

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET - FILE no. DRB20-0551

ITEM #	ZONING INFORMATION				
1	ADDRESS:	4424 NORTH BAY ROAD, MIAMI BEACH, FL 33140			
2	FOLIO NUMBER(S):	02-3222-011-0250			
3	BOARD AND FILE NUMBERS:	N/A			
4	YEAR BUILT:	N/A	ZONING DISTRICT:	RS-3 (SINGLE-FAMILY)	
5	BASE FLOOD ELEVATION:	8'-0" NGVD	FUTURE GRADE VALUE IN NGVD :	N/A	
6	GRADE:	2.5' NGVD	ADJUSTED GRADE :	+5.25 NGVD	
7	LOT AREA:	15,856 SF	GROUND FLOOR ELEVATION:	+10' NGVD	
8	LOT WIDTH:	99'-4"	LOT DEPTH:	160'-4"	
9	MAX LOT COVERAGE SF AND % ALLOWED:	4,757 SF (30%)	PROPOSED LOT COVERAGE SF AND %:	3,894 SF (24.55%)	
10	EXISTING LOT COVERAGE SF AND %:	N/A	PROPOSED GARAGE SF:	556 SF (500 SF REDUCTION FOR UNIT SIZE AND LOT COVERAGE)	
11	PROPOSED FRONT YARD OPEN SPACE SF AND %:	1,001 SF (50.20%)	PROPOSED REAR YARD OPEN SPACE SF AND %:	1,703.5 SF (70.36%)	
12	MAX UNIT SIZE SF AND % ALLOWED:	7,928 SF (50%)	PROPOSED UNIT SIZE SF AND %:	6,988 SF (44.07%)	
13	EXISTING FIRST FLOOR UNIT SIZE SF AND %:	N/A	PROPOSED FIRST FLOOR UNIT SIZE %:	3,867 SF (24.38%)	
14	EXISTING SECOND FLOOR UNIT SIZE SF AND %:	N/A	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND %:	N/A	
15		N/A	PROPOSED SECOND FLOOR UNIT SIZE SF AND %:	3,121 SF (19.68%)	
16	EXISTING UNIT SIZE	N/A	PROPOSED ROOF FLOOR AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	N/A	
		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	24'- FLAT ROOFS	N/A	N/A	N/A
		27'- SLOPED ROOFS	N/A	31'-0"	WAIVER #1: +4'-0"
					WAIVER #2: TWO STORY ELEVATION DOES NOT MEET FULL REQUIREMENTS OF SIDE OPEN SPACE ON NORTH SIDE.
18	SETBACKS:				
19	FRONT FIRST LEVEL:	20'-0"	N/A	N/A	NONE
20	FRONT SECOND LEVEL:	30'-0"	N/A	30'-0"	NONE
21	SIDE 1: NORTH	12'-5"	N/A	12'-7"	NONE
22	SIDE 2: SOUTH	12'-5"	N/A	12'-5"	NONE
23	REAR:	24'-1" (15%)	N/A	25'-0"	NONE
	ACCESSORY STRUCTURE SIDE 1:	7'-6"	N/A	N/A	NONE
24	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A	N/A	N/A	NONE
25	ACCESSORY STRUCTURE REAR:	N/A	N/A	N/A	NONE
26	SUM OF SIDE YARD:	24'-10" (25%)	N/A	25'-5.5"	NONE
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT):		NO		
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE?		NO		
29	DETERMINED TO BE ARCHITECTURALLY SIGNIFICANT?		NO		

NOTES: IF NOT APPLICABLE WRITE N/A

LEGAL DESCRIPTION
 LOT 29, BLOCK 1, NAUTILUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 95, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

NOTHING SHALL BE ERECTED, PLACED, PARKED, PLANTED, OR ALLOWED TO GROW IN SUCH A MANNER WITHIN A 15'-0" TRIANGLE OF VISIBILITY SO AS TO MATERIALLY IMPEDE VISION BETWEEN A HEIGHT OF 2'-0" AND 8'-0" ABOVE AVERAGE GRADE (2.5' N.G.V.D.) MEASURED AT THE DRIVEWAY OR AT THE TRIANGLE OF VISIBILITY AND INTERSECTION

THE SIDE OF THE PROPERTY SHALL BE GRADED IN A MANNER TO RETAIN ALL RAINWATER ON THE PROPERTY WITH THE USE OF INTERCEPTOR SWALES AROUND THE PERIMETER OF THE SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES AND THE AREA ADJACENT TO THE CANAL WILL BE GRADED TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO THE CANAL

SWIMMING POOL SHALL BE PROVIDED WITH A BARRIER COMPLYING WITH SECTION R4101.17.1.1 THROUGH R4101.17.1.14 OF THE FLORIDA BUILDING CODE, 2010 RESIDENTIAL. POOL , EQUIPMENT AND POOL BARRIER ARE UNDER A SEPARATE PERMIT

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Rev.	Date	Rev.	Date
DRB FIRST SUBMITTAL	04-20-2020		
DRB FINAL SUBMITTAL	05-11-2020		
DRB SHEETS REVISION	05-20-2020		

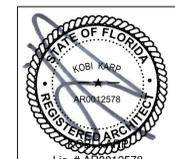
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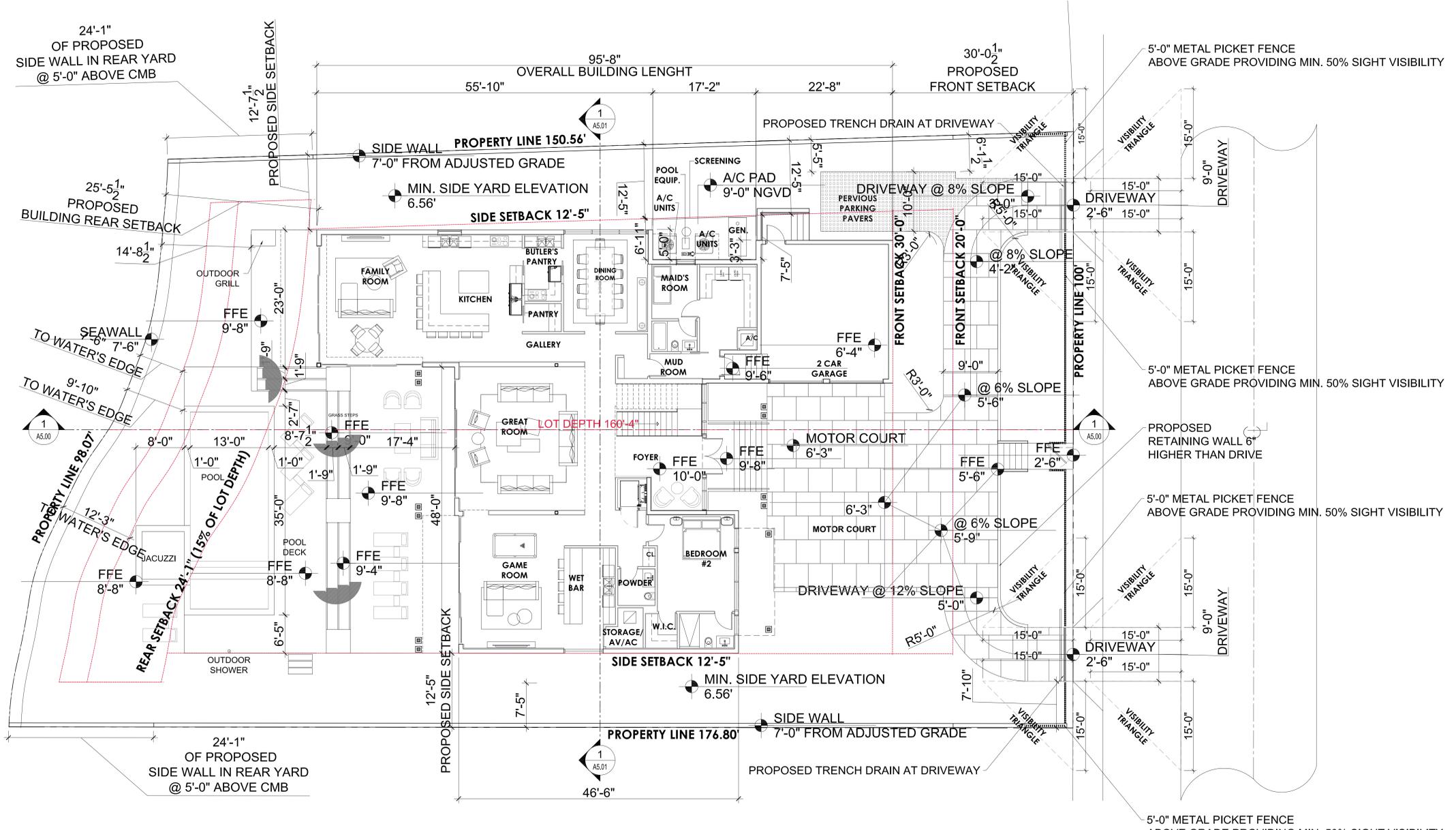
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DATA SHEET
 PROPOSED DESIGN

Date:	05-11-2020	Sheet No.	
Scale:			A0.01
Project:	2016		



- PUBLIC WORKS:**
- REPLACE THE SIDEWALK ALONG THE ENTIRE STREET FRONTAGE OF THE PROPERTY.
 - RECONSTRUCT THE SWALE / SOD ALONG THE ENTIRE FRONTAGE OF THE PROPERTY.
 - MILL AND RESURFACE 2 INCHES AVERAGE USING TYPE S-III ASPHALT MIX DESIGN ON THE DRIVING LANE (9 FEET WIDE).
 - LANDSCAPING IMPROVEMENTS WITHIN THE RIGHT OF WAY REQUIRE PRELIMINARY APPROVALS FROM CMB PLANNING DEPARTMENT AND PARKS (GREEN MANAGEMENT). DEPARTMENT PRIOR TO APPLYING FOR A PUBLIC WORKS DEPARTMENT RIGHT OF WAY CONSTRUCTION PERMIT.
 - ALL CONSTRUCTION AND / OR USE OF EQUIPMENT IN THE RIGHT OF WAY AND / OR EASEMENTS WILL REQUIRE A SEPARATE PUBLIC WORKS DEPARTMENT PERMIT PRIOR OR COMMENCEMENT OF CONSTRUCTION

NOTE:
NO SCREENING IN ANY REQUIRED YARD.

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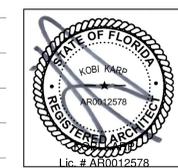
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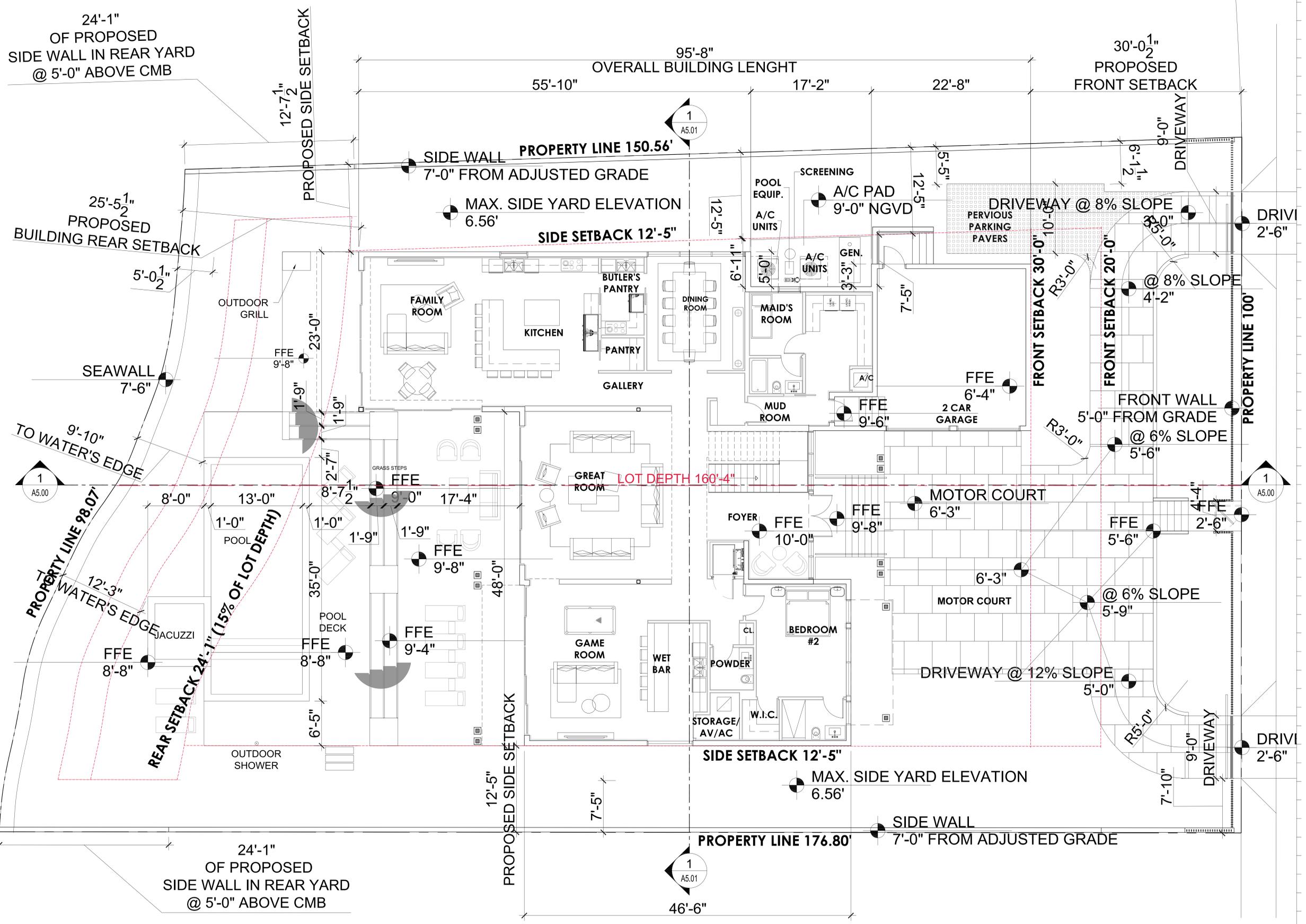


1 SITE PLAN
Scale: 1/8" = 1'-0"



SITE PLAN
PROPOSED DESIGN

Date:	05-11-2020	Sheet No.	
Scale:			A2.00
Project:	2016		



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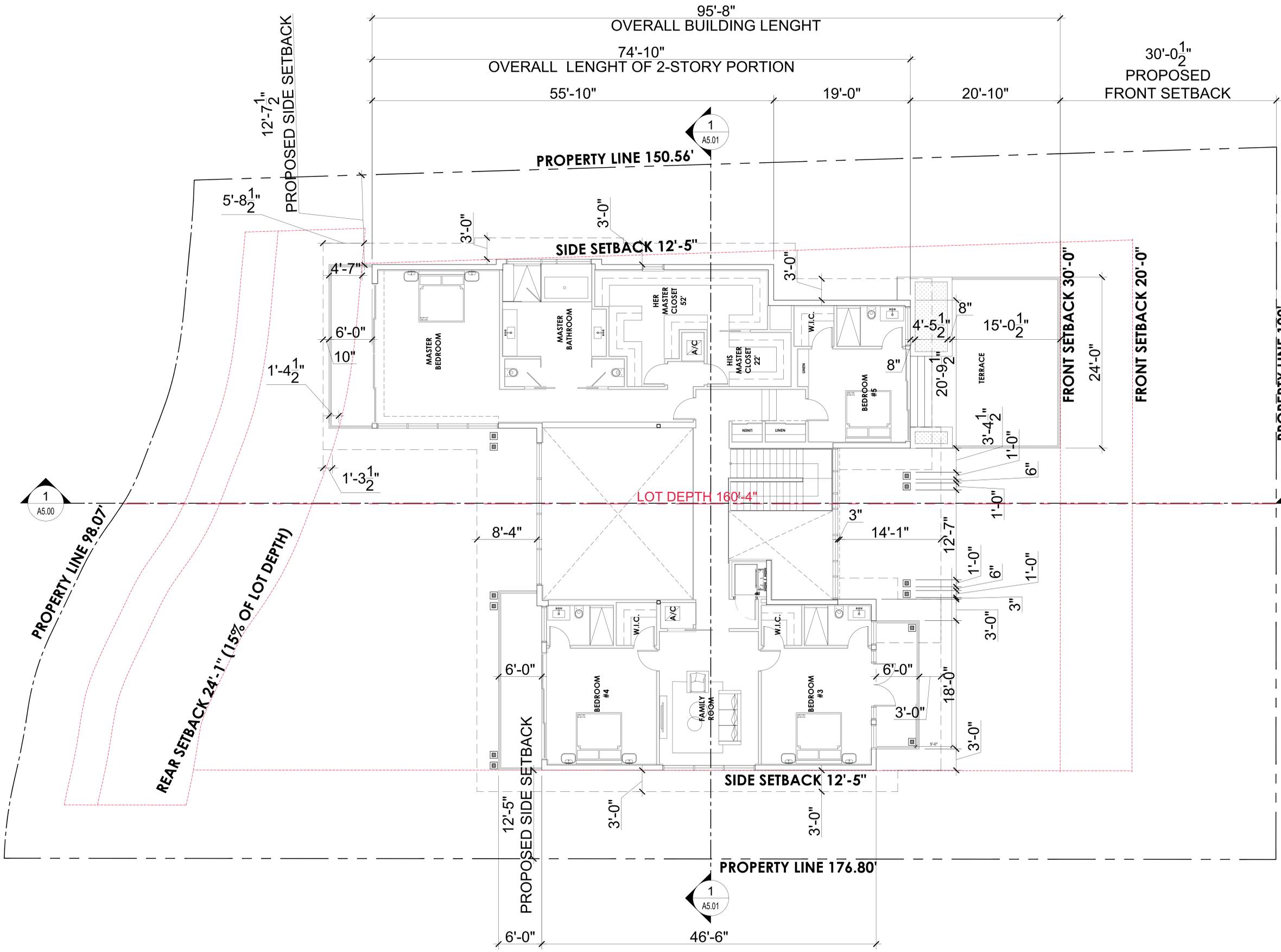


1 GROUND FLOOR PLAN
 Scale: 3/16" = 1'-0"



FLOOR PLAN
 PROPOSED DESIGN

Date: 05-11-2020	Sheet No.
Scale:	A3.01
Project: 2016	



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1 SECOND FLOOR PLAN
 Scale: 3/16" = 1'-0"

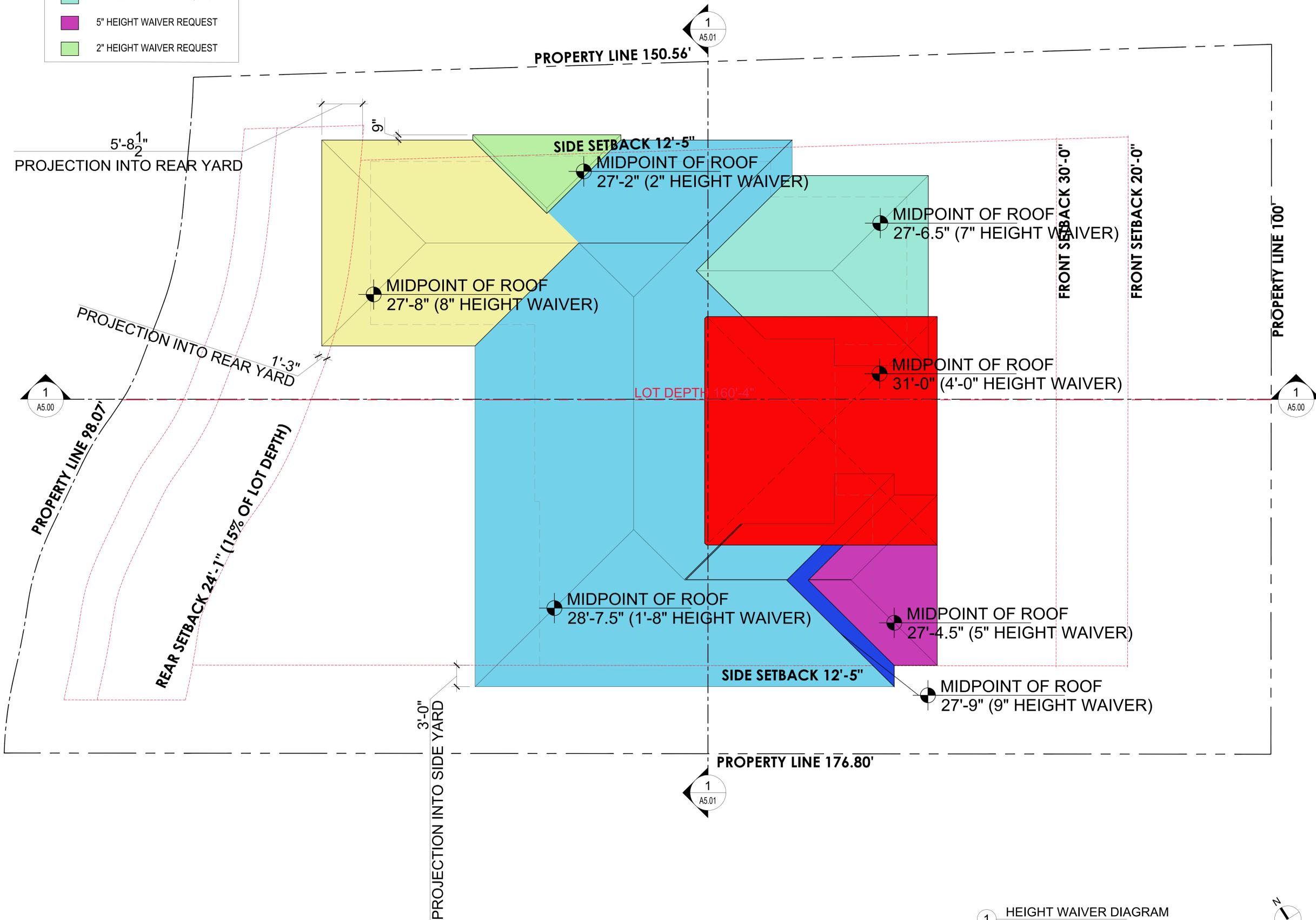


FLOOR PLAN
 PROPOSED DESIGN

Date: 05-11-2020	Sheet No.
Scale:	A3.02
Project: 2016	

HEIGHT WAIVER LEGEND

■	4'-0" HEIGHT WAIVER REQUEST
■	1'-8" HEIGHT WAIVER REQUEST
■	9" HEIGHT WAIVER REQUEST
■	8" HEIGHT WAIVER REQUEST
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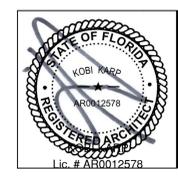
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1 HEIGHT WAIVER DIAGRAM
Scale: 3/16" = 1'-0"

HEIGHT WAIVER DIAGRAM
PROPOSED DESIGN

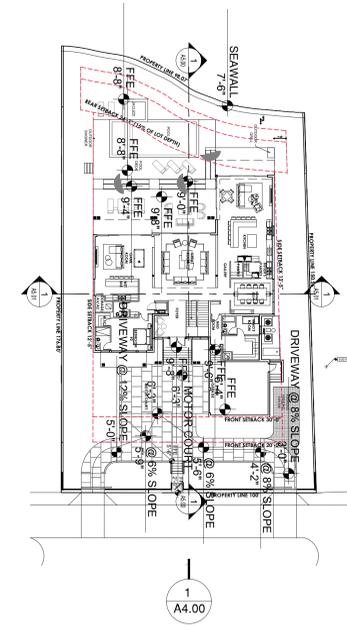
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Scale:			A3.04
Project:	2016		

ELEVATION MATERIAL LEGEND



HEIGHT WAIVER LEGEND

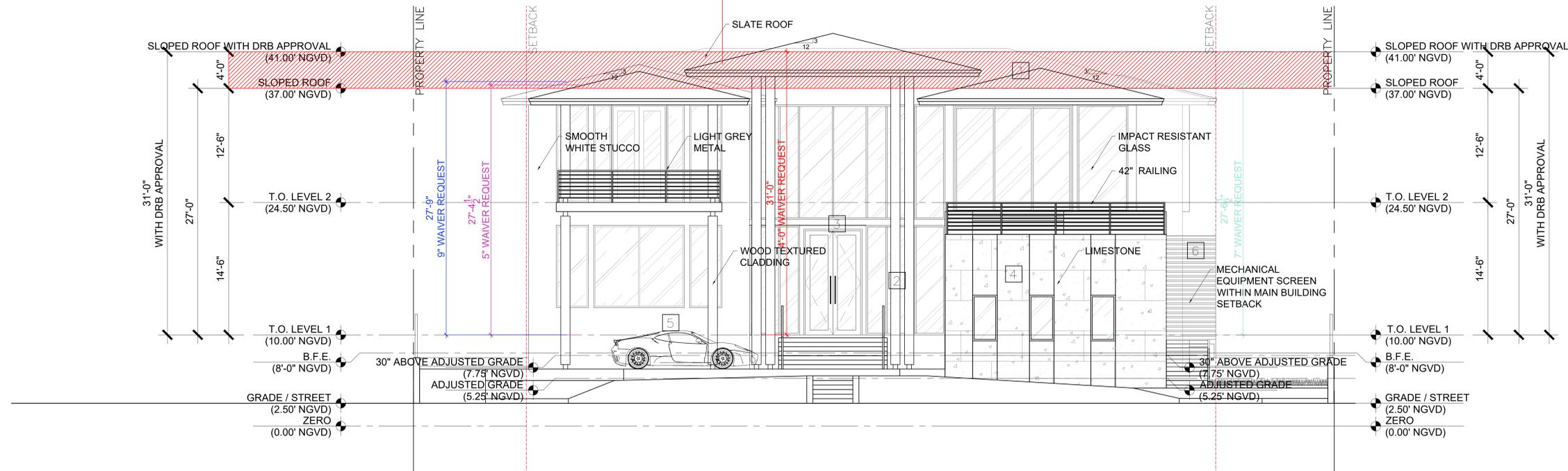
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KEY PLAN

Scale: N.T.S.

WAIVER TO ALLOW 4 FEET OF ADDITIONAL HEIGHT WITH DRB APPROVAL



1 FRONT ELEVATION
Scale: 3/16" = 1'-0"

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ELEVATIONS
PROPOSED DESIGN

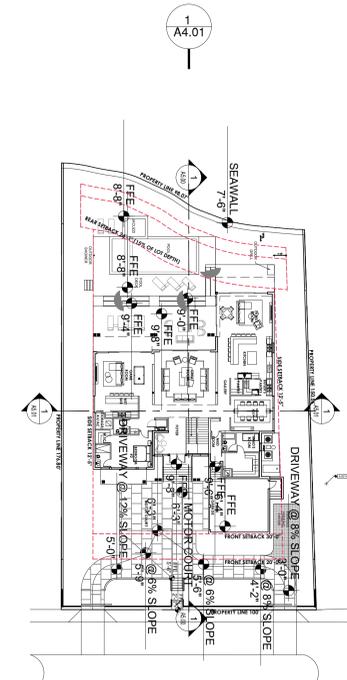
Date: 05-11-2020	Sheet No.
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Project: 2016	

ELEVATION MATERIAL LEGEND



HEIGHT WAIVER LEGEND

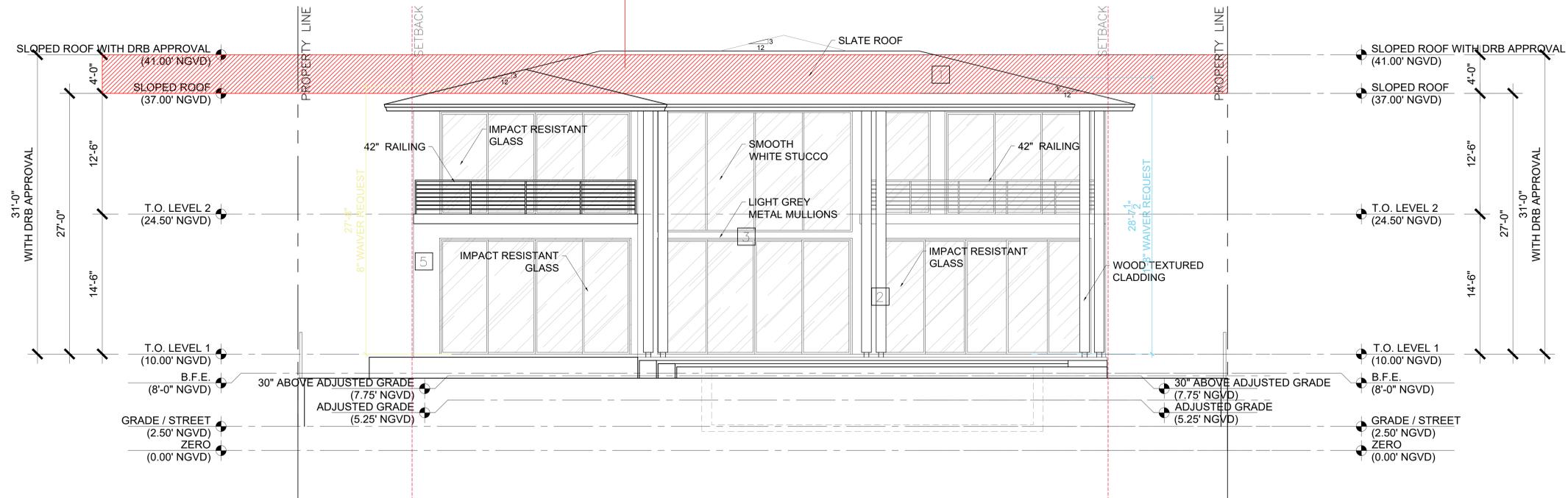
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KEY PLAN

Scale: N.T.S.

WAIVER TO ALLOW 4 FEET OF ADDITIONAL HEIGHT WITH DRB APPROVAL



1 REAR ELEVATION

Scale: 3/16" = 1'-0"

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ELEVATIONS PROPOSED DESIGN

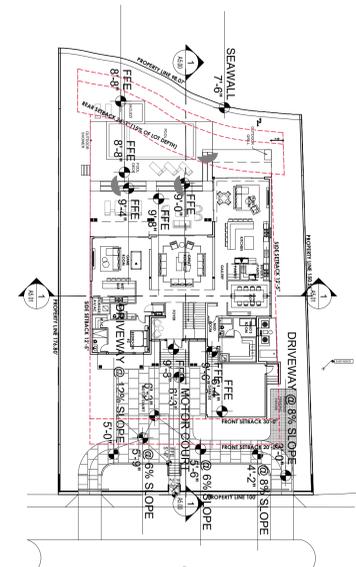
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ELEVATION MATERIAL LEGEND



HEIGHT WAIVER LEGEND

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KEY PLAN

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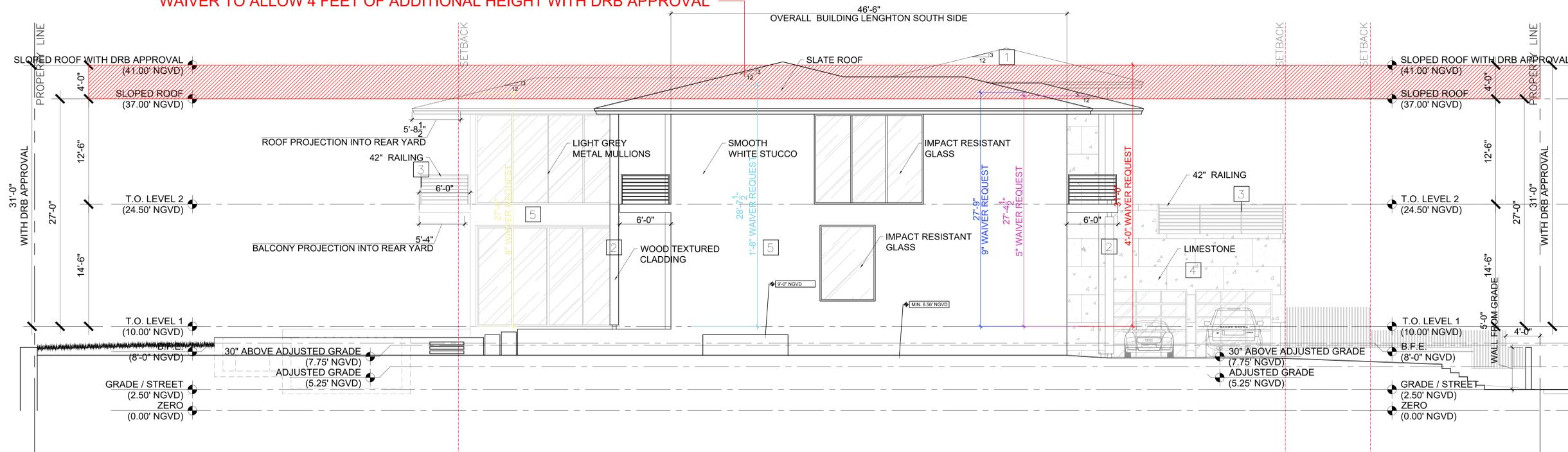
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WAIVER TO ALLOW 4 FEET OF ADDITIONAL HEIGHT WITH DRB APPROVAL



1 SIDE ELEVATION (SOUTH)
Scale: 3/16" = 1'-0"

ELEVATIONS

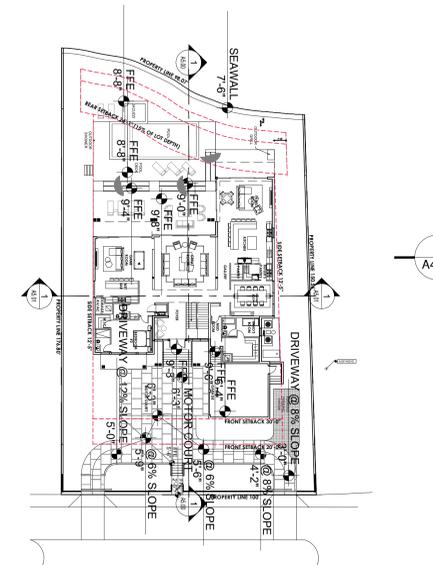
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Project:	2016		

ELEVATION MATERIAL LEGEND



HEIGHT WAIVER LEGEND

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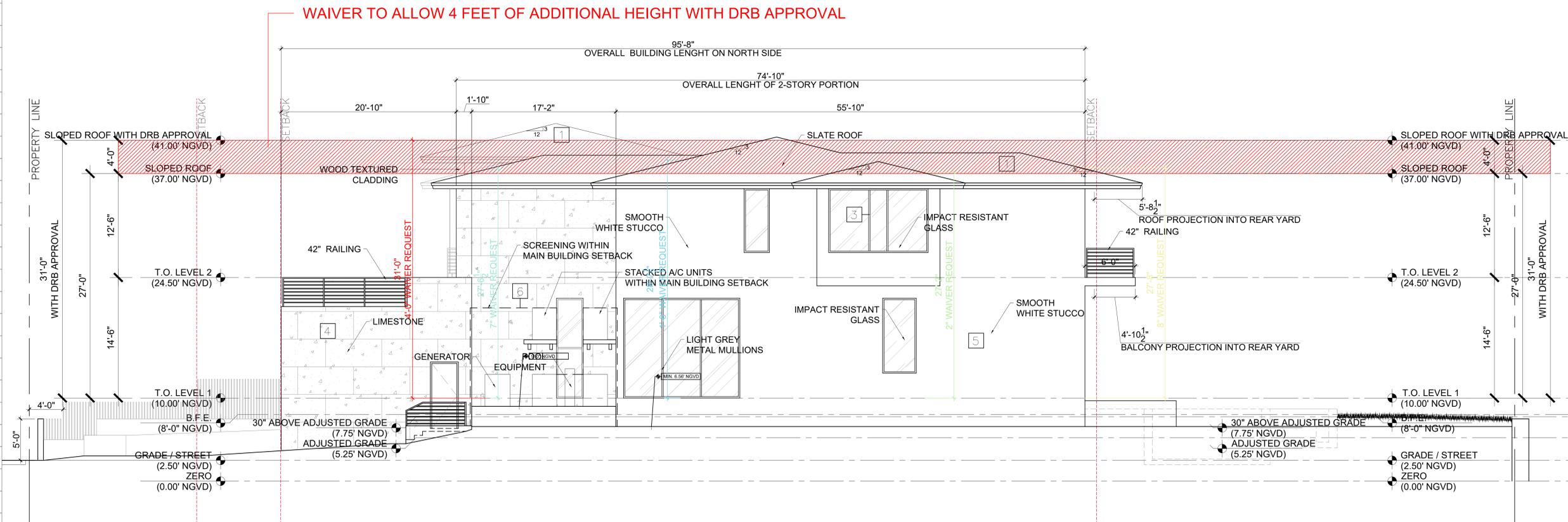
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1 SIDE ELEVATION (NORTH)

Scale: 3/16" = 1'-0"

ELEVATIONS

PROPOSED DESIGN

Date:	05-11-2020	Sheet No.	
Scale:			A4.03
Project:	2016		

ELEVATION MATERIAL LEGEND



1 SLATE ROOF



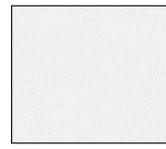
2 WOOD TEXTURED CLADDING



3 LIGHT GREY ANODIZED METAL FINISH



4 LIMESTONE



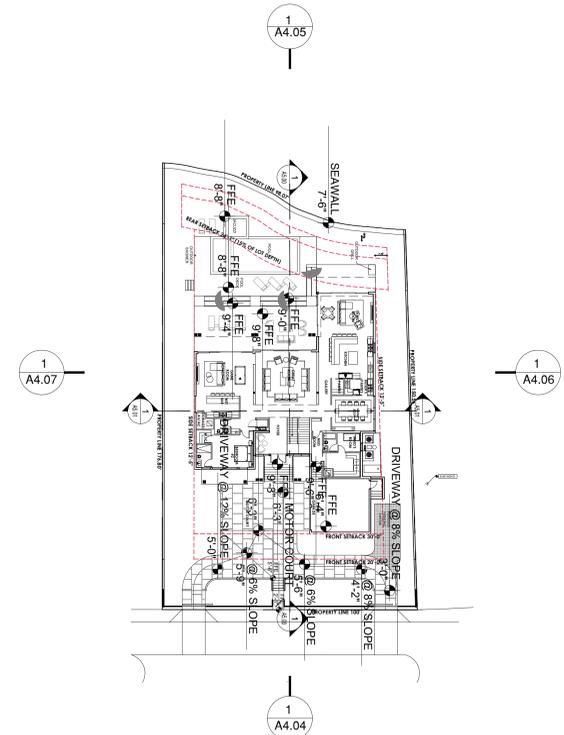
5 WHITE SMOOTH STUCCO



6 SCREENING

HEIGHT WAIVER LEGEND

- 4'-0" HEIGHT WAIVER REQUEST
- 1'-8" HEIGHT WAIVER REQUEST
- 9" HEIGHT WAIVER REQUEST
- 8" HEIGHT WAIVER REQUEST
- 7" HEIGHT WAIVER REQUEST
- 5" HEIGHT WAIVER REQUEST
- 2" HEIGHT WAIVER REQUEST



Rev.	Date	Rev.	Date
DRB FIRST SUBMITTAL	04-20-2020		
DRB FINAL SUBMITTAL	05-11-2020		
DRB SHEETS REVISION	05-20-2020		

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MIAMI, FLORIDA

Owner:
Name:
Address: 4424 N BAY ROAD
Address: MIAMI BEACH
Tel:
Email:

Consultant:
Name:
Address:
Tel:
Email:

Consultant:
Name:
Address:
Tel:
Email:

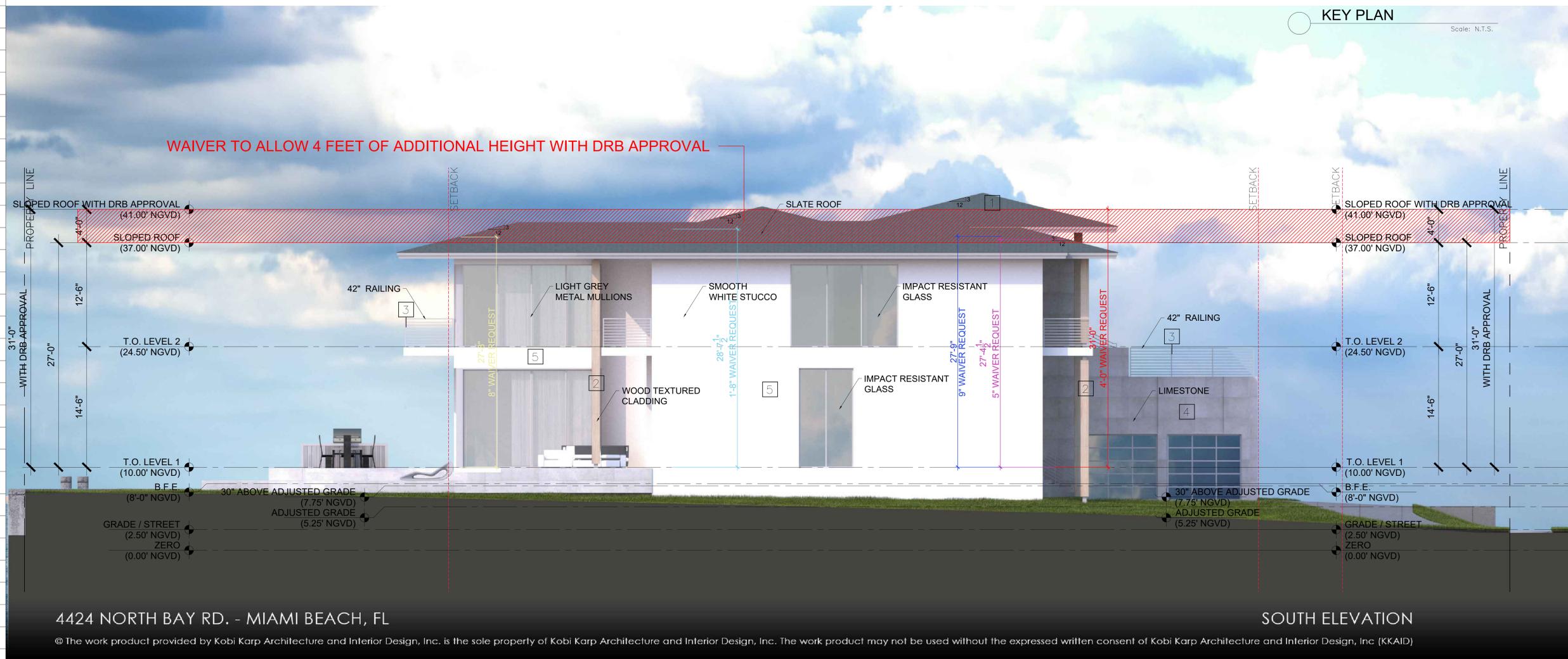
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Architect of Record:
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4424 NORTH BAY RD. - MIAMI BEACH, FL

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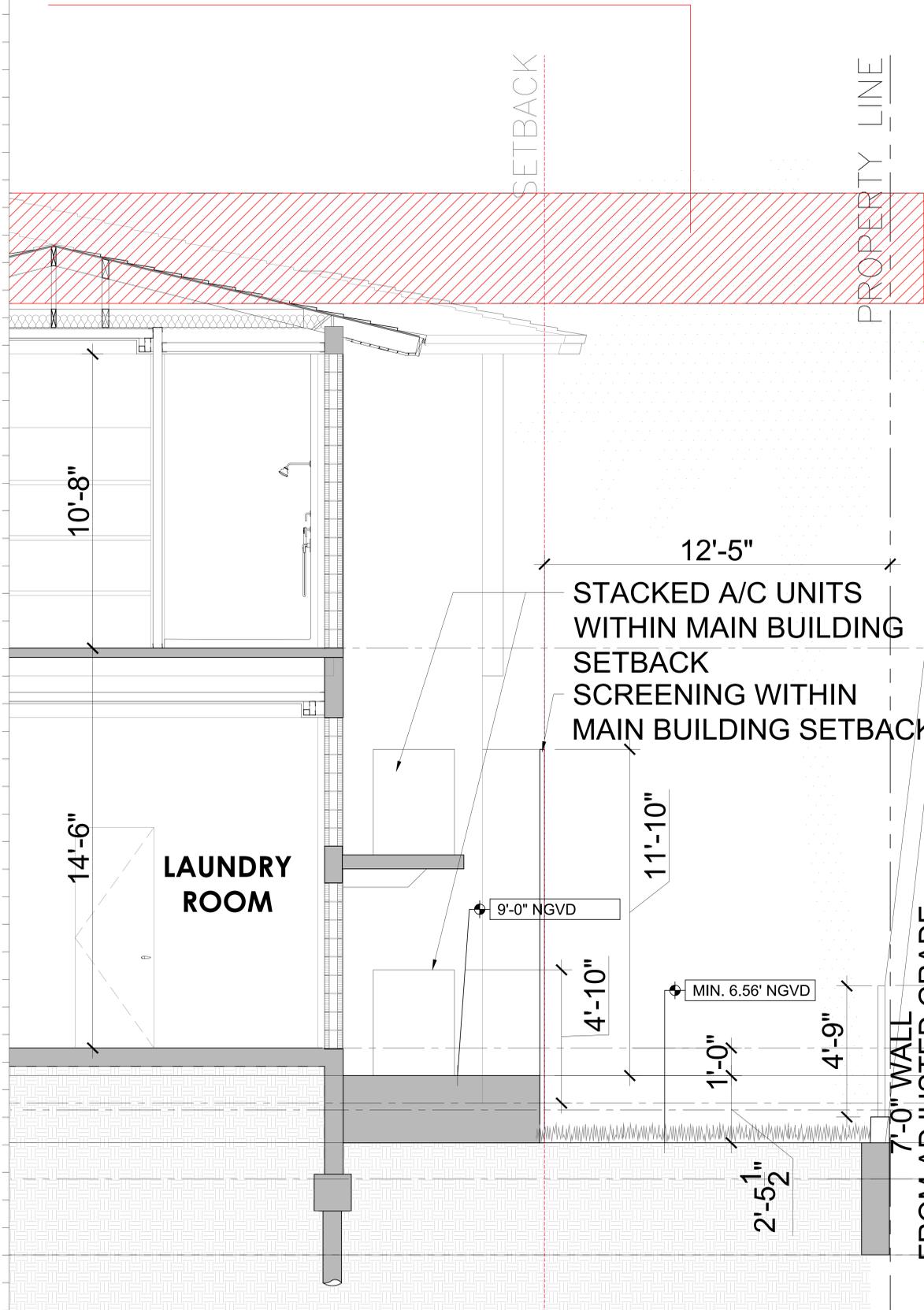
SOUTH ELEVATION

1 RENDERED SOUTH ELEVATION
Scale: 3/16" = 1'-0"

ELEVATIONS
PROPOSED DESIGN

Date:	05-11-2020	Sheet No.	A4.07
Scale:			
Project:	2016		

WAIVER TO ALLOW 4 FEET OF ADDITIONAL HEIGHT WITH DRB APPROVAL



● SLOPED ROOF WITH DRB APPROVAL
(41.00' NGVD)

● SLOPED ROOF
(37.00' NGVD)

PROPOSED 7' TALL METAL FENCE WITH MIN.
3" SPACING AT SIDE PROPERTY LINE
RETAINING WALL AS NECESSARY
WHERE PROPOSED GRADE IS LOWER
THAN NEIGHBOR'S GRADE BY MORE
THAN 8".

● T.O. LEVEL 2
(24.50' NGVD)

● T.O. LEVEL 1
(10.00' NGVD)

● B.F.E.+ 1
(9'-0" NGVD)

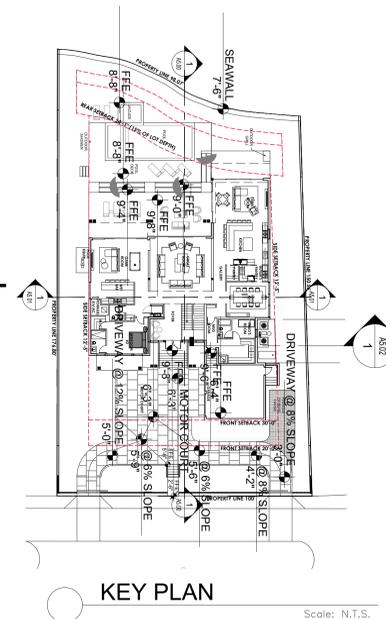
● B.F.E.
(8'-0" NGVD)

● B.F.E.
(6.56' NGVD)

● GRADE
(2.50' NGVD)

● 30" ABOVE ADJUSTED GRADE
(7.75' NGVD)

● ADJUSTED GRADE
(5.25' NGVD)



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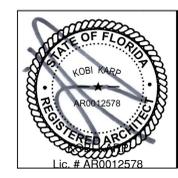
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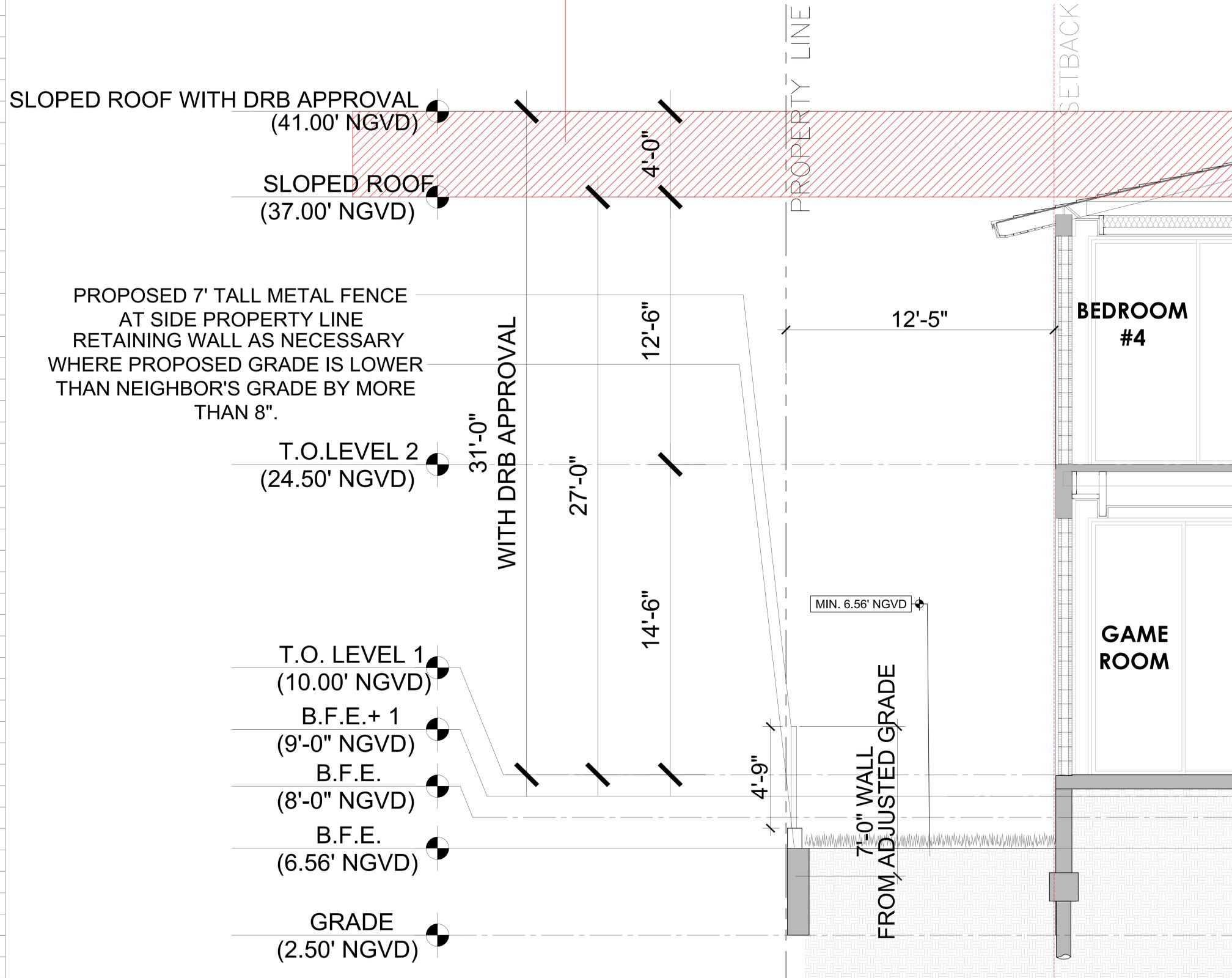


NOTE:
PORTION OF INTERIOR SIDEWALL LOCATED IN REAR YARD IS 5' TALL MEASURED FROM CMB GRADE OF 2.5' NGVD.

1 SECTION
Scale: 1/2" = 1'-0"

SECTIONS		Sheet No.
Date:	05-11-2020	A5.02
Scale:		
Project:	2016	

WAIVER TO ALLOW 4 FEET OF ADDITIONAL HEIGHT WITH DRB APPROVAL



Rev.	Date	Rev.	Date
DRB FIRST SUBMITTAL	04-20-2020		
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DRB SHEETS REVISION	05-20-2020		

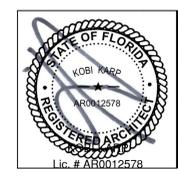
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1 SECTION
Scale: 1/2" = 1'-0"

SECTIONS		Sheet No.
Date:	05-11-2020	A5.03
Scale:		
Project:	2016	

