

January 6th, 2020

City of Miami Beach
Planning Department
1700 Convention Center Drive
Miami Beach, Florida. 33139

RE: LETTER OF INTENT (DRB19-0395)

**Design Review Board approval for a new two-story residence to be located at:
426 W. San Marino Dr. Miami Beach, Florida. 33139**

Dear Members of the City of Miami Beach Design Review Board (DRB),

I am submitting this proposed residence on the behalf of the owners, to be located at 426 W. San Marino Drive, Miami Beach, for the approval by the DRB. There is an existing pre-1942 structure on the site which is currently below the minimum flood height set forth by FEMA. I would like to request a waiver for the following items in the order they're listed in sheet A-1.0:

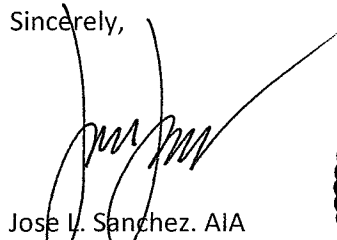
REQUEST FOR WAIVER

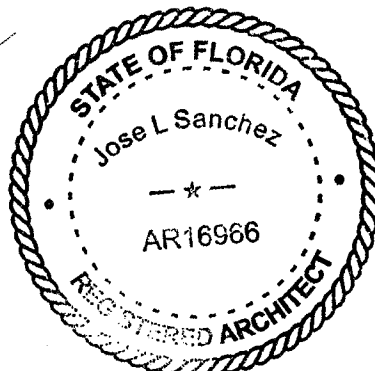
1. **Understory Use** – Under Sec. 142-105 (b)(4)(e), we would like to take advantage of the revised ordinance to make use of the space for an open terrace and parking below the first habitable floor.
2. **Increase in Building Height** – Under Sec. 142-105 (b)(1), we would like to request additional building height from 24 ft to 28 ft, the maximum permitted under RS-3 for flat roofs, measured from freeboard.
3. **Unit Size** – Request to allow an additional 5.52% past the 70% permitted of unit size for the second floor in relation to the first floor.

Attached to this letter, are the answers to the **SEA LEVEL RISE AND RESILIENCE REVIEW CRITERIA**.

Please consider this as a letter of intent to demolish the existing structure and construct a new two-story custom residence. I respectfully request that the DRB consider this new residence for approval. Should any additional information be required, please do not hesitate to contact me.

Sincerely,


Jose L. Sanchez, AIA
Praxis Architecture Inc.
AR 0016966



COMPLIANCE WITH SEA LEVEL RISE AND RESILIENCE REVIEW CRITERIA

Section 133-50(a) of the Land Development establishes review criteria for sea level rise and resilience that must be considered as part of the review process for board orders. The following is an analysis of the request based upon these criteria:

- (1) A recycling or salvage plan for partial or total demolition shall be provided.

Recycling plan to be provided by the GC.

- (2) Windows that are proposed to be replaced shall be hurricane proof impact windows.

New construction shall have hurricane proof impact doors and windows.

- (3) Where feasible and appropriate, passive cooling systems, such as operable windows, shall be provided.

Operable windows have been provided at bedrooms as part of the emergency egress requirement.

- (4) Weather resilient landscaping (salt tolerant, highly water-absorbent, native or Florida friendly plants) will be provided.

Weather resilient landscaping to be specified by Landscape Architect in landscaping plans.

- (5) Whether adapted sea level rise projections in the Southeast Florida Regional Climate Action Plan, as may be revised from time-to-time by the Southeast Florida Regional Climate Change Compact, including a study of land elevation and elevation of surrounding properties were considered.

Land elevation within property to comply with the minimum requirement of future adjusted grade set by the City of Miami Beach. This includes elevation the land and the installation of new retaining walls around the property.

- (6) The ground floor, driveways, and garage ramping for new construction shall be adaptable to the raising of public rights-of-way and adjacent land.

Walkways, driveways, and driveway ramps shall be constructed from a removable material such as concrete pavers that would be adaptable to rising public right-of-ways and adjacent land.

- (7) Where feasible and appropriate, all critical mechanical and electrical systems shall be located above base flood elevation.

All mechanical equipment will be specified at a minimum elevation of base flood elevation measured to the bottom of the equipment.

(8) Existing buildings shall be, where reasonably feasible and appropriate, elevated to the base flood elevation.

Not applicable. Project will be a new construction with the first habitable floor above base flood elevation.

(9) When habitable space is located below the base flood elevation plus City of Miami Beach Freeboard, wet or dry flood proofing systems will be provided in accordance with Chapter 54 of the City Code.

Project will be a new construction with the first habitable floor above base flood elevation. Other areas, such as garage and storage spaces located below base flood elevation shall be provided with flood vents where necessary and with other flood proof systems.

(10) Where feasible and appropriate, water retention systems shall be provided.

Site drainage and water retention methods and systems to be specified by Civil Engineer in the proposed civil drawings at the time of final plan submittals.