

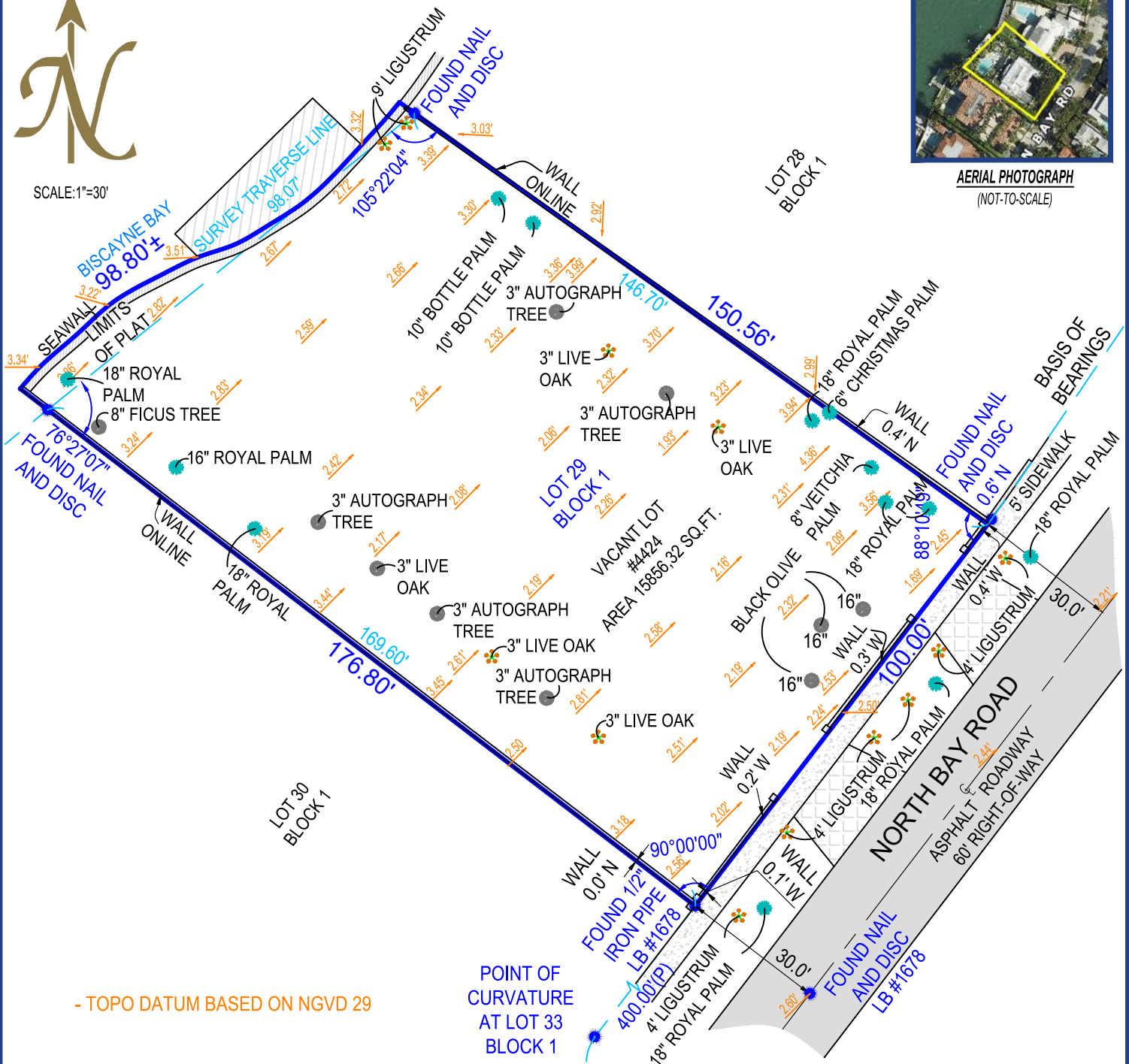
# 4424 NORTH BAY ROAD, MIAMI BEACH, FL. 33140



SCALE: 1"=30'



AERIAL PHOTOGRAPH  
(NOT-TO-SCALE)



- TOPO DATUM BASED ON NGVD 29

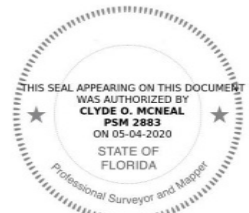
- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

SHEET 1 OF 2 (SKETCH OF SURVEY) - SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION, AND OTHER SURVEY RELATED DATA. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS

The survey map & report or the copies thereof are not valid without the digital signature and seal of a Florida licensed surveyor and mapper

Date of Field Work : 04-27-2020  
 Drawn By: Caitlyn  
 Order #: 75262  
 Last Revision Date: 04-27-2020  
 Boundary Survey prepared by: LB8111  
 NexGen Surveying, LLC  
 5601 Corporate Way, Suite #103  
 West Palm Beach, FL 33407  
 561-508-6272

**NEXGEN**  
 SURVEYING, LLC.



**LEGAL DESCRIPTION OF: 4424 N. BAY ROAD, MIAMI BEACH, FL, 33140**

LOT 29, BLOCK 1, NAUTILUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8,  
PAGE 95, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

**CERTIFIED TO:**

NEIL SAZANT

**FLOOD ZONE:**

12086C0309L

ZONE: AE

ELEV: 7 FT

EFF: 9/11/2009

**SURVEY NOTES:**

- WALLS CROSS THE BOUNDARY LINE ON NORTHERLY AND SOUTHERLY SIDES OF LOT AS SHOWN.
- TOPO DATUM BASED ON NGVD 29

**LEGEND**

A/C	-AIR CONDITIONER
WM	-WATER METER
AL	- ARC LENGTH
(C)	-CALCULATED
(M)	-MEASURED
P.O.B.	-POINT OF BEGINNING
P.O.C.	-POINT OF COMMENCEMENT
&	-AND
P.B.	-PLAT BOOK
PG	-PAGE
U.E.	-UTILITY EASEMENT
D.E.	-DRAINAGE EASEMENT
P.U.E.	- PUBLIC UTILITY EASEMENT
L.A.E.	-LIMITED ACCESS EASEMENT
L.M.E.	-LAKE MAINTENANCE EASEMENT
O.H.E	-OVERHEAD EASEMENT
R	-RADIUS
(R)	-RECORD
O.R.B.	-OFFICIAL RECORDS BOOK
Sq.Ft.	-SQUARE FEET
Ac.	-ACRES
DB	-DEED BOOK
(D)	-DEED
(P)	-PLAT
EOW	-EDGE OF WATER
TOB	-TOP OF BANK
OHL	-OVERHEAD LINE
C/O	-CLEAN OUT
ELEV	-ELEVATION
FF	-FINISHED FLOOR
LS	-LICENSED SURVEYOR
LB	-LICENSED BUSINESS
PSM	-PROFESSIONAL SURVEYOR & MAPPER
— x —	-FENCE
#	-NUMBER
±	-PLUS OR MINUS
■	-ASPHALT
■	-CONCRETE
■	-PAVER/BRINCK
■	-WOOD
☼	-LIGHT POLE
⊙	-WELL
⊗	-WATER VALVE
⊕	-CENTER LINE
■	-CATCH BASIN
⊕	-FIRE HYDRANT
⊕	-UTILITY POLE
⊕	-MANHOLE
xxx	-ELEVATION

SOME ITEMS IN LEGEND MAY NOT  
APPEAR ON DRAWING.

**GENERAL NOTES:**

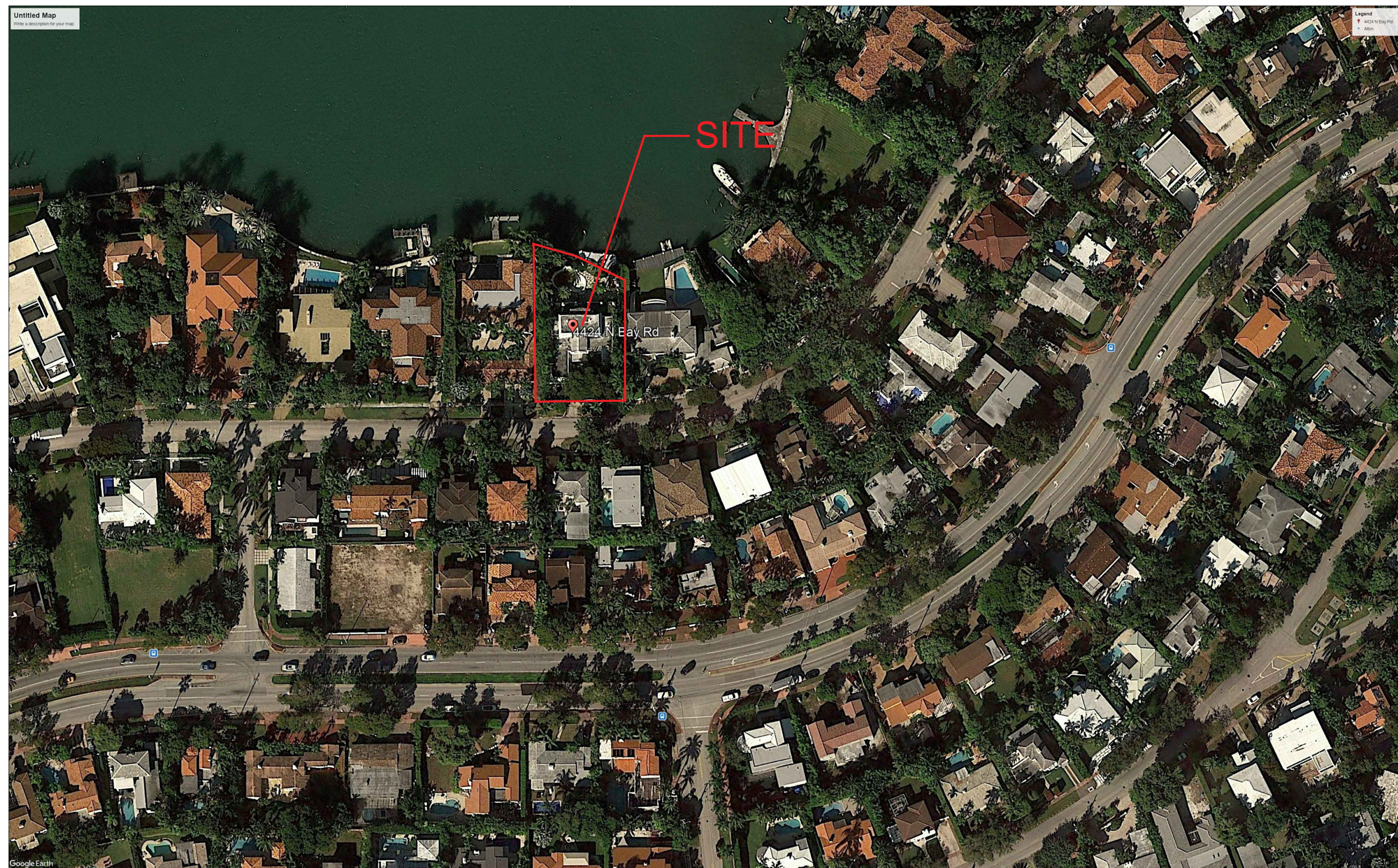
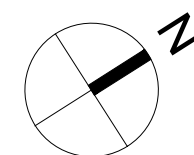
- 1) THIS SURVEY IS BASED UPON RECORD INFORMATION BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
- 2) IF THIS SURVEY HAS BEEN PREPARED FOR THE PURPOSES OF A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO FUTURE CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT FIRST OBTAINING APPROVAL AND/OR UPDATES FROM NEXGEN SURVEYING, LLC. NEXGEN SURVEYING, LLC, ASSUMES NO RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.
- 3) ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.
- 4) GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
- 5) UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
- 6) ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988).
- 7) ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
- 8) CORNERS SHOWN AS "SET" ARE 5/8" IRON RODS IDENTIFIED WITH A PLASTIC CAP MARKED LS (LICENSED SURVEYOR)





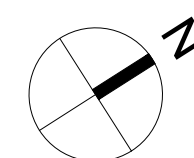
## 1 LOCATION MAP

Scale: N.T.S.



## 2 LOCATION MAP

Scale: N.T.S.

[illegible]

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## CASABLANCA

4424 N. BAY RD.  
MIAMI, FLORIDA

**Owner:**  
Name  
Address 4424 N BAY ROAD  
Address MIAMI BEACH  
Tel:  
Email

**Consultant:**  
Name  
Address  
Address  
Tel:  
Email

**Consultant:**  
Name  
Address  
Address  
Tel:  
Email

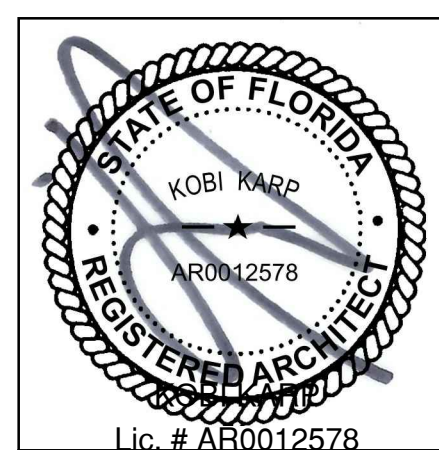
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Name  
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Email

**Consultant:**  
Name  
Address  
Address  
Tel:  
Email

**Architect of Record:**  
Kobi Karp Architecture and Interior Design, Inc.  
2915 Biscayne Boulevard, Suite #200  
Miami, Florida 33137 USA  
Tel: +1(305) 573 1818  
Fax: +1(305) 573 3766



## LOCATION MAP

Date: 05-11-2020	Sheet No.  <b>A0.02</b>
Scale:	
Project: 2016	



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**CASABLANCA**  
4424 N. BAY RD.  
MIAMI, FLORIDA

**Owner:**  
Name  
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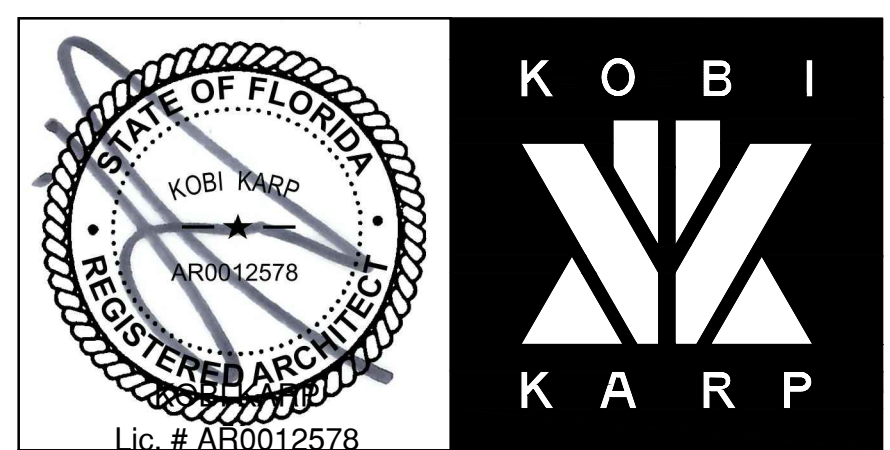
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Fax: +1(305) 573 3766



## CONTEXT IMAGES

Date: 05-11-2020	Sheet No.  <b>A0.03</b>
Scale:	
Project: 2016	



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## CASABLANCA

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MIAMI, FLORIDA

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Name  
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Email

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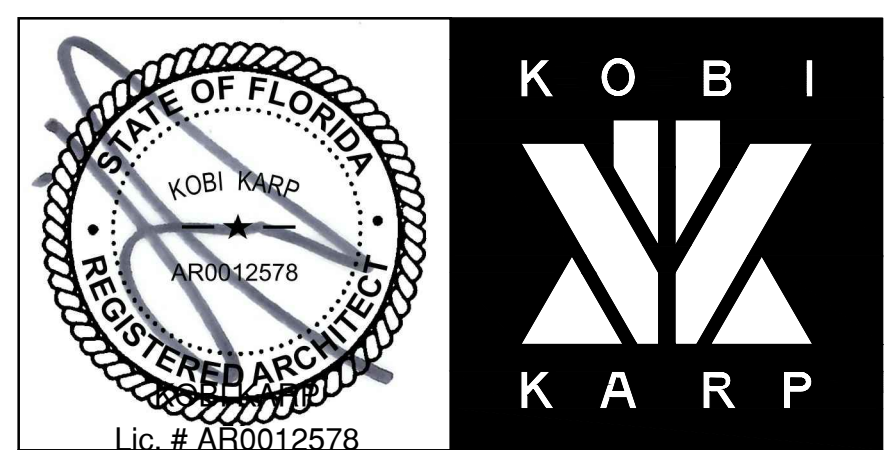
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## CONTEXT IMAGES

Date: 05-11-2020	Sheet No.  <b>A0.04</b>
Scale:	
Project: 2016	



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**Owner:**  
Name  
Address 4424 N BAY ROAD  
Address MIAMI BEACH  
Tel:  
Email

**Consultant:**  
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**Consultant:**  
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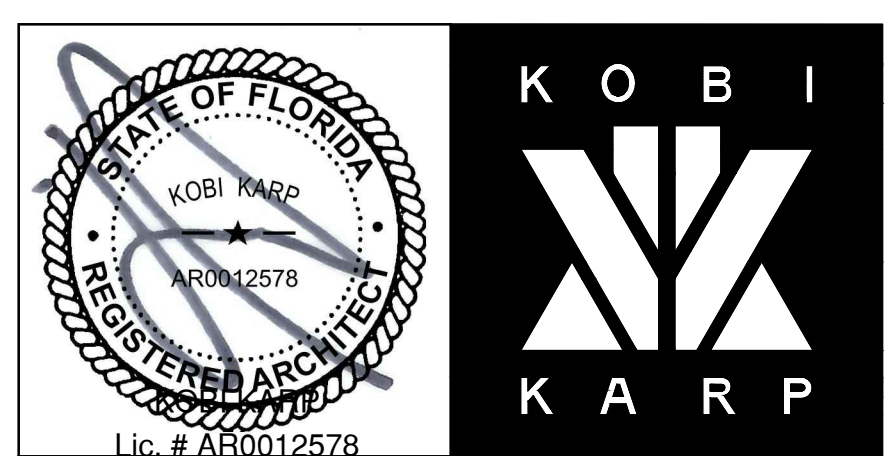
**Consultant:**  
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<h1>CONTEXT IMAGES</h1> <h2>PROPOSED DESIGN</h2>		Sheet No.
Date:	05-11-2020	<h1>A0.05</h1>
Scale:		
Project:	2016	