SAID LOT 2, A DISTANCE OF 37.22 FEET MORE OR LESS IN THE POINT OF INTERSECTION WITH THE EASTERLY EXTENSION OF THE NORTH FACE OF A C.8.S. BUILDING; THENCE RUN WESTWARDLY ALONG THE WESTERLY EXTENSION, A DISTANCE OF 21.75 FEET, MORE OR LESS TO A BREAK IN SAID C.8.S. BUILDING; THENCE RUN SOUTH ALONG A FACE OF SAID C.8.S. BUILDING A DISTANCE OF 0.2 FEET, MORE OR LESS TO THE FACE OF A NORTH WALL OF SAID C.8.S. BUILDING; THENCE RUN WESTWARDLY ALONG THE FACE OF THE NORTH WALL OF SAID C.8.S. BUILDING, A DISTANCE OF 86.75 FEET, MORE OR LESS, TO A POINT; THENCE RUN NORTHWARDLY ALONG AN EAST FACE OF SAID C.8.S. BUILDING AND ITS NORTHERLY EXTENSION, A DISTANCE OF 23.68 FEET, MORE OR LESS, TO A POINT; THENCE RUN WESTWARDLY ALONG A LINE PARALLEL TO THE NORTH LINE OF SAID LOT 2, FOR A DISTANCE OF 5.0 FEET TO A POINT; THENCE RUN NORTHWARDLY ALONG A LINE PARALLEL TO THE NORTHERLY EXTENSION OF SAID EAST FACE OF SAID C.8.S. BUILDING FOR A DISTANCE OF 7.0 FEET, MORE OR LESS, TO A POINT ON THE NORTH LINE OF SAID LOT 2; THENCE RUN EASTWARDLY ALONG THE NORTH LINE OF SAID LOT 2, A DISTANCE OF 119.66 FEET, MORE OR LESS TO THE POINT OF BEGINNING. AND THE WEST 135 FEET OF LOT 3 AND THE EAST 9.0 FEET OF THE WEST 144.0 FEET OF THE NORTH 8.0 FEET OF LOT 3, BLOCK 48, OF OCEAN BEACH, FLORIDA, ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, AT PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. A/K/A 550 WASHINGTON AVE., MIAMI BEACH, FL 33139



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FAX (305) 551-1740
beilinsonarchitectspa.com

PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

DATE	REVISION
DWG. TITLE	PROJECT INFORMATION INDEX
SCALE	N.T.S.
PROJECT NO.	2020-02
DATE	04-27-20
SHEET NUMBER	A-001



SITE LOCATION
SCALE: N.T.S

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	550 WASHINGTON AVE. MIAMI BEACH, FL. 33139			
2	Board and file numbers:				
3	Folio number(s):	02-4203-009-1900			
4	Year constructed:	1945	Zoning District:	C-PS2 (COMMERCIAL GENERAL MIXED USE)	
5	Base Flood Elevation:	AE-8.0	Grade value in NGVD:	5.50'	
6	Adjusted grade (Flood+Grade/2):	6.75'	Lot Area (SF):	13586	
7	Lot width (FT):	50	Lot Depth (FT):	140	
8	Minimum Unit Size(SF):	N/A	Average Unit Size:	N/A	
9	Existing use:	ENTERTAINMENT ESTABLISHMENT (ASSEMBLY- GROUP A2)	Proposed use:	RESTAURANT (ASSEMBLY- GROUP A2)	
		Maximum	Existing	Proposed	Deficiencies
10	Height:	60'-9"			
11	Number of Stories:	5	4	4	
12	FAR:	2	1.76	1.90	
13	Gross square footage:	27,172	23,919	25,876	
	Setbacks	Required	Existing	Proposed	Deficiencies
	Pedestal:				
14	Front Setback:	0'-0"	0'-0"	0'-0"	
15	Side / Interior Setback:				
16	Left Side Setback:	0'-0"	0'-0"	0'-0"	
17	Right Side Setback:	0'-0"	0'-0"	0'-0"	
18	Rear Setback:	5'-0"	0'-0";1'-8"	0'-0";1'-8";5'-0"	
	Parking	Required	Existing	Proposed	Deficiencies
19	Parking District: No. 1				
20	Total # of parking spaces:		0	0	0
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
21	Type of use:			RESTAURANT/ NIGHT CLUB	
22	Total # of seats:			377	
23	Total # of seats per venue (Provide a separate chart for a breakdown calculation)			N/A	
24	Total occupant load:			1499	
25	Occupant load per venue (Provide a separate chart for a breakdown calculation)			N/A	
26					
27	Is this a contributing building?	Yes or no			
28	Located within a Local Historic District?	Yes or no			

BEILINSON, GOMEZ, ARCHITECTS, P.A.

SITE

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PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

DATE REVISION

DWG. TITLE

SITE LOCATION AND ZONING INFORMATION

SCALE

N.T.S

PROJECT NO.

2020-02

DATE

04-27-20

SHEET NUMBER

A-003



PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

A blank grid consisting of 6 horizontal lines and 2 vertical lines, creating a table-like structure with 3 columns and 5 rows. The grid is intended for drawing a diagram of a system.

DATE	REVISION

DWG. TITLE

AERIAL VIEW

SCALE

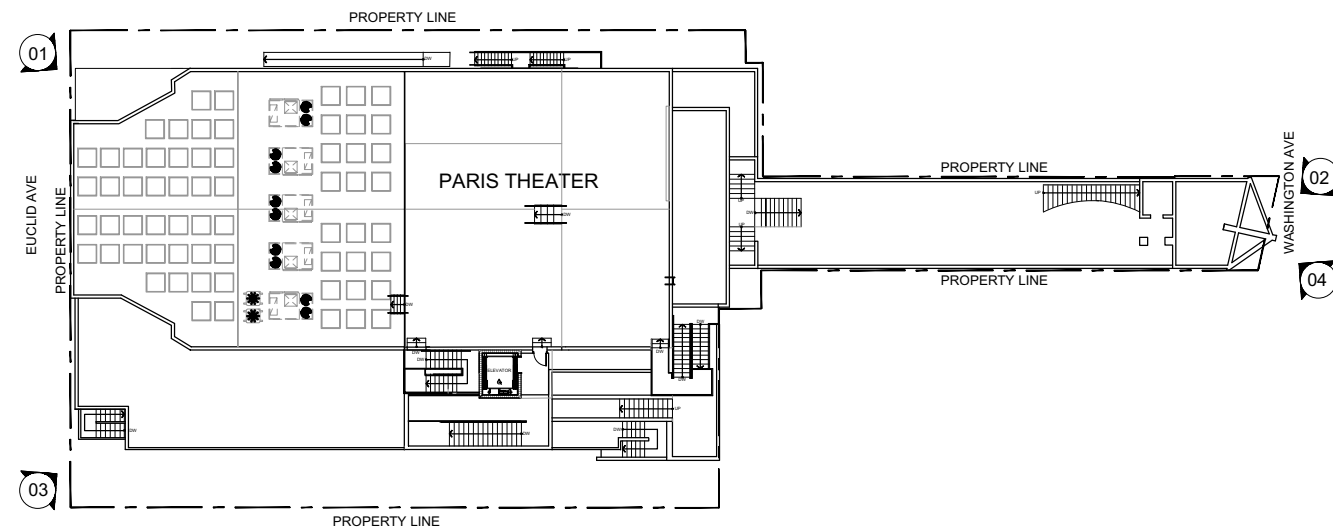
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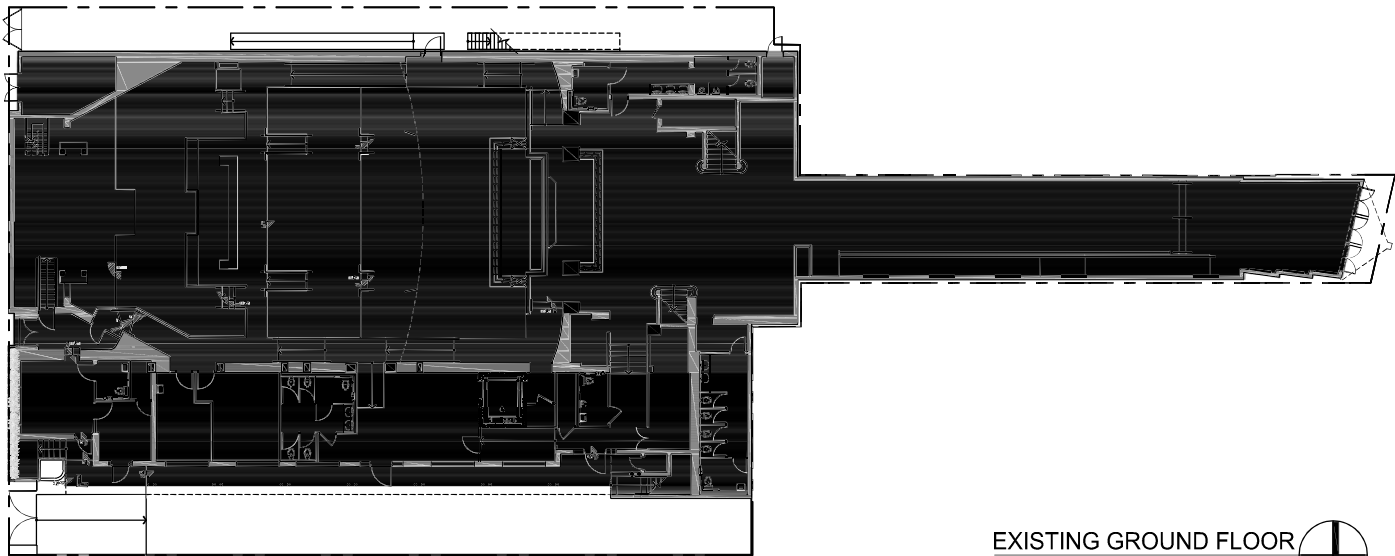
DATE _____ 2020-0

SHEET NUMBER

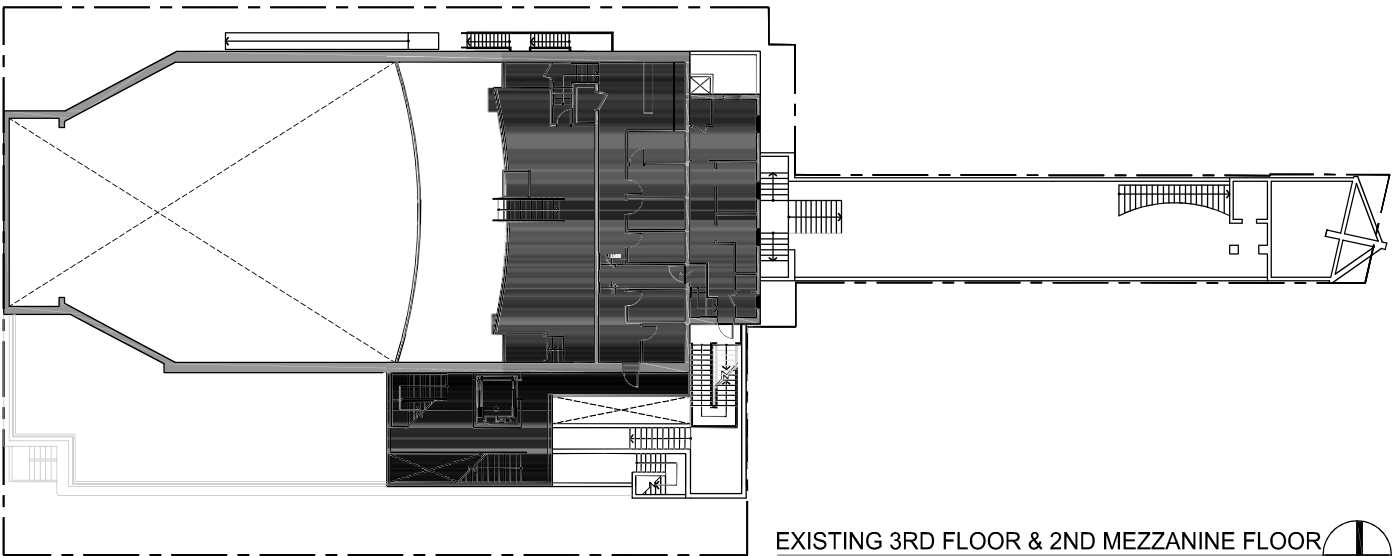
A-004

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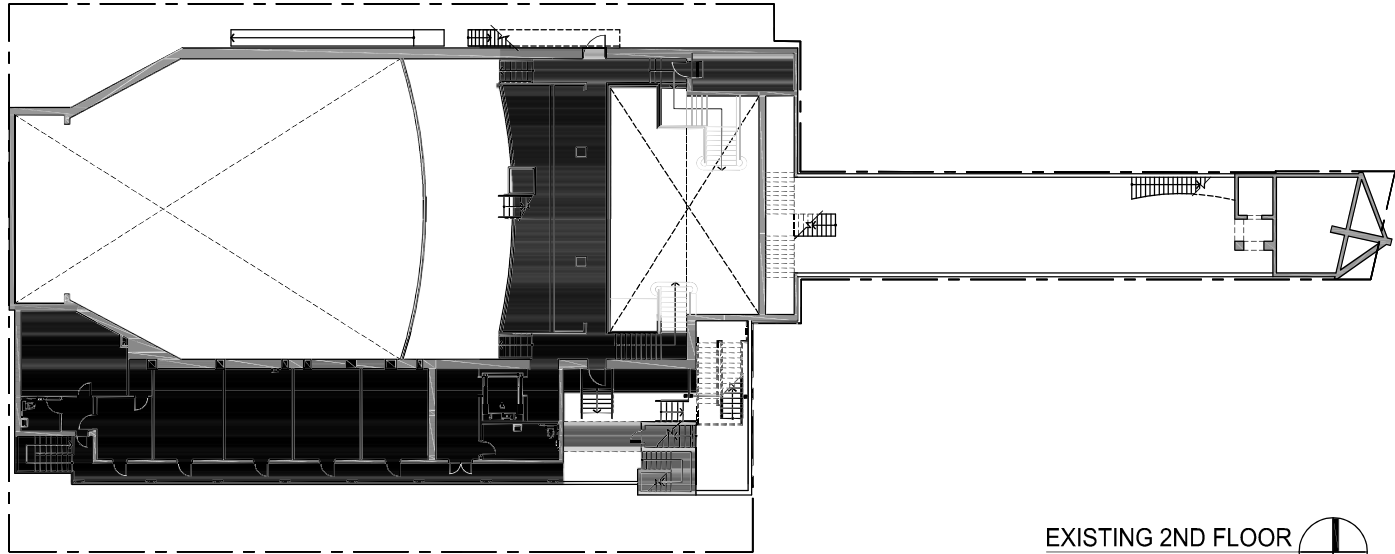




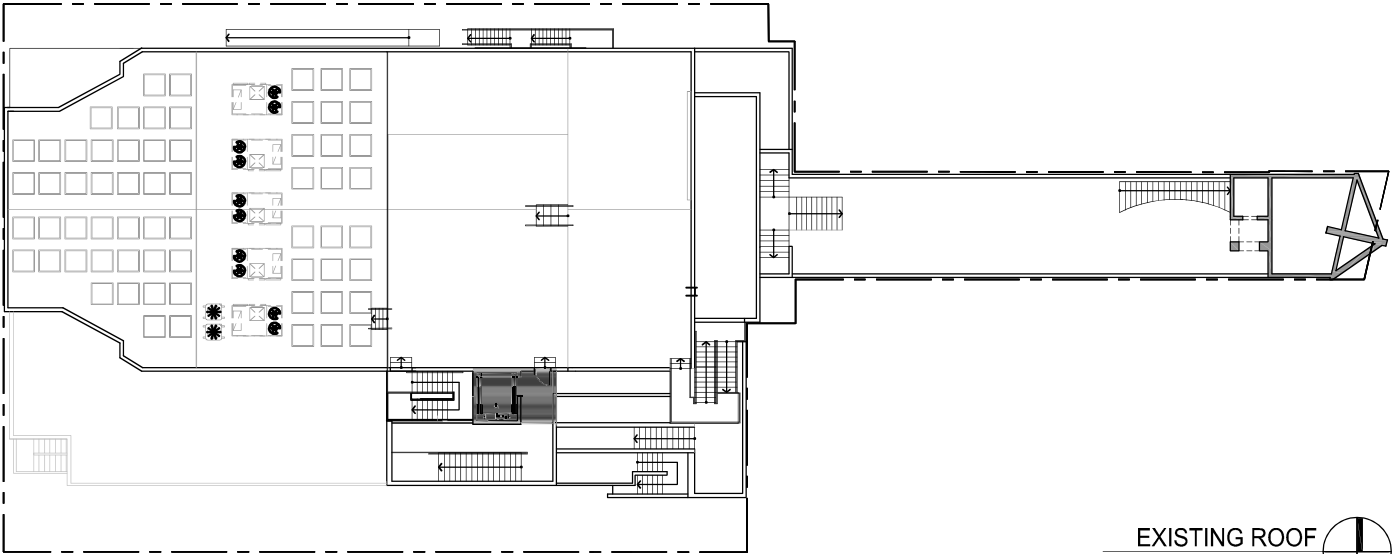
EXISTING GROUND FLOOR
SCALE: 1/16" = 1'-0"



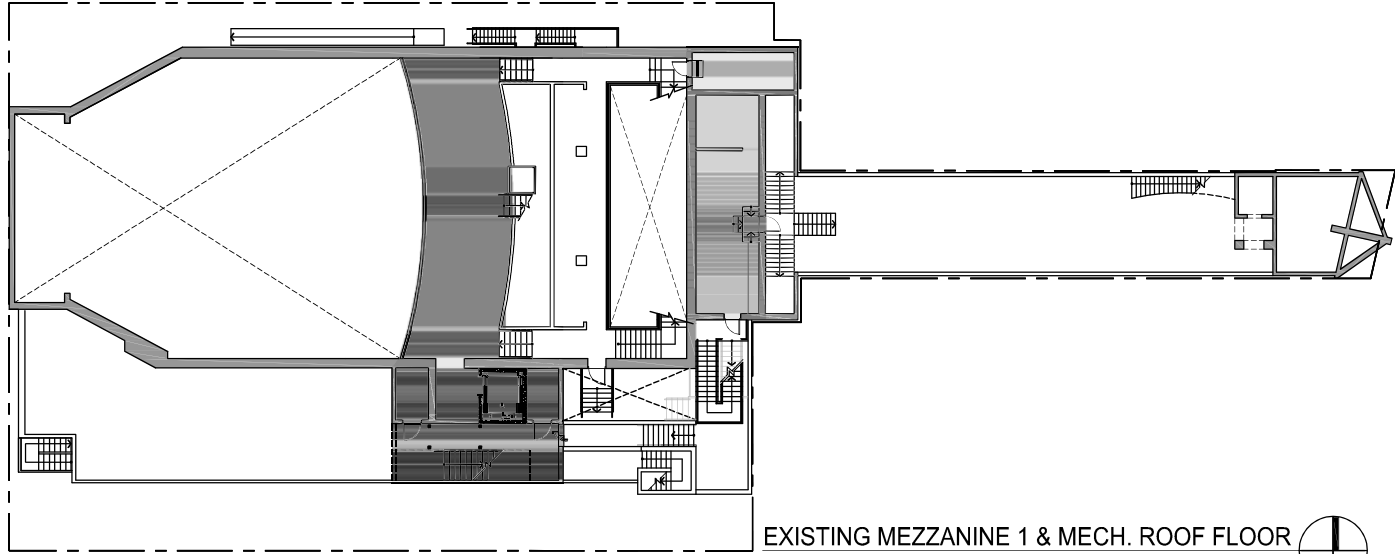
EXISTING 3RD FLOOR & 2ND MEZZANINE FLOOR
SCALE: 1/16" = 1'-0"



EXISTING 2ND FLOOR
SCALE: 1/16" = 1'-0"



EXISTING ROOF
SCALE: 1/16" = 1'-0"



EXISTING MEZZANINE 1 & MECH. ROOF FLOOR
SCALE: 1/16" = 1'-0"

EXISTING AREA CALCULATION	
LEVEL	GROSS AREA
GROUND FLOOR	12,926 SQ. FT.
2ND FLOOR	4,241 SQ. FT.
MEZZANINE 1 & MECH. ROOF	2,333 SQ. FT.
MEZZANINE 2 & 3RD FLOOR	3,262 SQ. FT.
ROOF	157 SQ. FT.
TOTAL GROSS AREA: 23,919 SQ. FT.	
EXISTING FLOOR AREA	

NOTE: THE PREVIOUS SEATING COUNT WAS NOT INCLUDED IN 2011 PERMIT PLANS















EXISTING SITE PLAN

SCALE

$$3/32'' = 1'-0''$$

PROJECT NO.

DATE 2020-02-10

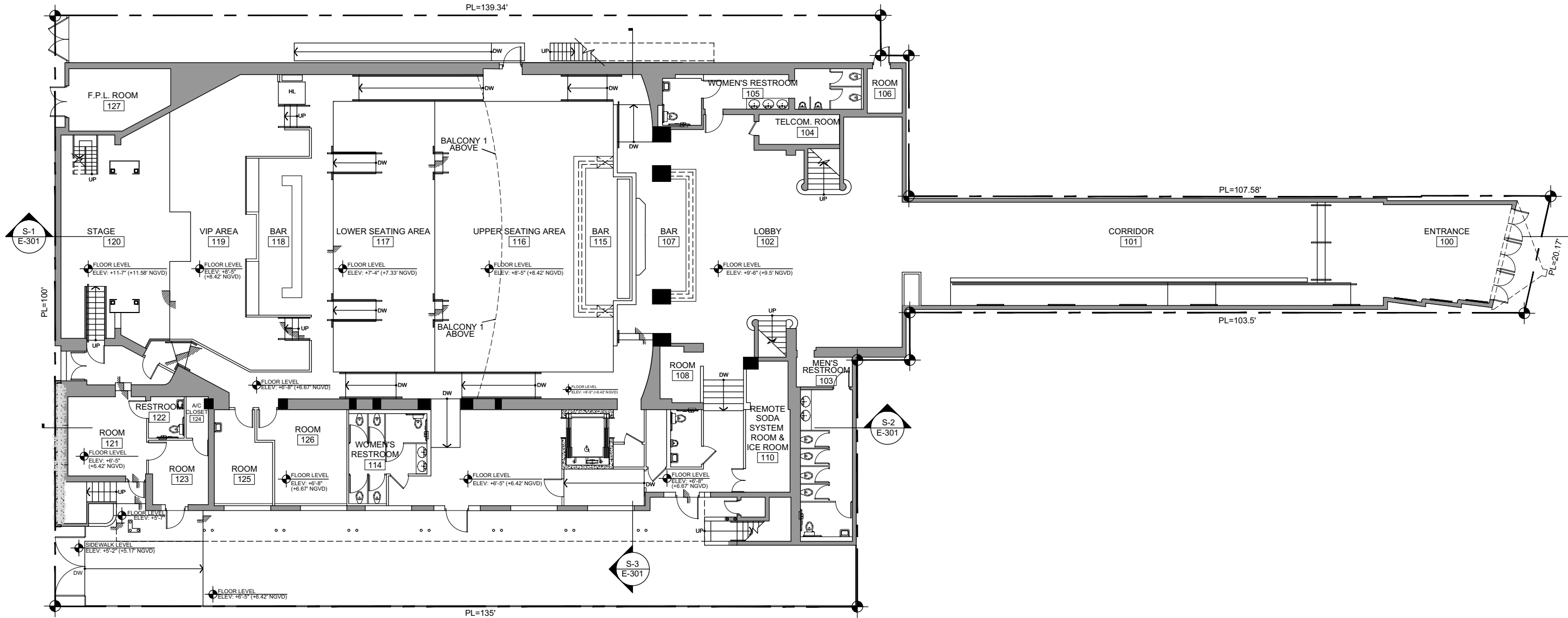
04.27.20

SHEET NUMBER

EXIST-100

PARIS THEATER RESTAURANT-550 WASHINGTON AVE

550 WASHINGTON AVE
MIAMI BEACH



LEGEND

- EXISTING INTERIOR PARTITION
- EXISTING CMU WALL TO REMAIN
- EXISTING COLUMN



DATE	REVISION

DWG. TITLE
EXISTING GROUND
FLOOR PLAN

SCALE
1/8" = 1'-0"

PROJECT NO.

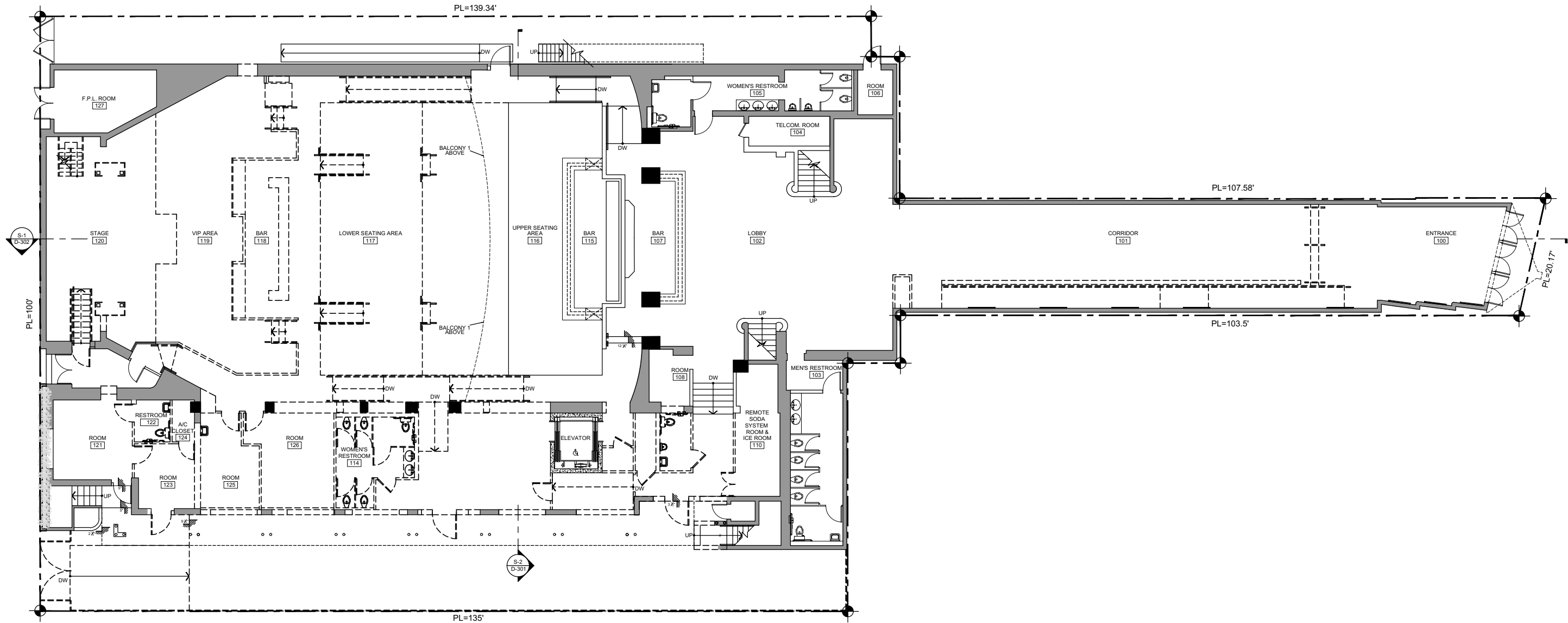
DATE
2020-02

SHEET NUMBER
04-27-20

EXIST-101

NOTE: THE PREVIOUS SEATING COUNT WAS NOT INCLUDED IN
2011 PERMIT PLANS

APPROVED



KEY LEGEND:

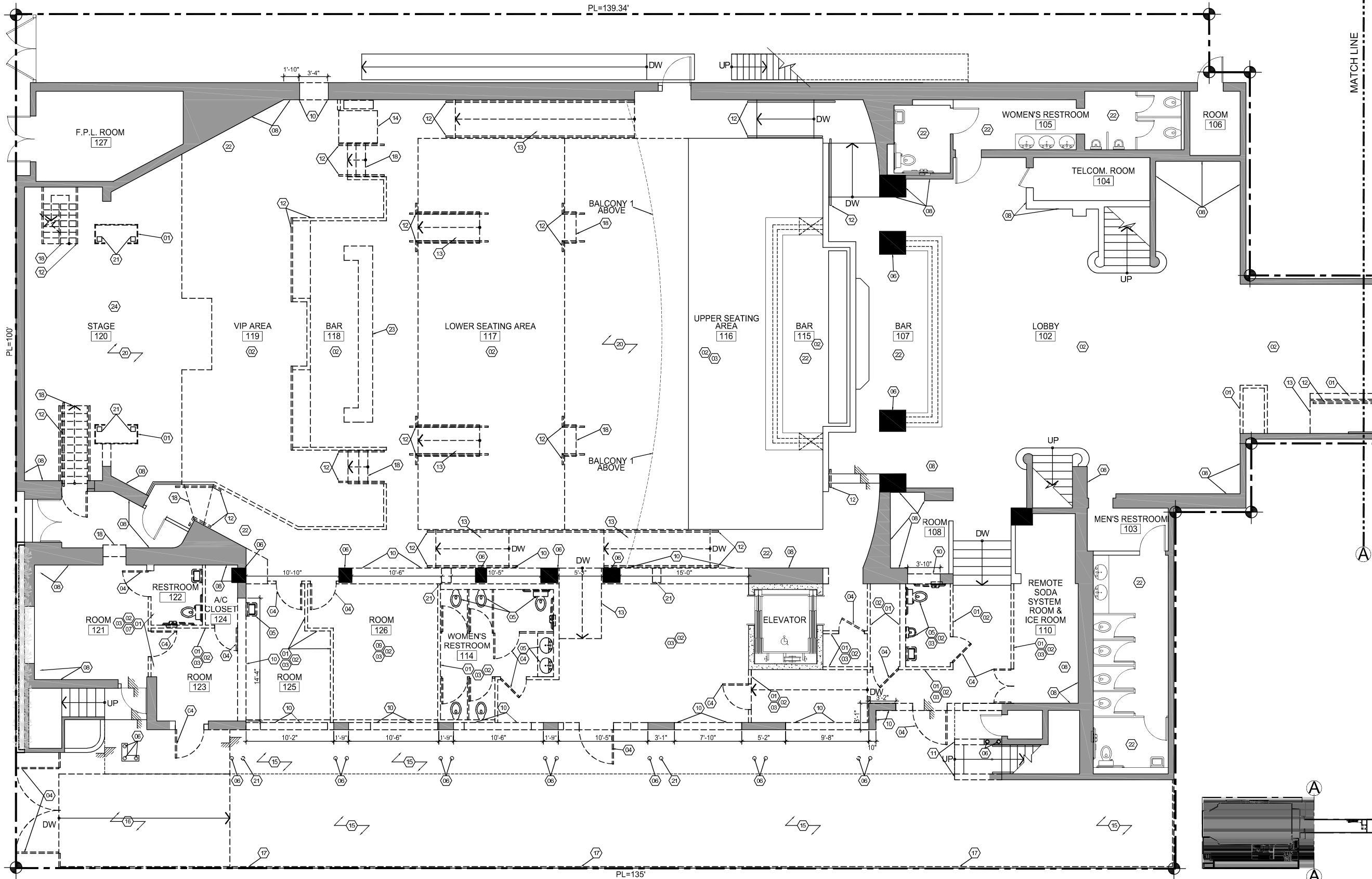
- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING CONCRETE STRUCTURE TO BE DEMOLISHED
- EXISTING CMU WALL TO REMAIN
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING STRUCTURAL COLUMNS TO REMAIN
- AREA NOT IN SCOPE
- EXISTING DOOR AND FRAME TO BE REMOVED



PROPOSED
DEMOLITION

PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

DATE	REVISION
DWG. TITLE	
DEMOLITION GROUND FLOOR PLAN	
SCALE	
1/8" = 1'-0"	
PROJECT NO.	
2020-02	
DATE	
04-27-20	
SHEET NUMBER	
D-101	



DEMOLITION KEY NOTES

- | | | |
|--|--|---|
| 01 REMOVE EXISTING INTERIOR PARTITION | 09 REMOVE MECHANICAL EQUIPMENT. SEE MECHANICAL DEMO NOTE | 17 REMOVE EXISTING FENCE |
| 02 REMOVE EXISTING LINOLEUM FLOORING WITHIN THE LIMITS OF THIS CONTRACT | 10 REMOVE PORTION OF EXISTING WALL TO PROVIDE NEW OPENING WIDTH AS SHOWN | 18 REMOVE EXISTING STAIR |
| 03 REMOVE EXISTING CEILING TO UNDERSIDE STRUCTURE WITHIN THE LIMITS OF THIS CONTRACT | 11 REMOVE EXISTING LOW WALL | 19 REMOVE EXISTING STOREFRONT TO BE REPLACE |
| 04 REMOVE EXISTING DOORS / FRAMES | 12 REMOVE EXISTING HANDRAIL | 20 REMOVE EXISTING WOOD PLATFORM AS INDICATED |
| 05 REMOVE EXISTING PLUMBING FIXTURES, FITTINGS, PIPES, EXHAUST HOODS & EXHAUST FANS. CAP & SEAL EXISTING MEP LINES | 13 REMOVE EXISTING RAMP | 21 EXISTING COLUMN TO BE DEMOLISH |
| 06 EXISTING STRUCTURAL COLUMNS & RATED PROTECTION TO REMAIN (TYP.) | 14 REMOVE EXISTING HANDICAP LIFT | 22 REMOVE INTERIOR FINISH |
| 07 REMOVE EXISTING CARPET | 15 REMOVE EXISTING WOOD DECK | 23 EXISTING BAR STRUCTURE TO BE DEMOLISH |
| 08 EXISTING STRUCTURAL WALLS TO REMAIN | 16 REMOVE EXISTING STAINLESS STEEL RAMP | 24 EXISTING SCREEN TO BE DISMOUNTED |

KEY LEGEND:

- | | |
|--|--|
| | EXISTING INTERIOR PARTITION TO BE DEMOLISHED |
| | EXISTING CONCRETE STRUCTURE TO BE DEMOLISHED |
| | EXISTING CMU WALL TO REMAIN |
| | EXISTING DOOR AND FRAME TO BE REMOVED |
| | EXISTING STRUCTURAL COLUMNS TO REMAIN |

KEY PLAN
N.T.S.

PROPOSED
DEMOLITION

DATE REVISION

DWG. TITLE

ENLARGED
DEMOLITION GROUND
FLOOR PLAN

SCALE

3/16" = 1'-0"

PROJECT NO.

2020-02

DATE

04-27-20

SHEET NUMBER

D-102

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PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

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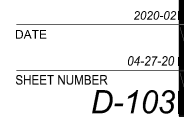
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- | | |
|--|----------|
| DATE | REVISION |
| DWG. TITLE | |
| <p style="text-align: center;"><i>ENLARGED
DEMOLITION GROUND
FLOOR</i></p> | |
| SCALE | |
| <p style="text-align: right;"><i>3/16" = 1'-0"</i></p> | |
| PROJECT NO. | |
| <p style="text-align: right;"><i>2020-02</i></p> | |
| DATE | |
| <p style="text-align: right;"><i>04-27-20</i></p> | |
| SHEET NUMBER | |

DATE 2020-02
SHEET NUMBER 04-27-20
D-103

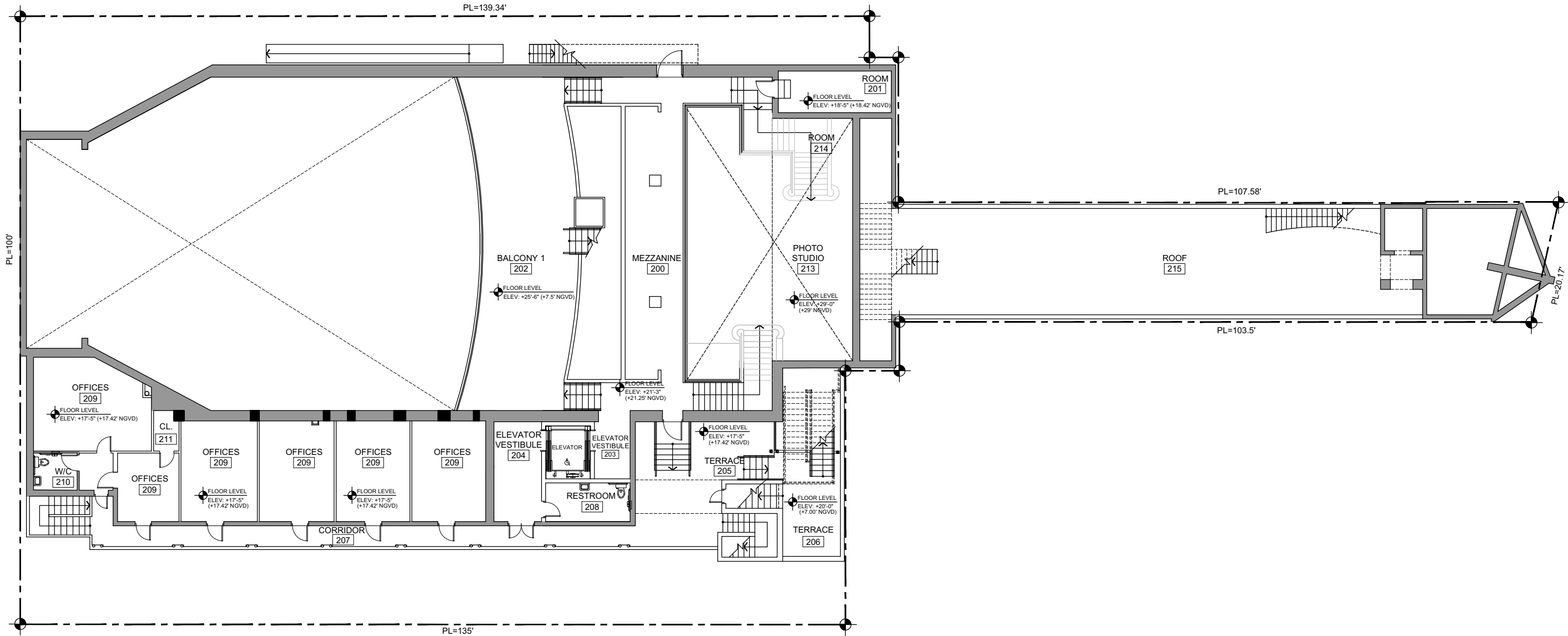
- DATE 2020-02
SHEET NUMBER 04-27-20
D-103



PARIS THEATER RESTAURANT-550 WASHINGTON AVE

550 WASHINGTON AVE
MIAMI BEACH

NOTE: THE PREVIOUS SEATING COUNT WAS NOT INCLUDED IN 2011 PERMIT PLANS



LEGEND

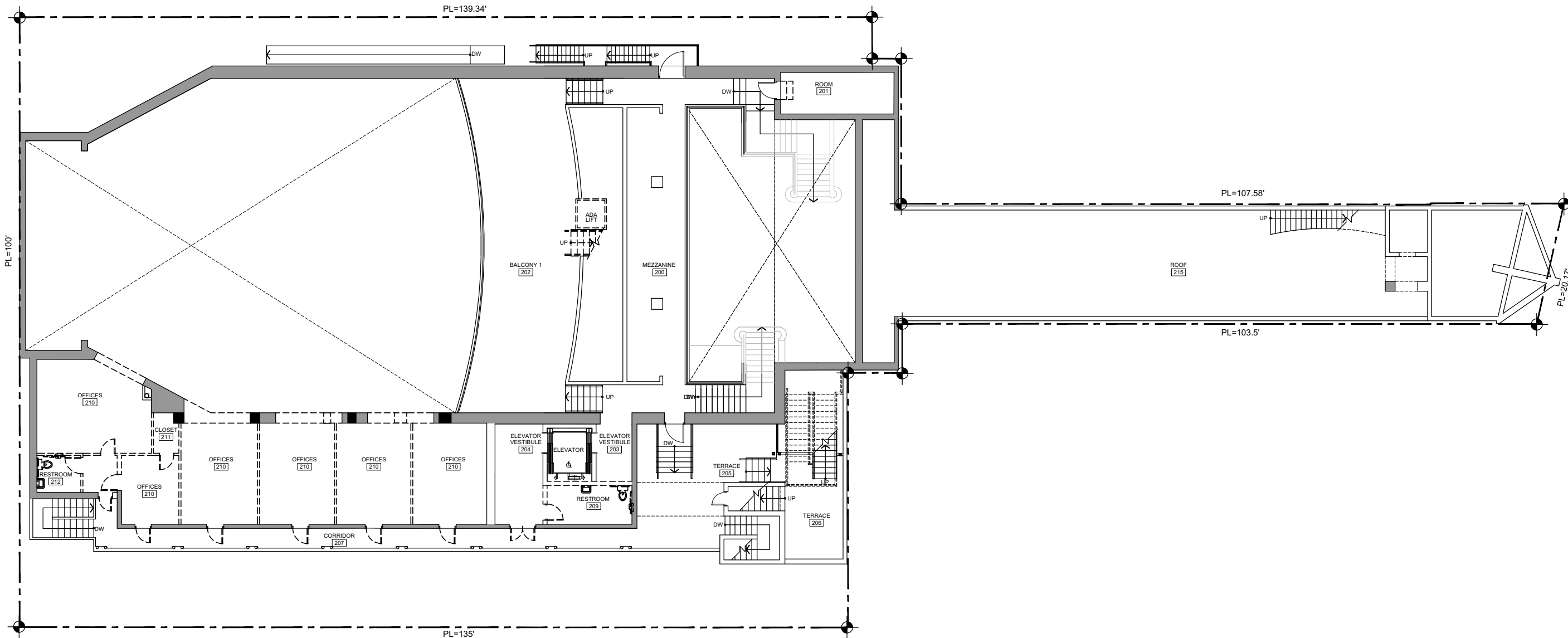
- EXISTING INTERIOR PARTITION
- EXISTING CMU WALL TO REMAIN
- EXISTING COLUMN



DATE	REVISION

DWG. TITLE	EXISTING 2ND FLOOR PLAN
SCALE	1/8" = 1'-0"
PROJECT NO.	2020-02
DATE	04-27-20
SHEET NUMBER	EXIST-102

APPROVED



KEY LEGEND:

- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING CONCRETE STRUCTURE TO BE DEMOLISHED
- EXISTING CMU WALL TO REMAIN
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING STRUCTURAL COLUMNS TO REMAIN
- AREA NOT IN SCOPE
- EXISTING DOOR AND FRAME TO BE REMOVED



PROPOSED
DEMOLITION

DATE REVISION

DWG. TITLE

DEMOLITION 2ND
FLOOR PLAN &
MEZZANINE 1 FLOOR
PLAN

SCALE

1/8" = 1'-0"

PROJECT NO.

2020-02

DATE

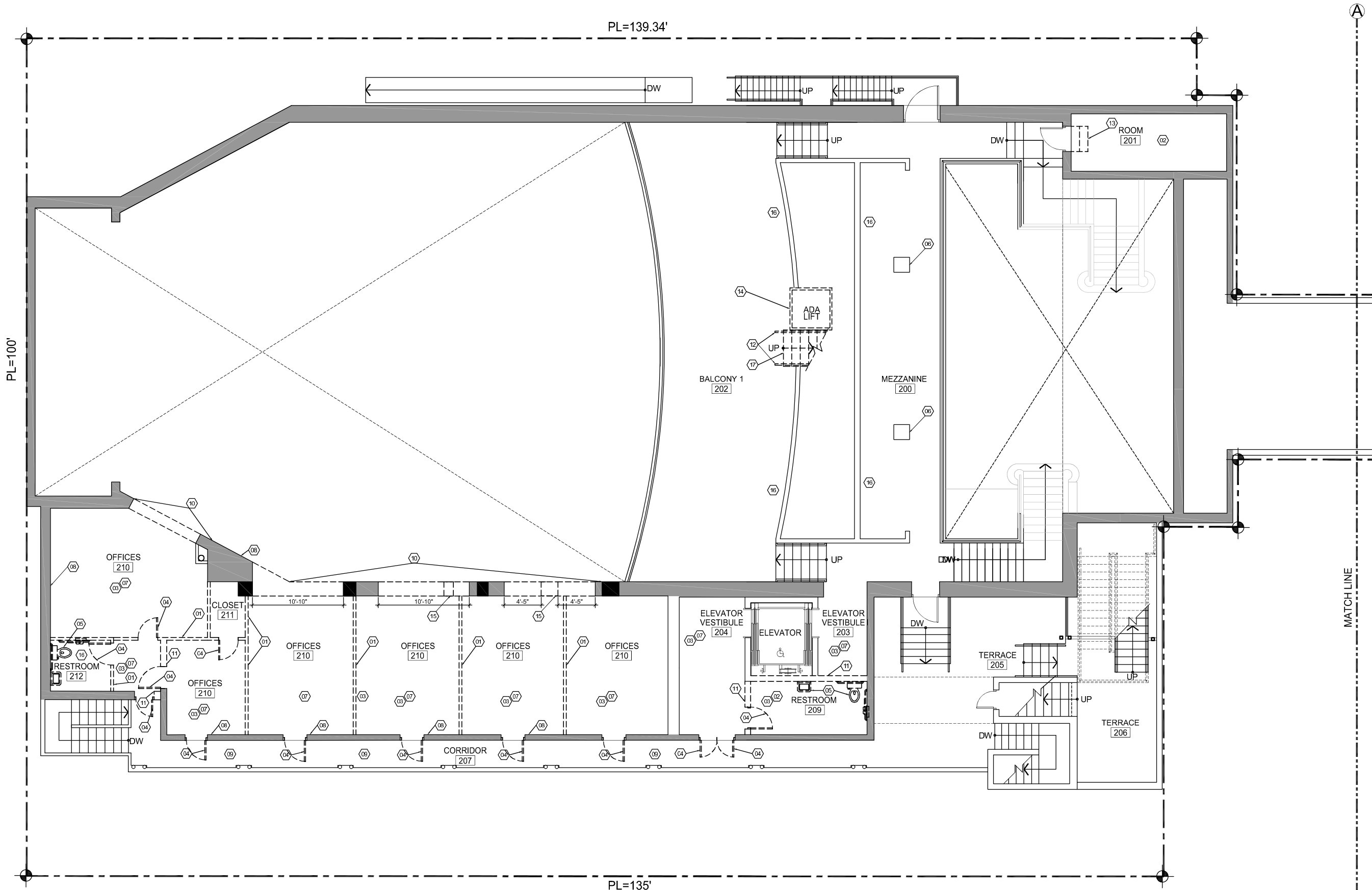
04-27-20

SHEET NUMBER

D-104

PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

DATE	REVISION
DWG. TITLE	
ENLARGE DEMOLITION 2ND FLOOR & MEZZANINE 1 FLOOR PLAN	
SCALE	
3/16" = 1'-0"	
PROJECT NO.	
2020-02	
DATE	
04-27-20	
SHEET NUMBER	
D-105	

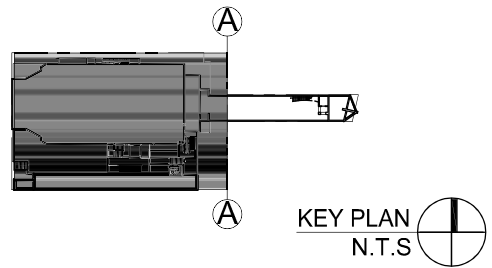


DEMOLITION KEY NOTES

- | | |
|---|--|
| 01 REMOVE EXISTING INTERIOR PARTITION | 07 REMOVE EXISTING CARPET |
| 02 REMOVE EXISTING LINOLEUM FLOORING WITHIN THE LIMITS OF THIS CONTRACT | 08 EXISTING STRUCTURAL WALLS TO REMAIN |
| 03 REMOVE EXISTING CEILING TO UNDERSIDE STRUCTURE WITHIN THE LIMITS OF THIS CONTRACT | 09 REMOVE EXISTING WOOD DECK |
| 04 REMOVE EXISTING DOORS / FRAMES | 10 REMOVE PORTION OF EXISTING WALL TO PROVIDE NEW OPENING WIDTH AS SHOWN |
| 05 REMOVE EXISTING PLUMBING FIXTURES, FITTINGS, PIPES, EXHAUST HOODS & EXHAUST FANS. CAP & SEAL EXISTING MEP LINES. | 11 REMOVE EXISTING WALL |
| 06 EXISTING STRUCTURAL COLUMNS & RATED PROTECTION TO REMAIN (TYP.) | 12 HANDRAIL TO REPLACE |

KEY LEGEND:

- | | |
|--|--|
| | EXISTING INTERIOR PARTITION TO BE DEMOLISHED |
| | EXISTING CONCRETE STRUCTURE TO BE DEMOLISHED |
| | EXISTING CMU WALL TO REMAIN |
| | EXISTING DOOR AND FRAME TO BE REMOVED |
| | EXISTING STRUCTURAL COLUMNS TO REMAIN |

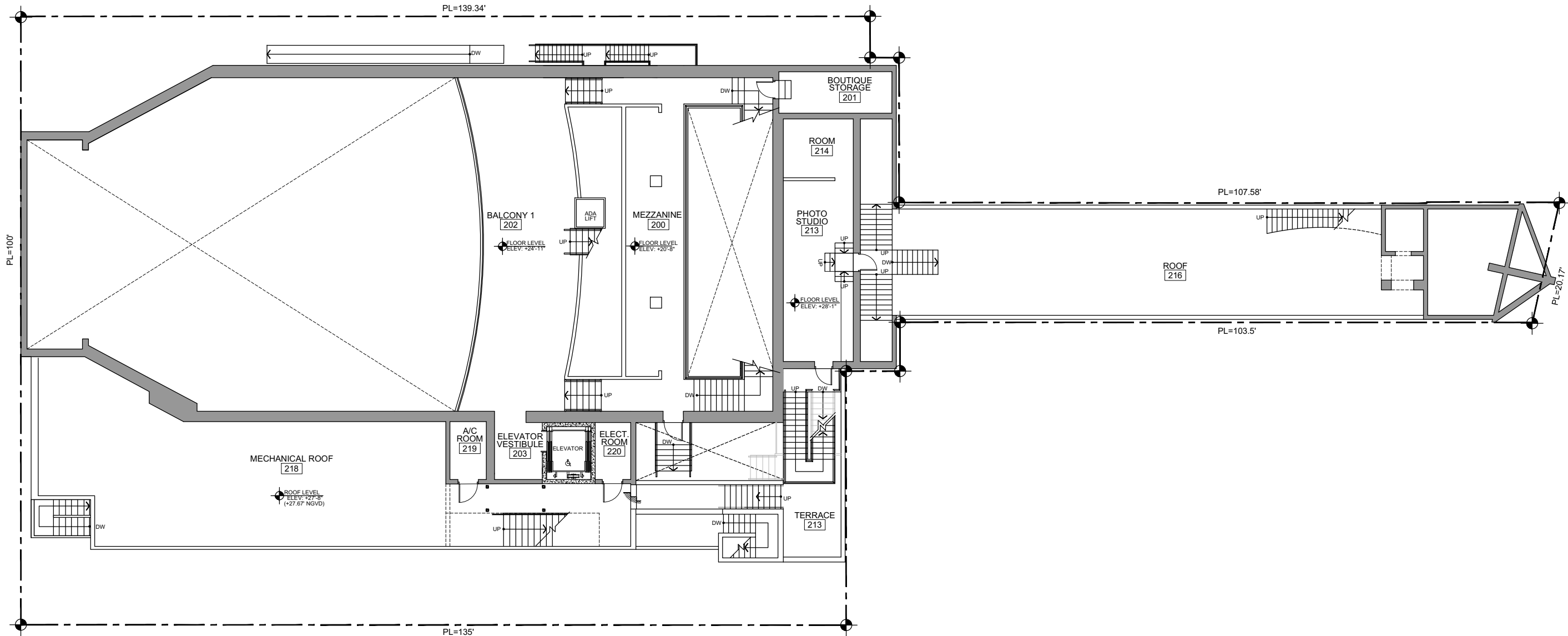


PROPOSED
DEMOLITION

PARIS THEATER RESTAURANT-550 WASHINGTON AVE

550 WASHINGTON AVE
MIAMI BEACH

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LEGEND

- EXISTING INTERIOR PARTITION
EXISTING CMU WALL TO REMAIN



NOTE: THE PREVIOUS SEATING COUNT WAS NOT INCLUDED IN
2011 PERMIT PLANS

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DATE	REVISION

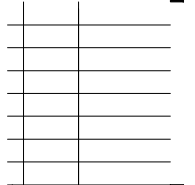
DWG. TITLE
EXISTING MEZZANINE 1
FLOOR & MECHANICAL
ROOF PLAN

SCALE
1/8" = 1'-0"

PROJECT NO.
2020-02

DATE
04-27-20

SHEET NUMBER
EXIST-103

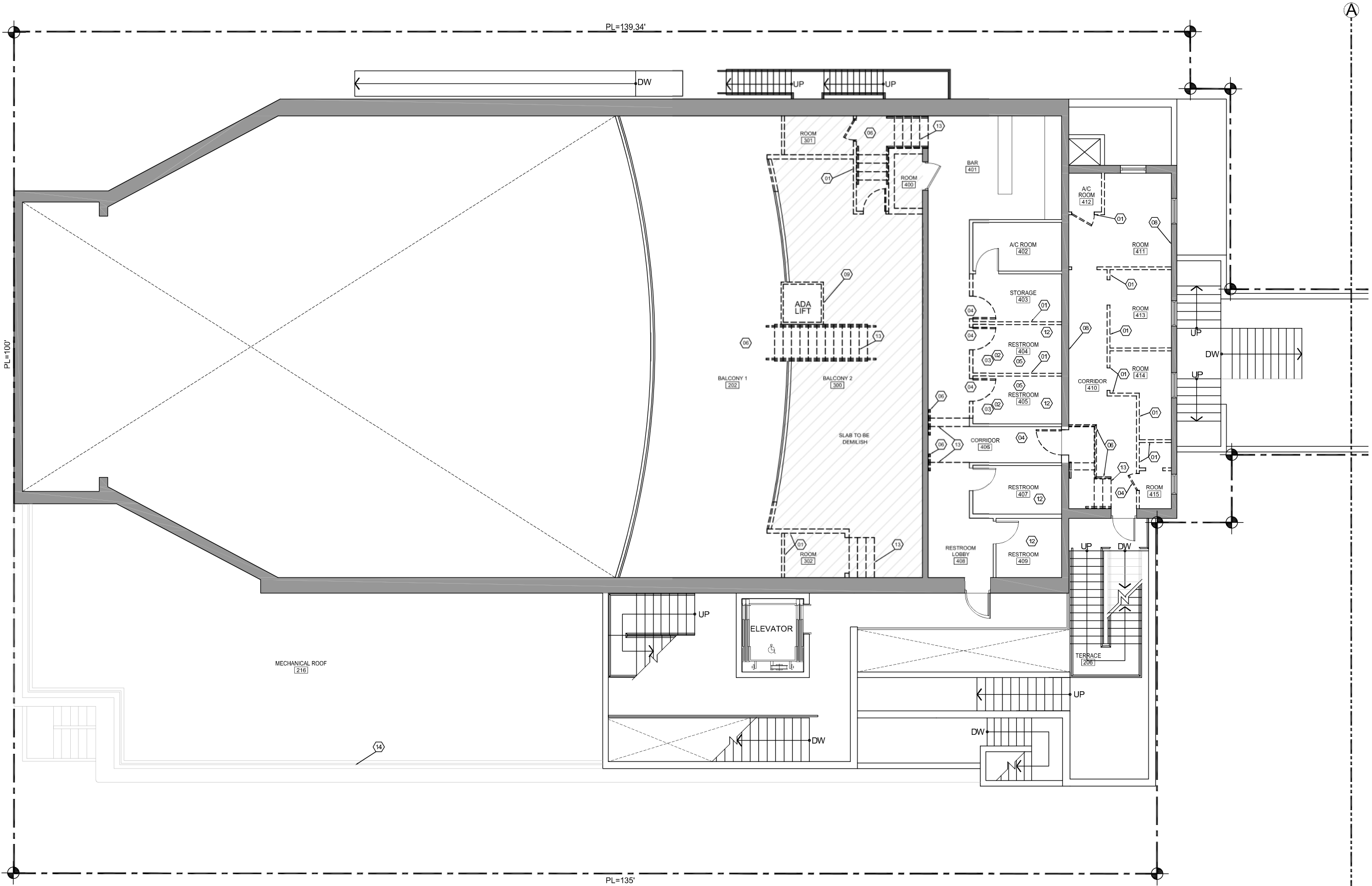


DATE	REVISION
DWG. TITLE	
EXISTING MEZZANINE 2 FLOOR & 3RD FLOOR PLAN	
SCALE	
1/8" = 1'-0"	
PROJECT NO.	
2020-02	
DATE	
04-27-20	
SHEET NUMBER	
EXIST-104	

APPROVED

PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

DATE	REVISION
DWG. TITLE	
DEMOLITION MEZZANINE 2 FLOOR PLAN & 3RD FLOOR	
SCALE	
3/16" = 1'-0"	
PROJECT NO.	
2020-02	
DATE	
04-27-20	
SHEET NUMBER	
D-106	

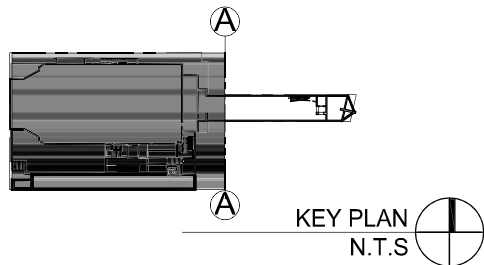


DEMOLITION KEY NOTES

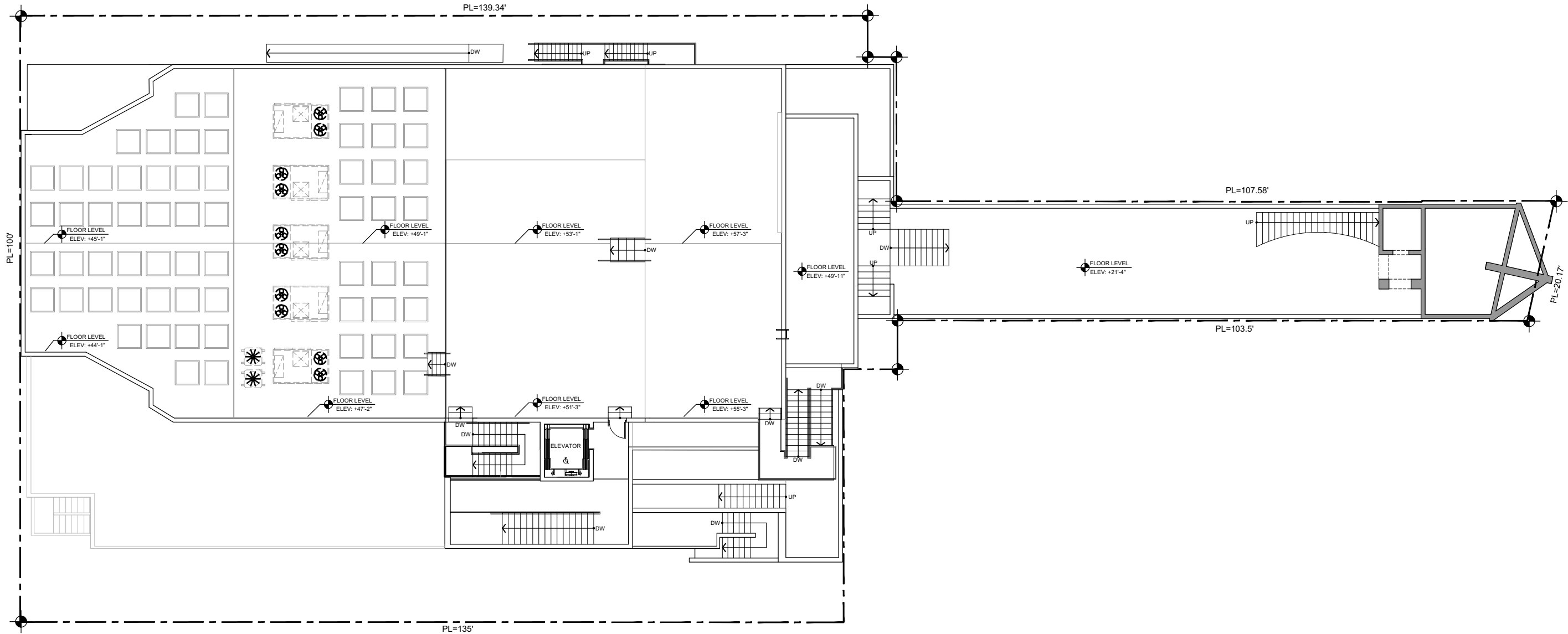
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|---|--|
| 01 REMOVE EXISTING INTERIOR PARTITION | 06 EXISTING STRUCTURAL WALLS TO REMAIN |
| 02 REMOVE EXISTING FLOORING WITHIN THE LIMITS OF THIS CONTRACT | 07 REMOVE EXISTING HANDICAP LIFT |
| 03 REMOVE EXISTING CEILING TO UNDERSIDE STRUCTURE WITHIN THE LIMITS OF THIS CONTRACT | 08 REMOVE PORTION OF EXISTING WALL TO PROVIDE NEW OPENING WIDTH AS SHOWN |
| 04 REMOVE EXISTING DOORS / FRAMES | 09 REMOVE EXISTING WALL |
| 05 REMOVE EXISTING PLUMBING FIXTURES, FITTINGS, PIPES, EXHAUST HOODS & EXHAUST FANS. CAP & SEAL EXISTING MEP LINES. | 10 REMOVE INTERIOR FINISH |
| 06 HANDRAIL TO REPLACE | 11 REMOVE EXISTING STAIR |
| 07 REMOVE EXISTING CARPET | 12 REMOVE EXISTING RAILING |

KEY LEGEND:

- | |
|--|
| EXISTING INTERIOR PARTITION TO BE DEMOLISHED |
| EXISTING CONCRETE STRUCTURE TO BE DEMOLISHED |
| EXISTING CMU WALL TO REMAIN |
| EXISTING DOOR AND FRAME TO BE REMOVED |
| EXISTING STRUCTURAL COLUMNS TO REMAIN |



PROPOSED
DEMOLITION



PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

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DATE	REVISION

DWG. TITLE	EXISTING ROOF PLAN
SCALE	1/8" = 1'-0"
PROJECT NO.	2020-02
DATE	04-27-20
SHEET NUMBER	EXIST-105

APPROVED

- 01 EXISTING CASEMENT WINDOWS TO REMAIN
- 02 EXISTING DOOR TO REMAIN
- 03 STUCCO FINISH TO BE REPAIRED AS REQUIRED
- 04 FACADE DECORATIVE ELEMENTS TO REMAIN
- 05 EXISTING RAILING TO BE DEMOLISH
- 06 EXISTING EYEBROWS TO REMAIN
- 07 EXISTING METAL GATE TO BE REPLACE TO MATCH EXISTING
- 08 CONCRETE STAIR TO REMAIN
- 09 EXISTING PLATFORM BACKDROP TO REMAIN
- 10 EXISTING METAL COLUMNS TO REMAIN



DATE REVISION

DWG. TITLE

*EXISTING WEST
ELEVATION*

SCALE

3/16" = 1'-0"

PROJECT NO.

2020-02

DATE

04-27-20

SHEET NUMBER

EXIST-201

- 01 EXISTING CASEMENT WINDOWS TO REMAIN
- 02 EXISTING STOREFRONT TO BE REPLACE
- 03 STUCCO FINISH TO BE REPAIRED AS REQUIRED
- 04 STUCCO BANDS TO REMAIN
- 05 EXISTING RAILING TO REMAIN
- 06 EXISTING SIGNAGE TO BE RESTORE
- 07 EXISTING MARQUEE TO BE RESTORE
- 08 EXISTING METAL STAIR TO REMAIN
- 09 EXISTING PLATFORM BACKDROP TO REMAIN
- 10 EXISTING RAILING TO BE DEMOLISH



APPROVED

△	DATE	REVISION
---	------	----------

EXISTING EAS
ELEVATIO

$$3/16'' = 1'-0''$$

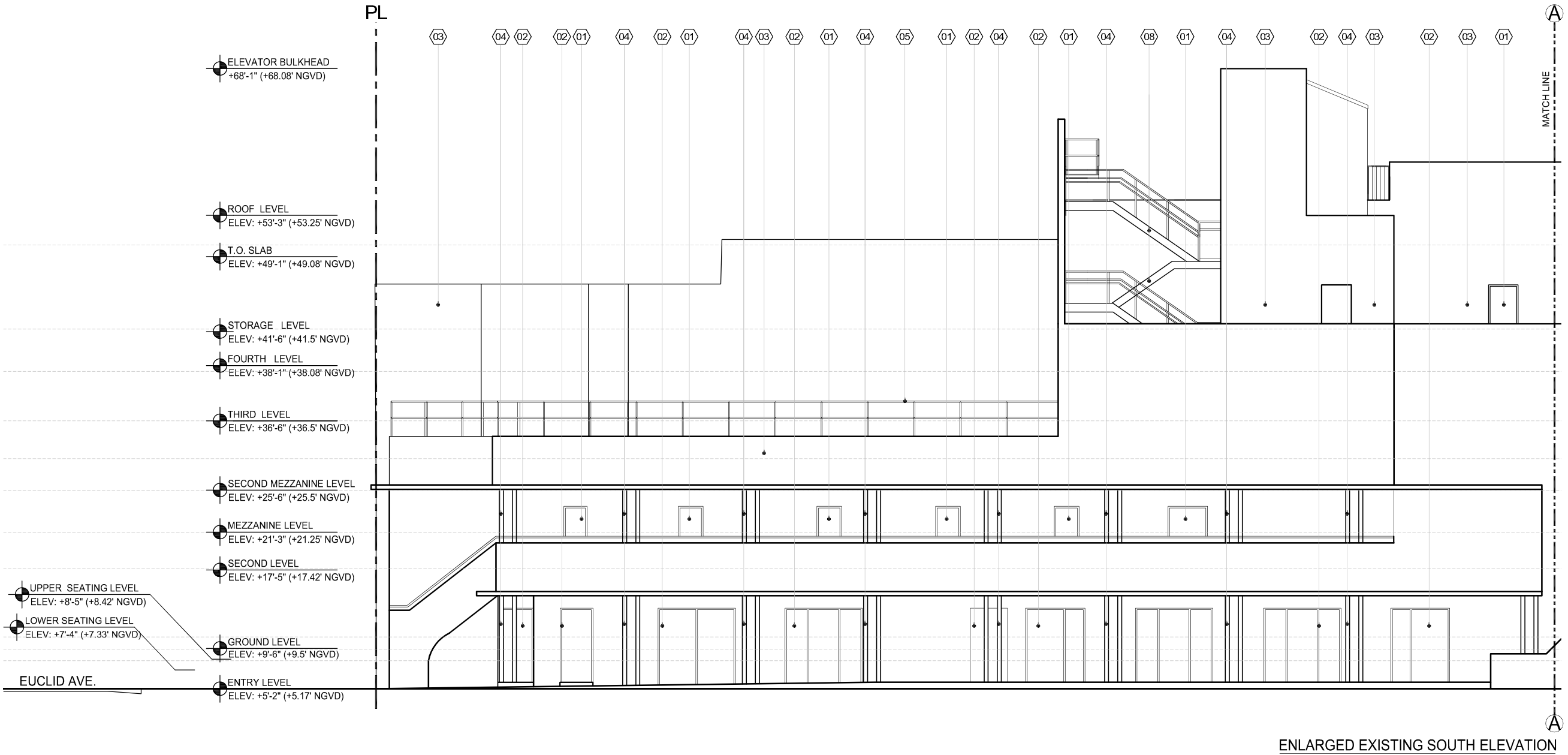
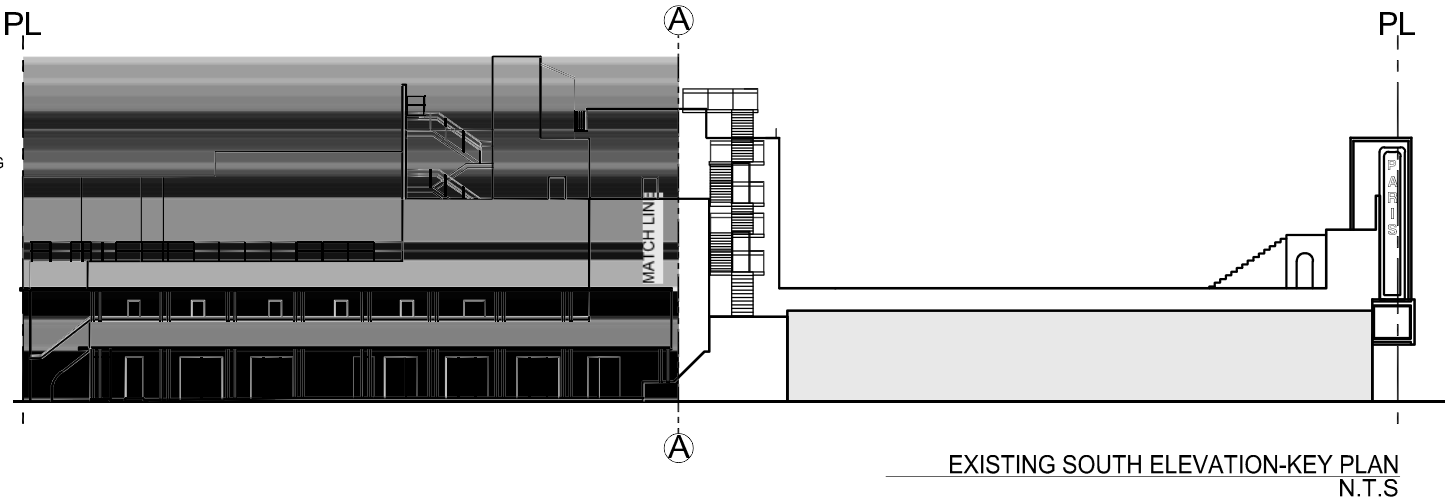
2020-0

04-27-2

EXIST-202

KEY NOTES

- 01 EXISTING DOOR TO REMAIN
- 02 EXISTING STOREFRONT TO BE REMOVE TO CREATE OPENING
- 03 STUCCO FINISH TO BE REPAIRED AS REQUIRED
- 04 EXISTING METAL COLUMNS TO REMAIN
- 05 EXISTING RAILING TO BE DEMOLISH
- 06 EXISTING SIGNAGE TO BE RESTORE
- 07 EXISTING MARQUEE TO BE RESTORE
- 08 EXISTING METAL STAIR TO REMAIN

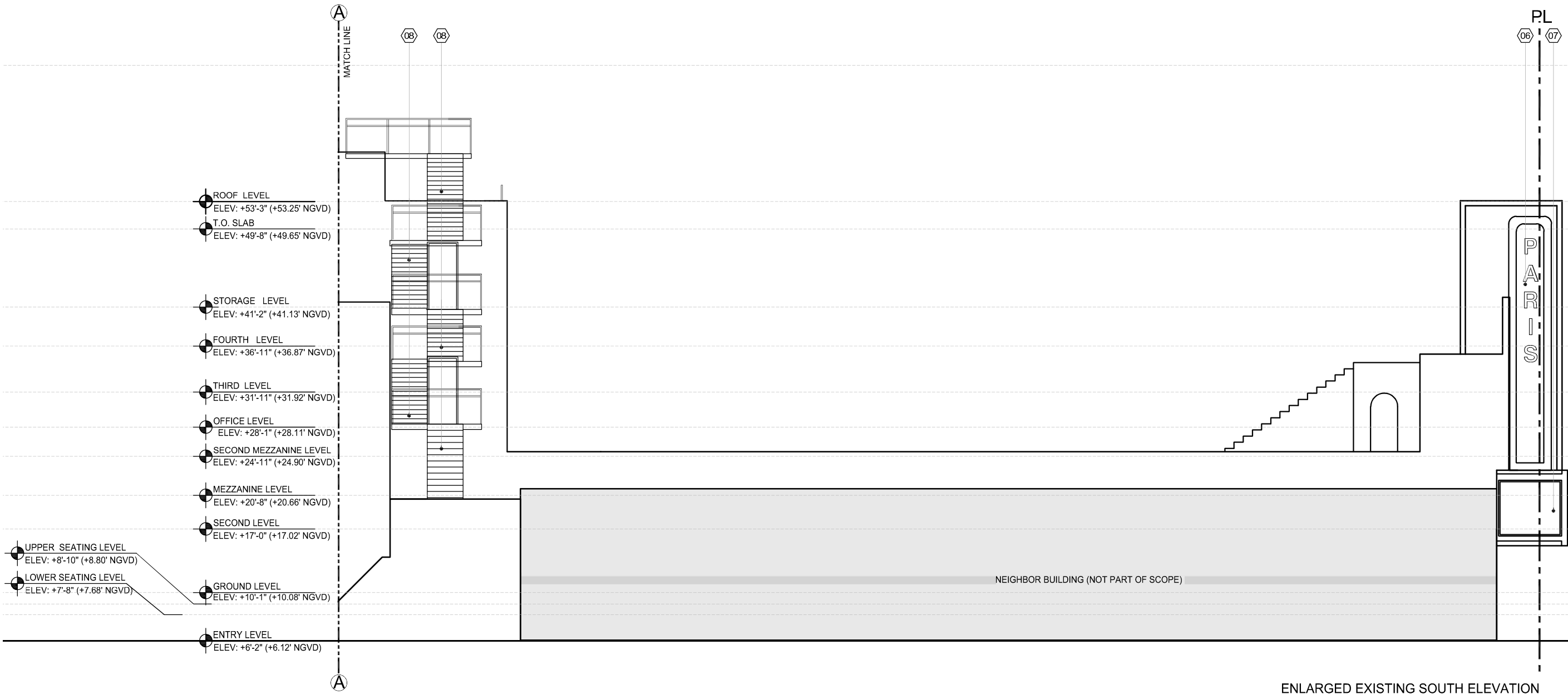
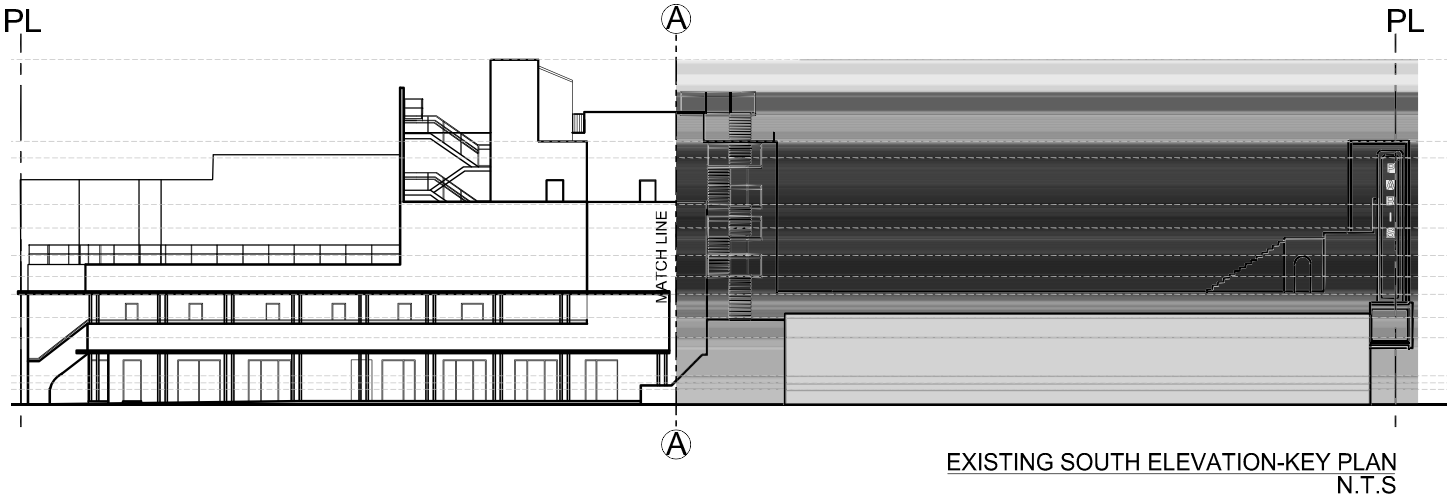


DATE	REVISION
DWG. TITLE	
EXISTING SOUTH ELEVATION	
SCALE	
3/16" = 1'-0"	
PROJECT NO.	
2020-02	
DATE	
04-27-20	
SHEET NUMBER	
EXIST-203	

APPROVED

KEY NOTES

- 01 EXISTING DOOR TO REMAIN
- 02 EXISTING STOREFRONT TO BE REMOVE TO CREATE OPENING
- 03 STUCCO FINISH TO BE REPAIRED AS REQUIRED
- 04 EXISTING METAL COLUMNS TO REMAIN
- 05 EXISTING RAILING TO REMAIN
- 06 EXISTING SIGNAGE TO BE RESTORE
- 07 EXISTING MARQUEE TO BE RESTORE
- 08 EXISTING METAL STAIR TO REMAIN



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PARIS THEATER RESTAURANT-550 WASHINGTON AVE
550 WASHINGTON AVE
MIAMI BEACH

DATE	REVISION
2020-02	04-27-20
DWG. TITLE	
EXISTING SOUTH ELEVATION	
SCALE	
3/16" = 1'-0"	
PROJECT NO.	
2020-02	
DATE	
04-27-20	
SHEET NUMBER	
EXIST-204	

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