

THE DESIGNS INDICATED IN THESE DRAWINGS ARE PROPERTY OF SALADINO DESIGN STUDIOS INC.

1

2

3

4

E

D

C

B

A

E

D

C

B

A

DRAWING INDEX

ARCHITECTURAL

A0.01 PROJECT DATA ZONING INFORMATION AND LOCATION MAP
A1.01 GOENSE ROOF TOP TERRACE EXISTING PLAN
A1.02 GOENSE ROOF TOP TERRACE/ TIER ONE STRUCT PLAN
A1.03 GOENSE ROOF TOP TERRACE/ TIER TWO STRUCT PLAN
A1.04 GOENSE ROOF TOP TERRACE/ OPEN TRELLIS PLAN
A2.01 GOENSE EXTERIOR TRELLIS ELEVATION
A2.02 GOENSE EXTERIOR TRELLIS ELEVATION
A3.01 GOENSE SCHEMATIC RENDERING
A3.02 GOENSE SCHEMATIC RENDERING
A3.03 GOENSE SCHEMATIC RENDERING

GOENSE RESIDENCE

MIAMI BEACH DESIGN REVIEW BOARD

DECEMBER 6, 2019

PROJECT DATA

PROPERTY ADDRESS: 1 COLLINS AVE/ UNIT 704
MIAMI BEACH, FL 33138
FOLIO NUMBERS: 02-4203-371-0220
LEGAL DESCRIPTION: ONE OCEAN CONDO
UNIT 704 SOUTH BLDG
UNDIV 1.845 %
INT IN COMMON ELEMENTS
OFF REC 30011-4424
PA PRIMARY ZONING: RPS-4/ 6502 COMMERCIAL
PRIMARY LAND USE: 0407 RESIDENTIAL
CONSTRUCTION TYPE: TYPE 1A
INTERIOR FINISH CLASS: CLASS B
SQUARE FOOTAGE: 950 S.F./ AREA OF NEW TRELLIS

APPLICABLE CODES

FLORIDA BUILDING CODE, EXISTING 2017 6TH EDITION
LIFE SAFETY CODE (NFPA 1 & 101), 2012 EDITION
NFPA 13/ STANDARD FOR PORTABLE FIRE EXTINGUISHER, 2013 EDITION
NFPA 13/ STANDARD FOR INSTALLATION OF SPRINKLERS, 2013 EDITION
NFPA 70/ NATIONAL ELECTRICAL CODE, 2014 EDITION
NFPA 72/ NATIONAL FIRE ALARM CODE, 2013 EDITION
NFPA 110/ STANDARD FOR EMERGENCY AND STAND-BY POWER SUPPLY
NATIONAL FIRE PREVENTION ASSOCIATION, 10 EDITION 2010
FLORIDA FIRE PREVENTION CODE, 6TH EDITION
FLORIDA ACCESSIBILITY CODE, 2017 EDITION
JURISDICTION: CITY OF MIAMI BEACH



2 RESIDENCE LOCATION

SCALE: N.T.S.



1 SITE MAP

SCALE: N.T.S.

GOENSE RESIDENCE
ROOF TOP TERRACE
ONE COLLINS AVE UNIT #704
MIAMI BEACH, FL 33138

1 1 COLLINS RESIDENTIAL SITE PLAN

SCALE: N.T.S.

[Handwritten signature]

ALL CONTRACTORS ARE RESPONSIBLE FOR FIELD VERIFICATION OF DIMENSIONS



SALADINO
DESIGN
STUDIOS

7265 NE 4ND AVE, SUITE 101
MIAMI FL 33138
786.953.7455
WWW.SALADINODESIGN.COM



MANUEL REY
REGISTERED PROFESSIONAL
ARCHITECT
STATE OF FLORIDA LICENSE NO. 08617

PROJECT:

GOENSE RESIDENCE

One Collins Ave unit #704
Miami Beach, FL 33139

OWNER:

JOHN & JANELL
GOENSE
One Collins Ave unit #704
Miami Beach, FL 33139

M.E.P.:

ARPE
ENGINEERING
2020 PONCE DE LEON BLVD, SUITE 1002
CORAL GABLES, FL 33134
PH: 305.444.9809
C.A. 26359

GENERAL NOTES:
ALL LEGAL RIGHTS, INCLUDING BUT NOT LIMITED TO,
COPYRIGHT AND DESIGN PATENT RIGHTS, IN THE
DESIGN, ARRANGEMENTS, AND PLANS SHOWN ON
THIS DOCUMENT ARE THE PROPERTY OF SALADINO
DESIGN STUDIOS INC. AND WERE DEVELOPED FOR
USE SOLELY ON THIS PROJECT. THEY MAY NOT BE
USED OR REUSED IN WHOLE OR IN PART, EXCEPT IN
CONNECTION WITH THIS PROJECT, WITHOUT THE
PRIOR WRITTEN CONSENT OF SDS INC.

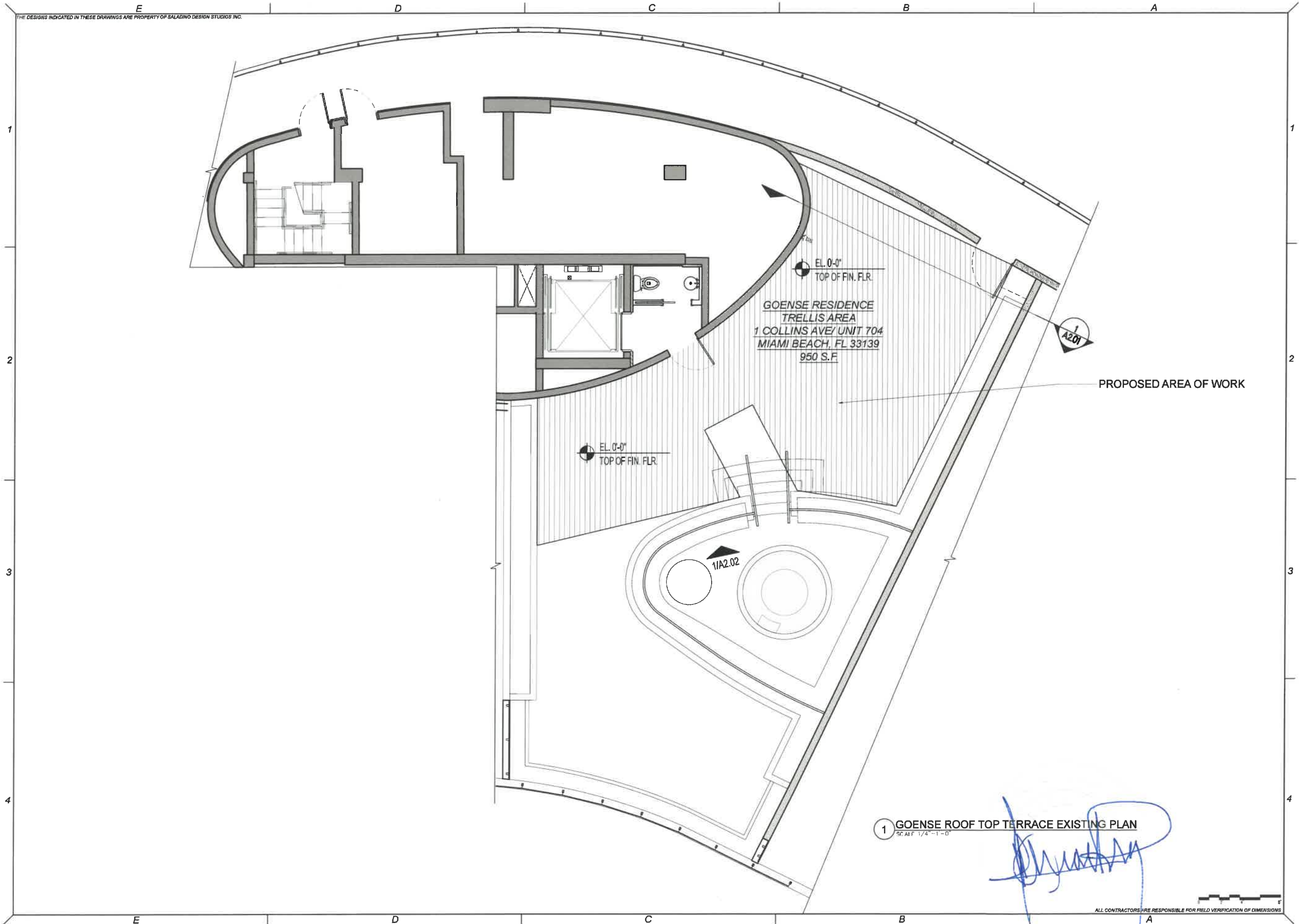
REVISION	
ISSUE	ISSUE DATE/ FOR

PROJECT NO: 1809 DRAWN BY:
CM / SS / DM
SCALE: CHECKED BY:
SS / CM
DATE:

DRAWING:
PROJECT DATA
ZONING INFORMATION
LOCATION MAP

SHEET NO.

A0.01



1 GOENSE ROOF TOP TERRACE EXISTING PLAN
SCALE: 1/4" = 1'-0"

[Handwritten signature]

ALL CONTRACTORS ARE RESPONSIBLE FOR FIELD VERIFICATION OF DIMENSIONS



**SALADINO
DESIGN
STUDIOS**
7265 NE 4ND AVE. SUITE 101
MIAMI FL 33138
786.953.7455
WWW.SALADINODESIGN.COM



MANUEL REY
REGISTERED PROFESSIONAL
ARCHITECT
STATE OF FLORIDA LICENSE NO. 8817

PROJECT:

**GOENSE
RESIDENCE**

One Collins Ave unit #704
Miami Beach, FL 33139

OWNER:

**JOHN & JANELL
GOENSE**
One Collins Ave unit #704
Miami Beach, FL 33139

M.E.P.:

**ARPE
ENGINEERING**
2020 PONCE DE LEON BLVD. SUITE 1002
CORAL GABLES, FL. 33134
PH: 305.444.9809
C.A. 26359

GENERAL NOTES:

ALL LEGAL RIGHTS, INCLUDING BUT NOT LIMITED TO, COPYRIGHT AND DESIGN PATENT RIGHTS, IN THE DESIGN, ARRANGEMENTS, AND PLANS SHOWN ON THIS DOCUMENT ARE THE PROPERTY OF SALADINO DESIGN STUDIOS INC., AND WERE DEVELOPED FOR USE SOLELY ON THIS PROJECT. THEY MAY NOT BE USED OR REUSED IN WHOLE OR IN PART, EXCEPT IN CONNECTION WITH THIS PROJECT, WITHOUT THE PRIOR WRITTEN CONSENT OF SDS, INC.

REVISION		
ISSUE	DATE	FOR

PROJECT No: 1809 DRAWN BY: CM / SS / DM
SCALE: CHECKED BY: SS / CM
DATE:
DRAWING:
GOENSE ROOF
TOP TERRACE
EXISTING PLAN
SHEET NO.
A1.01



**SALADINO
DESIGN
STUDIOS**
7265 NE 4ND AVE, SUITE 101
MIAMI FL 33138
786.953.7455
WWW.SALADINODESIGN.COM



PROJECT:
**GOENSE
RESIDENCE**

One Collins Ave unit #704
Miami Beach, FL 33139

OWNER:
**JOHN & JANELL
GOENSE**
One Collins Ave unit #704
Miami Beach, FL 33139

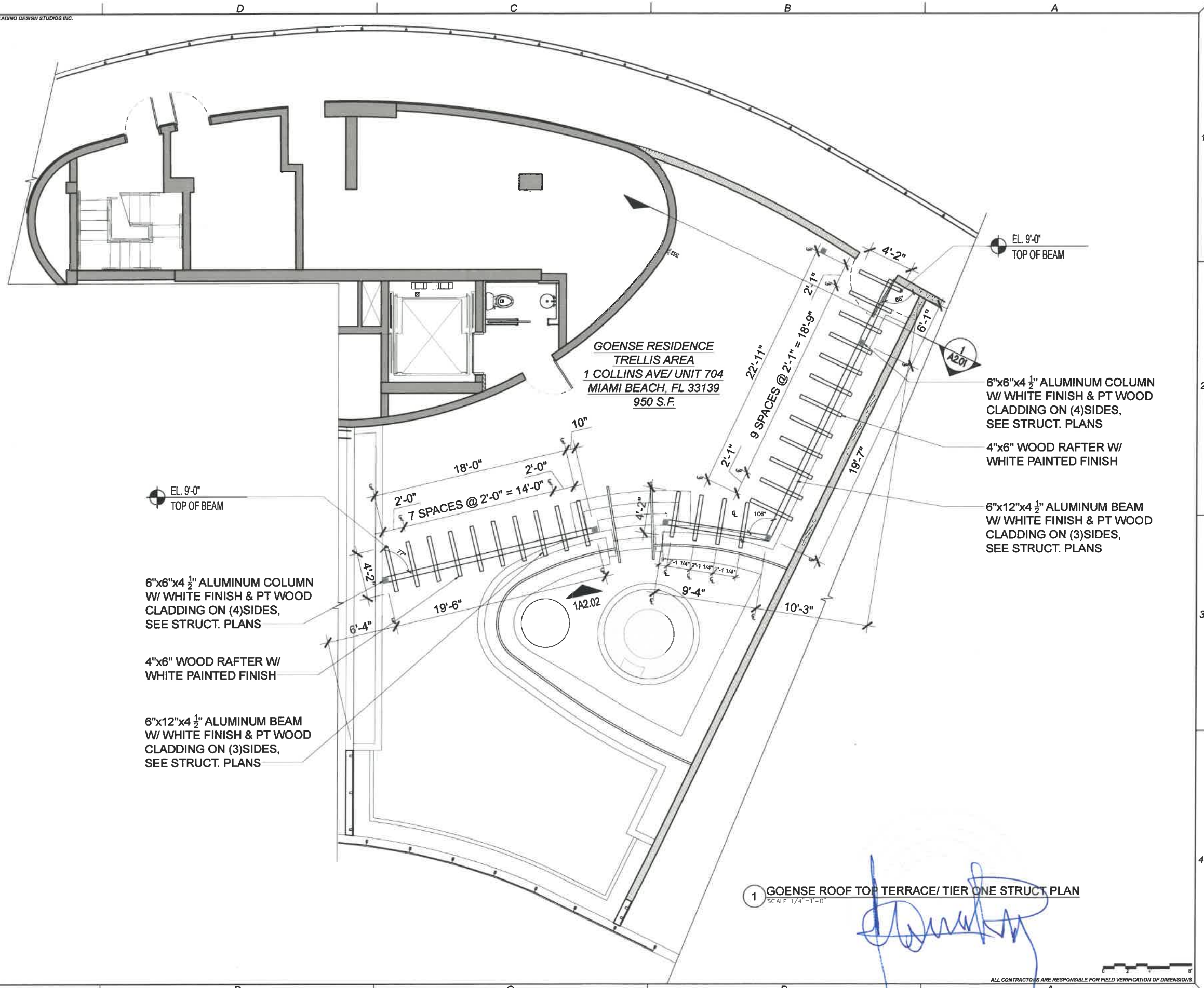
M.E.P.:
**ARPE
ENGINEERING**
2026 PONCE DE LEON BLVD, SUITE 1002
CORAL GABLES, FL 33134
PH: 305.444.8808
C.A. 26359

GENERAL NOTES:
ALL LEGAL RIGHTS, INCLUDING BUT NOT LIMITED TO,
COPYRIGHT AND DESIGN PATENT RIGHTS, IN THE
DESIGN, ARRANGEMENTS, AND PLANS SHOWN ON
THIS DOCUMENT ARE THE PROPERTY OF SALADINO
DESIGN STUDIOS INC. AND WERE DEVELOPED FOR
USE SOLELY ON THIS PROJECT. THEY MAY NOT BE
USED OR REUSED IN WHOLE OR IN PART, EXCEPT IN
CONNECTION WITH THIS PROJECT, WITHOUT THE
PRIOR WRITTEN CONSENT OF SDS, INC.

REVISION	
ISSUE	ISSUE DATE/FOH

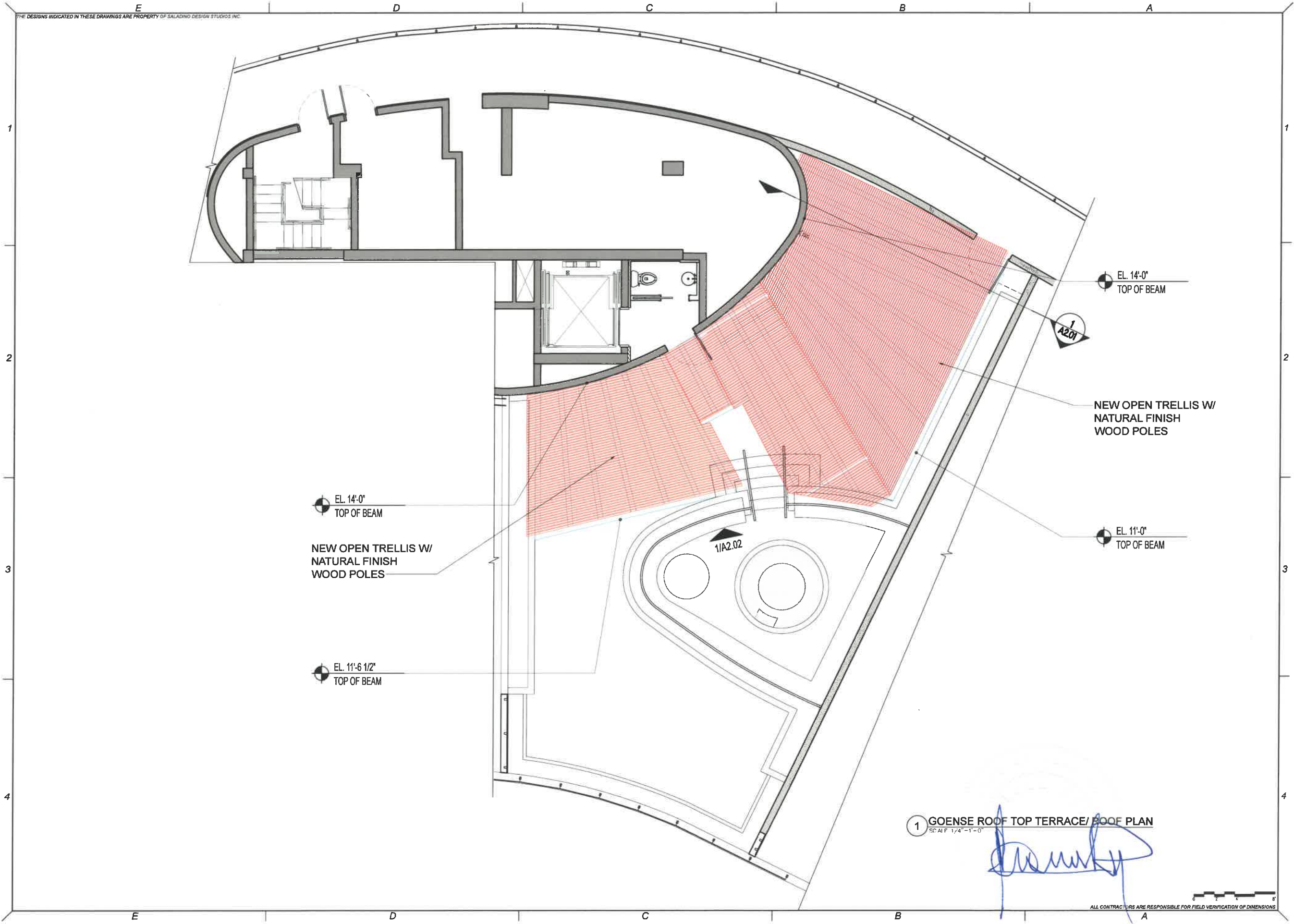
PROJECT NO: 1809 DRAWN BY: CM / SS / DM
SCALE: CHECKED BY: SS / CM
DATE:
DRAWING:
GOENSE ROOF
TOP TERRACE
TIER ONE
STRUCT PLAN

SHEET NO.
A1.02



1 GOENSE ROOF TOP TERRACE/ TIER ONE STRUCT PLAN
SCALE: 1/4" = 1'-0"

ALL CONTRACTORS ARE RESPONSIBLE FOR FIELD VERIFICATION OF DIMENSIONS



**SALADINO
DESIGN
STUDIOS**
7265 NE 4ND AVE. SUITE 101
MIAMI FL 33138
786.953.7455
WWW.SALADINODESIGN.COM

MANUEL REY
REGISTERED PROFESSIONAL
ARCHITECT
STATE OF FLORIDA LICENSE No. 9517

PROJECT:
**GOENSE
RESIDENCE**
One Collins Ave unit #704
Miami Beach, FL 33139

OWNER:
**JOHN & JANELL
GOENSE**
One Collins Ave unit #704
Miami Beach, FL 33139

M.E.P.:
**ARPE
ENGINEERING**
2020 PONCE DE LEON BLVD. SUITE 1002
CORAL GABLES, FL. 33134
PH: 305.444.9809
C.A. 26359

GENERAL NOTES:
ALL LEGAL RIGHTS, INCLUDING BUT NOT LIMITED TO,
COPYRIGHT AND DESIGN PATENT RIGHTS, IN THE
DESIGN, ARRANGEMENTS, AND PLANS SHOWN ON
THIS DOCUMENT ARE THE PROPERTY OF SALADINO
DESIGN STUDIOS INC. AND WERE DEVELOPED FOR
USE SOLELY ON THIS PROJECT. THEY MAY NOT BE
USED OR REUSED IN WHOLE OR IN PART, EXCEPT IN
CONNECTION WITH THIS PROJECT, WITHOUT THE
PRIOR WRITTEN CONSENT OF SDS, INC.

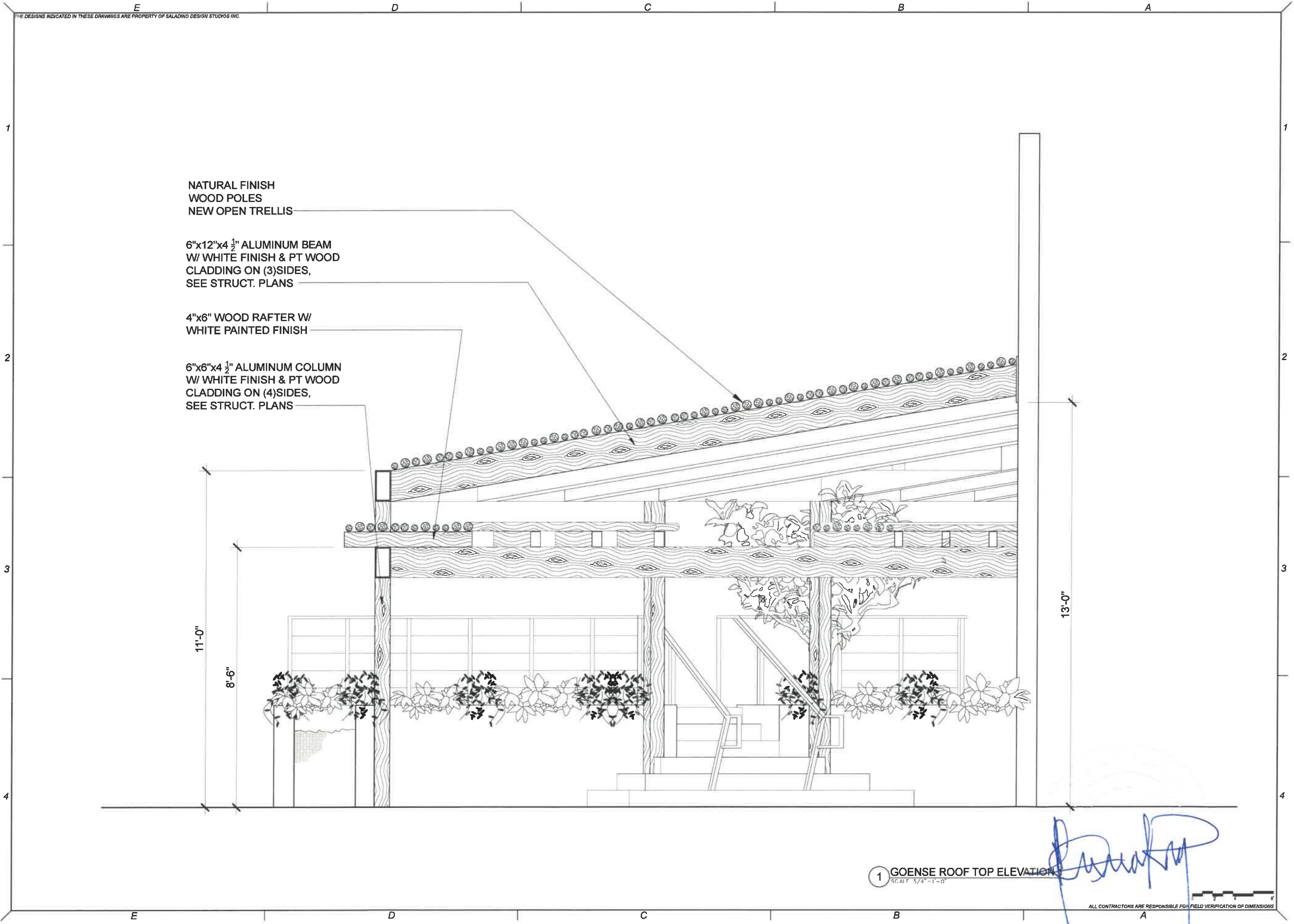
REVISION		
ISSUE	DATE	FOR

PROJECT No: 1809 **DRAWN BY:** CM / SS / DM
SCALE: **CHECKED BY:** SS / CM
DATE:
DRAWING:
GOENSE ROOF
TOP TERRACE
OPEN TRELLIS PLAN

SHEET NO.
A1.04

1 GOENSE ROOF TOP TERRACE/ BOOF PLAN
SCALE: 1/4" = 1'-0"

ALL CONTRACTORS ARE RESPONSIBLE FOR FIELD VERIFICATION OF DIMENSIONS



NATURAL FINISH
WOOD POLES
NEW OPEN TRELLIS

6"x12"x4 1/2" ALUMINUM BEAM
W/ WHITE FINISH & PT WOOD
CLADDING ON (3)SIDES,
SEE STRUCT. PLANS

4"x6" WOOD RAFTER W/
WHITE PAINTED FINISH

6"x6"x4 1/2" ALUMINUM COLUMN
W/ WHITE FINISH & PT WOOD
CLADDING ON (4)SIDES,
SEE STRUCT. PLANS

11'-0"

8'-6"

13'-0"

1 GOENSE ROOF TOP ELEVATION
SCALE: 3/4" = 1'-0"

ALL CONTRACTORS ARE RESPONSIBLE FOR FIELD VERIFICATION OF DIMENSIONS



**SALADINO
DESIGN
STUDIOS**
7265 NE 4ND AVE, SUITE 101
MIAMI FL 33138
786.953.7455
WWW.SALADINODESIGN.COM



MANUEL REY
REGISTERED PROFESSIONAL
ARCHITECT
STATE OF FLORIDA LICENSE No. 9817

PROJECT:
**GOENSE
RESIDENCE**
One Collins Ave unit #704
Miami Beach, FL 33139

OWNER:
**JOHN & JANELL
GOENSE**
One Collins Ave unit #704
Miami Beach, FL 33139

M.E.P.:
**ARPE
ENGINEERING**
2020 PONCE DE LEON BLVD, SUITE 1002
CORAL GABLES, FL 33134
PH: 305.444.8809
C.A. 26359

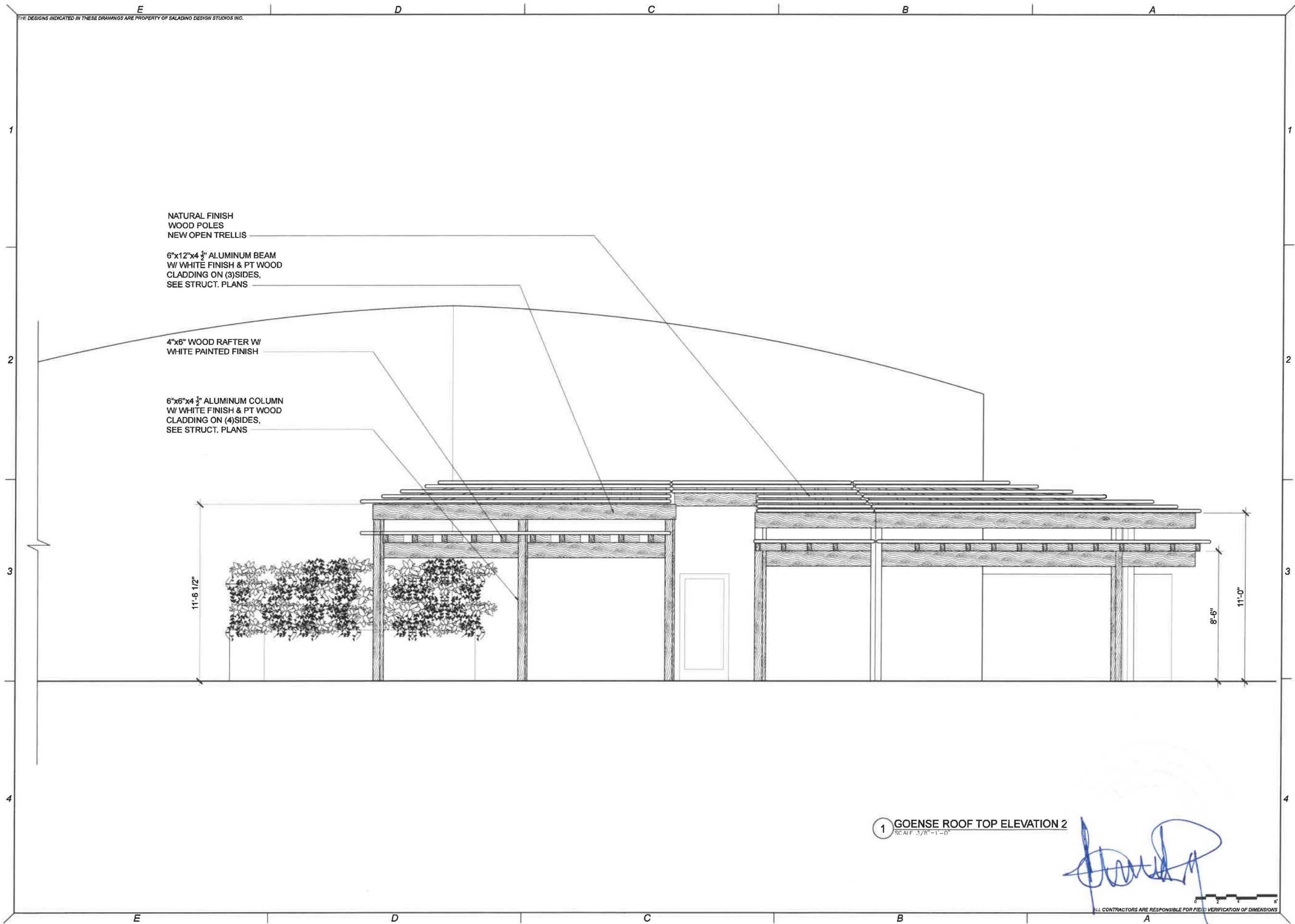
GENERAL NOTES:
ALL LEGAL RIGHTS, INCLUDING BUT NOT LIMITED TO,
COPYRIGHT AND DESIGN PATENT RIGHTS, IN THE
DESIGN, ARRANGEMENTS, AND PLANS SHOWN ON
THIS DOCUMENT ARE THE PROPERTY OF SALADINO
DESIGN STUDIOS INC., AND WERE DEVELOPED FOR
USE SOLELY ON THIS PROJECT. THEY MAY NOT BE
USED OR REUSED IN WHOLE OR IN PART, EXCEPT IN
CONNECTION WITH THIS PROJECT, WITHOUT THE
PRIOR WRITTEN CONSENT OF SDS, INC.

REVISION		
ISSUE	DATE	FOR

PROJECT No: 1808 DRAWN BY: CM / SS / DM
SCALE: CHECKED BY: SS / CM
DATE:
DRAWING:

ELEVATIONS

SHEET NO.
A2.01





**SALADINO
DESIGN
STUDIOS**
7265 NE 4ND AVE. SUITE 101
MIAMI FL 33138
786.953.7455
WWW.SALADINODESIGN.COM



MANUEL REY
REGISTERED PROFESSIONAL
ARCHITECT
STATE OF FLORIDA LICENSE No. 88117

PROJECT:

**GOENSE
RESIDENCE**

One Collins Ave unit #704
Miami Beach, FL 33139

OWNER:

**JOHN & JANELL
GOENSE**

One Collins Ave unit #704
Miami Beach, FL 33139

M.E.P.:

**ARPE
ENGINEERING**

2020 PONCE DE LEON BLVD. SUITE 1002
CORAL GABLES, FL 33134
PH: 305.444.9808
C.A. 26353

GENERAL NOTES:
ALL LEGAL RIGHTS, INCLUDING BUT NOT LIMITED TO,
COPYRIGHT AND DESIGN PATENT RIGHTS, IN THE
DESIGN, ARRANGEMENTS, AND PLANS SHOWN ON
THIS DOCUMENT ARE THE PROPERTY OF SALADINO
DESIGN STUDIOS INC., AND WERE DEVELOPED FOR
USE SOLELY ON THIS PROJECT. THEY MAY NOT BE
USED OR REUSED IN WHOLE OR IN PART, EXCEPT IN
CONNECTION WITH THIS PROJECT, WITHOUT THE
PRIOR WRITTEN CONSENT OF SDS, INC.

REVISION		
ISSUE	ISSUE DATE / FOR	

PROJECT NO:	1808	DRAWN BY:	CM / SS / DM
SCALE:		CHECKED BY:	SS / CM
DATE:			

DRAWING:

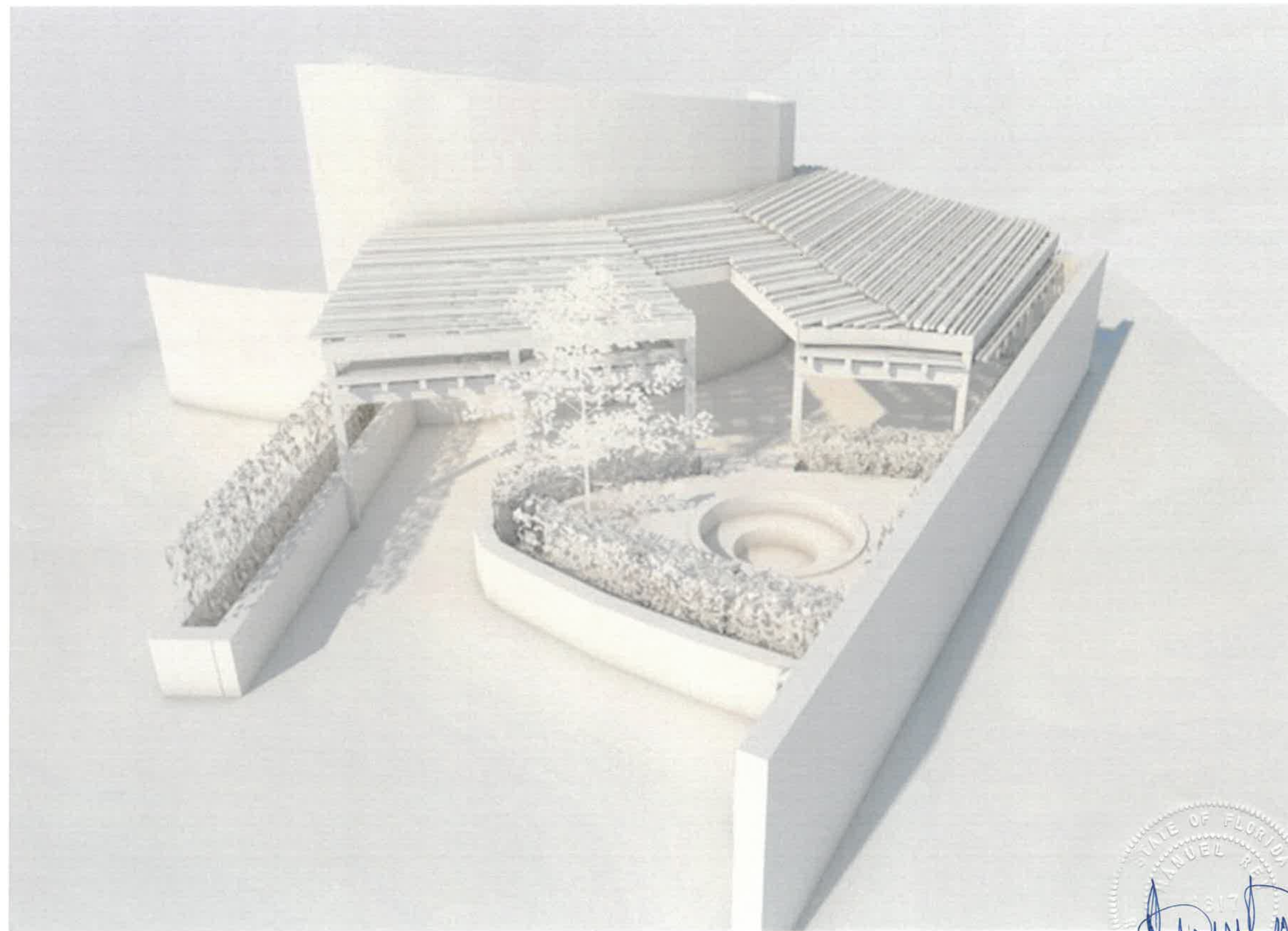
ELEVATIONS

SHEET NO.

A2.02

E

THE DESIGNS INDICATED IN THESE DRAWINGS ARE PROPERTY OF SALACINO DESIGN STUDIOS INC.



**SALADINO
DESIGN
STUDIOS**
7265 NE 4ND AVE. SUITE 101
MIAMI FL 33138
786.953.7455
WWW.SALADINODESIGN.COM



MANUEL REY
REGISTERED PROFESSIONAL
ARCHITECT
STATE OF FLORIDA LICENSE No. 38517

PROJECT:

**GOENSE
RESIDENCE**

One Collins Ave unit #70
Miami Beach, Fl 33139

OWNER:
JOHN & JANELL
GOENSE
One Collins Ave unit #704
Miami Beach, Fl 33139

M.E.P.:
ARPE
ENGINEERING
2020 PONCE DE LEON BLVD. SUITE 10
CORAL GABLES, FL. 33134
PH: 305.444.9809
C.A. 26359

GENERAL NOTES:
ALL LEGAL RIGHTS, INCLUDING BUT NOT LIMITED TO, COPYRIGHT AND DESIGN PATENT RIGHTS, IN THE DESIGN, ARRANGEMENTS, AND PLANS SHOWN ON THIS DOCUMENT ARE THE PROPERTY OF SALADINO DESIGN STUDIOS INC. AND WERE DEVELOPED FOR USE SOLELY ON THIS PROJECT. THEY MAY NOT BE USED OR REUSED IN WHOLE OR IN PART, EXCEPT IN CONNECTION WITH THIS PROJECT, WITHOUT THE PRIOR WRITTEN CONSENT OF SDS, INC.

REVISION	
ISSUE	ISSUE DATE/FDR

PROJECT No:	DRAWN BY:
1809	CM / SS / DM
SCALE:	CHECKED BY:
	SS / CM

DATE:
DRAWING:

SCHEMATIC RENDERING

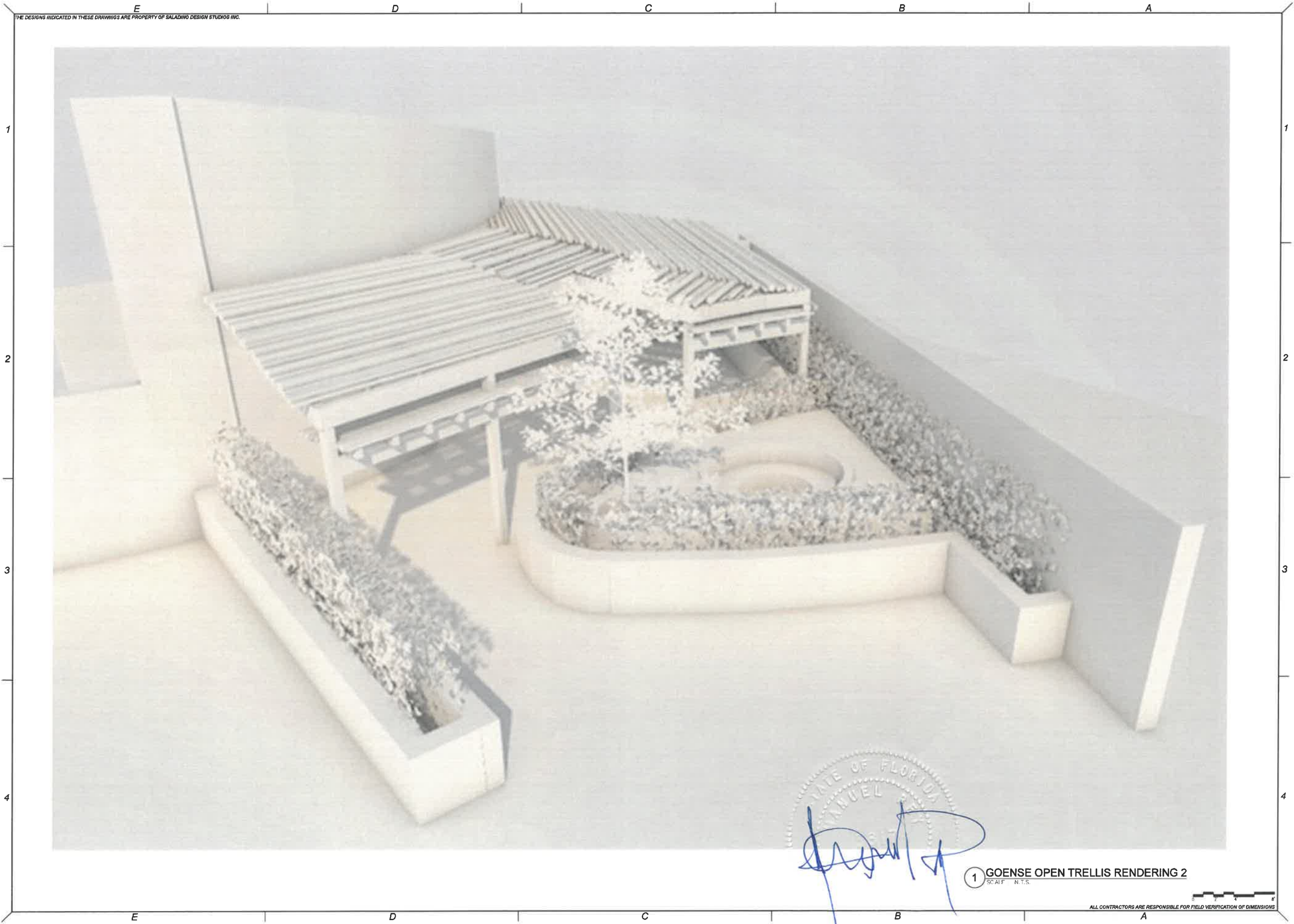
[illegible]

SHEET NO.

A3.01

1 GOENSE OPEN TRELLIS RENDERING 1
SCAIF : N.T.S.

ALL CONTRACTORS ARE RESPONSIBLE FOR FIELD VERIFICATION OF DIMENSIONS



THE DESIGNS INDICATED IN THESE DRAWINGS ARE PROPERTY OF SALADINO DESIGN STUDIOS INC.



**SALADINO
DESIGN
STUDIOS**
7265 NE 4ND AVE, SUITE 101
MIAMI FL 33138
786.953.7455
WWW.SALADINODESIGN.COM

MANUEL REY
REGISTERED PROFESSIONAL
ARCHITECT
STATE OF FLORIDA LICENSE No. 8817

PROJECT:
**GOENSE
RESIDENCE**
One Collins Ave unit #704
Miami Beach, FL 33139

OWNER:
**JOHN & JANELL
GOENSE**
One Collins Ave unit #704
Miami Beach, FL 33139

M.E.P.:
**ARPE
ENGINEERING**
2020 PONCE DE LEON BLVD, SUITE 1002
CORAL GABLES, FL 33134
PH: 305.444.8809
C.A. 26359

GENERAL NOTES:
ALL LEGAL RIGHTS, INCLUDING BUT NOT LIMITED TO,
COPYRIGHT AND DESIGN PATENT RIGHTS, IN THE
DESIGN, ARRANGEMENTS, AND PLANS SHOWN ON
THIS DOCUMENT ARE THE PROPERTY OF SALADINO
DESIGN STUDIOS INC. AND WERE DEVELOPED FOR
USE SOLELY ON THIS PROJECT. THEY MAY NOT BE
USED OR REUSED IN WHOLE OR IN PART, EXCEPT IN
CONNECTION WITH THIS PROJECT, WITHOUT THE
PRIOR WRITTEN CONSENT OF SDS, INC.

REVISION		
ISSUE	ISSUE DATE	FOR

PROJECT No: 1809 **DRAWN BY:** CM / SS / DM
SCALE: **CHECKED BY:** SS / CM
DATE: **DRAWING:**

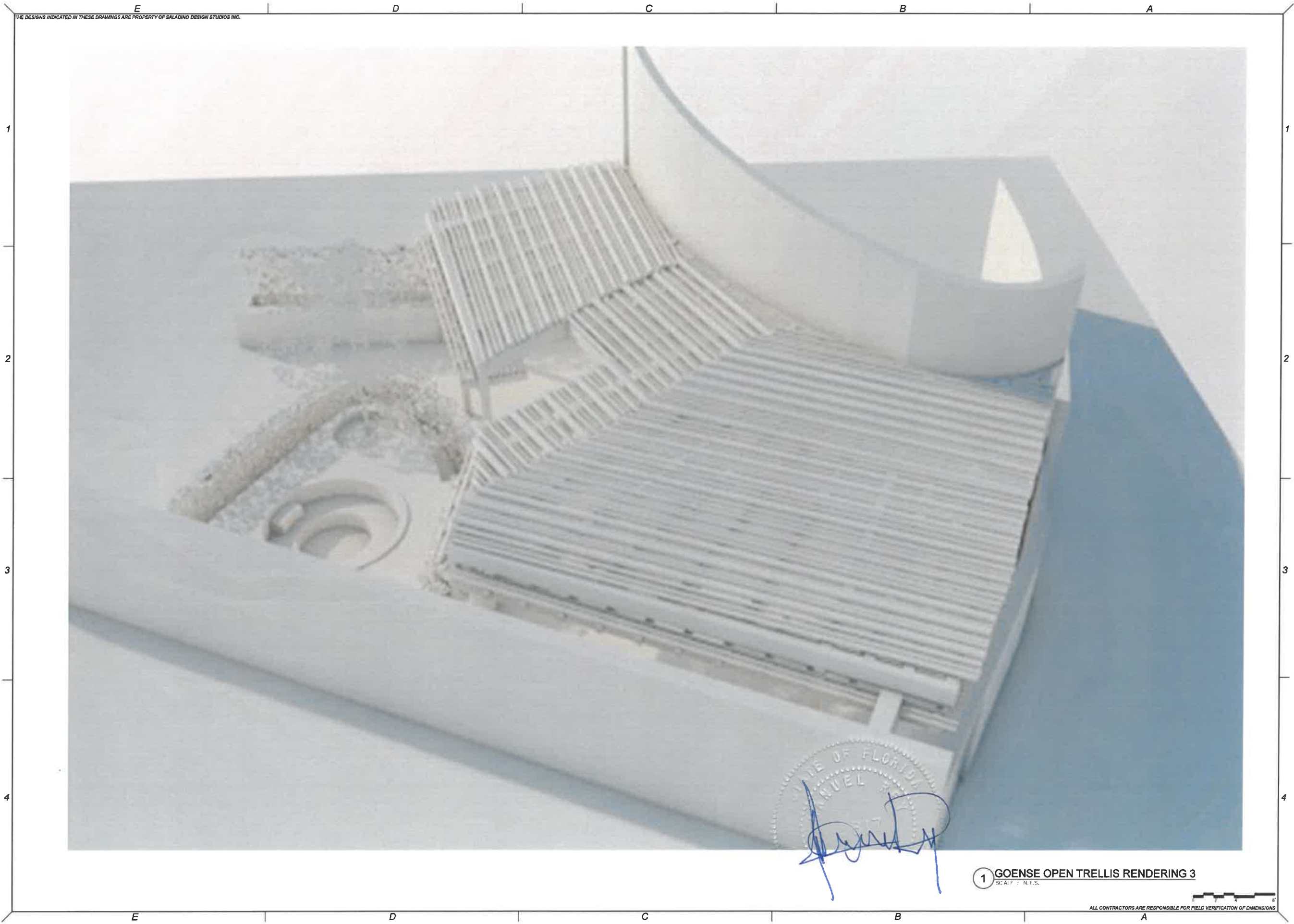
SCHEMATIC RENDERING

SHEET NO.
A3.02

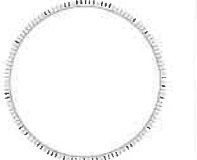
STATE OF FLORIDA
MANUEL REY
ARCHITECT
[Signature]

1 GOENSE OPEN TRELLIS RENDERING 2
SCALE: N.T.S.

ALL CONTRACTORS ARE RESPONSIBLE FOR FIELD VERIFICATION OF DIMENSIONS



**SALADINO
DESIGN
STUDIOS**
7265 NE 4ND AVE, SUITE 101
MIAMI FL 33138
786.953.7455
WWW.SALADINODESIGN.COM



MANUEL REY
REGISTERED PROFESSIONAL
ARCHITECT
STATE OF FLORIDA LICENSE NO. 9817

PROJECT:
**GOENSE
RESIDENCE**

One Collins Ave unit #704
Miami Beach, FL 33139

OWNER:
**JOHN & JANELL
GOENSE**
One Collins Ave unit #704
Miami Beach, FL 33139

M.E.P.:
**ARPE
ENGINEERING**
2020 PONCE DE LEON BLVD, SUITE 1002
CORAL GABLES, FL 33134
PH: 305.444.9809
C.A. 26359

GENERAL NOTES:
ALL LEGAL RIGHTS, INCLUDING BUT NOT LIMITED TO,
COPYRIGHT AND DESIGN PATENT RIGHTS, IN THE
DESIGN, ARRANGEMENTS, AND PLANS SHOWN ON
THIS DOCUMENT ARE THE PROPERTY OF SALADINO
DESIGN STUDIOS INC., AND WERE DEVELOPED FOR
USE SOLELY ON THIS PROJECT. THEY MAY NOT BE
USED OR REUSED IN WHOLE OR IN PART, EXCEPT IN
CONNECTION WITH THIS PROJECT WITHOUT THE
PRIOR WRITTEN CONSENT OF SDS, INC.

REVISION		
ISSUE	ISSUE DATE	FOR

PROJECT NO: 1809 DRAWN BY:
CM / SS / DM
SCALE: CHECKED BY:
SS / CM
DATE:

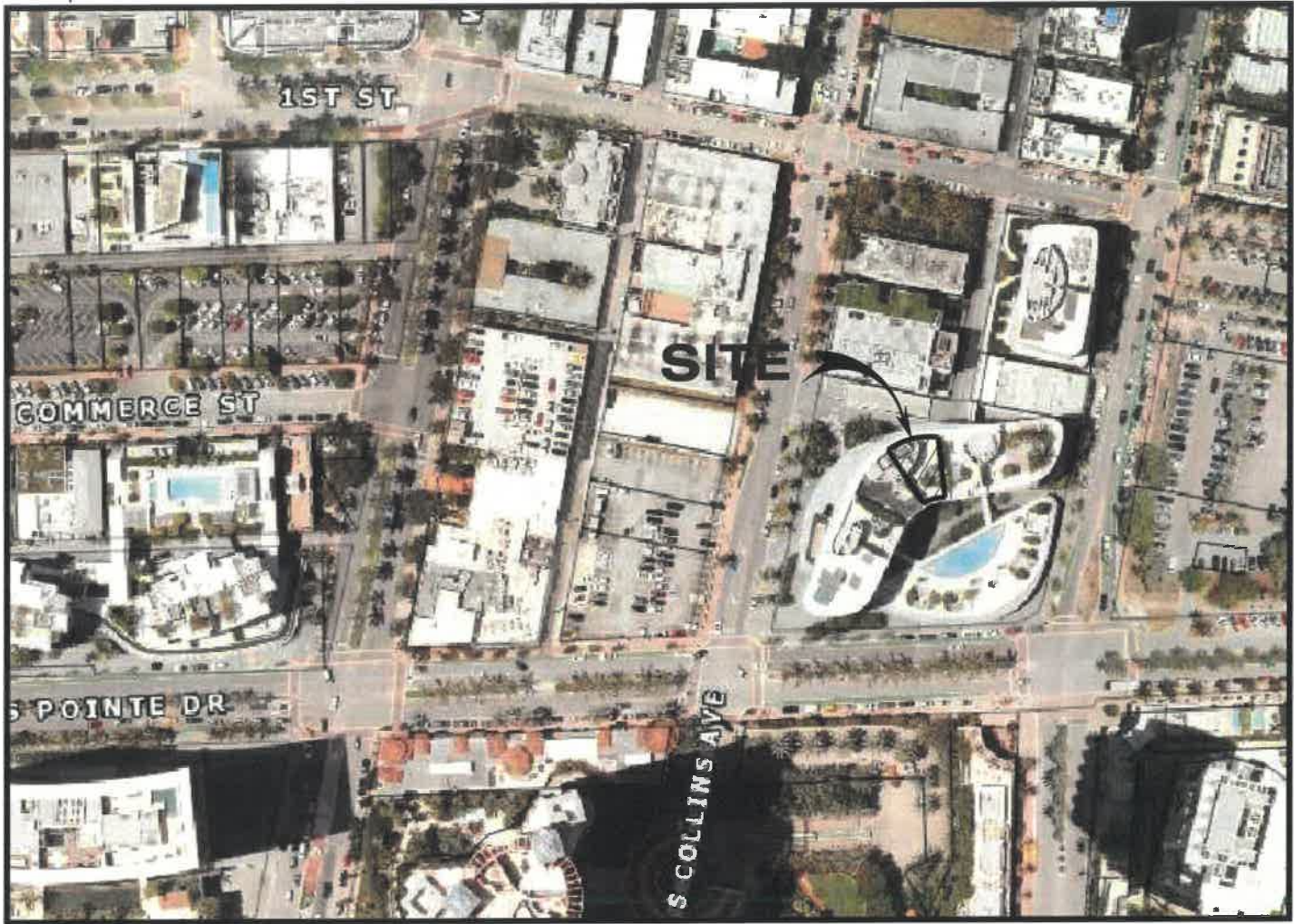
DRAWING:

SCHEMATIC RENDERING

SHEET NO.
A3.03

1 GOENSE OPEN TRELLIS RENDERING 3
SCALE: N.T.S.

ALL CONTRACTORS ARE RESPONSIBLE FOR FIELD VERIFICATION OF DIMENSIONS



VICINITY MAP

A PORTION OF SECTION 3, TOWNSHIP 54 SOUTH, RANGE 42 EAST
MIAMI-DADE, FLORIDA.
SCALE = N.T.S.

GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO FLORIDA BUILDING CODE 2017.
2. IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
3. EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION SUPPLIED BY OTHERS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MEET WITH ALL APPLICABLE UTILITY COMPANIES TO VERIFY ALL UNDERGROUND FACILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION. ALL EXCAVATIONS SHALL PROCEED WITH EXTREME CAUTION AT ALL TIMES. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE ALL DAMAGES.
4. THIS WORK REQUIRES A BUILDING PERMIT. DO NOT BEGIN WORKING UNTIL A BUILDING PERMIT IS OBTAINED.
5. CONTRACTOR IS TO FURNISH ALL LABOR, MATERIALS, SERVICES AND EQUIPMENT NECESSARY TO COMPLETE ALL WORK SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
6. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.
7. ENGINEER'S VISITS TO THE SITE, AS PER G.C. OR OWNER'S REQUEST DURING CONSTRUCTION SHALL BE SCHEDULED WITHIN 24 HOURS PRIOR TO INSPECTION.
8. THE CONTRACTOR SHALL MAKE REQUIRED ARRANGEMENTS, SECURE AND PAY FOR ALL BARRICADES, ENCLOSURES, AND FENCING AS NEEDED FOR AND DURING THE PROGRESS TO PROTECT ADJACENT PROPERTIES.
9. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL SERVICES OR WORK WITHOUT PRIOR NOTIFICATION TO THE OWNER.
10. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS CONSTRUCTION, AND FOR THE SEQUENCES AND PROCEDURES TO BE USED.
11. EXISTING GRADES WERE TAKEN FROM THE BEST AVAILABLE DATA AND MAY NOT ACCURATELY REFLECT PRESENT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING WITH CURRENT SITE CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING WORK.
12. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE JOB SITE. ANY DISCREPANCIES BETWEEN PLANS, SECTIONS AND DETAILS OR THE APPLICABLE CODES OR REGULATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER DURING BIDDING OR BEFORE WORK BEGINS IN ORDER TO CLARIFY THE REQUIREMENTS AND TO EFFECT THE NECESSARY MODIFICATIONS, CHANGES AND /OR INSTRUCTIONS.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTling ALL DISTURBED EXISTING CONDITIONS AND PROPER DISPOSAL OF ANY EXTRA MATERIALS & GARBAGE FROM THE SITE AFTER COMPLETION OF WORK. DO NOT SUBSTITUTE MATERIALS, EQUIPMENTS OR METHODS OF CONSTRUCTION UNLESS SUCH SUBSTITUTIONS OR CHANGES HAVE BEEN APPROVED IN WRITING BY THE OWNER.
14. DRAWINGS AND DIMENSIONS ARE BASED UPON DRAWINGS SUPPLIED BY THE CLIENT. EASTERN ENGINEERING GROUP WILL NOT BE RESPONSIBLE FOR ERRORS OR MISINTERPRETATIONS OF THE SYSTEM DESIGNED BY US BASED ON CLIENT CONFIRMED DESIGN AND DIMENSIONS. ADDITIONAL DRAFTING TIME EMPLOYED IN THE CHANGE OF THE DESIGN AFTER SIGNING AND SEALING OF DRAWINGS WILL RESULT IN ADDITIONAL COST.
15. EASTERN ENGINEERING GROUP HAS GENERATED THESE SHOP DRAWINGS BASED ON A PROVIDED DESIGN THAT HAS BEEN DEVELOPED BY A LICENSED ARCHITECT OR A COMPETENT LICENSED DESIGN PROFESSIONAL WHO CONFIRMED COMPLIANCE WITH ALL APPLICABLE NATIONAL AND FLORIDA BUILDING CODES.
16. EASTERN ENGINEERING GROUP HAS EXCLUSIVELY DESIGNED THE STRUCTURE AND/OR BUILDING COMPONENTS IN COMPLIANCE WITH THE APPLICABLE EDITION OF THE FLORIDA BUILDING CODE AND DESIGN STANDARDS FOR STRUCTURAL REQUIREMENTS ONLY.
17. ELEMENTS WILL BE AS DESIGNED BY EASTERN ENGINEERING GROUP AND AS APPROVED BY ARCHITECT AND/OR OWNERS, TO CONFORM GENERALLY WITH THE ARCHITECTURAL DRAWING AND SPECIFICATIONS.
18. EASTERN ENGINEERING GROUP SHALL NOT BE LEGALLY RESPONSIBLE FOR THE STRUCTURAL DESIGN OF ANY COMPONENT AND/OR PRODUCT USED IN OUR PROJECTS WHICH HAS BEEN PREVIOUSLY GRANTED A PATENT OR COPYRIGHT. THE CONFIRMATION OF INTELLECTUAL PROPERTY OWNERSHIP IS BEYOND OUR SCOPE AS STRUCTURAL ENGINEERS AND SHALL BE THE SOLE RESPONSIBILITY OF OUR CLIENT.

19. CODE FLORIDA BUILDING CODE, 2017 EDITION LOADS:

DL=15PSF
LL=20PSF

WIND VELOCITY AS PER STRUCTURAL PLANS S7.00

WIND UPLIFT=-100PSF
WIND DOWN=-44PSF
WIND LATERAL=-49PSF

20. THE EXISTING STRUCTURE MUST SUPPORT THE LOADS IMPOSED BY THE SYSTEM OR SYSTEMS. ENGINEER ON RECORD OF THE BUILDING OR FLORIDA PROFESSIONAL ENGINEER SHALL VERIFY THE STRUCTURE FOR SUCH LOADINGS. THIS SHOP DRAWINGS DOES NOT COVER THE EXISTING STRUCTURE.
21. THE QUANTITIES AND DIMENSIONS SHOWN ON THE DRAWINGS ARE BASED ON THE ARCHITECTURAL DRAWINGS. ALL QUANTITIES AND DIMENSIONS TO BE SITE VERIFIED.
22. ANCHORING CEMENT WITH A COMPRESSION STRENGTH OF 10,000 PSI AT THE END OF 7 DAYS. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.

ALUMINUM

1. ALUMINUM SHALL MEET THE FOLLOWING REQUIREMENTS UNLESS NOTED OTHERWISE ON THE DRAWINGS:

TYPE	F _y	F _x (WELDED)	F _y	F _x (WELDED)
6063-T6(TUBES & SHAPES)	15.0 KSI	4.8 KSI	8.5 KSI	2.8 KSI
6061-T6(TUBES & SHAPES)	19.0 KSI	9.0 KSI	12.0 KSI	5.0 KSI

2. WELDING: ALUMINUM ALLOY 535. CLEANING: SSPC-SP2 "HAND TOOL CLEANING".
3. PAINT ALUMINUM AND STEEL HOT GALVANIZED SURFACES IN CONTACT WITH CONCRETE WITH ALKALI-RESISTANT COATINGS, SUCH AS HEAVY-BODIED BITUMINOUS PAINT OR WATER-WHITE METHACRYLATE LACQUER.
4. ISOLATE DISSIMILAR METALS WITH ALKALI-RESISTANT COATINGS, SUCH AS HEAVY-BODIED BITUMINOUS PAINT OR WATER-WHITE METHACRYLATE LACQUER.

WOOD

ALL WOOD MEMBERS TO HAVE A MINIMUM ALLOWABLE BENDING STRENGTH OF (F_b=1200 PSI), AND A MINIMUM SHEAR STRENGTH OF (F_v=175 PSI).

DESIGNED	D.C.O
DRAWN	CHECKED
SCALE	AS SHOW
DATE	8/27/19



PROJECT:	OPEN TRELLIS
ADDRESS:	1 COLLINS AVENUE, APT. #704, MIAMI BEACH, FL 33139
OWNER:	GOENSE RESIDENCE
FOLIO:	02-4203-371-0220



REVISIONS	Date
Description	
N'	

SITE INFORMATION:
MIAMI BEACH

SCOPE OF WORK:
OPEN TRELLIS

LEGAL DESCRIPCION:

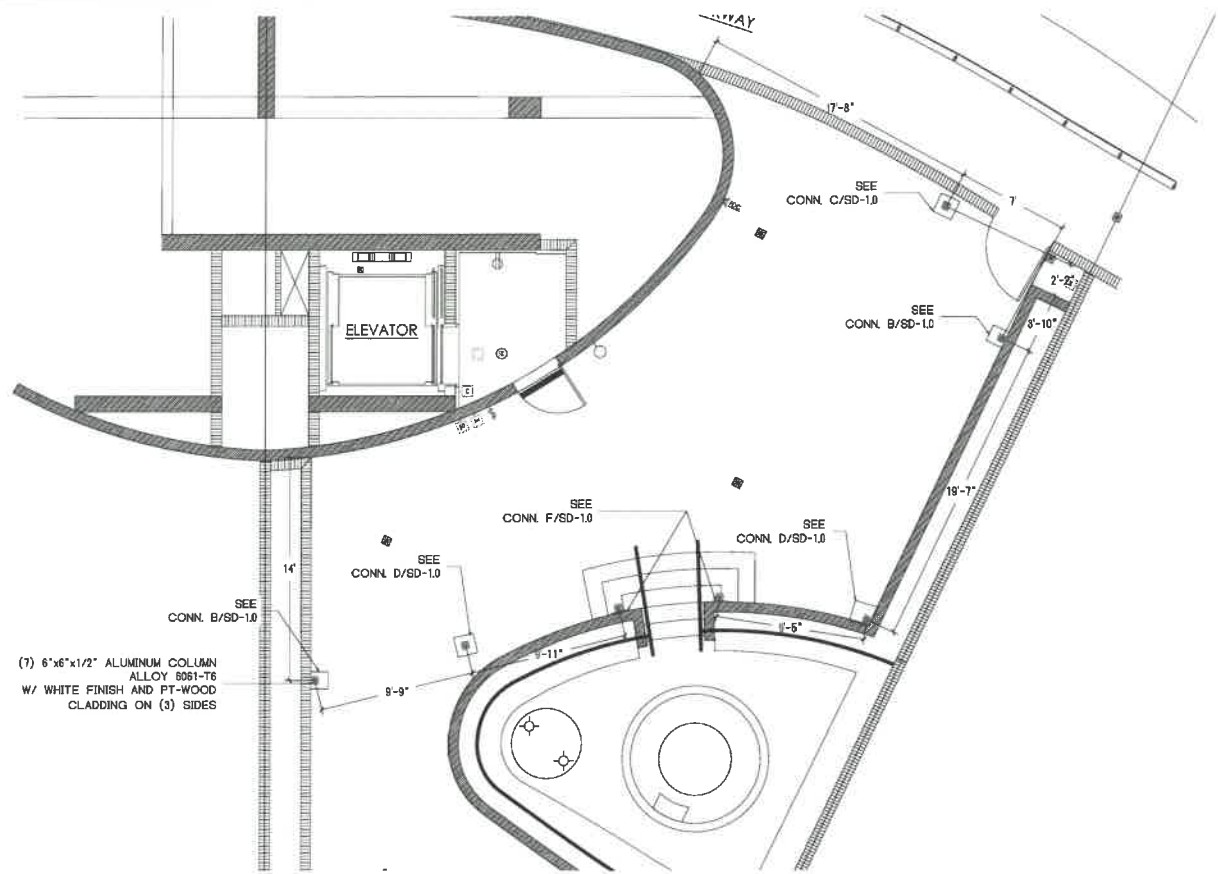
ONE OCEAN CONDO, UNIT 704 SOUTH BLDG UNDIV
1.8345 % INT IN COMMON ELEMENTS, OFF REC
30011-4424

SD0.0

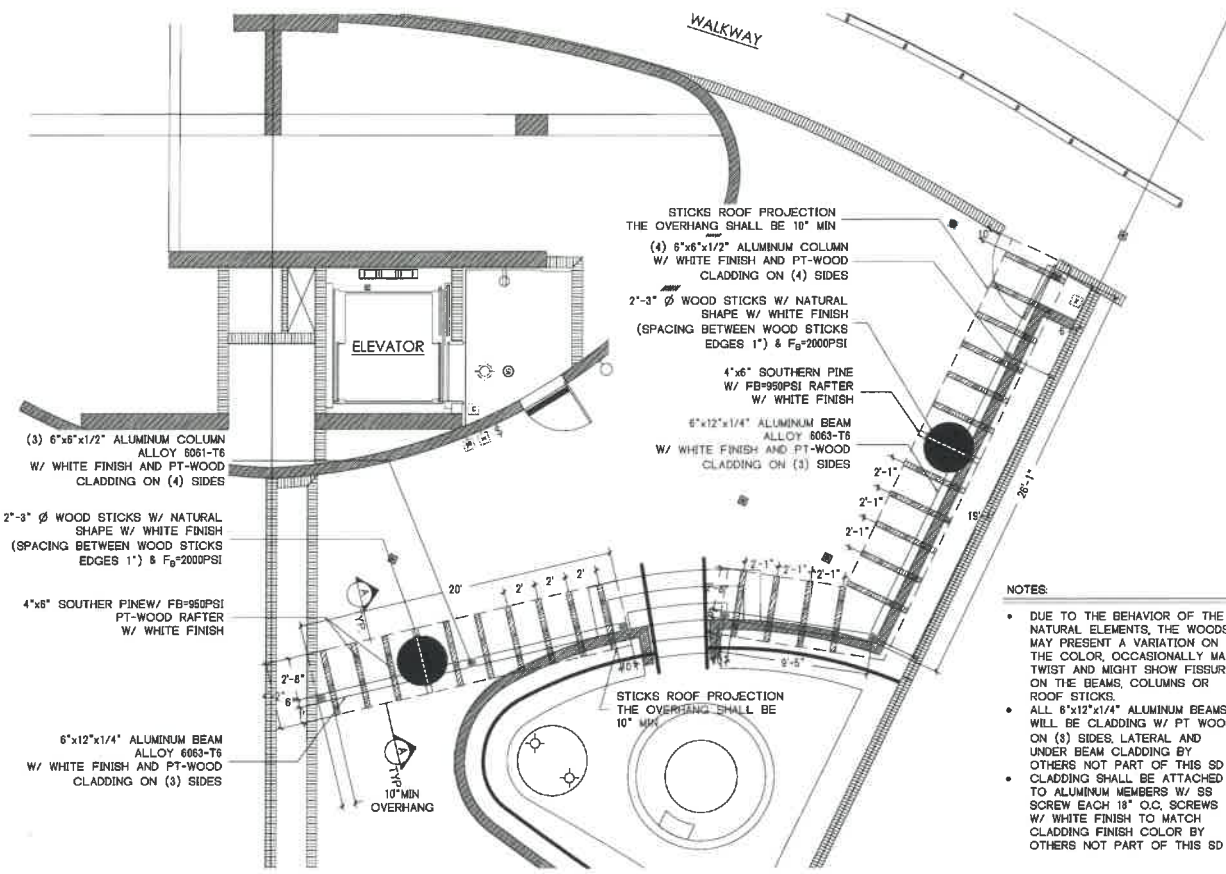
File No.

GOENSE STRDWG

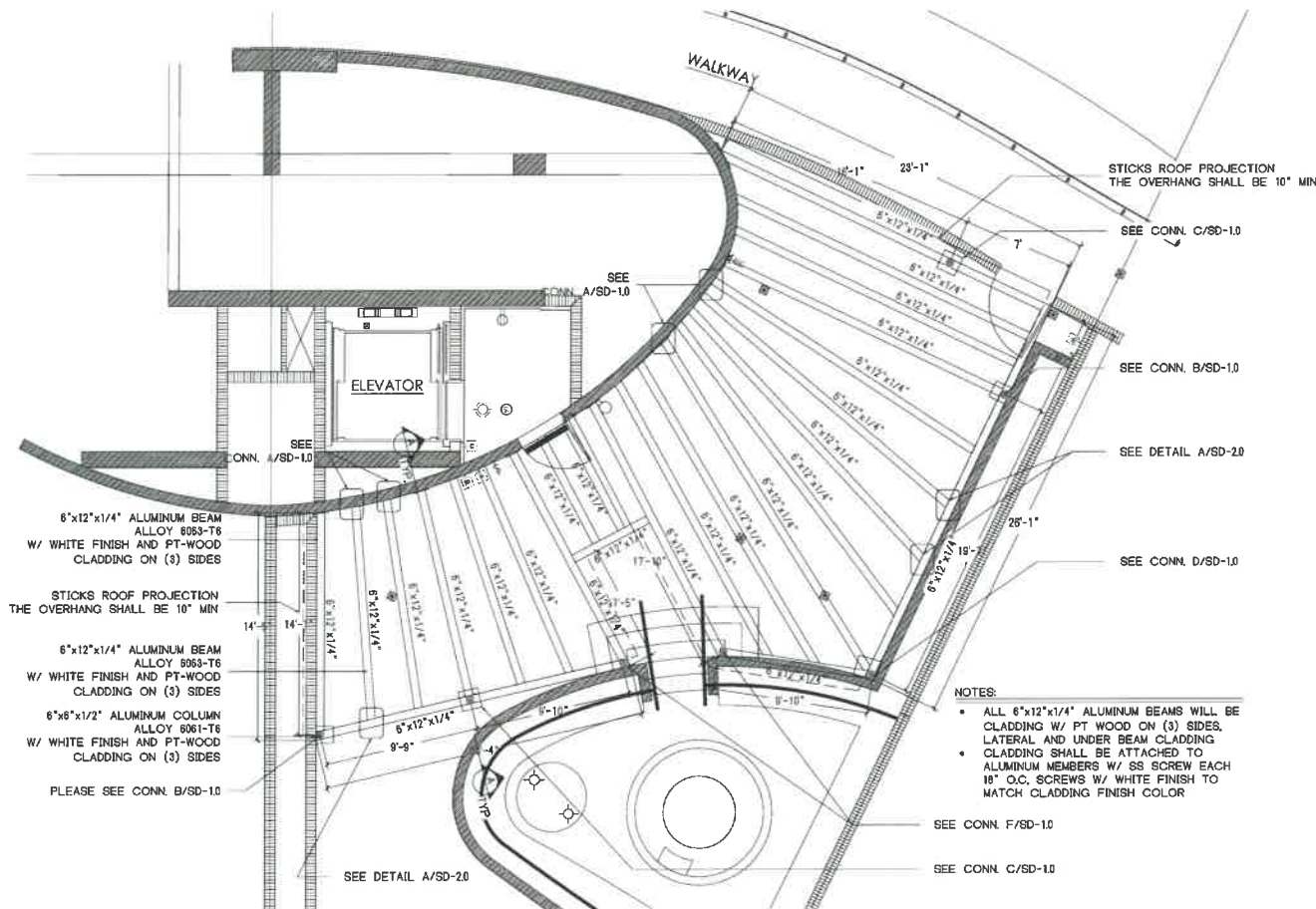
Sheet 1 of 6



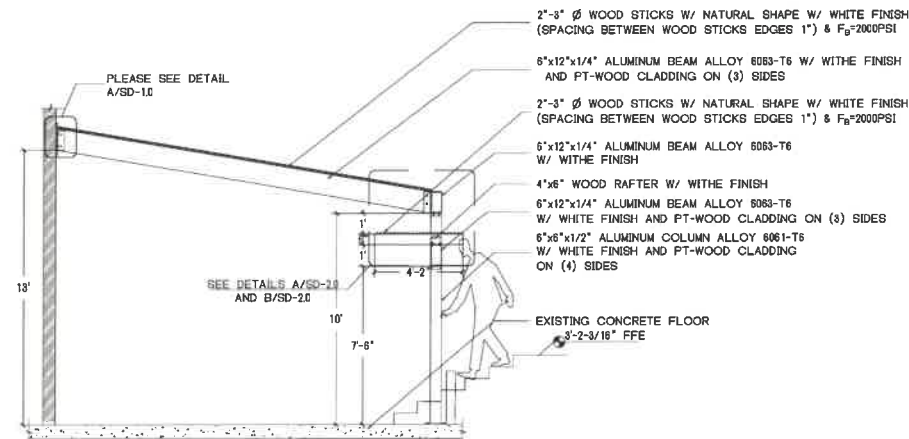
COLUMNS LOCATION PLAN AT 0'-0"
SCALE: 3/16"=1'-0"



CANOPY FRAMING PLAN AT 9'-0"
SCALE: 3/16"=1'-0"



TRELLIS FRAMING PLAN AT 14'-0"
SCALE: 3/16"=1'-0"



SECTION A-A TYP
SCALE: 1/4"=1'-0"

- NOTES:**
- DUE TO THE BEHAVIOR OF THE NATURAL ELEMENTS, THE WOODS MAY PRESENT A VARIATION ON THE COLOR, OCCASIONALLY MAY TWIST AND MIGHT SHOW FISSURES ON THE BEAMS, COLUMNS OR ROOF STICKS.
 - ALL 6"x12"x1/4" ALUMINUM BEAMS WILL BE CLADDING W/ PT WOOD ON (3) SIDES. LATERAL AND UNDER BEAM CLADDING BY OTHERS NOT PART OF THIS SD CLADDING SHALL BE ATTACHED TO ALUMINUM MEMBERS W/ SS SCREW EACH 18" O.C. SCREWS W/ WHITE FINISH TO MATCH CLADDING FINISH COLOR BY OTHERS NOT PART OF THIS SD

DESIGNED	D.C.O
DRAWN	CHECKED
SCALE	AS SHOWN
DATE	8/27/19

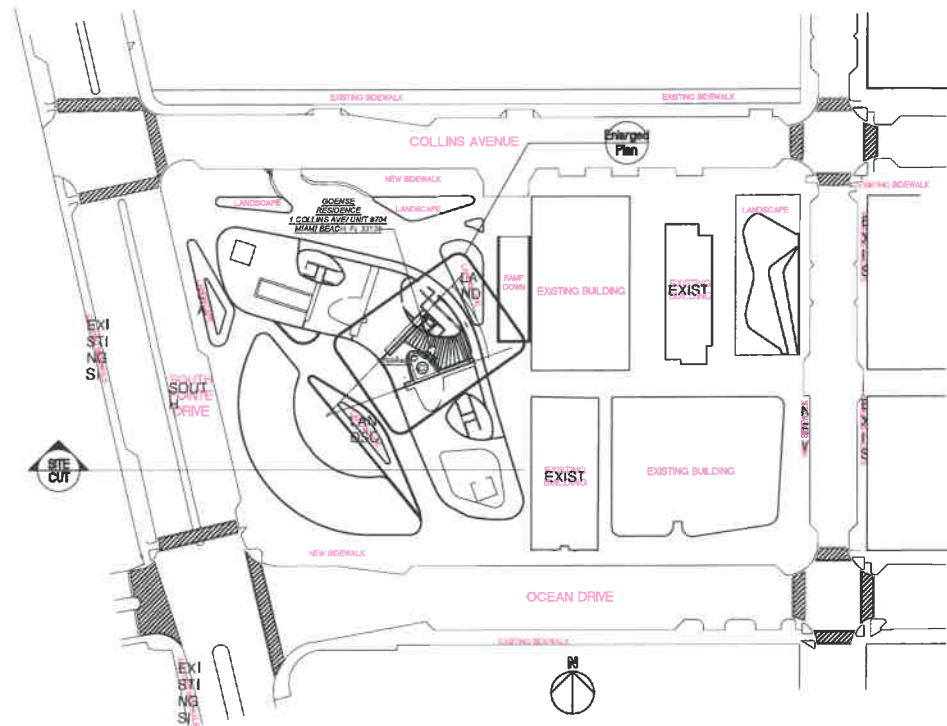


PROJECT:	OPEN TRELLIS
ADDRESS:	1 COLLINS AVENUE, APT. #704, MIAMI BEACH, FL 33139
OWNER:	GOENSE RESIDENCE
FOLIO:	02-4203-371-0220

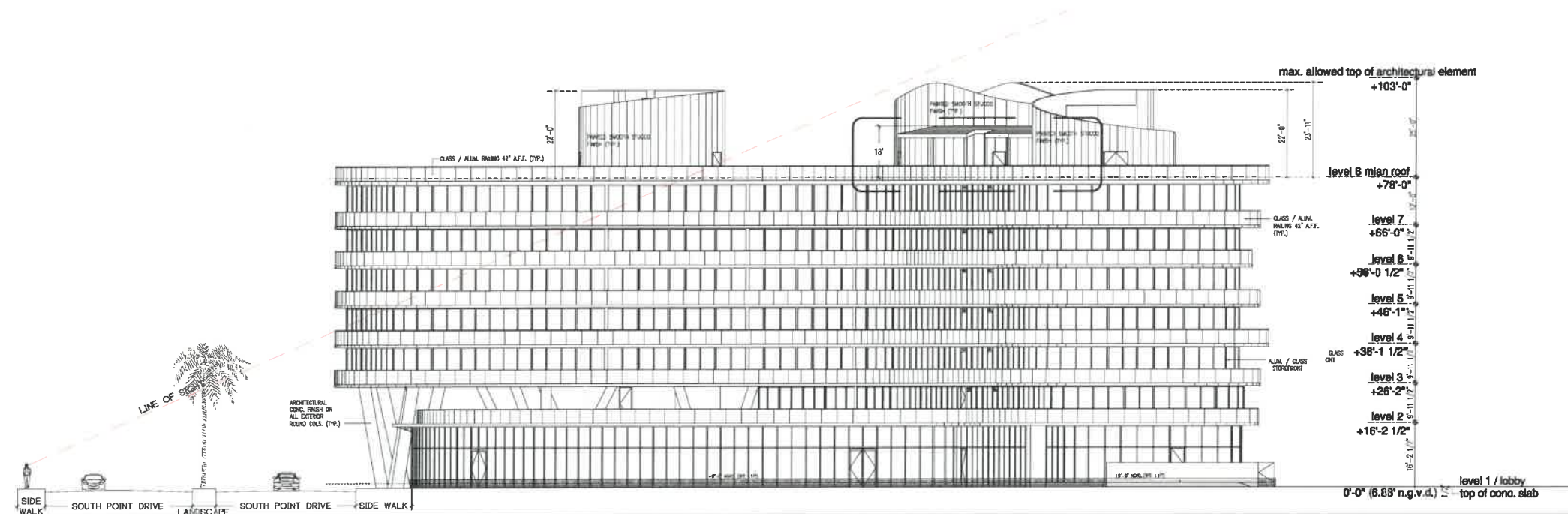


REVISIONS	Date
Description	
N°	

SD0.1
File No.
GOENSE STRDWG
Sheet 2 of 6



KEY PLAN
SCALE: 1/64"=1'-0"



SITE SECTION
SCALE: 1/16"=1'-0"

DESIGNED	D.C.O
DRAWN	CHECKED
SCALE	AS SHOW
DATE	4/11/19



PROJECT:	OPEN TRELLIS
ADDRESS:	1 COLLINS AVENUE, APT. #704, MIAMI BEACH, FL. 33139
OWNER:	GOENSE RESIDENCE
FOLIO:	02-4203-371-0220



REVISIONS	Date
Description	
N°	

SD3.0
File No.
GOENSE STRDWG
Sheet 5 of 6

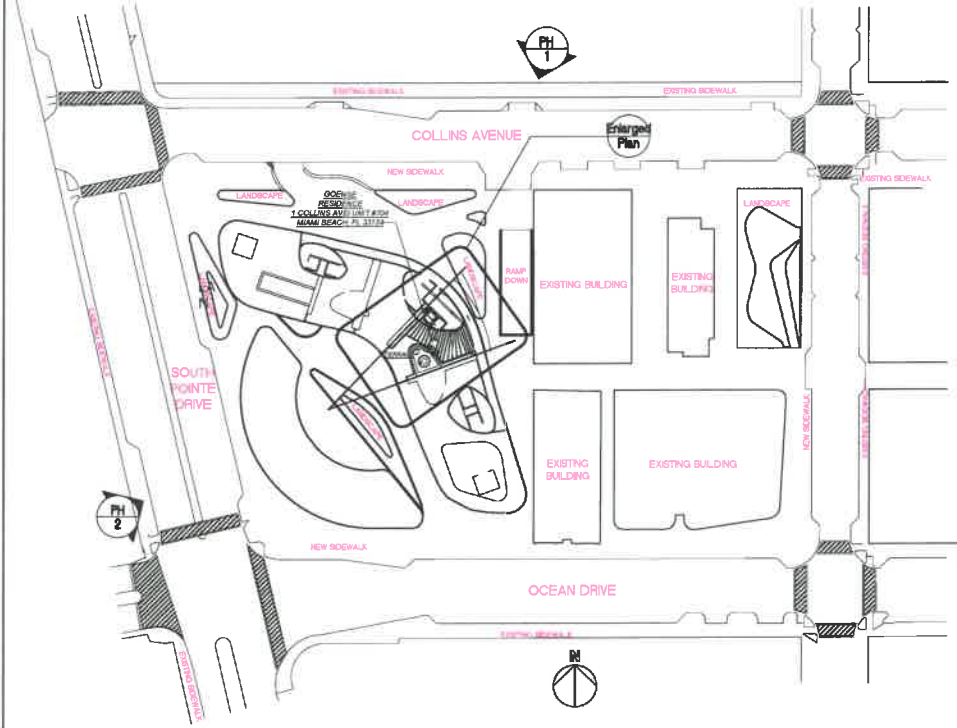


PHOTO 1



PHOTO 2



SITE PLAN WITH PHOTO REFERENCE
SCALE: 1/16"=1'-0"

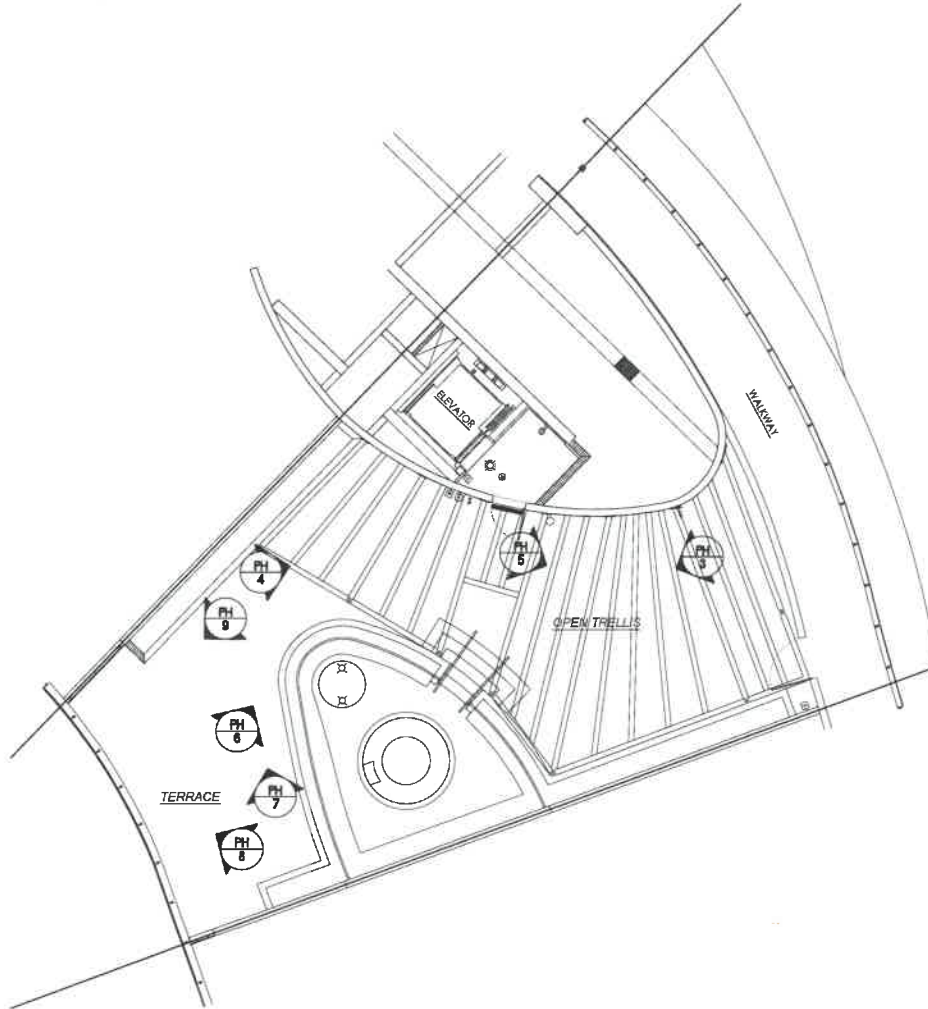


PHOTO 3



PHOTO 4



PHOTO 5



PHOTO 6



PHOTO 7



PHOTO 8



PHOTO 9



ENLARGED TERRACE PLAN WITH PHOTO REFERENCE
SCALE: 1/8"=1'-0"

DESIGNED	D.C.O.
DRAWN	CHECKED
SCALE	AS SHOW
DATE	4/11/19



GOENSE & LUTZ, PC
REGISTERED PROFESSIONAL ARCHITECTS
STATE OF FLORIDA
NO. 12587
1000 BAYVIEW BLVD., SUITE 100
MIAMI BEACH, FL 33139
(305) 358-1133
www.goenselutz.com

PROJECT:	OPEN TRELLIS
ADDRESS:	1 COLLINS AVENUE, APT. #704, MIAMI BEACH, FL. 33139
OWNER:	GOENSE RESIDENCE
FOLIO:	02-4203-371-0220

THE PATIO DISTRICT
INNOVATION IN PATIO DESIGN



REVISIONS	Date
Description	
N'	

SD4.0

File No.
GOENSE STRDWG
Sheet 6 of 6