

# W. SAN MARINO RESIDENCE

## FINAL SUBMITTAL 01/06/2020



426 W. SAN MARINO DRIVE, MIAMI BEACH, FL. 33139

### SCOPE OF WORK

– NEW SINGLE FAMILY RESIDENCE REPLACING EXISTING PRE-1942 BUILDING. PROPOSED RESIDENCE IS TWO-STORY W/ AN UNDERSTORY.

### REQUEST OF WAIVERS

- BUILDING USE: UNDERSTORY AREAS AT GROUND LEVEL
- BUILDING HEIGHT: ADDITIONAL 4 FT, 28 FT MAX FOR FLAT ROOF (SEE ELEVATIONS)
- BUILDING VOLUME: VOLUME OF 2ND FL. IS 75.52%, OVER THE 70% PERMITTED

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**PRAXIS**  
ARCHITECTURE + DESIGN

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**SAN MARINO RESIDENCE**  
**426 W. SAN MARINO DR.**  
**MIAMI BEACH, FL. 33139**  
**CLIENT: SAN MARINO DEVELOPMENTS LLC**

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DRAWING TITLE

**COVER &  
INDEX OF  
DRAWINGS**

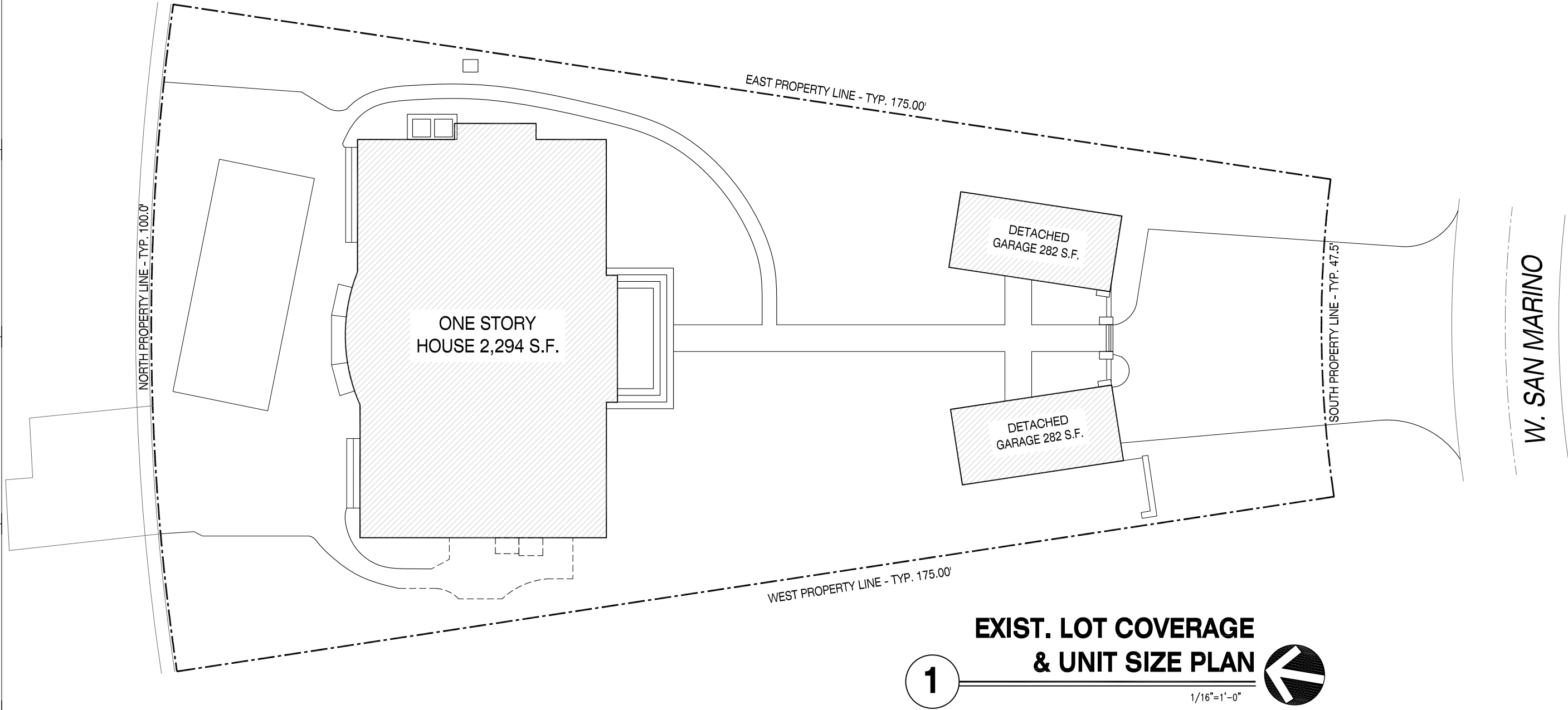
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**COVER**





EXISTING UNIT SIZE CALCULATION

LOT AREA	12,906 Sq. Ft.
1ST FLOOR A/C GARAGE (AFTER EXCLUDING 500 S.F.)	2,294 Sq. Ft. 564 Sq. Ft.
TOTAL UNIT SIZE	2,558 Sq. Ft.
EXIST. PERCENTAGE	22.14%

 HATCH DENOTES AREA COUNTED IN UNIT SIZE

EXISTING LOT COVERAGE CALCULATION

LOT AREA	12,906 Sq. Ft.
1ST FLOOR DETACHED GARAGE (282+282)	2,294 Sq. Ft. 564 Sq. Ft.
TOTAL LOT COVERAGE	2,858 Sq. Ft.
EXIST. PERCENTAGE	22.14%

 HATCH DENOTES AREA FLOOR COUNTED IN COVERAGE

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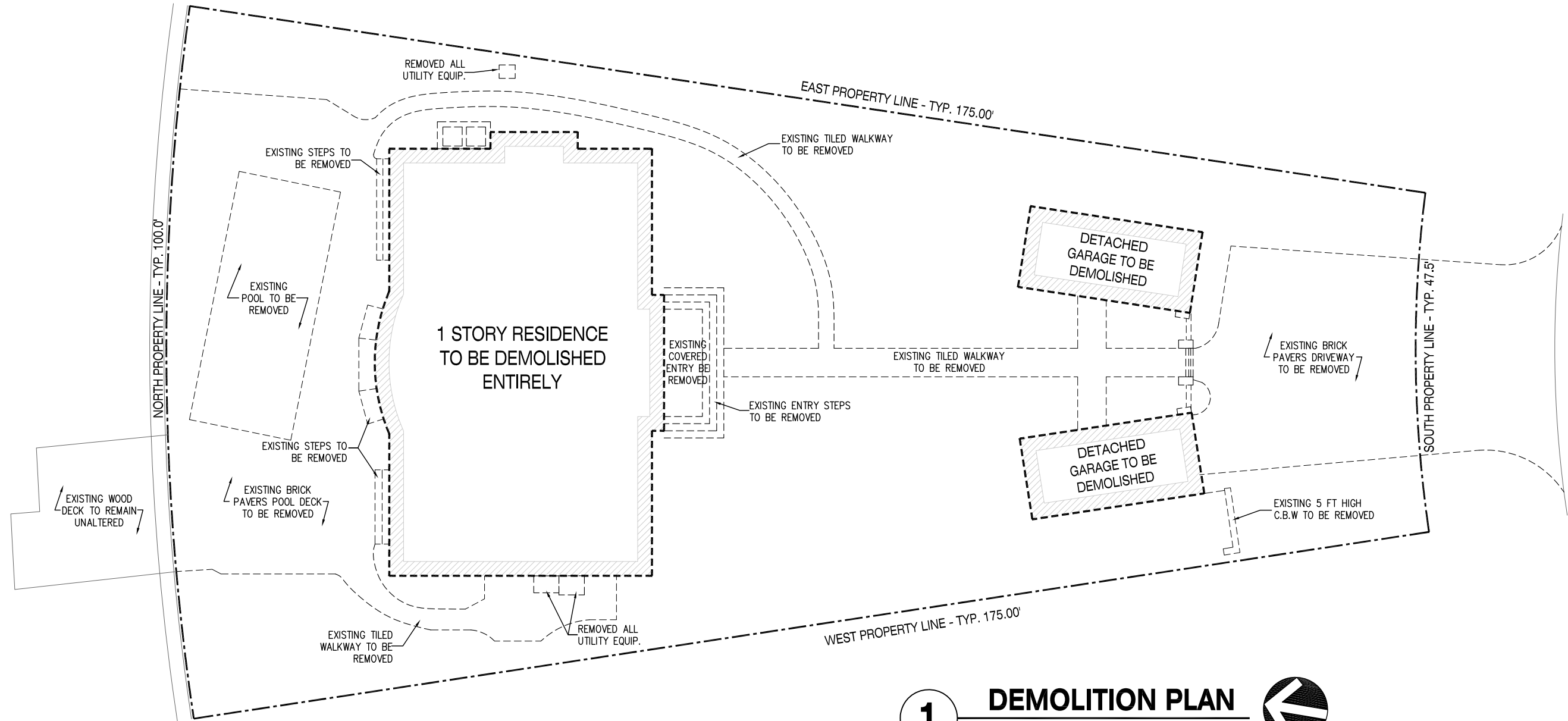
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DRAWING TITLE  
**EXIST. LOT  
COVERAGE  
/ UNIT SIZE  
PLAN**

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**EX-1.0**



1

DEMOLITION PLAN

1/16"=1'-0"

GENERAL DEMOLITION NOTES

1. CONTRACTOR SHALL NOTIFY ALL UTILITIES FOR PROPER DISCONNECTION PRIOR TO DEMOLITION ACTIVITIES.

2. CONTRACTOR SHALL PERFORM AND OBTAIN ALL PERMITS WITH CITY OF MIAMI BEACH & COMPLY WITH ALL NECESSARY REQUIREMENTS. CONTRACTOR SHALL PROVIDE NOTIFICATIONS AS REQUIRED AND COMPLY WITH LOCAL ORDINANCES.

3. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ACCIDENTAL DAMAGE TO ADJACENT PROPERTIES AND EXISTING ITEMS TO REMAIN. RESPONSIBILITY MEANS REPLACEMENT OF OR RESTORATION TO ORIGINAL CONDITION OF ANY DAMAGED ITEMS.

4. CONTRACTOR SHALL REMOVE ANY DECORATIVE ACCESSORIES AND LIGHT FIXTURES FROM WALLS, CEILINGS AND ELSEWHERE DIRECTED BY OWNER AND PROTECT SAME FROM POSSIBLE DAMAGE UNTIL INSPECTION FOR DISPOSITION IS MADE BY OWNER.

5. CONTRACTOR SHALL PERFORM INSECT/RODENT EXTERMINATION AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.

6. CONDUCT OPERATIONS SO AS NOT INTERFERE WITH ADJACENT ROADS, STREETS DRIVES, WALKS, SERVICE LINES AND THE LIKE.
7. MAINTAIN BUILDING GROUNDS FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH. DISPOSE ALL MATERIALS IMMEDIATELY AFTER DEMOLITION.

8. CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT AIRBORNE DUST TO SPREAD TO ADJACENT PROPERTIES. WATER SHALL BE APPLIED WHEREVER PRACTICAL TO SETTLE AND HOLD DUST TO A MINIMUM, PARTICULARLY DURING THE DEMOLITION & MOVING OF MATERIALS. PROVIDE DUMP CONTAINERS ON SITE FOR COLLECTION OF WASTE MATERIALS, RUBBISH AND DEBRIS FOR ALL TRADES.

9. UPON COMPLETION OF DEMOLITION WORK, LEAVE THE PROPERTY AND ADJACENT AREAS CLEAN AND SATISFACTORY TO LOCAL AUTHORITIES AND THE ARCHITECT. BESIDES THE REMOVAL OF WASTE MATERIALS. THE ENTIRE SPACE SHALL BE LEFT IN A "BROOM CLEAN" CONDITION, WITH THE COMPLETE REMOVAL OF ALL ACCUMULATIONS OF DUST FROM ANY REMAINING SURFACES, STRUCTURAL ELEMENTS OR OTHERWISE.

10. CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING FOR ASBESTOS CONTAINING MATERIAL AND RETAIN A CERTIFIED ASBESTOS ABATEMENT COMPANY FOR REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL PER STATE OF FLORIDA REGULATIONS.

DEMOLITION NOTES

1. SCOPE OF DEMOLITION ENTAILS ENTIRE HOUSE + DETACHED GARAGE.
2. REMOVE WALKWAYS, CONCRETE OR TILED PATIO, PRIVACY WALLS, POOL, POOL DECK, DRIVEWAYS AND FENCES AS INDICATED ON PLANS.
3. MAINTAIN AND PROTECT ALL EXISTING TREES.

TREE PROTECTION NOTE

PROVIDE 8'X8' PROTECTION BARRIER FOR TREES LESS THAN 18" IN DIAMETER AND 12'X12' PROTECTION BARRIER FOR TREES 18" IN DIAMETER AND GREATER.

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DEMO  
PLAN

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D-1.0

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NEIGHBORHOOD CONTEXTUAL VIEW

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**CONTEXT-  
UAL VIEW**

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SHEET  
**3D-1**





FRONT VIEW RENDERING / 3D PERSPECTIVE

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**FRONT  
RENDERING**

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**3D-2**





REAR VIEW RENDERING / 3D PERSPECTIVE

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**REAR  
RENDERING**

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SCALE: AS SHOWN

SHEET  
**3D-3**





PERSPECTIVE VIEW - FRONT



PERSPECTIVE VIEW - REAR



PERSPECTIVE VIEW - ENTRY

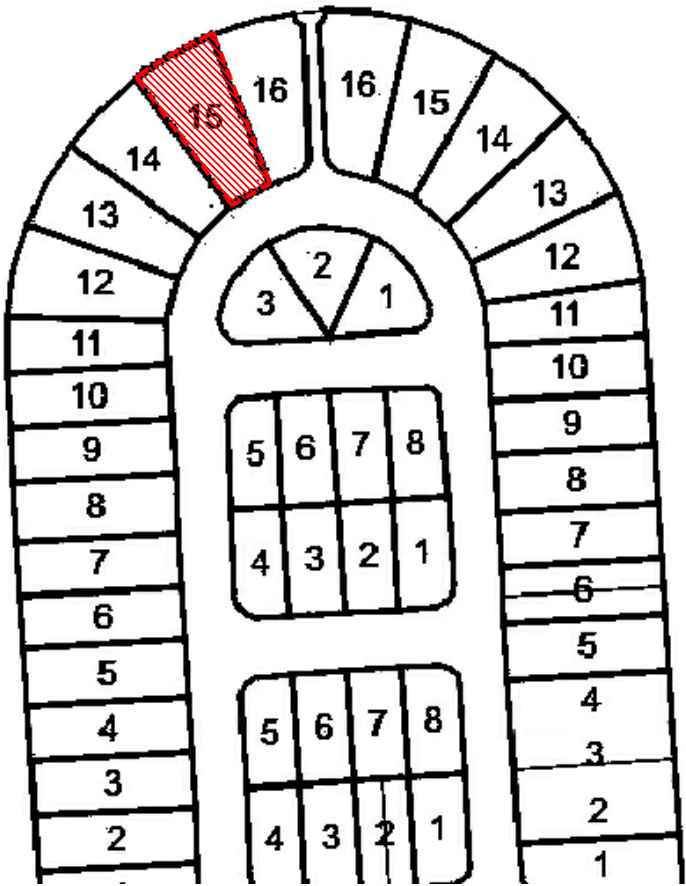


PERSPECTIVE VIEW - REAR



SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEMS#	ZONING INFORMATION				
1	ADDRESS:	426 W SAN MARINO DR. MIAMI BEACH. 33139			
2	FOLIO NUMBER(S):	02-3232-003-0280			
3	BOARD AND FILE NUMBERS:				
4	YEAR BUILT:	1940	ZONING DISTRICT:	RS-3	
5	BASED FLOOD ELEVATION:	+9.0' NGVD	GRADE VALUE IN N.G.V.D:	+4.05' NGVD	
6	ADJUSTED GRADE (FLOOD+GRADE/2)	+6.52' NGVD	FREE BOARD:	+14.0' NGVD (+5')	
7	LOT AREA:	12,906 S.F.			
8	LOT WIDTH: (100'+47.5' /2 = 73.75')	73'-9" (AVERAGE)	LOT DEPTH:	175'-0"	
9	MAX. LOT COVERAGE SF AND %:	3,872 SF (30%)	PROPOSED LOT COVERAGE SF AND %:	3,698 SF (28.67%)	
10	EXISTING LOT COVERAGE SF AND %:		LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:		
11	FRONT YARD OPEN SPACE SF AND %:	1,200 SF (77.02%)	REAR YARD OPEN SPACE SF AND %:	2,182 SF (86.66%)	
12	MAX. UNIT SIZE SF AND %:	6,453 SF (50%)	PROPOSED UNIT SIZE SF AND %:	6,368 SF (49.36%)	
13	EXISTING FIRST FLOOR UNIT SIZE%:		PROPOSED FIRST FLOOR VOLUME SIZE:	3,575 SF	
14	EXISTING SECOND FLOOR UNIT SIZE:		PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND %	2,700 SF (75.52%)	
15			PROPOSED SECOND FLOOR UNIT SIZE SF AND %:	2,700 SF	
16			PROPOSED ROOF DECK AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	N/A	
16A			GROSS AREA:	6,968 SF	
		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	25 FT.		28'-0" FT. BY WAIVER	SEE ELEVATION SHEETS
18	SETBACKS:				
19	FRONT FIRST LEVEL:	30 FT.	N/A	51'-7"	
20	FRONT SECOND LEVEL:	30 FT.	N/A	62'-0"	
21	SIDE 1 - EAST:	10'-0"		10'-0"	
22	SIDE 2 - WEST:	10'-0"		10'-0"	
23	REAR:	26'-3"		33'-7" 2ND FL	
24	ACCESSORY STRUCTURE SIDE 1:	N/A	N/A	N/A	
25	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A	N/A	N/A	
26	ACCESSORY STRUCTURE REAR:	N/A	N/A	N/A	
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?	NO			
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE?	NO			
29	DETERMINE TO BE ARCHITECTURALLY SIGNIFICANT?	NO			



LOCATION PLAN

NOT TO SCALE



SCOPE OF WORK

- NEW SINGLE FAMILY RESIDENCE REPLACING EXISTING PRE-1942 BUILDING. PROPOSED RESIDENCE IS TWO-STORY W/ AN UNDERSTORY.

REQUEST OF WAIVERS

- BUILDING USE: UNDERSTORY AREAS AT GROUND LEVEL
- BUILDING HEIGHT: ADDITIONAL 4 FT, 28 FT MAX FOR FLAT ROOF (SEE ELEVATIONS)
- BUILDING VOLUME: VOLUME OF 2ND FL. IS 75.52%, OVER THE 70% PERMITTED

APPLICABLE CODES

- 2017 FLORIDA BUILDING CODE RESIDENTIAL
- CITY OF MIAMI BEACH LOCAL ORDINANCE (RS-3)

LEGAL DESCRIPTION

LOT 15, BLOCK 2, SAN MARINO, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 9, PAGE 22, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.



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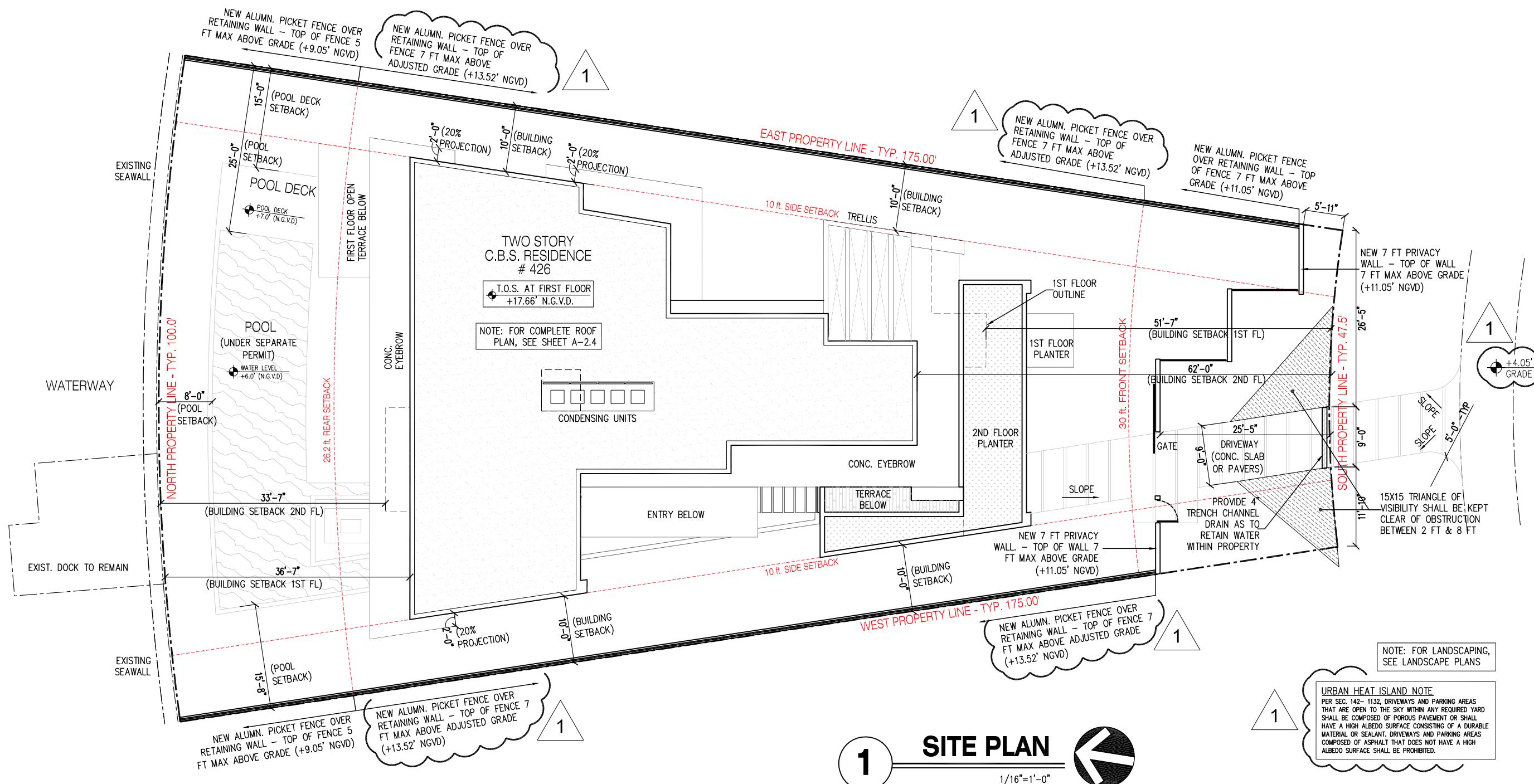
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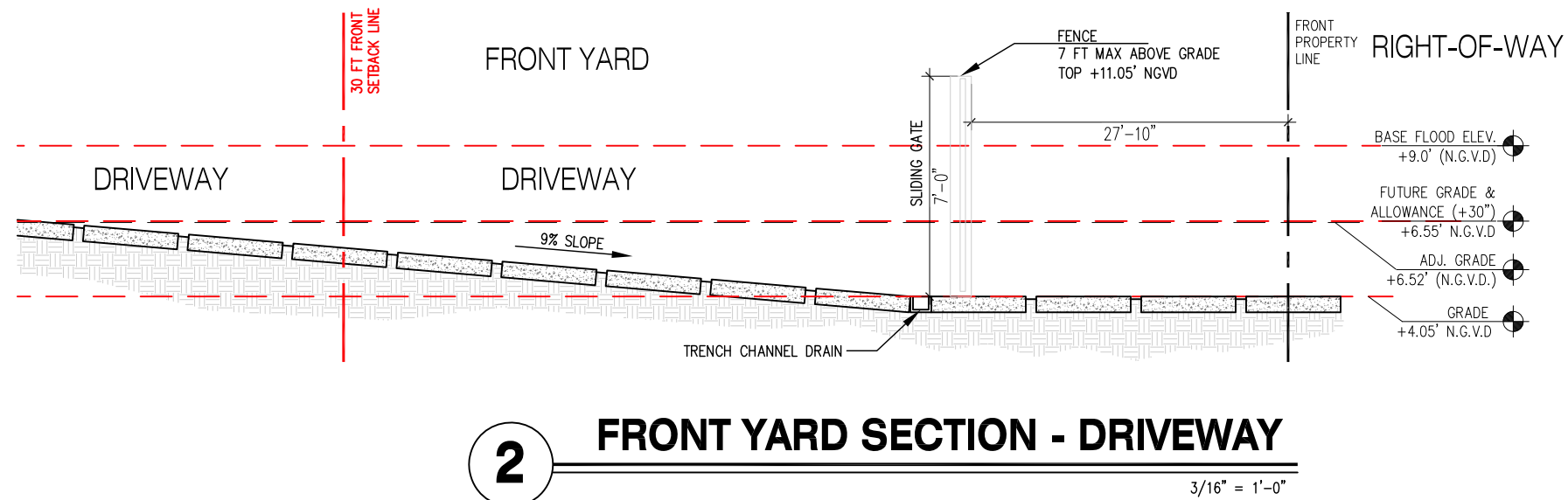
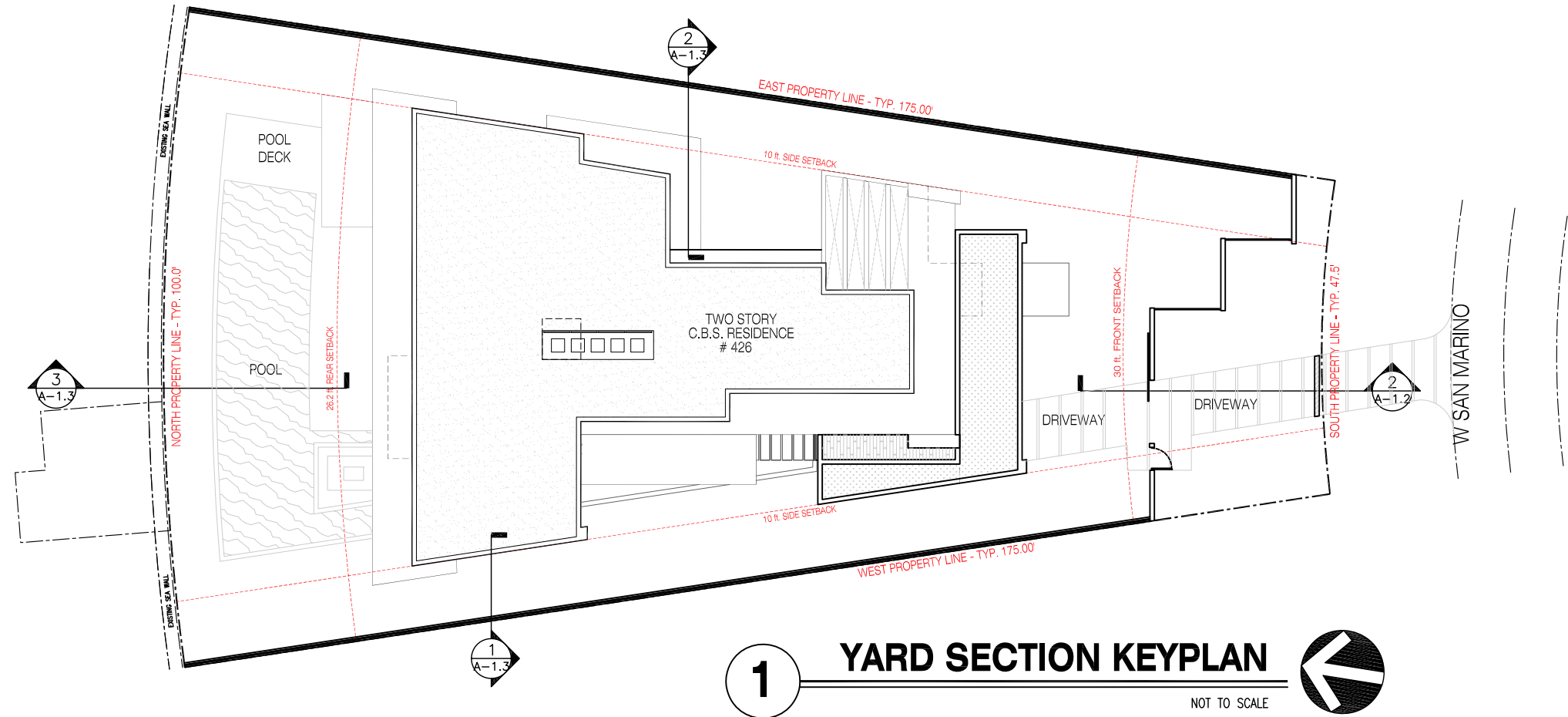
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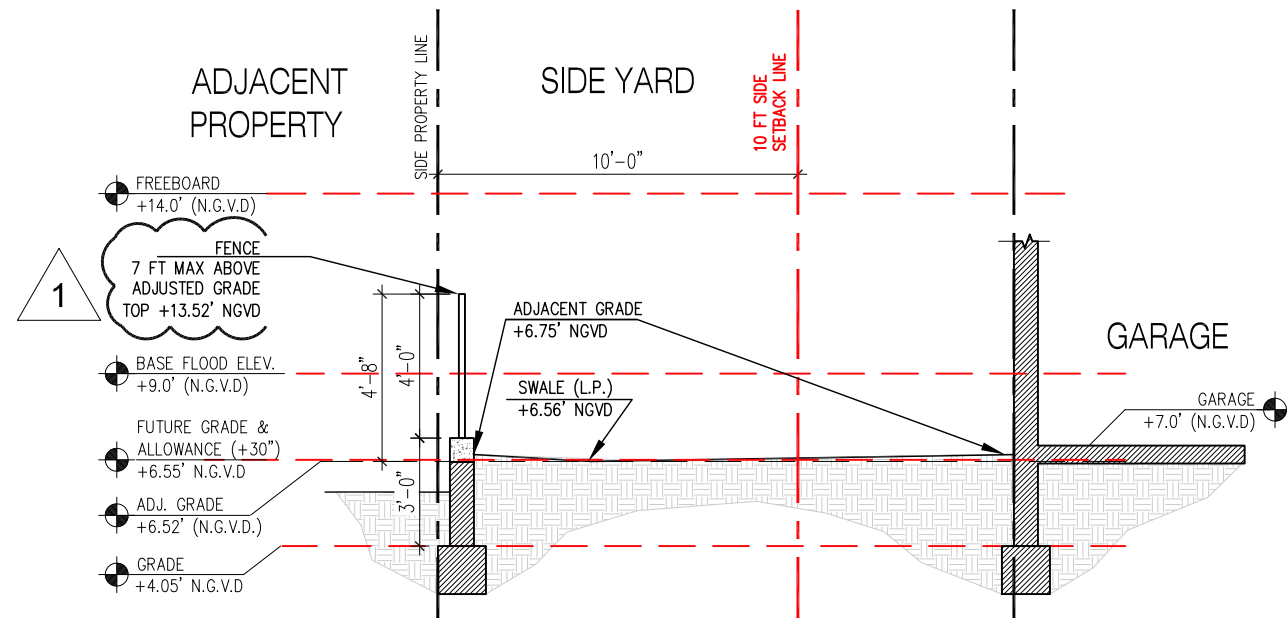
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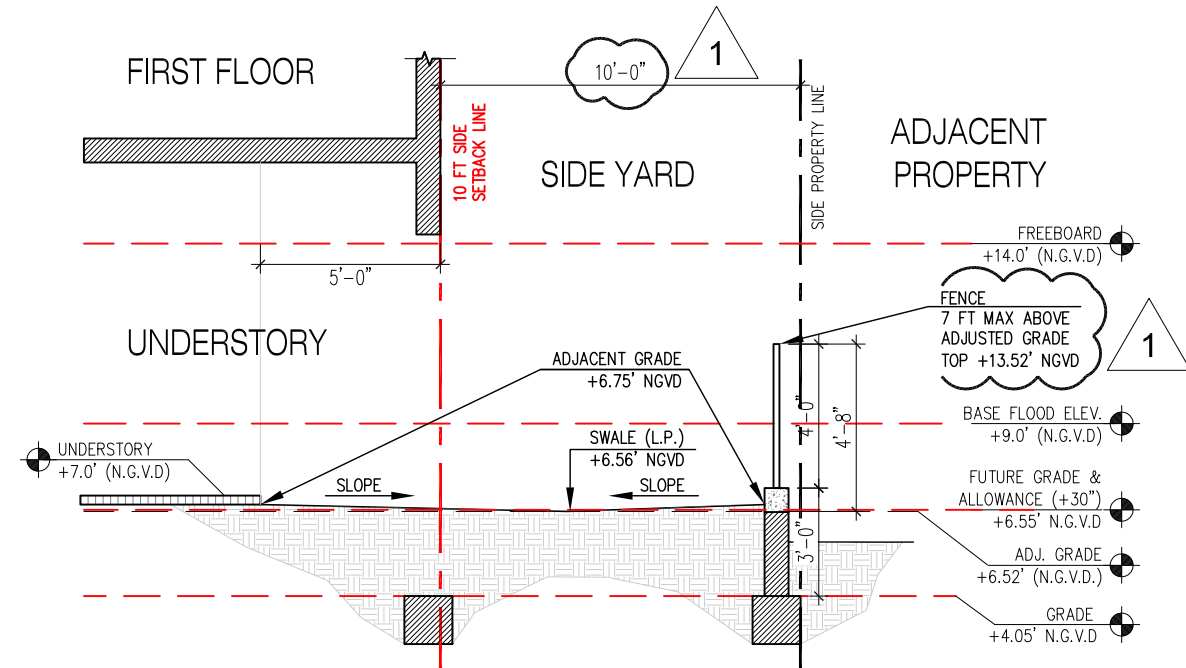




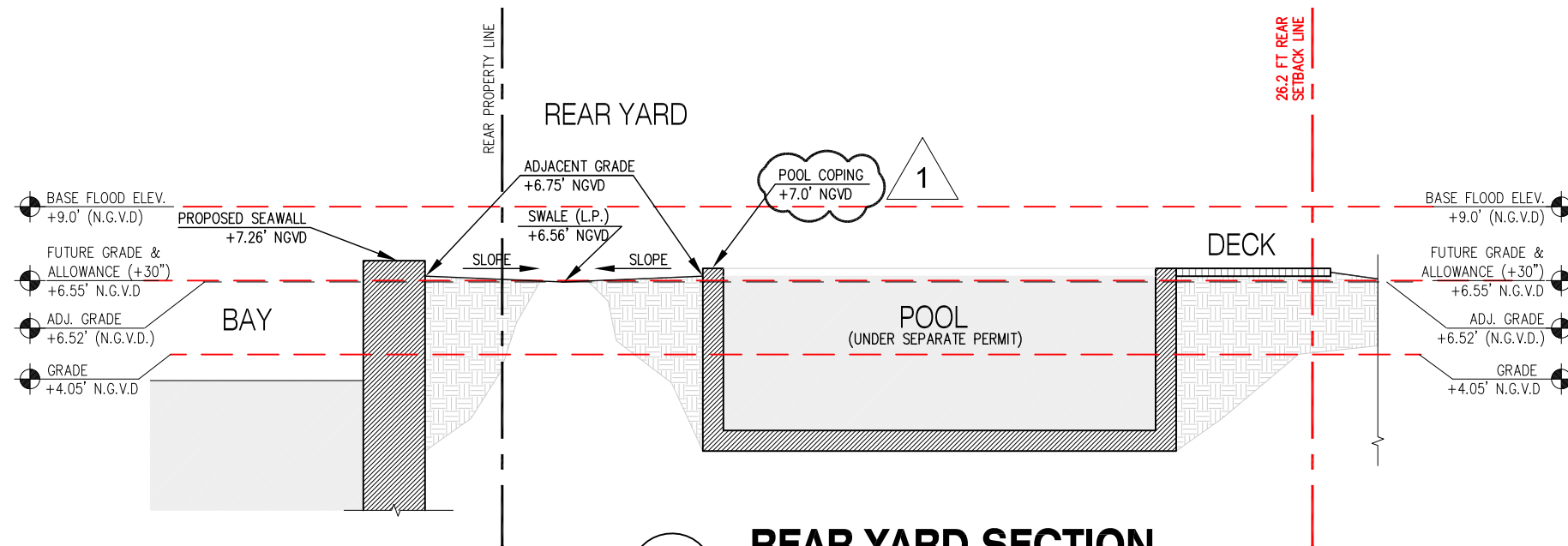




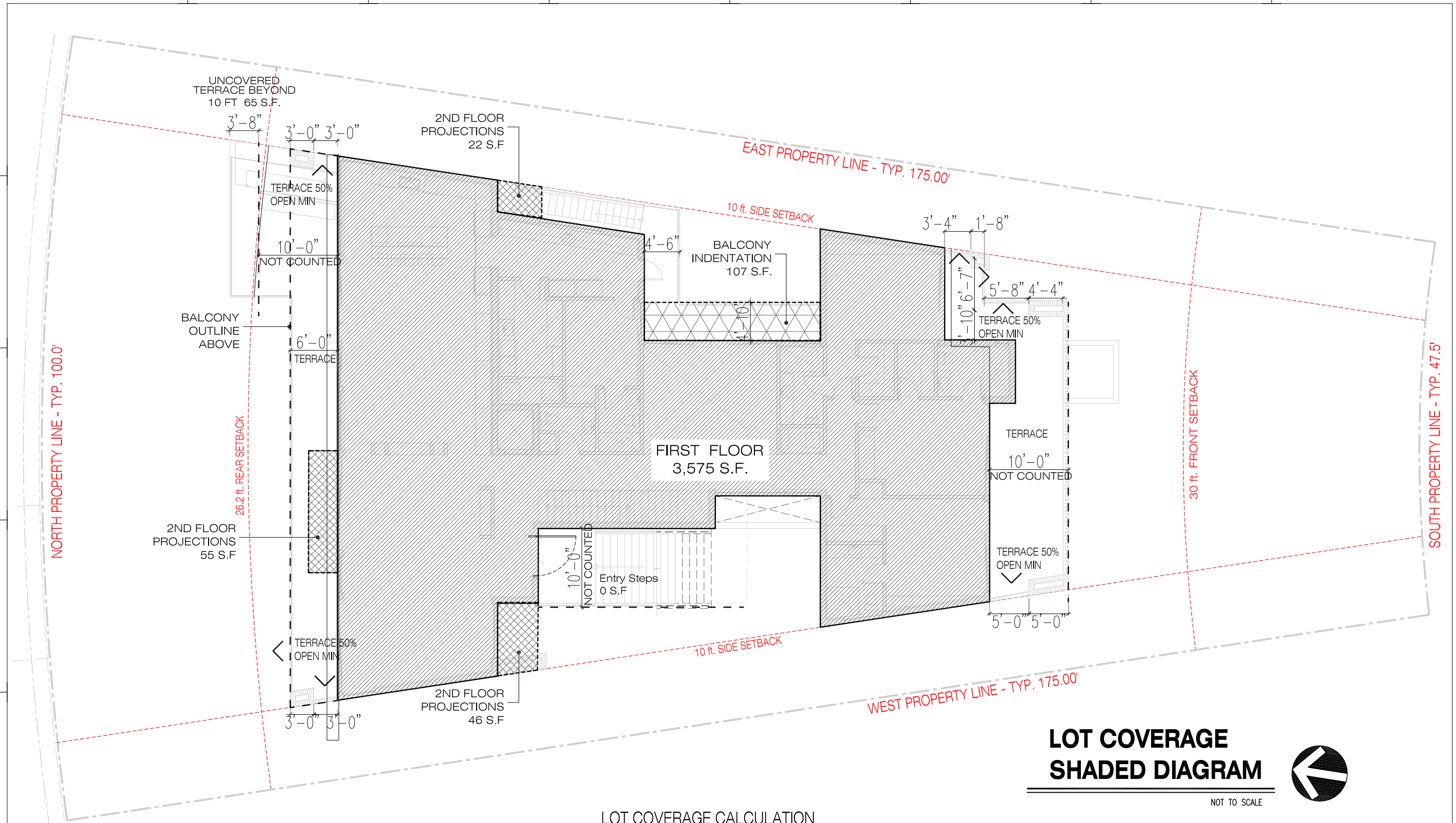
**2 SIDE YARD SECTION ( EAST )**  
3/16" = 1'-0"



**1 SIDE YARD SECTION (WEST)**  
3/16" = 1'-0"



**3 REAR YARD SECTION**  
3/16" = 1'-0"



LOT COVERAGE CALCULATION

TOTAL LOT AREA	12,900 S.F.
MAX COVERAGE (30%)	3,870 S.F.
AREAS INCLUDED IN COVERAGE	
1ST FLOOR	3,575 S.F.
2ND FLOOR PROJECTION 46+22+55	123 S.F.
TOTAL LOT COVERAGE	3,698 S.F.
PERCENTAGE PROPOSED	28.67 %

HATCH DENOTES AREA AT FIRST FLOOR COUNTED IN COVERAGE  
HATCH DENOTES AREA AT SECOND FLOOR COUNTED IN COVERAGE

LOT COVERAGE  
SHADED DIAGRAM

NOT TO SCALE



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**LOT  
COVERAGE  
DIAGRAM**

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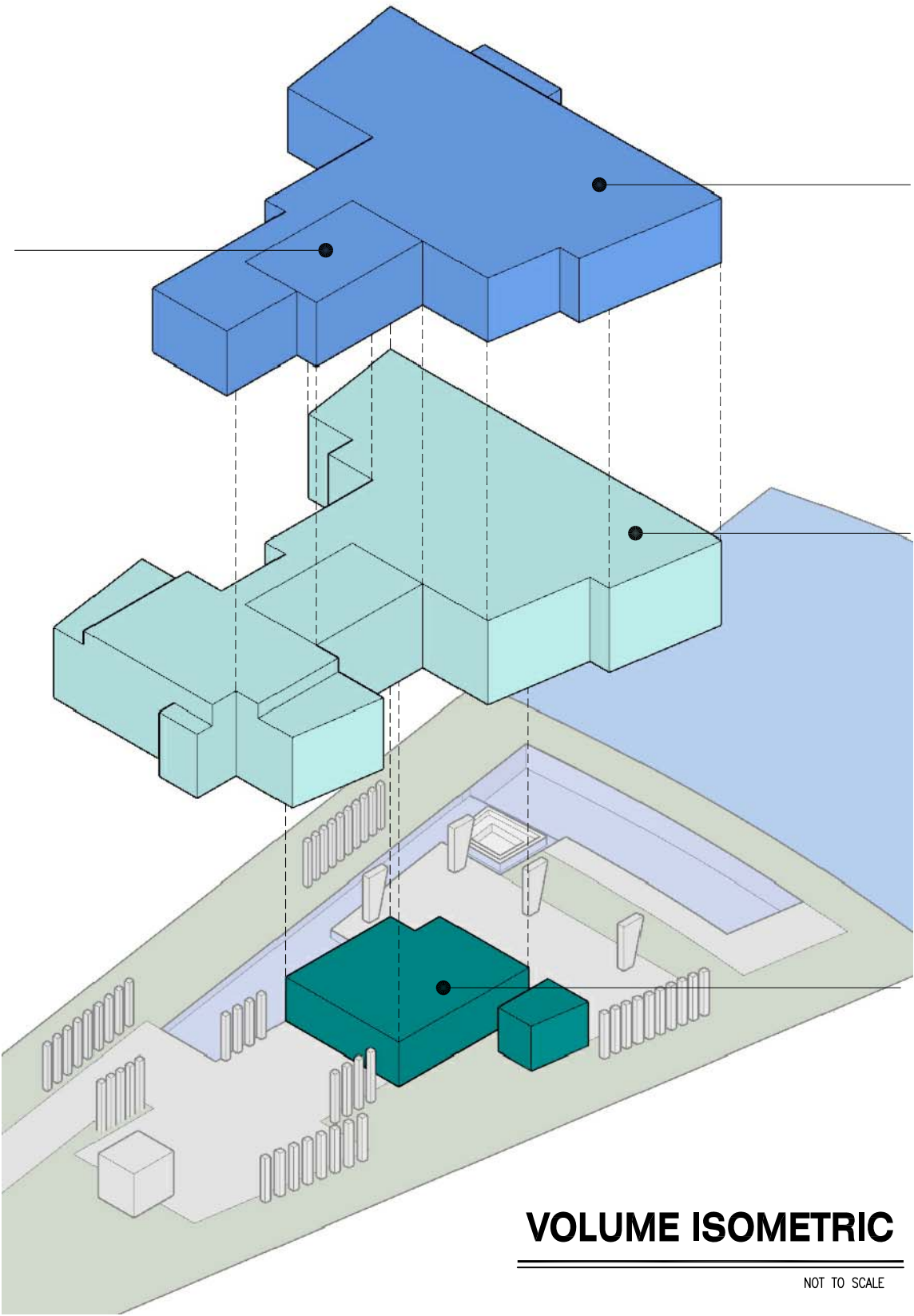
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SHEET  
**A-1.4**



1

DOUBLE HEIGHT  
EXCLUDED FROM UNIT  
SIZE CALCULATION



SECOND FLOOR  
2,700 S.F.  
(75.52% OF FIRST FLOOR)

1

FIRST FLOOR  
3,575 S.F.

BUILDING VOLUME CALCULATION

1

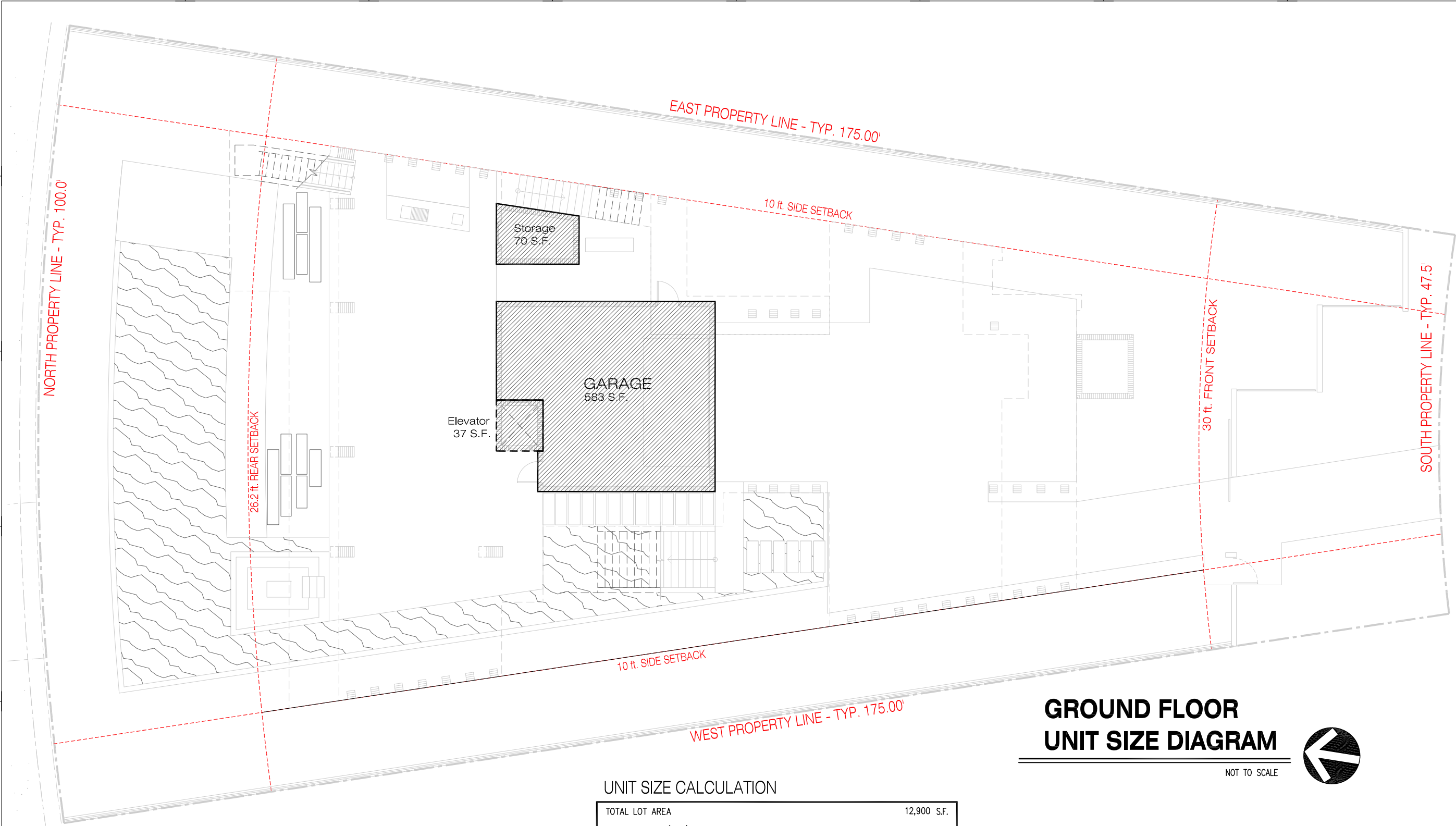
FIRST FLOOR AREAS	
1ST FLOOR	3,575 S.F.
TOTAL FIRST FLOOR VOLUME	3,575 S.F.
TOTAL SECOND FLOOR VOLUME	2,700 S.F.
SECOND FLOOR VOLUME RATIO TO FIRST FLOOR VOLUME	75.52 %

GARAGE  
EXCLUDED FROM  
VOLUME CALCULATION

1

VOLUME ISOMETRIC

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**426 W. SAN MARINO DR.**  
**MIAMI BEACH, FL. 33139**  
**CLIENT: SAN MARINO DEVELOPMENTS LLC**

**FINAL**  
**SUBMITTAL**  
**01-06-2020**

DRAWING TITLE

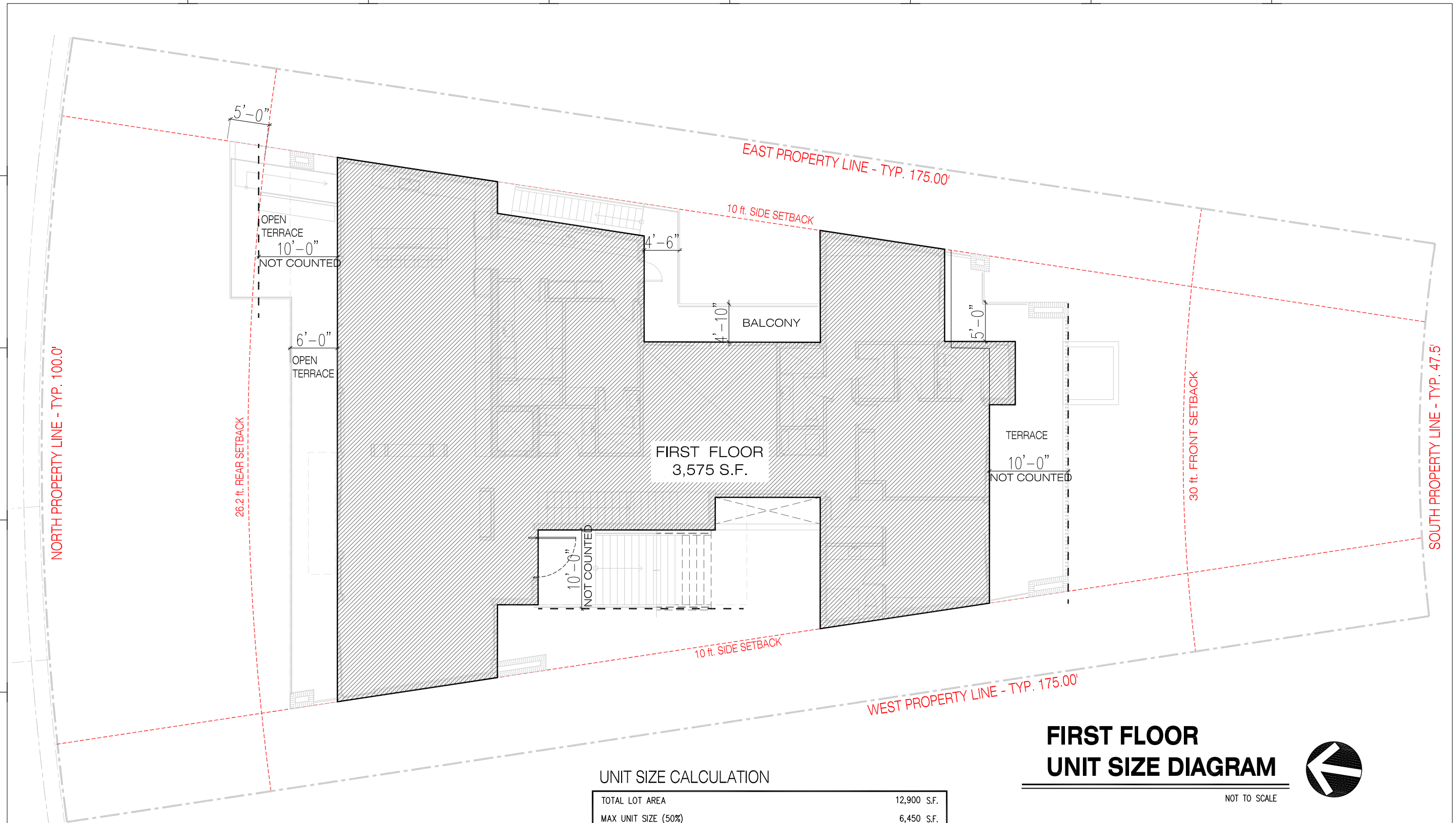
**UNIT**  
**SIZE**  
**DIAGRAM**

REVISION	DATE
1.	01/06/2020
DRB COMMENTS	

SCALE: AS SHOWN

SHEET  
**A-1.6**





UNIT SIZE CALCULATION

TOTAL LOT AREA	12,900 S.F.
MAX UNIT SIZE (50%)	6,450 S.F.
GROUND FLOOR (693 S.F. TOTAL, 600 SF EXCLUDED)	93 S.F.
STORAGE	70 S.F.
ELEVATOR	37 S.F.
GARAGE	586 S.F.
FIRST FLOOR	3,575 S.F.
SECOND FLOOR	2,700 S.F.
TOTAL UNIT SIZE	6,368 S.F.
PERCENTAGE PROPOSED	49.36 %

 HATCH DENOTES AREA  
COUNTED IN UNIT SIZE

FIRST FLOOR  
UNIT SIZE DIAGRAM

NOT TO SCALE



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**01-06-2020**

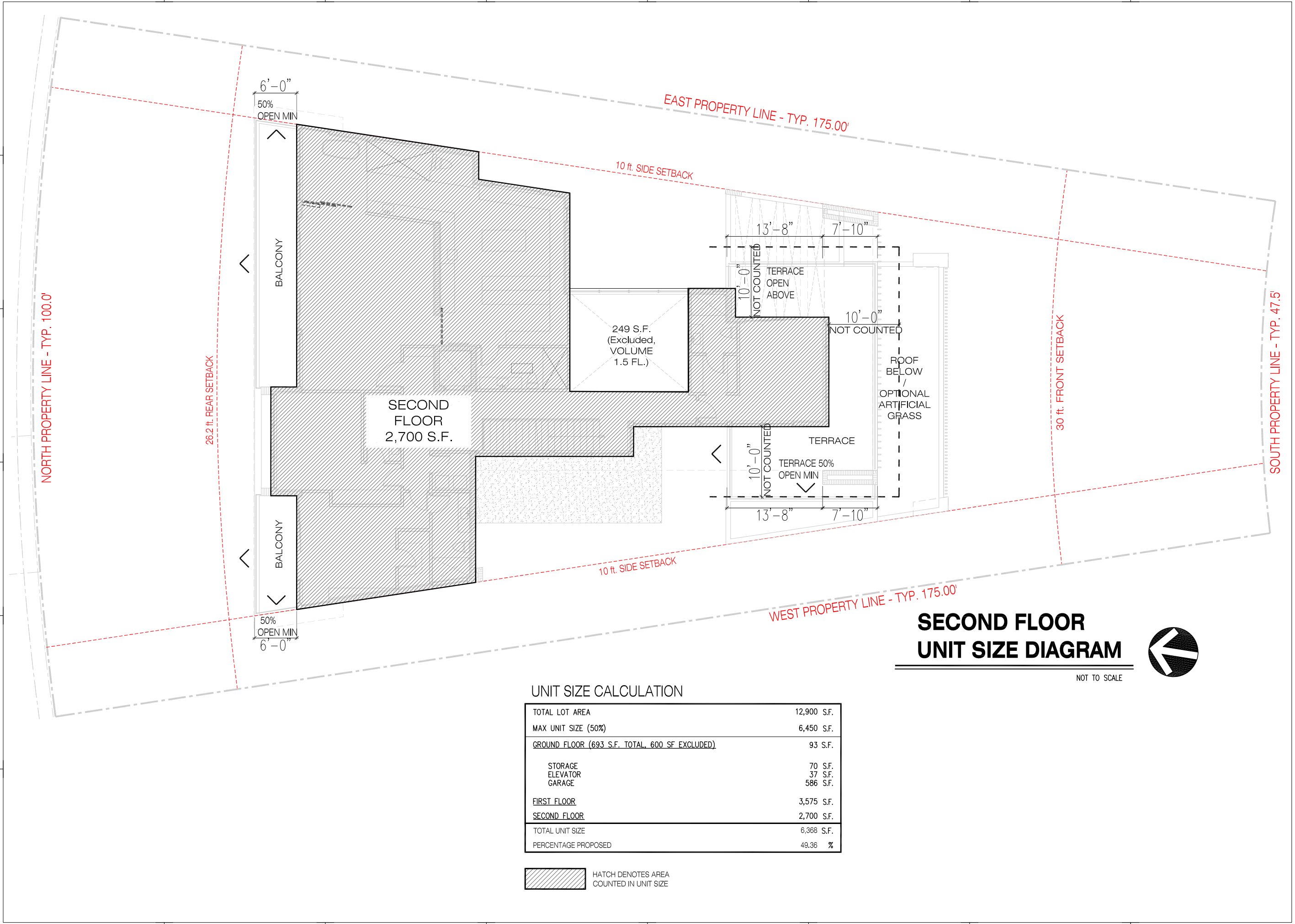
DRAWING TITLE

**UNIT  
SIZE  
DIAGRAM**

REVISION	DATE
1.	01/06/2020
DRB COMMENTS	

SCALE: AS SHOWN

SHEET  
**A-1.7**



UNIT SIZE CALCULATION

TOTAL LOT AREA	12,900 S.F.
MAX UNIT SIZE (50%)	6,450 S.F.
GROUND FLOOR (693 S.F. TOTAL, 600 SF EXCLUDED)	93 S.F.
STORAGE	70 S.F.
ELEVATOR	37 S.F.
GARAGE	586 S.F.
FIRST FLOOR	3,575 S.F.
SECOND FLOOR	2,700 S.F.
TOTAL UNIT SIZE	6,368 S.F.
PERCENTAGE PROPOSED	49.36 %

 HATCH DENOTES AREA COUNTED IN UNIT SIZE

SECOND FLOOR  
UNIT SIZE DIAGRAM

NOT TO SCALE



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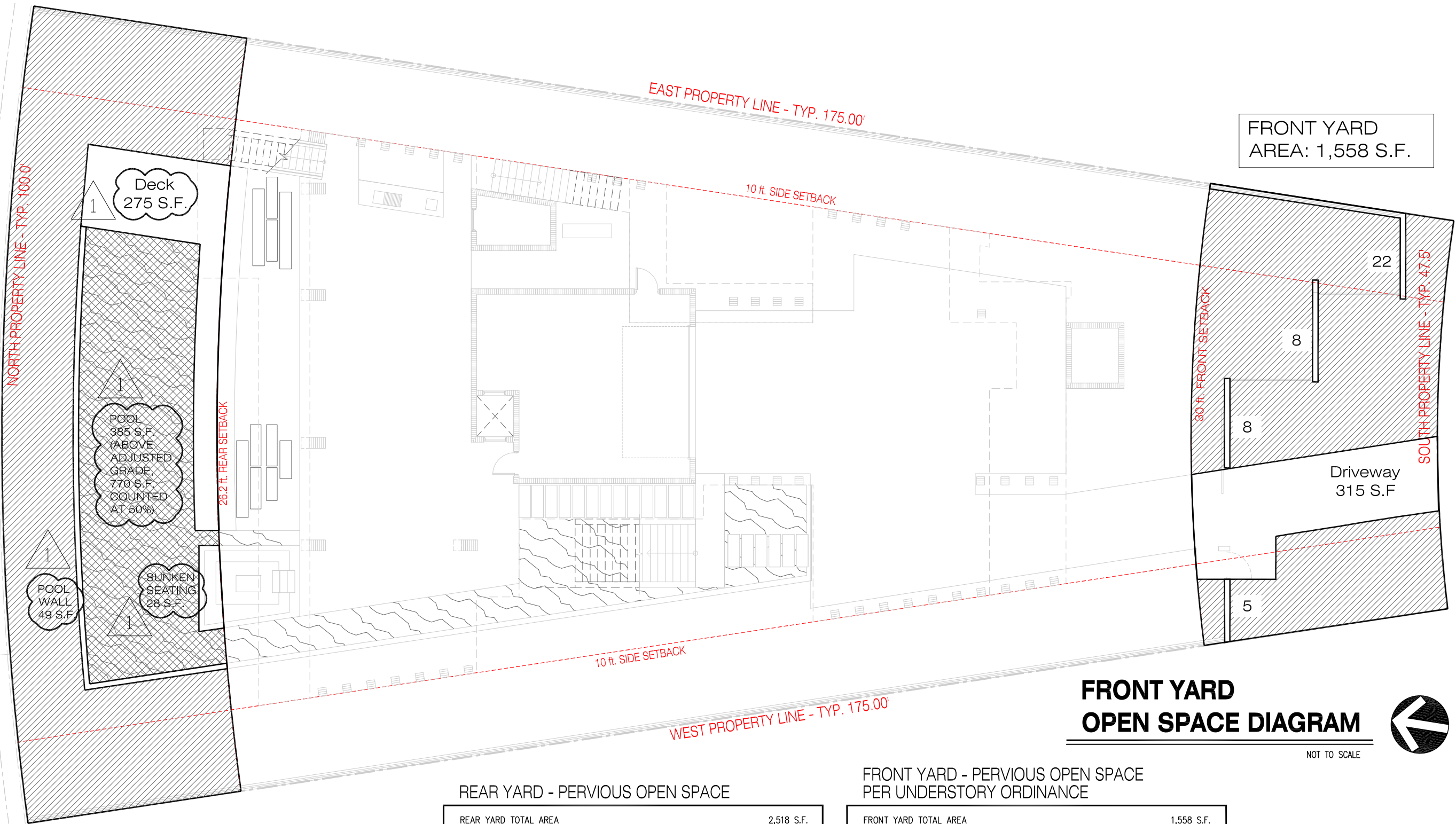
**UNIT  
SIZE  
DIAGRAM**

REVISION	DATE
1.	01/06/2020
DRB COMMENTS	

SCALE: AS SHOWN

SHEET





FRONT YARD  
AREA: 1,558 S.F.

REAR YARD  
TOTAL: 2,518 S.F.

## FRONT YARD OPEN SPACE DIAGRAM

NOT TO SCALE

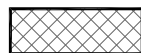


### REAR YARD - PERVIOUS OPEN SPACE

REAR YARD TOTAL AREA	2,518 S.F.
REAR YARD PERVIOUS OPEN SPACE MIN. - 70%	1,762 S.F.
<b>IMPERVIOUS AREAS</b>	
POOL (770 SF COUNTED AT 50%, ABOVE ADJUSTED GRADE)	385 S.F.
POOL DECK	275 S.F.
POOL WALL	49 S.F.
SUNKEN SEATING	28 S.F.
TOTAL IMPERVIOUS AREAS (TO BE EXCLUDED FROM OPEN SPACE)	737 S.F.
<b>PERVIOUS OPEN SPACE</b>	
REAR YARD AREA	2,518 S.F.
IMPERVIOUS AREAS	-737 S.F.
TOTAL REAR YARD OPEN SPACE	1,781 S.F.
PERCENTAGE OF OPEN SPACE	70.73%



HATCH DENOTES  
PERVIOUS OPEN SPACE



HATCH DENOTES  
POOL WATER

### FRONT YARD - PERVIOUS OPEN SPACE PER UNDERSTORY ORDINANCE

FRONT YARD TOTAL AREA	1,558 S.F.
FRONT YARD PERVIOUS OPEN SPACE MIN. - 70%	1,090 S.F.
<b>IMPERVIOUS AREAS</b>	
DRIVEWAY 315+5+8+8+22	358 S.F.
TOTAL IMPERVIOUS AREAS (TO BE EXCLUDED FROM OPEN SPACE)	358 S.F.
<b>PERVIOUS OPEN SPACE</b>	
FRONT YARD AREA	1,558 S.F.
IMPERVIOUS AREAS	-358 S.F.
TOTAL FRONT YARD OPEN SPACE	1,200 S.F.
PERCENTAGE OF OPEN SPACE	77.02%



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01-06-2020**

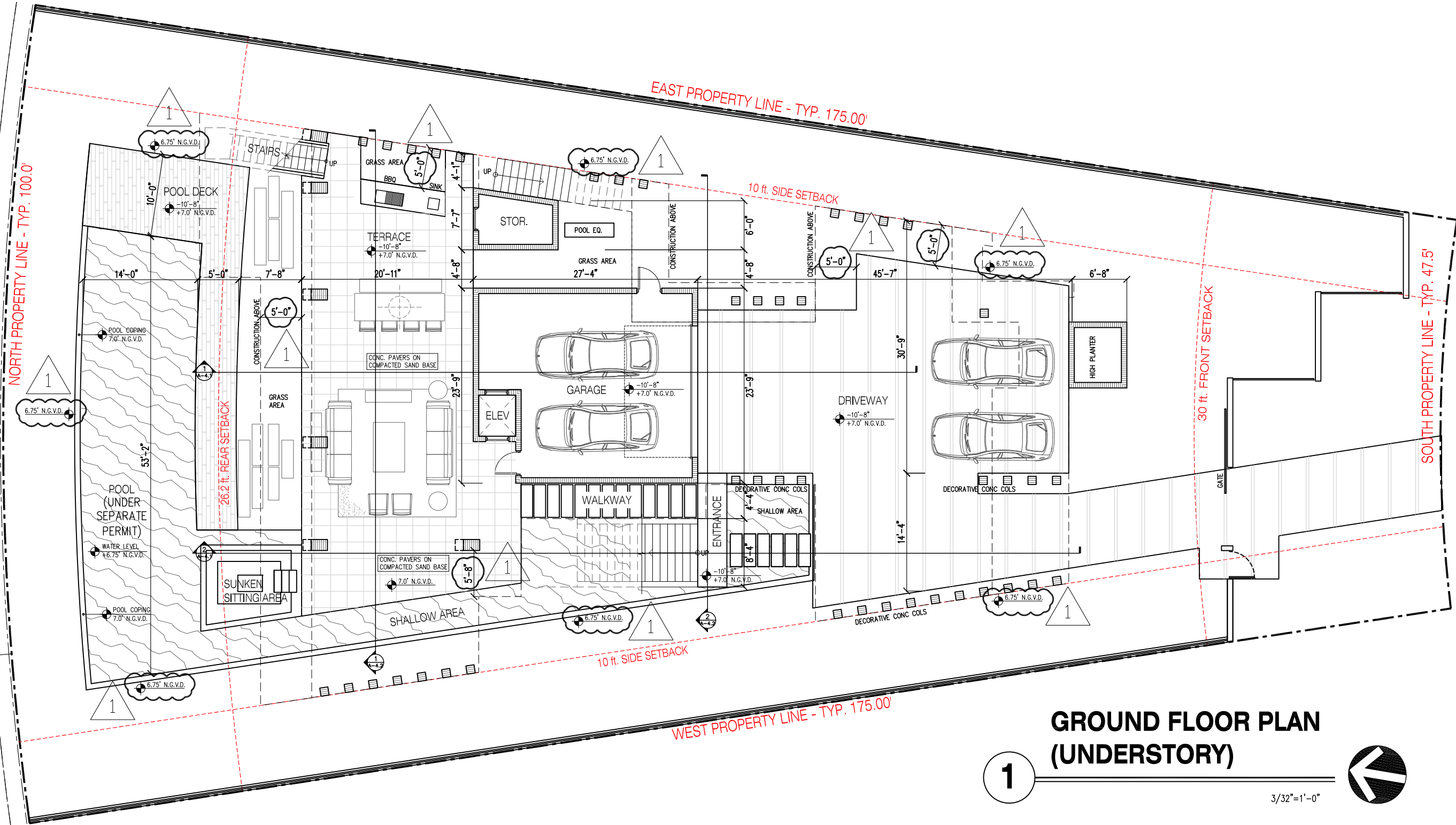
DRAWING TITLE  
**OPEN  
SPACE  
DIAGRAM**

REVISION	DATE
1.	01/06/2020

DRB COMMENTS

SCALE: AS SHOWN

SHEET  
**A-1.9**



GROUND FLOOR PLAN  
(UNDERSTORY)

1

3/32"=1'-0"



WALL LEGEND	
	NEW 8" C.M.U. W/ CEMENT STUCCO FINISH BOTH SIDES
	CONCRETE COLUMN

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DRAWING TITLE  
GROUND  
FLOOR  
PLAN

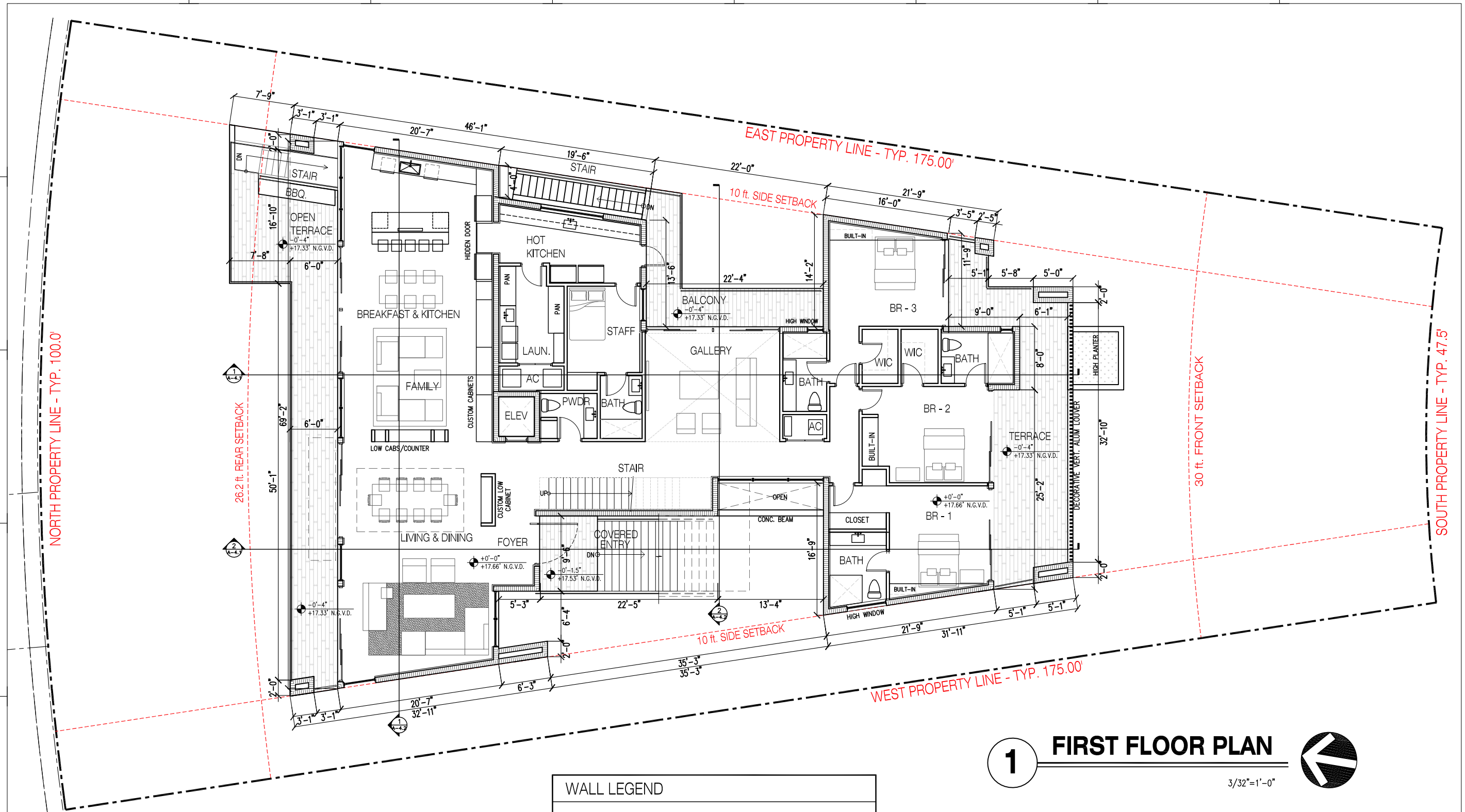
REVISION	DATE
1.	01/06/2020
DRB COMMENTS	

SCALE: AS SHOWN

SHEET  
A-2.1

PRAXIS  
ARCHITECTURE + DESIGN  
JOSE L. SANCHEZ, AIA  
FL LIC: AA 26000837  
278 NW 37th ST.  
MIAMI, FL 33127  
TEL: 305-576-8063  
PRAXISARCH.COM





WALL LEGEND	
	NEW 8" C.M.U. WALL W/ 2"x2"PRESSURE TREATED FURRING STRIPS, R-7.1 INSULATION BTW. 5/8" GYP. BD. FINISH
	NEW 8" C.M.U. W/ CEMENT STUCCO FINISH BOTH SIDES
	NEW DRYWALL PARTITION - 5/8" GYPSUM BOARD ON 22 GAGE METAL STUDS @ 16" O.C. - ALTERNATIVE" 2"x4" WOOD STUDS). PROVIDE 1/2" DUROCK BOARD AT WET AREAS AND 5/8" MOISTURE RESISTANT GREENBOARD AT AREAS SUBJECT TO MOISTURE (BATHROOMS).
	NEW DRYWALL PARTITION - PROVIDE ACOUSTIC INSULATION WHERE NOTED BY INSULT. SYMBOL
	CONCRETE COLUMN

1

FIRST FLOOR PLAN

3/32"=1'-0"

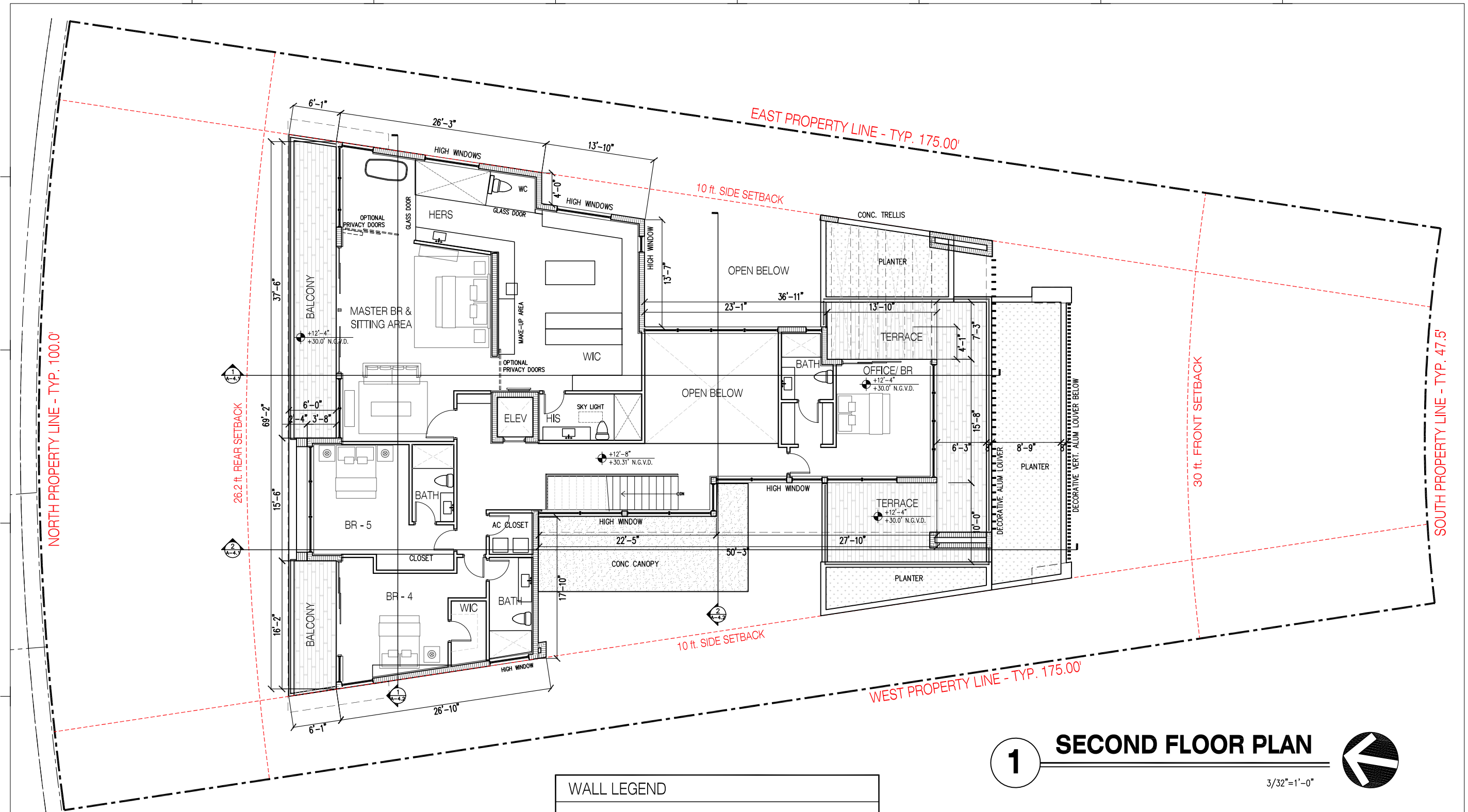
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FINAL  
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01-06-2020

DRAWING TITLE	
FIRST FLOOR PLAN	
REVISION	DATE
1.	01/06/2020
DRB COMMENTS	
SCALE: AS SHOWN	
SHEET	
A-2.2	





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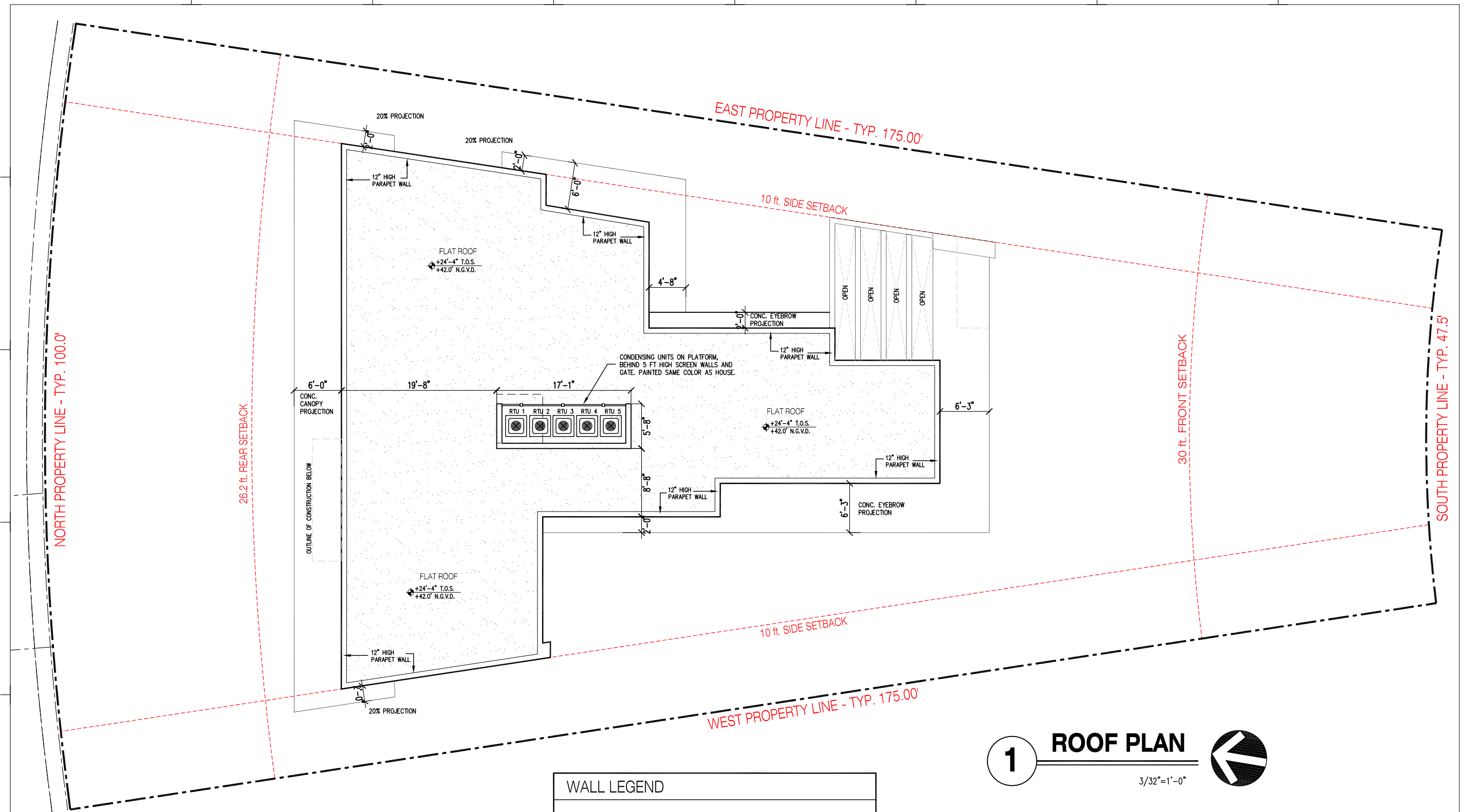
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**01-06-2020**

DRAWING TITLE	
SECOND FLOOR PLAN	
REVISION	DATE
1.	01/06/2020
DRB COMMENTS	
SCALE: AS SHOWN	
SHEET	
A-2.3	



WALL LEGEND	
	NEW 8" C.M.U. WALL W/ 2"x2"PRESSURE TREATED FURRING STRIPS, R-7.1 INSULATION BTW. 5/8" GYP. BD. FINISH
	NEW 8" C.M.U. W/ CEMENT STUCCO FINISH BOTH SIDES
	NEW DRYWALL PARTITION - 5/8" GYPSUM BOARD ON 22 GAGE METAL STUDS @ 16" O.C. - ALTERNATIVE" 2"x4" WOOD STUDS). PROVIDE 1/2" DUROCK BOARD AT WET AREAS AND 5/8" MOISTURE RESISTANT GREENBOARD AT AREAS SUBJECT TO MOISTURE (BATHROOMS).
	NEW DRYWALL PARTITION - PROVIDE ACOUSTIC INSULATION WHERE NOTED BY INSULT. SYMBOL
	CONCRETE COLUMN

1

ROOF PLAN

3/32"=1'-0"



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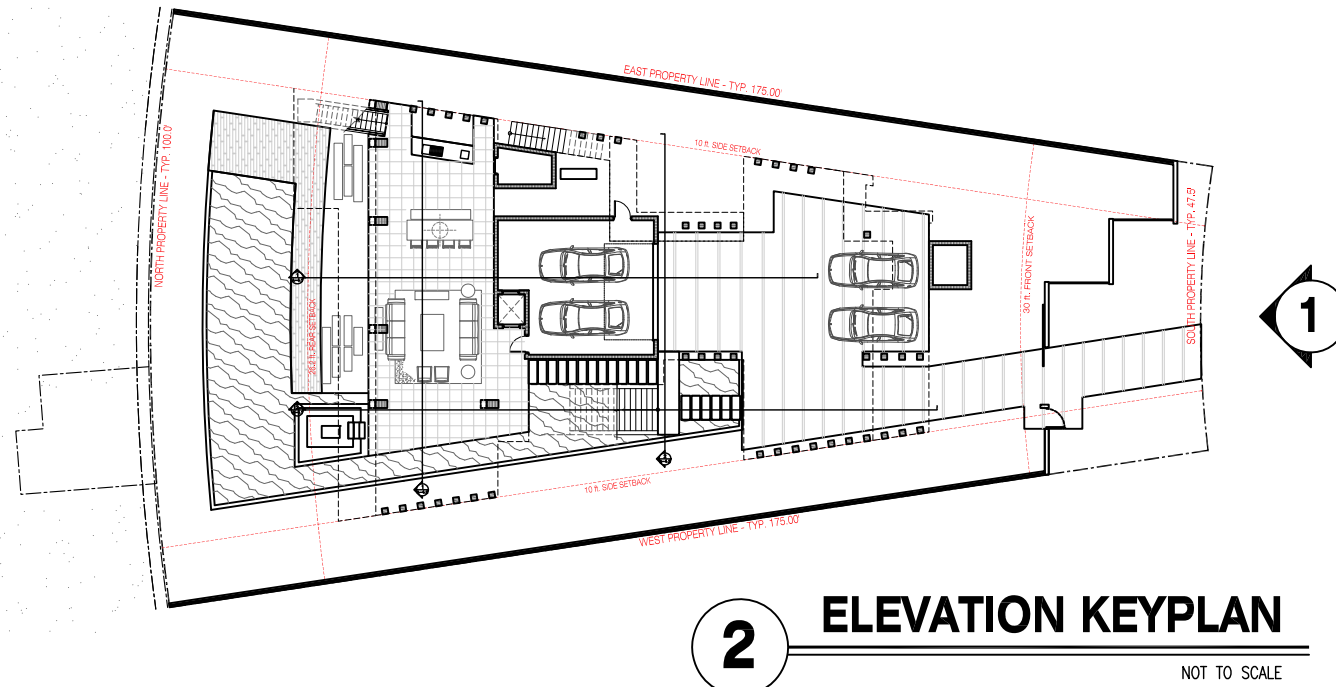
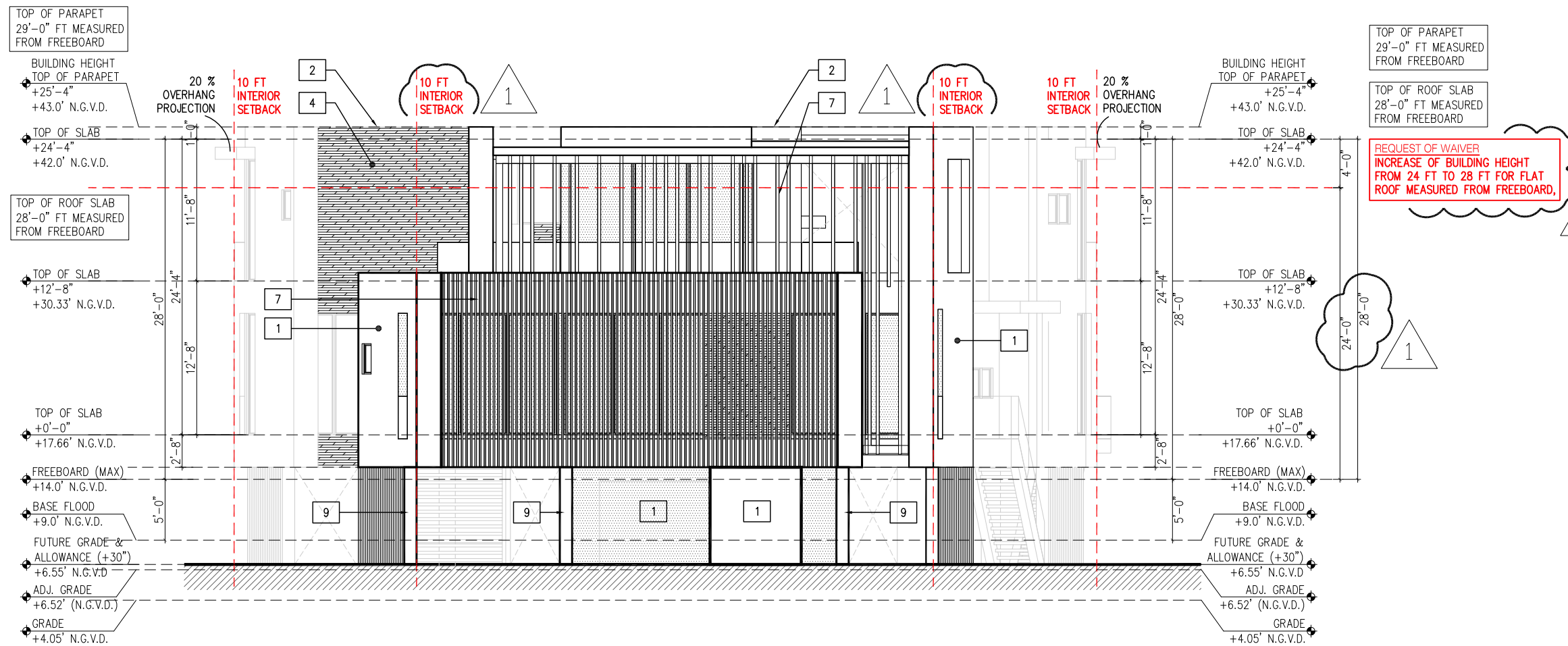
**ROOF**  
**PLAN**

REVISION	DATE
1.	01/06/2020
DRB COMMENTS	

SCALE: AS SHOWN

SHEET  
**A-2.4**





**SOUTH ELEVATION**  
**( FRONT )** 3/32" =

## ELEVATION KEYNOTES

1. 5/8" SMOOTH CEMENT STUCCO (PAINTED WHITE OR AS SELECTED). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
2. 12" ROOFTOP CURB (SEE ROOF PLAN)
3. GLASS GUARDRAIL (42" HIGH A.F.F.) – UNDER SEPARATE PERMIT
4. VENEER –TO BE SELECTED– PORCELAIN TILE OR STONE TILE.
5. OVERHEAD GARAGE DOOR (COLOR TO MATCH ADJACENT WALL)
6. DADE COUNTY APPROVED ALUM./IMPACT GLASS WINDOWS (IMPACT, BRONZE FINISH). REFER TO ENERGY CALCULATIONS FOR SHADING COEFFICIENT AND U FACTOR REQUIRED. PROVIDE FLUID APPLIED WATERPROOFING ON THE INSIDE FACE OF THE ROUGH OPENING. (TYP)
7. DECORATIVE ALUMN. LOUVERS – SPACING BETWEEN LOUVERS SHALL REJECT A 4" SPHERE.
8. GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS.
9. CONCRETE COLUMNS.
10. ALUM SCREEN ENCLOSURE FOR CONDENSING UNITS – PAINT CMU SCREEN & GATE SAME COLOR AS THE HOUSE.

TOP OF PARAPET  
29'-0" FT MEASURED  
FROM FREEBOARD

BUILDING HEIGHT  
TOP OF PARAPET  
+25'-4"  
+43.0' N.G.V.D.

TOP OF SLAB  
+24'-4"  
+42.0' N.G.V.D.

TOP OF ROOF SLAB  
28'-0" FT MEASURED  
FROM FREEBOARD

TOP OF SLAB  
+12'-8"  
+30.33' N.G.V.D.

TOP OF SLAB  
+0'-0"  
+17.66' N.G.V.D.

FREEBOARD (MAX)  
+14.0' N.G.V.D.

BASE FLOOD  
+9.0' N.G.V.D.

FUTURE GRADE &  
ALLOWANCE (+30")  
+6.55' N.G.V.D.

ADJ. GRADE  
+6.52' (N.G.V.D.)

GRADE  
+4.05' N.G.V.D.

TOP OF PARAPET  
29'-0" FT MEASURED  
FROM FREEBOARD

BUILDING HEIGHT  
TOP OF PARAPET  
+25'-4"  
+43.0' N.G.V.D.

TOP OF SLAB  
+24'-4"  
+42.0' N.G.V.D.

TOP OF ROOF SLAB  
28'-0" FT MEASURED  
FROM FREEBOARD

TOP OF SLAB  
+12'-8"  
+30.33' N.G.V.D.

TOP OF SLAB  
+0'-0"  
+17.66' N.G.V.D.

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+14.0' N.G.V.D.

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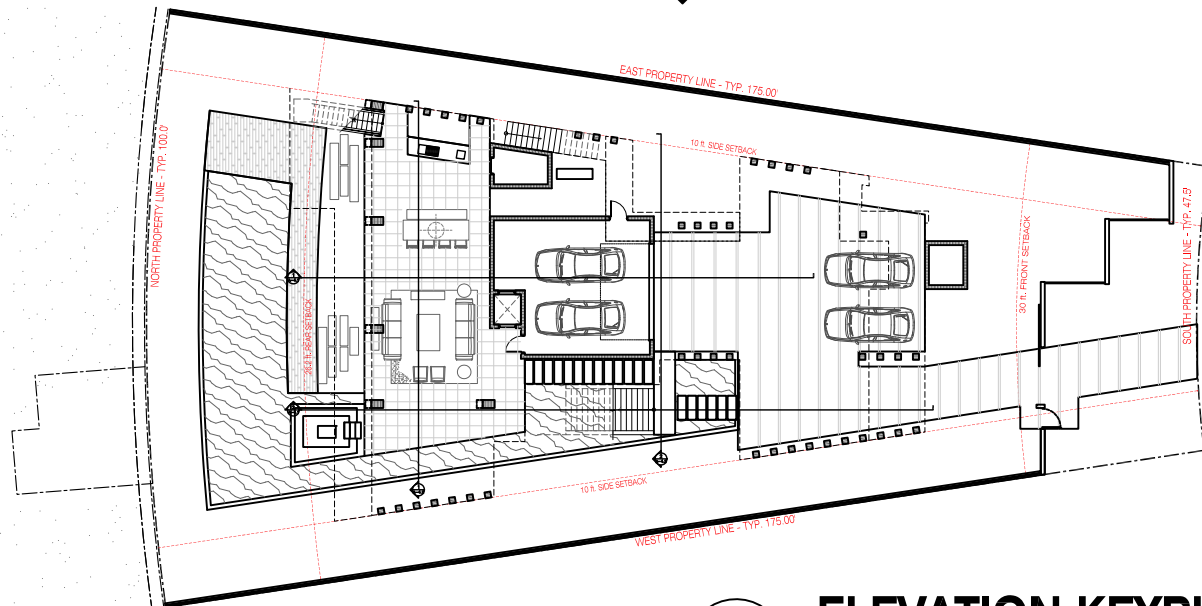
ADJ. GRADE  
+6.52' (N.G.V.D.)

GRADE  
+4.05' N.G.V.D.

REQUEST OF WAIVER  
INCREASE OF BUILDING HEIGHT  
FROM 24 FT TO 28 FT FOR FLAT  
ROOF MEASURED FROM FREEBOARD,

## 1 EAST ELEVATION ( SIDE )

3/32"=1'-0"



## 2 ELEVATION KEYPLAN

NOT TO SCALE

### ELEVATION KEYNOTES

- 5/8" SMOOTH CEMENT STUCCO (PAINTED WHITE OR AS SELECTED). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
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**PRAXIS**  
ARCHITECTURE + DESIGN

JOSE L. SANCHEZ, AIA  
FL LIC: AA 26000837  
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**FINAL**  
**SUBMITTAL**  
**01-06-2020**

DRAWING TITLE

**EAST**  
**ELEVATION**  
**(SIDE)**

REVISION	DATE
1.	01/06/2020

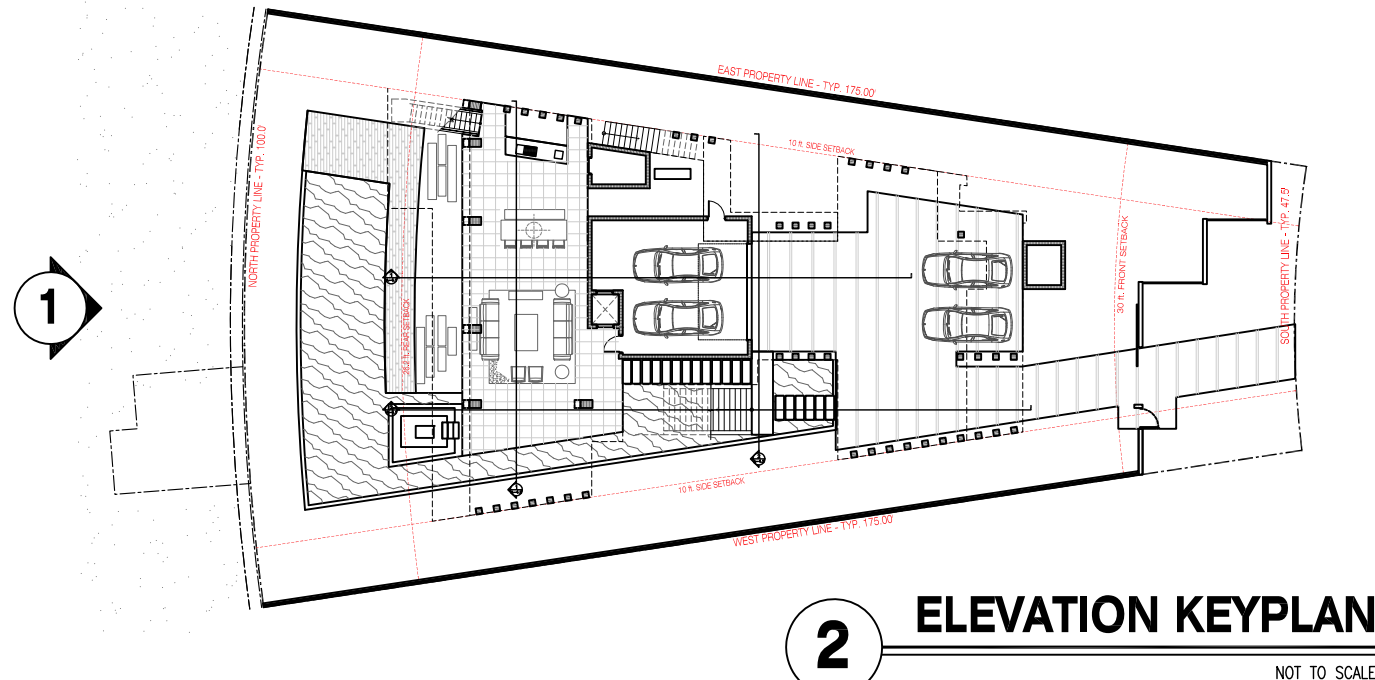
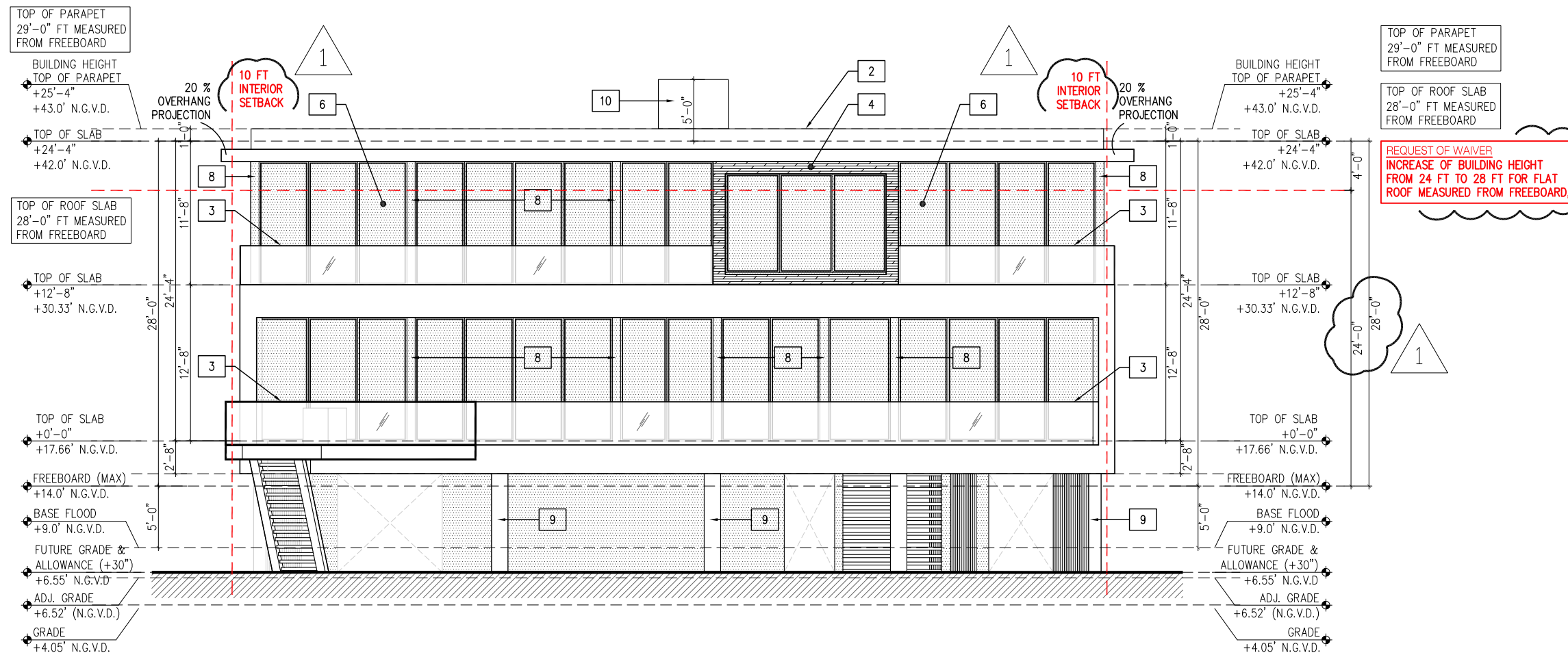
DRB COMMENTS

SCALE: AS SHOWN

SHEET

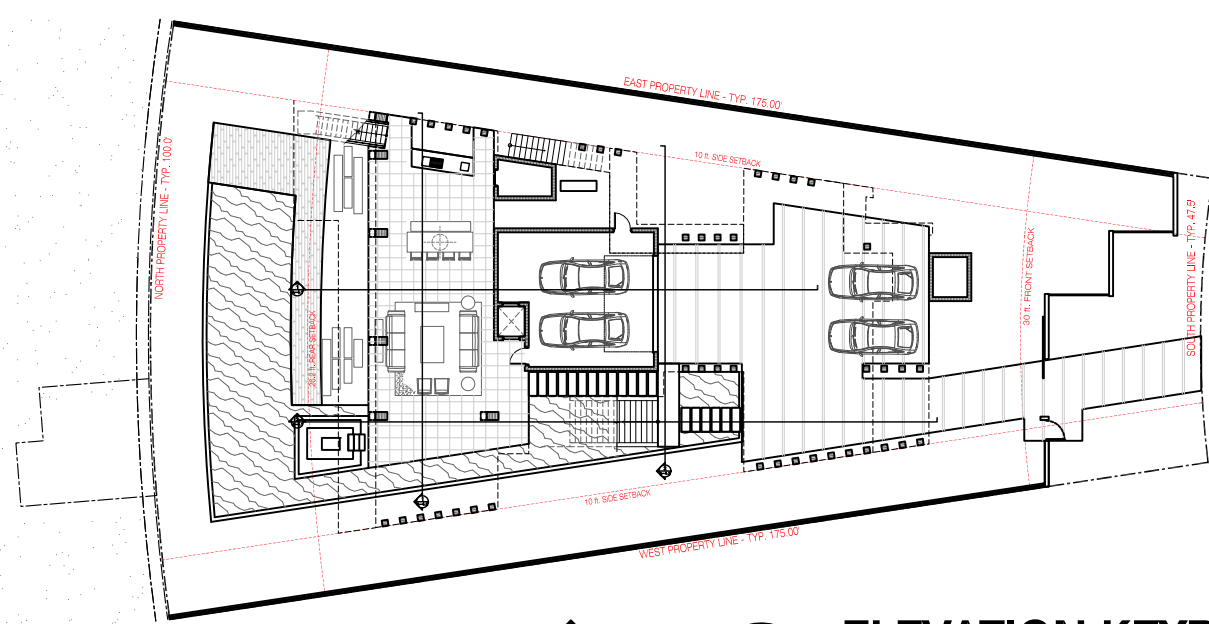
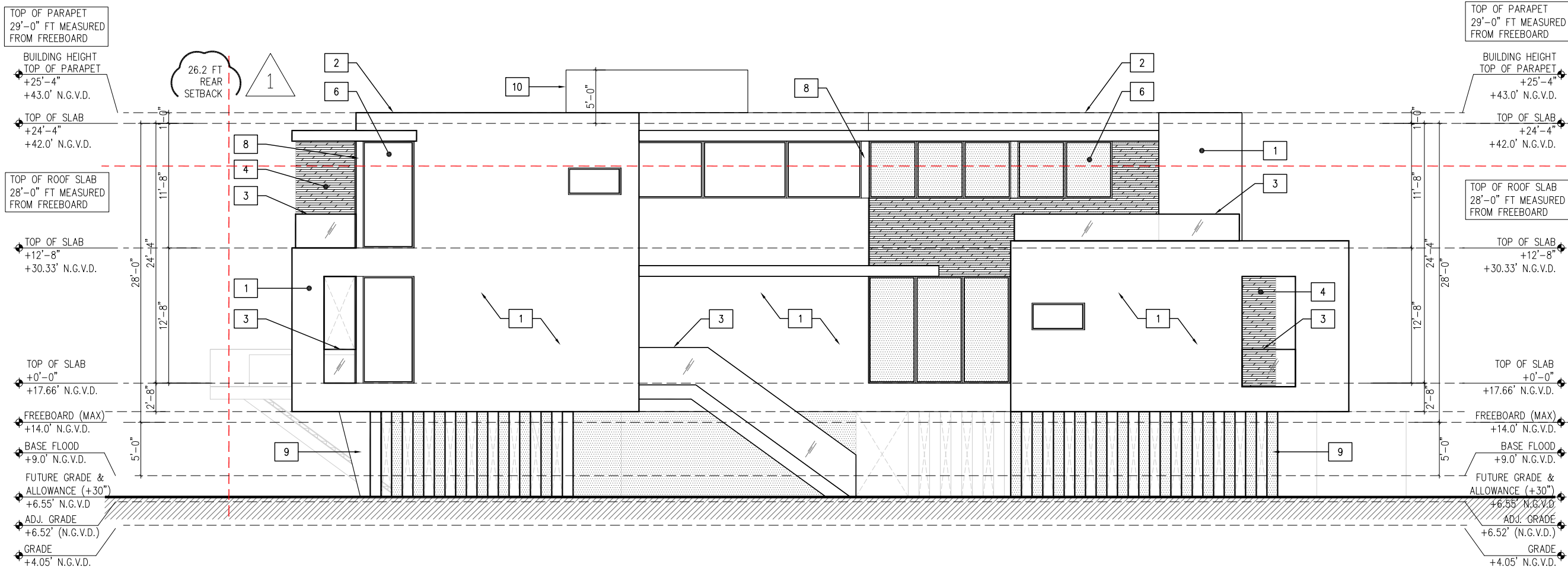
A-3.2





- ## ELEVATION KEYNOTES

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6. DADE COUNTY APPROVED ALUM./IMPACT GLASS WINDOWS (IMPACT, BRONZE FINISH). REFER TO ENERGY CALCULATIONS FOR SHADING COEFFICIENT AND U FACTOR REQUIRED. PROVIDE FLUID APPLIED WATERPROOFING ON THE INSIDE FACE OF THE ROUGH OPENING. (TYP)
7. DECORATIVE ALUMN. LOUVERS – SPACING BETWEEN LOUVERS SHALL REJECT A 4" SPHERE.
8. GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS.
9. CONCRETE COLUMNS.
10. ALUM SCREEN ENCLOSURE FOR CONDENSING UNITS – PAINT CMU SCREEN & GATE SAME COLOR AS THE HOUSE.



- ELEVATION KEYNOTES
- 5/8" SMOOTH CEMENT STUCCO (PAINTED WHITE OR AS SELECTED). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
  - 12" ROOFTOP CURB (SEE ROOF PLAN)
  - GLASS GUARDRAIL (42" HIGH A.F.F.) - UNDER SEPARATE PERMIT
  - VENEER -TO BE SELECTED- PORCELAIN TILE OR STONE TILE.
  - OVERHEAD GARAGE DOOR (COLOR TO MATCH ADJACENT WALL)
  - DADE COUNTY APPROVED ALUM./IMPACT GLASS WINDOWS (IMPACT, BRONZE FINISH). REFER TO ENERGY CALCULATIONS FOR SHADING COEFFICIENT AND U FACTOR REQUIRED. PROVIDE FLUID APPLIED WATERPROOFING ON THE INSIDE FACE OF THE ROUGH OPENING. (TYP)
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**SAN MARINO RESIDENCE**  
**426 W. SAN MARINO DR.**  
**MIAMI BEACH, FL. 33139**  
**CLIENT: SAN MARINO DEVELOPMENTS LLC**

**FINAL**  
**SUBMITTAL**  
**01-06-2020**

DRAWING TITLE

**WEST**  
**ELEVATION**  
**(SIDE)**

REVISION	DATE
1.	01/06/2020
DRB COMMENTS	

SCALE: AS SHOWN

SHEET

**A-3.4**



TOP OF PARAPET  
29'-0" FT MEASURED  
FROM FREEBOARD

BUILDING HEIGHT  
TOP OF PARAPET  
+25'-4"  
+43.0' N.G.V.D.

TOP OF SLAB  
+24'-4"  
+42.0' N.G.V.D.

TOP OF ROOF SLAB  
28'-0" FT MEASURED  
FROM FREEBOARD

TOP OF SLAB  
+12'-8"  
+30.33' N.G.V.D.

TOP OF SLAB  
+0'-0"  
+17.66' N.G.V.D.

FREEBOARD (MAX)  
+14.0' N.G.V.D.

BASE FLOOD  
+9.0' N.G.V.D.

FUTURE GRADE &  
ALLOWANCE (+30")  
+6.55' N.G.V.D.

ADJ. GRADE  
+6.52' (N.G.V.D.)

GRADE  
+4.05' N.G.V.D.

26.2 FT  
REAR  
SETBACK

30 FT  
FRONT  
SETBACK

TOP OF PARAPET  
29'-0" FT MEASURED  
FROM FREEBOARD

BUILDING HEIGHT  
TOP OF PARAPET  
+25'-4"  
+43.0' N.G.V.D.

TOP OF SLAB  
+24'-4"  
+42.0' N.G.V.D.

TOP OF ROOF SLAB  
28'-0" FT MEASURED  
FROM FREEBOARD

TOP OF SLAB  
+12'-8"  
+30.33' N.G.V.D.

REQUEST OF WAIVER  
INCREASE OF BUILDING  
HEIGHT FROM 24 FT  
TO 28 FT FOR FLAT  
ROOF MEASURED  
FROM FREEBOARD.

TOP OF SLAB  
+0'-0"  
+17.66' N.G.V.D.

FREEBOARD (MAX)  
+14.0' N.G.V.D.

BASE FLOOD  
+9.0' N.G.V.D.

FUTURE GRADE &  
ALLOWANCE (+30")  
+6.55' N.G.V.D.

ADJ. GRADE  
+6.52' (N.G.V.D.)

GRADE  
+4.05' N.G.V.D.

## NOTES:

- ALL PLANTERS SHALL RECEIVE WATERPROOFING COATING. SEE STANDARD DETAIL
- CEILING HEIGHTS INDICATED IN SECTIONS ARE FOR BIDDING PURPOSES ONLY. THE ACTUAL HEIGHT MAY VARY DEPENDING ON ALL SYSTEMS INSTALLED. THE MEP INSTALLATION SHOULD BE PERFORMED PRIOR TO THE CEILING SYSTEM INSTALLATION. PIPING AND DUCTS SHALL BE INSTALLED AS HIGH AS PRACTICALLY POSSIBLE.

## 1 SECTION

3/32"=1'-0"

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**01-06-2020**

DRAWING TITLE

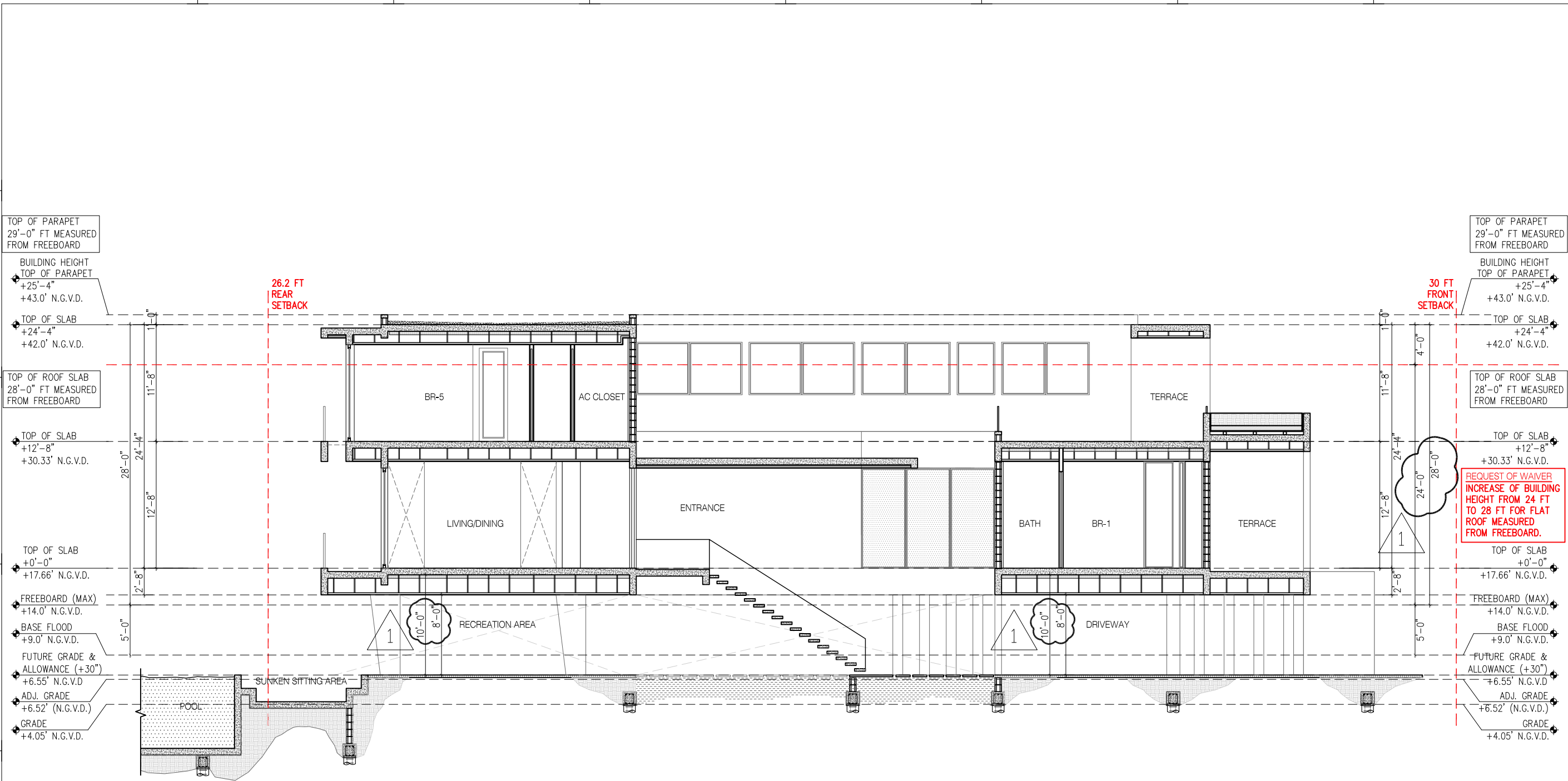
SECTION

REVISION	DATE
1.	01/06/2020
DRB COMMENTS	

SCALE: AS SHOWN

SHEET  
A-4.1

**PRAXIS**  
ARCHITECTURE + DESIGN  
JOSE L. SANCHEZ, AIA  
FL LIC: AA 26000837  
278 NW 37th ST.  
TEL: 305-576-8063  
MIAMI, FL. 33127  
PRAXISARCH.COM



## NOTES:

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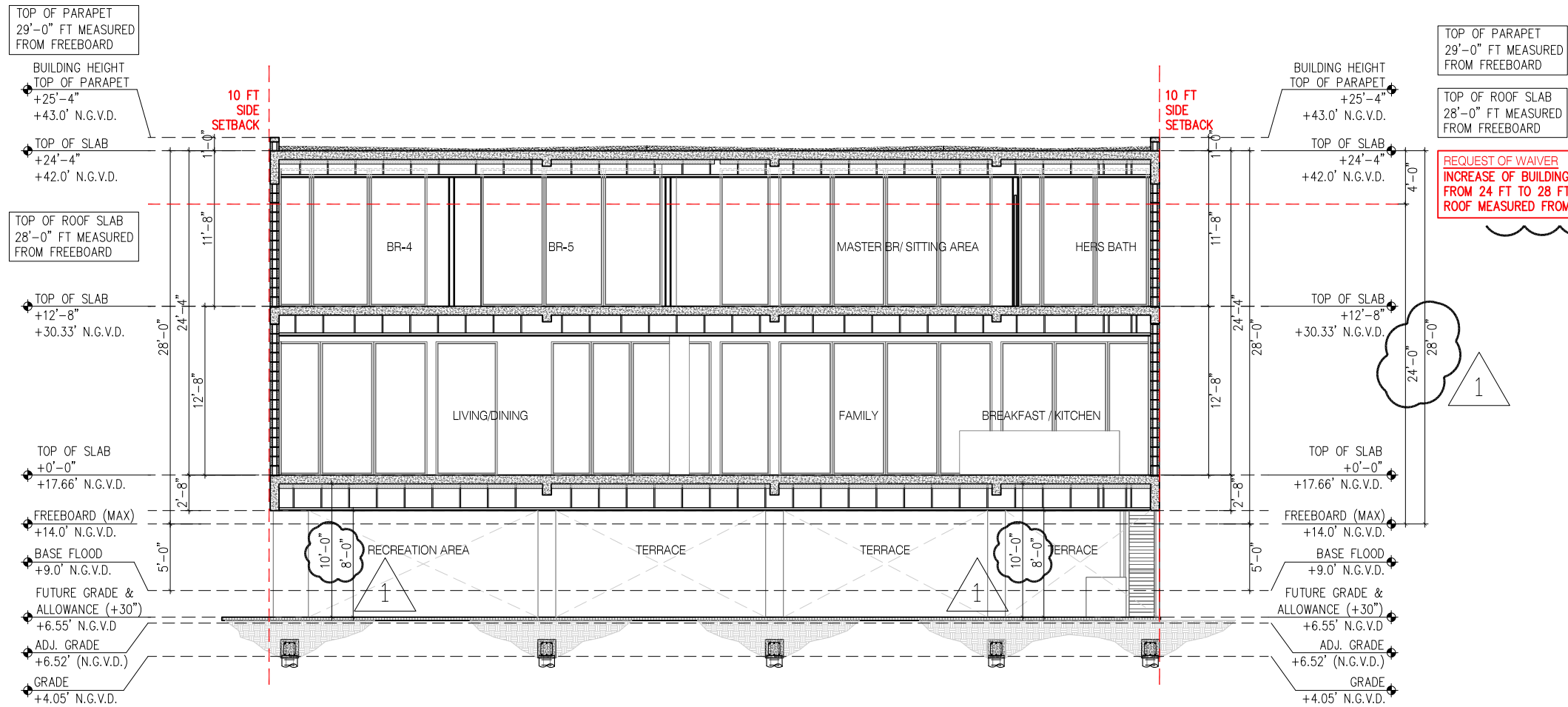
**SECTION**

REVISION	DATE
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DRB COMMENTS	

SCALE: AS SHOWN

SHEET  
**A-4.2**





NOTES:

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1

SECTION

3/32"=1'-0"

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SCALE: AS SHOWN

SHEET

A-4.3