1. APPLICABLE CODES

- 1.1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARD AND SPECIFICATIONS OF THE CITY OF MIAMI BEACH AND ALL OTHER LOCAL. STATE AND NATIONAL CODES WHERE APPLICABLE EXCEPT WITHIN DEPARTMENT OF TRANSPORTATION (D.O.T.) R/W WHERIN FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T) GOVERNS.
- 1.2. ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS
- 1.3. ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988, (NAVD) UNLESS OTHERWISE NOTED.
- 1.4. THE CITY OF MIAMI BEACH WATER AND SEWER DEPARTMENT WATER AND SEWER SPECIFICATIONS SHALL DICTATE WHEN IN CONFLICT WITH ANY OF THE FOLLOWING SPECIFICATIONS.
- 1.5. ALL MATERIALS AND CONSTRUCTION WITHIN THE D.O.T. R/W SHALL CONFORM TO THE D.O.T. "DESIGN STANDARDS" (2015) AND "STANDARD SPECIFICATIONS" (2015).
- 1.6. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE MAINTENANCE OF TRAFFIC (M.O.T) PLAN PRIOR TO CONSTRUCTION. THE CONSULTANT'S ENGINEER SHALL ENSURE THAT THE M.O.T PLAN FOR THE PROJECT CONFORMS WITH STANDARD INDEX SERIES 600, APPLICABLE INDEX FOR WORK BEING PERFORMED. THE CONTRACTOR SHALL ENSURE THE M.O.T. PLAN IS IMPLEMENTED EXACTLY AS
- PRECONSTRUCTION RESPONSIBILITIES
- 2.5. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.
- 2.6. THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL OF FLORIDA, INC. CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION, CALL 1-800-432-4770.
- 2.7. ALL UTILITY EASEMENTS TO BE SECURED PRIOR TO CONSTRUCTION (IF REQUIRED).
- 2.8. LOCATION OF EXISTING FACILITIES AS SHOWN ON CONSTRUCTION DRAWINGS ARE DRAWN FROM AVAILABLE RECORDS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES SHOWN OR FOR ANY FACILITY NOT SHOWN. THE CONTRACTOR SHALL VERIFY, IF POSSIBLE, THE ELEVATIONS AND LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION. IF AN EXISTING FACILITY IS FOUND TO CONFLICT WITH THE PROPOSED CONSTRUCTION UPON EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD SO THAT APPROPRIATE MEASURES CAN BE TAKEN TO RESOLVE THE PROBLEM.
- 2.9. THE CONTRACTOR MUST CALL THE CITY OF MIAMI BEACH AT LEAST 48 HOURS BEFORE ANY EXCAVATION WITHIN THE R/W TO DETERMINE THE LOCATION TO OF THE EXISTING TRAFFIC SIGNAL INTERCONNECT CABLE.

3. INSPECTIONS

- 3.1. THE CONTRACTOR SHALL NOTIFY THE CITY OF MIAMI BEACH, AND ANY OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION AT LEAST 24 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS, WHERE APPLICABLE:
 - 3.1.1. CLEARING AND FILLING 312 STORM DRAINAGE SYSTEM
 - 3.1.3. SANITARY SEWER SYSTEM 3.1.4. WATER DISTRIBUTION SYSTEM
 - 3.1.5. SUBGRADE 3.1.6. LIMEROCK BASE
 - 3.1.7. ASPHALTIC CONCRETE 3.1.8. SIDEWALK
 - 3.1.9. FINAL

4. SHOP DRAWINGS

4.1. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD AND THE CITY OF MIAMI BEACH FOR THE FOLLOWING: SANITARY MANHOLES, STORM DRAIN ACCESSORIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.

TEMPORARY FACILITIES

5.1. TEMPORARY FACILITIES:

5.1.1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE. SANITARY FACILITIES AND

5.2. TRAFFIC REGULATION:

5/5/20

APPROVED BY

DATE No. | DATE | REVISIONS

- 5.2.1. MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH MANUAL TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- 5.2.2. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- 5.2.3. NO TRENCHES OR HOLES NEAR WALKWAYS. IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS PERMISSION OF THE CITY OF MIAMI BEACH.
- 5.2.4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR ANY NECESSARY CONSTRUCTION, PAVEMENT MARKING AND SIGNAGE OR ANY PEDESTRIAN SIGNALIZATION AND/OR SIGNAL MODIFICATION TO ACCOMMODATE AN ALTERNATE SAFE WALK ROUTE.

6. WATER DISTRIBUTION SYSTEM

6.1. SEPARATION OF WATER AND SEWER MAINS:

- 6.1.1. SANITARY SEWERS, STORM SEWERS, AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS. STORM SEWERS, AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 12" INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE.
- 6.1.2. WHERE SANITARY SEWERS, STORM SEWERS, OR FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 12" INCHES VERTICAL DISTANCE, BOTH THE SEWER AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.
- 6.1.3. ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING).
- 6.1.4. WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN

12" INCHES VERTICAL CLEARANCE, THE NEW PIPE SHALL BE CONSTRUCTED OF DIP, AND THE CROSSING SHALL BE ARRANGED TO MEET THE REQUIREMENTS ABOVE.

- 6.1.5. A MINIMUM 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
- 6.1.6. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED FARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER IS AT LEAST 18 INCHES ABOVE THE TOP
- 6.1.7. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 12" INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR THE FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED
- 6.1.8. CONTRACTOR SHALL MAINTAIN WATER SERVICE TO ALL EXISTING FACILITIES DURING CONSTRUCTION.

6.2. MATERIALS:

- 6.2.1. POLYVINYL CHLORIDE (PVC) PIPE SHALL BE DR 18 ANSI / AWWA C900-97 OR LATEST REVISION.
- 6.2.2. ALL PIPE LARGER THAN 12" DIAMETER MUST BE DUCTILE IRON (MIN. CLASS 50). 8" AND 10" DIP (MIN. CLASS 50) 4" AND 6" DIP (MIN. CLASS 52). ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA C151/A21.51-96 AND CEMENT MORTAR LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-95.
- 6.2.3. FITTINGS SHALL BE DUCTILE IRON MEETING ANSI/AWWA C-153/A21.53-00 SPECIFICATIONS. FITTINGS MUST BE CEMENT LINED AND SEAL COATED PER ANSI/AWWA C104/A21.4-95.
- 6.2.4. VALVES SHALL BE GATE VALVES, IRON BODY, FULLY RESILIENT SEAT BRONZED MOUNTED NON-RISING STEM. RATED AT 200 PSI AND CONFORMING TO ANSI/AWWA C509-94 OR LATEST REVISION, AND SHALL HAVE MECHANICAL JOINTS.
 - 6.2.4.1. GATE VALVES 4" AND LARGER SHALL BE MUELLER A-2380-20, RESILIENT SEATED GATE VALVES SHALL BE AMERICAN 80 LINE OR CLOW F-6100, CONFORMING TO ANSI/AWWA C500-93.
- 6.2.4.2. TAPPING VALVES SHALL BE MUELLER H667 OR APPROVED EQUAL. 6.2.4.3. GATE VALVES 3" OR LESS SHALL HAVE THE SAME REQUIREMENTS AS LARGER GATE VALVES. THEY SHALL BE 2" RSW VALUE WITH 2" OPERATING NUT.
- 6.2.5. TAPPING SLEEVES SHALL BE MUELLER H615, CLOW F-2505 OR APPROVED EQUAL.
- 6.2.6. VALVE BOXES SHALL BE TYLER OR APPROVED EQUAL.
- 6.2.7. RETAINER GLANDS SHALL BE MEGA-LUG AND CONFORM TO ANSI / AWWA C111/A21.11-00 OR LATEST REVISION. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING.
- 6.2.8. NO DRESSER COUPLINGS SHALL BE ALLOWED ON DISTRIBUTION SYSTEM.
- 6.2.9. FIRE HYDRANTS SHALL BE MUELLER CENTURION TRAFFIC TYPE A-42.3 WITH 5 1/4" INTERNAL VALVE OPENING OR APPROVED EQUAL. MAIN VALVE OPENING TO BE DETERMINED BY THE WATER DEPARTMENT. PUMPER NOZZLE TO BE 18" FROM FINISHED GRADE OR CENTERLINE OF ADJACENT ROADWAY WHICHEVER IS GREATER. ALL HYDRANTS TO BE INSTALLED WITH CONTROL VALVE. RETAINER GLANDS ARE PREFERRED FOR RESTRAINING. FIRE HYDRANT SHALL COMPLY WITH ANSI/AWWA C502-94.
- 6.2.10. FIRE HYDRANTS SHALL BE PAINTED YELLOW. (RUSTOLEUM #944 SAFETY YELLOW OR APPROVED EQUAL)

6.3. SERVICE CONNECTION:

- 6.3.1. SERVICE SADDLES SHALL BE STAINLESS STEEL STRAPS, SADDLES SHALL BE DOUBLE STRAP TYPE. ALL SERVICE SADDLES SHALL CONFORM TO ANSI/AWWA C111/A21.11-00 AND ASTM A-588.
- 6.3.2. SERVICE LINES SHALL BE POLYETHYLENE (3408), 250 PSI RATED, SDR9. PIPE JOINTS SHALL BE OF THE COMPRESSION TYPE TOTALLY CONFINED GRIP SEAL AND COUPLING NUT WITH STAINLESS STEEL INSERTS.
- 6.3.3. CORPORATION STOPS SHALL BE MANUFACTURED OF BRASS ALLOY IN ACCORDANCE WITH ASTM B-62 WITH THREADED ENDS, AS MANUFACTURED BY MUELLER H10046 OR APPROVED EQUAL.
- 6.3.4. CURB STOPS SHALL BE MUELLER H10203 OR APPROVED EQUAL.
- 6.3.5. METER STOPS SHALL BE LOCKWING TYPE AND SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM B-62. METER STOPS SHALL BE CLOSED BOTTOM DESIGN AND RESILIENT "O" RING SEALED AGAINST EXTERNAL LEAKAGE AT THE TOP. STOPS SHALL BE EQUIPPED WITH A METER COUPLING NUT ON THE OUTLET SIDES, AS MANUFACTURED BY MUFILER OR APPROVED FOLIAL

6.4. INSTALLATION:

- 6.4.1. ALL PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-BELL PLASTIC PIPE ASSOCIATIONS "GUIDE FOR INSTALLATION OF PVC PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEM."
- 6.4.2. ALL DIP SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C600-99 OR LATEST REVISION.
- 6.4.3. ALL WATER MAINS SHALL BE LAID WITH A MINIMUM 36" COVER FOR PVC
- AND 30" FOR DIP. 6.4.4. NO CONNECTIONS TO EXISTING LINES SHALL BE MADE UNTIL PRESSURE TESTS & BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED AND THE SYSTEM IS ACCEPTABLE TO THE CITY OF MIAMI BEACH AND THE HEALTH
- 6.4.5. PIPE DEFLECTION SHALL NOT EXCEED 75% OF THE MAXIMUM DEFLECTION RECOMMENDED BY THE MANUFACTURER.
- 6.4.6. A CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED. BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS AROUND THE PIPE AS SHOWN ON THE PLANS. STONES FOUND IN THE TRENCH SHALL BE REMOVED FOR A DEPTH OF AT LEAST 6" BELOW THE BOTTOM OF THE PIPE.
- 6.4.7. ALL VALVES SHALL BE INSTALLED WITH ADJUSTABLE CAST IRON VALVE BOXES WITH THE WORD "WATER" CAST IN THE COVER. U.S.F. OR APPROVED EQUAL.
- 6.4.8. ALL FITTINGS TO BE RESTRAINED WITH MEGALUG OR APPROVED EQUAL.
- 6.4.9. LOCATOR TAPE AND WIRE MUST BE INSTALLED 12" ABOVE NEW WATER

MAINS. TAPE WILL BE 3" WIDE AND COLOR CODED. LOCATE WIRE WILL SHALL BE NO.14 STRAND AND COLOR CODED.

6.4.10. R.P.M.'S TO BE INSTALLED, PRIOR TO C/O, AT CENTER OF NEAREST DRIVE AISLE ADJACENT TO ALL HYDRANTS (BLUE) AND GATE VALVES (WHITE). FOR HYDRANTS AT CORNERS (2) TWO R.P.M.'S SHALL BE INSTALLED, ONE AT EACH ROADWAY.

6.5. TESTING:

- 6.5.1. BEFORE ANY PHYSICAL CONNECTIONS TO THE EXISTING WATER MAINS ARE MADE, THE COMPLETE WATER SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED. HYDROSTATIC TESTING OF NEW MAINS SHALL B PERFORMED AT A MINIMUM STARTING PRESSURE OF 150 PSI FOR TWO HOURS IN ACCORDANCE WITH ANSI/AWWA C600-99 OR LATEST REVISION, THE PRESSURE TEST SHALL NOT VARY MORE THAN 5 PSI DURING THE
- 6.5.2. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE CITY OF MIAMI BEACH UTILITIES DEPARTMENT AND THE ENGINEER OF
- 6.5.3. ALL NEW WATER MAINS SHALL BE PIGGED AND CANON FLUSHED PRIOR TO DISINFECTION.
- 6.5.4. BEFORE ACCEPTANCE FOR OPERATION, THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH THE ANSI/AWWA C651-99; 150 PSI MINIMUM STARTING TEST PRESSURE. METER RECONNECTIONS MAY BE MADE TO NEW LINES AFTER TWO CONSECUTIVE DAYS OF BACTERIOLOGICAL SAMPLES HAVE PASSED, AND COPIES OF RESULTS HAVE BEEN RECEIVED BY THE ENGINEER, THE CITY OF MIAMI BEACH,
- 6.5.5. SAMPLING POINTS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS. IF NOT SPECIFIED, SAMPLING POINTS SHALL BE PROVIDED AT INTERVALS OF 1200' MAXIMUM FOR LINES GREATER THAN 2000' IN
- 6.5.6. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA: $L = \frac{[P - 0.2 \text{ S}]^2}{P + 0.8 \text{ S}} \qquad \text{IN WHICH L EQUALS THE ALLOWABLE LEAKAGE IN}$ GALLONS PER HOUR. S EQUALS LENGTH OF PIPE (LINEAR FEET), D EQUALS NOMINAL DIAMETER OF PIPE (INCHES) AND P EQUALS THE SQUARE ROOT OF THE AVE PRESSURE.

7. GRAVITY SEWER COLLECTION SYSTEM

7.1. GENERAL

7.1.1. DISTANCE AND LENGTHS SHOWN ON PLANS ARE REFERENCED TO THE CENTER OF STRUCTURES.

- 7.2. MATERIALS: 7.2.1. ALL SEWER PIPE AND FITTINGS SHALL BE PVC SDR35 PIPE CONFORMING TO ANSI/AWWA STANDARD C900-89, CLASS 150. WITH PUSH-ON RUBBER GASKET JOINTS OR DUCTILE IRON PIPE WITH EPOXY COATING. PROTECTED 401 (MIN.CLASS 52), AS INDICATED ON THE DRAWINGS.
 - 7.2.2. MANHOLES SHALL BE PRECAST PER ASTM C 478 WITH 4.000 PSI CONCRETE AND GRADE 60 STEEL. MONOLITHICALLY POURED BASES ONLY.
 - 7.2.3. MANHOLES ARE TO BE SEALED WITH ANTI-HYDRO CEMENT OR APPROVED EQUAL - NO MOULDING PLASTER.

7.3. INSTALLATION:

- 7.3.1. PVC SEWER PIPE SHALL BE LAID IN ACCORDANCE WITH ASTM D 2321 AND THE UNI-BELL PLASTIC PIPE ASSOCIATION'S "RECOMMENDED PRACTICE FOR THE INSTALLATION OF PVC SEWER PIPE."
- 7.3.2. DUCTILE IRON PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C600-93 OR LATEST REVISION.
- 7.3.3. SAND COLLAR SHALL BE GROUTED IN PLACE AT EACH PIPE CONNECTION INTO A MANHOLE WALL.
- 7.3.4. MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE ON FIRM SUBGRADE PROVIDING UNIFORM BEARING UNDER THE BASE.
- 7.3.5. ALL OPENINGS AND JOINTS SHALL BE SEALED WATERTIGHT
- 7.3.6. THE ENTIRE INSIDE AND OUTSIDE OF THE MANHOLES SHALL BE PAINTED WITH TWO COATS: FIRST COAT RED, SECOND COAT BLACK (8 MILS EACH) OF KOPPERS 300-M BITUMASTIC PAINT OR ENGINEER'S APPROVED
- 7.3.7. EXISTING SEWER SYSTEM MUST REMAIN SEPERATE FROM NEW SEWER SYSTEM WITH A WING-NUT TYPE MECHANICAL PLUG UNTIL CERTIFICATION.

7.4. TESTING:

- 7.4.1. AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENGINEER MAY REQUIRE A VISUAL INFILTRATION AND OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART THEREOF.
- 7.4.2. AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFILTRATION TEST, UPON APPROVAL OF THE ENGINEER. 7.4.3. MANHOLE LEAKAGE TEST SHALL NOT EXCEED FOUR GALLONS PER DAY

ANY SECTION TESTED. NO VISIBLE LEAKAGE SHALL BE ALLOWED.

- PER UNIT. NO VISIBLE LEAKAGE ALLOWED. 7.4.4. SEWER PIPE LEAKAGE ALLOWABLE SHALL NOT EXCEED 150 GALLONS PER DAY PER INCH DIAMETER PER MILE IN A TWO HOUR TEST PERIOD FOR
- SEWAGE FORCEMAIN

8.1. GENERAL:

- 8.1.1. NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL PRESSURE TESTS HAVE BEEN PERFORMED AND THE SYSTEM IS ACCEPTABLE TO THE CITY OF MIAMI BEACH.
- 8.1.2. INITIAL BACK FILL (WITHIN 12" OF PIPE) FOR MAINS SHALL BE SAND WITH NO ROCKS LARGER THAN 3" IN DIAMETER.

8.2. MATERIALS:

- 8.2.1. DUCTILE IRON PIPE (D.I.P.) SHALL BE CLASS 50, CLASS 57 IN PAVED AREAS, EPOXY LINED AND BITUMINOUS COATED OUTSIDE, MANUFACTURED ACCORDANCE WITH ANSI/AWWA C104/A21.4-95 AND C151/A21.51-96 OR LATEST REVISION. THE PIPE SHALL WITHSTAND A WORKING PRESSURE OF 250 PSI. THE JOINTS SHALL BE BELL AND SPIGOT PUSH-ON TYPE.
- 8.2.2. FITTING FOR MAINS 4" AND LARGER SHALL BE D.I.P. MECHANICAL JOINT CONFORMING TO ANSI/AWWA C110/A21.10-98 OR LATEST REVISION, COMPLETE WITH GLANDS, GASKETS, BOLTS AND NUTS.
- 8.2.3. VALVES SHALL BE GATE VALVES (FOR WATER) OR PLUG VALVES (FOR SEWER), IRON BODY, FULLY RESILIENT SEAT BRONZED MOUNTED NON-RISING STEM, RATED AT 200 PSI AND CONFORMING TO ANSI/AWWA C509-94 OR LATEST REVISION, AND SHALL HAVE MECHANICAL JOINTS.
- 8.3. INSTALLATION:

8.3.1. VALVES SHALL BE INSTALLED WITH ADJUSTABLE CAST IRON VALVE BOXES WITH THE WORD "SEWER" CAST IN THE COVER.

STORM DRAINAGE

9.1. GENERAL:

9.1.1. DISTANCES AND LENGTHS SHOWN ON PLANS ARE REFERENCED TO THE CENTER OF STRUCTURES.

9.2.1. HIGH-DENSITY POLYETHYLENE (H.D.P.E.) SHALL MEET THE REQUIREMENTS OF ASTM F2619 / F2619M, LATEST REVISION.

ASTM C-76. LATEST RÈVISION. RUBBER GASKETS OR OTHER

9.2.2. REINFORCED CONCRETE PIPE (R.C.P.) SHALL MEET THE REQUIREMENTS OF

MANUFACTURER SUPPLIED JOINT SEALER SHALL BE USED.

- 9.2.3. CORRUGATED ALUMINUM PIPE (C.A.P.) SHALL BE HELICAL TYPE, CONFORMING TO ASTM B209 AND AASHTO M196, AS MANUFACTURED BY KAISER ALUMINUM, INC., OR APPROVED EQUAL. THE CORRUGATION PATTERN AND GAUGE SHALL BE AS FOLLOWS:
 - CORR<u>UGATION</u> 24" to 27" 2 2/3" x 1/2" 2 2/3" x 1/2" 36" to 54" 60" to 78" 3" x 1"
- 9.2.4. PIPE COUPLINGS FOR C.A.P. SHALL BE 12" WIDE (MINIMUM) 24" FOR 60" DIAMETER OR LARGER. SPLIT BANDS OF THE SAME ALLOY AS THE PIPE MAY BE ONE GAUGE LIGHTER THAN THE PIPE. POLYURETHANE OR OTHER MANUFACTURER SUPPLIED SEALANT SHALL BE USED WITH THE COUPLINGS.
- ASTM B2-09 AND AASHTO M196, AS APPROVED BY KAISER ALUMINUM, INC., OR APPROVED EQUAL. 9.2.6. ALL DRAINAGE CATCH BASINS AND STRUCTURES SHALL BE PRECAST CONCRETE AS MANUFACTURED BY U.S. PRECAST CORPORATION, UNLESS

9.2.5. FIELD JOINTS IN THE PIPE SHALL BE MADE WITH ALUMINUM SPIRAL RIB

PIPE FORMED FROM COILED ALUMINUM SHEETS AND SHALL CONFORM TO

OTHERWISE NOTED ON THE PLANS. BLOCK CATCH BASINS WILL BE

ALLOWED ONLY WITH APPROVAL OF THE ENGINEER. 9.3. INSTALLATION:

- 9.3.1. PIPE SHALL BE PLACED ON A MINIMUM OF 8" STABLE GRANULAR MATERIAL FREE OF ROCK FORMATION AND OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO A UNIFORM GRADE AND LINE.
- 9.3.2. BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL, WELL TAMPED TO A HEIGHT OF 12 INCHES ABOVE PIPE AS SHOWN ON THE PLANS. TAMPING TO BE DONE IN LAYERS NOT TO EXCEED 12 INCHES.
- 9.3.3. PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
- 9.3.4. THE CONTRACTOR SHALL NOTIFY THE CITY OF MIAMI BEACH ENGINEERING DIVISION AT LEAST 7 DAYS PRIOR TO THE START OF THE

10. PAVING AND SIDEWALKS

CONSTRUCTION AND INSPECTION.

- 10.1.1. ALL MUCK AND YIELDING MATERIAL WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED AND REPLACED WITH CLEAN FILL MATERIAL WHICH SHALL BE COMPACTED AND SHAPED TO CONFORM TO THE REQUIRED SECTION. COMPACTED AREAS, AS SHOWN ON THE PLANS AND OR AS DETERMINED BY THE ENGINEER, SHALL BE COMPACTED TO NOT LESS THAN 98% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE. AS DETERMINED BY AASHTO T-180, LATEST REVISION. AREAS TO BE STABILIZED, AS DETERMINED BY THE ENGINEER, SHALL HAVE A MINIMUM LBR-40.
- 10.1.2. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
- 1013 ALL FXISTING PAVEMENT. CUT OR DAMAGED BY CONSTRUCTION, SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
- 10.1.4. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.

10.2. MATERIALS:

- 10.2.1. BASE COURSE SHALL BE CRUSHED LIMEROCK WITH A MINIMUM OF 70%
- CARBONATES OF CALCIUM AND MAGNESIUM. 10.2.2. ASPHALT SURFACES SHALL BE TYPE S-III ASPHALTIC CONCRETE, UNLESS OTHERWISE SPECIFIED ON THE PLANS, TWO (2) SHALL BE A MINIMUM OF 1-1/2" THICK, A AND SHALL BE APPLIED IN (2) 3/4" LIFTS.
- 10.2.3. MINIMUM SIDEWALK CONSTRUCTION SHALL BE 4 INCH THICK CONCRETE, MINIMUM 3000psi COMPRESSIVE STRENGTH AT 28 DAYS. SAWCUT CONSTRUCTION JOINTS 5 FOOT O.C. WITHIN 48 HOURS OF PLACING. EXPANSION JOINTS SHALL BE 20 FOOT O.C.
- 10.2.4. CURBS AND GUTTERS: CONCRETE 3000psi COMPRESSIVE STRENGTH AT 28 DAYS, SAWCUT CONSTRUCTION JOINTS 10 FOOT O.C. WITHIN 48 HOURS OF PLACING.
- 10.2.5. REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH A 6" x 6" NO. 10 GAUGE WIRE MESH.

10.3. INSTALLATION:

- 10.3.1. SUBGRADE FOR PAVEMENT AREAS SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DENSITY (AASHTO T-99(c)), AND SHALL HAVE
- 10.3.2. BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE AS SHOWN ON PLANS FOR VARIOUS LOCATIONS.
- 10.3.3. BASE COURSE MATERIAL FOR CURBS AND GUTTERS SHALL BE A MINIMUM THICKNESS OF 6 INCH. 10.3.4. BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY

AS PER AASHTO T-180 AND SHALL HAVE A MINIMUM LBR OF 100.

10.3.5. INSTALLATION OF THE WEARING SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR TYPE S-3 ASPHALTIC CONCRETE.

10.4. TESTING:

- 10.4.1. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
- 10.4.2. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY
- 10.4.3. ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR.

- 10.4.4. DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND APPROVED BEFORE ANY LIMEROCK BASE IS CONSTRUCTED.
- 10.4.5. DENSITY TESTS AND AS-BUILTS ON THE FINISHED LIMEROCK BASE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD, AND APPROVED BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.

11. PROJECT CLOSEOUT

11.1. CLEANING UP:

- 11.1.1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEAN-UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEPT BROOM
- 11.1.2. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, OR EMPLOYEES, TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. TO THAT END, THE CONTRACTOR SHALL DO, AS REQUIRED, ALL NECESSARY HIGHWAY, DRIVEWAY, WALK AND LANDSCAPING WORK. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.
- 11.1.3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR HAS BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
- 11.2. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S
- 11.3. ALL UNPAVED SURFACES DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

12. ENGINEER'S AS-BUILT REQUIREMENTS

12.1. AS-BUILTS OF WATER LINES SHALL INCLUDE THE FOLLOWING INFORMATION: 12.1.1. TOP OF PIPE ELEVATIONS EVERY 100 LF.

- 12.1.2. LOCATIONS AND ELEVATIONS OF ALL FITTINGS INCLUDING BENDS, TEES, GATE VALVES, DOUBLE DETECTOR CHECK VALVES, FIRE HYDRANTS, ETC.
- 12.1.3. ALL TIE INS TO EXISTING LINES SHALL BE AS-BUILT. 12.1.4. THE ENDS OF ALL WATER SERVICES AT THE BUILDINGS OR HOMES SHALL
- BE AS-BUILT OR WHERE THE WATER SERVICE TERMINATES. 12.2. AS-BUILTS OF ALL GRAVITY SANITARY SEWER LINES SHALL INCLUDE THE FOLLOWING INFORMATION:
- 12.2.1. RIMS, INVERTS AND LENGTH OF PIPING BETWEEN STRUCTURES AS WELL 12.2.2. THE STUB ENDS OF ALL SEWER LATERALS SHALL BE LOCATED AND IF
- THERE ARE ANY CLEANOUTS INSTALLED ON THE SEWER LATERALS THEN THE INVERT ELEVATION OF THESE CLEANOUTS SHALL BE OBTAINED. 12.2.3. LIFT STATION AS-BUILTS SHALL CONSIST OF TOP OF WET WELL
- ELEVATION. INVERT ELEVATION OF THE INCOMING LINE, BOTTOM OF THE WET WELL AND AS-BUILTS OF THE COMPOUND AREA. 12.3. AS-BUILTS OF ALL DRAINAGE LINES SHALL INCLUDE THE FOLLOWING

ELEVATIONS IF APPLICABLE.

- INFORMATION: 12.3.1. RIMS, INVERTS AND LENGTH OF PIPING BETWEEN STRUCTURES AND WEIR
- 12.3.2. THE SIZE OF THE PIPING SHALL BE VERIFIED BY THE SURVEY CREW AT THE TIME OF AS-BUILT.

12.3.3. DRAINAGE WELL STRUCTURE AS-BUILTS SHALL INCLUDE, BUT NOT BE

- OF THE BAFFLE WALLS, RIM ELEVATIONS AND INVERTS OF PIPING.
- 12.4. ALL ROCK AS-BUILTS FOR PARKING LOT AREAS SHALL CONSIST OF THE

12.4.1. ROCK ELEVATIONS AT ALL HIGH AND LOW POINTS, AND AT ENOUGH

- INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY. 12.4.2. ROCK AS-BUILTS SHALL BE TAKEN AT ALL LOCATIONS WHERE THERE IS
- A FINISH GRADE ELEVATION SHOWN ON THE DESIGN PLANS. 12.4.3. ALL CATCH BASIN AND MANHOLE RIM ELEVATIONS SHALL BE SHOWN.
- 12.4.4. ELEVATIONS AROUND ISLAND AREAS WILL ALSO BE REQUIRED. 12.4.5. WHERE CONCRETE IS TO BE USED AS A FINISHED PRODUCT FOR THE ROADWAY OR PARKING LOT ROCK AS-BUILTS WILL BE REQUIRED AS INDICTED ABOVE AS WELL AS AS-BUILTS ON THE FINISHED CONCRETE AT LOCATIONS WHERE THERE IS A FINISH GRADE ELEVATION SHOWN ON THE DESIGN PLANS. F AS-BUILTS SHALL BE TAKEN ON ALL PAVED AND UNPAYED SWALES, PRIOR TO PLACEMENT OF ASPHALT OR TOPSOIL/SOD.

AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY

- AND CONFORMANCE TO THE PLAN DETAILS. 12.5. RETENTION AREA AS-BUILT ELEVATIONS SHALL BE TAKEN AT THE BOTTOM OF THE RETENTION AREA AND AT THE TOP OF BANK. IF THERE ARE CONTOURS INDICATED ON THE DESIGN PLANS, THEN THEY SHALL BE AS-BUILTED AS WELL.
- 12.6. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PREPARE RECORD DRAWINGS, "AS-BUILTS", ON FULL SIZE, 24" X 36" REPRODUCIBLE MATERIAL. WHERE WATER AND SEWER INFORMATION ARE ON THE SAME PAGE THE WATER LINE SHALL BE AS-BUILT BY STATION AND OFFSET UTILIZING THE SANITARY SEWER SYSTEM AS THE BASE LINE. IF IT IS NOT PRACTICAL TO UTILIZE THE SEWER SYSTEM AS A BASE LINE THEN THE SURVEYOR SHALL CONTACT THE ENGINEER OF RECORD SO THAT A SUBSTITUTE BASELINE MAY BE CHOSEN. ALL RECORD DRAWING, "AS-BUILT", INFORMATION SHALL BE PUT ON THE LATEST ENGINEERING DRAWINGS. ONE (1) SET OF REPRODUCIBLE RECORD DRAWINGS, "AS-BUILTS", SHALL BE SUBMITTED ALONG WITH EIGHT (8) SETS OF BLUE OR BLACKLINE DRAWINGS. THESE DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL LAND SURVEYOR. ADDITIONALLY, AN ELECTRONIC COPY OF THESE RECORD DRAWINGS, "AS-BUILTS", SHALL BE SUBMITTED TO THE ENGINEER OF RECORD IN AUTOCAD, VERSION 2014.

DESIGNED BY DATE 5/5/20 DRAWN BY 5/5/20 CHECKED BY 5/5/20

PRIVATE RESIDENCE 28 WEST DI LIDO DRIVE

MIAMI BEACH, FL



3325 S. UNIVERSITY DRIVE, SUITE 111 DAVIE, FLORIDA 33328 (954)318-0624 (954)358-0190 FAX CERTIFICATE OF AUTHORIZATION No. 9808

ROBERT J. ROSS, P.E. FLORIDA P.E. No. 59485 DATE:5/5/2020

GENERAL NOTES AND SPECIFICATIONS

SCALF: SHEET No. C1.1

CALCULATIONS OF MINIMUM AND MAXIMUM YARDS AS PROVIDED BY THE CITY OF MIAMI BEACH (ELEVATIONS BELOW ARE IN NGVD)

	nd Maximum Yards		
PROPERTY CONDITIONS			
PROPERTY CONDITIONS	Waterfront Lot (Yes/No)		YES
	Corner property (Yes/No		NO
	Sidewalk (yes/no)	1	YES
	Sidewalk elevation at the	e centerline	
	of the front of the proper		6.30
	Crown of road at center of	of property	
	(if no sidwalk exists or is	proposed)	0.00
	Flood Elevation		9.00
	Freeboard (provided)		5.00
INTERIOR SIDEYARD COND	ITIONS		
Inidcate yes only for the			
condition that applies			Max. Yard Elevation
os.iai.ioii tiiat appiies	Default Condion unless o	ne of the helow applies	Ivida. Taru Lievation
Yes	Maximum Ya		8.80
103	Is the average grade of a		3.00
		or greater than adjusted grade?	10.15
	Is the abutting property v		10.15
	, ,	t between abutting properties,	
	for a higher elevation, no	et to exceed flood elevation?	9.00
Inidcate yes only for the condition that applies	Default Condion unless o	ne of the below applies	Max. Yard Elevation
Inidcate yes only for the	Default Condion unless o Maximum Ya	ne of the below applies rd Elevation	Max. Yard Elevation
Inidcate yes only for the condition that applies	Default Condion unless o Maximum Ya Is the average grade of a	ne of the below applies rd Elevation djacent lot along the	Max. Yard Elevation
Inidcate yes only for the condition that applies	Default Condion unless o Maximum Ya Is the average grade of a	ne of the below applies rd Elevation	Max. Yard Elevation
Inidcate yes only for the condition that applies	Default Condion unless o Maximum Ya Is the average grade of a	ne of the below applies rd Elevation djacent lot along the or greater than adjusted grade?	Max. Yard Elevation 8.80
Inidcate yes only for the condition that applies	Default Condion unless o Maximum Ya Is the average grade of a abutting side yard equal Is the abutting property v	ne of the below applies rd Elevation djacent lot along the or greater than adjusted grade?	Max. Yard Elevation 8.80 10.15
REAR YARD CONDITIONS Inidcate yes only for the condition that applies Yes	Default Condion unless o Maximum Yal Is the average grade of ac abutting side yard equal Is the abutting property v	ne of the below applies rd Elevation djacent lot along the or greater than adjusted grade? vacant?	9.000 Max. Yard Elevation 8.800 10.150 9.000
Inidcate yes only for the condition that applies	Default Condion unless o Maximum Yal Is the average grade of ac abutting side yard equal Is the abutting property v	ne of the below applies rd Elevation djacent lot along the or greater than adjusted grade? vacant? t between abutting properties,	Max. Yard Elevation 8.80 10.15
Inidcate yes only for the condition that applies Yes	Default Condion unless o Maximum Yal Is the average grade of ac abutting side yard equal Is the abutting property v	ne of the below applies rd Elevation djacent lot along the or greater than adjusted grade? vacant? t between abutting properties,	Max. Yard Elevation 8.80 10.15
Inidcate yes only for the condition that applies Yes RESULTS	Default Condion unless of Maximum Yalls the average grade of adaptiting side yard equal list he abutting property value of their a joint agreement for a higher elevation, no	ne of the below applies rd Elevation djacent lot along the or greater than adjusted grade? vacant? t between abutting properties, of to exceed flood elevation?	Max. Yard Elevation 8.80 10.15
Inidcate yes only for the condition that applies Yes RESULTS Grade	Default Condion unless of Maximum Yalls the average grade of acabutting side yard equal list he abutting property will be their a joint agreement for a higher elevation, not 6.3	ne of the below applies rd Elevation djacent lot along the or greater than adjusted grade? vacant? t between abutting properties, ot to exceed flood elevation? Front Yard	Max. Yard Elevation 8.80 10.15 9.00
Inidcate yes only for the condition that applies Yes RESULTS Grade Adjusted Grade	Default Condion unless of Maximum Yalls the average grade of a abutting side yard equal of the abutting property of their a joint agreement for a higher elevation, not for a higher elevation of the form of the	rne of the below applies rd Elevation djacent lot along the or greater than adjusted grade? vacant? t between abutting properties, ot to exceed flood elevation? Front Yard Min Yard Elevation	Max. Yard Elevation 8.80 10.15 10.15 9.00
Inidcate yes only for the condition that applies Yes RESULTS Grade Adjusted Grade 30" above Grade	Default Condion unless of Maximum Yalls the average grade of adaptiting side yard equal abutting side yard equal also the abutting property of the side is their a joint agreement for a higher elevation, not for a higher elevation and for	re of the below applies rd Elevation djacent lot along the or greater than adjusted grade? vacant? t between abutting properties, of to exceed flood elevation? Front Yard Min Yard Elevation Max Yard Elevation	Max. Yard Elevation 8.80 10.15 9.00
Inidcate yes only for the condition that applies Yes RESULTS Grade Adjusted Grade 30" above Grade Future Crown of Road	Default Condion unless of Maximum Yalls the average grade of acabutting side yard equal as the abutting property of the state of the st	rine of the below applies rd Elevation djacent lot along the or greater than adjusted grade? vacant? t between abutting properties, of to exceed flood elevation? Front Yard Min Yard Elevation Max Yard Elevation Interior Side	Max. Yard Elevation 8.80 10.15 10.15 9.00 6.560 8.800
Inidcate yes only for the condition that applies Yes RESULTS Grade Adjusted Grade 30" above Grade Future Crown of Road Future Adjusted Grade	Default Condion unless of Maximum Yalls the average grade of acabutting side yard equal of the street of the stree	re of the below applies rd Elevation djacent lot along the or greater than adjusted grade? vacant? t between abutting properties, of to exceed flood elevation? Front Yard Min Yard Elevation Interior Side Min Yard Elevation	Max. Yard Elevation 8.80 10.15 10.15 9.00 6.560 8.800 6.560
Inidcate yes only for the condition that applies Yes RESULTS Grade Adjusted Grade 30" above Grade Future Crown of Road Future Adjusted Grade Minimum Freeboard Elev.	Default Condion unless of Maximum Yalls the average grade of adabutting side yard equal of the street of the stree	re of the below applies rd Elevation djacent lot along the or greater than adjusted grade? vacant? t between abutting properties, of to exceed flood elevation? Front Yard Min Yard Elevation Max Yard Elevation	Max. Yard Elevation 8.80 10.15 10.15 9.00 6.560 8.800
Inidcate yes only for the condition that applies Yes RESULTS Grade Adjusted Grade 30" above Grade Future Crown of Road Future Adjusted Grade Minimum Freeboard Elev. Maximum Freeboard Elev.	Default Condion unless of Maximum Yalls the average grade of adabutting side yard equal of the street of the stree	rine of the below applies rd Elevation djacent lot along the or greater than adjusted grade? vacant? t between abutting properties, of to exceed flood elevation? Front Yard Min Yard Elevation Max Yard Elevation Interior Side	Max. Yard Elevation 8.80 10.15 10.15 9.00 6.560 8.800 6.560 8.800
Inidcate yes only for the condition that applies Yes RESULTS Grade Adjusted Grade 30" above Grade Future Crown of Road Future Adjusted Grade Minimum Freeboard Elev. Maximum Freeboard Elev. Minimum Yard Elevation	Default Condion unless of Maximum Yalls the average grade of acabutting side yard equal of the street of the stree	re of the below applies rd Elevation djacent lot along the or greater than adjusted grade? vacant? t between abutting properties, of to exceed flood elevation? Front Yard Min Yard Elevation Max Yard Elevation Max Yard Elevation Max Yard Elevation Max Yard Elevation Interior Side Min Yard Elevation Interior Side Min Yard Elevation	Max. Yard Elevation 8.80 10.15 10.15 9.00 6.560 8.800 6.560 8.800
Inidcate yes only for the condition that applies Yes RESULTS Grade Adjusted Grade 30" above Grade Future Crown of Road Future Adjusted Grade Minimum Freeboard Elev. Maximum Freeboard Elev. Minimum Yard Elevation Min. Garage elevation (for a	Default Condion unless of Maximum Yalls the average grade of adabutting side yard equal of the street of the stree	re of the below applies red Elevation djacent lot along the or greater than adjusted grade? vacant? t between abutting properties, of to exceed flood elevation? Front Yard Min Yard Elevation Max Yard Elevation Max Yard Elevation Max Yard Elevation Interior Side Min Yard Elevation Interior Side Min Yard Elevation Max Yard Elevation	Max. Yard Elevation 8.80 10.15 9.00 6.560 8.800 6.560 8.800
Inidcate yes only for the condition that applies Yes RESULTS Grade Adjusted Grade 30" above Grade Future Crown of Road Future Adjusted Grade Minimum Freeboard Elev. Maximum Freeboard Elev. Minimum Yard Elevation Min. Garage elevation (for a detached or attached garage)	Default Condion unless of Maximum Yalls the average grade of acabutting side yard equal of the street of the stree	re of the below applies rd Elevation djacent lot along the or greater than adjusted grade? vacant? t between abutting properties, of to exceed flood elevation? Front Yard Min Yard Elevation Max Yard Elevation Max Yard Elevation Max Yard Elevation Interior Side Min Yard Elevation Interior Side Min Yard Elevation Max Yard Elevation	Max. Yard Elevation 8.80 10.15 10.15 9.00 6.560 8.800 6.560 8.800
Inidcate yes only for the condition that applies Yes RESULTS Grade Adjusted Grade 30" above Grade Future Crown of Road Future Adjusted Grade Minimum Freeboard Elev. Maximum Freeboard Elev. Minimum Yard Elevation	Default Condion unless of Maximum Yalls the average grade of adabutting side yard equal of the street of the stree	re of the below applies red Elevation djacent lot along the or greater than adjusted grade? vacant? t between abutting properties, of to exceed flood elevation? Front Yard Min Yard Elevation Max Yard Elevation Max Yard Elevation Max Yard Elevation Interior Side Min Yard Elevation Interior Side Min Yard Elevation Max Yard Elevation	Max. Yard Elevation 8.800 10.150 9.000 6.560 8.800 6.560 8.800 6.560

	Waterfront Minimum Yard Elevation: Maximum Yard Elevation:	6.560 14.000	
.560			.560
erior Side Yard Minimum Yard Elevation: 6.560 Maximum Yard Elevation:8.800			erior Side Minimum Yard Elevation: 6.560 Maximum Yard Elevation:8.800
Interior Side Yard Minimum Yard E Maximum Yard			Interior Side Minimum Maximum
	Front Yard		
	Minimum Yard Elevation:	6.560	
	Maximum Yard Elevation:	8.800	

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PRIVATE RESIDENCE
28 WEST DI LIDO DRIVE

MIAMI BEACH, FL

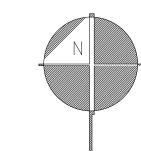


3325 S. UNIVERSITY DRIVE, SUITE 111
DAVIE, FLORIDA 33328
(954)318-0624 (954)358-0190 FAX
CERTIFICATE OF AUTHORIZATION No. 9808

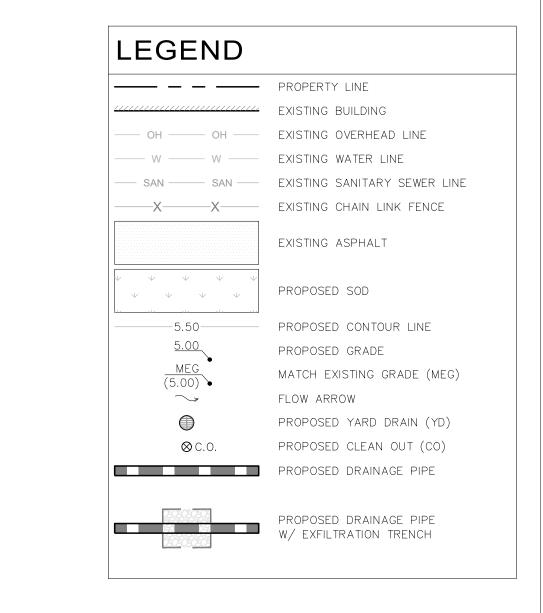
ROBERT J. ROSS, P.E. FLORIDA P.E. No. 59485 DATE:5/5/2020

GRADE TABULATIONS AS PROVIDED BY THE CITY OF MIAMI BEACH

SCALE: SHEET No. C1.2







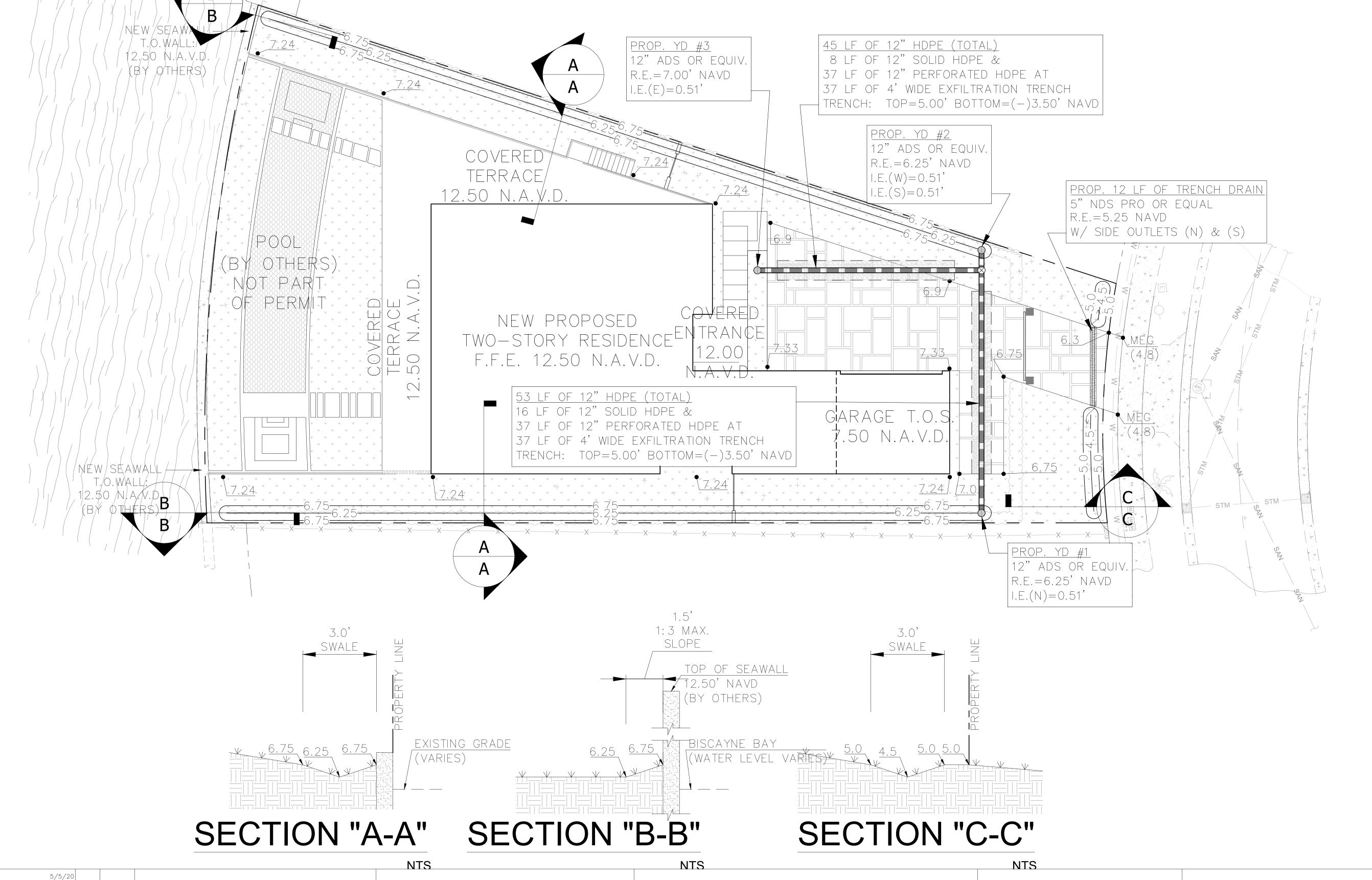
CITY OF MIAMI BEACH NOTES:

1. ADEQUATE DRAINAGE SHALL BE PROVIDED, AND SURFACE RUN-OFF WATER SHALL BE DIVERTED TO A STORM CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION IN ACCORDANCE WITH FLORIDA BUILDING CODE AND CITY OF MIAMI BEACH CODE ORDINANCES. ALL SITE DRAINAGE IS DESIGNED AND SHALL BE CONSTRUCTED IN SUCH A MANNER THAT RUN-OFF RATES, VOLUME AND POLLUTANT LOADS NOT EXCEEDING PREDEVELOPMENT CONDITIONS AND PREVENTING FLOODING OF ADJACENT PROPERTIES AND PUBLIC RIGHT-OF WAY.

NOTES:

- 1. EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE LOCATIONS AND HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2. CONTRACTOR TO FIELD VERIFY ANY CONFLICTS WITH TREES AND/OR UTILITIES AND DRAINAGE. CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS BEFORE PROCEEDING WITH ANY SOLUTION TO THE CONFLICT.
- 3. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES AND UTILITIES, ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NOT EXPENSE TO THE SUBJECT UTILITY. CALL "SUNSHINE" 48 HOURS BEFORE DIGGING
- 4. CONTRACTOR IS TO RESTORE ANY CURB, LANDSCAPE, ASPHALT, ETC. (NOT SCHEDULED FOR DEMOLITION) DAMAGED DURING CONSTRUCTION TO A CONDITION EQUAL TO WHAT IS EXISTING.
- 5. ALL EXISTING AND PROPOSED ELEVATIONS SHOWN ON THE CONSTRUCTION DOCUMENTS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD).

PAVING GRADING AND DRAINAGE PLAN



PRIVATE RESIDENCE
28 WEST DI LIDO DRIVE
MIAMI BEACH, FL

DESIGNED BY

DRAWN BY

CHECKED BY

5/5/20

5/5/20

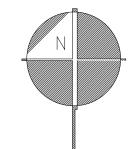
DATE No. DATE REVISIONS



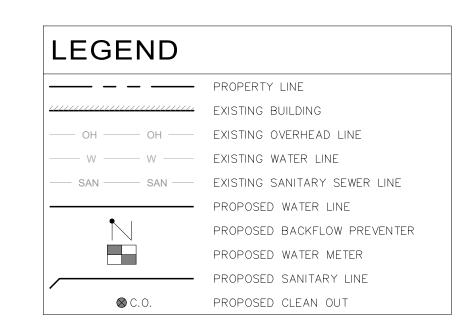
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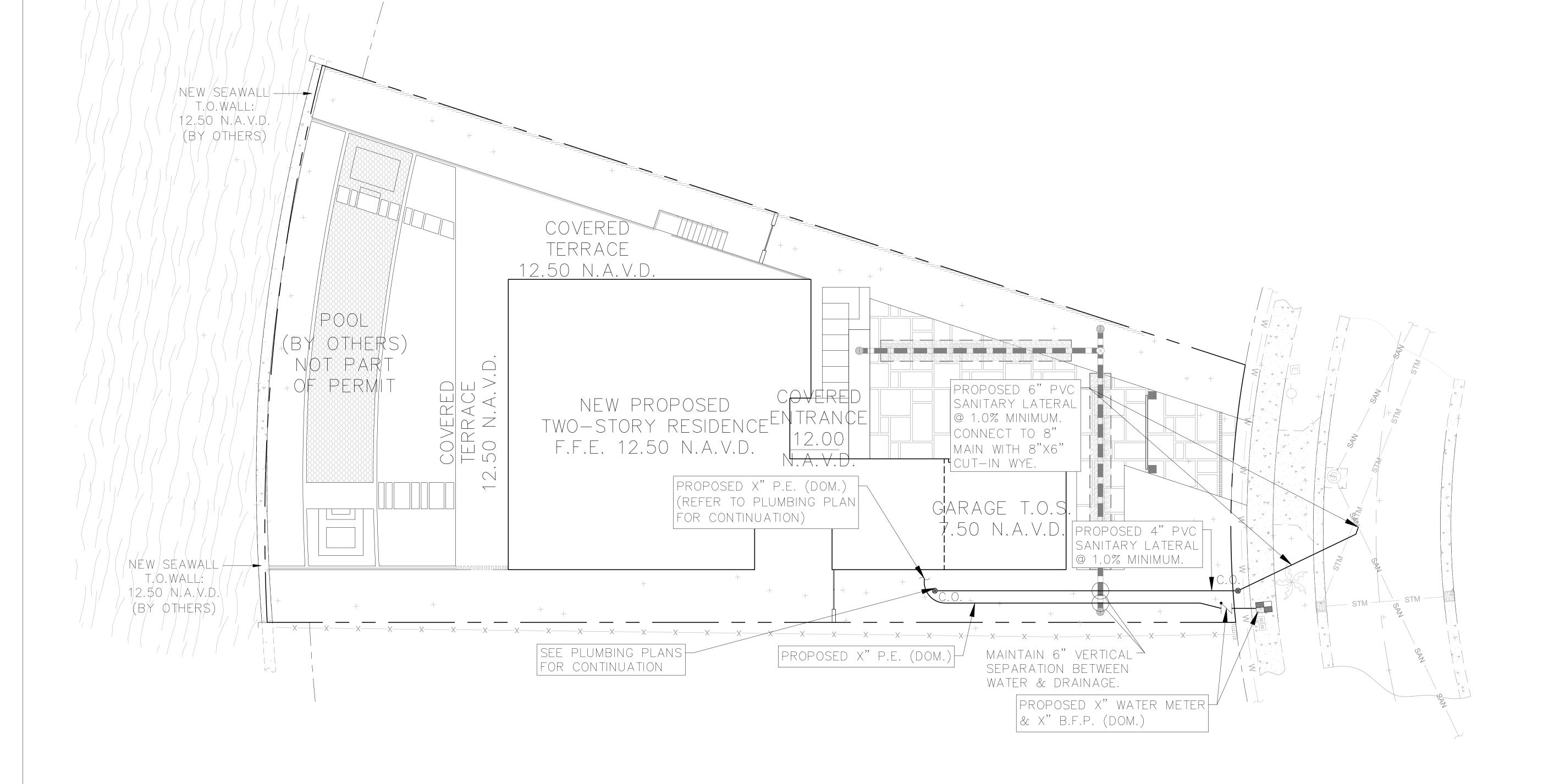
ROBERT J. ROSS, P.E. FLORIDA P.E. No. 59485 DATE:5/5/2020

SCALE: 1"=10' SHEET No. C2.0









NOTES:

- 1. EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE LOCATIONS AND HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
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- 4. CONTRACTOR IS TO RESTORE ANY CURB, LANDSCAPE, ASPHALT, ETC. (NOT SCHEDULED FOR DEMOLITION) DAMAGED DURING CONSTRUCTION TO A CONDITION EQUAL TO WHAT IS EXISTING.

SP	5/5/20				
DESIGNED BY	DATE				_
RE	5/5/20				-
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MR	5/5/20				-
CHECKED BY	DATE				-
RR	5/5/20				_
APPROVED BY	DATE	No.	DATE	REVISIONS	

PRIVATE RESIDENCE 28 WEST DI LIDO DRIVE

28 WEST DI LIDO DRIVE MIAMI BEACH, FL

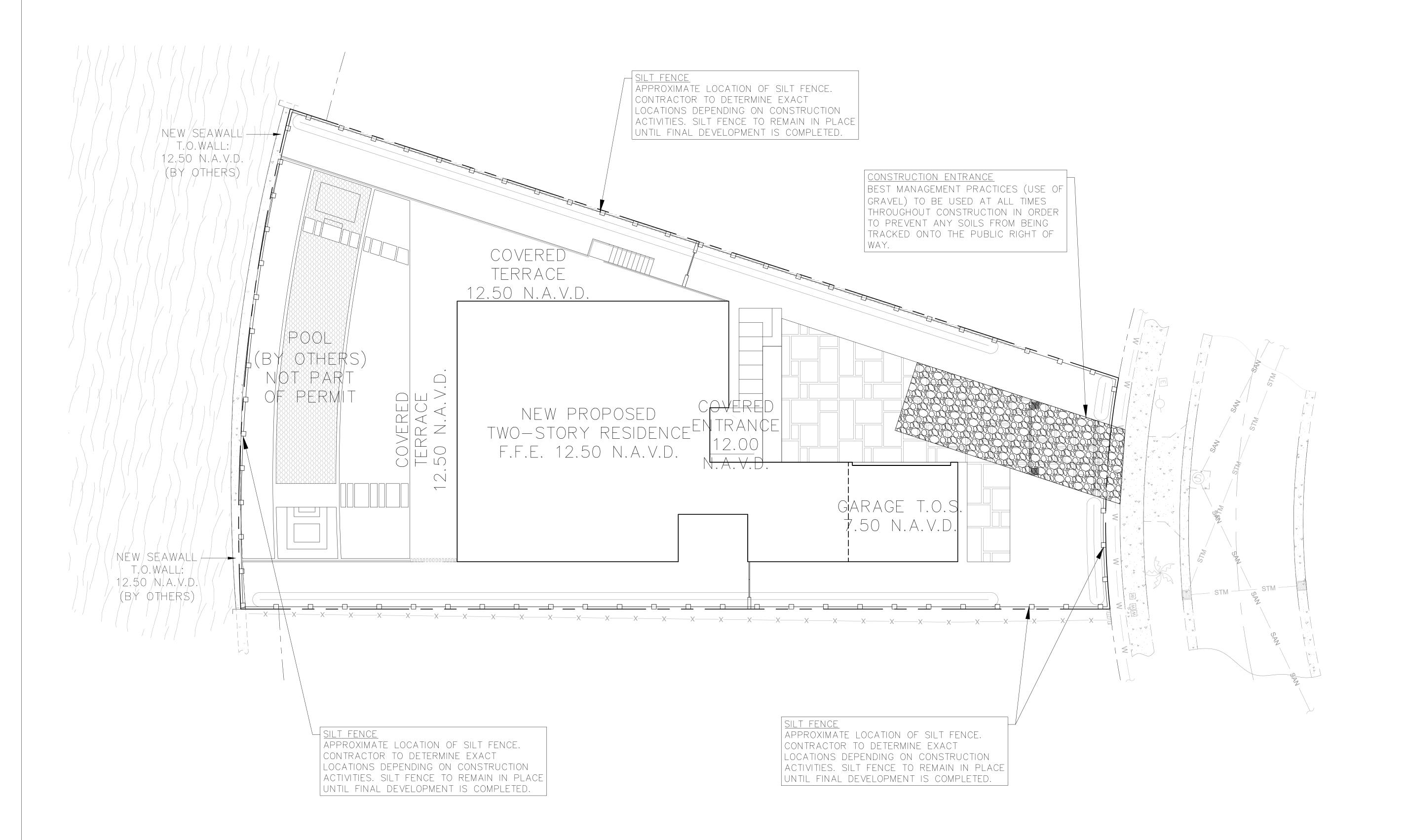


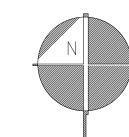
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ROBERT J. ROSS, P.E. FLORIDA P.E. No. 59485 DATE:5/5/2020

WATER AND SANITARY SEWER PLAN

SCALE: 1"=10' SHEET No. C3.0



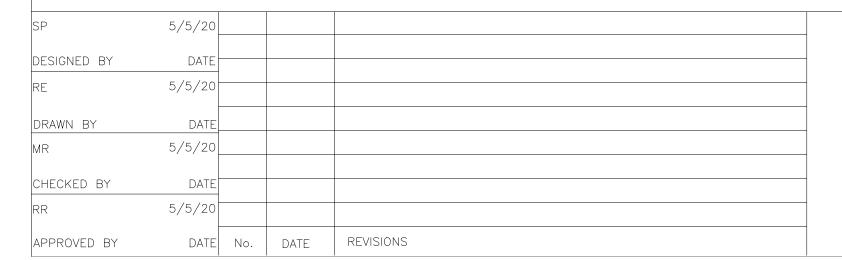




LEGEND

SILT FENCE HAY BALE

CONSTRUCTION ENTRANCE (GRAVEL)



PRIVATE RESIDENCE
28 WEST DI LIDO DRIVE

MIAMI BEACH, FL

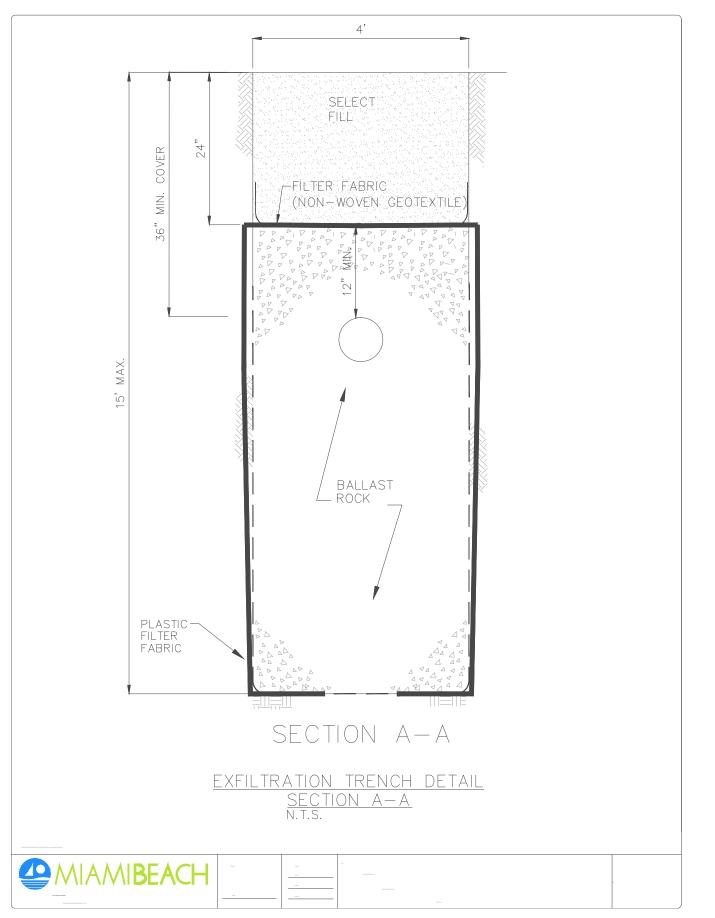


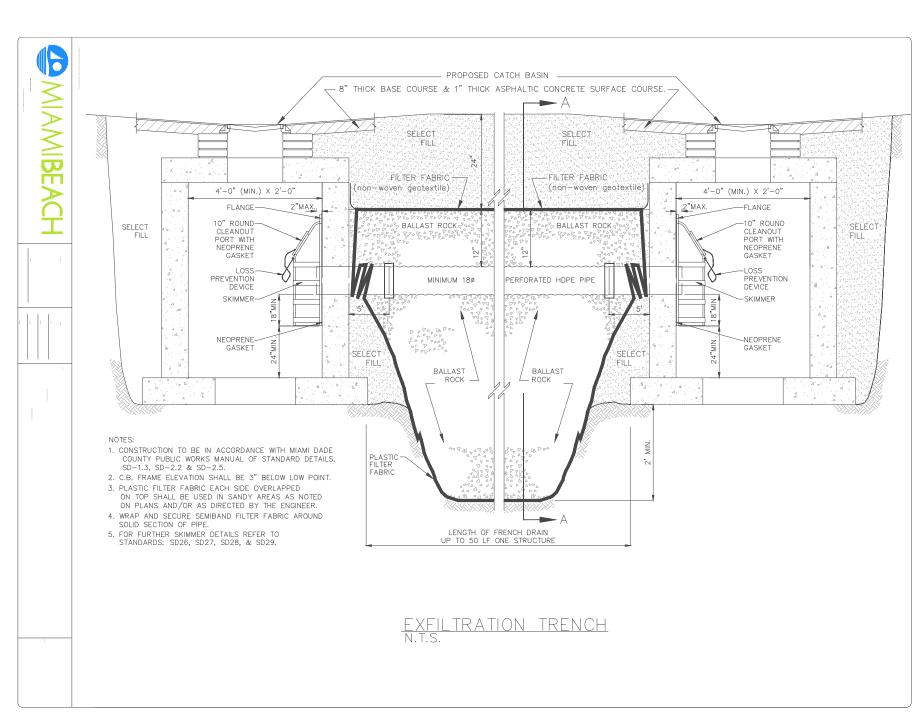
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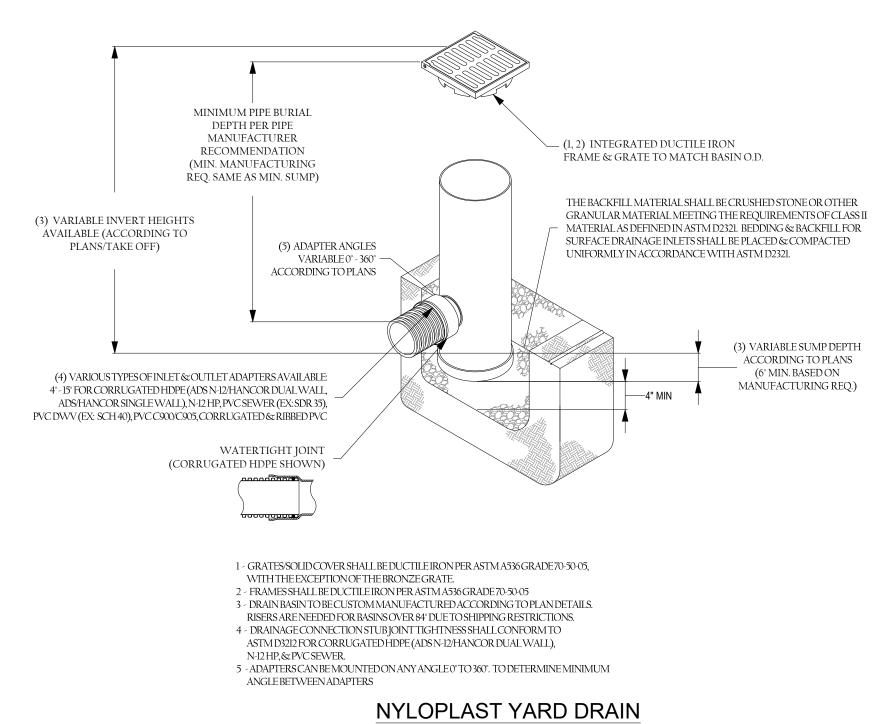
ROBERT J. ROSS, P.E. FLORIDA P.E. No. 59485 DATE:5/5/2020

POLLUTION PREVENTION CONTROL PLAN

SCALE: ###### SHEET No. C4.0







PAVERS
PAVER SETTING BASE
BASE MATERIAL

A MIN. SAW CUT.

4" WITH UV INHIBITORS
SECTION AT 5' PRO SERIES

EXISTING SOILS.

#3 OR #4 REBAR STAKE
SUSPENSION METHOD,
LENGTH OF STAKE
APROX. 16'

5° PRO SERIES STRUCTURAL FOAM POLYOLEFIN LIGHT

NOTE:

- CHANNELS TO BE INSTALLED WITH GRATE. GRATE TO BE PROTECTED FROM CONCRETE POUR.

 CET TRENGLED AND ALLED WITH GUARNIER BY A DE CONCRETE OR.

 CET TRENGLED AND ALLED WITH GUARNIER BY A DE CONCRETE OR.

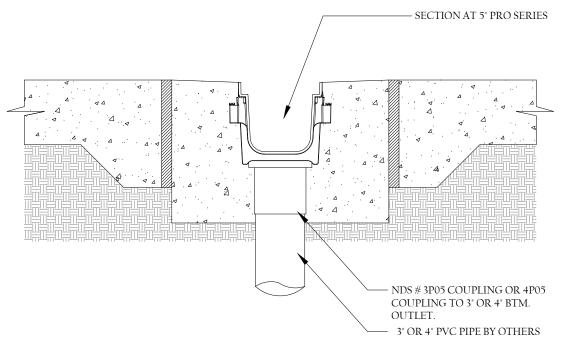
 CET TRENGLED AND ALLED WITH GUARNIER BY A DE CONCRETE OR.

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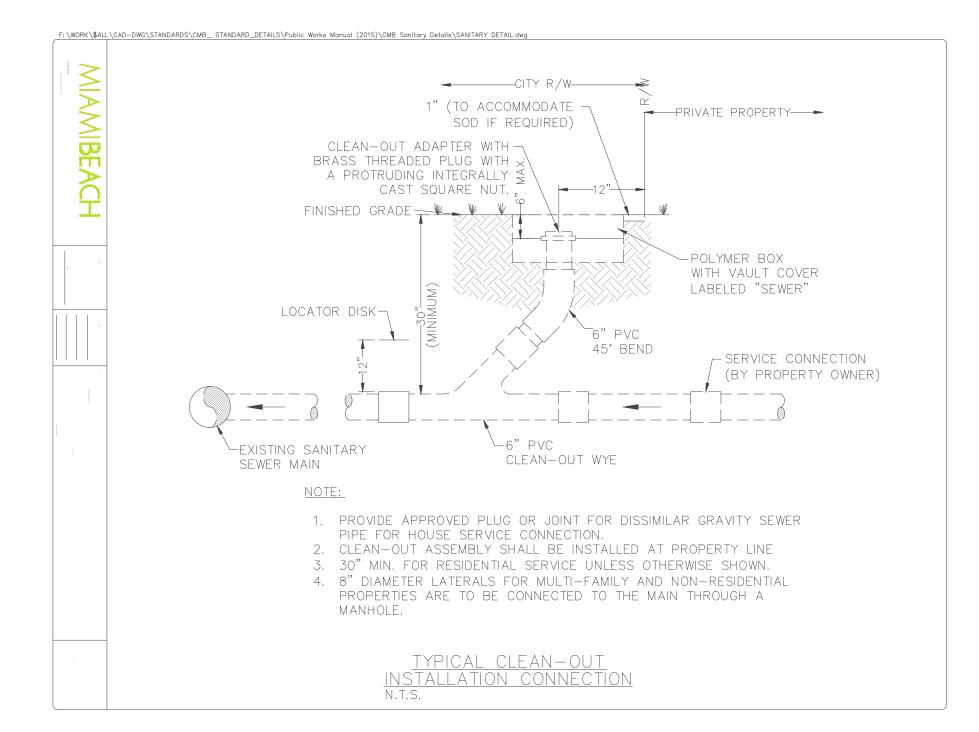
 CET TRENGLED AND ALLED WITH GUARNIER BY A DE CONCRETE OR.
- SET TRENCH DRAIN IN CHANNEL SURROUNDED BY 4° OF CONCRETE OR THICKNESS OF THE CONCRETE SLAB WITH A MINIMUM OF 2,500 P.S.I. AVOID FULL LOAD TRAFFIC FOR 28 DAYS OR UNTIL CONCRETE HAS COMPLETELY

5" NDS PRO SERIES INSTALLATION (TYPICAL)
CLASS B INSTALLATION, NDS PRODUCT #864

NTS



5" NDS PRO SERIES BTM. OUTLET (TYPICAL)



DCS	5/5/20				-
DESIGNED BY	DATE				
DCS	5/5/20				
DRAWN BY	DATE				
RR	5/5/20				
CHECKED BY	DATE				-
RR	5/5/20				
APPROVED BY	DATE	No.	DATE	REVISIONS	

PRIVATE RESIDENCE

28 WEST DI LIDO DRIVE MIAMI BEACH, FL

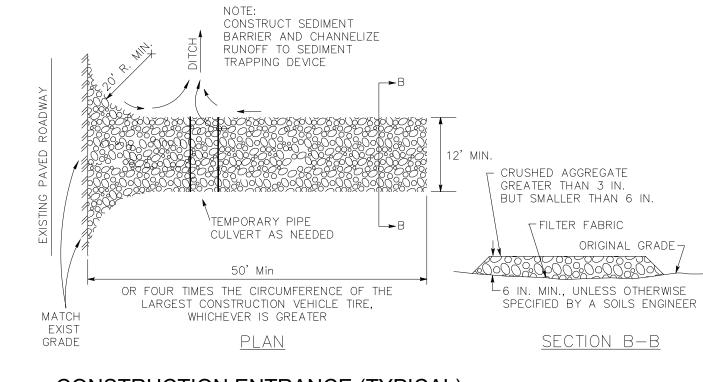


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(954)318-0624 (954)358-0190 FAX
CERTIFICATE OF AUTHORIZATION No. 9808

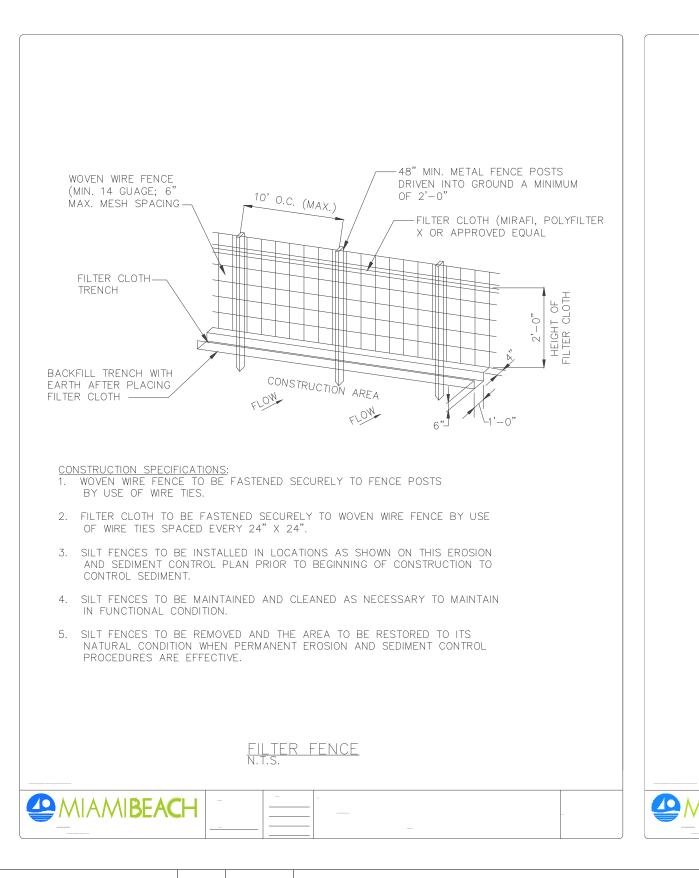
ROBERT J. ROSS, P.E. FLORIDA P.E. No. 59485 DATE:5/5/2020

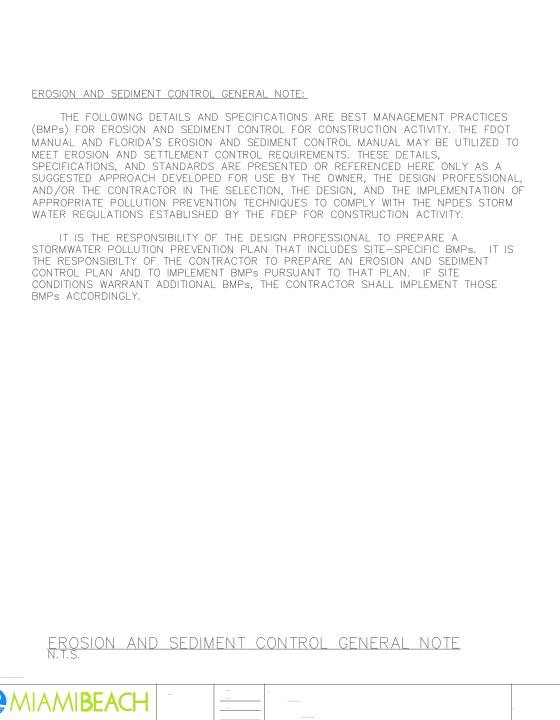
PAVING GRADING DRAINAGE & SANITARY SEWER DETAILS

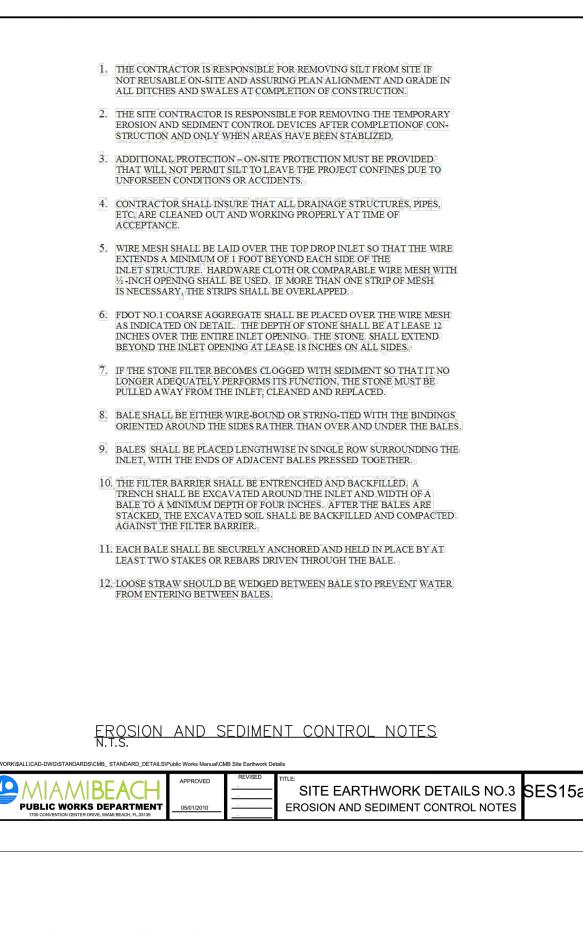
SCALE: SHEET No. C5.1

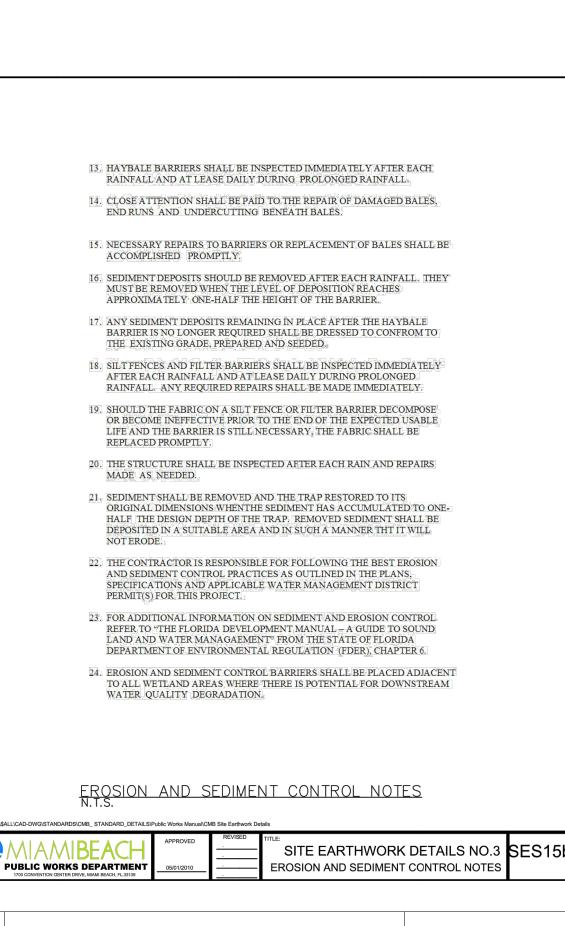


CONSTRUCTION ENTRANCE (TYPICAL)

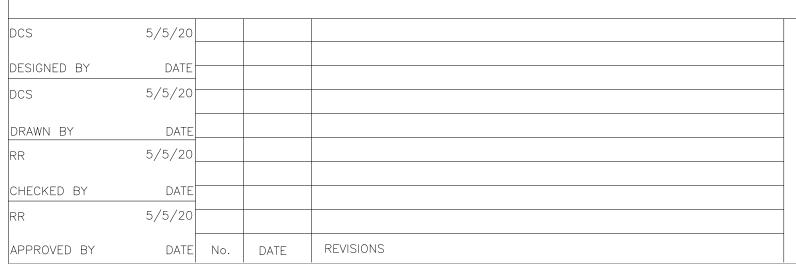








;	25 ALL DISTRIBRED ADEAS SHALL BE GDASSED EEDTH IZED AGU CHED AND
	25. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
	26 .SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.
	27. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
	28. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE APPLICABLE WATER MANAGEMENT DISTRICT.
	29. ALL DISTURBED AREAS TO BE STABILIZED THROUGH COMPACTION, SILT SCREENS, HAYBALES AND GRASSING. ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOLID SOD.
	30. ALL DEWATERING, EROSION, AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND BE REMOVED OLY WHEN AREAS HAVE BEEN STABILIZED.
	31. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
	32. ALL EXCAVATIONS AND EARTHWORK SHALL BE DONE IN A MANNER TO MINIMIZE WATER TURBIDITY AND POLLUTION. DISCHARGE SHALL BE CONTROLLED AND REROUTED THROUGH HAY FILTERS, SILTATION DIAPERS AND SUMPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION, CORRECTION, CONTROL AND ABATEMENT OF EROSION AND WATER POLLUTION IN ACCORDANCE WITH CHAPTER 62-302, FLORIDA ADMINISTRATIVE CODE.
	33. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ANY SEDIMENT THAT LEAVES THE SITE AND CHANGES ANY DOWNSTREAM CONDITIONS BY RAISING CHANNEL BOTTOMS AND/OR CLOGGING OUTFALL CULVERTS.
	34. THE CONTRACTOR SHALL PAY FOR ANY WATER QUALITY CONTROL VIOLATIONS FROM ANY AGENCY THAT RESULTS IN FINES BEING ASSESSED TO THE OWNER BECAUSE OF THE CONTRACTOR'S FAILURE TO ELIMINATE TURBID RUNOFF FROM LEAVING THE SITE AND RAISING BACKGROUND LEVELS ABOVE EXISTING BACKGROUND LEVEL.
	35. A MINIMUM OF ONE OF THE EROSION CONTROL MEASURE OPTIONS SHOWN FOR ALL DROP INLETS WILL BE USED BY THE CONTRACTOR.
	36. FLOATING TURBIDITY BARRIERS WILL BE PLACED AT ALL OUTFALL LOCATIONS. IF SEAGRASSES ARE PRESENT BARRIERS WILL NOT BE PLACED OVER THEM. THE FLOATING TURBIDITY BARRIERS SHALL BE INSTALLED IN A MANNER TO PREVENT MANATEE ENTANGLEMENT.
	37. SILT FENCES OR HAYBALES WILL BE USED ALONG BOTH SIDES OF LIMITS OF CONSTRUCTION TO MINIMIZE OFFSITE SILTATION MIGRATION.
	EROSION AND SEDIMENT CONTROL NOTES
.L\CAD-DWG\STANDARD	IN. I. J. SICMB_STANDARD_DETAILS/Public Works Manual/CMB Site Earthwork Details
	BEACH S DEPARTMENT OSIO1/2010 APPROVED TITILE: SITE EARTHWORK DETAILS NO.3 SES EROSION AND SEDIMENT CONTROL NOTES



PRIVATE RESIDENCE

28 WEST DI LIDO DRIVE

MIAMI BEACH, FL



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CERTIFICATE OF AUTHORIZATION No. 9808

ROBERT J. ROSS, P.E. FLORIDA P.E. No. 59485 DATE:5/5/2020

WATER AND POLLUTION PREVENTION CONTROL DETAILS

SCALE: SHEET No. C5.2