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View 28

28 W DiLido Drive, Miami Beach, Fl 33139

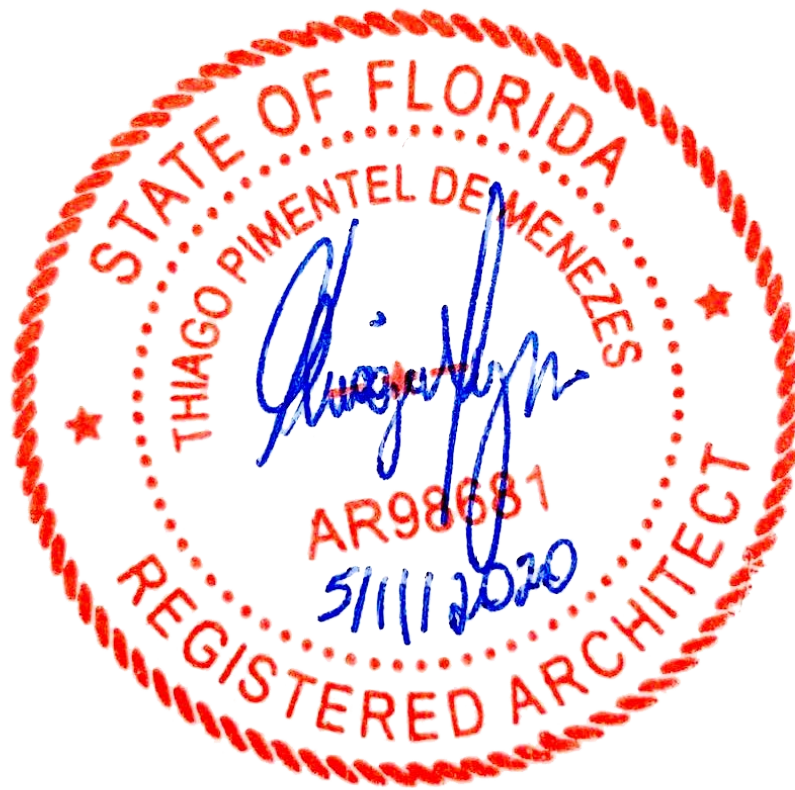
Final Submittal - July DRB
May 11, 2020

SCOPE OF WORK:

New 2 Story Single-Family Home

Waiver #1:
RS-3 Zoned Property (Flat Roof) 3'-6" Height
14,224 SQ.FT lot.

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FL LIC #AA26004032 | NY LIC #041222



DRB FINAL SUBMITTAL

Drawing Index

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CL	DRB Pre-App Checklist
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AR	Arborist Report
CR	Comment Response
CR2	Comment Response V2

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Project Team

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Revisions

No.	Description	Date
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ARCHITECT

Drawing Name

PROJECT
INDEX

Drawn By	T.M.
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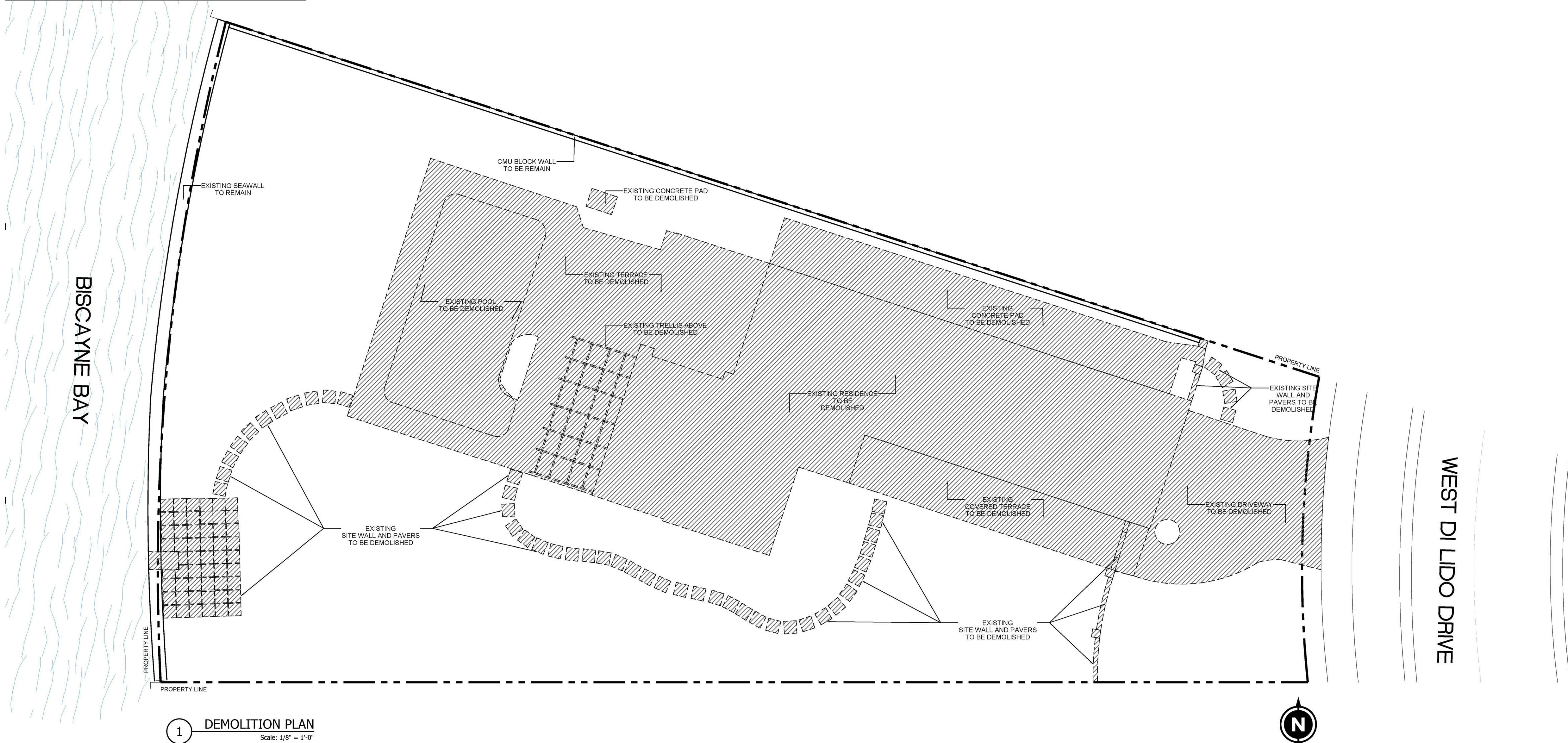
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DEMOLITION NOTES

- THIS DRAWING IS ONLY TO ASSIST IN SHOWING THE SCOPE OF THE DEMOLITION AND IS NOT INTENDED TO INDICATE TO ALL DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A WALK-THRU OF THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS FOR IDENTIFYING POSSIBLE CRITICAL ITEMS, NOT ADDRESSED OR INCORRECTLY ADDRESSED, WHICH REQUIRE REMOVAL/RELOCATION.
- CONTRACTOR SHALL CHECK AND IDENTIFY ALL EXISTING WATER, SANITARY AND ELECTRIC LINES WHICH ARE TO REMAIN AND BE PROTECTED FROM DAMAGE DURING DEMOLITION AND ALTERATION OF WORK. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED.
- WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION / CONSTRUCTION, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING AND COMPLIANCE TO CONFORM TO ALL BUILDING CODES AND EXECUTE WORK IN CONFORMANCE.
- PROTECT ALL EXISTING PORTIONS OF THE ADJACENT BUILDINGS DURING DEMOLITION / CONSTRUCTION. THE GENERAL CONTRATOR IS RESPONSIBLE FOR ANY/ALL DAMAGES CAUSED BY HIMSELF OR HIS/HERS SUB-CONTRACTORS.
- KEEP CLEAN ALL EXISTING SPACES AND PROPERTIES ADJACENT TO DEMOLITION / CONSTRUCTION AREAS. ANY DEBRIS SHALL BE REMOVED FROM WORK AREA DAILY. IF REQUIRED CLOSE OFF EXISTING SUPPLY / RETURN PIPES FEEDING EXISTING ROOMS TO PREVENT DUST / DEBRIS ENTRY.
- ALL TRADES SHALL CLEARLY MARK CHANGES TO PLANS (AS-BUILT CONDITIONS) IN RED ON THEIR FIELD SET OF DRAWINGS TO PROVIDE AS-BUILT DOCUMENTATION AT THE CONCLUSION OF THE PROJECT.
- PROVIDE ADEQUATE BRACING AND SHORING OF EXISTING CONCRETE WALLS TO REMAIN.

AS PER MIAMI BEACH CITY CODE SEC. 142-108:

- THE ENTIRE PROPERTY SHALL BE RAISED TO SIDEWALK GRADE UPON THE COMPLETION OF DEMOLITION, WITH APPROVED BASE MATERIAL.
- BAHIA SOD OR SEASHORE PASPALUM SOD SHALL BE INSTALLED ON THE ENTIRE SITE AND HEDGE MATERIAL SHALL BE INSTALLED ALONG THE ENTIRE PERIMETER OF THE PROPERTY
- TEMPORARY FENCING FOR THE PROPERTY, IF ANY, SHALL ONLY CONSIST OF ALUMINUM PICKET ALONG THE ENTIRE PERIMETER OF THE PROPERTY.
- THE RAISING OF THE SITE TO SIDEWALK GRADE AND THE INSTALLATION OF ALL REQUIRED LANDSCAPING MUST BE COMPLETED WITHIN TEN DAYS OF THE COMPLETION OF DEMOLITION.
- ALL LANDSCAPING REQUIRED HEREIN SHALL BE INSTALLED AND MAINTAINED AS REQUIRED BY THE DEMOLITION PERMIT AND THE CITY'S LANDSCAPING CODE, UNTIL SUCH TIME AS NEW CONSTRUCTION IS AUTHORIZED AND COMMENCES.

AS PER MIAMI-DADE COUNTY ORDINANCE, SEC. 24-41.11,

REFRIGERANTS, OF THE MIAMI-DADE CODE OF ORDINANCE, IT SHALL BE UNLAWFUL FOR ANY PERSON TO RELEASE OR CAUSE, LET, ALLOW, PERMIT OR SUFFER THE RELEASING OF ANY REFRIGERANT FROM ANY REFRIGERATION SYSTEM INTO THE AMBIENT AIR OF THE EARTH. RECOVERED REFRIGERANT WHICH CANNOT BE REUSED OR RECYCLED SHALL BE DISPOSED IN A MANNER APPROVED IN WRITING BY THE DIRECTOR OR THE DIRECTOR'S DESIGNEE.



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DEMOLITION
PLAN

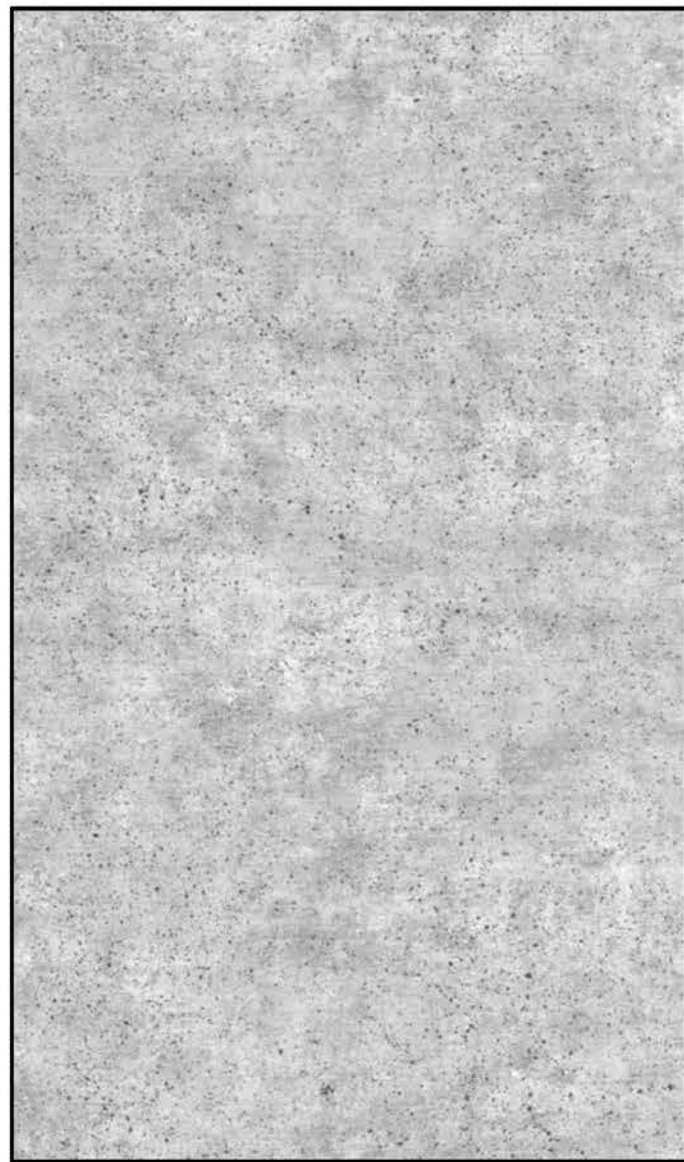
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DEMOLITION
PLAN

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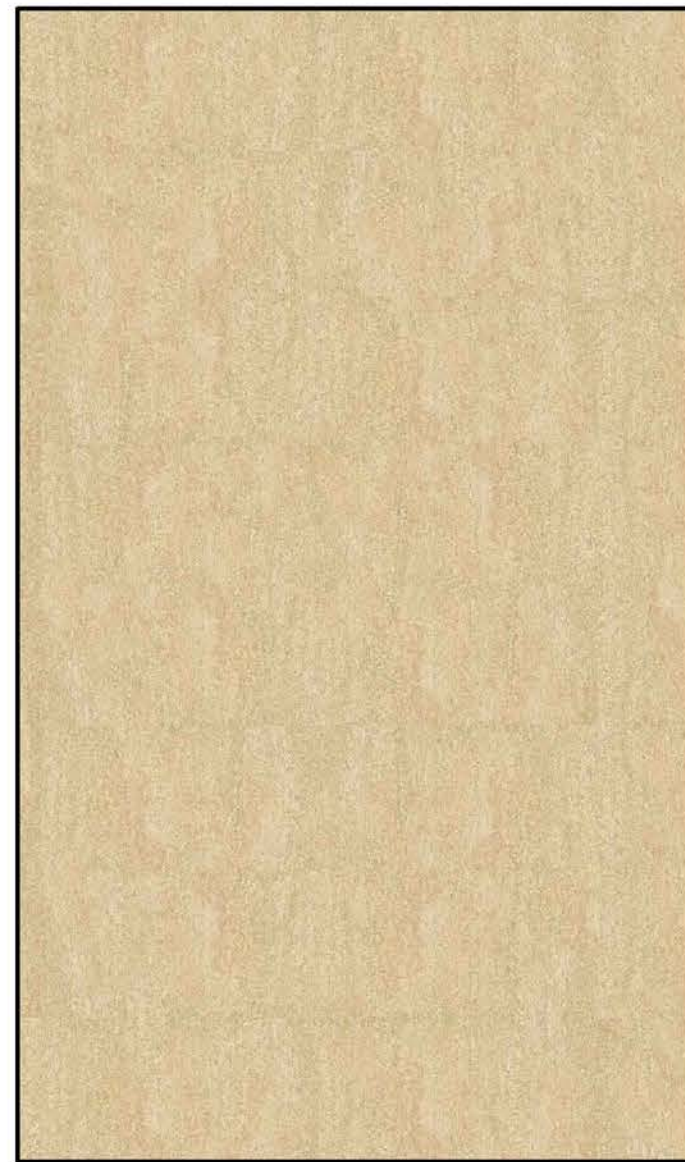
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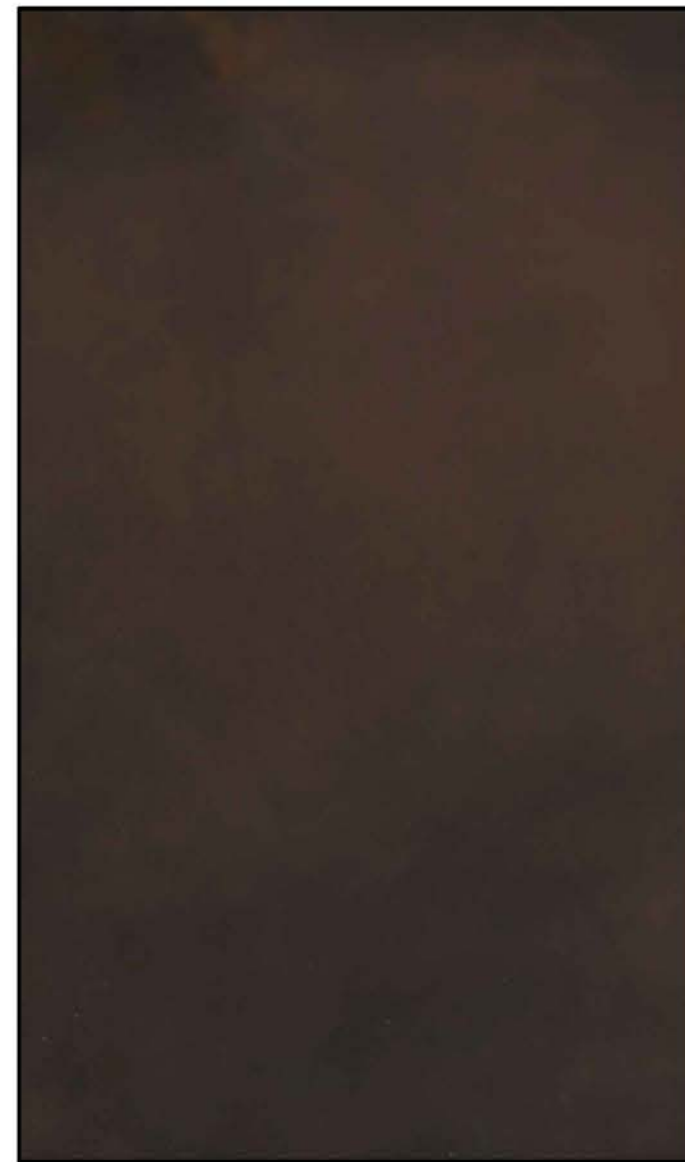
1 FINISHED CONCRETE
BALCONY + TERRACE ACCENT



2 CUMARU WOOD
CEILINGS + DETAILS



4 TRAVERTINE STONE
FLOORING + STAIRS



3 BRONZE FINISH METAL
DOORS + WINDOWS + COLUMNS



5 ARCH. GLAZING
DOORS + WINDOWS



6 OOLITE CORAL STONE
WALL ACCENT



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PROPOSED MATERIALS	
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G1.6	

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

Item	Zoning Information				
1	Address:	28 W DiLido Dr, Miami Beach FL, 33139			
2	Folio number(s):	02-3232-011-0091			
3	Board and file numbers :	DRB20-0538			
4	Year built:	1933	Zoning District:	RS-3	
5	Based Flood Elevation:	9.00' NGVD	Grade value in NGVD:	6.30' NGVD	
6	Adjusted grade (Flood+Grade/2):	7.65' NGVD	Free board:	(+5) 14.00' NGVD	
7	Lot Area:	14,224 SF			
8	Lot width:	(48'10"+106'1")/2 = 77'6"	Lot Depth:	(183'11"+183'6")/2 = 183'9"	
9	Max Lot Coverage SF and %:	4,267.2 SF (30%)	Proposed Lot Coverage SF and %:	3,435.3 SF (24.1%)	
10	Existing Lot Coverage SF and %:	N/A	Lot coverage deducted (garage-storage) SF:	498.8 SF	
11	Front Yard Open Space SF and %:	731.1 SF (70.1%)	Rear Yard Open Space SF and %:	2,040 SF (72.1%)	
12	Max Unit Size SF and %:	7,112 SF (50%)	Proposed Unit Size SF and %:	6,750.2 (47.5%)	
13	Existing First Floor Unit Size:	2,301 S.F. (16%) (ESTIMATE)	Proposed First Floor Unit Size:	3,508.1 SF (24.7%)	
14	Existing Second Floor Unit Size	1144 S.F. (18%) (ESTIMATE)	Proposed 2nd Floor to 1st Floor Volumetric Unit Size SF and %	3,242.1SF/3,508.1SF = 92.4%	
15			Proposed Second Floor Unit Size SF and % :	3,242.1 (22.8%)	
16			Proposed Roof Deck Area SF and % :	N/A	
		Required	Existing	Proposed	Deficiencies
17	Height:	24'-0"	N/A	27'-6"	3'-6" (WAIVER)
18	Setbacks:				
19	Front First level:	30'-0"	N/A	31'-4.5"	
20	Front Second level:	30'-0"	N/A	31'-4.5"	
21	Side 1:	10'-0"	N/A	10'-0"	
22	Side 2 or (facing street):	10'-0"	N/A	10'-0"	
23	Rear:	28'-0"	N/A	34'-1"	
	Accessory Structure Side 1:	N/A	N/A		
24	Accessory Structure Side 2 or (facing street) :	N/A	N/A		
25	Accessory Structure Rear:	N/A	N/A		
26	Sum of Side yard :	20'-0"		20'-0"	
27	Located within a Local Historic District?	NO			
28	Designated as an individual Historic Single Family Residence Site?	NO			
29	Determined to be Architecturally Significant?	NO			



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ZONING DATA SHEET

Drawn By T.M.

Issued date 2020/05/11

Issued for Design Review Board

Project Number 2003

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G1.7

Calculation of Minimum and Maximum Yards

PROPERTY CONDITIONS

Waterfront Lot (Yes/No)	YES
Corner property (Yes/No)	NO
Sidewalk (yes/no)	YES
Sidewalk elevation at the centerline of the front of the property	6.300
Crown of road at center of property (if no sidewalk exists or is proposed)	0.000
Flood Elevation	9.000
Freeboard (provided)	5.000

INTERIOR SIDEYARD CONDITIONS

Inidcate yes only for the condition that applies

Max. Yard Elevation

Yes	Default Condition unless one of the below applies Maximum Yard Elevation	8.800
	Is the average grade of adjacent lot along the abutting side yard equal or greater than adjusted grade?	10.150
	Is the abutting property vacant?	10.150
	Is their a joint agreement between abutting properties, for a higher elevation, not to exceed flood elevation?	9.000

REAR YARD CONDITIONS

Inidcate yes only for the condition that applies

Max. Yard Elevation

Yes	Default Condition unless one of the below applies Maximum Yard Elevation	8.800
	Is the average grade of adjacent lot along the abutting side yard equal or greater than adjusted grade?	10.150
	Is the abutting property vacant?	10.150
	Is their a joint agreement between abutting properties, for a higher elevation, not to exceed flood elevation?	9.000

RESULTS

Grade	6.3
Adjusted Grade	7.65
30" above Grade	8.8
Future Crown of Road	5.25
Future Adjusted Grade	7.625
Minimum Freeboard Elev.	10.000
Maximum Freeboard Elev.	14.000
Minimum Yard Elevation	6.56
Min. Garage elevation (for a detached or attached garage, not under the house	7.65
Minimum garage ceiling elevation	18.000

Front Yard	
Min Yard Elevation	6.560
Max Yard Elevation	8.800
Interior Side	
Min Yard Elevation	6.560
Max Yard Elevation	8.800
Interior Side	
Min Yard Elevation	6.560
Max yard Elevation	8.800
Waterfront	
Min Yard Elevation	6.560
Max Yard Elevation	14.000

Waterfront

Minimum Yard Elevation: 6.560

Maximum Yard Elevation: 14.000

Interior Side Yard

Minimum Yard Elevation: 6.560

Maximum Yard Elevation 8.800

Interior Side

Minimum Yard Elevation: 6.560

Maximum Yard Elevation 8.800

Front Yard

Minimum Yard Elevation: 6.560

Maximum Yard Elevation: 8.800



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Drawing Name

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GRADE CALCS

Drawn By: T.M.

Issued date: 2020/05/11

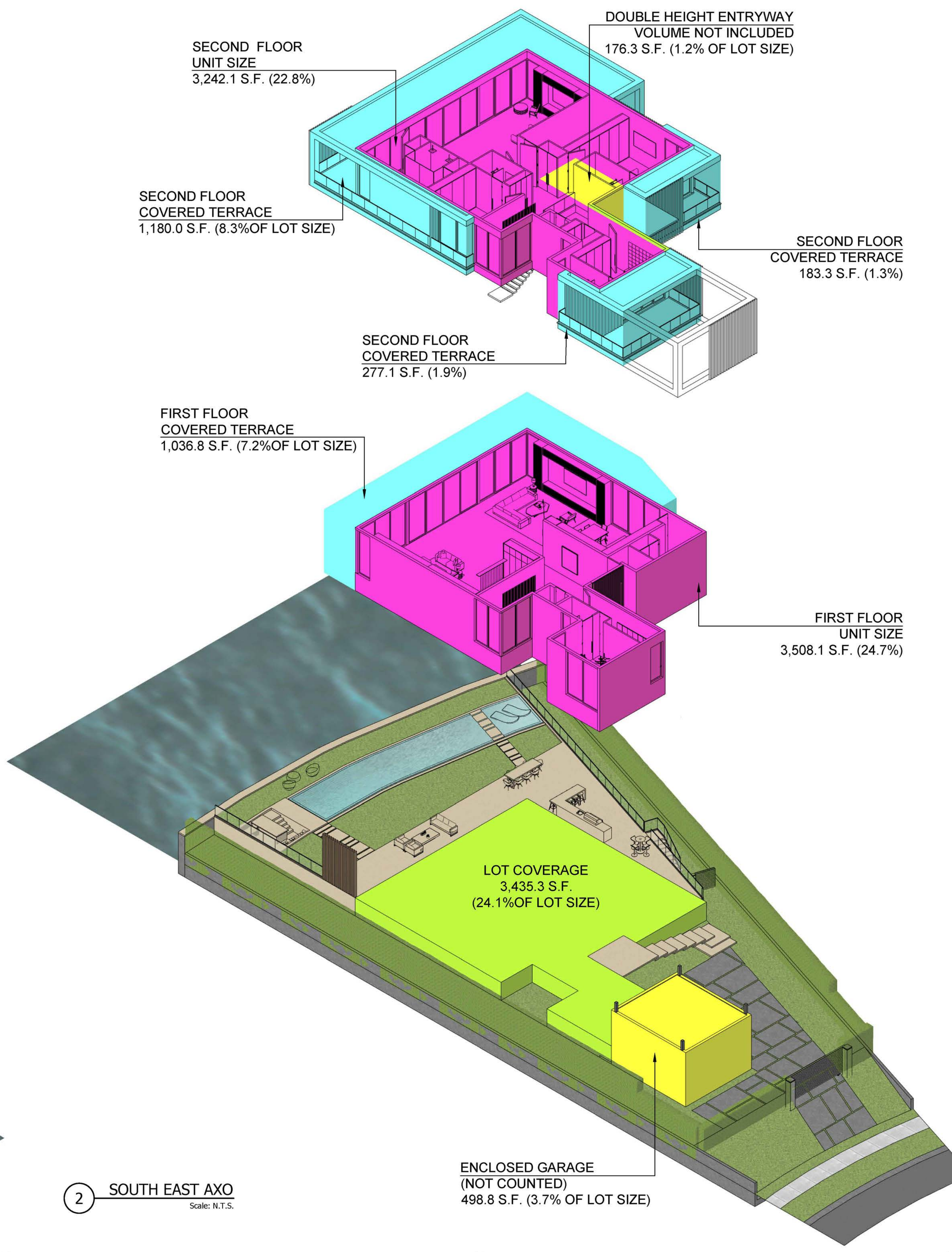
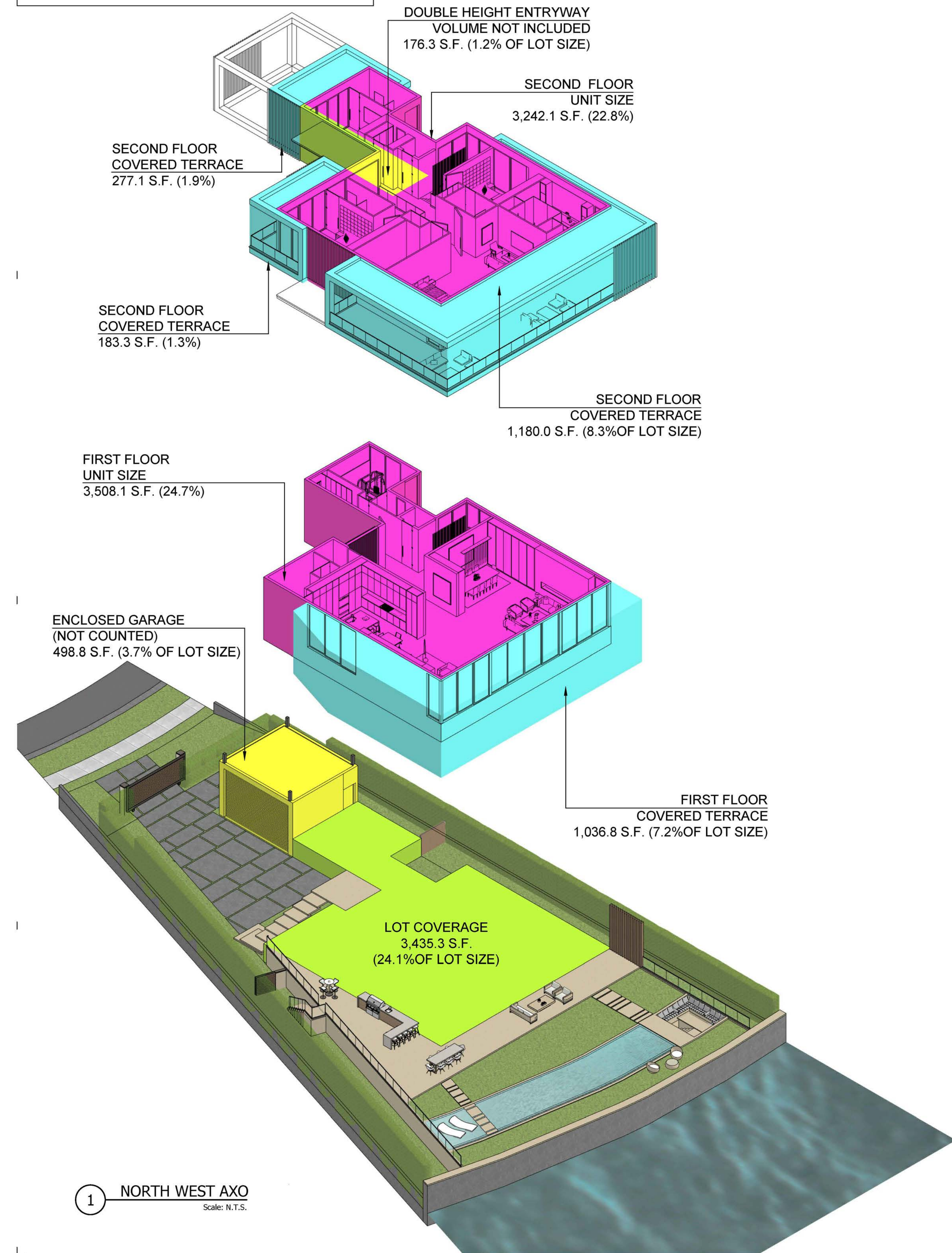
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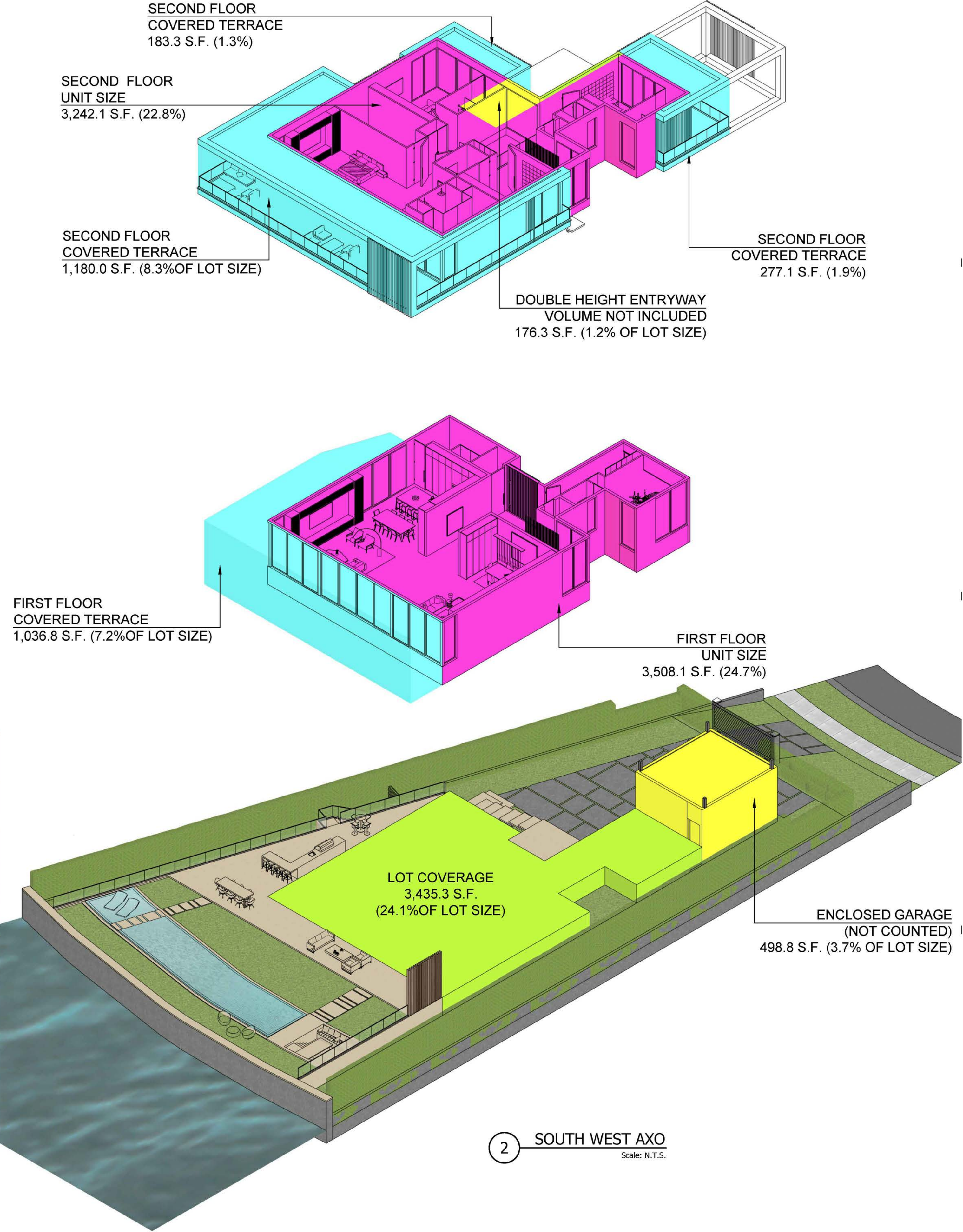
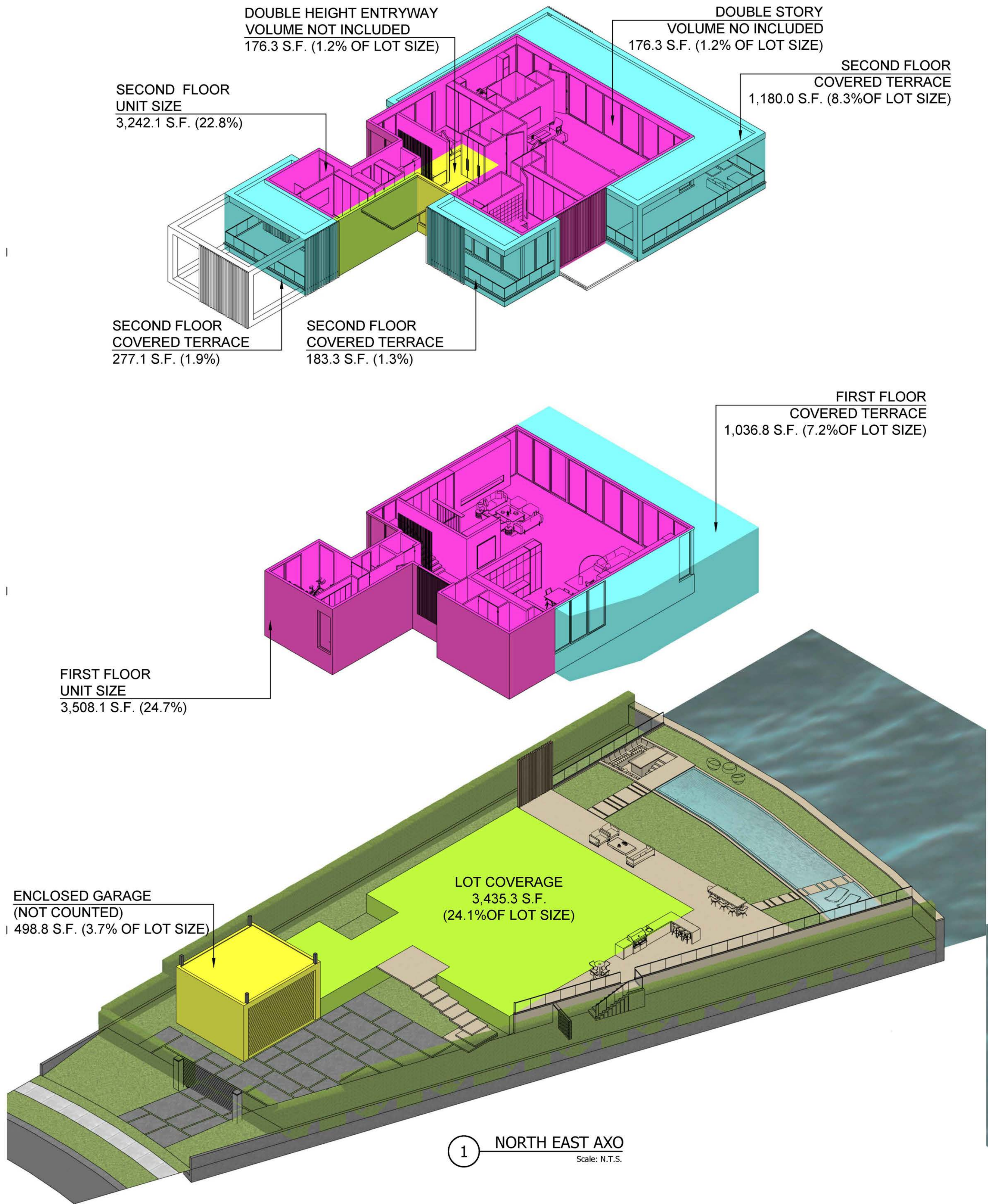
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DESIGNATED BY:
THIAGO FRIEDEL DE MENEZES
ARCHITECT

AXONOMETRIC
DIAGRAMS

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ARCHITECT

Drawing Name

**AXONOMETRIC
DIAGRAMS**

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Revisions

No. Description Date

Drawing Name
RENDERING

Drawn By T.M.

Issued date 2020/05/11

Issued for Design Review Board

Project Number 2003

Sheet Number

R1.1



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BOOK SEALED BY:
THAO PIMENTEL DE MENEZES
ARCHITECT

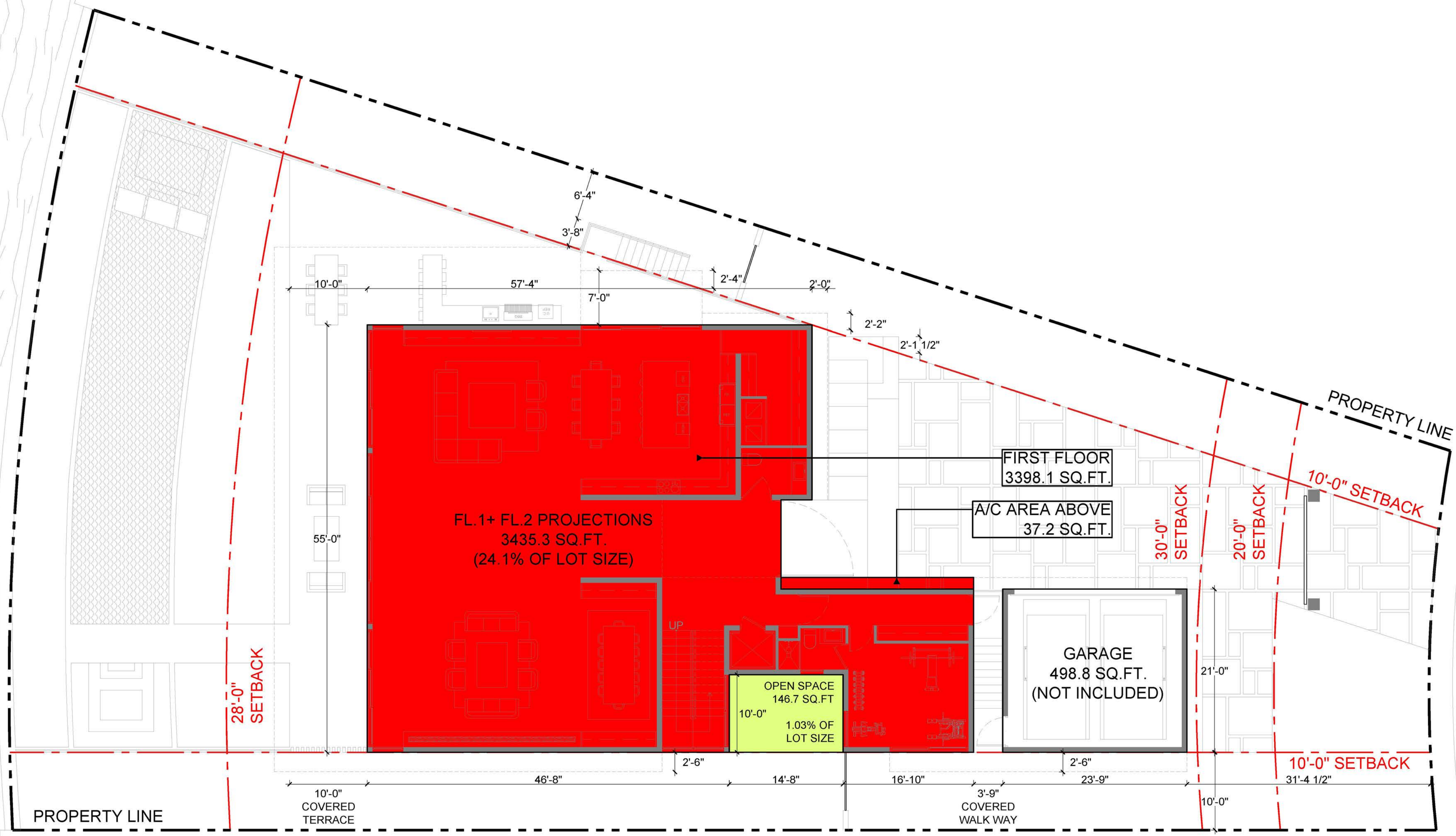
Drawing Name

RENDERING

Drawn By	T.M.
Issued date	2020/05/11
Issued for	Design Review Board
Project Number	2003

Sheet Number

R1.2



1 LOT COVERAGE
Scale: 1/8" = 1'-0"



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LOT COVERAGE	
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Project Number	2003
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