

THE EIGHTY 4

at
756 84 STREET
MIAMI BEACH, FL 33141
for
DIVA ESTATE LLC

ARCHITECTURE
CDS | ARCHITECTURE AND PLANNING
2103 CORAL WAY, SUITE 722
MIAMI, FLORIDA 33145
TEL.: (805) 300-7438 | info@cds-ap.com

SCOPE: NEW FOUR-DWELLING UNIT, THREE-STORY MULTIFAMILY BUILDING, WITH PARKING GARAGE AT GROUND FLOOR LEVEL FEATURING FOUR PARKING LIFTS.

FINAL DESIGN REVIEW BOARD SUBMITTAL

JANUARY 15, 2020



Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	756 84 Street, Miami Beach, FL 33141		
2	Board and file numbers :	DRB18-0239		
3	Folio number(s):	02-3202-008-1580		
4	Year constructed:		Zoning District:	RM-1 (Amended)
5	Based Flood Elevation:	+8.00' NGVD	Grade value in NGVD:	+4.52' NGVD
6	Adjusted grade (Flood+Grade/2):	+6.125 NGVD	Lot Area:	5,625 SF
7	Lot width:	50'-0"	Lot Depth:	112'-6"
8	Minimum Unit Size	1,515 SF	Average Unit Size	1,515 SF
9	Existing use:	N/A	Proposed use:	Apartments

	Maximum	Existing	Proposed	Deficiencies
10	Height	55'-0"	N/A	55'-0"
11	Number of Stories	5	N/A	5
12	FAR	7,031.25 (1.25 FAR)	N/A	7,029.20
13	Gross square footage			
14	Square Footage by use	N/A		N/A
15	Number of units Residential	N/A		4
16	Number of units Hotel	N/A		N/A
17	Number of seats	N/A		N/A
18	Occupancy load	N/A		68

	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	N/A	N/A	N/A	
20	Side Setback:	N/A	N/A	N/A	
21	Side Setback:	N/A	N/A	N/A	
22	Side Setback facing street:	N/A	N/A	N/A	
23	Rear Setback:	N/A	N/A	N/A	
	At Grade Parking:				
24	Front Setback:	20'-0"	N/A	28'-0"	
25	Side Setback:	5'-0"	N/A	7'-6"	
26	Side Setback:	5'-0"	N/A	7'-6"	
27	Side Setback facing street:	N/A	N/A	N/A	
28	Rear Setback:	11'-3"	N/A	23'-1 1/4"	
	Pedestal:				
29	Front Setback:	20'-0"	N/A	20'-0"	
30	Side Setback:	7'-6"	N/A	7'-6"	
31	Side Setback:	7'-6"	N/A	7'-6"	
32	Side Setback facing street:	N/A	N/A	N/A	
33	Rear Setback:	11'-3"	N/A	11'-3"	
	Tower:				
34	Front Setback:	N/A	N/A	N/A	
35	Side Setback:	N/A	N/A	N/A	

ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:	N/A	N/A	N/A	
37	Side Setback facing street:	N/A	N/A	N/A	



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Miami Beach, Florida 33139, www.miamibeachfl.gov
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38	Rear Setback:	N/A	N/A	N/A	
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	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district				
40	Total # of parking spaces	N/A	N/A	8	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)				
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)				
43	Parking Space Dimensions	8'-6" x 18'-0" Min.	N/A	8'-6" x 18'-0"	
44	Parking Space configuration (45o,60o,90o,Parallel)	Any	N/A	90-degree	
45	ADA Spaces	N/A	N/A	0	
46	Tandem Spaces	N/A	N/A		
47	Drive aisle width	22'-0"	N/A	22'-0"	
48	Valet drop off and pick up			No	
49	Loading zones and Trash collection areas				
50	racks			4	

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use				
52	Number of seats located outside on private property				
53	Number of seats inside				
54	Total number of seats				
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)				
56	Total occupant content				
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)				

58	Proposed hours of operation	
59	Is this an NIE? (Neighboot Impact stablishment, see CMB 141-1361)	
60	Is dancing and/or entertainment proposed ? (see CMB 141-1361)	
61	Is this a contributing building?	N/A
62	Located within a Local Historic District?	N/A

Notes:

If not applicable write N/A

All other data information may be required and presented like the above format.

THE EIGHTY 4



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Notes:
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All other data information may be required and presented like the above format.

THE EIGHTY 4

NEWLY PROPOSED ZONING DATA SHEET

A-102a

REVISIONS:

PROJECT:

DIVA ESTATE LLC

CLIENT:

756 84 STREET
MIAMI BEACH, FL 33141

ADDRESS:

01.15.2020

ISSUED ON:

JOB No: 18001

NOTE:

THE ABOVE DRAWINGS, IDEAS, AND DESIGNS ARE THE PROPERTY OF CONTEMPORARY DESIGN STUDIO, INC. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OTHER THAN FOR THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

SEAL & SIGNATURE

EDUARDO A. VARGAS-FERNANDEZ, AIA
ARCHITECT

2103 CORAL WAY, SUITE 702
MIAMI, FL 33145
eduardo@cds-ape.com

CDS

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING

DESIGN REVIEW BOARD
City of Miami Beach, Florida

MEETING DATE: July 03, 2018
FILE NO: DRB18-0239
PROPERTY: 756 84th Street
APPLICANT: Diva Estate LLC.
LEGAL: Lot 7 of Block 7, of "Biscayne Beach Subdivision", according to Plat thereof as recorded in Plat Book 44, Page 67, of the Public Records of Miami-Dade County, Florida.
IN RE: The Application for Design Review Approval for the construction of a new five-story multifamily building on a vacant lot including mechanical parking and a variance to reduce the required width for driveway entrance and a variance to exempt the lobby stair from the requirement to be substantially transparent at the ground level.

ORDER

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

- I. Design Review
- A. The Board has jurisdiction pursuant to Section 118-252(a) of the Miami Beach Code. The property is not located within a designated local historic district and is not an individually designated historic site.
- B. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is inconsistent with Design Review Criteria 2—6, 9, 12, 16 and 19 in Section 118-251 of the Miami Beach Code.
- C. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is inconsistent with Sea Level Rise Criteria 1, 5 and 10 in Section 133-50(a) of the Miami Beach Code.
- D. The project would be consistent with the criteria and requirements of Section 118-251 and/or Section 133-50(a) if the following conditions are met:

1. The proposed use of mechanical parking lifts shall require the reivew and approval of the Planning Board, and shall comply with the requirements of the mechanical parking ordinance, including the further screening of the mechanical lifts in the parking area.
2. Revised elevation, site plan and floor plan drawings for the proposed residential building at 756 84th Street shall be submitted to and approved by staff; at a minimum, such drawings shall incorporate the following:
- a. The minimum clearance height of the parking garage shall be waived as proposed.
- b. In order to confirm the proposed FAR for the property, additional details and calculations shall be submitted at the time of the building permit, in a manner to be reviewed and approved by staff.
- c. The architect shall refine and revise the design of the stairwell tower on the north elevation to be substantially transparent along the sides on the ground floor, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the direction from the Board.
- d. The architect shall incorporate exterior surface materials to the stairwell tower, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the direction from the Board.
- e. A recycling plan shall be provided as part of the submittal for a demolition/building permit to the building department, in a manner to be reviewed and approved by staff.
- f. The final details of all exterior surface finishes and materials, including samples, shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- g. All window frames shall be composed of silver, white or natural color anodized aluminum frames. All windows shall consist of clear glass and incorporate the minimum tint required by the energy code, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- h. A properly architecturally designed automatic overhead garage gate shall be required for the parking garage. The final design details and material sample of the roll down/security door/gate located at the entrance of the garage of the property shall be submitted. the property shall be further studied and refined in design, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

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Handwritten signature

- i. All exterior handrails and support posts shall incorporate a flat profile. The final design details, dimensions material and color of all exterior handrails shall be made part of the building permit plans and shall be subject to the review and approval of staff consistent with the Design Review Criteria and/or the directions from the Board.
- j. The final color selection of the exterior stucco elements shall be subject to the review and approval of staff consistent with the Design Review Criteria and/or the directions from the Board.
- k. A copy of all pages of the recorded Final Order shall be scanned into the plans submitted for building permit, and shall be located immediately after the front cover page of the permit plans.
- l. Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.
3. A revised landscape plan, prepared by a Professional Landscape Architect, registered in the State of Florida, and corresponding site plan, shall be submitted to and approved by staff. The species type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plan shall incorporate the following:
- a. Prior to the issuance of a building permit, the applicant shall submit a tree protection plan for all trees to be retained on site. Such plan shall be subject to the review and approval of staff, and shall include, but not be limited to a sturdy tree protection fence installed at the dripline of the trees prior to any construction.
- b. In order to identify, protect and preserve mature trees on site, which are suitable for retention and relocation, a Tree Report prepared by a Certified Tree Arborist shall be submitted for the mature trees on site.
- c. Any tree identified to be in good overall condition shall be retained, and protected in their current location if they are not in conflict with the proposed home, or they shall be relocated on site, if determined feasible, subject to the review and approval of staff. A tree care and watering plan also prepared by a Certified Arborist shall be submitted prior to the issuance of a Building Permit or Tree Removal/Relocation Permit. Subsequent to any approved relocation, a monthly report prepared by a Certified Arborist shall be provided to staff describing the overall tree performance and adjustments to the maintenance plan in order to ensure survivability, such report shall continue for a period of 18 months unless determined otherwise by staff.
- d. Existing trees to be retained on site shall be protected from all types of construction disturbance. Root cutting, storage of soil or construction

- materials, movement of heavy vehicles, change in drainage patterns, and wash of concrete or other materials shall be prohibited.
- e. The amount of paving within the required front yard shall not be greater than 50% of the required front yard.
- f. The proposed landscape within the interior side yards (east and west) shall be further developed in order to provide a continuous landscape buffer with a minimum staggered height ranging from 12 feet to 18 feet at time of installation, that will adequately screen the massing of the proposed structure in order to mitigate the impact of the proposed structure on the neighboring property in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- g. The architect shall substantially increase the amount of native canopy shade trees within the site in the front (north) and south (rear) yards, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- h. A fully automatic irrigation system with 100% coverage and an automatic rain sensor in order to render the system inoperative in the event of rain. Right-of-way areas shall also be incorporated as part of the irrigation system.
- i. The utilization of root barriers and/or Silva Cells, as applicable, shall be clearly delineated on the revised landscape plan.
- j. The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all backflow preventors and all other related devices and fixtures. The location of backflow preventors, Siamese pipes or other related devices and fixtures, if any, and how they are screened with landscape material from the right-of-way, shall be clearly indicated on the site and landscape plans, and shall be subject to the review and approval of staff.
- k. The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all applicable FPL transformers or vault rooms. The location of any exterior transformers and how they are screened with landscape material from the right-of-way shall be clearly indicated on the site and landscape plans and shall be subject to the review and approval of staff.
- l. Prior to the issuance of a Certificate of Occupancy, the Landscape Architect or the project architect shall verify, in writing, that the project is consistent with the site and landscape plans approved by the Planning Department for Building Permit.

In accordance with Section 118-262, the applicant, or the city manager on behalf of the City Administration, or an affected person, Miami Design Preservation League or Dade Heritage Trust may seek review of any order of the Design Review Board by the City Commission, except that orders granting or denying a request for rehearing shall not be

reviewed by the Commission.

II. Variance(s)

- A. The applicant filed an application with the Planning Department for the following variance(s):

The following variance was approved by the Board:

1. A variance to reduce 2'-0" from the minimum required width of 12'-0" for driveway entrance in order to provide eight (8) parking spaces with a driveway entrance of 10'-0" in width.

The following variance was withdrawn by the applicant:

2. ~~A variance to eliminate the requirement that the stair in the building's main lobby be substantially transparent at the ground level.~~

- B. The applicant has submitted plans and documents with the application that satisfies Article 1, Section 2 of the Related Special Acts, as noted above, allowing the granting of a variance if the Board finds that practical difficulties exist with respect to implementing the proposed project at the subject property.

The applicant has submitted plans and documents with the application that the Board has concluded comply with the following hardship criteria, as they relate to the requirements of Section 118-353(d), Miami Beach City Code, as noted above.

That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;

That the special conditions and circumstances do not result from the action of the applicant;

That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;

That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;

That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or

otherwise detrimental to the public welfare; and

That the granting of this request is consistent with the comprehensive plan and does not reduce the levels of service as set forth in the plan.

- C. The Board hereby Approves the Variance request(s) no.1, and imposes the following conditions based on its authority in Section 118-354 of the Miami Beach City Code:

1. Substantial modifications to the plans submitted and approved as part of the application, as determined by the Planning Director or designee, may require the applicant to return to the Board for approval of the modified plans, even if the modifications do not affect variances approved by the Board.

The decision of the Board regarding variances shall be final and there shall be no further review thereof except by resort to a court of competent jurisdiction by petition for writ of certiorari.

III. General Terms and Conditions applying to both 'I. Design Review Approval' and 'II. Variances' noted above.

- A. The removal of parking spaces in front of the property shall be subject to review and approval of the Parking Department and Public Works Department.
- B. All new construction over 7,000 square feet shall be required to be, at a minimum, certified as LEED Gold by USGBC. In lieu of achieving LEED Gold certification, properties can elect to pay a sustainability fee, pursuant to Chapter 133 of the City Code. This fee is set as a percentage of the cost of construction.
- C. Site plan approval is contingent upon meeting Public School Concurrency requirements. Applicant shall obtain a valid School Concurrency Determination Certificate (Certificate) issued by the Miami-Dade County Public Schools. The Certificate shall state the number of seats reserved at each school level. In the event sufficient seats are not available, a proportionate share mitigation plan shall be incorporated into a tri-party development agreement and duly executed prior to the issuance of a Building Permit
- D. The final building plans shall meet all other requirements of the Land Development Regulations of the City Code.
- E. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
- F. Satisfaction of all conditions is required for the Planning Department to give its approval on a Certificate of Occupancy; a Temporary Certificate of Occupancy or Partial Certificate of Occupancy may also be conditionally granted Planning Departmental approval.
- G. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be

returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.

- H. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.
- I. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendations, which were amended and adopted by the Board, that the **application** is GRANTED for the above-referenced project subject to those certain conditions specified in Paragraph I, II, III of the Finding of Fact, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans, entitled "The Eighty 4", as prepared by **CDS Architecture and Planning** dated, 05/04/18, and supplemental sheets A-107, A-301-305, A-401 and A-901-904 (11 total) dated 07/02/18 and submitted as Exhibit A at the DRB hearing on 7/3/18, and as approved by the Design Review Board, as determined by staff.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions of approval that must be satisfied prior to permit issuance, as set forth in this Order, have been met.

The issuance of the approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including final zoning approval. If adequate handicapped access is not provided on the Board approved plans, this approval does not mean that such handicapped access is not required. When requesting Building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

If the Full Building Permit for the project is not issued within eighteen (18) months of the meeting date at which the original approval was granted, the application will expire and become null and void, unless the applicant makes an application to the Board for an extension of time, in accordance with the requirements and procedures of Chapter 118 of the City Code, the granting of any such extension of time shall be at the discretion of the Board. If the Full Building Permit for the project shall expire for any reason (including but not limited to construction not commencing and continuing, with required inspections, in accordance with the applicable Building Code), the application will expire and become null and void.

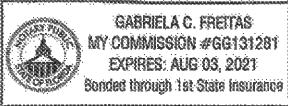
In accordance with Chapter 118 of the City Code, the violation of any conditions and safeguards that are a part of this Order shall be deemed a violation of the land development regulations of the City Code. Failure to comply with this **Order** shall subject the application to Chapter 118 of the City Code, for revocation or modification of the application.

Dated this 06 day of July, 2018.

DESIGN REVIEW BOARD
THE CITY OF MIAMI BEACH, FLORIDA

BY: [Signature]
JAMES G. MURPHY
CHIEF OF URBAN DESIGN
FOR THE CHAIR

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE) SS
The foregoing instrument was acknowledged before me this 6th day of July, 2018 by James G. Murphy, Chief of Urban Design, Planning Department, City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the Corporation. He is personally known to me.



NOTARY PUBLIC
Miami-Dade County, Florida
My commission expires: 8-3-21

Approved As To Form: [Signature] (7/6/18)
City Attorney's Office:

Filed with the Clerk of the Design Review Board on [Signature] (7/6/18)

F:\PLAN\DRB\DRB1807-03-2018\JUL 18 Final Orders\DRB18-0239 756 84th Street.JUL18.FO.docx

THE EIGHTY 4

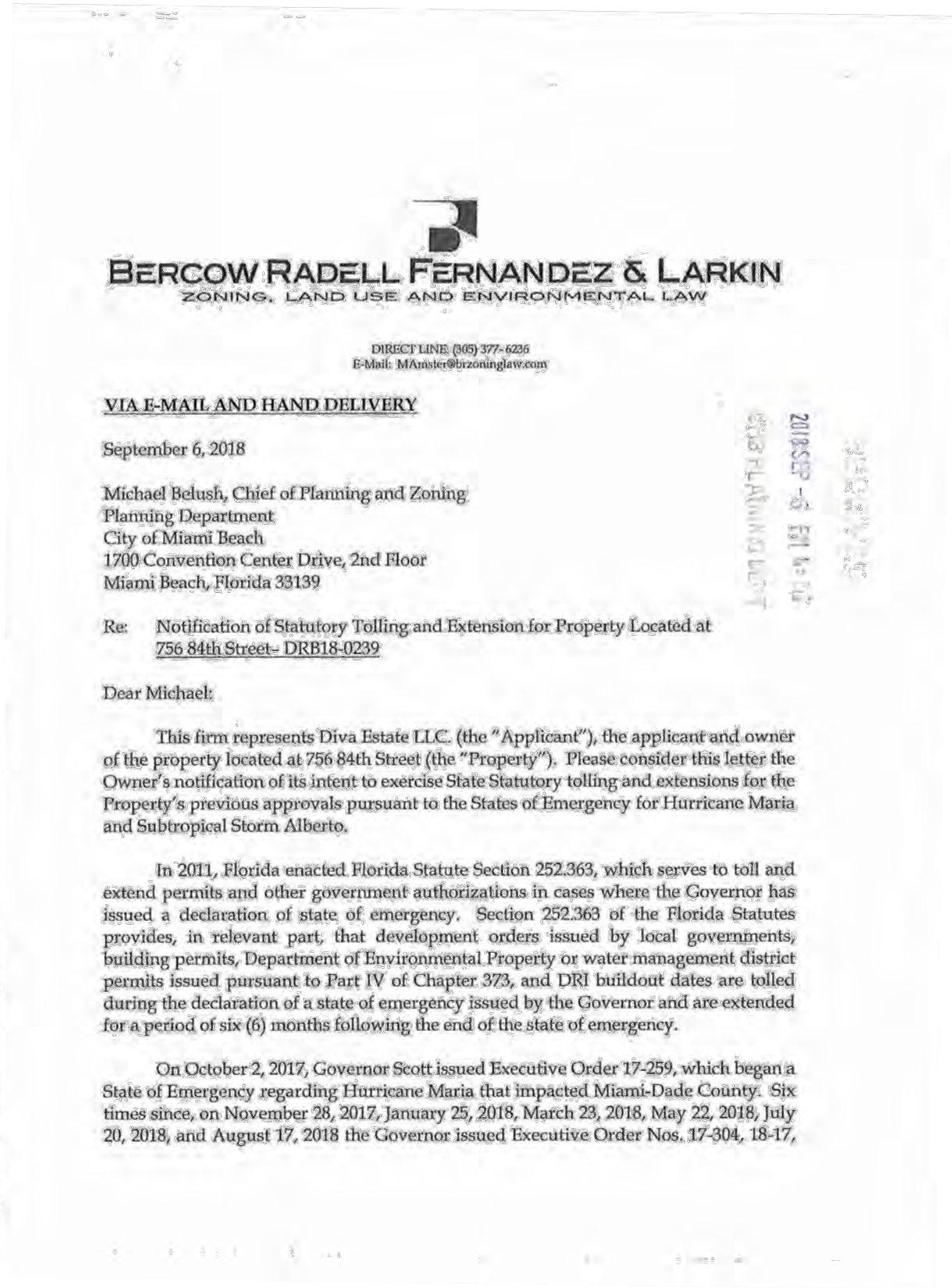
PROJECT: THE EIGHTY 4
CLIENT: DIVA ESTATE LLC
ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141
ISSUED ON: 01.15.2020

PREVIOUSLY APPROVED ORDER
DRB18-0239 (Continued)
N.T.S.
A-106

TITLE: PREVIOUSLY APPROVED ORDER
SCALE: N.T.S.
SHEET: A-106

SEAL & SIGNATURE
NOTE: THE ABOVE DRAWINGS, IDEAS, AND DESIGNS ARE THE PROPERTY OF CONTEMPORARY DESIGN STUDIO, INC. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OTHER THAN FOR THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING
CDS
2110 CORAL WAY, SUITE 722
MIAMI, FL 33146
407.598.0829
cds@cdsdp.com



Michael Belush, Chief of Planning and Zoning
September 6, 2018
Page 2

18-80, 18-135, 18-214, 18-236 respectively, to further extend the duration of the State of Emergency by 60 days each. Based on these extensions, **the current end date for the State of Emergency is October 16, 2018 (379 days from October 2, 2017).** Permits and development orders are therefore tolled during the State of Emergency and extended for six (6) months following the end of the State of Emergency. As you know, this tolling and extension is not limited by extensions granted under other legislation, nor is it required to run concurrently with any such previous extension.

Section 252.363(1)(b) of the Florida Statutes provides that “within 90 days after the termination of the emergency declaration, the holder of the permit or other authorization shall notify the issuing authority of the intent to exercise the tolling and extension granted.” As such, **the deadline to file an extension notification is presently January 14, 2019** (90 days from the end date of the State of Emergency).

During the time of the Hurricane Maria State of Emergency, On May 26, 2018, Governor Scott issued Executive Order 18-150, which began a State of Emergency regarding Subtropical Storm Alberto that impacted Miami-Dade County. Then on June 8, 2018, thirteen (13) days later, Governor Scott terminated the State of Emergency. Therefore, **the current end date for the State of Emergency was June 8, 2018 (13 days from May 26, 2018).** Permits and development orders are therefore tolled during the State of Emergency and extended for six (6) months following the end of the State of Emergency. As you know, this tolling and extension is not limited by extensions granted under other legislation, nor is it required to run concurrently with any such previous extension.

Section 252.363(1)(b) of the Florida Statutes provides that “within 90 days after the termination of the emergency declaration, the holder of the permit or other authorization shall notify the issuing authority of the intent to exercise the tolling and extension granted.” As such, **the deadline to file an extension notification is September 6, 2018** (90 days from the end date of the State of Emergency).

Please consider this letter to be our notification that the Owner will be availing themselves of the statutory tolling and extensions for approval(s) issued by the City for the above-referenced project. The Owner reserves the right to amend this notification in the event that the Governor further extends the State of Emergency and/or to notify the City of any other valid extensions.

THE EIGHTY 4

PREVIOUSLY
APPROVED
ORDER
EXTENSION

N.T.S.
A-107

REVISIONS:

PROJECT:

DIVA ESTATE LLC

CLIENT:

756 84 STREET
MIAMI BEACH, FL 33141

ADDRESS:

01.15.2020

ISSUED ON:

JOB No: 18001

NOTE:

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WITHOUT THE WRITTEN
CONSENT OF THE ARCHITECT.

SEAL & SIGNATURE

EDUARDO A. RODRIGUEZ FERNANDEZ, AIA
ARCHITECT

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING

CDS

2103 CORAL WAY, SUITE 722
MIAMI, FL 33145
eduardo@cds-apt.com

Michael Belush, Chief of Planning and Zoning
September 6, 2018
Page 3

Design Review Board	DRB18-0239
Approval Date	7/3/2018
Original Expiration Date (including any previously requested extensions)	1/3/2020
Hurricane Maria (plus 105 days)* (plus 6 months)	4/16/2020 10/16/2020
Subtropical Storm Alberto (plus 0 days)* (plus 6 months)	4/16/2021
New Expiration Date	4/16/2021

The Owner intends to use the tolling and extensions to extend the time period in which to obtain a full building permit, pursuant to the requirements of the above-noted development orders. The Owner expects to have the building permit issue within the period of extensions and anticipates acting on the above approval within that period. Thank you for your attention to this matter. If you have any questions or concerns, please contact me at (305) 377-6236.

Sincerely,

 for
Matthew Amster

* The number of days takes into consideration the overlap between Emergencies.

THE EIGHTY 4

PREVIOUSLY
APPROVED
ORDER
EXTENSION
(Continued)

SCALE: N.T.S.

A-108

PROJECT:

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

REVISIONS:

SEAL & SIGNATURE

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JOB No: 18001

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING



2102 CORAL WAY, SUITE 722
MIAMI, FL 33145
info@cdsdesign.com

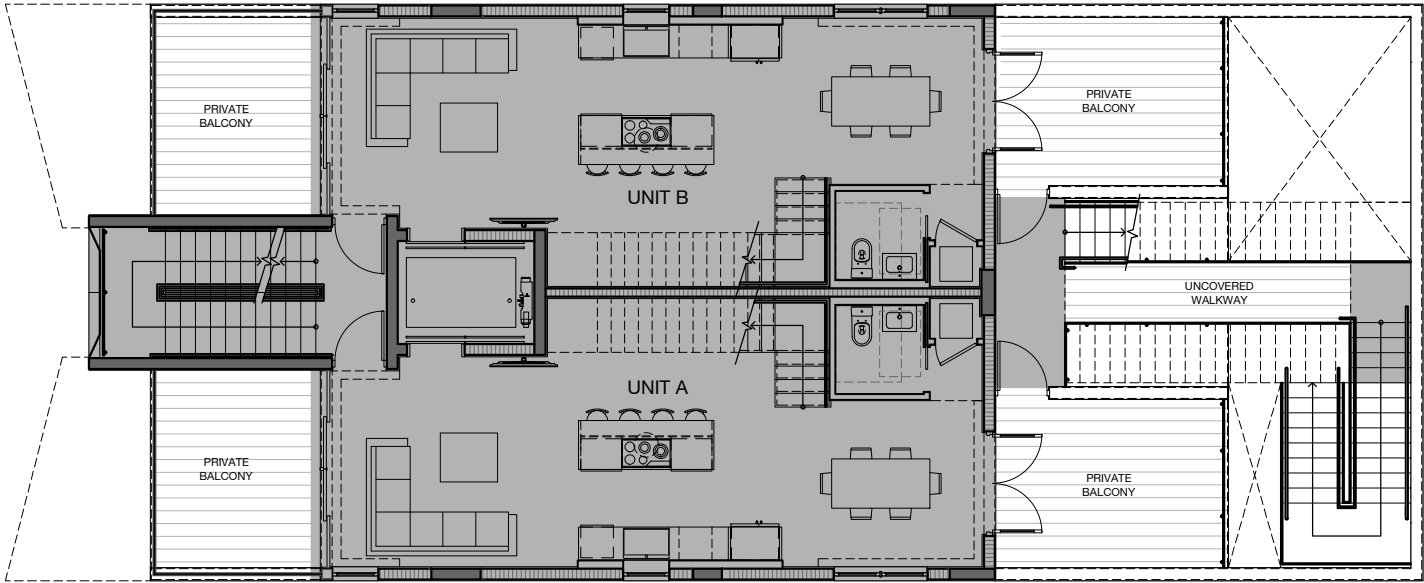
EDUARDO A. RODRIGUEZ-ARREAGA
ARCHITECT



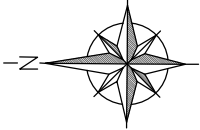
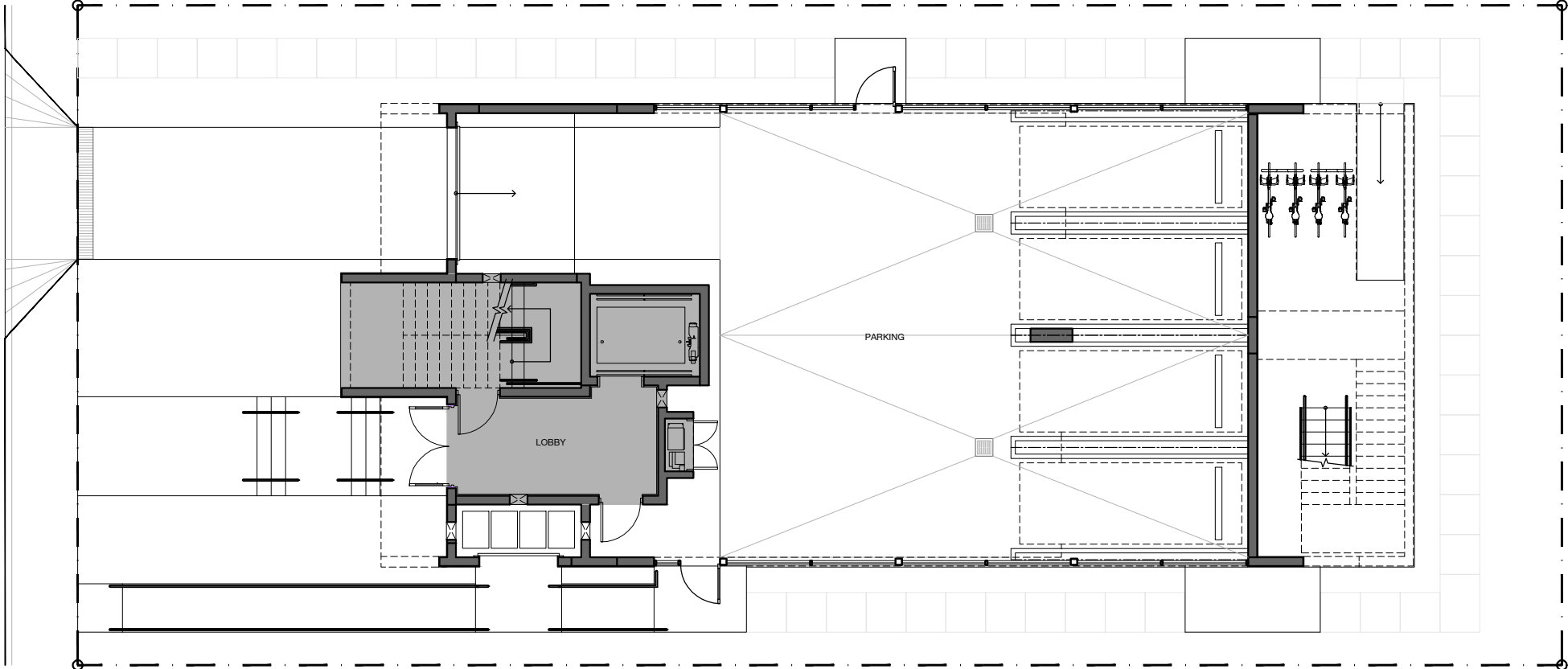
PREVIOUSLY APPROVED FLOOR AREA CALCULATION

0 2 4 8 FT

SECOND FLOOR : 1,661.3 SF



GROUND FLOOR : 395.0 SF



TITLE: PREVIOUSLY APPROVED FLOOR AREA CALCULATION

SCALE: 3/16"=1'-0"

SHEET:

REVISIONS:

PROJECT: THE EIGHTY 4

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

NOTE:

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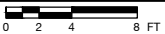
SEAL & SIGNATURE

JOB No: 18001

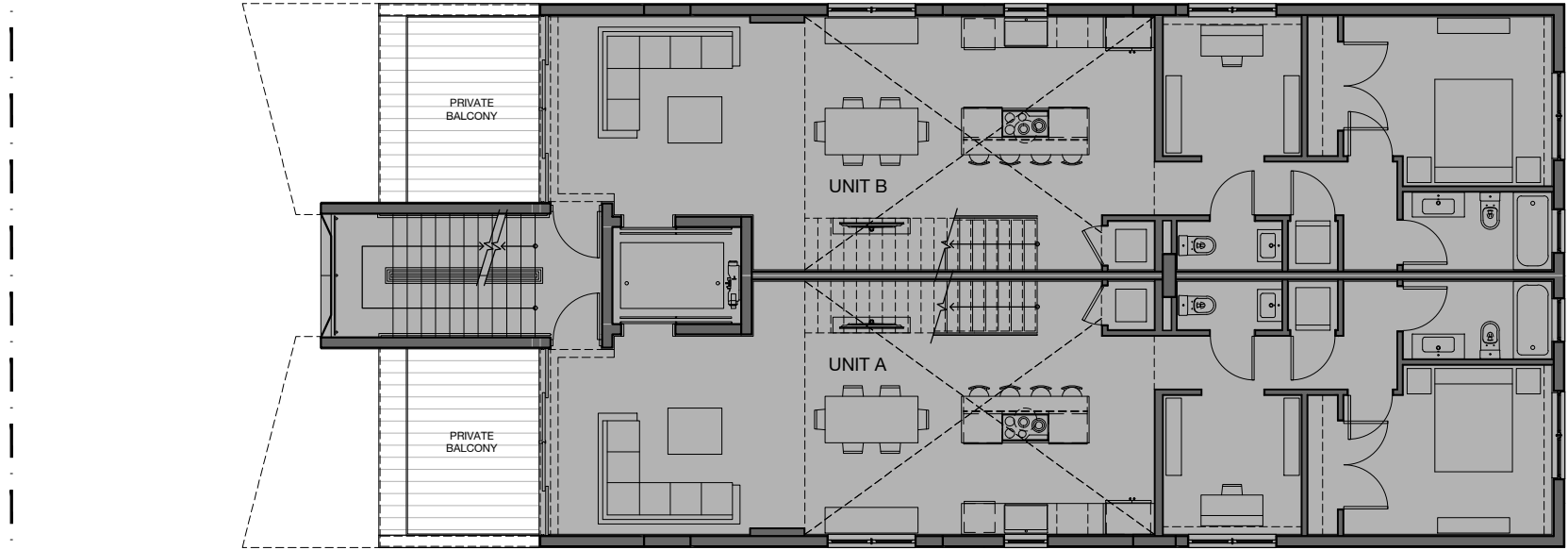
EDUARDO A. PARRA-REINARDOZ, AIA
ARCHITECT

CDS

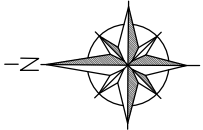
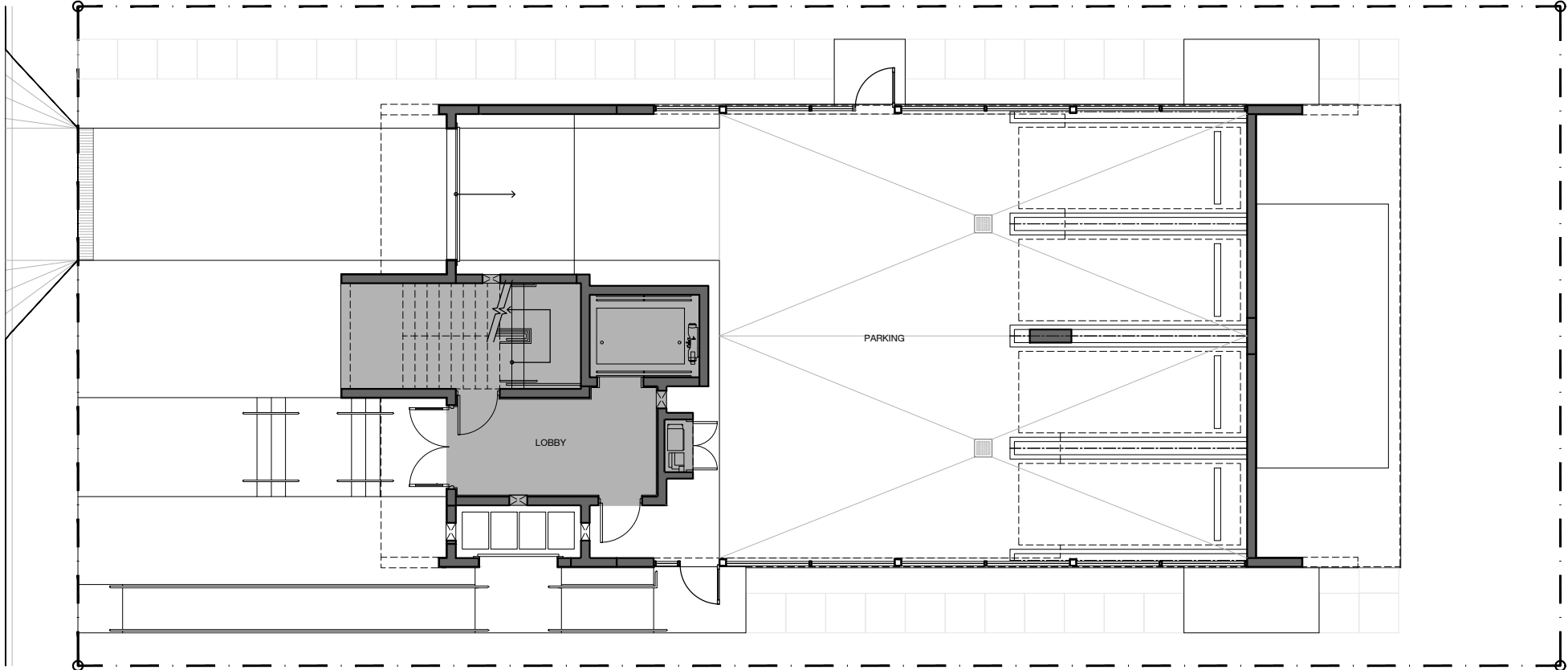
2110 CORAL WAY, SUITE 722
MIAMI, FL 33146
eduardo@cds-isp.com



SECOND FLOOR : 2,448.0 SF



GROUND FLOOR : 395.0 SF



TITLE:

NEWLY
PROPOSED
FLOOR AREA
CALCULATION

REVISIONS:

PROJECT:

THE EIGHTY 4

SCALE: 3/16"=1'-0"

SHEET:

A-201a

CLIENT:

DIVA ESTATE LLC

ADDRESS:

756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON:

01.15.2020

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SEAL & SIGNATURE

EDUARDO A. RODRIGUEZ, AIA
ARCHITECT

JOB No: 18001

CDS

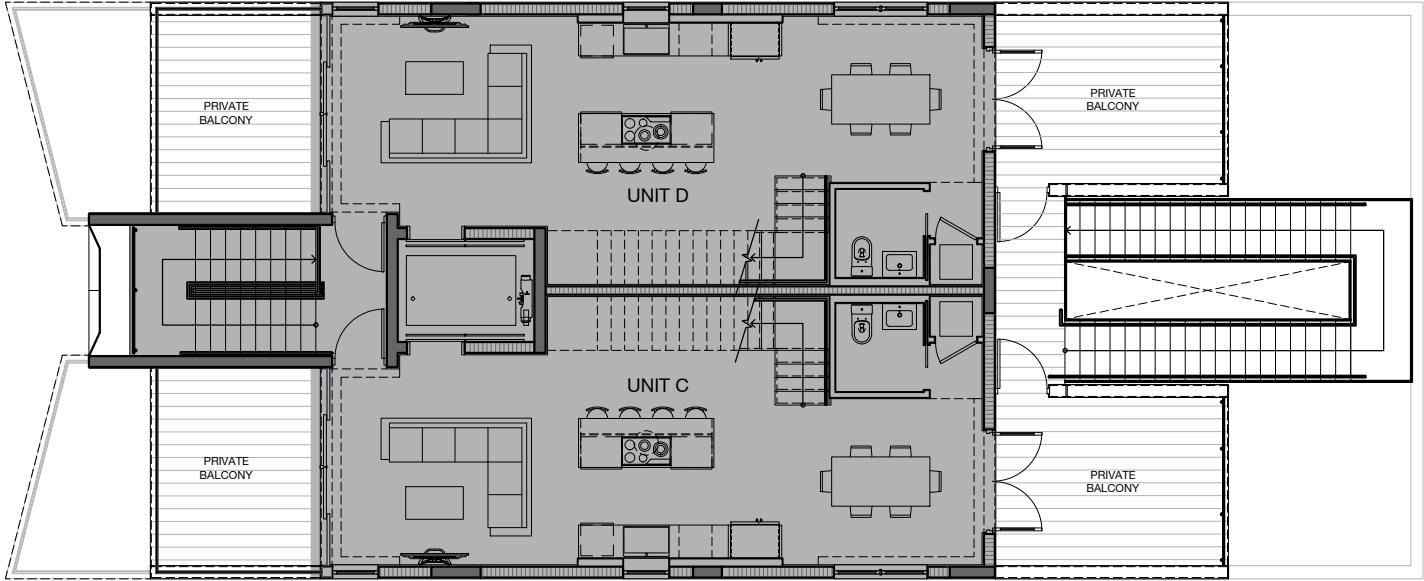
CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING
2103 CORAL WAY, SUITE 722
MIAMI, FL 33145
eduardo@cds-ny.com



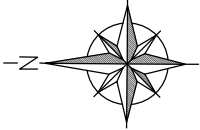
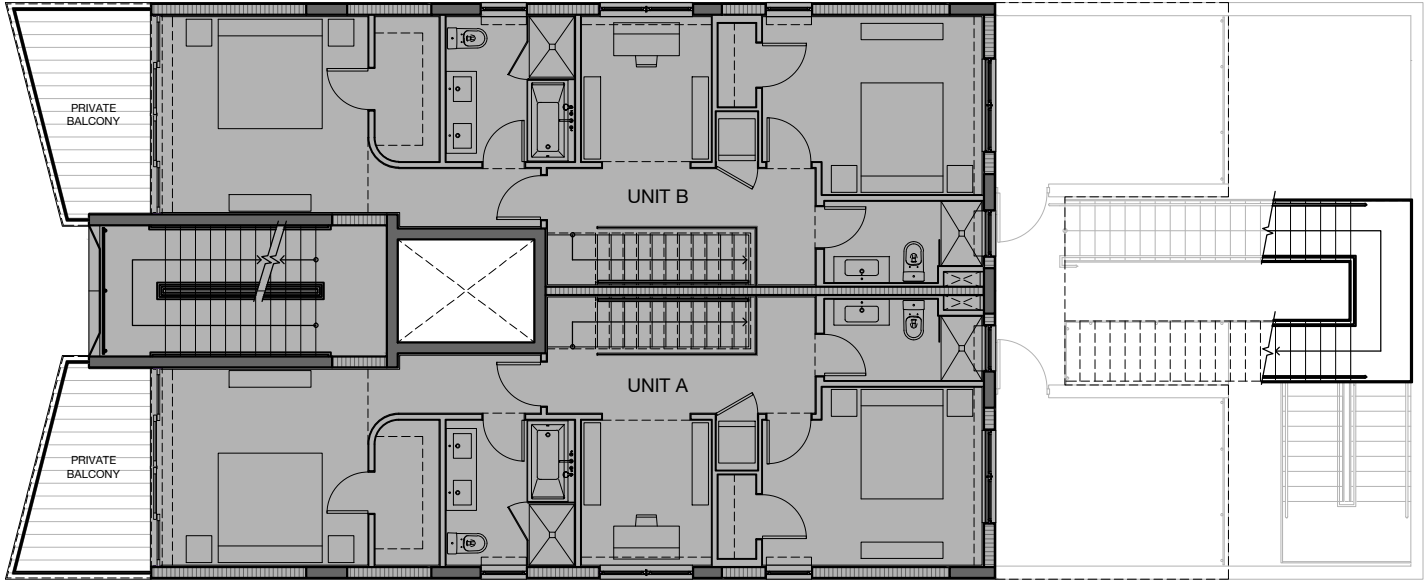
PREVIOUSLY APPROVED FLOOR AREA CALCULATION

0 2 4 8 FT

FOURTH FLOOR : 1,561.6 SF



THIRD FLOOR : 1,783.0 SF



TITLE: PREVIOUSLY APPROVED FLOOR AREA CALCULATION

SCALE: 3/16"=1'-0"

SHEET:

REVISIONS:

PROJECT: THE EIGHTY 4

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

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SEAL & SIGNATURE

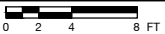
JOB No: 18001

EDUARDO A. PARRA-REINARDOZ, AIA
A000482

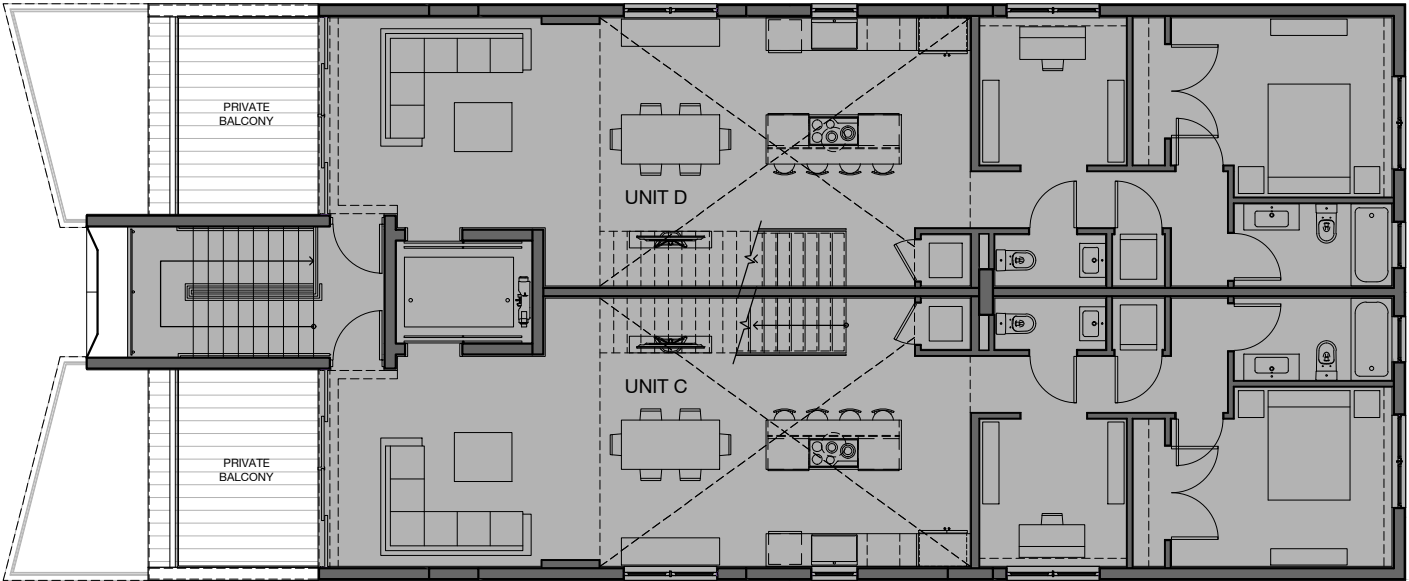
2110 CORAL WAY, SUITE 722
MIAMI, FL 33146
eduardo@cds-isp.com

CDS

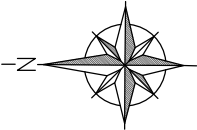
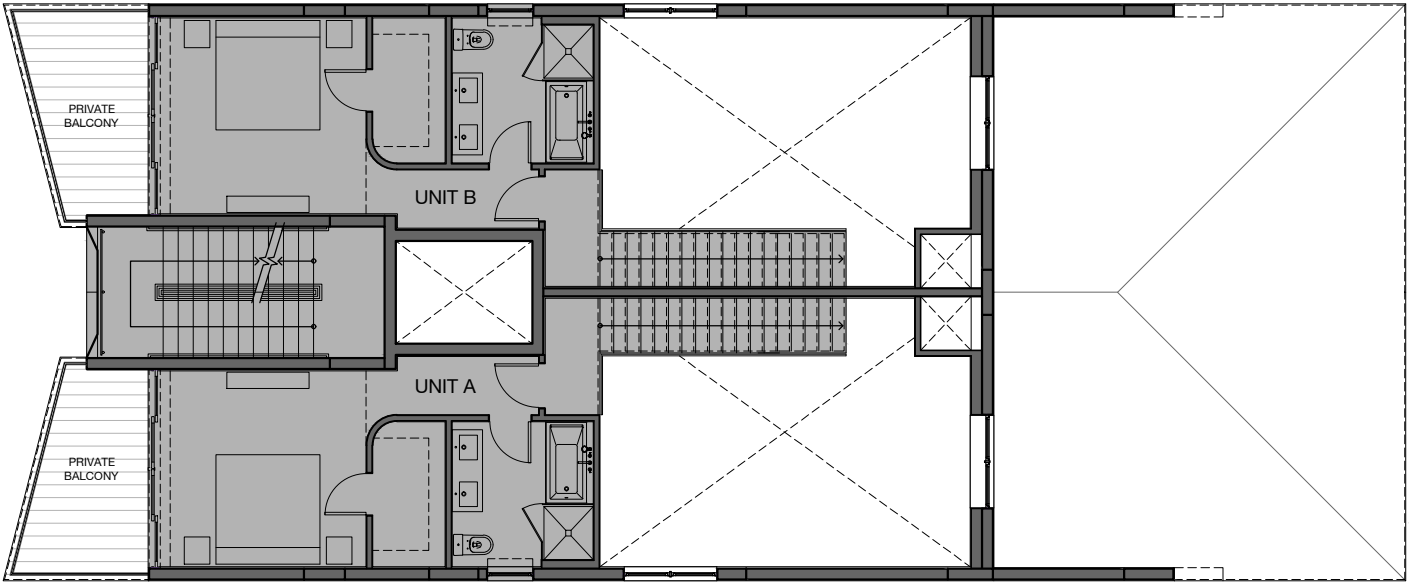
CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING



THIRD FLOOR : 2,424.4 SF



SECOND FLOOR'S MEZZANINE : 943.4 SF



TITLE:

NEWLY
PROPOSED
FLOOR AREA
CALCULATION

REVISIONS:

PROJECT: THE EIGHTY 4

SCALE: 3/16"=1'-0"

SHEET:

A-202a

CLIENT:

DIVA ESTATE LLC

ADDRESS:

756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON:

01.15.2020

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SEAL & SIGNATURE

EDUARDO A. RODRIGUEZ, AIA
ARCHITECT

JOB No: 18001

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING

CDS

2103 CORAL WAY, SUITE 722
MIAMI, FL 33145
eduardo@cds-apt.com



PREVIOUSLY APPROVED FLOOR AREA CALCULATION

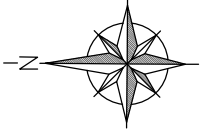
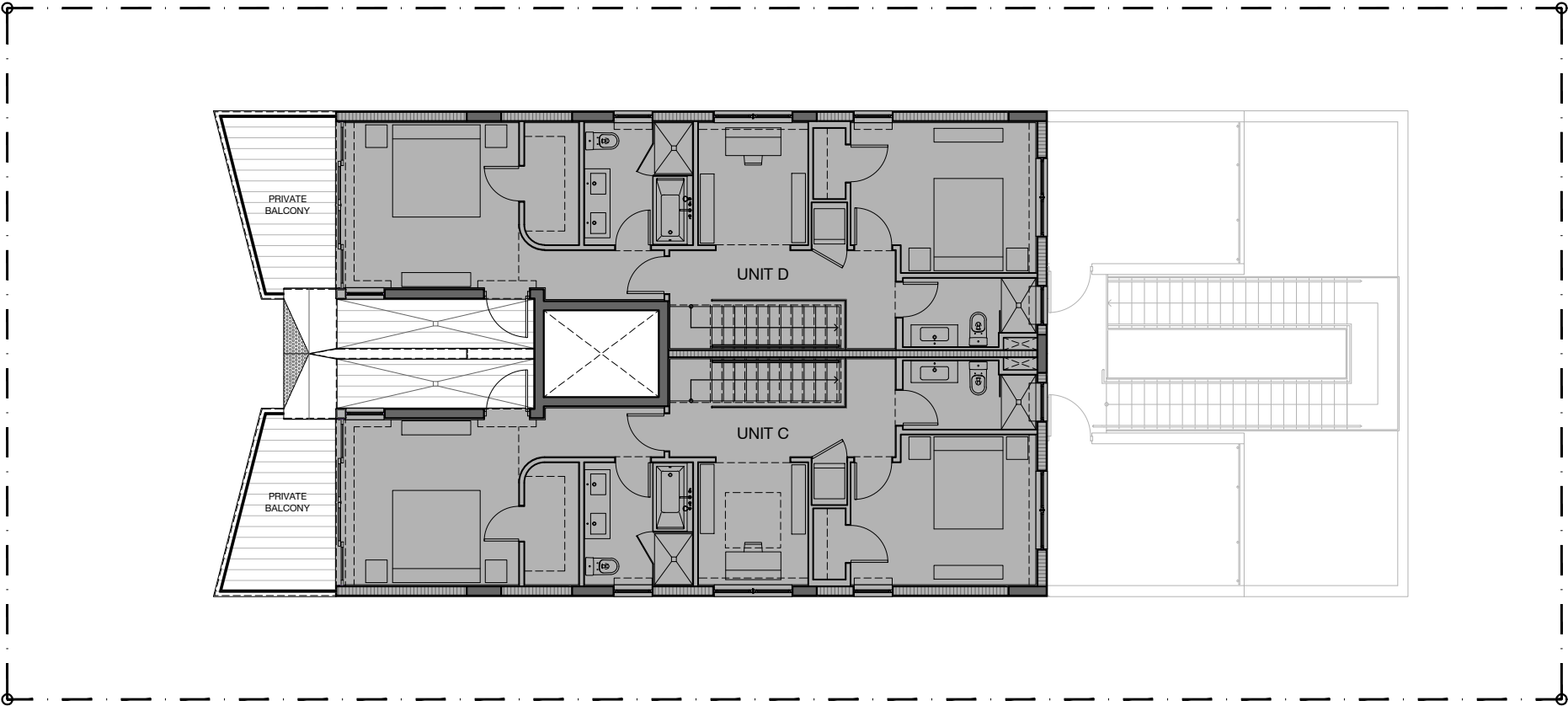


MAXIMUM ALLOWED FAR: 7,031.25 SF (112.5 Ft x 50 Ft x 1.25)

FLOOR AREA CALCULATION

GROUND FLOOR:	395.0 SF
SECOND FLOOR:	1,661.3 SF
THIRD FLOOR:	1,783.0 SF
FOURTH FLOOR:	1,561.6 SF
FIFTH FLOOR:	1,628.3 SF
TOTAL:	7,029.2 SF

FIFTH FLOOR : 1,628.3 SF



TITLE: PREVIOUSLY APPROVED FLOOR AREA CALCULATION

SCALE: 3/16"=1'-0"

SHEET: A-203

PROJECT: THE EIGHTY 4

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

JOB No: 18001

SEAL & SIGNATURE

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EDUARDO A. PARRA-REINANDEZ, AIA
A000482

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING

CDS

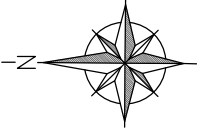
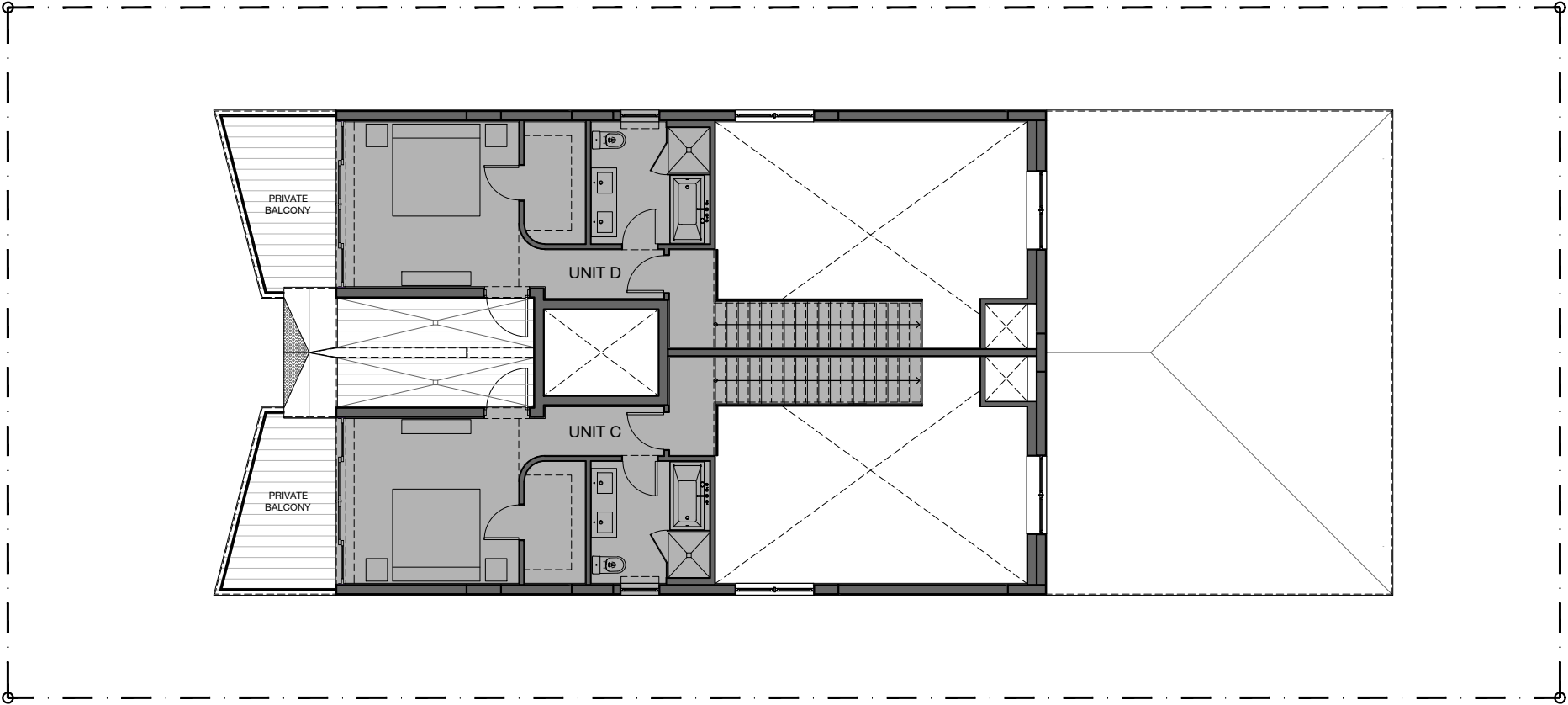
2110 CORAL WAY, SUITE 722
MIAMI, FL 33146
eduardo@cds-ny.com



FLOOR AREA CALCULATION	
GROUND FLOOR:	395.0 SF
SECOND FLOOR:	2,448.0 SF
SECOND FLOOR MEZZANINE:	943.4 SF
THIRD FLOOR:	2,424.4 SF
THIRD FLOOR MEZZANINE:	788.8 SF
TOTAL:	6,999.6 SF

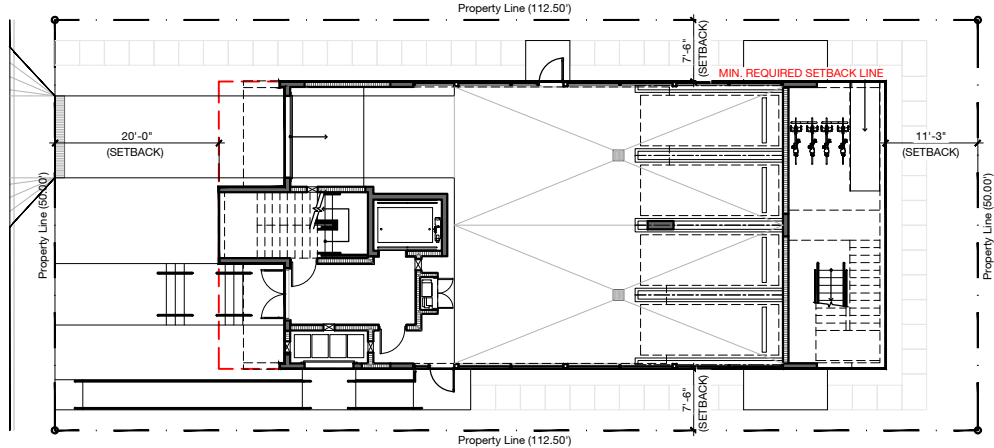
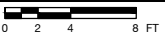
MAXIMUM ALLOWED FAR: 7,031.25 SF (112.5 Ft x 50 Ft x 1.25)

THIRD FLOOR'S MEZZANINE: 788.8 SF

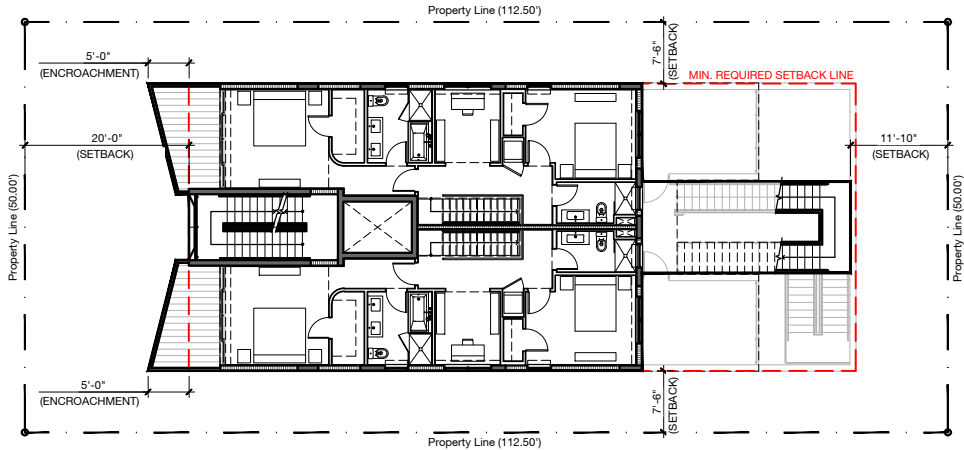




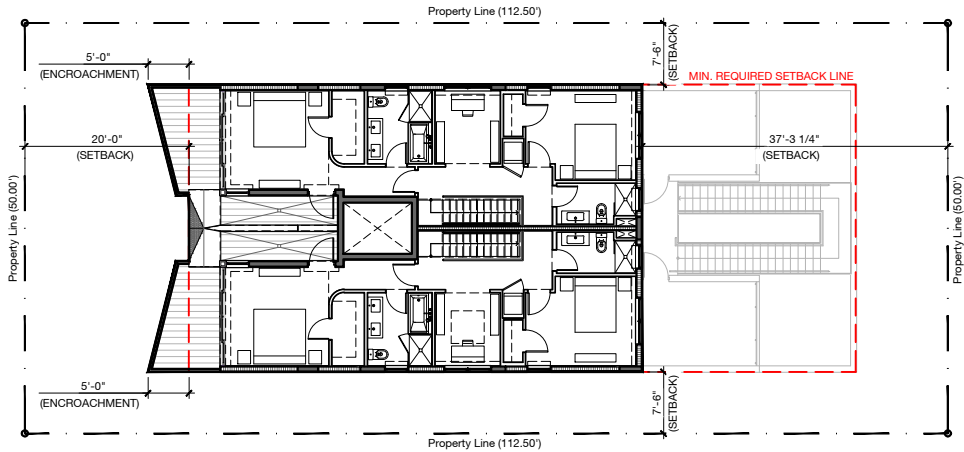
PREVIOUSLY APPROVED SETBACKS AND BALCONY PROJECTIONS



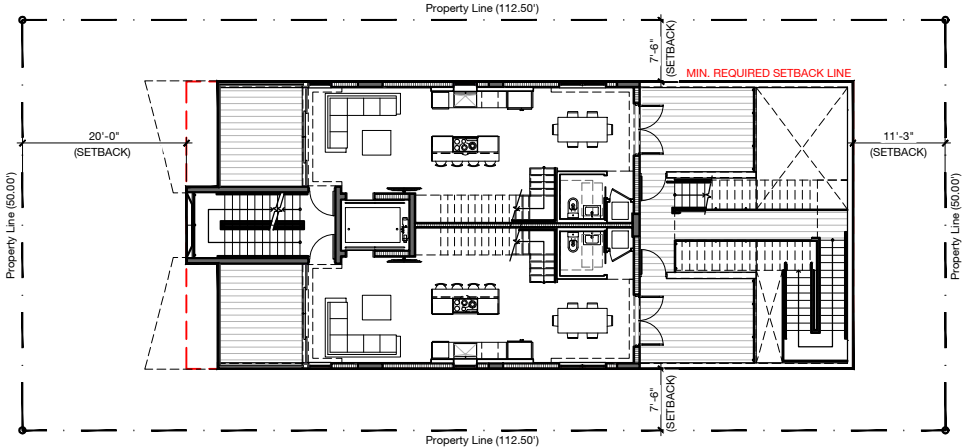
GROUND FLOOR



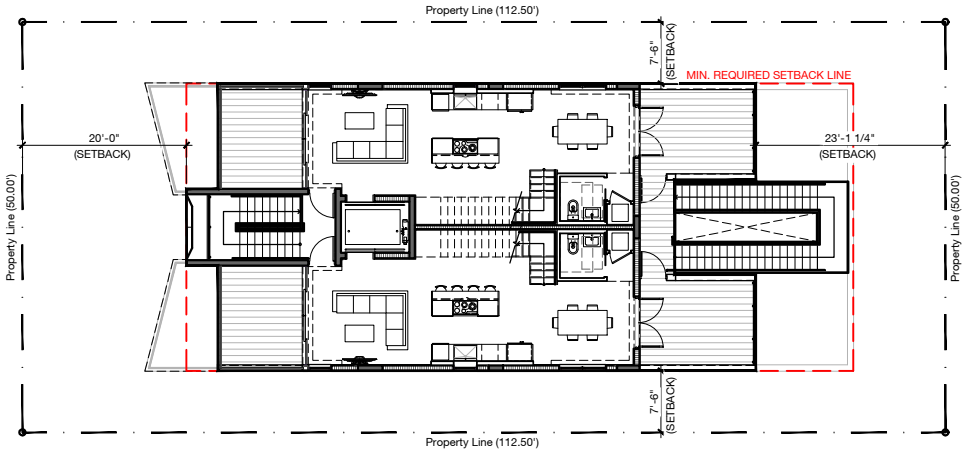
THIRD FLOOR



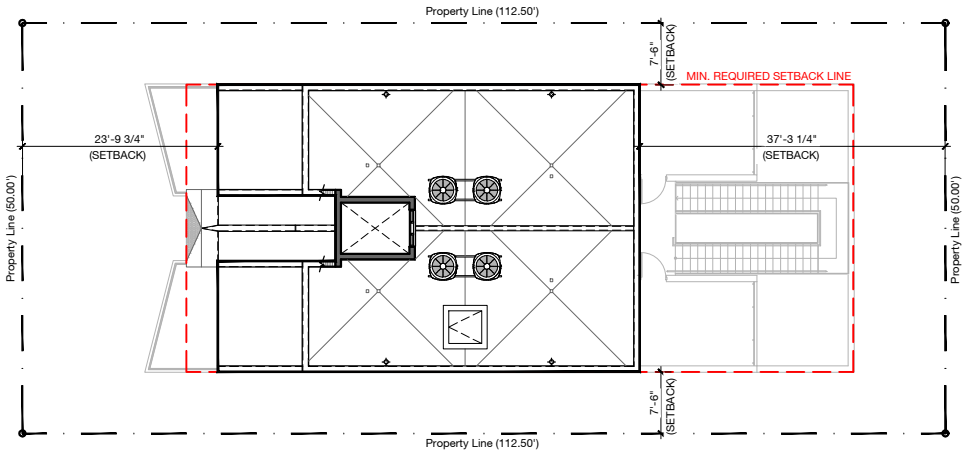
FIFTH FLOOR



SECOND FLOOR



FOURTH FLOOR



ROOF

TITLE:

PREVIOUSLY
APPROVED
SETBACKS AND
BALCONY
PROJECTIONS

SCALE:

3/16"=1'-0"

SHEET:

A-204

PROJECT:

THE EIGHTY 4

CLIENT:

DIVA ESTATE LLC

ADDRESS:

756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON:

01.15.2020

JOB No: 18001

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SEAL & SIGNATURE

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING

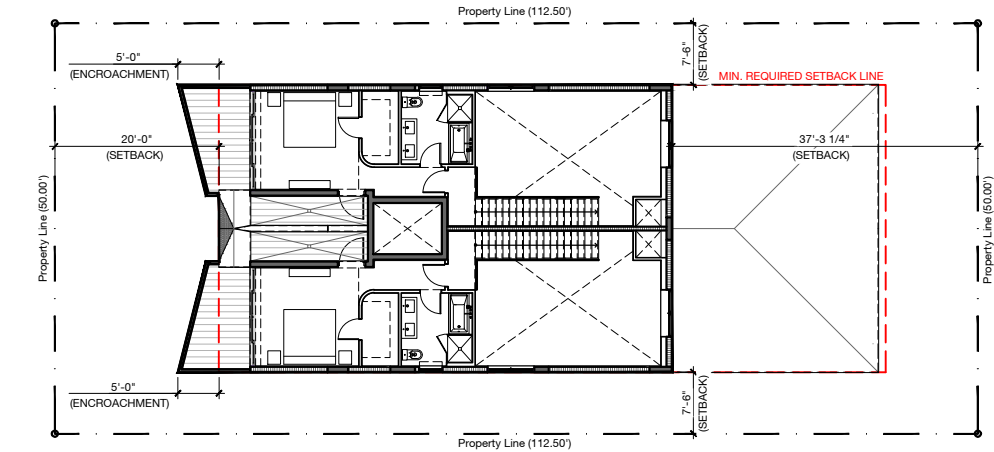
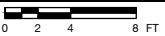
CDS

EDUARDO A. PARRA-REINARDO, AIA
A000482

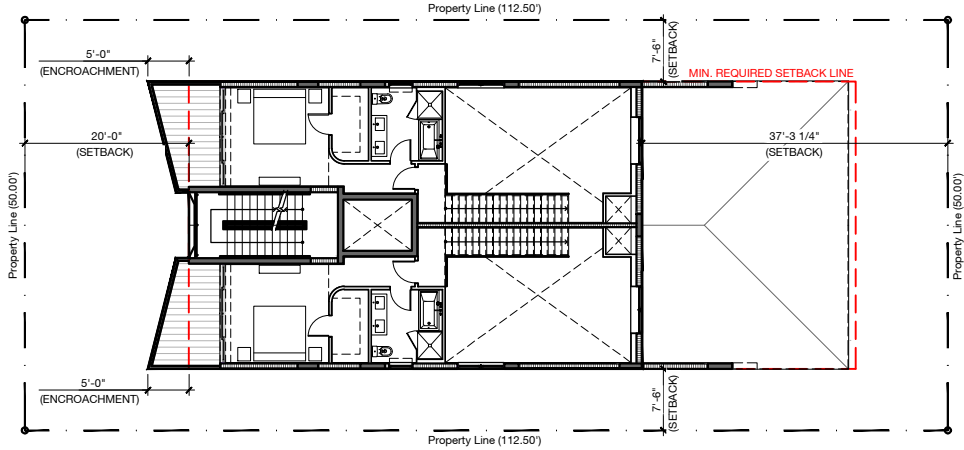
2110 CORAL WAY, SUITE 722
MIAMI, FL 33146
eduardo@cds-tp.com



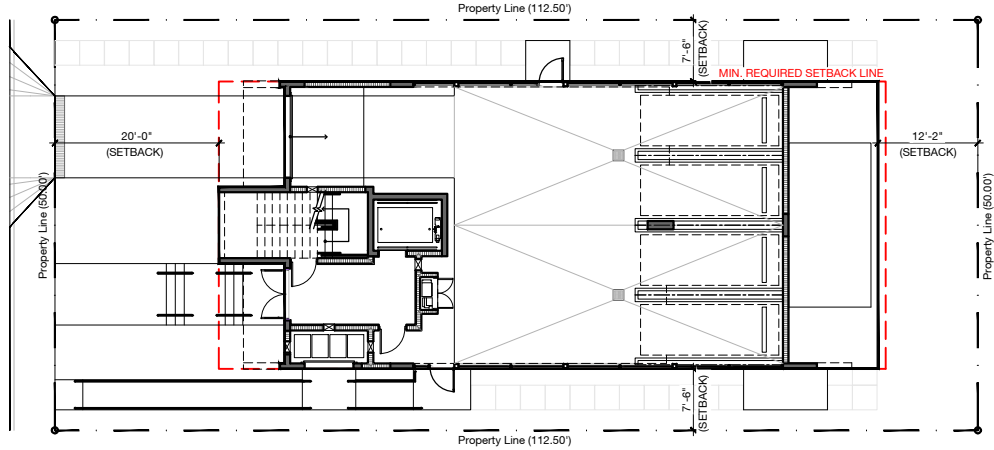
NEWLY PROPOSED SETBACKS AND BALCONY PROJECTIONS



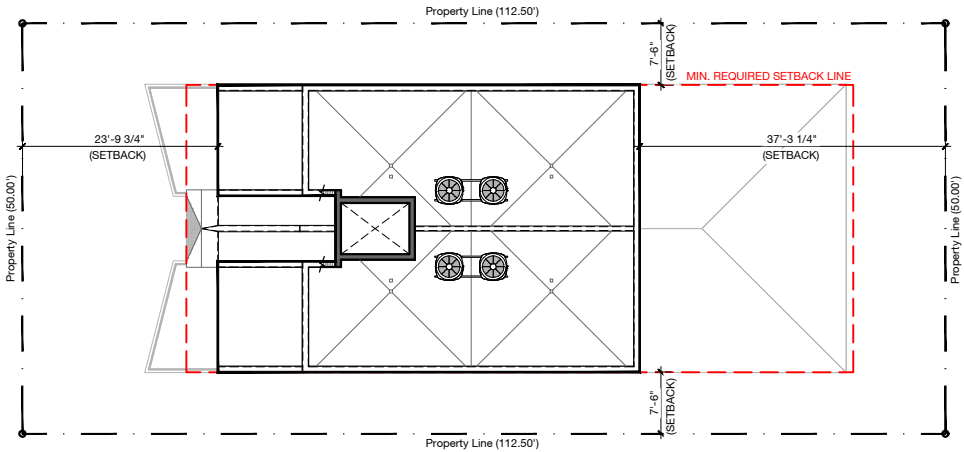
THIRD FLOOR'S MEZZANINE



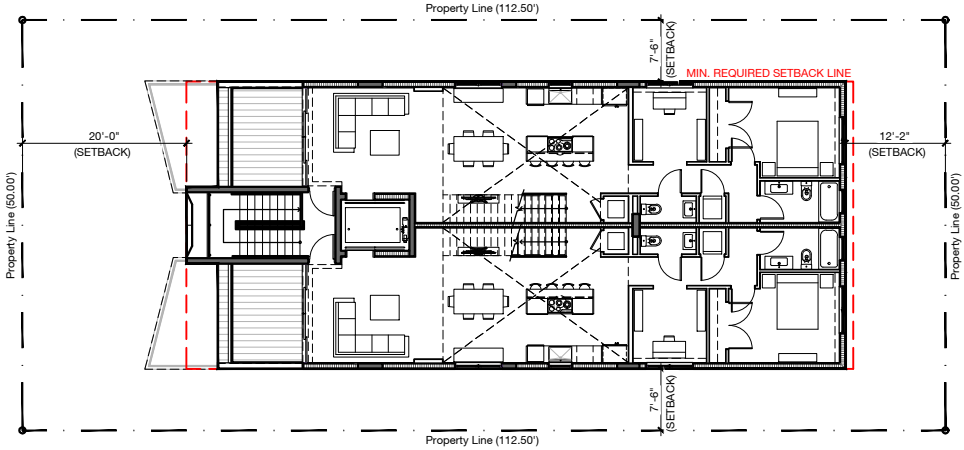
SECOND FLOOR'S MEZZANINE



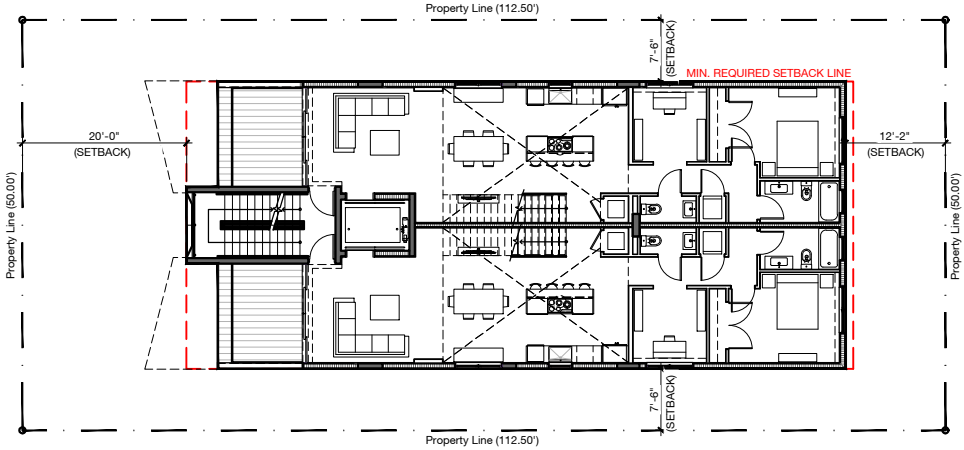
GROUND FLOOR



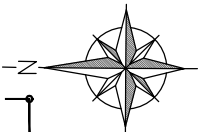
ROOF



THIRD FLOOR



SECOND FLOOR



TITLE:

NEWLY
PROPOSED
SETBACKS AND
BALCONY
PROJECTIONS

SCALE:

3/16"=1'-0"

SHEET:

A-204a

REVISIONS:

PROJECT: THE EIGHTY 4

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

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SEAL & SIGNATURE

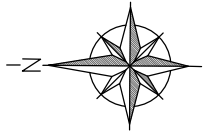
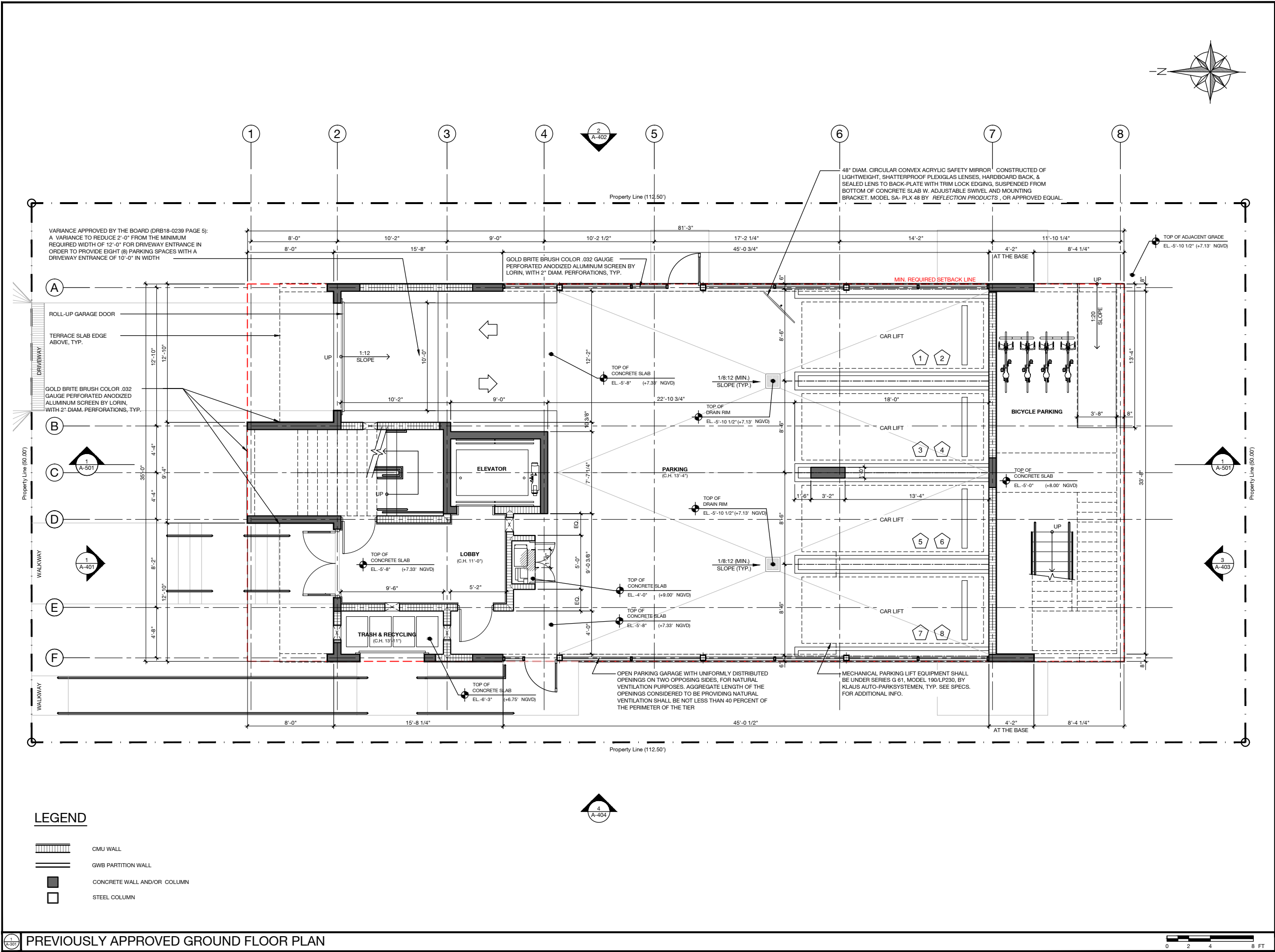
JOB No: 18001

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING

CDS

2110 CORAL WAY, SUITE 722
MIAMI, FL 33146
eduardo@cds-ny.com

EDUARDO A. PARDO, ARCHITECT, AIA
18001



CONTAMPOREY DESIGN STUDIO
ARCHITECTURE AND PLANNING

CDS

2110 CORAL WAY, SUITE 722
MIAMI, FL 33146
info@cddesign-studio.com

SEAL & SIGNATURE

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CONSENT OF THE ARCHITECT.

EDUARDO A. PARRA-BERNARDEZ, AIA
A000482

JOB No: 18001

TITLE: PREVIOUSLY
APPROVED
GROUND
FLOOR PLAN

REVISIONS:

PROJECT: THE EIGHTY 4

CLIENT: DIVA ESTATE LLC

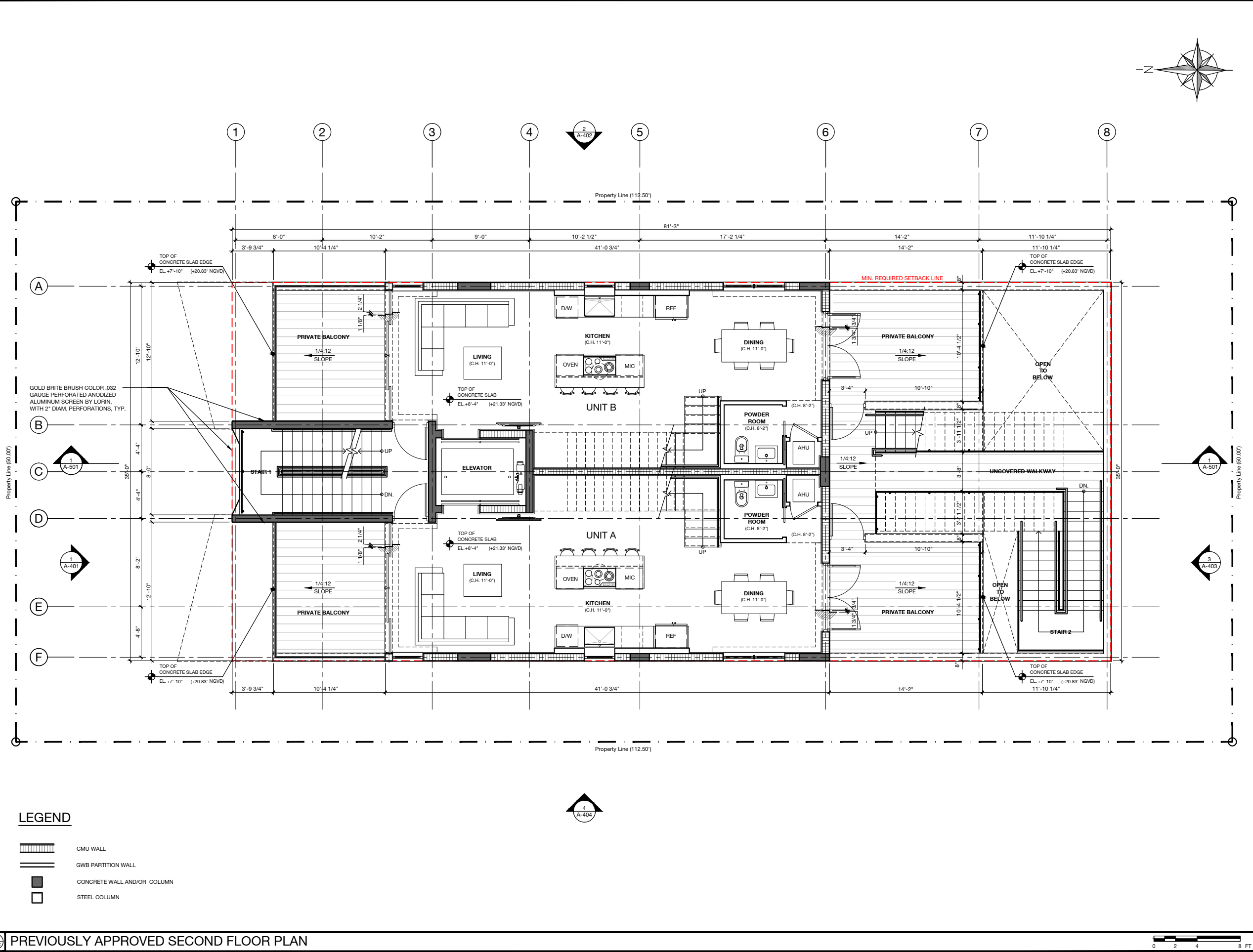
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MIAMI BEACH, FL 33141

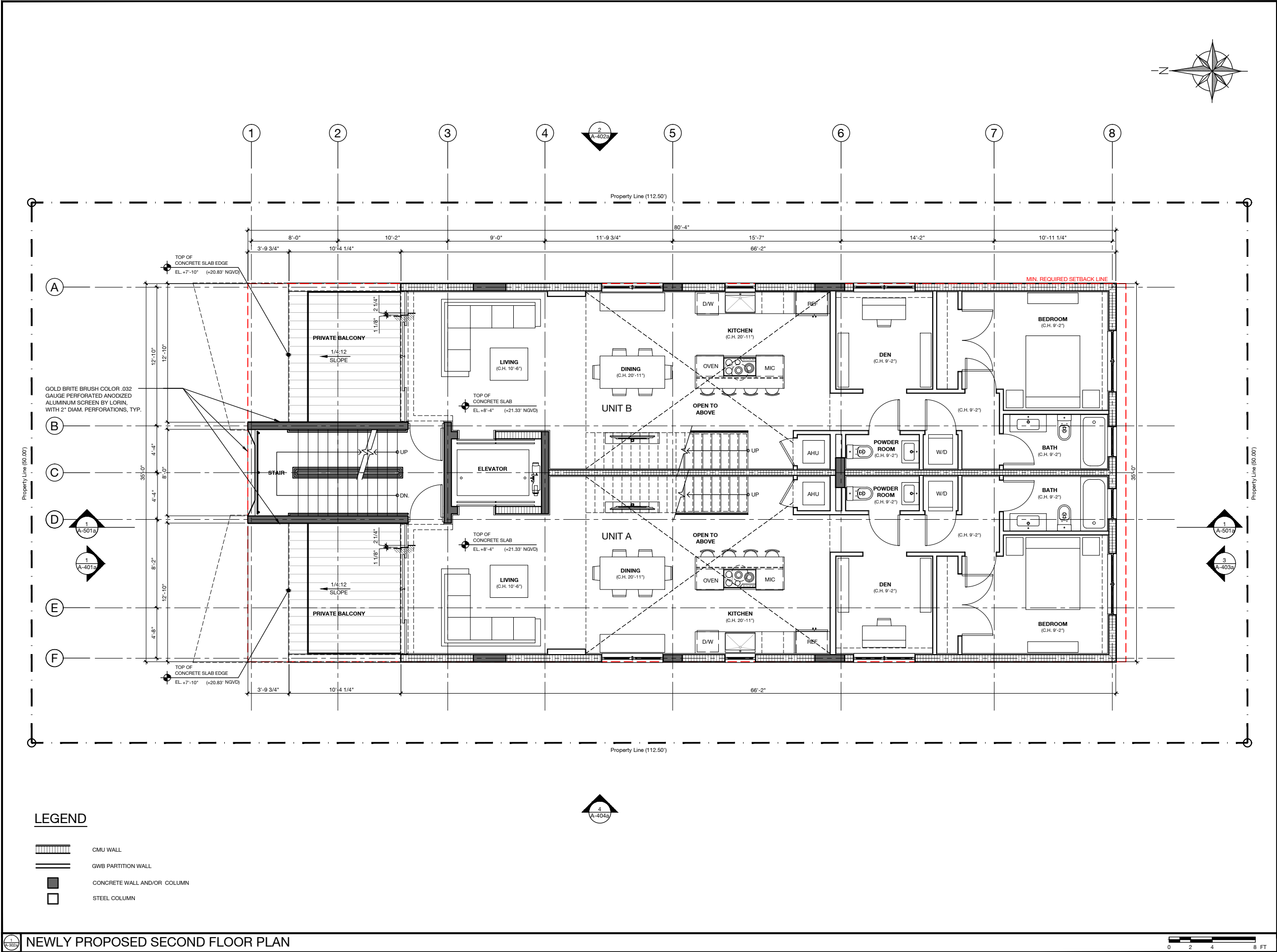
ISSUED ON: 01.15.2020

SCALE: 1/4"=1'-0"

SHEET: A-301







THE EIGHTY 4

NEWLY PROPOSED SECOND FLOOR PLAN

A-302a

PROJECT:

CLIENT:

ADDRESS:

ISSUED ON:

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SEAL & SIGNATURE

EDUARDO A. PARRA-BERNARDEZ, AIA
ARCHITECT

REVISIONS:

1/4"=1'-0"

SCALE:

1/4"=1'-0"

SCALE:

1/4"=1'-0"

SCALE:

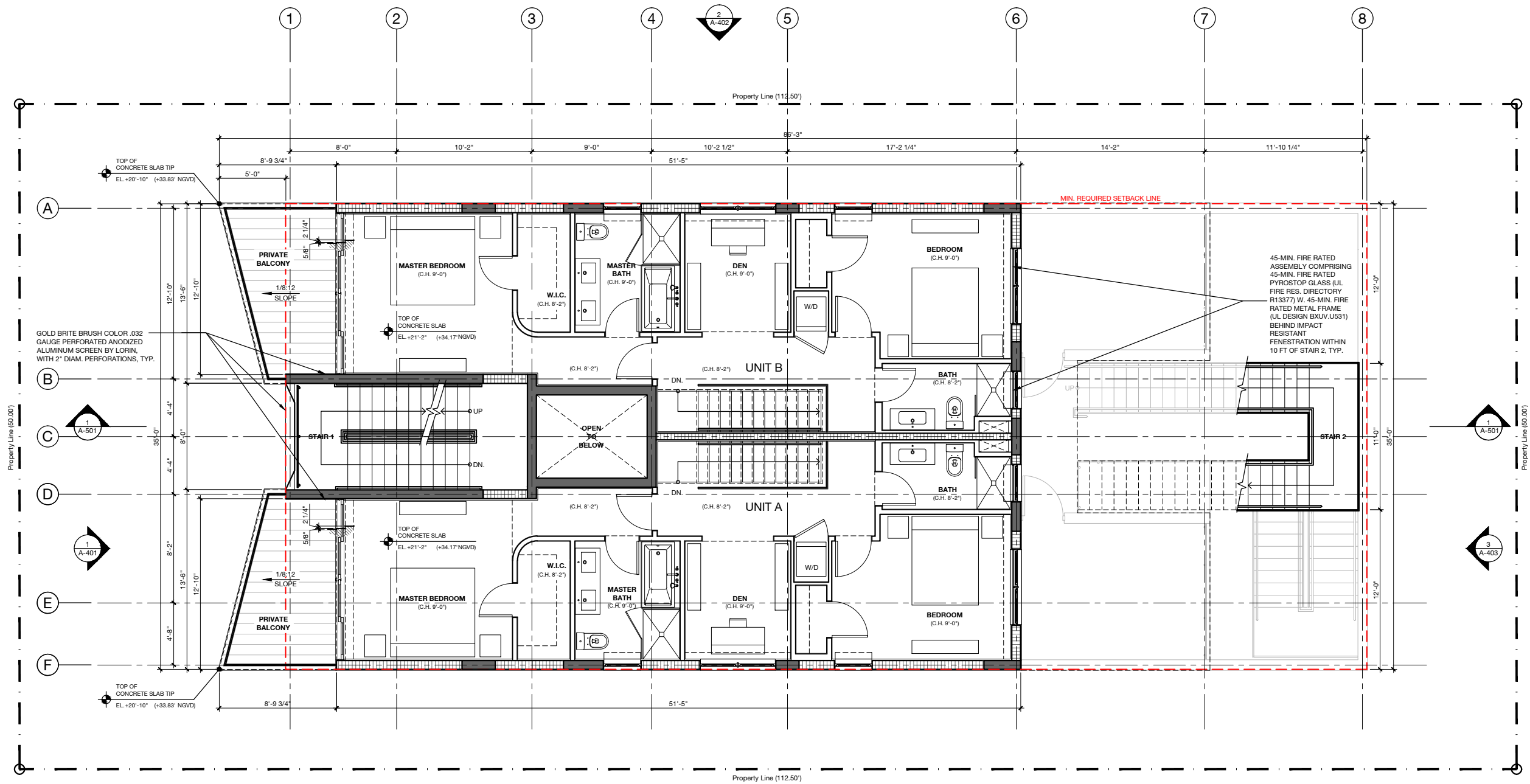
1/4"=1'-0"

18001

JOB No:

2100 CORAL WAY, SUITE 722
MIAMI, FL 33146
eduardo@cds-10.com

CDS



	CMU WALL
	GWB PARTITION WALL
	CONCRETE WALL AND/OR COLUMN
	STEEL COLUMN

PREVIOUSLY APPROVED THIRD FLOOR PLAN

TITLE: PREVIOUSLY APPROVED THIRD FLOOR PLAN

NOTE: THE ABOVE DRAWINGS, IDEAS, AND DESIGNS ARE THE PROPERTY OF CONTEMPORARY DESIGN STUDIO, INC. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OTHER THAN FOR THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

SCALE: $1/4"=1'-0"$

A-303

SHEET:

JOB No: 18001

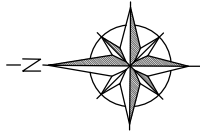
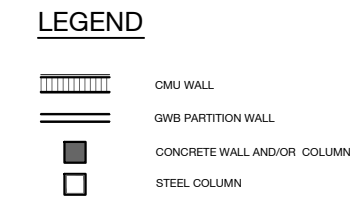
SEAL & SIGNATURE

CONTEMPORARY DESIGN STUDIO
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SDC

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305.300.7438
eduardo@cdis-ap.com

EDUARDO A. PARDO-FERNANDEZ, AJA



NEWLY
PROPOSED
SECOND FLOOR'S
MEZZANINE PLAN

SEAL & SIGNATURE

NOTE:

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DIVA ESTATE LLC

CLIENT:

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ADDRESS: 756 84 ST

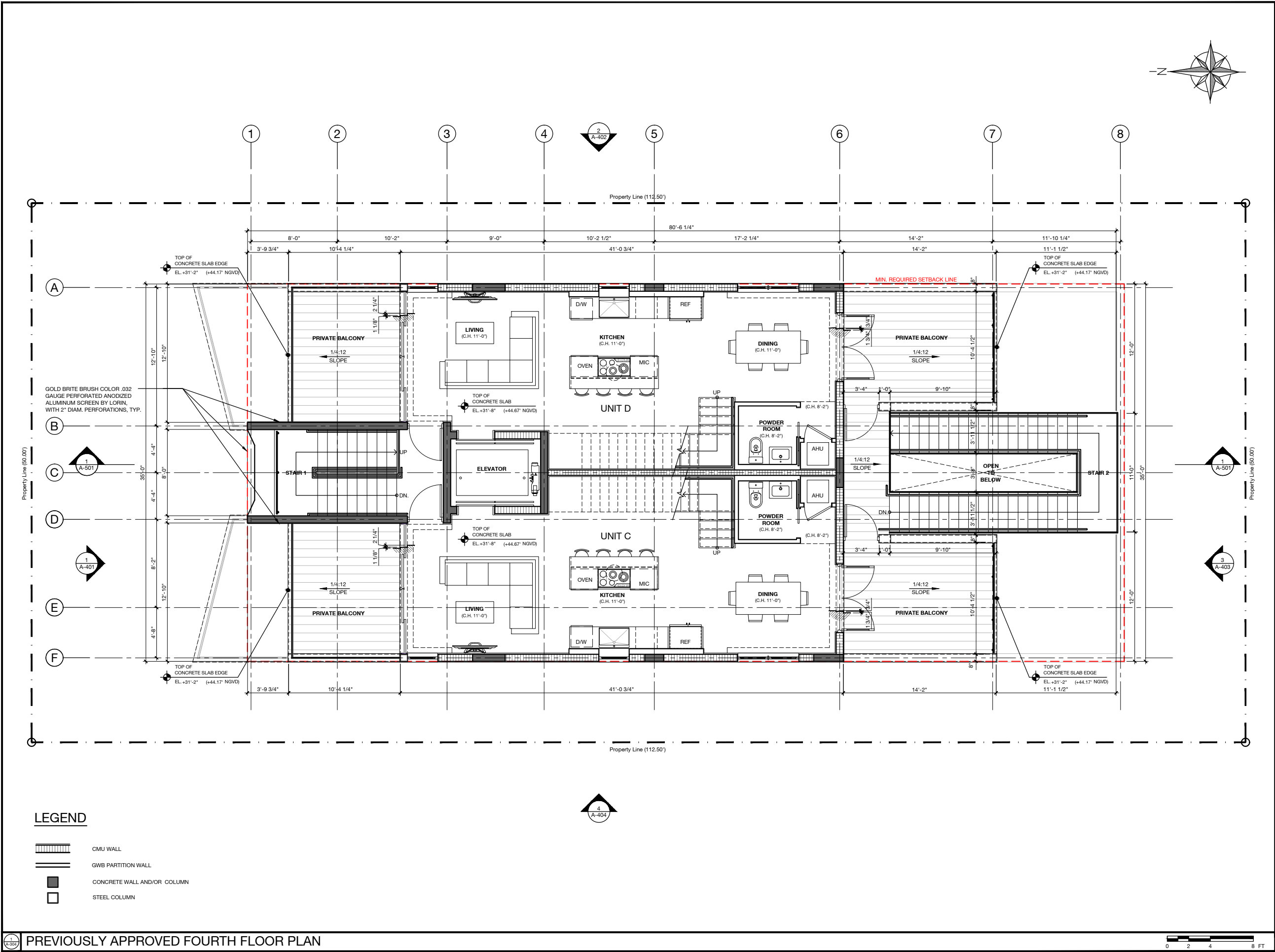
ISSUED ON: 01.15.2020

JOB No: 18001

EDUARDO A. PARDO-FERNANDEZ, AIA
AR96482
2100 CORAL WAY, SUITE 722
MIAMI, FL 33145
305.300.7438
eduardo@eds-arp.com

SHEET:
A-303a

SHEET: A-303a



CONTINUITY DESIGN STUDIO
ARCHITECTURE AND PLANNING

CDS

2100 CORAL WAY, SUITE 722
MIAMI, FL 33146
info@cdsdesign.com

SEAL & SIGNATURE

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TITLE:
PREVIOUSLY APPROVED FOURTH FLOOR PLAN

REVISIONS:

PROJECT:
THE EIGHTY 4

CLIENT:
DIVA ESTATE LLC

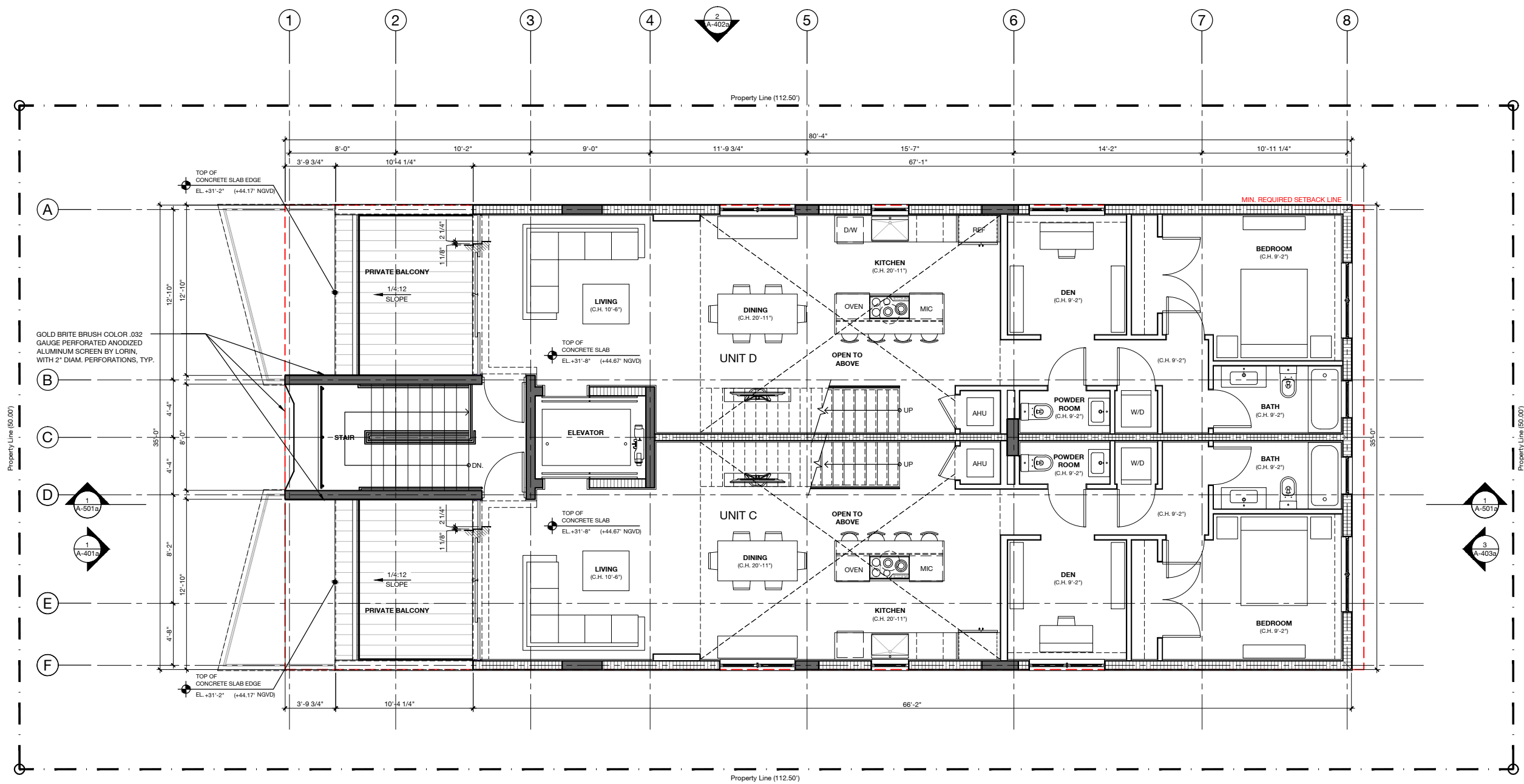
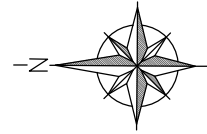
ADDRESS:
756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON:
01.15.2020

SCALE:
1/4"=1'-0"

SHEET:
A-304

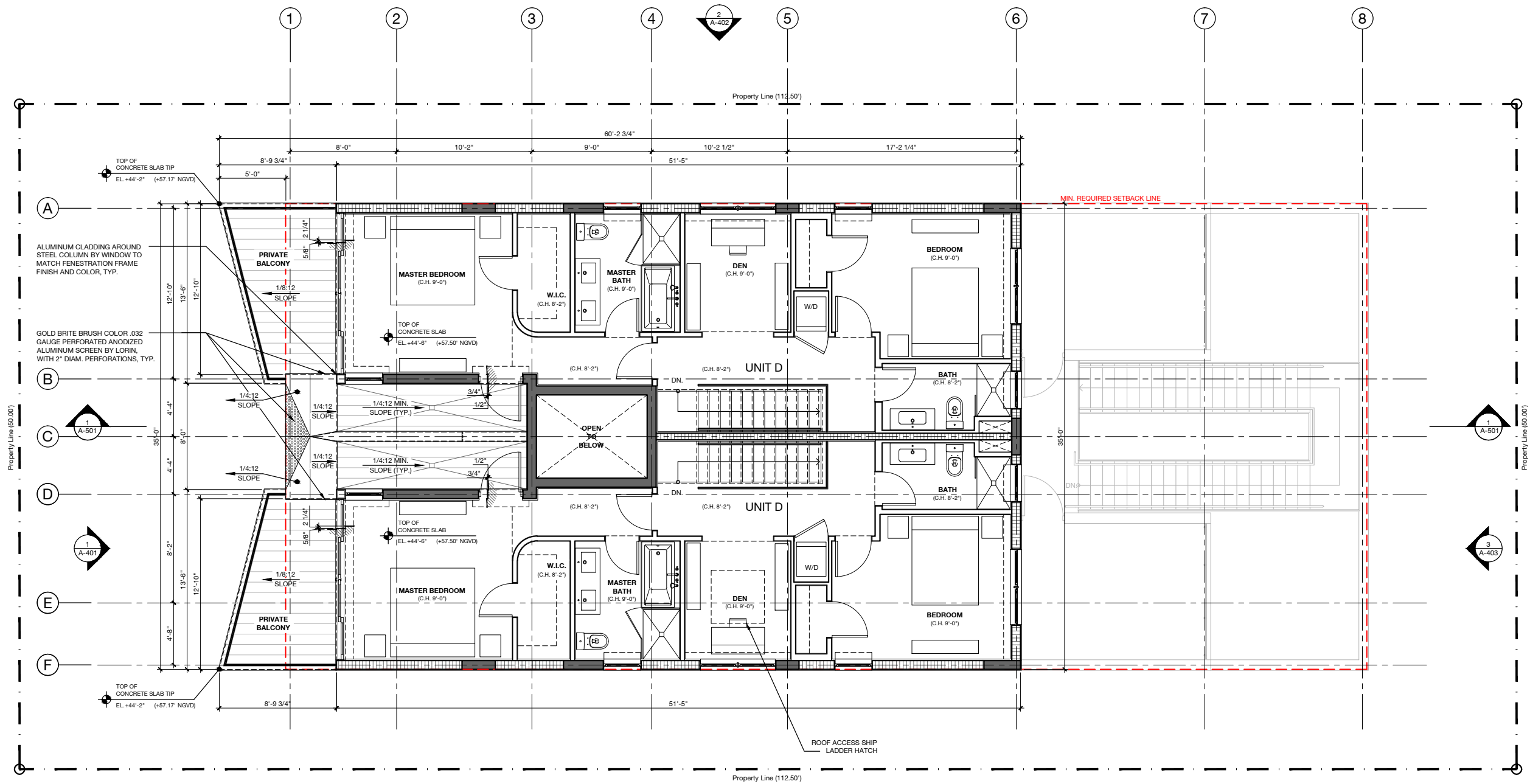
JOB NO:
18001



	CMU WALL
	GWB PARTITION WALL
	CONCRETE WALL AND/OR COLUMN
	STEEL COLUMN

1
A-304a





	CMU WALL
	GWB PARTITION WALL
	CONCRETE WALL AND/OR COLUMN
	STEEL COLUMN

PREVIOUSLY APPROVED FIFTH FLOOR PLAN

TITLE: PREVIOUSLY APPROVED FIFTH FLOOR PLAN

ISSUED ON: 01.15.2020

A-305

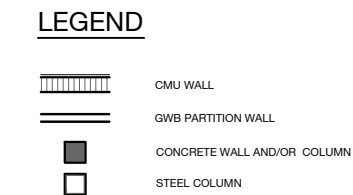
SHEET:

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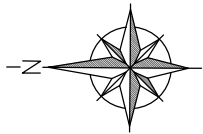
JOB No: 18001

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AR06482

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A horizontal scale bar with alternating black and white segments. Below the bar are numerical markers at 0, 2, 4, and 8, followed by the unit 'FT'.



NEWLY
PROPOSED
THIRD FLOOR'S
MEZZANINE PLAN

SEAL & SIGNATURE

NOTE:

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CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

SCALE: 1/4"=1'-0"

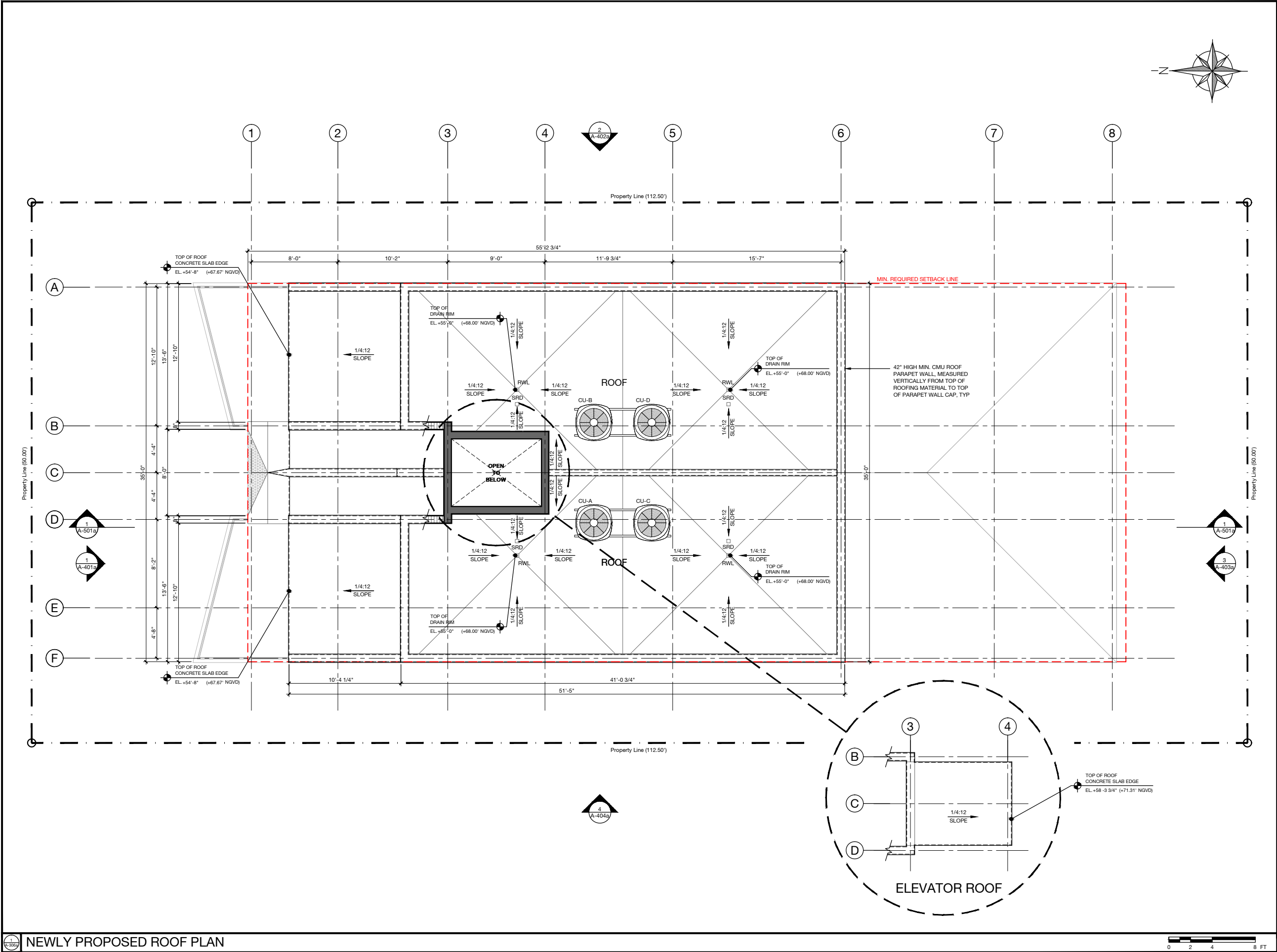
A-305a

JOB No: 18001

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305.300.7438
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NEWLY PROPOSED ROOF PLAN

THE EIGHTY 4

PROJECT:

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

REVISIONS:

NEWLY PROPOSED ROOF PLAN

NOTE:

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SEAL & SIGNATURE

EDUARDO A. PARRA-BERNARDEZ, AIA
A000482

JOB No: 18001

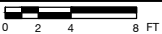
CONTAMPOREY DESIGN STUDIO
ARCHITECTURE AND PLANNING

CDS

2110 CORAL WAY, SUITE 722
MIAMI, FL 33146
eduardo@cds-stp.com



PREVIOUSLY APPROVED FRONT (NORTH) ELEVATION



TITLE: PREVIOUSLY APPROVED FRONT (NORTH) ELEVATION

SCALE: 3/16"=1'-0"

SHEET: A-401

REVISIONS:

PROJECT:

THE EIGHTY 4

CLIENT:

DIVA ESTATE LLC

ADDRESS:

756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON:

01.15.2020

NOTE:

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SEAL & SIGNATURE

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE & PLANNING

CDS

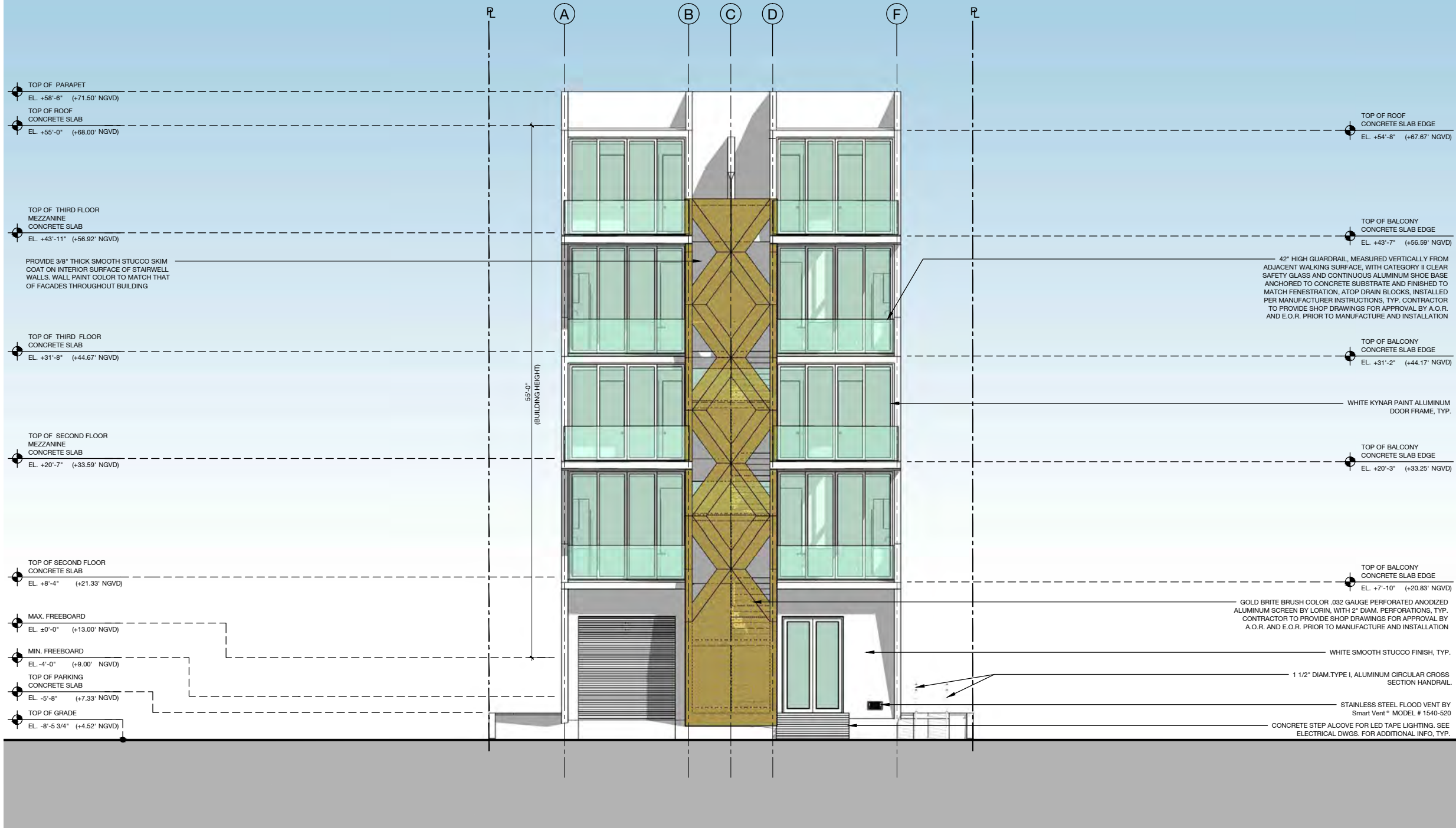
EDUARDO A. PARRA-BERNARDEZ, AIA
A000282

JOB No: 18001

2100 CORAL WAY, SUITE 722
MIAMI, FL 33146
eduardo@cds-ny.com



NEWLY PROPOSED FRONT (NORTH) ELEVATION



THE EIGHTY 4

NEWLY
PROPOSED
FRONT (NORTH)
ELEVATION

SCALE: 3/16"=1'-0"

SHEET: A-401a

REVISIONS:

PROJECT:

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

NOTE:

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CONSENT OF THE ARCHITECT.

SEAL & SIGNATURE

EDUARDO A. PARRA-REINARDOZ, AIA
ARCHITECT

JOB No: 18001

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE & PLANNING

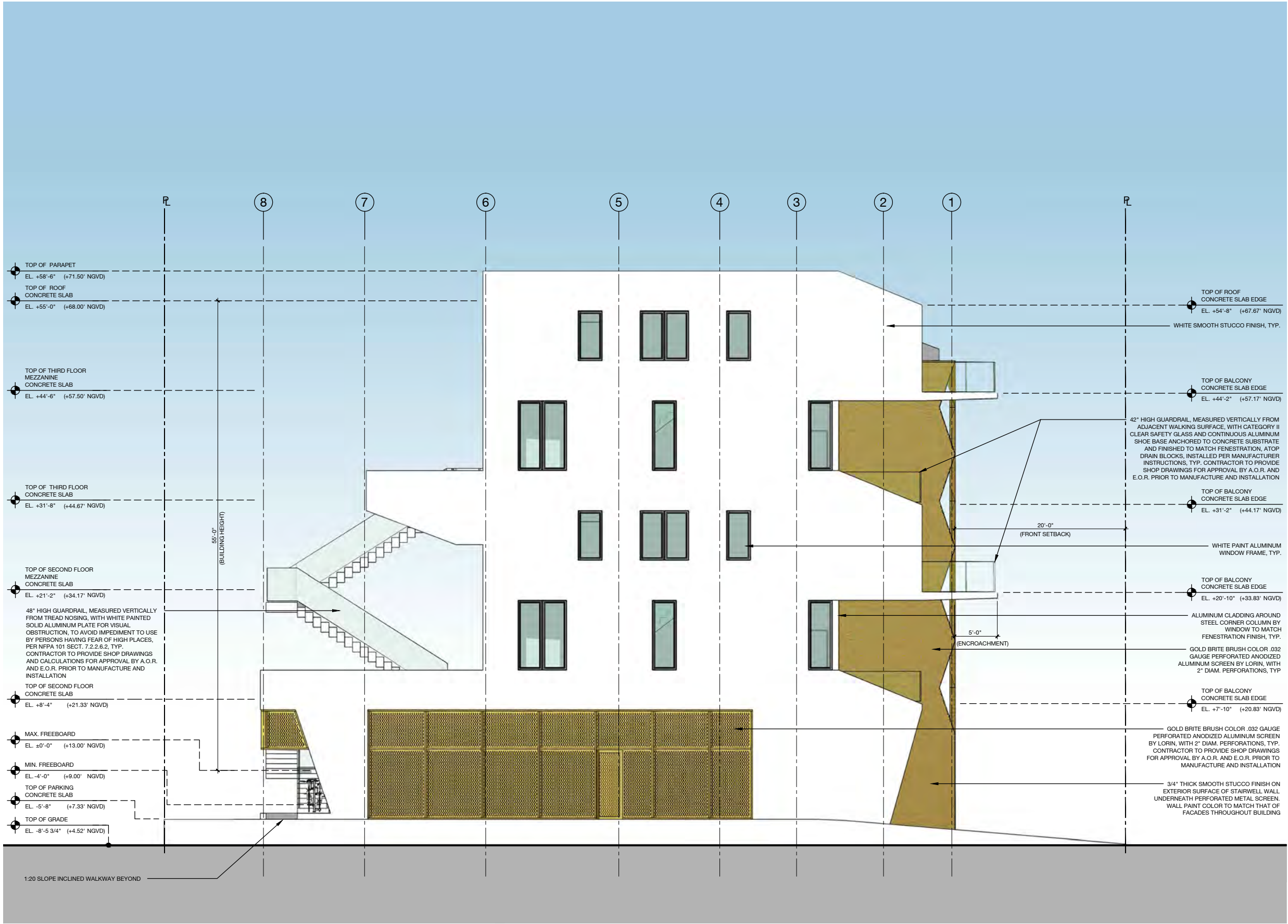
CDS

2100 CORAL WAY, SUITE 722
MIAMI, FL 33146
eduardo@cds-ny.com



PREVIOUSLY APPROVED SIDE (EAST) ELEVATION

0 2 4 8 FT



TITLE: PREVIOUSLY APPROVED SIDE (EAST) ELEVATION

SCALE: 3/16"=1'-0"

SHEET: A-402

REVISIONS:

PROJECT:

THE EIGHTY 4

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

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SEAL & SIGNATURE

EDUARDO A. PARRA-BERNARDEZ, AIA
A000282

JOB No: 18001

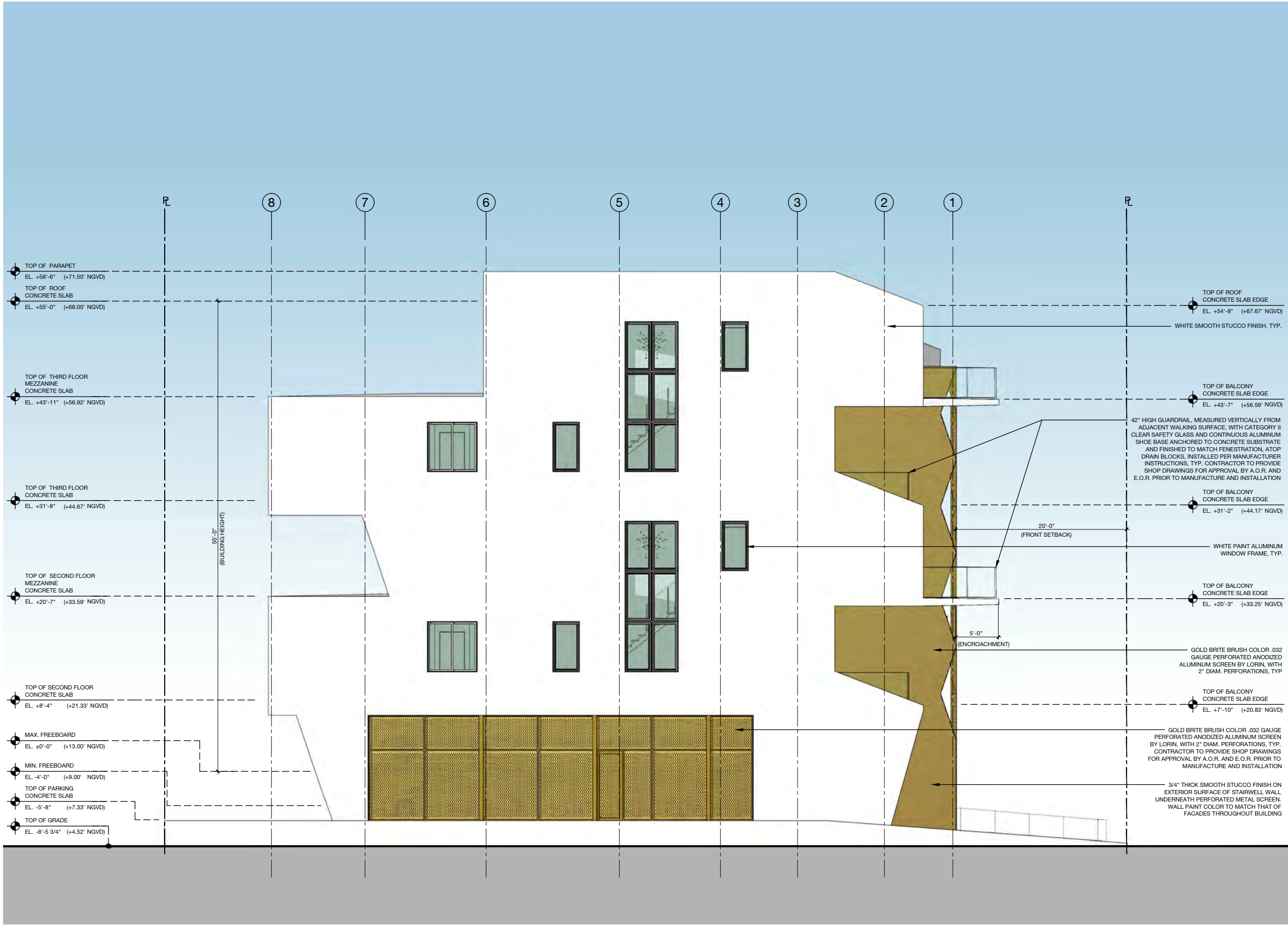
CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING

CDS

2100 CORAL WAY, SUITE 722
MIAMI, FL 33146
eduardo@cds-stp.com



NEWLY PROPOSED SIDE (EAST) ELEVATION



THE EIGHTY 4

NEWLY
PROPOSED
SIDE (EAST)
ELEVATION

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

SCALE: 3/16"=1'-0"

A-402a

SHEET:

REVISIONS:

PROJECT:

NOTE:

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CONSENT OF THE ARCHITECT.

SEAL & SIGNATURE

EDUARDO A. PARRA-BERNARDEZ, AIA
ARCHITECT

JOB No: 18001

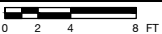
CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING

CDS

2110 CORAL WAY, SUITE 722
MIAMI, FL 33146
eduardo@cds-ny.com



PREVIOUSLY APPROVED REAR (SOUTH) ELEVATION



TITLE: PREVIOUSLY APPROVED REAR (SOUTH) ELEVATION

SCALE: 3/16"=1'-0"

SHEET: A-403

REVISIONS:

PROJECT:

THE EIGHTY 4

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

NOTE:

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SEAL & SIGNATURE

EDUARDO A. PARRA-BERNARDEZ, AIA
A000482

JOB No: 18001

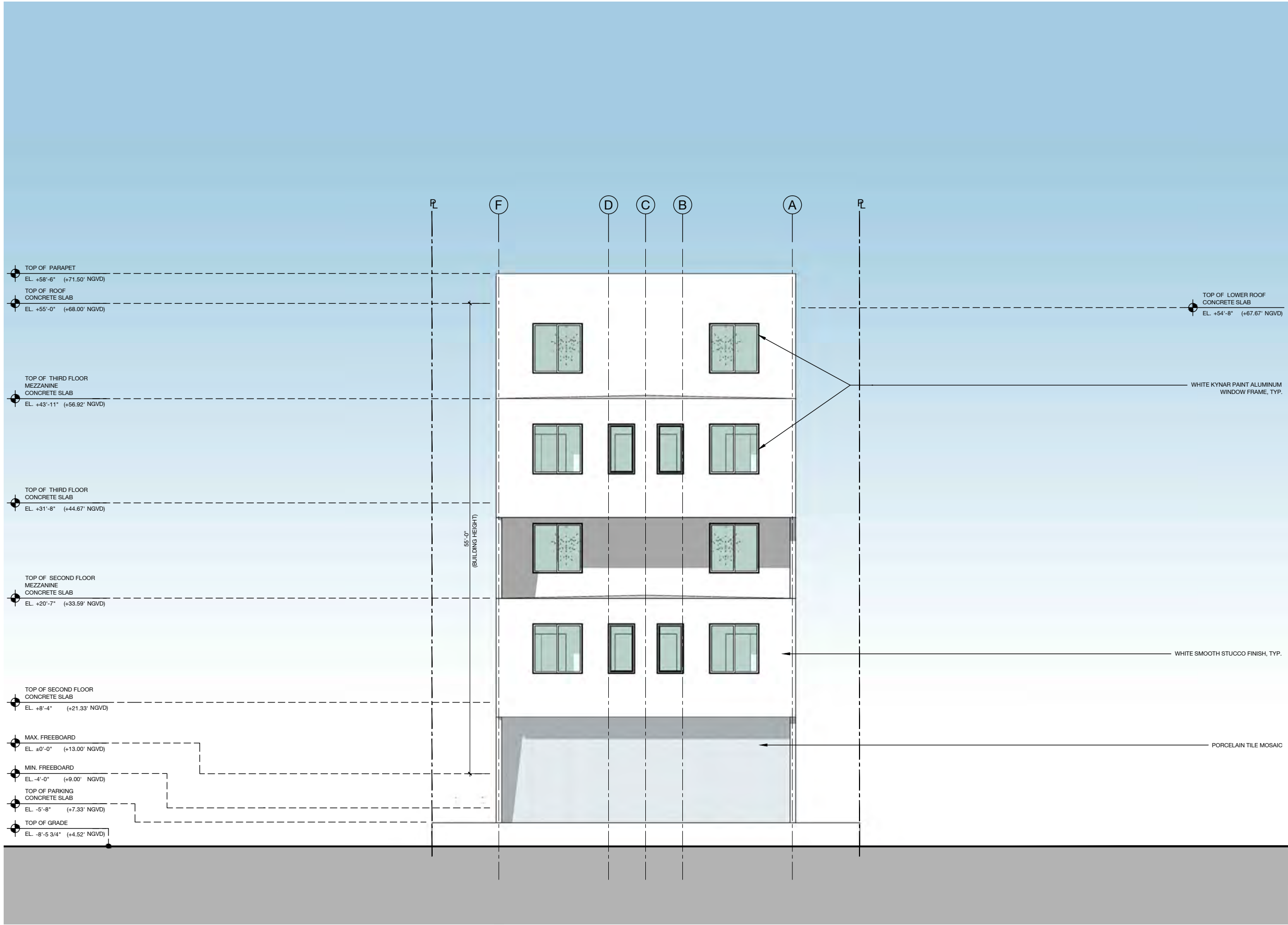
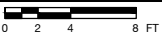
CONTEMPORARY DESIGN STUDIO
ARCHITECTURE & PLANNING

CDS

2110 CORAL WAY, SUITE 722
MIAMI, FL 33146
eduardo@cds-ny.com



NEWLY PROPOSED REAR (SOUTH) ELEVATION



TITLE: NEWLY PROPOSED REAR (SOUTH) ELEVATION

SCALE: 3/16"=1'-0"

SHEET: A-403a

REVISIONS:

PROJECT:

THE EIGHTY 4

CLIENT:

DIVA ESTATE LLC

ADDRESS:

756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON:

01.15.2020

NOTE:

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SEAL & SIGNATURE

EDUARDO A. PARRA-BERNARDEZ, AIA
A000482

JOB No: 18001

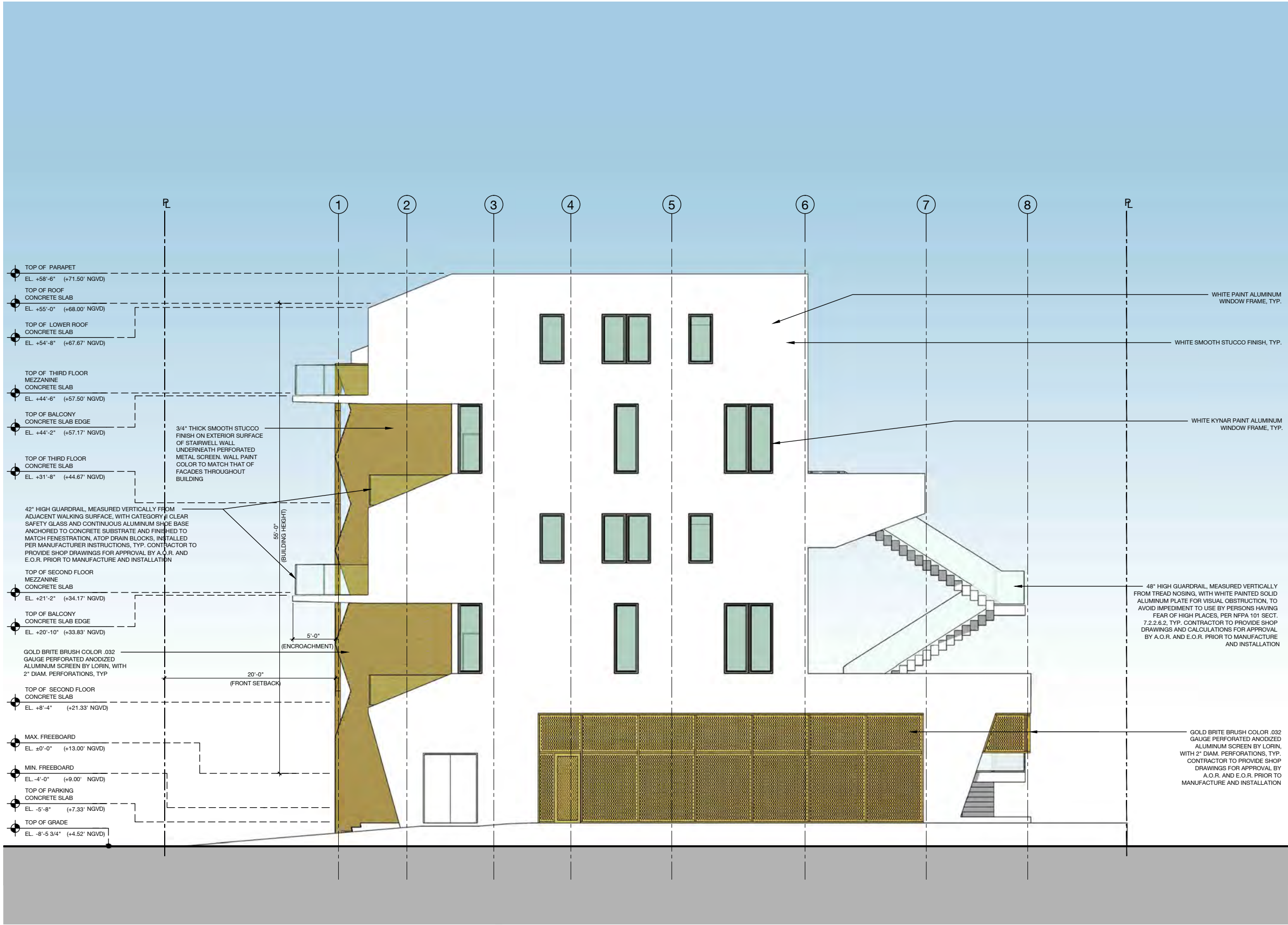
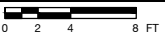
CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING



2100 CORAL WAY, SUITE 722
MIAMI, FL 33146
eduardo@cds-ny.com



PREVIOUSLY APPROVED SIDE (WEST) ELEVATION



TITLE: PREVIOUSLY APPROVED SIDE (WEST) ELEVATION

SCALE: 3/16"=1'-0"

SHEET: A-404

REVISIONS:

PROJECT:

THE EIGHTY 4

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

NOTE:

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SEAL & SIGNATURE

EDUARDO A. PARRA-BERNARDEZ, AIA
ARCHITECT

JOB No: 18001

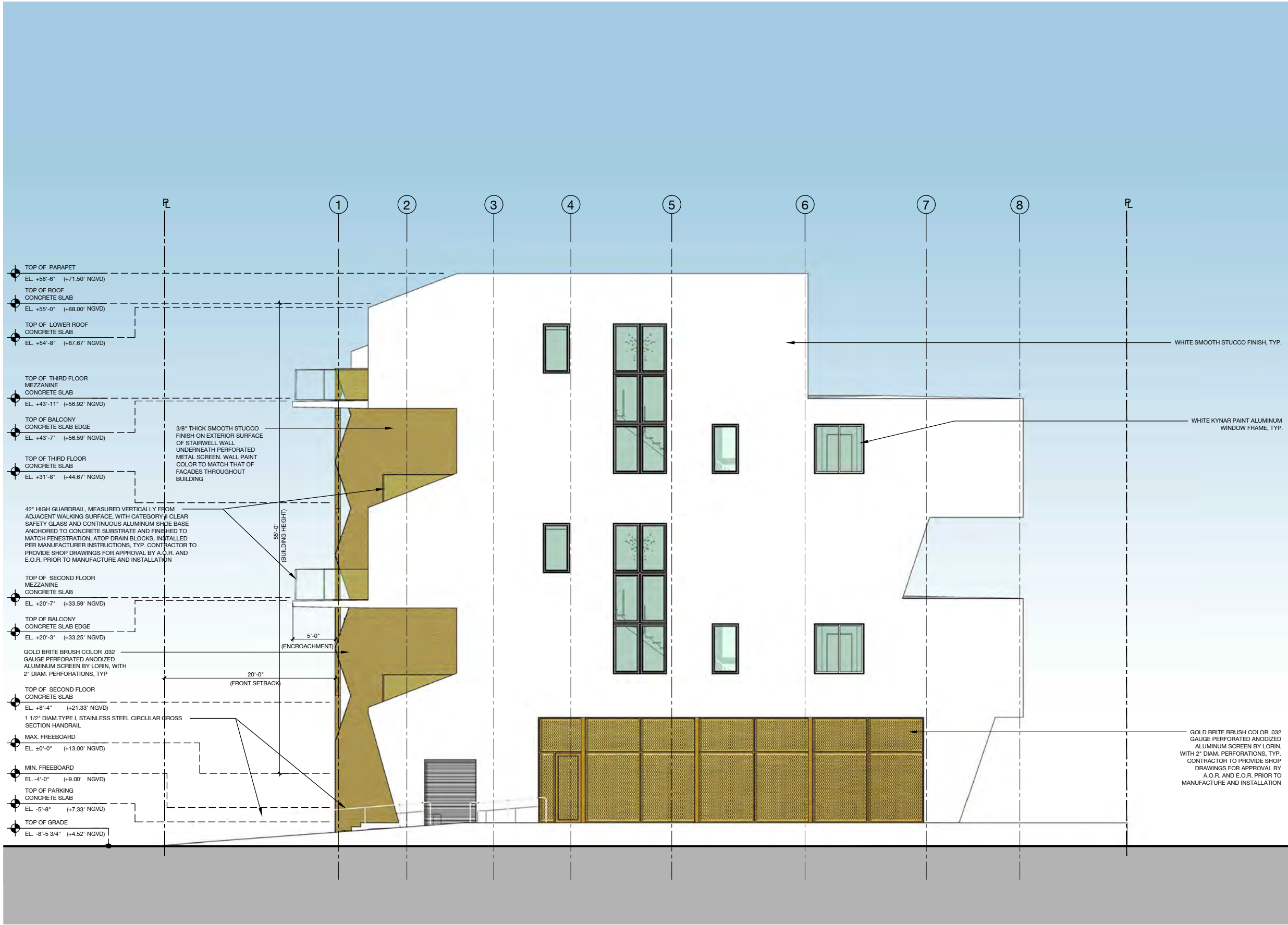
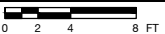
CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING

CDS

2110 CORAL WAY, SUITE 722
MIAMI, FL 33146
407.565.0519
cds@cds-studio.com



NEWLY PROPOSED SIDE (WEST) ELEVATION



CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING

CDS

2110 CORAL WAY, SUITE 722
MIAMI, FL 33146
404.506.0519
cds@cds-ny.com

EDUARDO A. PARRA-REINOLDO, AIA
ARCHITECT

SEAL & SIGNATURE

NOTE:

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THEY HAVE BEEN PREPARED
WITHOUT THE WRITTEN
CONSENT OF THE ARCHITECT.

JOB No: 18001

PROJECT: THE EIGHTY 4

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

REVISIONS:

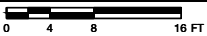
TITLE: NEWLY
PROPOSED
SIDE (WEST)
ELEVATION

SCALE: 3/16"=1'-0"

SHEET: A-404a



PREVIOUSLY APPROVED CONTEXT ELEVATION



TITLE: PREVIOUSLY
APPROVED
CONTEXT
ELEVATIONS

SCALE: 1/8"=1'-0"

A-405

SHEET:

REVISIONS:

PROJECT: THE EIGHTY 4

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

SEAL & SIGNATURE

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JOB No: 18001

EDUARDO A. PARRA-BERNARDEZ, AIA
1800482

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING



2100 CORAL WAY, SUITE 722
MIAMI, FL 33146
eduardo@cds-ny.com



NEWLY PROPOSED CONTEXT ELEVATION



TITLE: NEWLY
PROPOSED
CONTEXT
ELEVATIONS

SCALE: 1/8"=1'-0"

SHEET: A-405a

REVISIONS:

PROJECT:

THE EIGHTY 4

CLIENT:

DIVA ESTATE LLC

ADDRESS:

756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON:

01.15.2020

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EDUARDO A. PARRA-BERNARDEZ, AIA
18002

JOB No: 18001

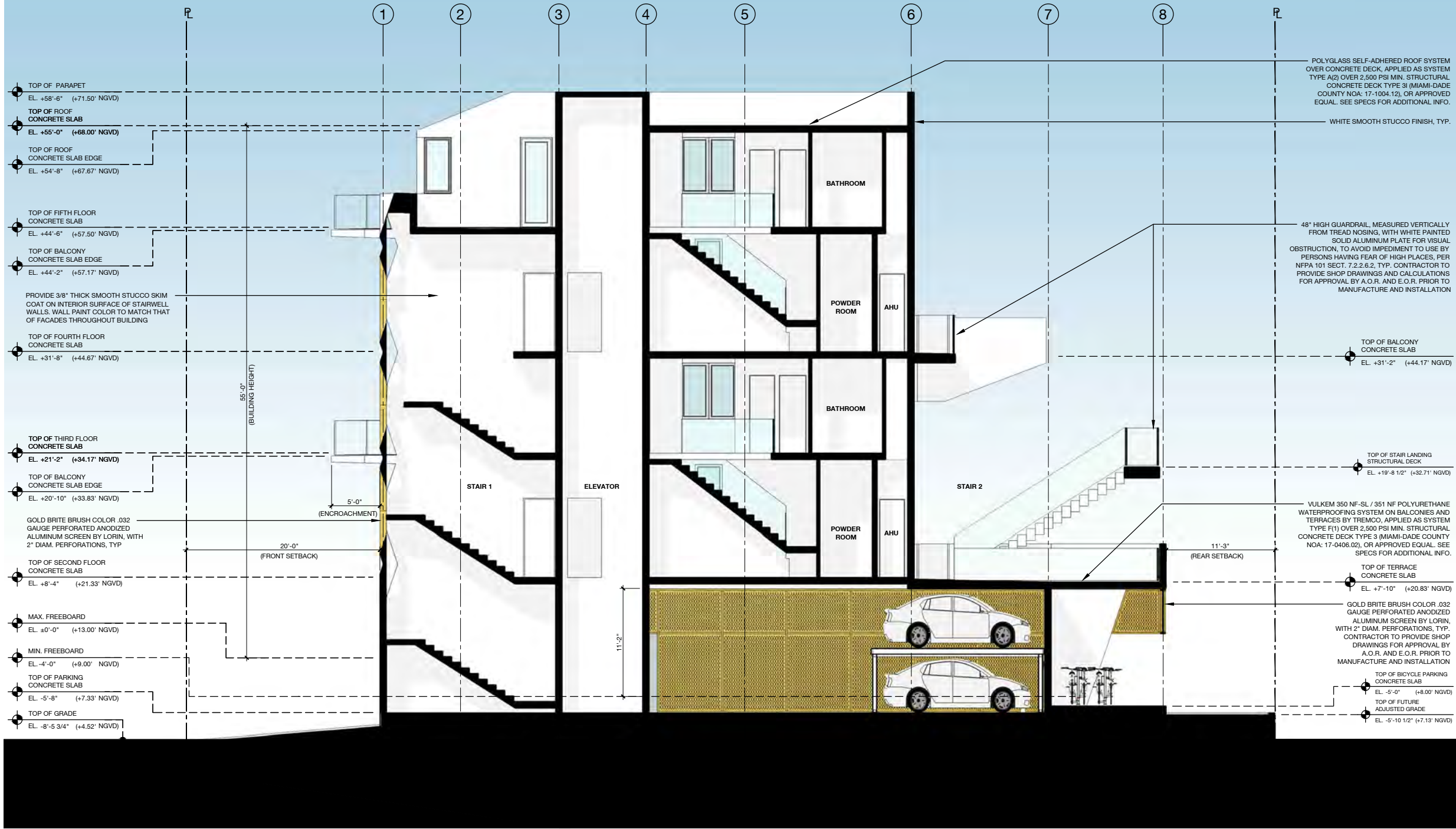
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eduardo@cds-ny.com



PREVIOUSLY APPROVED SECTION 1-1



TOP OF PARAPET
EL. +58'-6" (+71.50' NGVD)
TOP OF ROOF
CONCRETE SLAB
EL. +55'-0" (+68.00' NGVD)
TOP OF ROOF
CONCRETE SLAB EDGE
EL. +54'-8" (+67.67' NGVD)

TOP OF FIFTH FLOOR
CONCRETE SLAB
EL. +44'-6" (+57.50' NGVD)
TOP OF BALCONY
CONCRETE SLAB EDGE
EL. +44'-2" (+57.17' NGVD)

PROVIDE 3/8" THICK SMOOTH STUCCO SKIM
COAT ON INTERIOR SURFACE OF STAIRWELL
WALLS. WALL PAINT COLOR TO MATCH THAT
OF FACADES THROUGHOUT BUILDING
TOP OF FOURTH FLOOR
CONCRETE SLAB
EL. +31'-8" (+44.67' NGVD)

TOP OF THIRD FLOOR
CONCRETE SLAB
EL. +21'-2" (+34.17' NGVD)
TOP OF BALCONY
CONCRETE SLAB EDGE
EL. +20'-10" (+33.83' NGVD)

GOLD BRITE BRUSH COLOR .032
GAUGE PERFORATED ANODIZED
ALUMINUM SCREEN BY LORIN, WITH
2" DIAM. PERFORATIONS, TYP.
TOP OF SECOND FLOOR
CONCRETE SLAB
EL. +8'-4" (+21.33' NGVD)

MAX. FREEBOARD
EL. ±0'-0" (+13.00' NGVD)

MIN. FREEBOARD
EL. -4'-0" (+9.00' NGVD)

TOP OF PARKING
CONCRETE SLAB
EL. -5'-8" (+7.33' NGVD)

TOP OF GRADE
EL. -8'-5 3/4" (+4.52' NGVD)

POLYGLASS SELF-ADHERED ROOF SYSTEM
OVER CONCRETE DECK, APPLIED AS SYSTEM
TYPE A(2) OVER 2,500 PSI MIN. STRUCTURAL
CONCRETE DECK TYPE 3(1) (MIAMI-DADE
COUNTY NOA: 17-1004.12), OR APPROVED
EQUAL. SEE SPECS FOR ADDITIONAL INFO.

WHITE SMOOTH STUCCO FINISH, TYP.

48" HIGH GUARDRAIL, MEASURED VERTICALLY
FROM TREAD NOSING, WITH WHITE PAINTED
SOLID ALUMINUM PLATE FOR VISUAL
OBSTRUCTION, TO AVOID IMPEDIMENT TO USE BY
PERSONS HAVING FEAR OF HIGH PLACES, PER
NFPA 101 SECT. 7.2.2.6.2, TYP. CONTRACTOR TO
PROVIDE SHOP DRAWINGS AND CALCULATIONS
FOR APPROVAL BY A.O.R. AND E.O.R. PRIOR TO
MANUFACTURE AND INSTALLATION

TOP OF BALCONY
CONCRETE SLAB
EL. +31'-2" (+44.17' NGVD)

TOP OF STAIR LANDING
STRUCTURAL DECK
EL. +19'-8 1/2" (+32.71' NGVD)

VULKEM 350 NF-SL / 351 NF POLYURETHANE
WATERPROOFING SYSTEM ON BALCONIES AND
TERRACES BY TREMCO, APPLIED AS SYSTEM
TYPE F(1) OVER 2,500 PSI MIN. STRUCTURAL
CONCRETE DECK TYPE 3 (MIAMI-DADE COUNTY
NOA: 17-0406.02), OR APPROVED EQUAL. SEE
SPECS FOR ADDITIONAL INFO.

TOP OF TERRACE
CONCRETE SLAB
EL. +7'-10" (+20.83' NGVD)

GOLD BRITE BRUSH COLOR .032
GAUGE PERFORATED ANODIZED
ALUMINUM SCREEN BY LORIN,
WITH 2" DIAM. PERFORATIONS, TYP.
CONTRACTOR TO PROVIDE SHOP
DRAWINGS FOR APPROVAL BY
A.O.R. AND E.O.R. PRIOR TO
MANUFACTURE AND INSTALLATION

TOP OF BICYCLE PARKING
CONCRETE SLAB
EL. -5'-0" (+8.00' NGVD)

TOP OF FUTURE
ADJUSTED GRADE
EL. -5'-10 1/2" (+7.13' NGVD)

THE EIGHTY 4

TITLE: PREVIOUSLY
APPROVED
SECTION 1-1

REVISIONS:

PROJECT:

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CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

JOB No: 18001

SCALE: 3/16"=1'-0"

A-501

SHEET:

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING

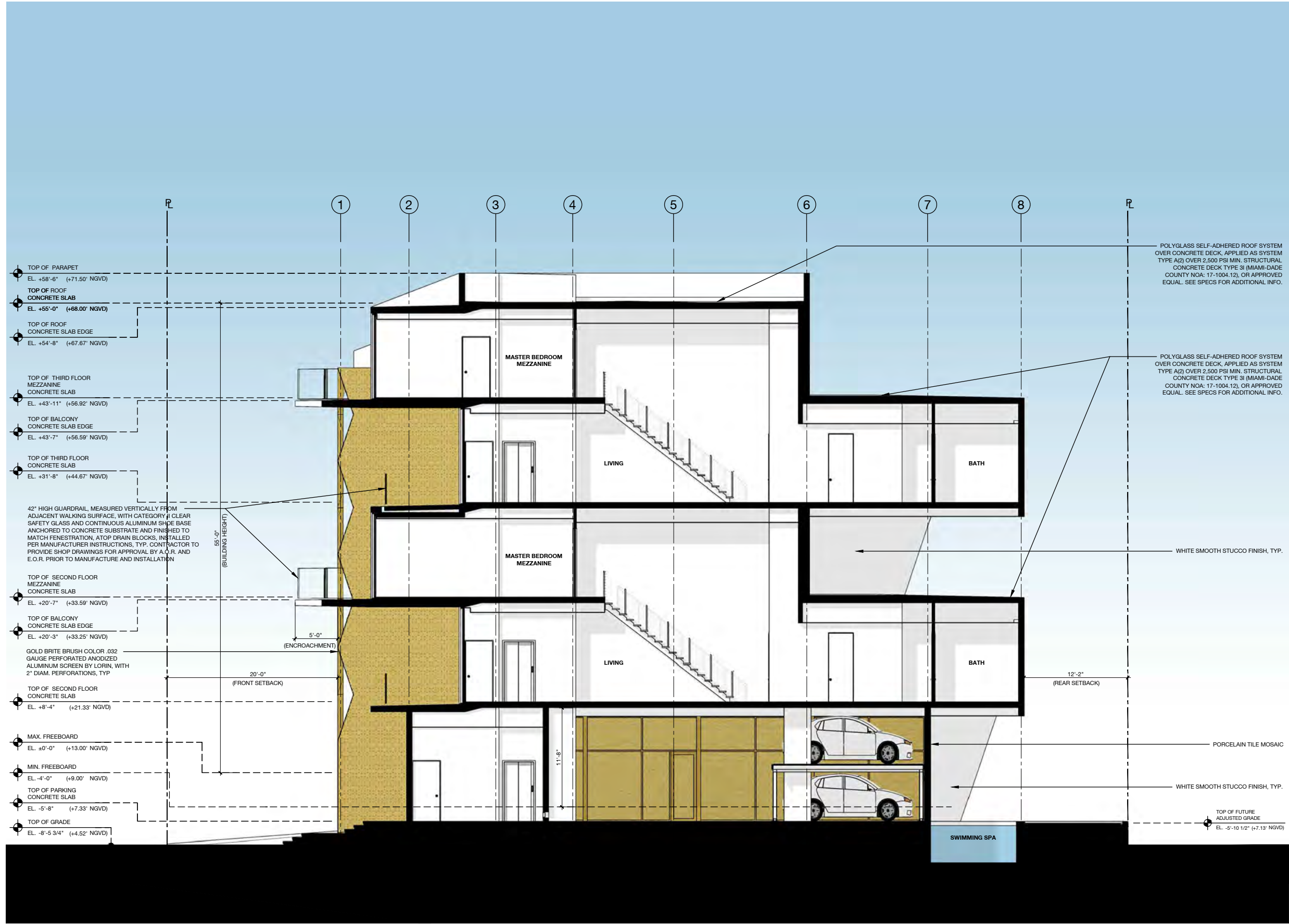
CDS

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MIAMI, FL 33146
education@cds-ny.com

EDUARDO A. PARRA-BERNARDEZ, AIA
A000482



NEWLY PROPOSED SECTION 1-1



TITLE:

NEWLY
PROPOSED
SECTION 1-1

REVISIONS:

PROJECT:

THE EIGHTY 4

NOTE:

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CONSENT OF THE ARCHITECT.

SEAL & SIGNATURE

SCALE: 3/16"=1'-0"

A-501a

SHEET:

ISSUED ON: 01.15.2020

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

CLIENT: DIVA ESTATE LLC

JOB No: 18001

EDUARDO A. PARRA-REINARDO, AIA
ARCHITECT

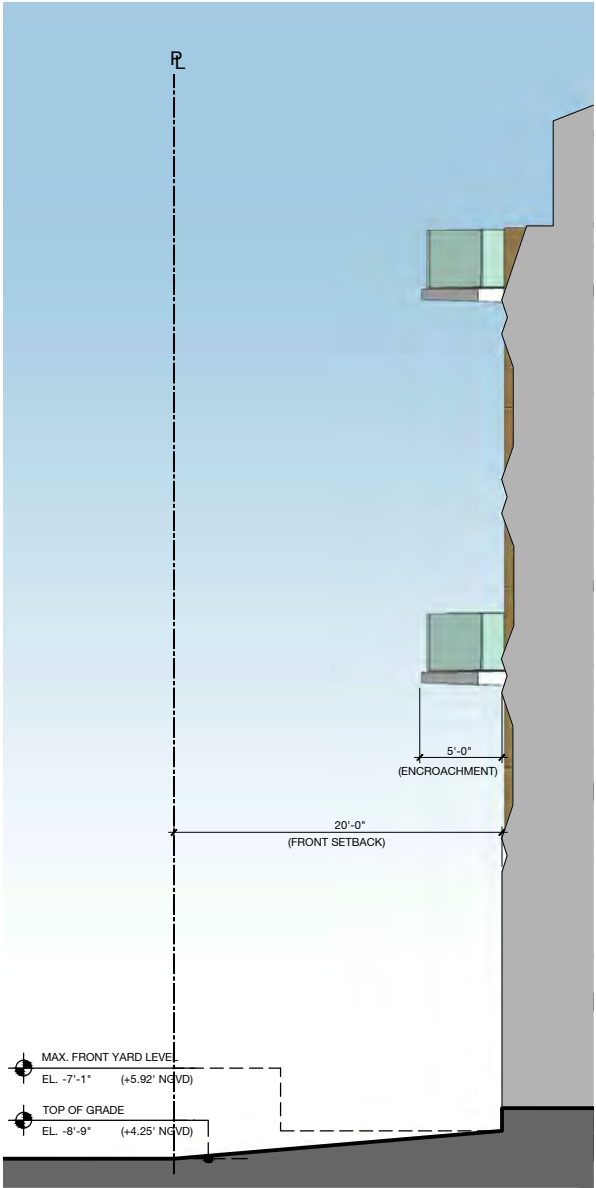
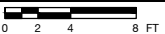
CDS

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING

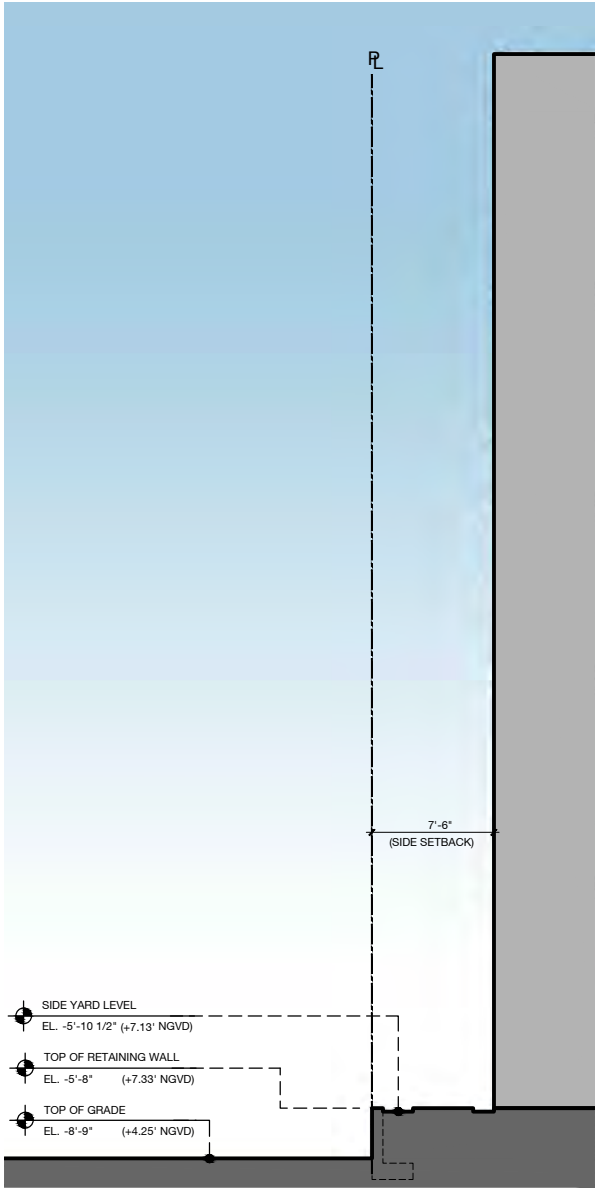
2110 CORAL WAY, SUITE 722
MIAMI, FL 33146
eduardo@cds-ny.com



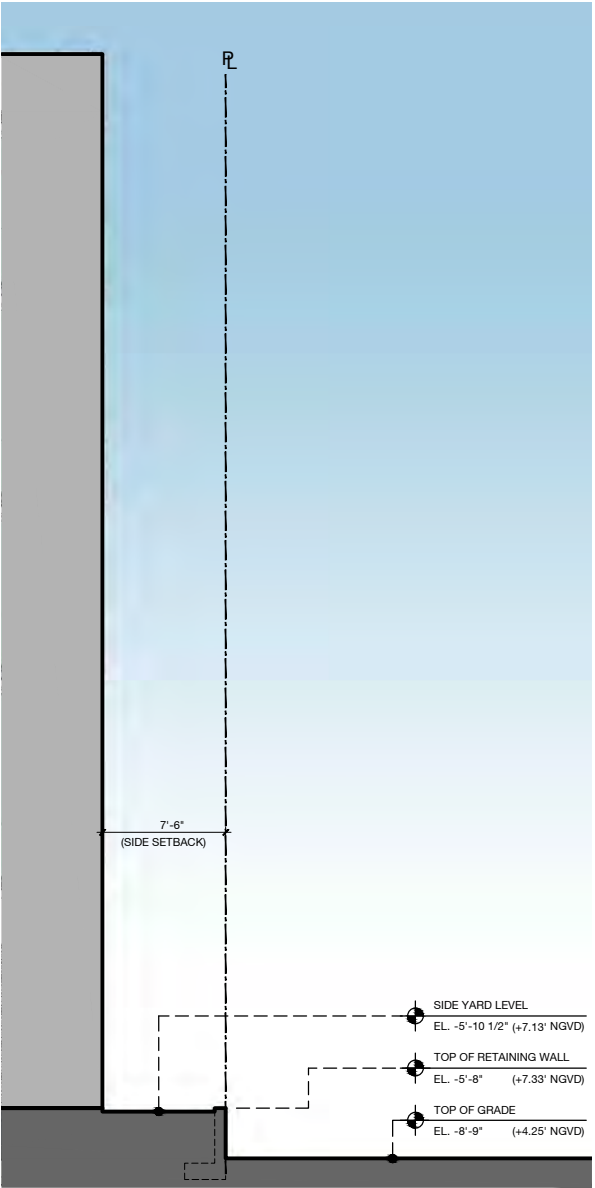
PROPOSED YARD SECTIONS



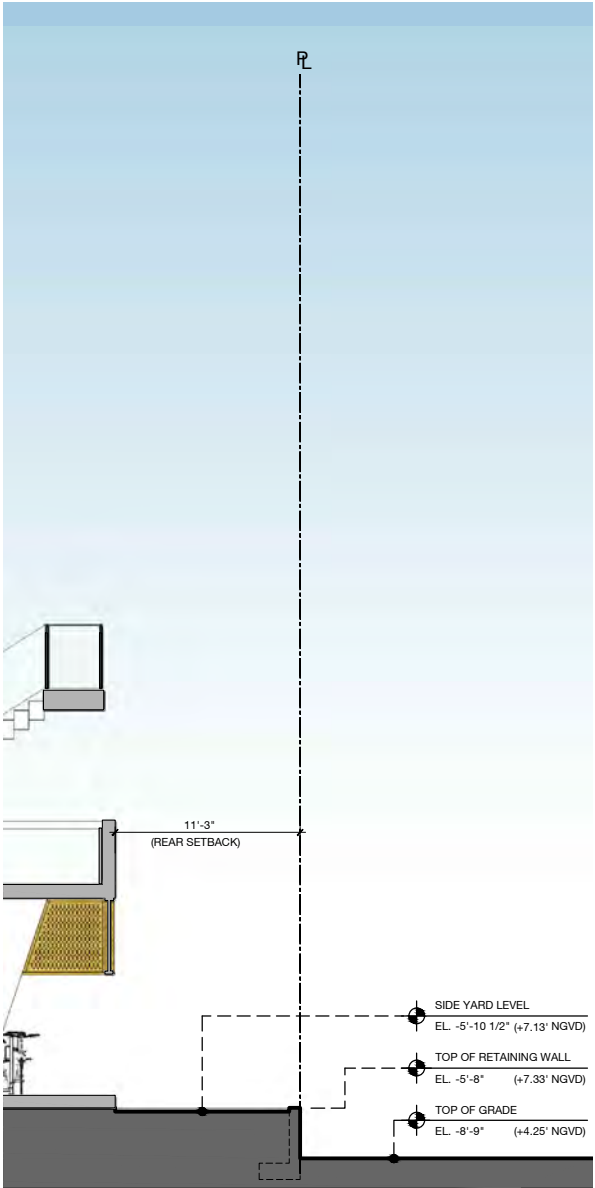
FRONT YARD SECTION (a)



SIDE YARD SECTION (b)



SIDE YARD SECTION (c)



REAR YARD SECTION (d)

TITLE:

PROPOSED
YARD
SECTIONS

REVISIONS:

PROJECT:

THE EIGHTY 4

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SEAL & SIGNATURE

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

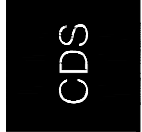
JOB No: 18001

SCALE: 3/16"=1'-0"

A-502

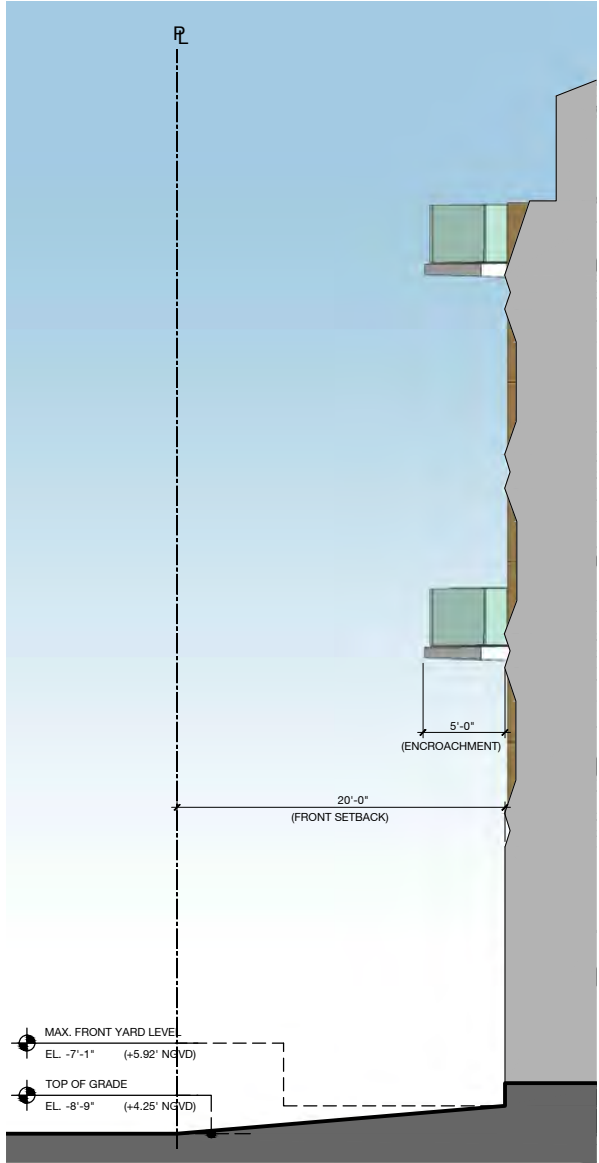
SHEET:

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE & PLANNING

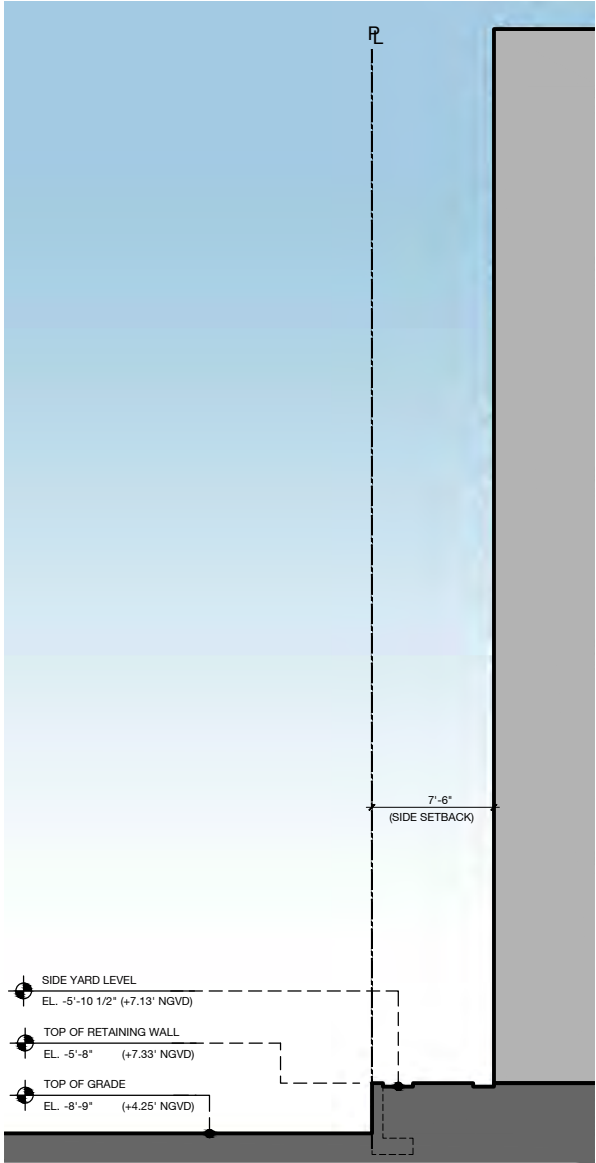


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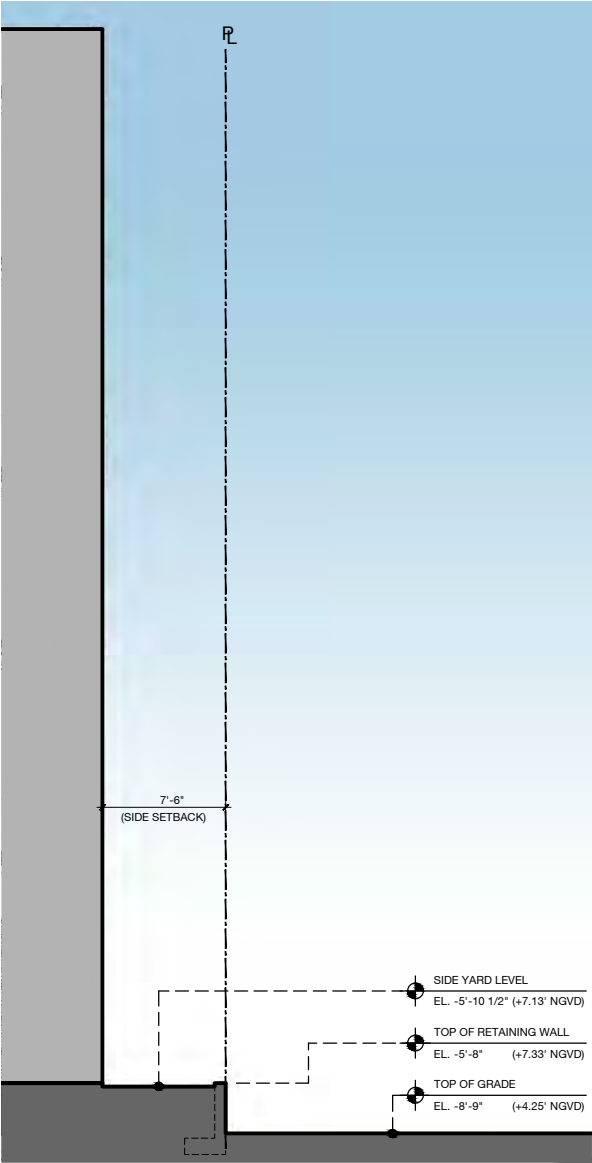
EDUARDO A. PARRA-REINOLDO, AIA
A000482



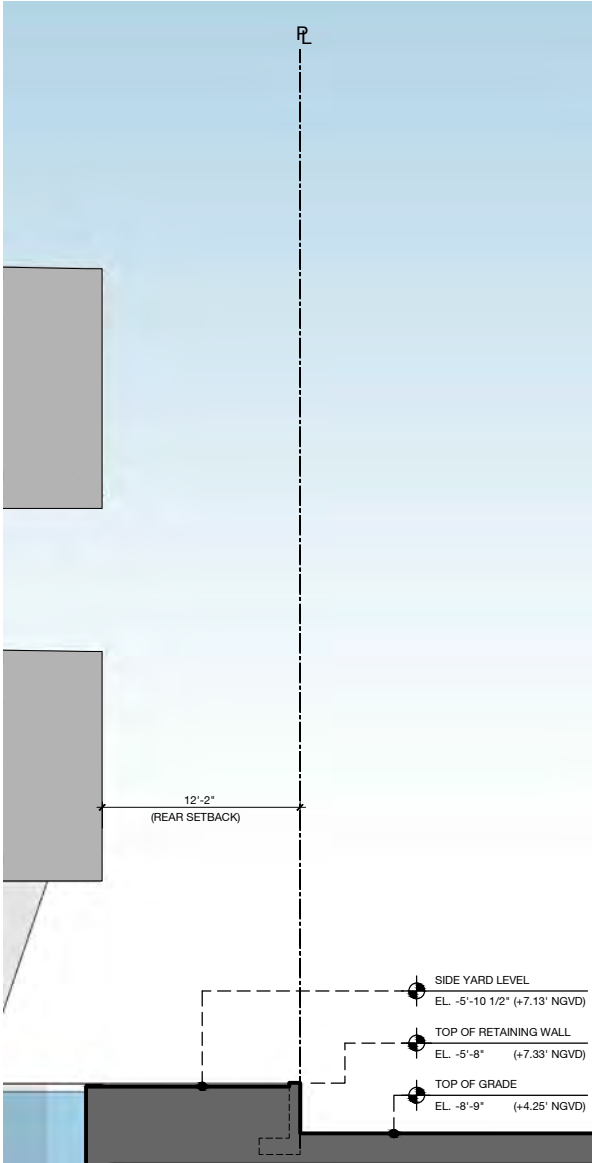
FRONT YARD SECTION (a)



SIDE YARD SECTION (b)



SIDE YARD SECTION (c)



REAR YARD SECTION (d)

THE EIGHTY 4

PROJECT: DIVA ESTATE LLC
CLIENT: DIVA ESTATE LLC
ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141
ISSUED ON: 01.15.2020

NEWLY
PROPOSED
YARD
SECTIONS

SCALE: 3/16"=1'-0"
SHEET: A-502a

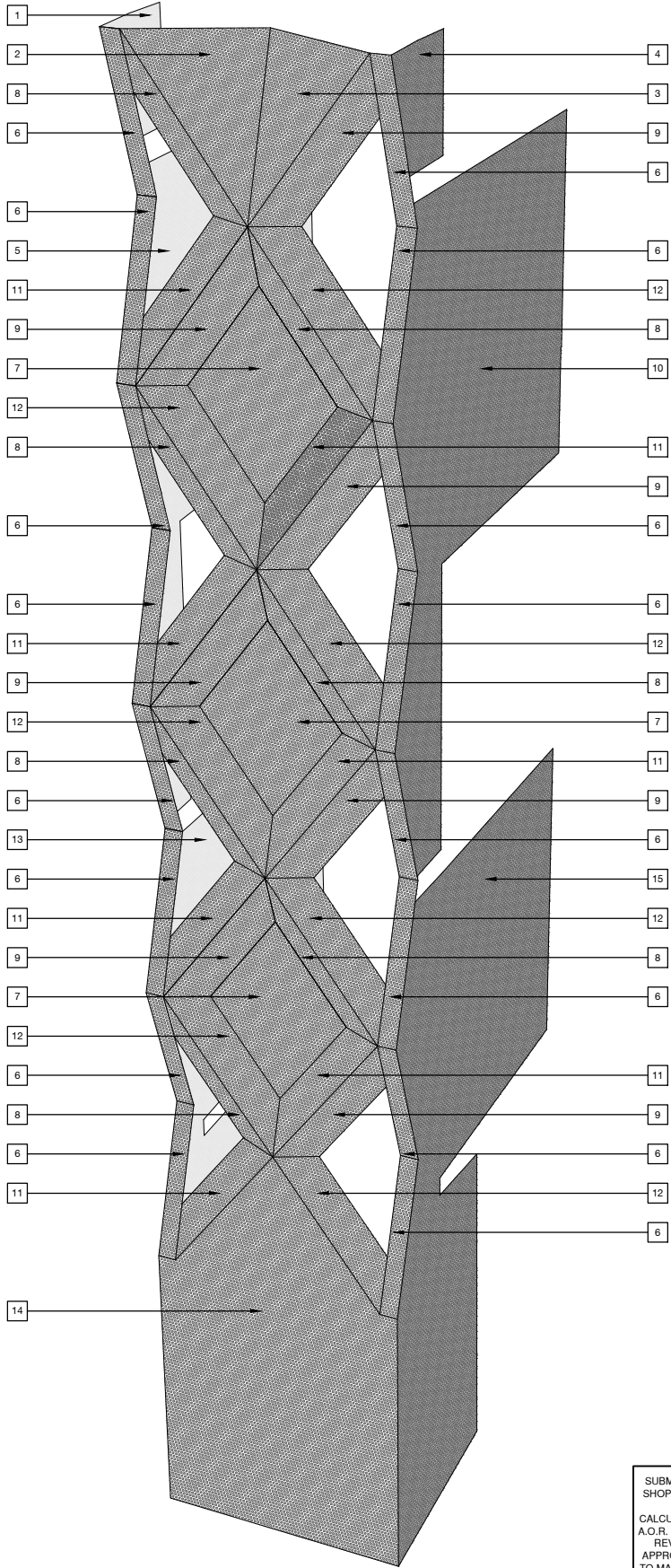
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SEAL & SIGNATURE
EDUARDO A. PARRA-REINANDEZ, AIA
ARCHITECT

CONTEMPORARY DESIGN STUDIO
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CDS
2110 CORAL WAY, SUITE 722
MIAMI, FL 33146
info@cds-ny.com



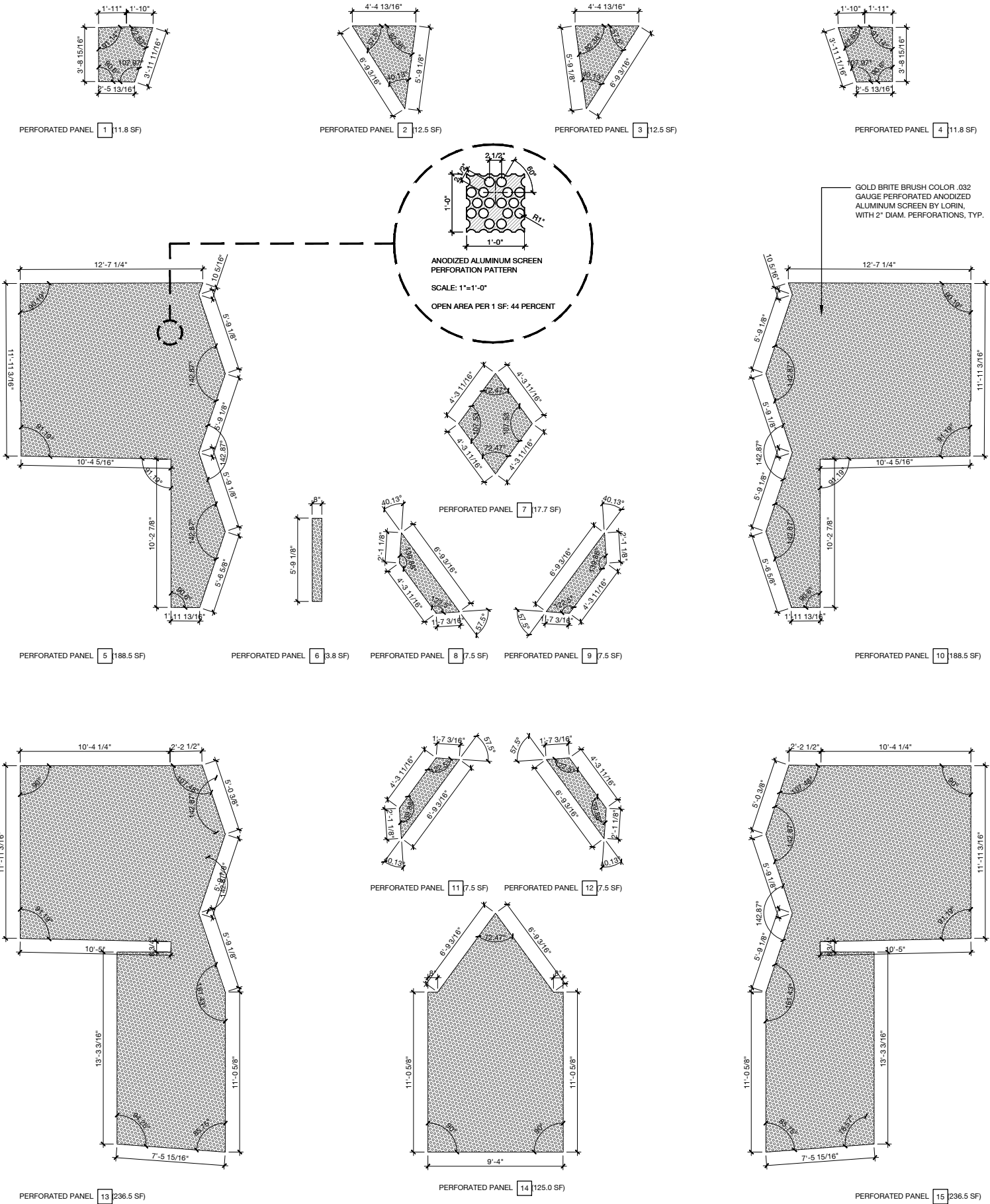
STAIR SCREEN AXONOMETRIC



SUBMIT SCREEN
SHOP DRAWINGS
AND
CALCULATIONS TO
A.O.R. & E.O.R. FOR
REVIEW AND
APPROVAL PRIOR
TO MANUFACTURE
AND INSTALLATION



STAIR SCREEN PANEL TYPES



TITLE:

PREVIOUSLY
APPROVED AND
NEWLY PROPOSED
STAIR SCREEN
DETAILS

SCALE: 3/8"=1'-0"

SHEET:

PROJECT:

THE EIGHTY 4

CLIENT:

DIVA ESTATE LLC

ADDRESS:

756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON:

01.15.2020

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SEAL & SIGNATURE

JOB No: 18001

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING



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MIAMI, FL 33145
eduardo@cds-stp.com

EDUARDO A. PARRA-REINOLDO, AIA
A000482



PREVIOUSLY APPROVED ILLUSTRATION 1

Rendering by CROMATIVE



TITLE: PREVIOUSLY
APPROVED
ILLUSTRATION 1

SCALE: N.T.S.
SHEET: A-901

REVISIONS:

PROJECT:

THE EIGHTY 4

CLIENT:

DIVA ESTATE LLC

ADDRESS:

756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON:

01.15.2020

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SEAL & SIGNATURE

EDUARDO A. PARRA-HERNANDEZ, AIA
1800482

JOB No: 18001

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING

CDS

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eduardo@cds-ny.com



TITLE: NEWLY PROPOSED ILLUSTRATION 1

SCALE: N.T.S.
SHEET: A-901a

REVISIONS:

PROJECT: THE EIGHTY 4

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

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SEAL & SIGNATURE

ELIUDRO A. RODRIGUEZ, AIA
18008

JOB No: 18001

CONTEMPORARY DESIGN STUDIO
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MIAMI, FL 33145
407.526.8242
cstudio@cds-ny.com



TITLE: PREVIOUSLY
APPROVED
ILLUSTRATION 2

SCALE: N.T.S.
SHEET: A-902

PROJECT: THE EIGHTY 4

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

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JOB No: 18001

SEAL & SIGNATURE

EDUARDO A. PARRA-REINANDEZ, AIA
1800282

CONTEMPORARY DESIGN STUDIO
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MIAMI, FL 33146
eduardo@cds-ny.com



TITLE: NEWLY PROPOSED ILLUSTRATION 2

SCALE: N.T.S.
SHEET: A-902a

PROJECT: THE EIGHTY 4

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

REVISIONS:

JOB No: 18001

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ELIABDO A. RODRIGUEZ, AIA
ARCHITECT

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING



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MIAMI, FL 33145
407.526.8242
cds@cdsstudio.com



TITLE: PREVIOUSLY
APPROVED
ILLUSTRATION 3

SCALE: N.T.S.
SHEET: A-903

THE EIGHTY 4

PROJECT: DIVA ESTATE LLC
CLIENT: DIVA ESTATE LLC
ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141
ISSUED ON: 01.15.2020

JOB No: 18001

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SEAL & SIGNATURE
EDUARDO A. PARRA-BERNARDEZ, AIA
1800282

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING
CDS
2100 CORAL WAY, SUITE 722
MIAMI, FL 33146
eduardo@cds-ny.com



TITLE: NEWLY PROPOSED ILLUSTRATION 3

SCALE: N.T.S.
SHEET: A-903a

PROJECT: THE EIGHTY 4

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

REVISIONS:

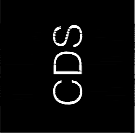
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JOB No: 18001

ELIABDO A. RODRIGUEZ, AIA
ARCHITECT

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING



2103 CORAL WAY, SUITE 720
MIAMI, FL 33145
TEL: 305.456.1234
www.cdsstudio.com



THE EIGHTY 4

TITLE: PREVIOUSLY APPROVED ILLUSTRATION 4

SEAL & SIGNATURE

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EDUARDO A. PARRA-BERNARDEZ, AIA
10000282

PROJECT: THE EIGHTY 4

CLIENT: DIVA ESTATE LLC

ADDRESS: 756 84 STREET
MIAMI BEACH, FL 33141

ISSUED ON: 01.15.2020

REVISIONS:

SCALE: N.T.S.

SHEET: A-904

CONTEMPORARY DESIGN STUDIO
ARCHITECTURE AND PLANNING

CDS

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eduardo@cds-ny.com

