



OWNER:
 LINCOLN DREXEL LTD AND
 LINCOLN DREXEL II, LTD.
 3921 ALTON ROAD #463
 MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
 FORM GROUP INC
 4300 SW 73 AVE. #106
 MIAMI, FL, 33155
 PH: 305-443-4244

INTERIOR DESIGNER:



1655 DREXEL AVE, MIAMI BEACH, FL 33139
 CONDITIONAL USE PERMIT

PLANNING APPLICATION FOR:

**ANDRÉS
 CARNE DE RES**

LINCOLN DREXEL BUILDING
 1655 DREXEL AVENUE
 MIAMI BEACH, FL 33139

REVISIONS:

| DRAWING INDEX | PROJECT INFORMATION |
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| G-00 COVER G-01 LOCATION MAP G-02 EXISTING SURVEY G-03 CONTEXTUAL PHOTOGRAPS G-04 CONTEXTUAL PHOTOGRAPS A-100 EXISTING SITE PLAN A-101 PROPOSED SITE PLAN A-102 EXISTING GROUND AND SECOND FLOOR PLAN A-103 PROPOSED THIRD AND ROOF FLOOR PLAN A-104 PROPOSED GROUND AND MEZZANINE FLOOR PLAN A-105 PROPOSED THIRD AND ROOF FLOOR PLAN A-106 EXISTING ELEVATIONS A-107 PROPOSED ELEVATIONS A-108 VIEW ANGLES A-109 PROPOSED SECTION A-110 PROPOSED CANOPY A-111 INTERIOR RENDERINGS A-112 INTERIOR FINISHES- SAMPLE REFERENCE. A-113 INTERIOR FINISHES- SAMPLE REFERENCE. | PROPERTY ADDRESS: 1655 LINCOLN ROAD, MIAMI BEACH, FLORIDA 33139 LEGAL DESCRIPTION: LOT 1, BLOCK 3, OF LINCOLN ROAD SUBDIVISION, ACCORDING TO THE PLOT THEREOF AS RECORDED IN PLAT BOOK 34, AT PAGE 66, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY. ZONING DISTRICT DESIGNATION: CITY OF MIAMI BEACH CD-3 LOT AREA: 4,890 S.F. SCOPE OF WORK: LEVEL 3 OF ALTERATION. (SECTION 504, FBCE 2017) 1. INTERIOR MODIFICATIONS FOR NEW RESTAURANT. 2. MODIFICATION OF EXISTING ELECTRICAL SERVICES. 3. INTERIOR CONSTRUCTION OF NEW KITCHEN. CLASSIFICATION OF REHABILITATION: PERSUANT TO NFPA 101 CHAPTER 43.1.1, THE PROPOSED PROJECT IS CLASSIFIED AS FOLLOWS: (3) MODIFICATION. |

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FORM GROUP, INC.
 4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
 TEL: 305.443.4244 FAX: 305.443.3238
 ARCHITECT OF RECORD: OMAR MORALES, AIA
 AA0014851

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PROJECT NO.: 19-1007 **TITLE:** COVER

DATE: DECEMBER 2, 2019

SCALE: AS SHOWN **DRAWING NO.:** G-00



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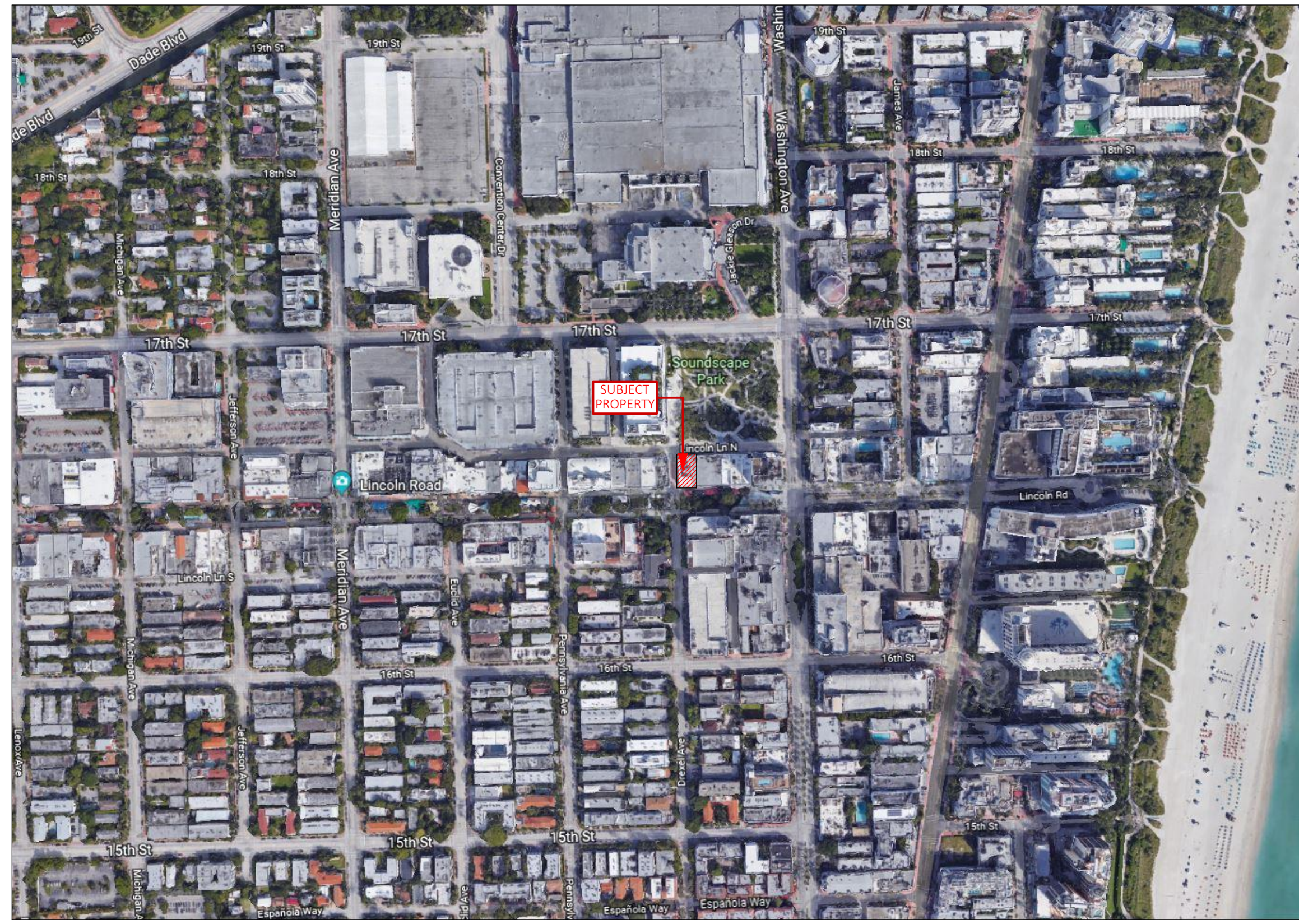
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PROJECT NO. 19-1007 TITLE: LOCATION MAP
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: **G-01**



A LOCATION MAP
NOT TO SCALE



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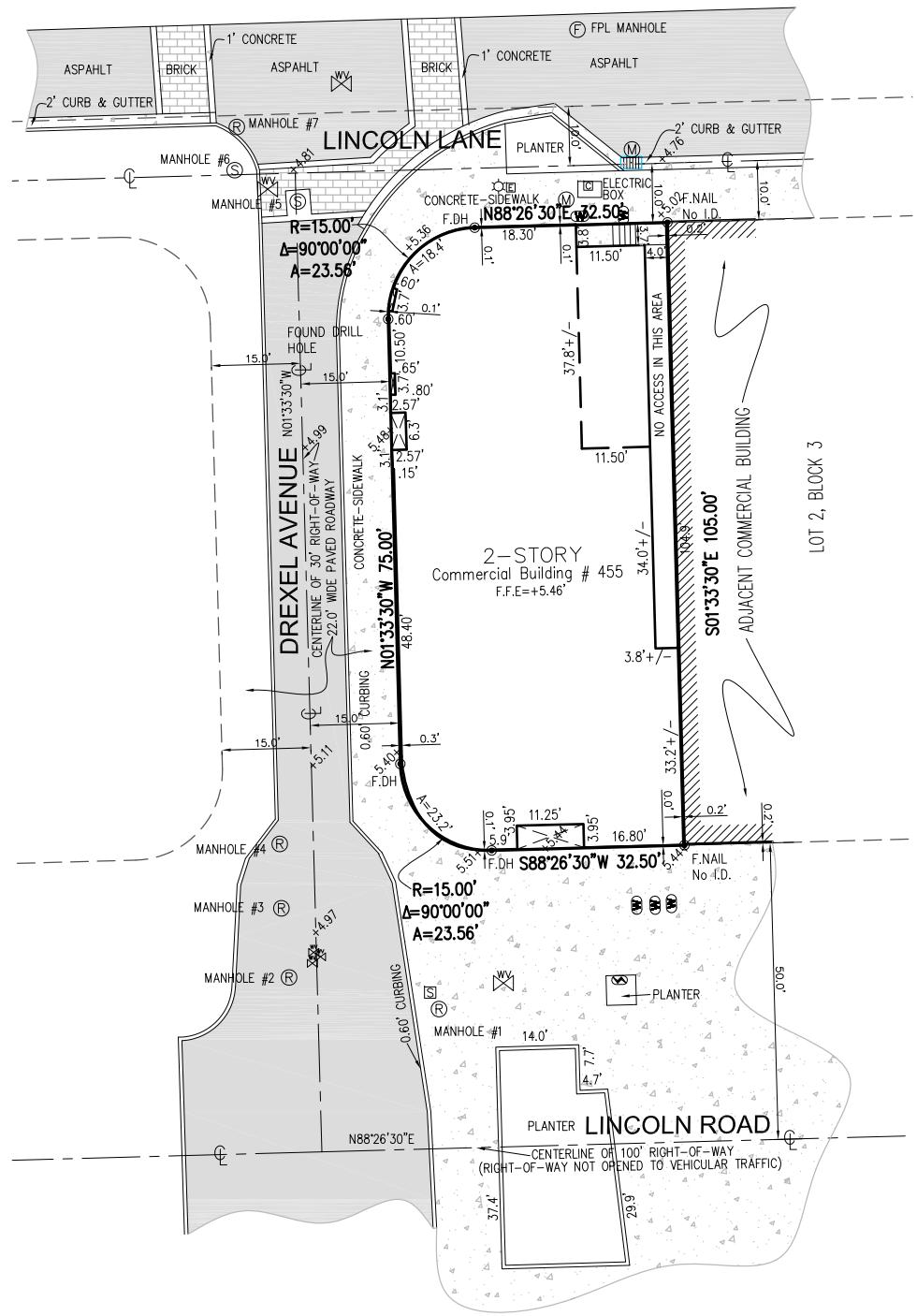
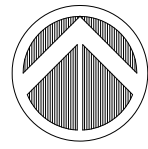
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PROJECT NO. 19-1007 TITLE: EXISTING SURVEY
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: **G-02**

GRAPHIC SCALE

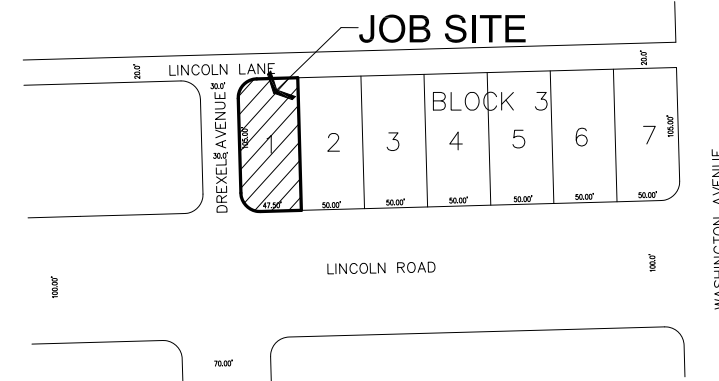


(IN FEET)
1 inch = 20 ft.



LEGEND

- Overhead Wire Line
- Wood Fence
- Chain Link Fence
- Iron Fence
- Monument Line
- Centerline
- Property Line
- A = Arc
- BRG = Bearing
- CH = Chord
- Δ = Delta
- L = Length
- R = Radius
- T = Tangent
- ∅ = Diameter
- ⊕ = Existing Elevations
- ⊖ = Catch Basin
- ⊗ = Water Meter
- ⊙ = Electric Box
- ⊚ = Sanitary Manhole
- ⊛ = Sprinkler Pump
- ⊜ = Wood Pole
- ⊝ = Conc. Pole
- ⊞ = Light Pole
- ⊟ = Fire Hydrant
- ⊠ = Water Valve
- ⊡ = Inlet
- ⊢ = Cable TV Box
- ⊣ = Electric Meter Box
- ⊤ = Traffic Signal Box
- ⊥ = Gas Valve
- ⊦ = Monitoring Valve
- ⊧ = Manhole
- A/C = Air Conditioner
- Conc. = Concrete
- C.B.S. = Concrete Block & Stucco
- (D) = Deed
- D.E. = Drainage Easement
- D.M.E. = Drainage Maintenance Easement
- F.D.H. = Found Drill Hole
- F.F.E. = Finish Floor Elevation
- F.I.P. = Found Iron Pipe/Pin
- F.I.R. = Found Iron Rebar
- F.N. = Found Nail
- F.N.D. = Found Nail & Disc
- F.P.L. = Florida Power Light
- H = Height
- L.M.E. = Lake Maintenance Easement
- (M) = Measured
- (P) = Platted
- P.O.B. = Point of Beginning
- P.O.C. = Point of Commencement
- (R) = Record
- Res. = Residence
- S.I.P.R. = Set Iron Pin/Rebar
- S = Spread
- U.E. = Utility Easement



VICINITY MAP
NOT TO SCALE

PROPERTY ADDRESS:
455 LINCOLN ROAD MIAMI BEACH, FL 33139
Folio# 02-3234-005-0100

LEGAL DESCRIPTION

Lot 1, in Block 3, of "LINCOLN ROAD SUBDIVISION", according to the Plat thereof, as recorded in Plat Book 34, Page 66, of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S NOTES:

- The Legal Description was provided by the Client from most recent County Records available.
- This is not a Certification of Title, Zoning, Easements, or Freedom of Encumbrances. ABSTRACT NOT REVIEWED.
- There may be additional Restrictions not shown on this survey that may be found in the Public Records of this County. Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.
- No attempt was made by this firm to locate underground utilities, foundations and/or footings of buildings, walls or fences, except as shown hereon, if any.
- Underground utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
- Contact the appropriate authority prior to any design work on the herein - described parcel for Building and Zoning information.
- The surveyor does not determine fence and/or wall ownership.
- Accuracy:**
The Horizontal positional accuracy of well-defined improvement on this survey is +/-0.2'.
The Vertical accuracy of elevations of well-defined improvement on this survey is +/-0.1'.
- All measurements shown hereon are made in accordance with the United States Standard Feet.
- Type of survey BOUNDARY SURVEY.
- North arrow direction and/or Bearings are based on an assumed meridian with a value of N88°26'30"E along the centerline of Lincoln Road as shown on the aforementioned Plat.
- Elevations shown hereon are relative to National Geodetic Vertical Datum (1929 Mean Sea Level)
- Benchmark Used: Miami-Dade County Benchmark #17CH. Elevation = +4.02'.
- Flood Zone Data: Community/ Panel # 12065 1/03 17/L Dated: 9/11/09 Flood Zone: "AE" Base Flood Elevation = +8.0'
- This SURVEY has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY:
That this Survey meets the intent of the required Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey by other than the signing party are prohibited without written consent of the signing party.

MANHOLE TABULATION DATA:

| MANHOLE # | RIM ELEVATION | NORTH INVERT EL/ PIPE SIZE | SOUTH INVERT EL/ PIPE SIZE | EAST INVERT EL/ PIPE SIZE | WEST INVERT EL/ PIPE SIZE |
|-----------|---------------|----------------------------|----------------------------|---------------------------|---------------------------|
| 1 - STORM | +5.18 | N/A | +1.37 / 18" | +1.38 / 11" | +1.38 / 11" |
| 2 - STORM | +4.90 | +1.94 / 12" | N/A | N/A | -0.86 / 18" |
| 3 - STORM | +5.10 | +1.84 / 12" | +1.94 / 12" | +0.74 / 12" | N/A |
| 4 - STORM | +5.11 | +1.85 / 12" | +1.85 / 12" | +2.63 / 12" | +2.76 / 12" |
| 5 - SEWER | +5.02 | N/A | N/A | +0.91 / 9" | +0.92 / 9" |
| 6 - SEWER | +4.91 | +1.66 / 12" | +1.61 / 12" | N/A | N/A |
| 7 - STORM | +4.71 | +0.31 / 9" | +1.36 / 12" | N/A | +1.51 / 12" |



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PROJECT NO. 19-1007 TITLE: CONTEXTUAL PHOTOGRAPHS
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: **G-03**



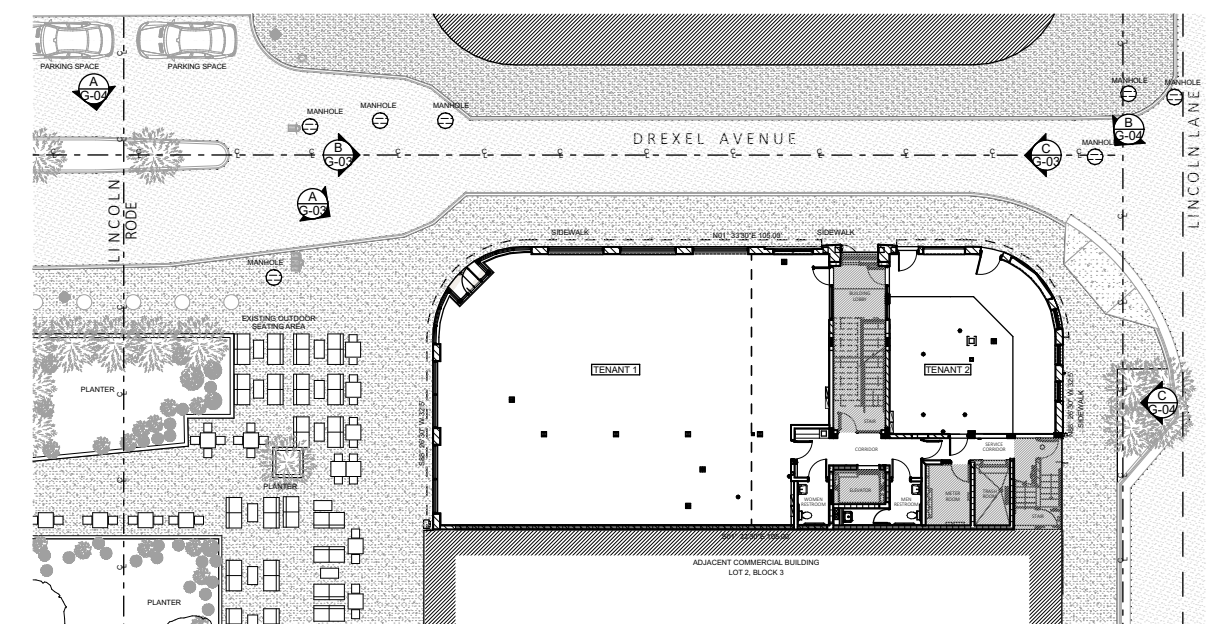
B STREET VIEW-DREXEL AVE
NOT TO SCALE



A STREET VIEW-LINCOLN RD & DREXEL AVE
NOT TO SCALE



C STREET VIEW ALONG DREXEL AVE
NOT TO SCALE



1 PLAN REFERENCE
SCALE: 1/32" = 1'-0"



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PROJECT NO. 19-1007 TITLE: CONTEXTUAL PHOTOGRAPHS
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: G-04



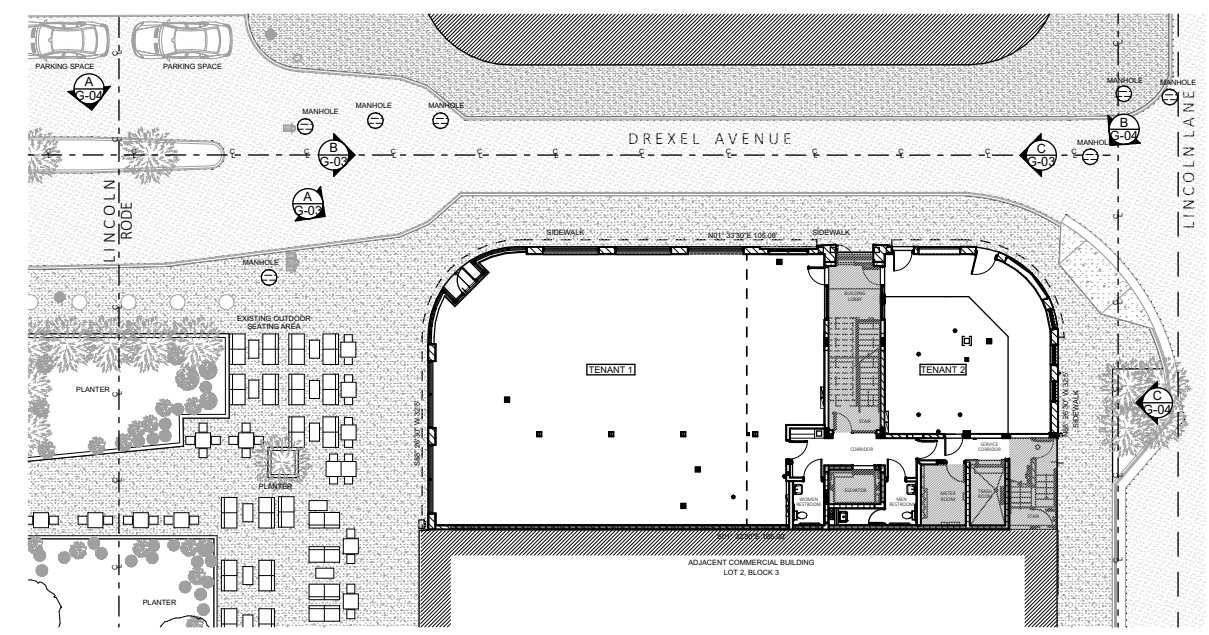
B STREET VIEW-LINCOLN LN & DREXEL AVE
NOT TO SCALE



A STREET VIEW- DREXEL AVE
NOT TO SCALE



C STREET VIEW- LINCOLN LANE
NOT TO SCALE



1 PLAN REFERENCE
SCALE: 1/32" = 1'-0"



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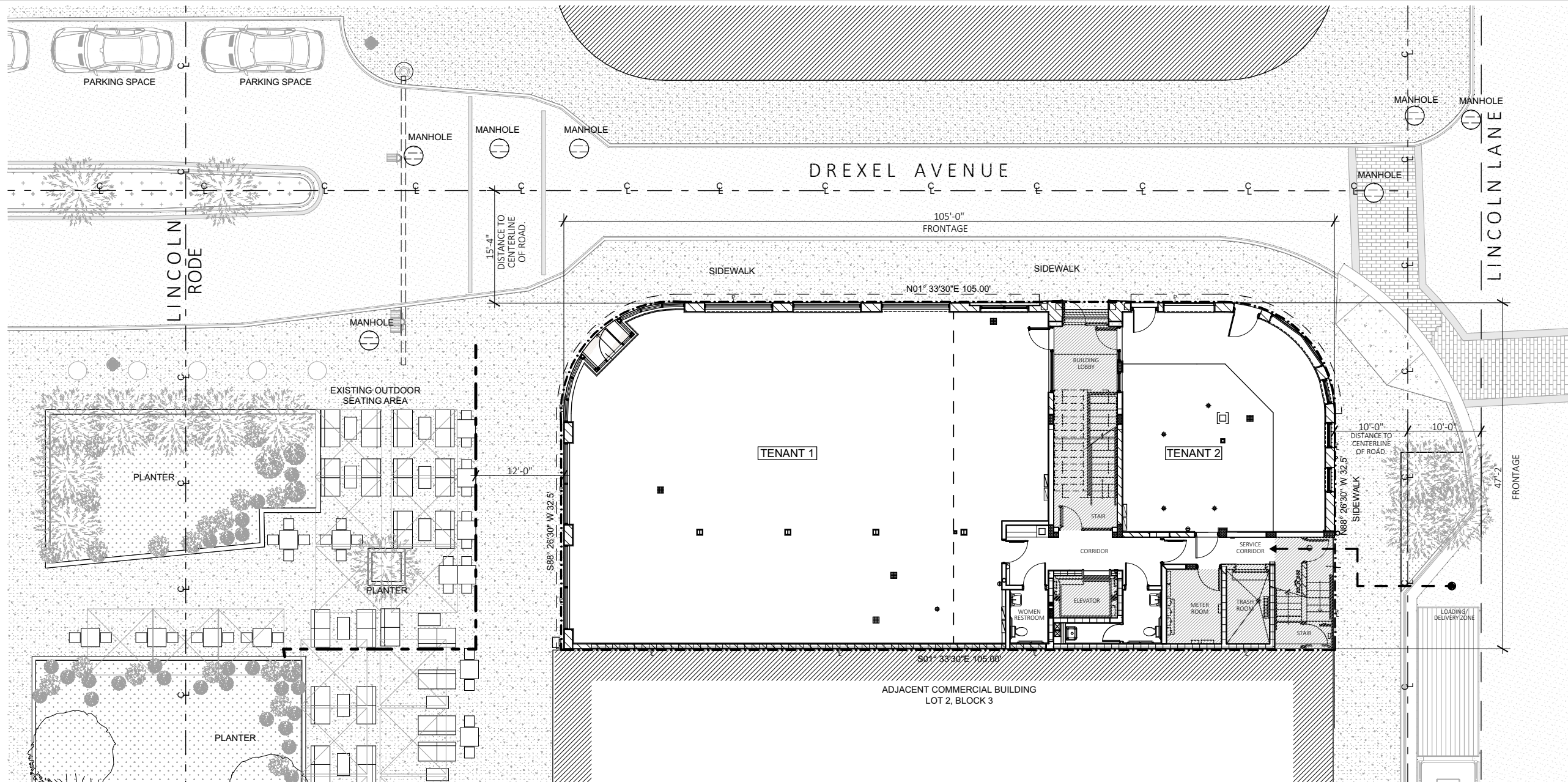
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 MIAMI BEACH, FL 33139

REVISIONS:



A SITE PLAN- EXISTING CONDITION
 SCALE: 1/16" = 1'-0"



ASSEMBLY - COMMERCIAL - ZONING DATA SHEET

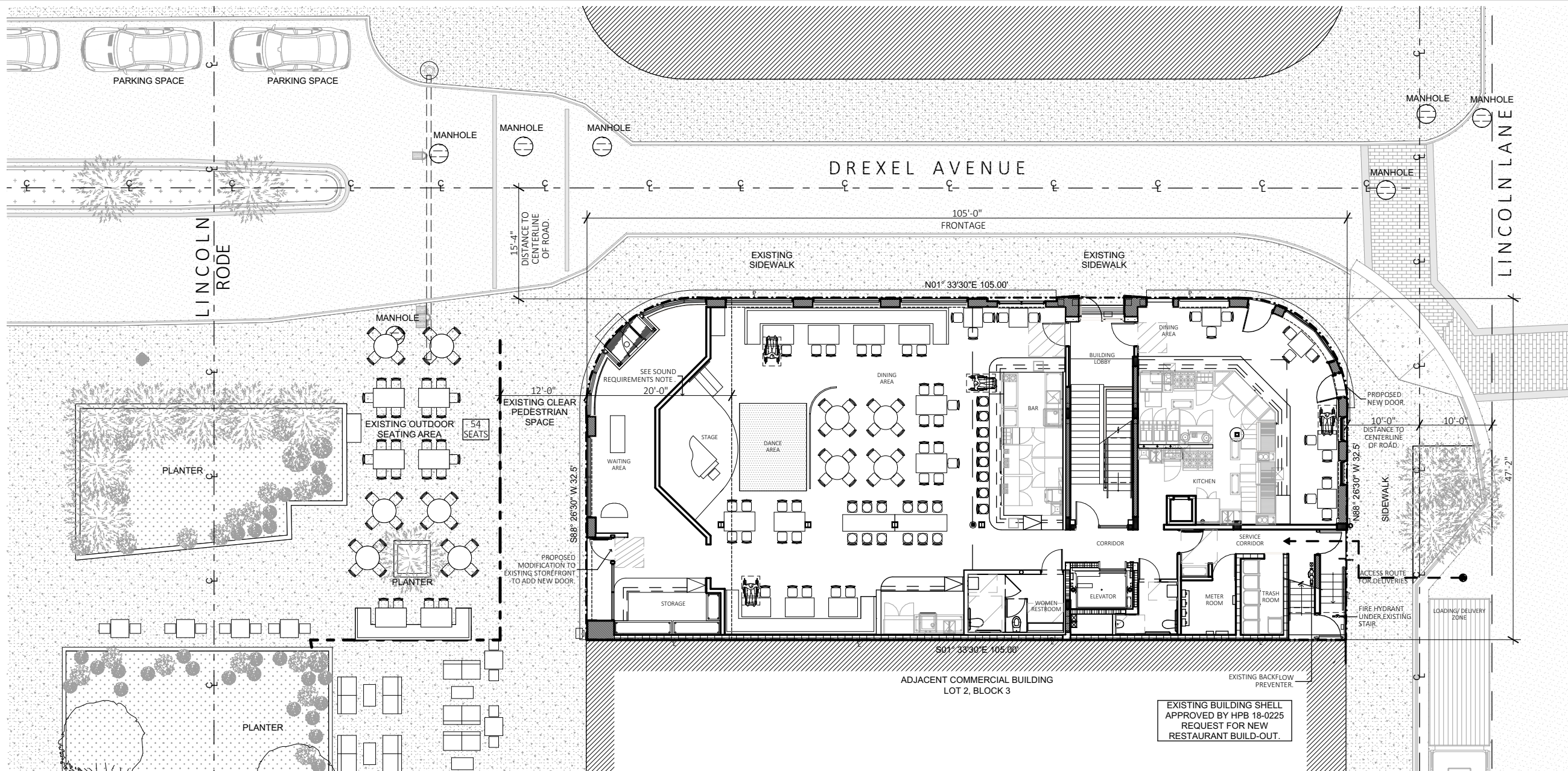
| ITEM # | Zoning Information | | | |
|--------|------------------------------|--|--|--|
| 1 | Address: | 1655 Drexel Avenue, Miami Beach, FL, 33139 | | |
| 2 | Board and file numbers : | HPB 18-0225 | | |
| 3 | Folio number(s): | 02-3234-005-0100 | | |
| 4 | Year constructed: | 1937 | Zoning District / Overlay: | CD-3 |
| 5 | Based Flood Elevation: | | Grade value in NGVD: | +5.46' NGVD |
| 6 | Lot Area: | 4,890 SF | Lot Depth: | 47.5' |
| 7 | Lot width: | 105' | | |
| 8 | Minimum Unit Size | | Average Unit Size: | |
| 9 | Existing use: | Mixed Use, Commercial | Proposed use: | Assembly |
| | | Maximum | Existing | Proposed |
| 10 | Height: | | 45'-9" | 45'-9" |
| 11 | Number of Stories: | | 4 | 4 |
| 12 | FAR: | 11,002 s.f | 10,945 s.f. | 13,289 s.f. |
| 13 | Gross square footage: | N/A | 10,945 s.f. | 13,289 s.f |
| 14 | Square Footage by use: | N/A | 1st Level: 4,589.26 s.f. 2nd Level: 1,698.22 s.f. 3rd Level: 4,345.83 s.f. 4th Level: 311.69 s.f. | 1st Level: 4,515 s.f. 2nd Level: 2,247 s.f. 3rd Level: 4,632 s.f. 4th Level: 1,895 s.f. |
| 15 | Number of units Residential: | N/A | N/A | N/A |
| 16 | Number of units Hotel: | N/A | N/A | N/A |
| 17 | Number of seats: | N/A | N/A | 288 |
| 18 | Occupancy load: | N/A | 388 | 413 |
| | Setbacks | Required | Existing | Proposed |
| 20 | Setback: | N/A | N/A | N/A |
| | Parking | Required | Existing | Proposed |
| 40 | Parking: | N/A | N/A | N/A |

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PROJECT NO. 19-1007 TITLE: EXISTING SITE PLAN
 DATE: DECEMBER 2, 2019
 SCALE: AS SHOWN DRAWING NO.: **A-100**



A PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"

| OCCUPANT LOAD | | | |
|---|------------------------------------|-------------|-----------------|
| PURSUANT TO FLORIDA BUILDING CODE, TABLE 1004.1.2 | | | |
| USE | OCCUPANCY | AREA | QTY. OF PERSONS |
| ASSEMBLY USE (DINING AREAS) | LESS CONCENTRATED USE (1 / 15 NET) | 5,043 S.F. | 337 PERSONS |
| ASSEMBLY USE (WAITING AREAS) | CONCENTRATED USE (1 / 7 NET) | 295 S.F. | 43 PERSONS |
| BUSINESS USE (OFFICE AREAS) | (1 / 100 GROSS) | 228 S.F. | 3 PERSONS |
| KITCHEN USE (KITCHEN & BAR AREAS) | (1 / 200 GROSS) | 2,340 S.F. | 15 PERSONS |
| STAGES & PLATFORMS (STAGE AREA) | (1 / 15 NET) | 151 S.F. | 11 PERSONS |
| STORAGE USE (STORAGE AREAS) | (1 / 300 GROSS) | 634 S.F. | 4 PERSON |
| WALLS, CIRC., RESTROOMS, STAIRS & MISC. AREAS | TEMP. OCCUPIED ONLY | 4,598 S.F. | - |
| TOTAL BUILDING OCCUPANTS: | | 13,289 S.F. | 413 PERSONS |

NEW DOORS NOTES:
NEW DOORS TO BE APPROVED ADMINISTRATIVELY AND NOT SUBJECT TO PB/HPB APPLICATION.

| SEATING PROVIDED | |
|---------------------------------|-----------|
| TOTAL INTERIOR SEATING PROVIDED | 288 SEATS |
| TOTAL OUTDOOR SEATING PROVIDED | 54 SEATS |
| TOTAL OF WHEELCHAIR PROVIDED | 12 SEATS |

SPEAKERS LOCATION NOTE
PERSUANT TO SECTION 142- 336. LINCOLN ROAD REQUIREMENTS: INTERIOR SPEAKERS MAY BE PERMITTED WITHIN THE FIRST 20 FEET OF THE BOUNDARY FACING LINCOLN ROAD OR WITHIN THE FIRST 20 FEET OF THE BOUNDARY OF THE SIDE STREET ANY MUSIC OR OTHER SOUND THAT IS PLAYED DOES NOT EXCEED AMBIENT LEVELS. SOUND PLAYED INDOORS AT A VOLUME ABOVE AMBIENT LEVELS MUST BE INAUDIBLE FROM THE EXTERIOR.

| ASSEMBLY - COMMERCIAL - ZONING DATA SHEET | | | | |
|---|------------------------------|--|----------------------------|-----------------------|
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| | | | 2nd Level: 1,698.22 s.f. | 2nd Level: 2,247 s.f. |
| | | | 3rd Level: 4,345.83 s.f. | 3rd Level: 4,632 s.f. |
| | | | 4th Level: 311.69 s.f. | 4th Level: 1,895 s.f. |
| 15 | Number of units Residential: | N/A | N/A | N/A |
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| 18 | Occupancy load: | N/A | 388 | 413 |
| | Setbacks | Required | Existing | Proposed |
| 20 | Setback: | N/A | N/A | N/A |
| | Parking | Required | Existing | Proposed |
| 40 | Parking: | N/A | N/A | N/A |



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PROJECT NO. 19-1007 TITLE: PROPOSED SITE PLAN
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: **A-101**



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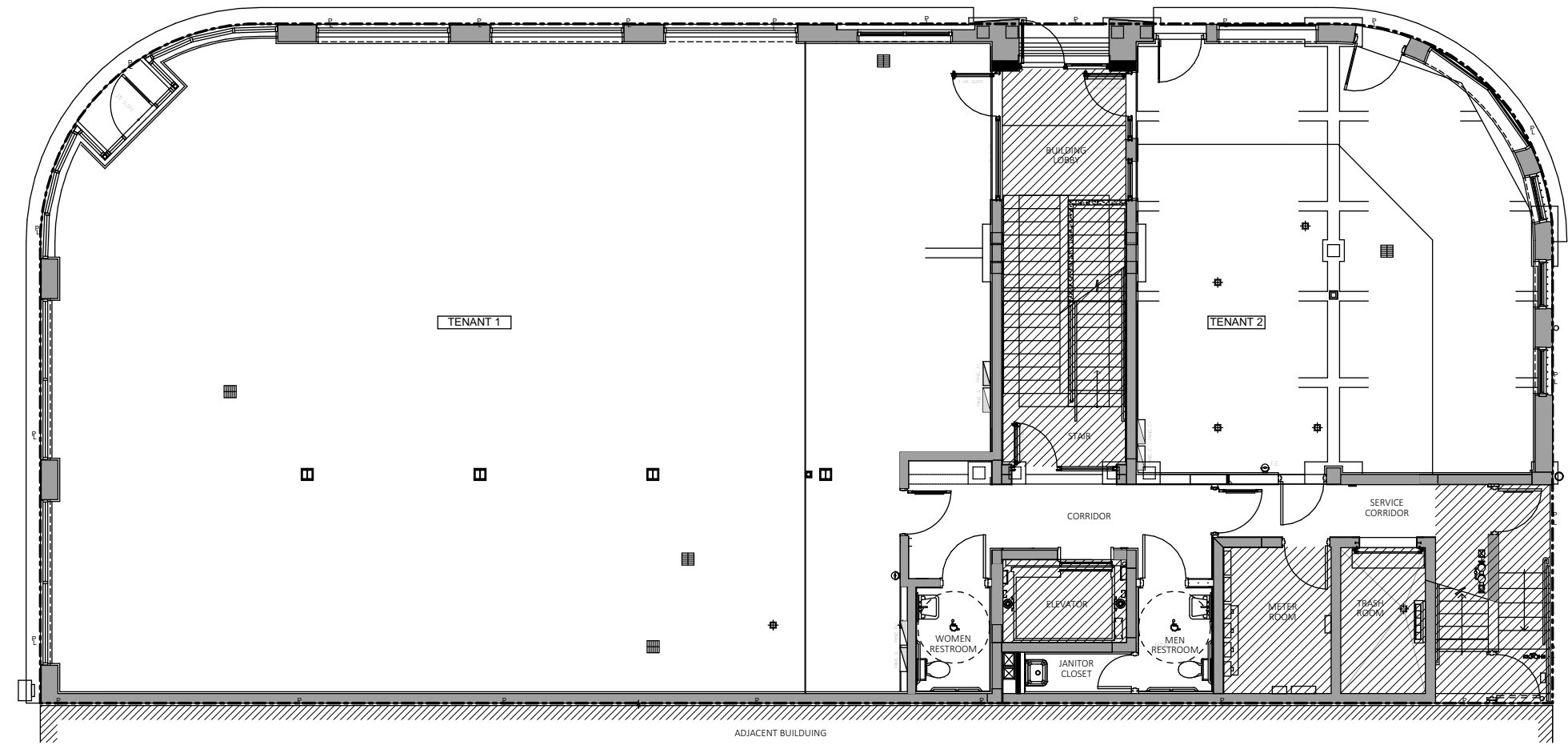
LINCOLN DREXEL BUILDING
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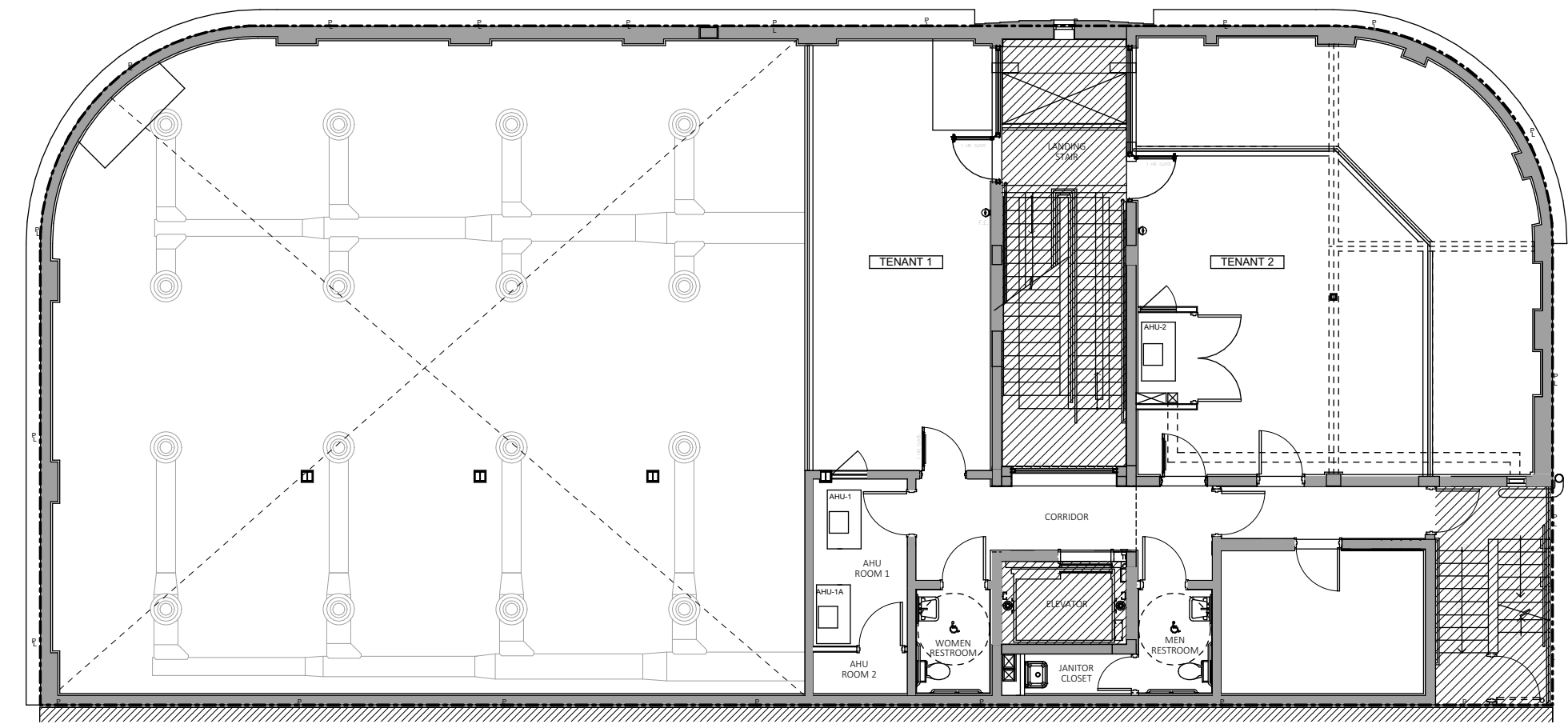
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PROJECT NO. 19-1007 TITLE: EXISTING GROUND AND SECOND FLOOR PLAN
 DATE: DECEMBER 2, 2019
 SCALE: AS SHOWN DRAWING NO.: **A-102**



A GROUND FLOOR PLAN- EXISTING
 SCALE: 3/32" = 1'-0"



B SECOND FLOOR PLAN- EXISTING
 SCALE: 3/32" = 1'-0"



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 MIAMI BEACH, FL 33140

DEVELOPER:

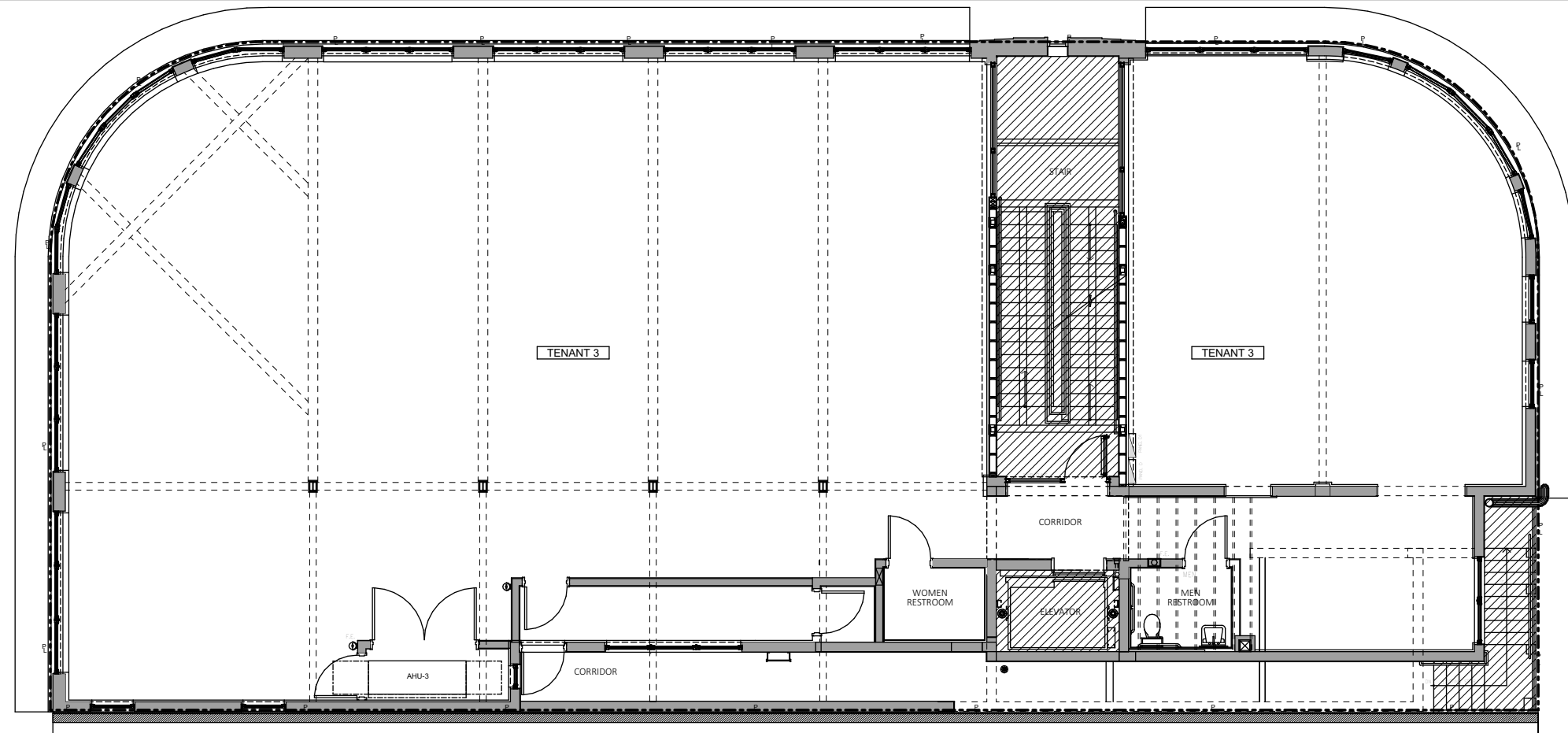
ARCHITECT:
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 PH: 305-443-4244

INTERIOR DESIGNER:

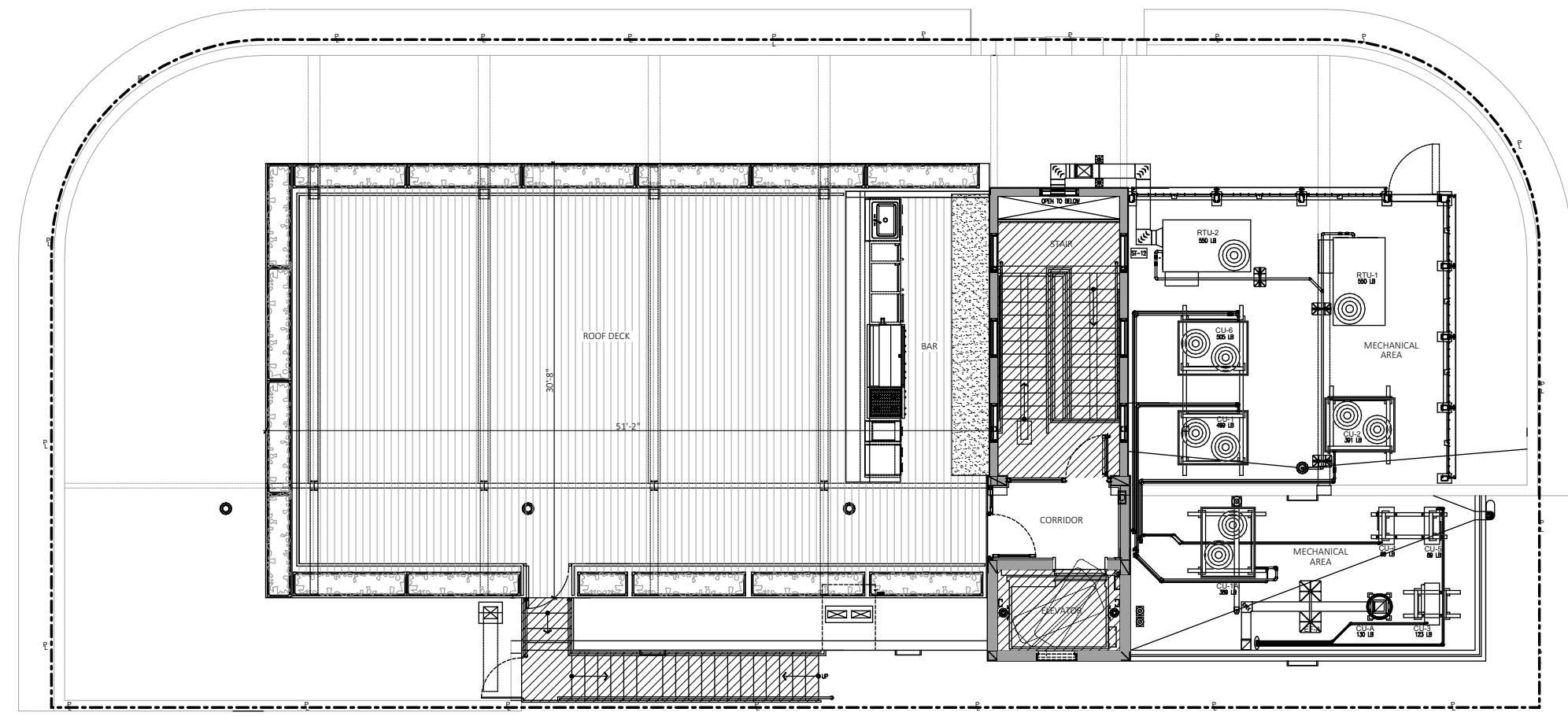
PLANNING APPLICATION FOR:
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 1655 DREXEL AVENUE
 MIAMI BEACH, FL 33139

REVISIONS:



A THIRD FLOOR PLAN- EXISTING
 SCALE: 3/32" = 1'-0"



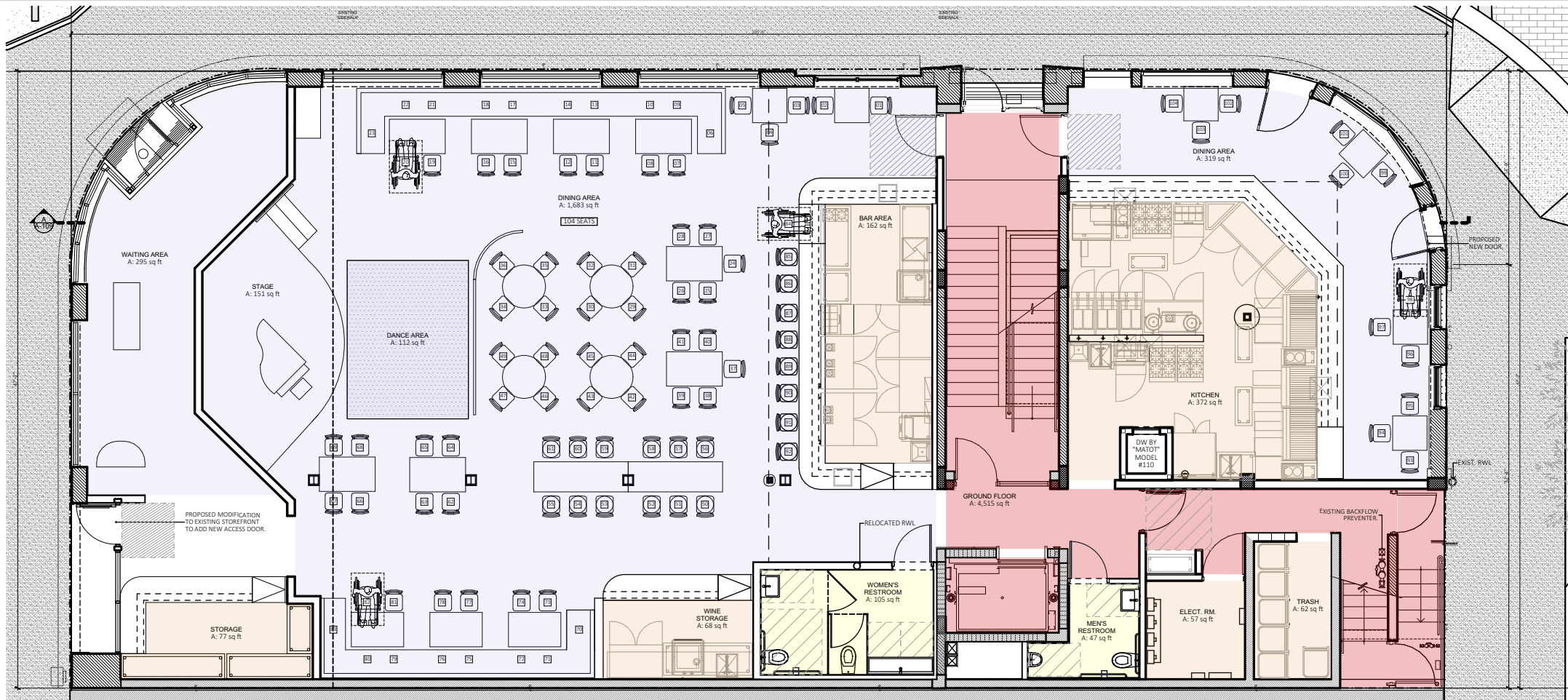
B ROOF FLOOR PLAN- EXISTING
 SCALE: 3/32" = 1'-0"



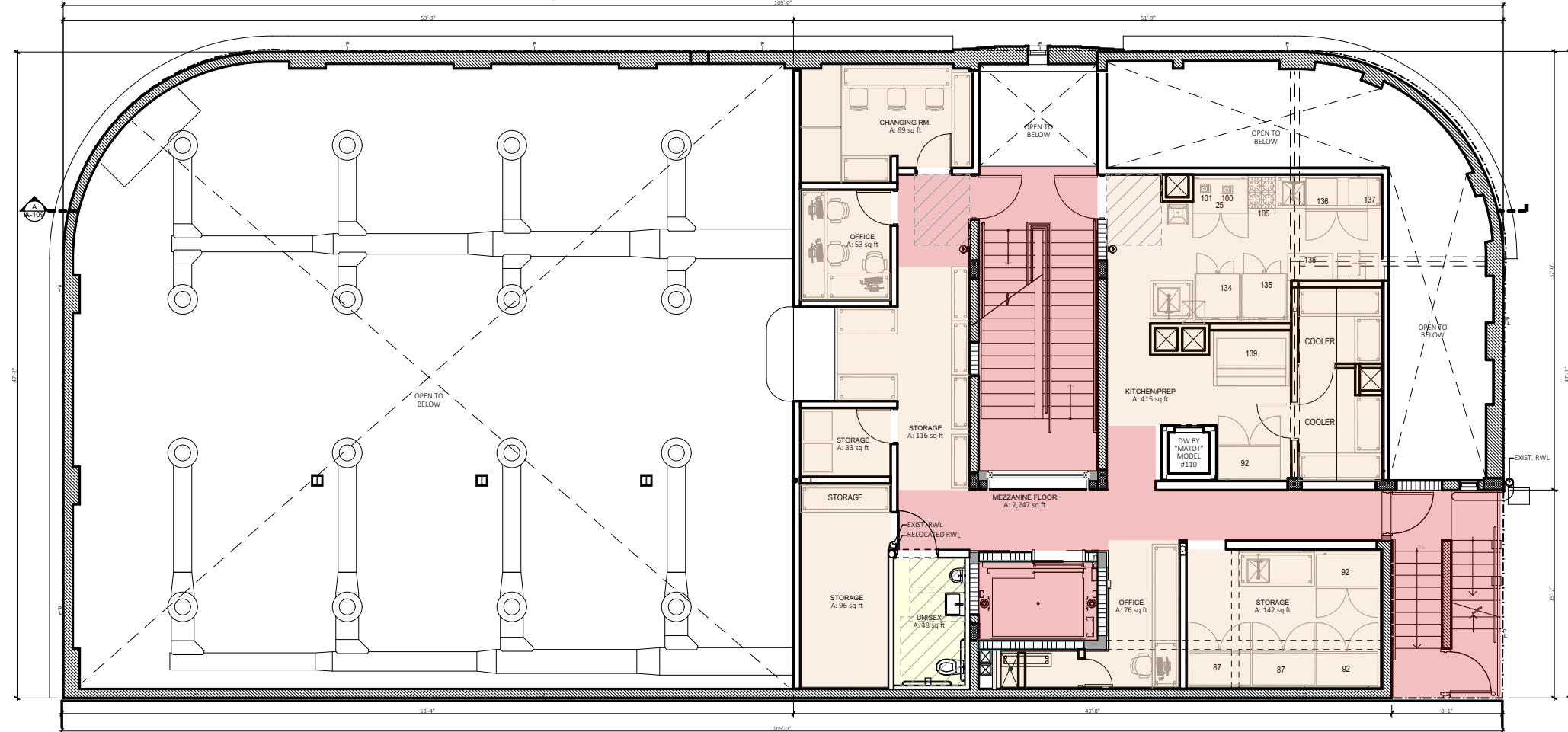
FORM GROUP, INC.
 4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
 TEL: 305.443.4244 FX: 305.443.3338
 ARCHITECT OF RECORD: OMAR MORALES, AIA
 AA0014851

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PROJECT NO. 19-1007 **TITLE: EXISTING THIRD AND ROOF FLOOR PLAN**
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN **DRAWING NO.: A-103**



B PROPOSED GROUND FLOOR PLAN
SCALE: 3/32" = 1'-0"



A PROPOSED MEZZANINE FLOOR PLAN
SCALE: 3/32" = 1'-0"

METHOD OF OPERATION

THE ESTABLISHMENT WILL BE OPERATING AS:
-RESTAURANT / BAR.
-ENTERTAINMENT VENUE

OCCUPANCY LOAD CALCULATIONS

GROUND FLOOR:
DINING: 2,002 S.F. / 15 NET = 134 PERSONS
WAITING AREA: 295 S.F. / 7 NET = 43 PERSONS
KITCHEN: 531 S.F. / 200 GROSS = 3 PERSONS
STAGE AREA: 151 S.F. / 15 NET = 11 PERSONS
STORAGE: 145 S.F. / 300 GROSS = 1 PERSONS
TOTAL = 192 PERSONS

MEZZANINE FLOOR:
OFFICE: 228 S.F. / 100 GROSS = 3 PERSONS
KITCHEN: 415 S.F. / 200 GROSS = 3 PERSONS
STORAGE: 387 S.F. / 300 GROSS = 2 PERSONS
TOTAL = 8 PERSONS

TOTAL GROUND FLOOR AND MEZZANINE: 200 PERSONS
TOTAL BUILDING OCCUPANTS: 413 PERSONS
NUMBER OF EXISTS PROVIDED: 6

| INTERIOR SEATING COUNT | | |
|------------------------|-------------|----------|
| QTY. | DESCRIPTION | LOCATION |
| 9 | BAR AREA | GROUND |
| 95 | DINING AREA | GROUND |
| 104 | TOTAL | |

| TABLE 221.2.1 WHEELCHAIR SPACES IN ASSEMBLY AREAS | |
|---|---|
| 51 TO 150 | 4 |

| PLAN LEGEND | |
|-------------|---------------------------------|
| | ASSEMBLY AREAS (DINING AREAS). |
| | KITCHEN / BAR AREAS. |
| | RESTROOMS. |
| | STAIR / ELEVATOR / CORRIDORS. |



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE. #106
MIAMI, FL. 33155

PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:
**ANDRÉS
CARNE DE RES**

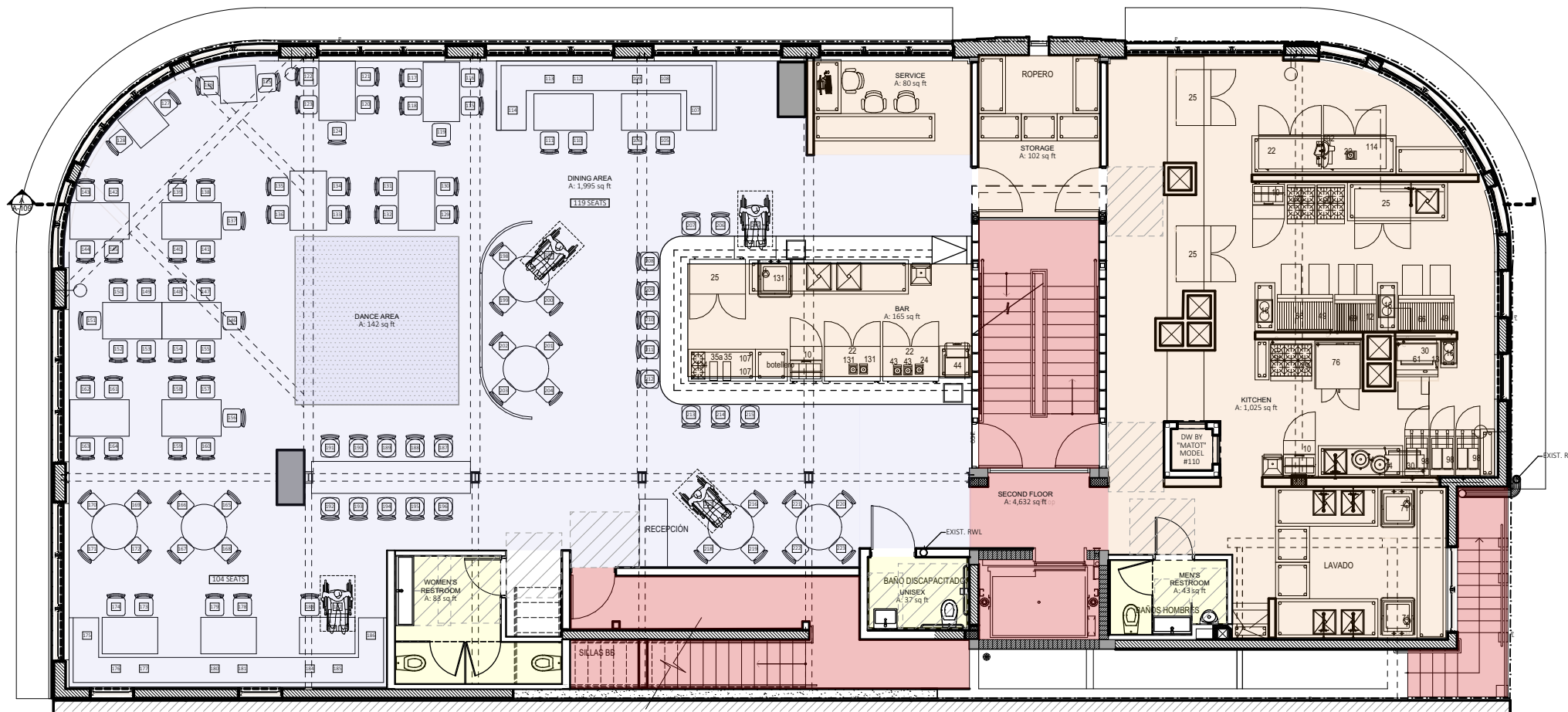
LINCOLN DREXEL BUILDING
1655 DREXEL AVENUE
MIAMI BEACH, FL 33139

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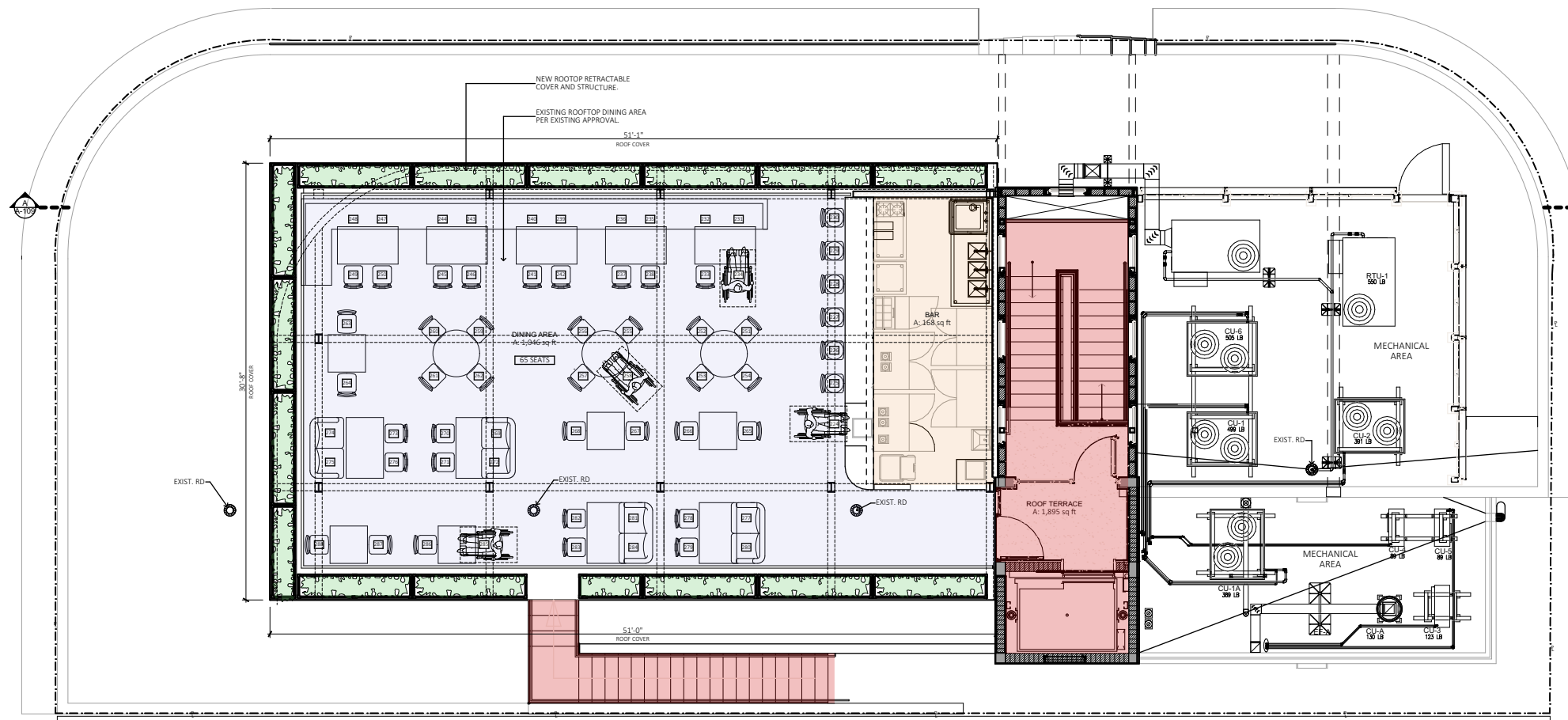


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PROJECT NO. 19-1007 TITLE: PROPOSED GROUND AND MEZZANINE FLOOR PLAN
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: **A-104**



A PROPOSED THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"



B PROPOSED ROOF TERRACE PLAN
SCALE: 3/32" = 1'-0"

METHOD OF OPERATION

THE ESTABLISHMENT WILL BE OPERATING AS:
-RESTAURANT / BAR.
-ENTERTAINMENT VENUE

OCCUPANCY LOAD CALCULATIONS

THIRD FLOOR:

DINING: 1,995 S.F. / 15 NET = 133 PERSONS
KITCHEN: 1,226 S.F. / 200 GROSS = 7 PERSONS
STORAGE: 102 S.F. / 300 GROSS = 1 PERSONS
TOTAL = 141 PERSONS

ROOF TERRACE:

DINING: 1,046 S.F. / 15 NET = 70 PERSONS
KITCHEN: 168 S.F. / 200 GROSS = 2 PERSONS
TOTAL = 72 PERSONS

TOTAL THIRD FLOOR AND ROOF: 213 PERSONS
TOTAL BUILDING OCCUPANTS: 413 PERSONS

INTERIOR SEATING COUNT

| QTY. | DESCRIPTION | LOCATION |
|------|-------------|----------|
| 119 | DINING AREA | THIRD |
| 65 | DINING AREA | ROOF |
| 184 | TOTAL | |

TABLE 221.2.1 WHEELCHAIR SPACES IN ASSEMBLY AREAS

| | |
|-----------|---|
| 51 TO 150 | 4 |
| TOTAL | 8 |

PLAN LEGEND

- ASSEMBLY AREAS (DINING AREAS).
- KITCHEN / BAR AREAS.
- RESTROOMS.
- STAIR / ELEVATOR / CORRIDORS.

NOTE

NO ROOFTOP ENTERTAINMENT PROPOSED.
PROPOSED SOUND OR MUSIC PLAYED WILL NOT INTERFERE WITH NO-ENTERTAINMENT AREAS.



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DEVELOPER:

ARCHITECT:
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4300 SW 73 AVE. #106
MIAMI, FL, 33155

PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

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1655 DREXEL AVENUE
MIAMI BEACH, FL 33139

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PROJECT NO. 19-1007 TITLE: PROPOSED THIRD AND ROOF FLOOR PLAN
DATE: DECEMBER 2, 2019

SCALE: AS SHOWN DRAWING NO.: **A-105**



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DEVELOPER:

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PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:
**ANDRÉS
CARNE DE RES**

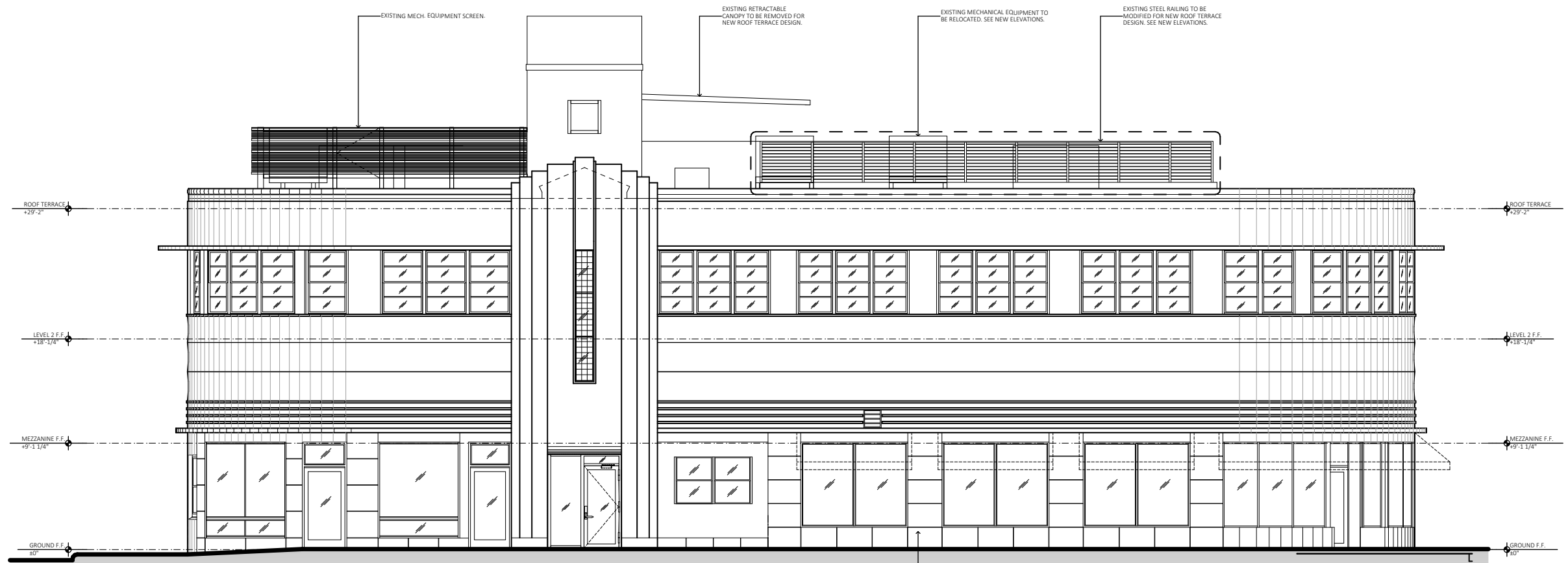
LINCOLN DREXEL BUILDING
1655 DREXEL AVENUE
MIAMI BEACH, FL 33139

REVISIONS:

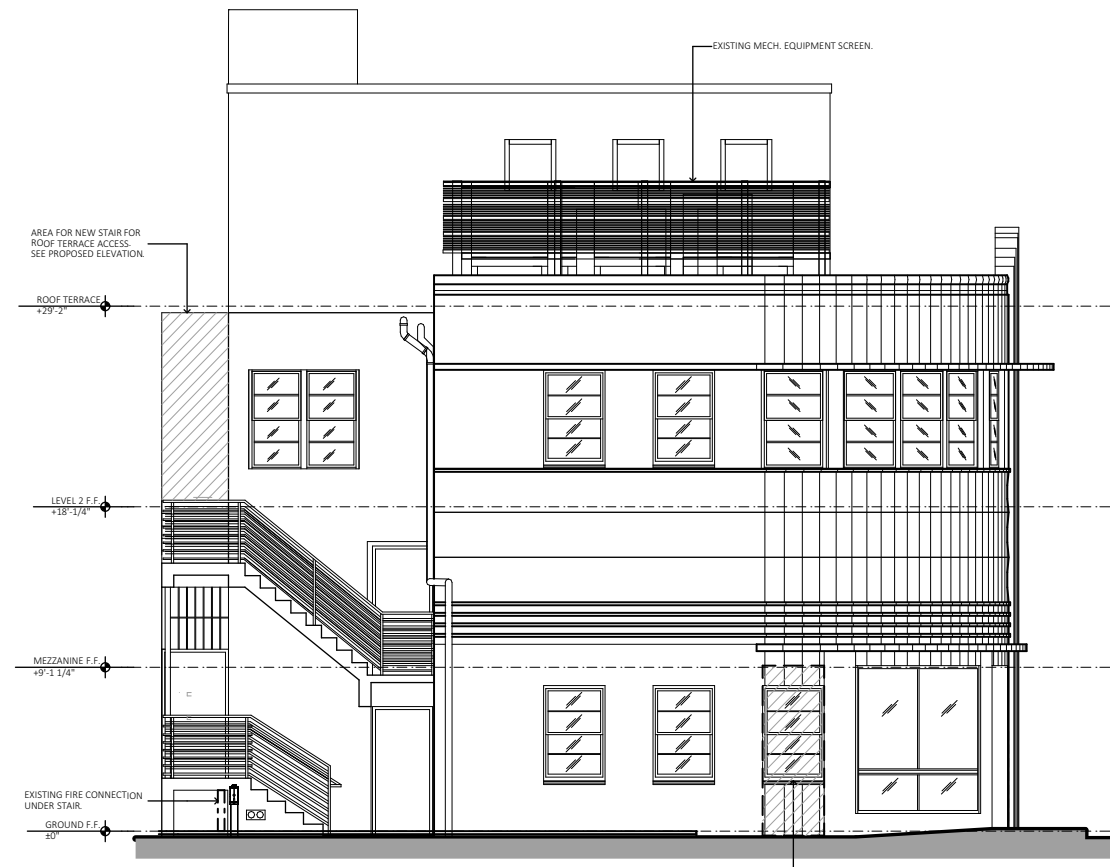
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PROJECT NO. 19-1007 TITLE: EXISTING ELEVATIONS
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: **A-106**



1 EXISTING WEST ELEVATION
SCALE: 3/32" = 1'-0"



3 EXISTING NORTH ELEVATION
SCALE: 3/32" = 1'-0"



2 EXISTING SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



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INTERIOR DESIGNER:

PLANNING APPLICATION FOR:
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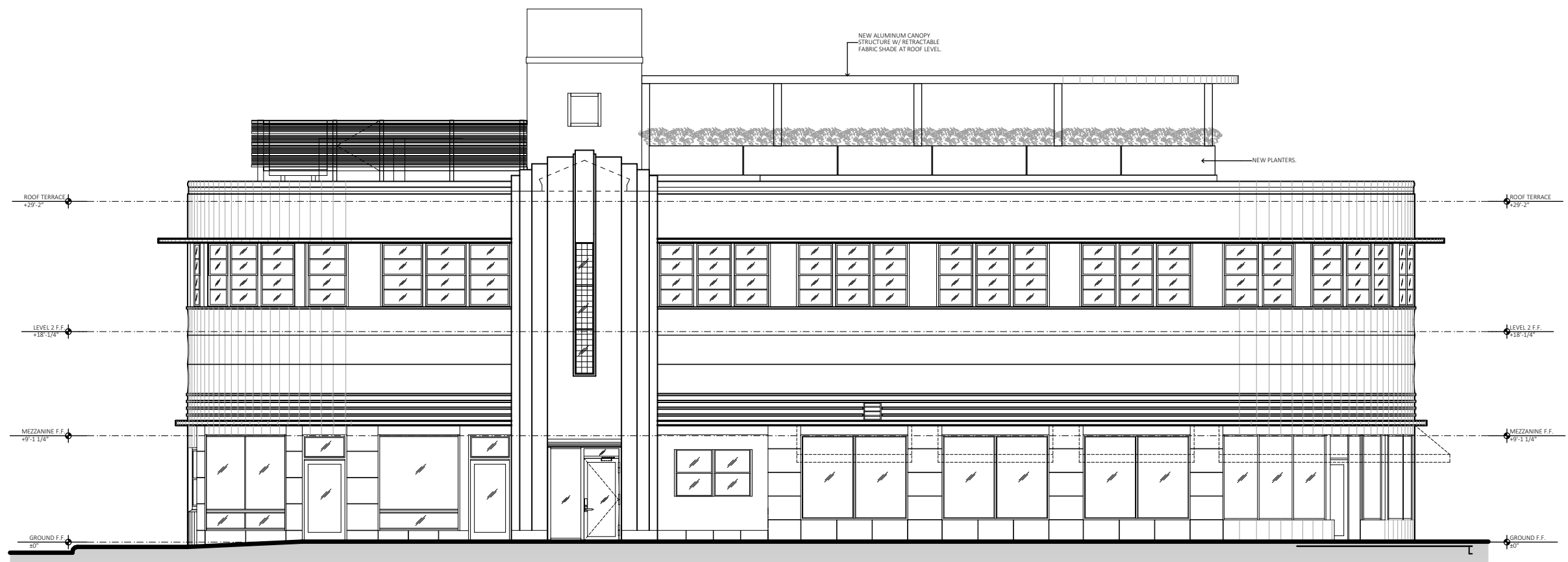
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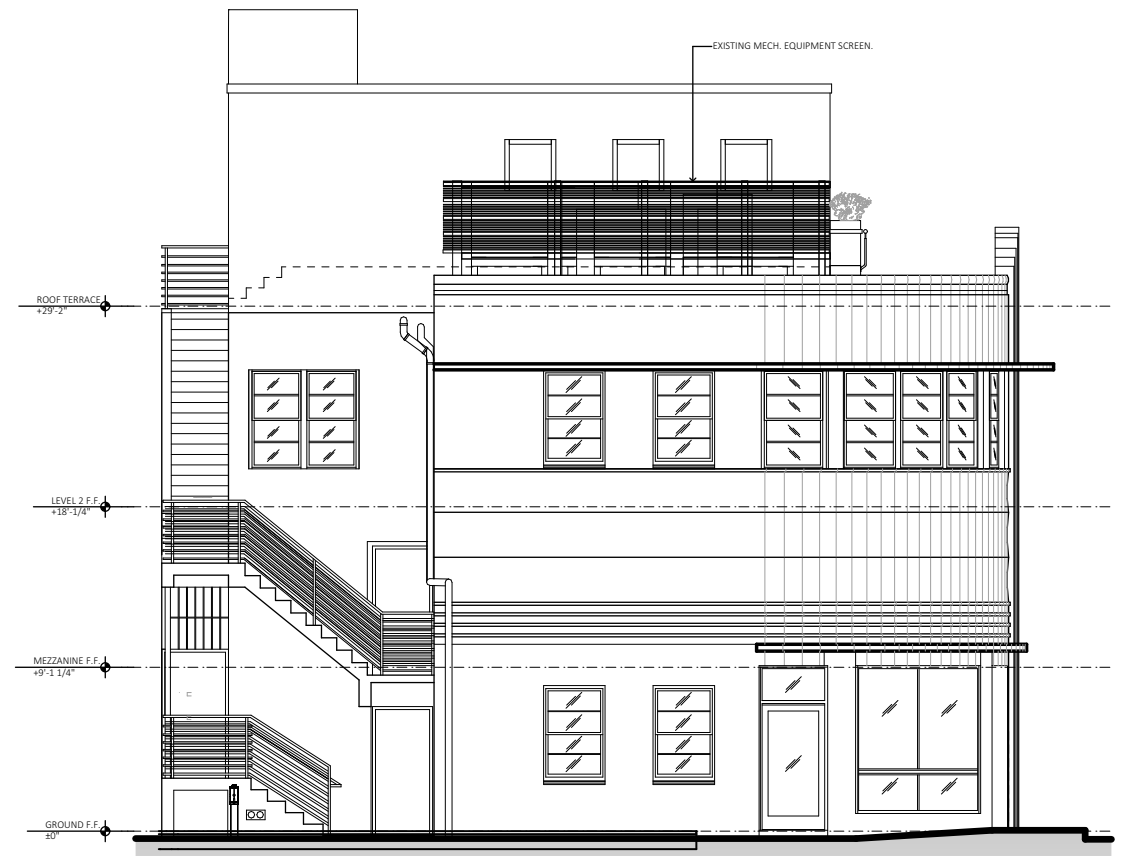
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PROJECT NO. 19-1007 TITLE: PROPOSED ELEVATIONS
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: **A-107**

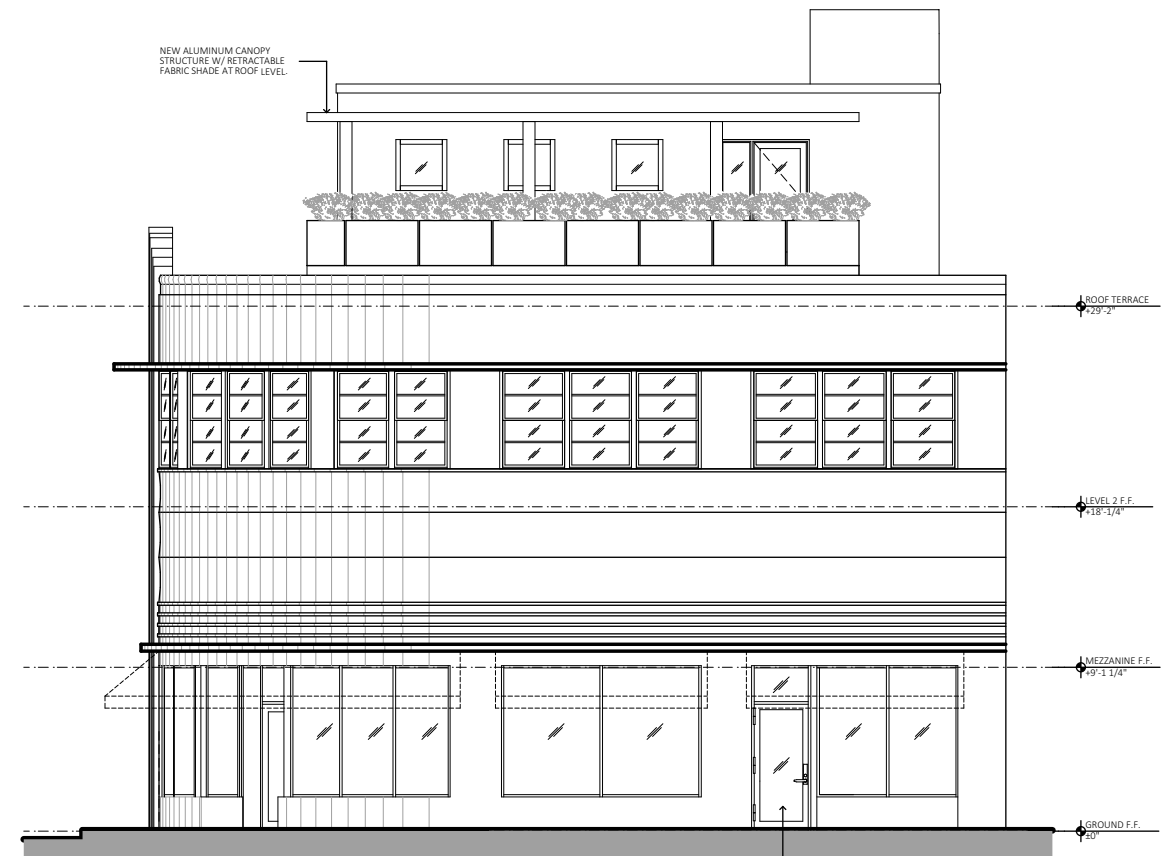


1 PROPOSED WEST ELEVATION
SCALE: 3/32" = 1'-0"

NOTE:
ALL EXISTING FINISHES, STUCCO BANDING AND
ARCHITECTURAL FEATURES ARE TO REMAIN
UNDISTURBED UNLESS OTHERWISE NOTED



2 PROPOSED NORTH ELEVATION
SCALE: 3/32" = 1'-0"



1 PROPOSED SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



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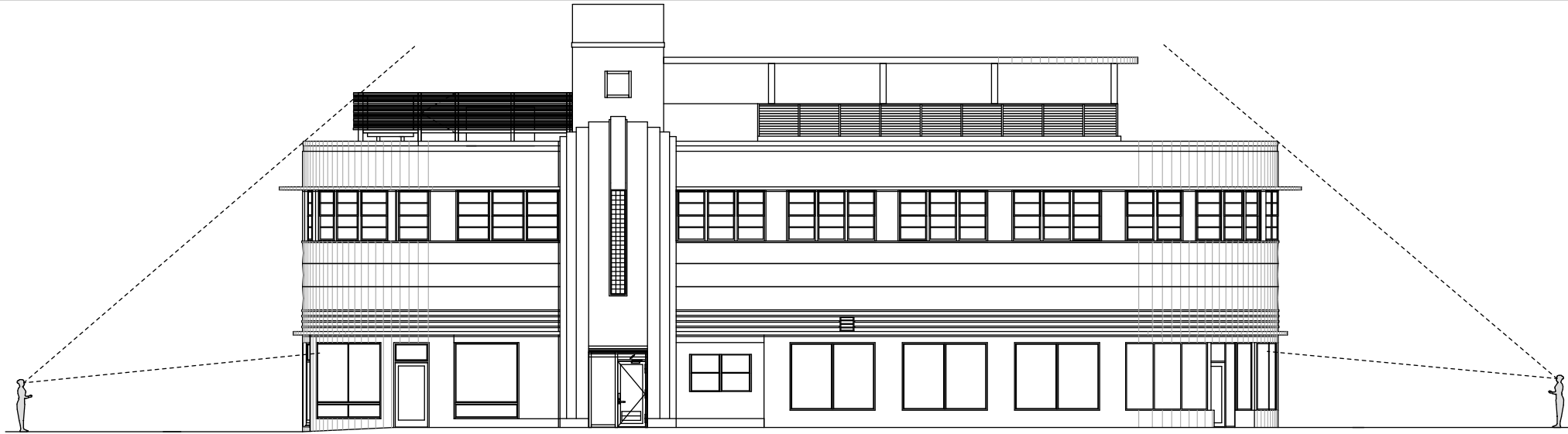
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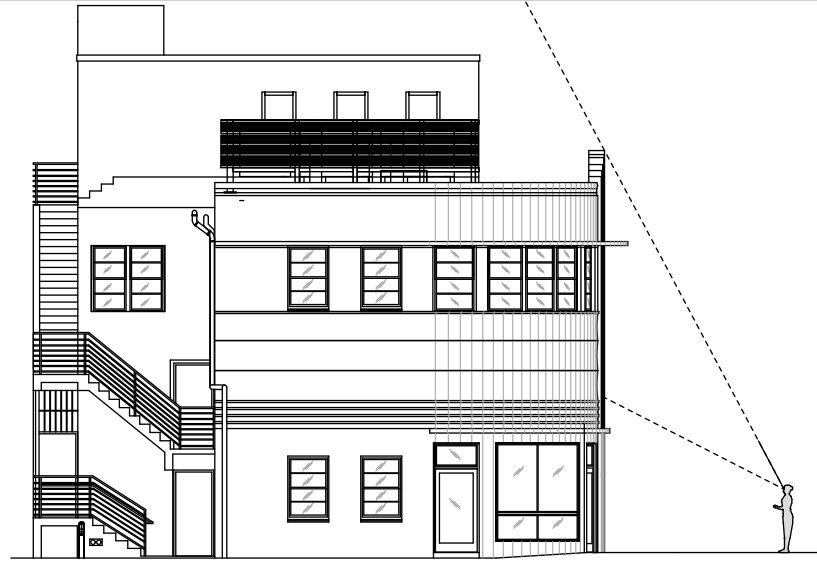
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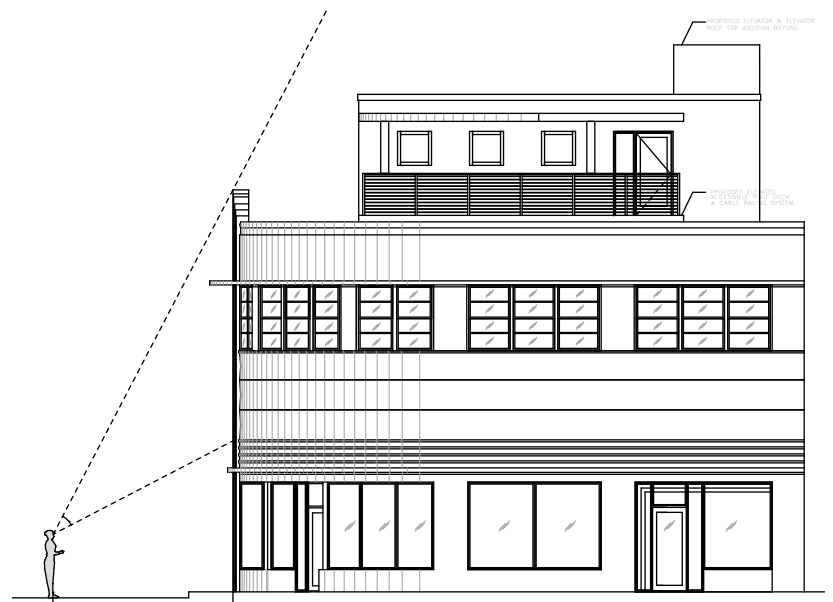
PROJECT NO. 19-1007 TITLE: VIEW ANGLES
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: A-108



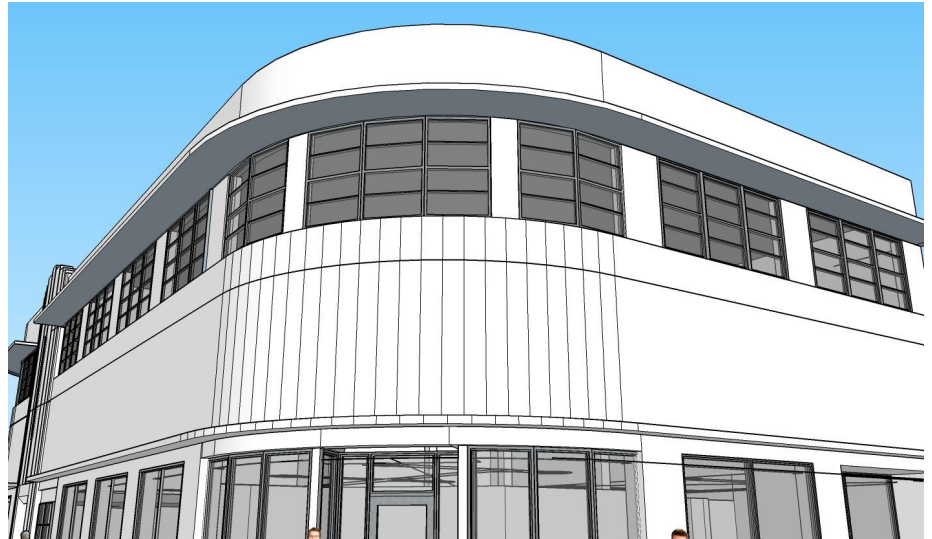
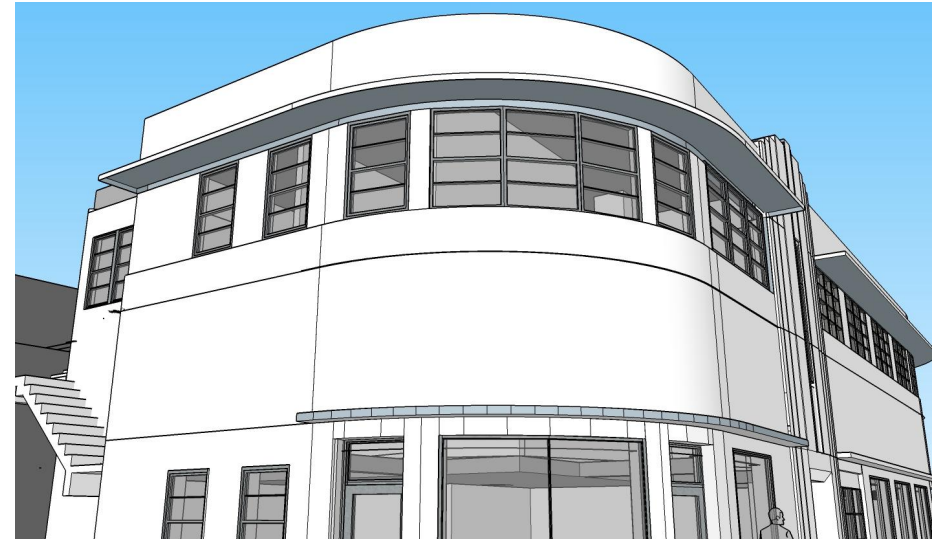
B WEST ELEVATION- VIEW ANGLE
SCALE: 1/16" = 1'-0"



A NORTH ELEVATION- VIEW ANGLE
SCALE: 1/16" = 1'-0"



C SOUTH ELEVATION- VIEW ANGLE
SCALE: 1/16" = 1'-0"





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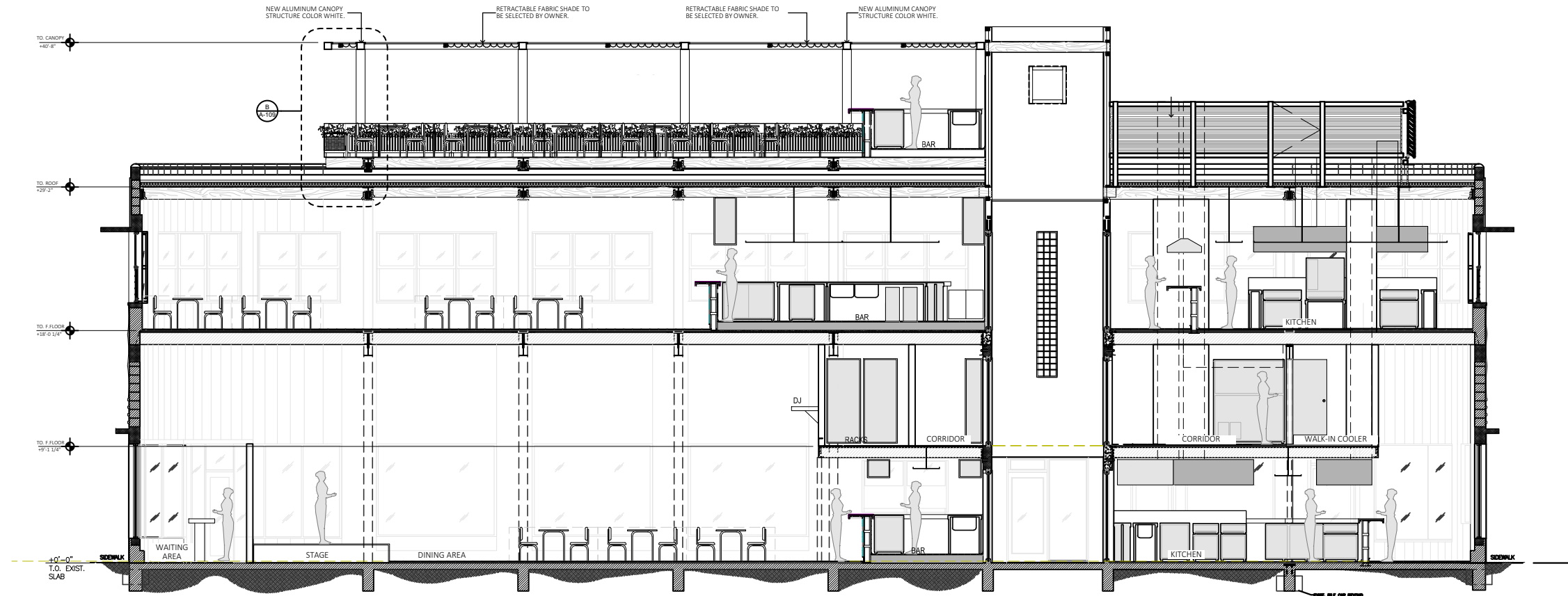
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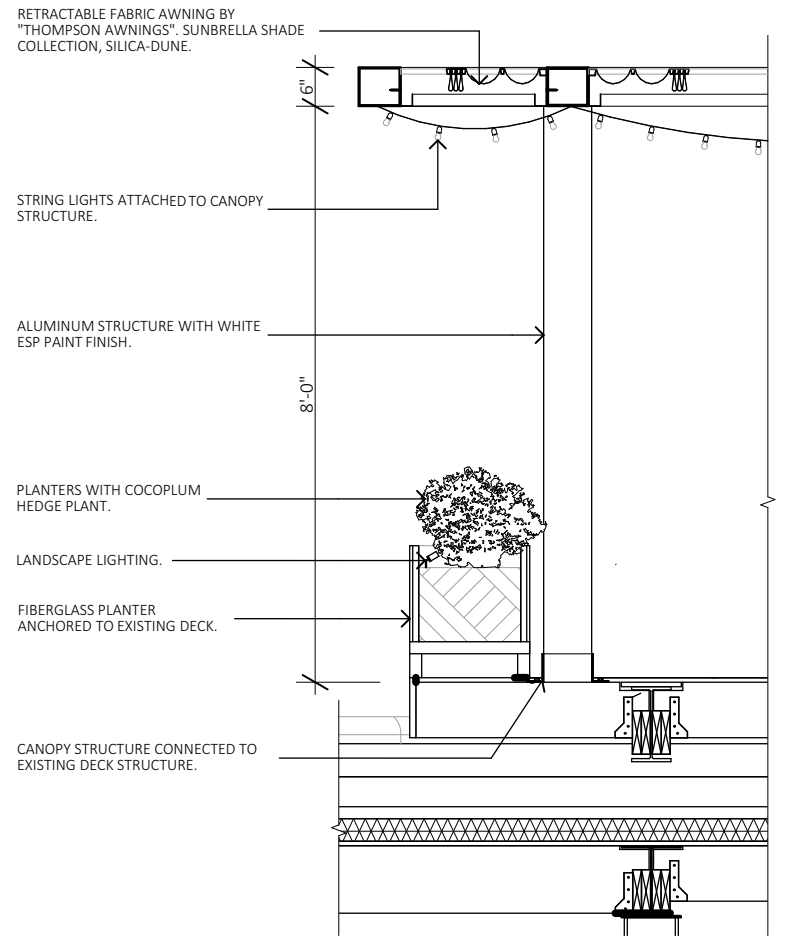
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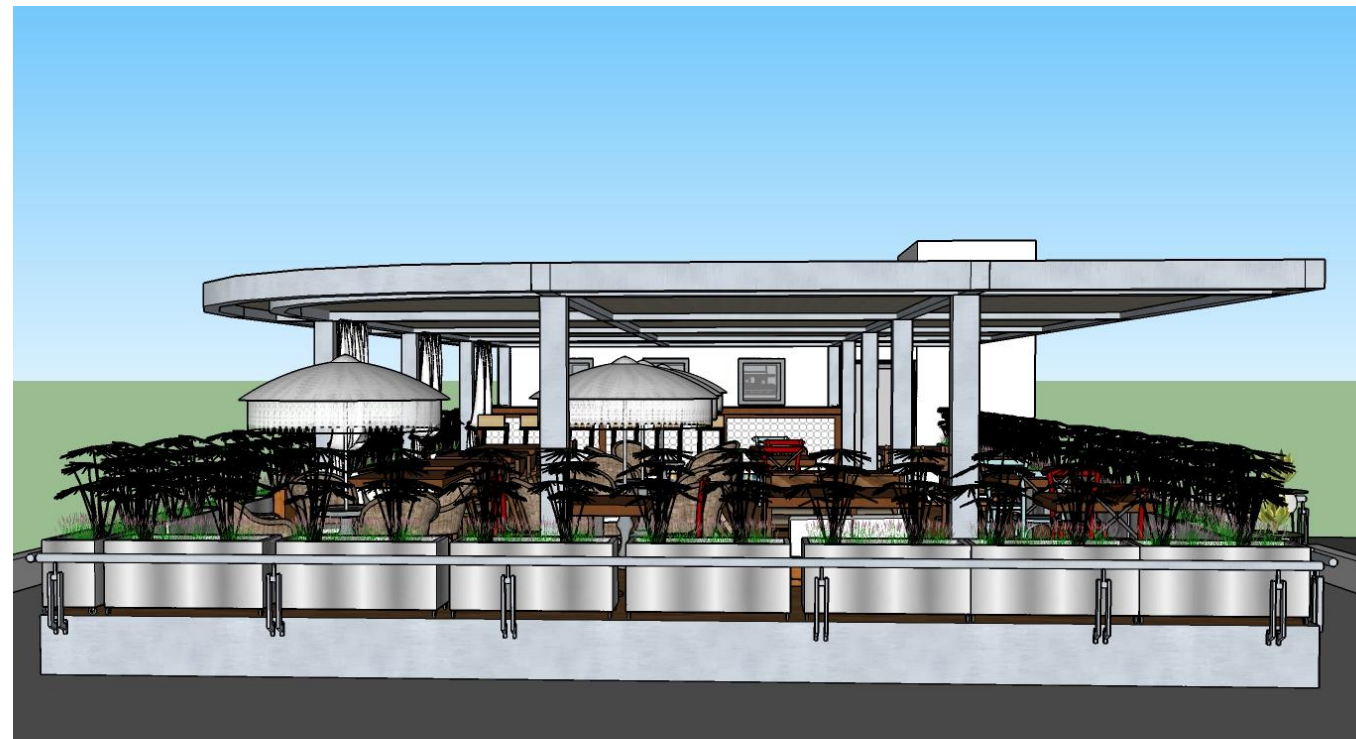
PROJECT NO. 19-1007 TITLE: PROPOSED SECTION
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: **A-109**



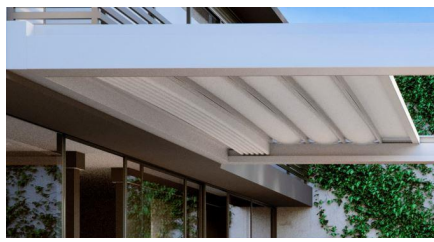
A PROPOSED BUILDING SECTION
SCALE: 3/32" = 1'-0"



B ROOF CANOPY- SECTION DETAIL
SCALE: 3/8" = 1'-0"



1 CANOPY@ ROOF TERRACE- 3D VIEW
NOT TO SCALE



CANOPY- CONCEPT.



RETRACTABLE AWNINGS
FABRIC- SILICA DUNE.



STRING LIGHT-TERRACE
LIGHING CONCEPT.



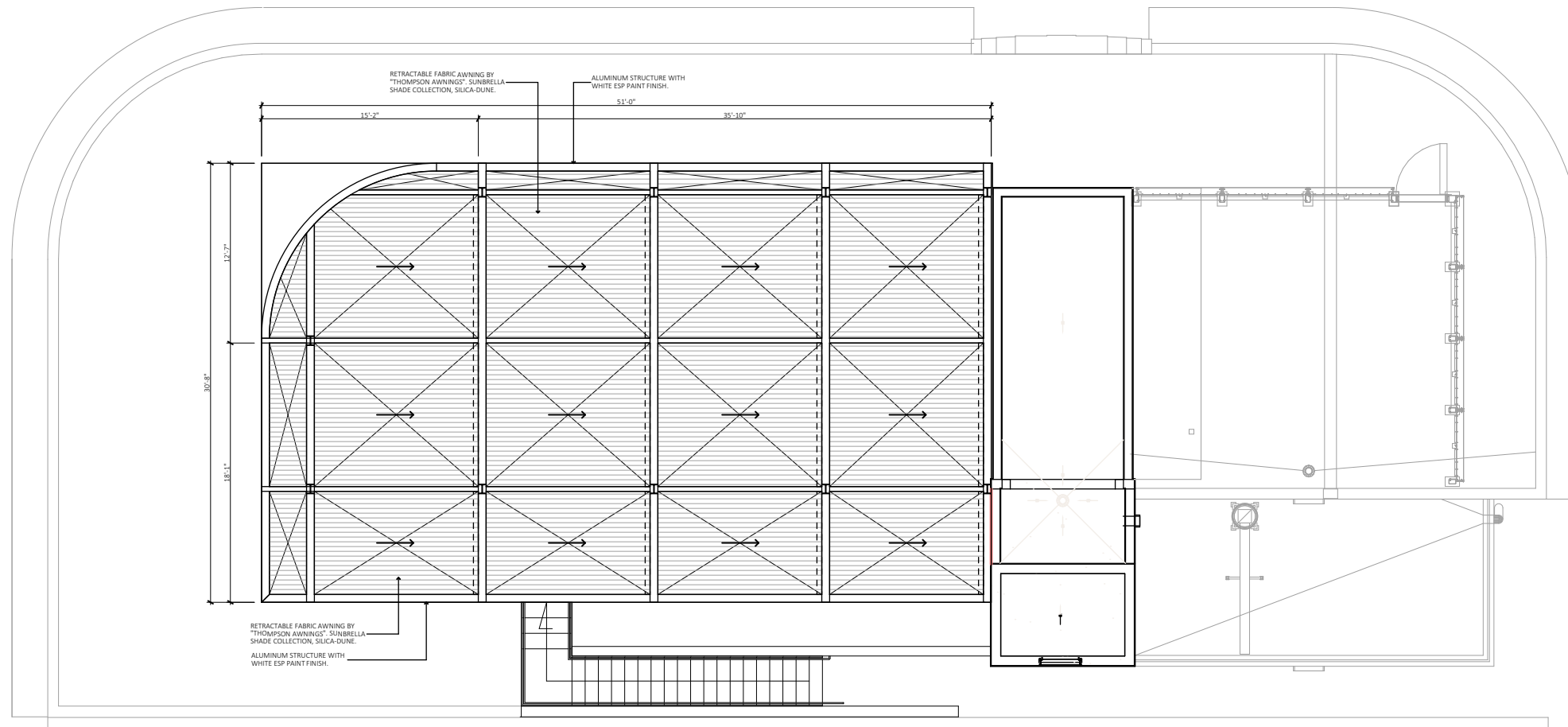
FIBERGLASS PLANTER- CONCEPT.



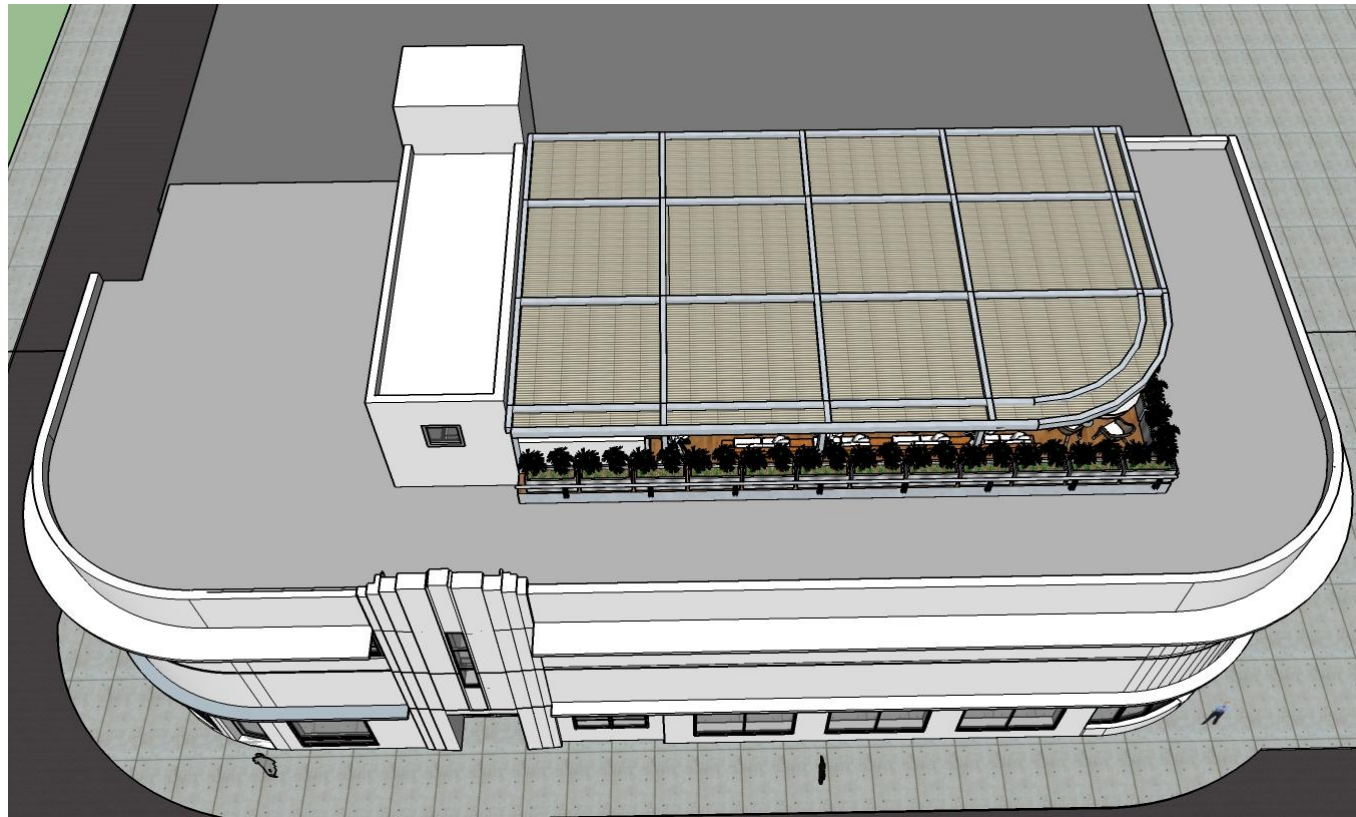
LIGHTING FOR PLANTER. CONCEPT.



COCOPLUM EDGE-
LANDSCAPING CONCEPT.



A PROPOSED CANOPY @ ROOF TERRACE
SCALE: 3/32" = 1'-0"



2 CANOPY@ ROOF TERRACE- 3D VIEW
NOT TO SCALE



3 CANOPY@ ROOF TERRACE- 3D VIEW
NOT TO SCALE



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MIAMI BEACH, FL 33139

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PROJECT NO. 19-1007 TITLE: PROPOSED CANOPY
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: A-110



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PROJECT NO. 19-1007 TITLE: INTERIOR RENDERINGS
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: **A-111**



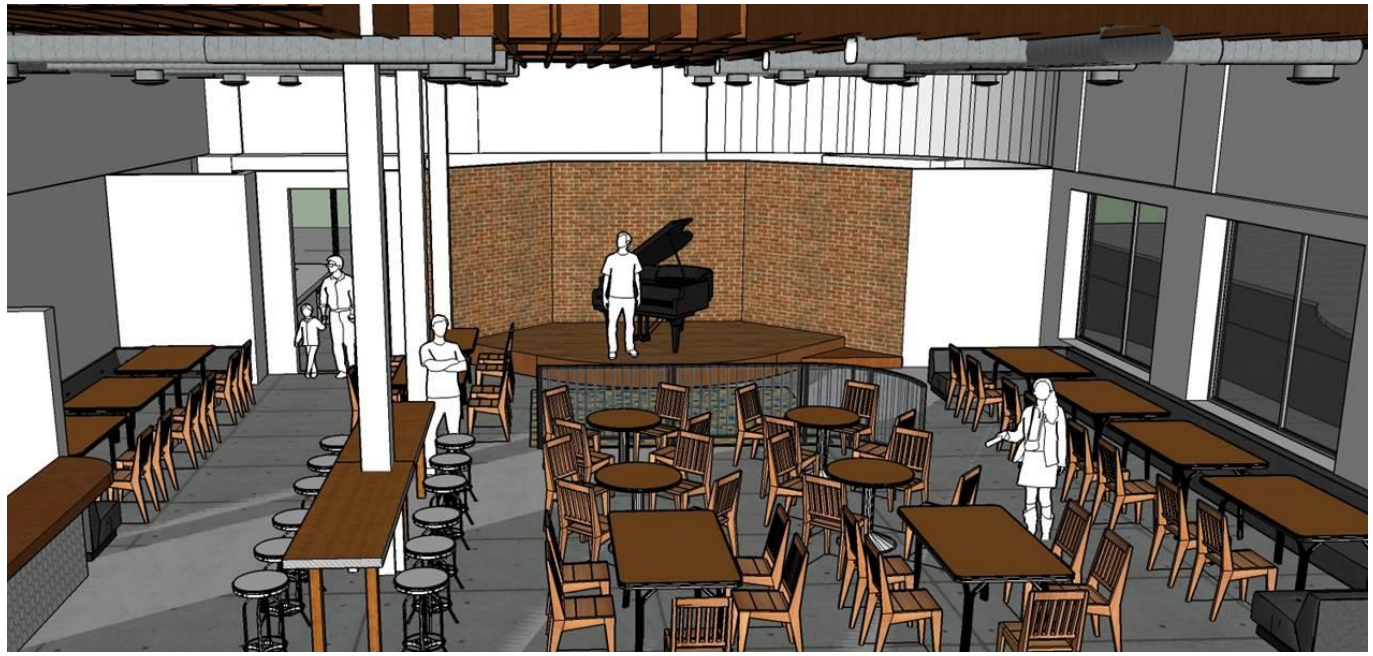
B GROUND FLOOR BAR- INTERIOR RENDERING
NOT TO SCALE



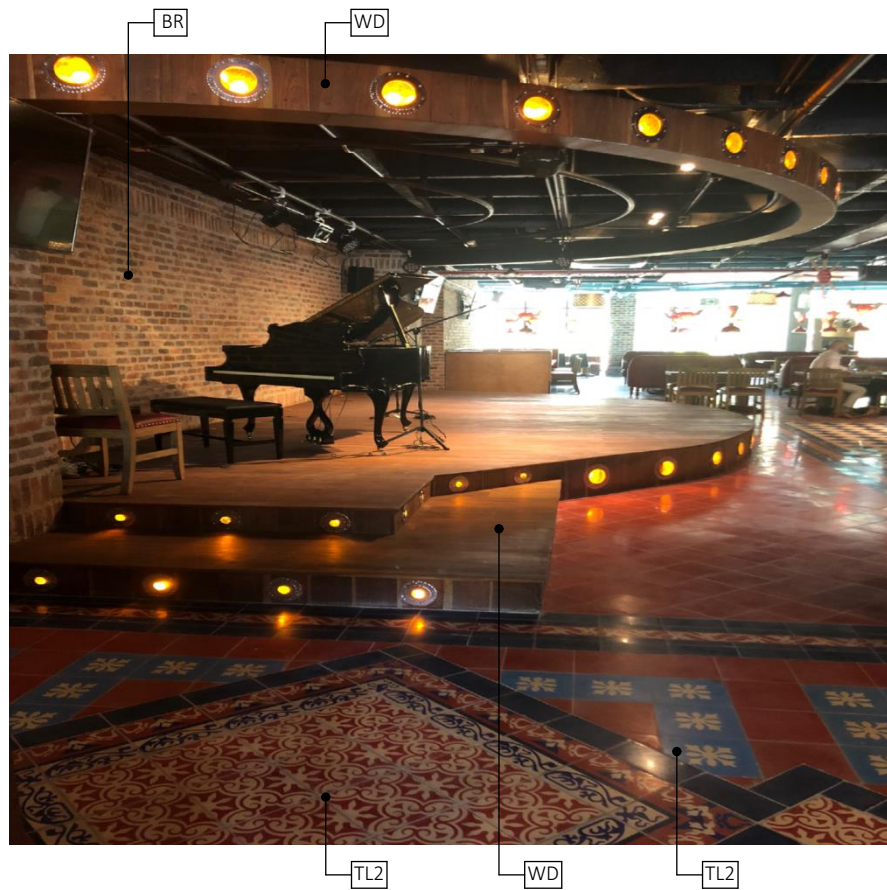
A GROUND FLOOR DINING AREA- INTERIOR RENDERING
NOT TO SCALE



B STAGE- INTERIOR RENDERING
NOT TO SCALE



C STAGE/ DINING AREA- INTERIOR RENDERING
NOT TO SCALE



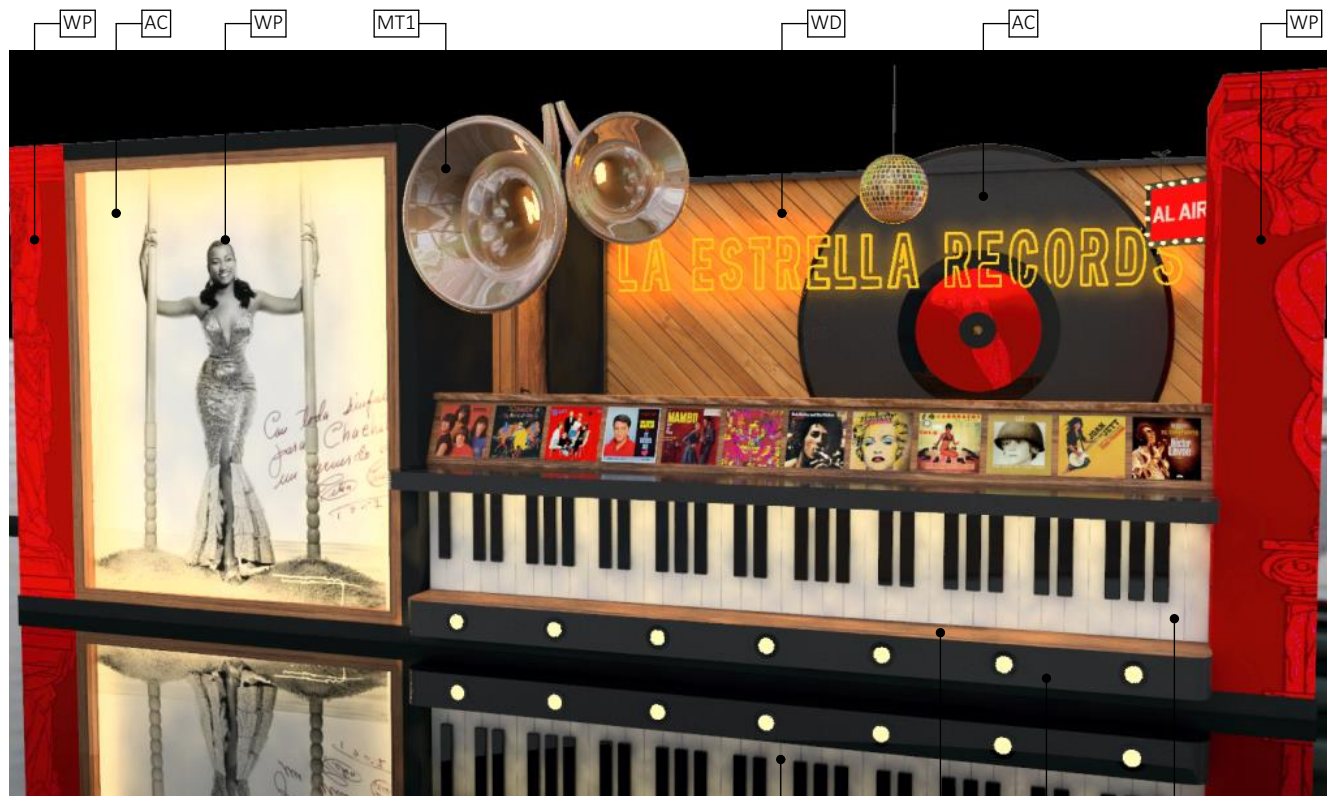
A PIANO STAGE- FINISH REFERENCE
NOT TO SCALE



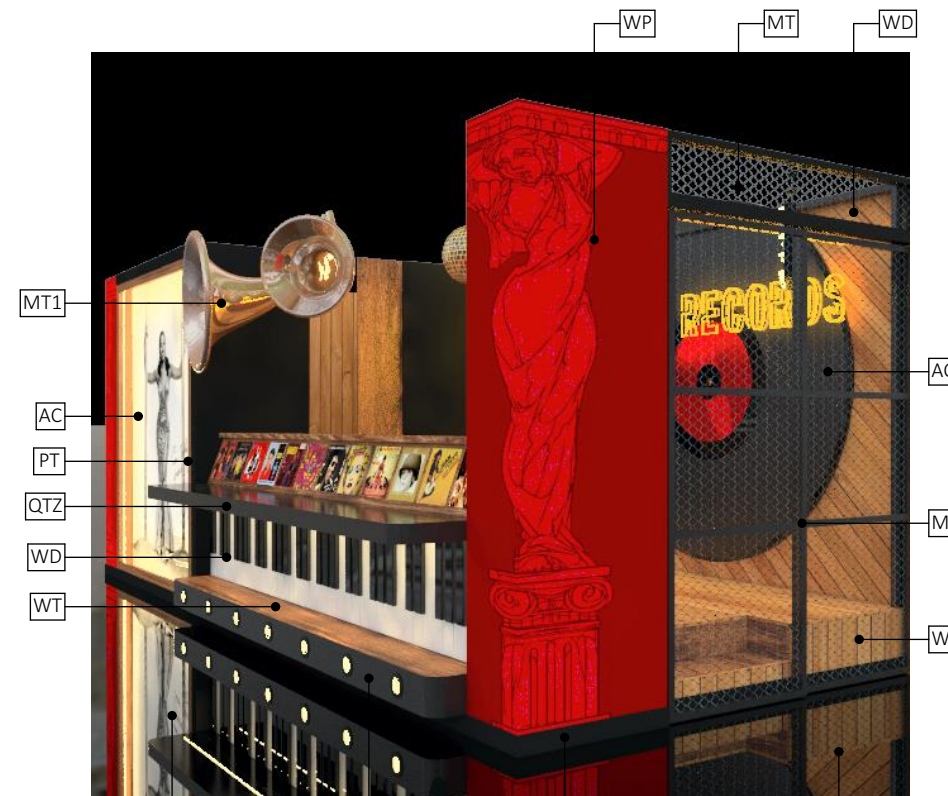
B INTERIOR LIGHTING- FINISH REFERENCE
NOT TO SCALE



C BACKBAR- FINISH REFERENCE
SCALE: 1:0.74



D MAIN BAR- FINISH REFERENCE
NOT TO SCALE



| FINISH LEGEND | |
|---------------|----------------------------------|
| AC | ACRYLIC. CUSTOM COLOR BY I.D. |
| BR | BRICK TILE. CUSTOM COLOR BY I.D. |
| MT | METAL PANEL. |
| MT1 | METAL FINISH. |
| PT | PAINT. COLOR BY I.D. |
| QTZ | QUARTZ. COLOR BY I.D. |
| TL1 | TILE. CUSTOM COLOR BY I.D. |
| TL2 | TILE. CUSTOM COLOR BY I.D. |
| TL3 | TILE. CUSTOM COLOR BY I.D. |
| WB | WOOD BASE. |
| WD | WOOD. |
| WT | WOOD TILE. CUSTOM COLOR BY I.D. |
| WP | WALLPAPER. |



OWNER:
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LINCOLN DREXEL II, LTD.
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MIAMI BEACH, FL 33140

DEVELOPER:

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MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:
**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
1655 DREXEL AVENUE
MIAMI BEACH, FL 33139

REVISIONS:



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PROJECT NO. 19-1007 TITLE: INTERIOR FINISHES-
SAMPLE REFERENCE
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.:
A-112



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DEVELOPER:

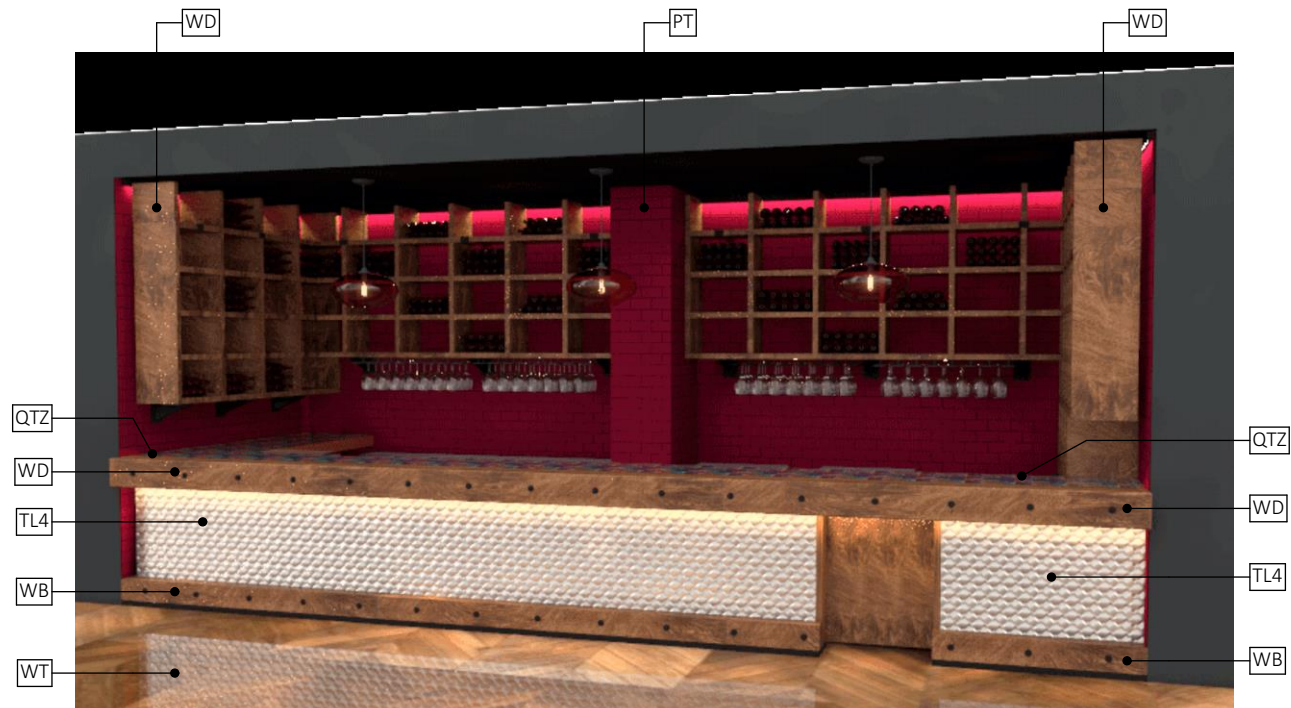
ARCHITECT:
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INTERIOR DESIGNER:

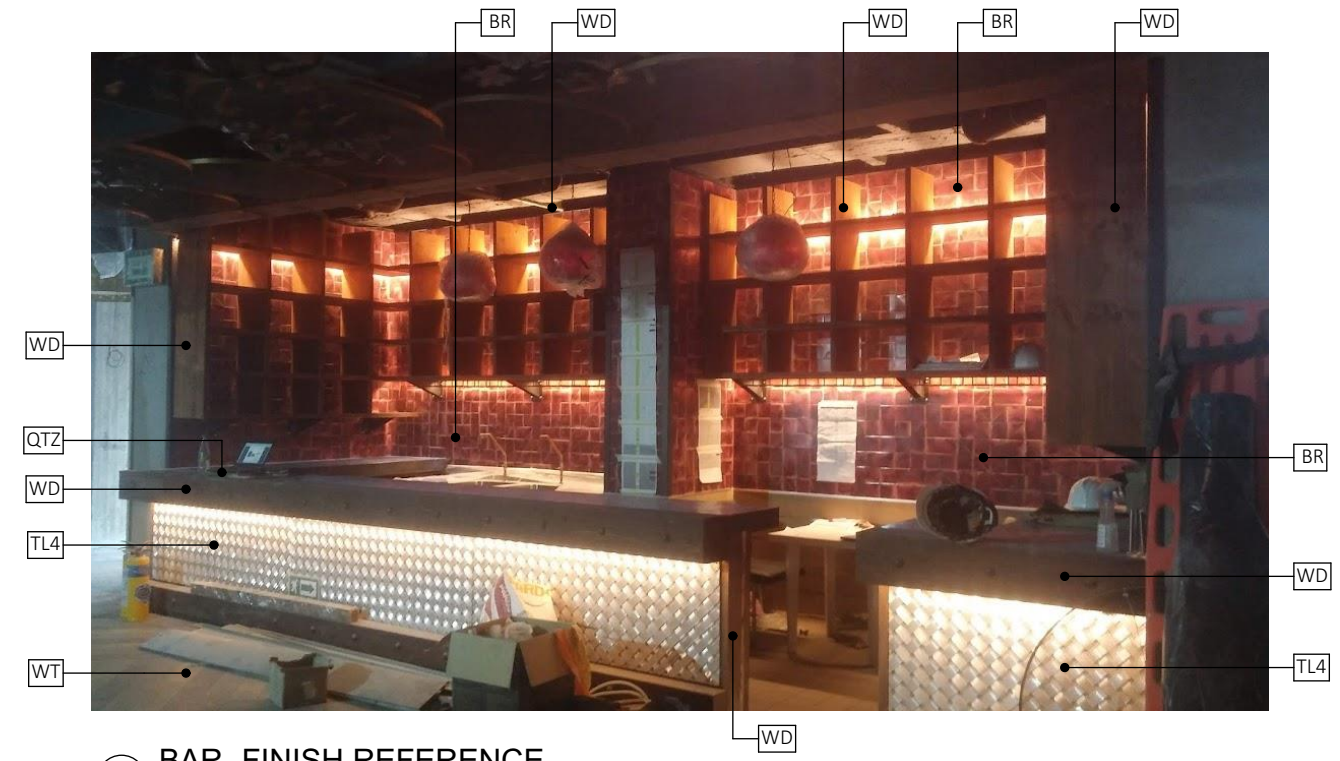
PLANNING APPLICATION FOR:
**ANDRÉS
 CARNE DE RES**

LINCOLN DREXEL BUILDING
 1655 DREXEL AVENUE
 MIAMI BEACH, FL 33139

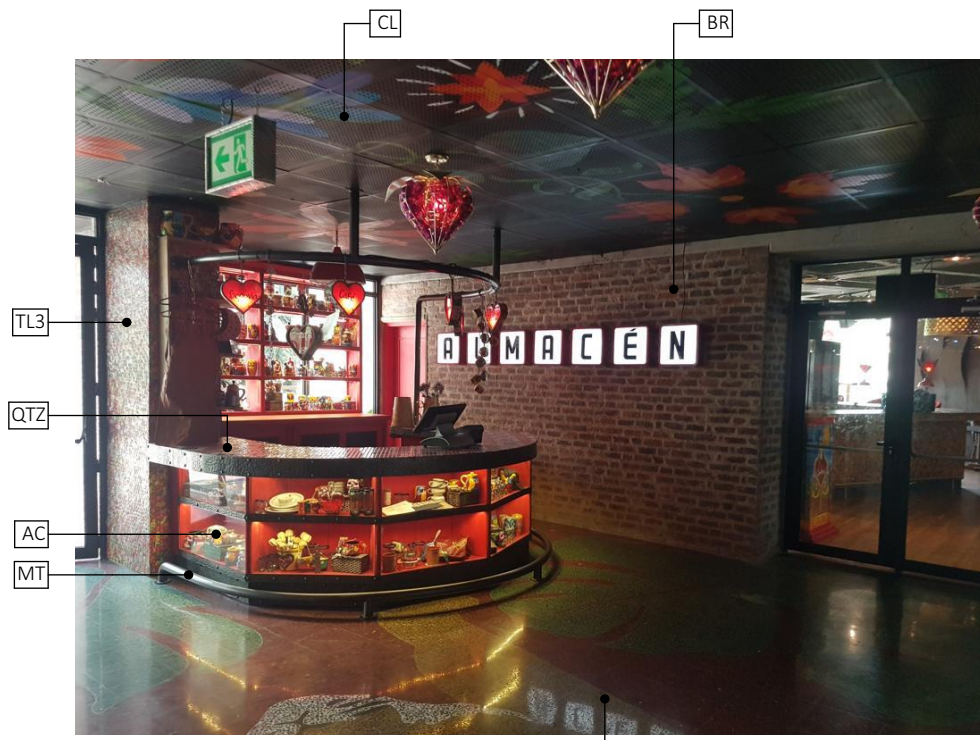
REVISIONS:



A BAR- FINISH REFERENCE
 NOT TO SCALE



B BAR- FINISH REFERENCE
 NOT TO SCALE



C STREET VIEW-DREXEL AVE
 NOT TO SCALE

| FINISH LEGEND | |
|---------------|----------------------------------|
| AC | ACRYLIC. CUSTOM COLOR BY I.D. |
| BR | BRICK TILE. CUSTOM COLOR BY I.D. |
| CL | ACOUSTIC CEILING. COLOR BY I.D. |
| MT | METAL PANEL. |
| MT1 | METAL FINISH. |
| PT | PAINT. COLOR BY I.D. |
| QTZ | QUARTZ. COLOR BY I.D. |
| TL1 | TILE. CUSTOM COLOR BY I.D. |
| TL2 | TILE. CUSTOM COLOR BY I.D. |
| TL3 | TILE. CUSTOM COLOR BY I.D. |
| TL4 | TILE. CUSTOM COLOR BY I.D. |
| WB | WOOD BASE. |
| WD | WOOD. |
| WT | WOOD TILE. CUSTOM COLOR BY I.D. |
| WP | WALLPAPER. |



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PROJECT NO. 19-1007 **TITLE:** INTERIOR FINISHES-
 SAMPLE REFERENCE
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN **DRAWING NO.:**
A-113