



2900 SW 28TH TERRACE, SUITE 301 MIAMI, FL 33133

PH: 305-373-4990 FIRM LICENSE # AA26001123 WWW.STRANG.DESIGN

PROJECT LOCATION: 1710 W 23rd STREET MIAMI BEACH, FL 33140, USA FOLIO #:

02-3228-001-1660

PROJECT CLIENT(S) / OWNER(S): STEPHEN + ATHENA BRADWAY

ARCHITECT:

MAX WILSON STRANG, FAIA
LICENSE # AR0017183
2900 SW 28TH TERRACE, SUITE 301
MIAMI, FL 33133

STRUCTURAL ENGINEERING:

MEP ENGINEERING:

LANDSCAPE ARCHITECT: [STRANG] LANDSCAPE 330 NORTH ANDREWS AVE, SUITE 301 FT. LAUDERDALE, FL 33301 PH 305-373-4990 CIVIL ENGINEER:

PROJECT NAME: BRADWAY RESIDENCE

PROFESSIONAL SEAL(S):

	12/9/19	FINAL SUBMITTAL
No.	DATE	DESCRIPTION

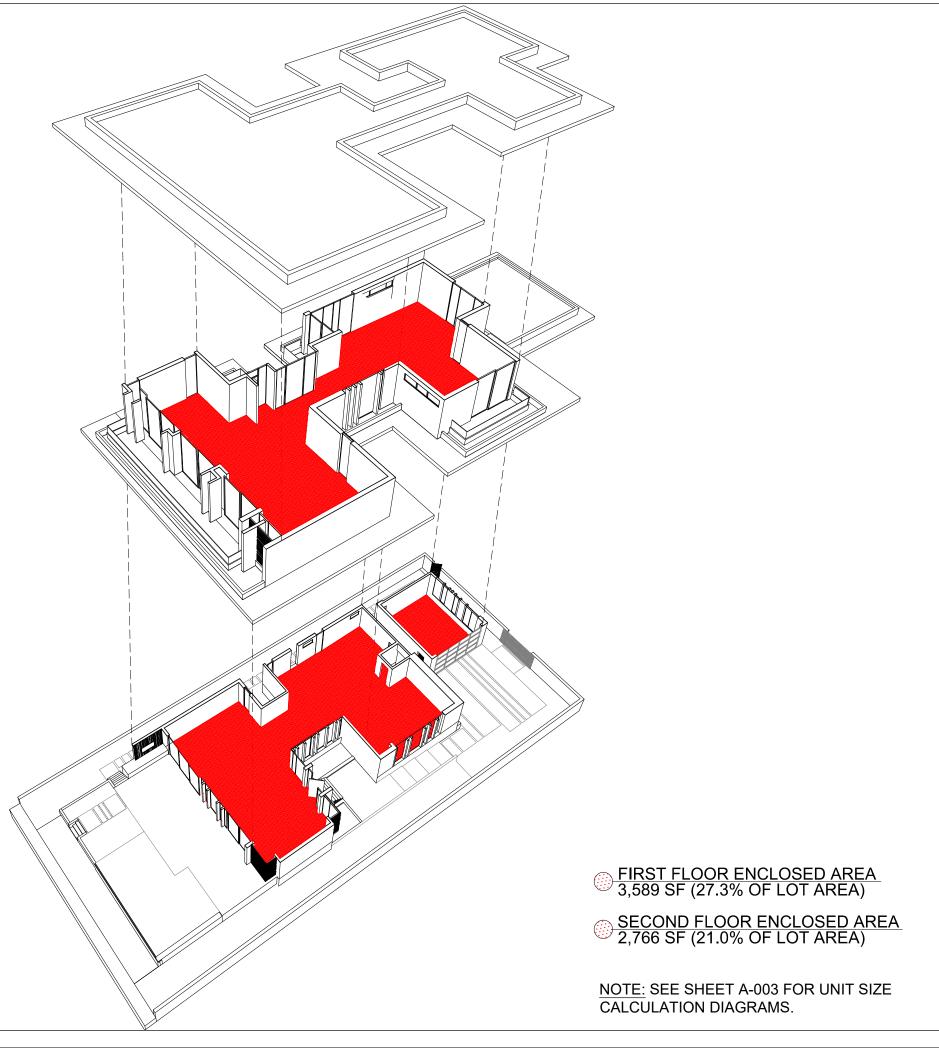
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PERSPECTIVE



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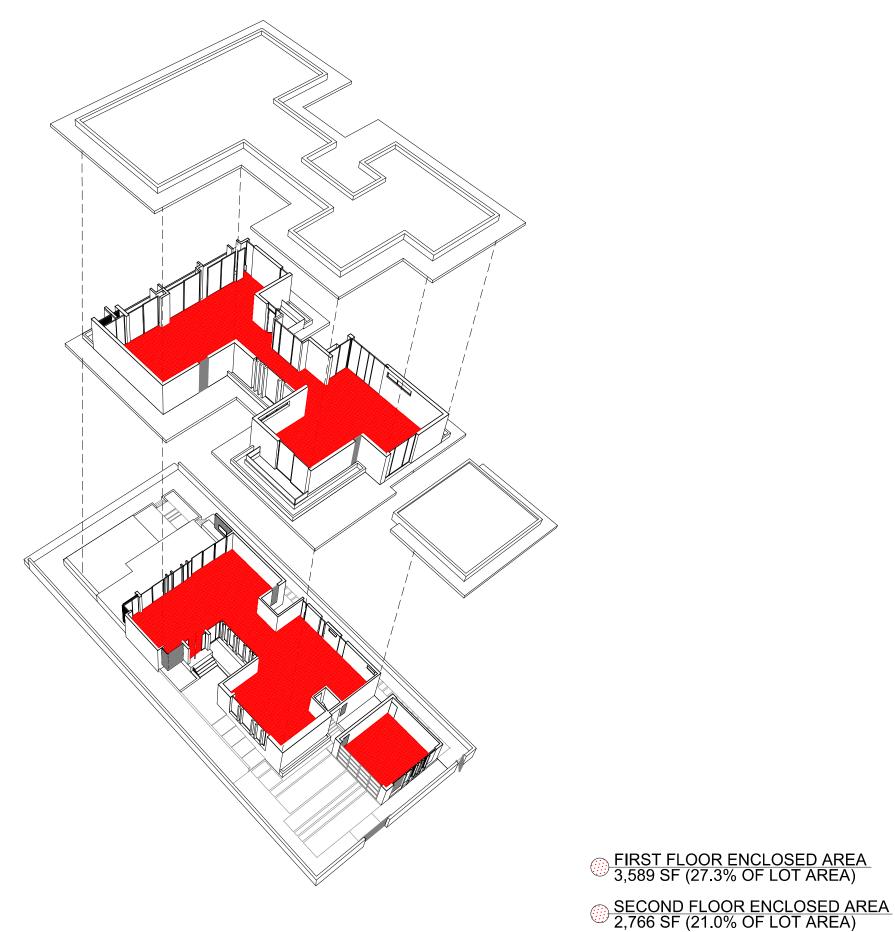
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ENCLOSED SPACE DIAGRAM



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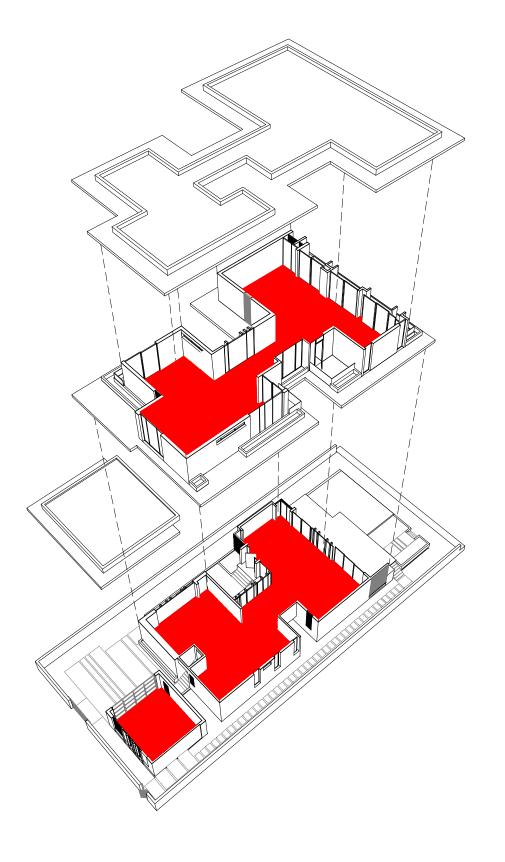
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ENCLOSED SPACE DIAGRAM

Sheet No:

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FIRST FLOOR ENCLOSED AREA 3,589 SF (27.3% OF LOT AREA)



FIRST FLOOR ENCLOSED AREA 3,589 SF (27.3% OF LOT AREA)

SECOND FLOOR ENCLOSED AREA 2,766 SF (21.0% OF LOT AREA)

[STRANG]

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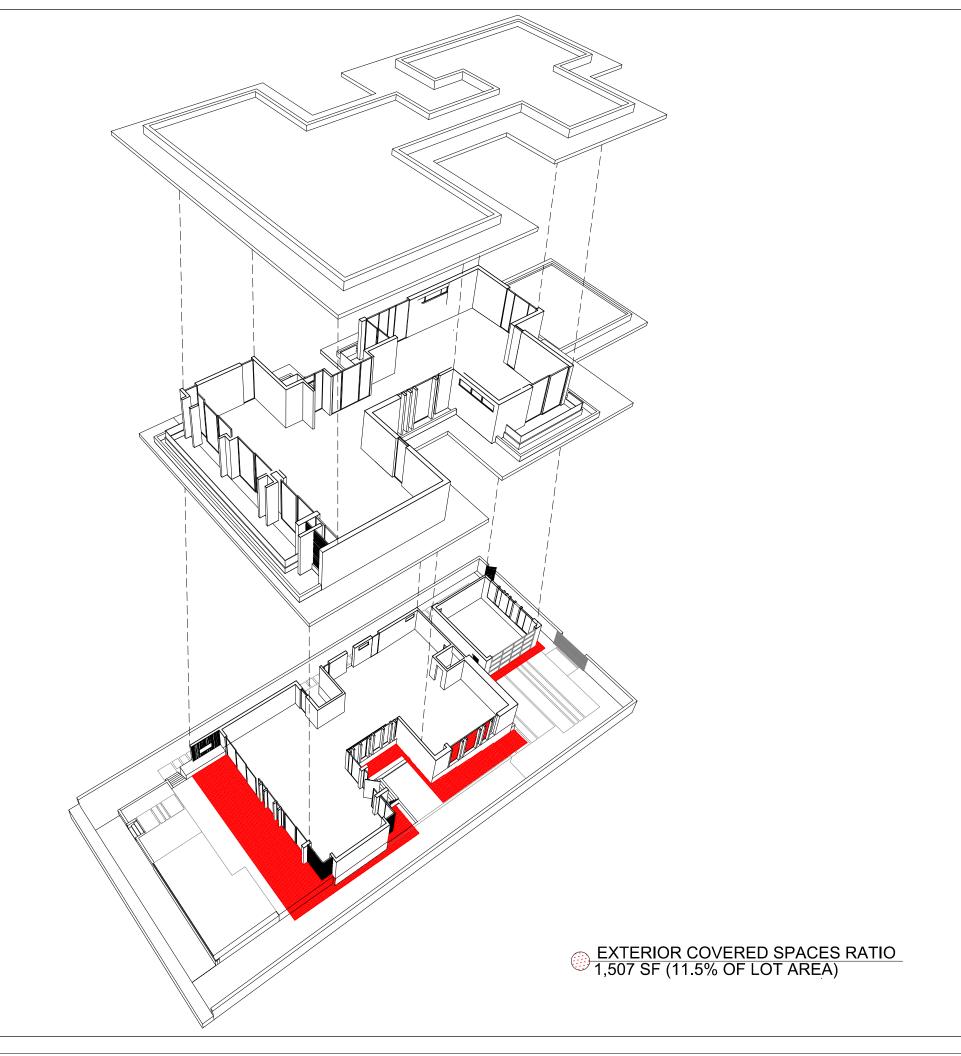
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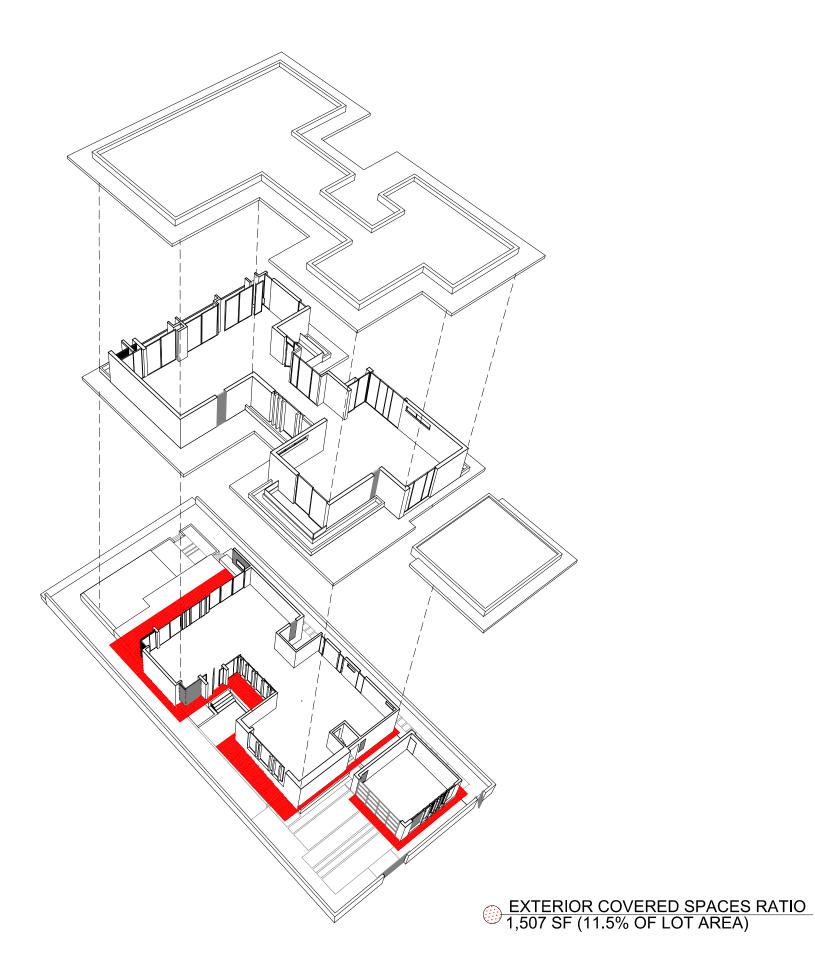
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SECOND FLOOR **RATIO DIAGRAM**



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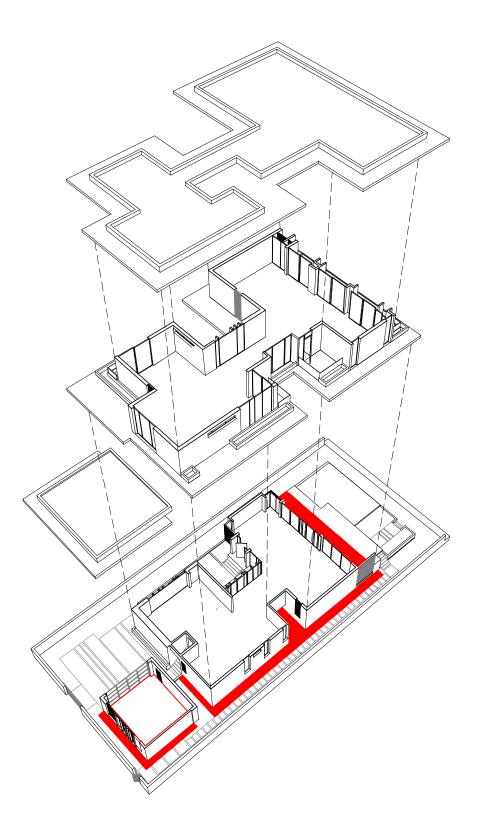
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SECOND FLOOR **RATIO DIAGRAM**



EXTERIOR COVERED SPACES RATIO 1,507 SF (11.5% OF LOT AREA)

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SECOND FLOOR RATIO DIAGRAM

GENERAL NOTES:

1.) LOCATE AND VERIFY THE CONDITION OF EXISTING UTILITIES PRIOR TO EXCAVATION. TAKE RESPONSIBILITY OF CONTACTING LINE LOCATION SERVICES AND ANY COST INCURRED FOR BODILY INJURY AND / OR DAMAGE OF OWNER'S PROPERTY OR SAID UTILITIES.

2.) THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED BY THE CONTRACTOR OF ANY DISCREPANCIES DISCOVERED BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE LIABLE FOR ALL MODIFICATIONS AND DAMAGES IF WORK PROCEEDS WITHOUT THIS NOTIFICATION.

3.) THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF MAINTAINING A SAFE WORK SITE INCLUDING BUT, NOT LIMITED TO PROVIDING FOR TRAFFIC CONTROL, INSTALLATION AND PLACEMENT OF FENCING AND BARRICADES, EXCAVATION AND TRENCH PROTECTION, AND COMPLIANCE WITH ALL FEDERAL AND LOCAL REGULATIONS AND CODES. ALL SAFETY EXPOSURES OR VIOLATIONS SHALL BE RECTIFIED IMMEDIATELY.

4.) THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING IMPROVEMENTS BOTH ON SITE AND ADJACENT TO THE WORK SITE AND SHALL REPAIR ANY DAMAGE TO THESE IMPROVEMENTS TO THE SATISFACTION OF THE OWNER.

5.) THE CONTRACTOR SHALL NOTIFY OWNER AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.

6.) ANY ALTERNATES AND OR SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL. CHANGES TO THE SCOPE OF WORK AND / OR CONTRACT DOCUMENTS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND / OR SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

7.) THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF TRASH ON A DAILY BASIS.

8.) THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. PRIOR TO CONSTRUCTION, ALL PERMITS AND APPROVALS REQUIRED FOR CONSTRUCTION OF THE PROJECT SHALL BE PAID FOR AND OBTAINED BY THE CONTRACTOR.

9.) COORDINATE WORK WITH SUBCONTRACTORS TO ACCOMPLISH THE SCOPE OF WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS AS WELL AS, COORDINATE CONSTRUCTION WITH OTHER CONTRACTORS WORKING ON THE SITE.

10.) THE CONTRACTOR SHALL COORDINATE THE STORING OF MATERIALS, PARKING OF VEHICLES, AND RESTRICTIONS OF WORK AND ACCESS WITH THE OWNER. UNDER NO CIRCUMSTANCES SHALL ANY CONTRACTOR STORE MATERIALS, PARK VEHICLES OR EQUIPMENT UNDER THE CANOPY OF EXISTING TREES.

11.) UNLESS SPECIFIED OTHERWISE, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND PAYING ALL TEMPORARY UTILITIES AND SERVICES NECESSARY TO COMPLETELY INSTALL ALL WORK AS SHOWN AND NOTED IN THE CONTRACT DOCUMENTS.

12.) THE CONTRACTOR IS RESPONSIBLE FOR THE LEGAL OFF-SITE DISPOSAL OF SURPLUS MATERIAL AND DEBRIS.

13.) UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL APPROVAL, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE PROJECT SITE OF ALL TRASH, REPAIR ALL DAMAGE TO FINISH GRADE, INCLUDING TAILINGS FROM EXCAVATIONS, WHEEL RUTS AND ANY SETTLING OR EROSION THAT HAS OCCURED PRIOR TO COMPLETION. ALL AREAS OF THE PROJECT SITE SHALL BE LEFT IN A NEAT AND PRESENTABLE CONDITION SATISFACTORY TO THE OWNER PRIOR TO SUBMITTAL OF THE FINAL PAYMENT.

14.) THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND SERVICING TEMPORARY TOILET FACILITIES.

PLANTING ABBREVIATIONS		GENERAL ABBREVIATIONS	
В&В	BALLED AND BURLAPPED	BLDG.	BUILDING
CAL.	CALIPER	B.O.C.	BACK OF CURB
CT	CLEAR TRUNK	CJ	CONTROL JOINT
CRZ	CRITICAL ROOT ZONE	CLR	CLEAR
FG	FIELD GROWN	EJ	EXPANSION JOINT
GAL.	GALLON	EQ	EQUAL
GW	GREY WOOD	FFE	FINISH FLOOR ELEVATION
HT	HEIGHT	F.O.B.	FACE OF BUILDING
MIN.	MINIMUM	HT	HEIGHT
MULTI	MULTI-TRUNK	H.P	HIGH POINT
OA	OVERALL	L.A.	LANDSCAPE
O.C.	ON CENTER		ARCHITECT LIMIT OF
QTY	QUANTITY	L.O.C.	CONSTRUCTION
SPRD.	SPREAD	L.P.	LOW POINT
TYP.	TYPICAL	MIN.	MINIMUM
U.N.O.	UNLESS NOTED	N.I.C.	NOT IN CONTRACT
	OTHERWISE	O.C.	ON CENTER
		O.C.E.W.	ON CENTER EACH WAY
		PA	PLANTING AREA
		QTY	QUANTITY
		R.O.W.	RIGHT OF WAY

SIM.

TD

T.O.C.

TW

TYP.

U.N.O.

SIMILAR DETAIL

TOP OF DRAIN

TOP OF CURB

TOP OF WALL

TYPICAL

UNLESS NOTED

OTHERWISE

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GENERAL NOTES +ABBREVIATIONS

Sheet No

GN-100