



[STRANG]

2900 SW 28TH TERRACE, SUITE 301  
MIAMI, FL 33133

PH: 305-373-4990  
FIRM LICENSE # AA26001123  
WWW.STRANG.DESIGN

PROJECT LOCATION:  
1710 W 23rd STREET  
MIAMI BEACH, FL 33140, USA  
FOLIO #:  
02-3228-001-1660

PROJECT CLIENT(S) / OWNER(S):  
STEPHEN + ATHENA BRADWAY

ARCHITECT:  
MAX WILSON STRANG, FAIA  
LICENSE # AR0017183  
2900 SW 28TH TERRACE, SUITE 301  
MIAMI, FL 33133  
STRUCTURAL ENGINEERING:  
TBD  
  
MEP ENGINEERING:  
TBD  
  
LANDSCAPE ARCHITECT:  
[STRANG] LANDSCAPE  
330 NORTH ANDREWS AVE, SUITE 301  
FT. LAUDERDALE, FL 33301  
PH 305-373-4990  
CIVIL ENGINEER:  
TBD

PROJECT NAME:  
BRADWAY RESIDENCE

PROFESSIONAL SEAL(S):


	12/9/19	FINAL SUBMITTAL
No.	DATE	DESCRIPTION

SHEET ISSUE / REVISION LOG

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Project ID: BRADWAY RES.	Drawn By: SSM
Print Date: 12/6/2019	Scale: AS INDICATED

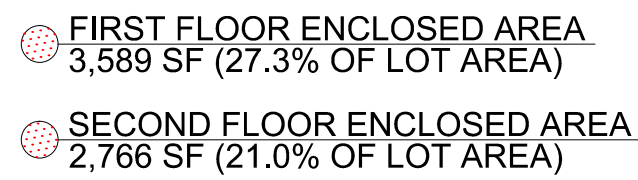
Sheet Title:

PERSPECTIVE

Sheet No:

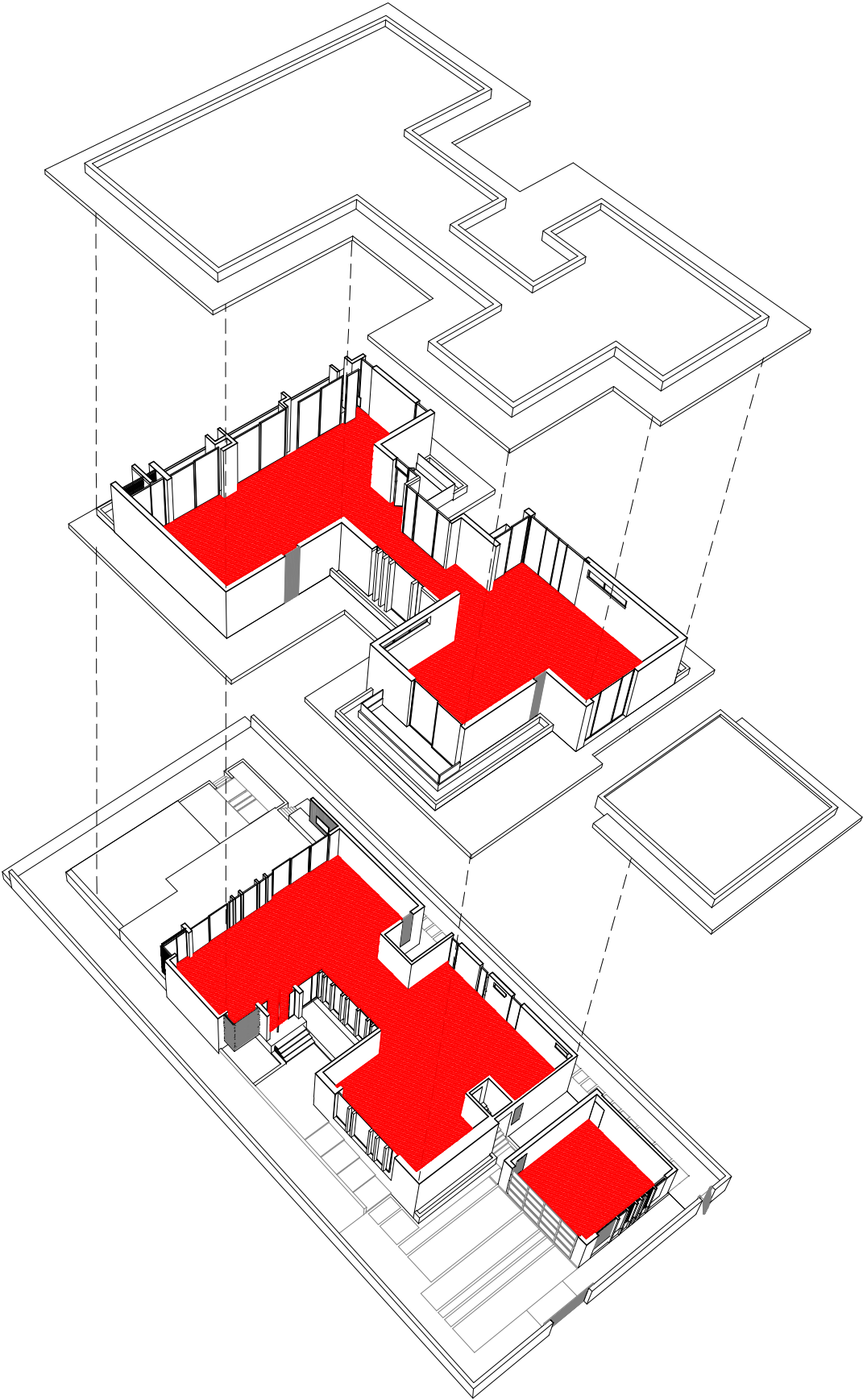
A-901







NOTE: SEE SHEET A-003 FOR UNIT SIZE  
CALCULATION DIAGRAMS.

# A-1000



-  **FIRST FLOOR ENCLOSED AREA**  
3,589 SF (27.3% OF LOT AREA)
-  **SECOND FLOOR ENCLOSED AREA**  
2,766 SF (21.0% OF LOT AREA)

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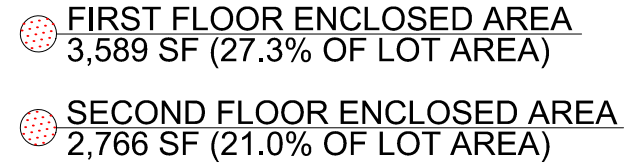
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Sheet Title:  
**ENCLOSED  
SPACE  
DIAGRAM**

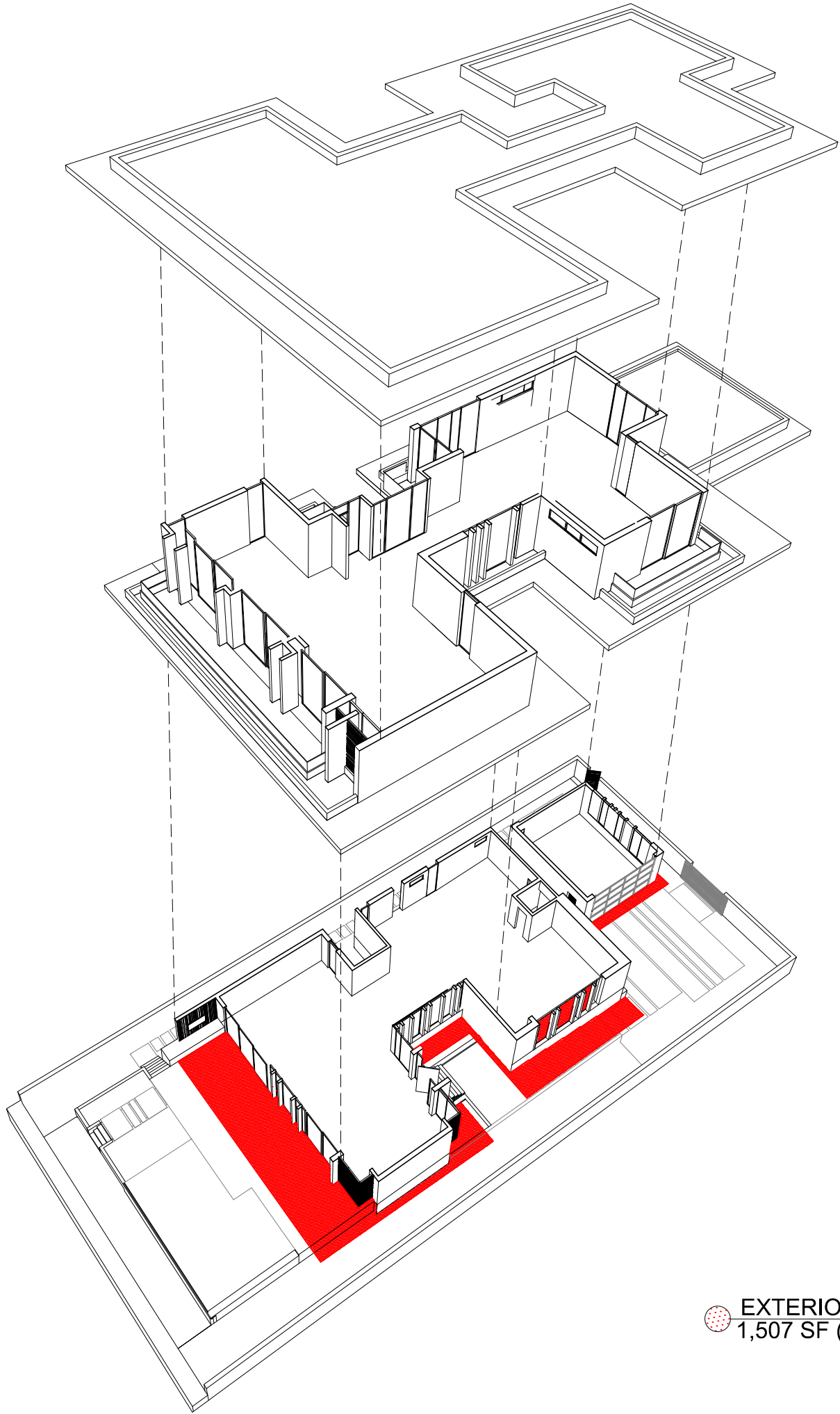
Sheet No:

**A-1001**



# A-1002





● EXTERIOR COVERED SPACES RATIO  
1,507 SF (11.5% OF LOT AREA)

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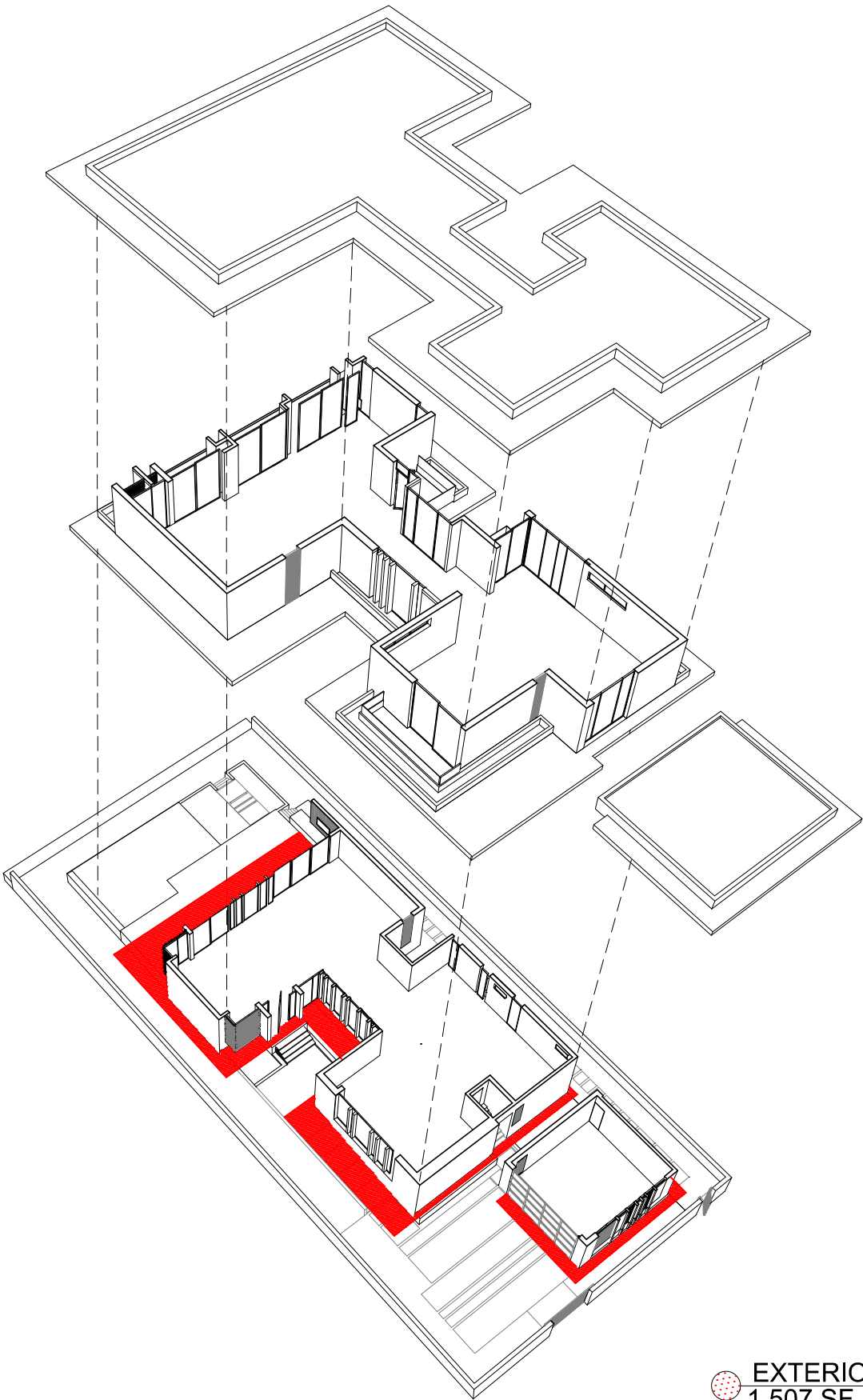
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Project ID: BRADWAY RES.	Drawn By: SSM
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Sheet Title:  
  
SECOND FLOOR  
RATIO DIAGRAM

Sheet No:  
  
A-1003



 EXTERIOR COVERED SPACES RATIO  
1,507 SF (11.5% OF LOT AREA)

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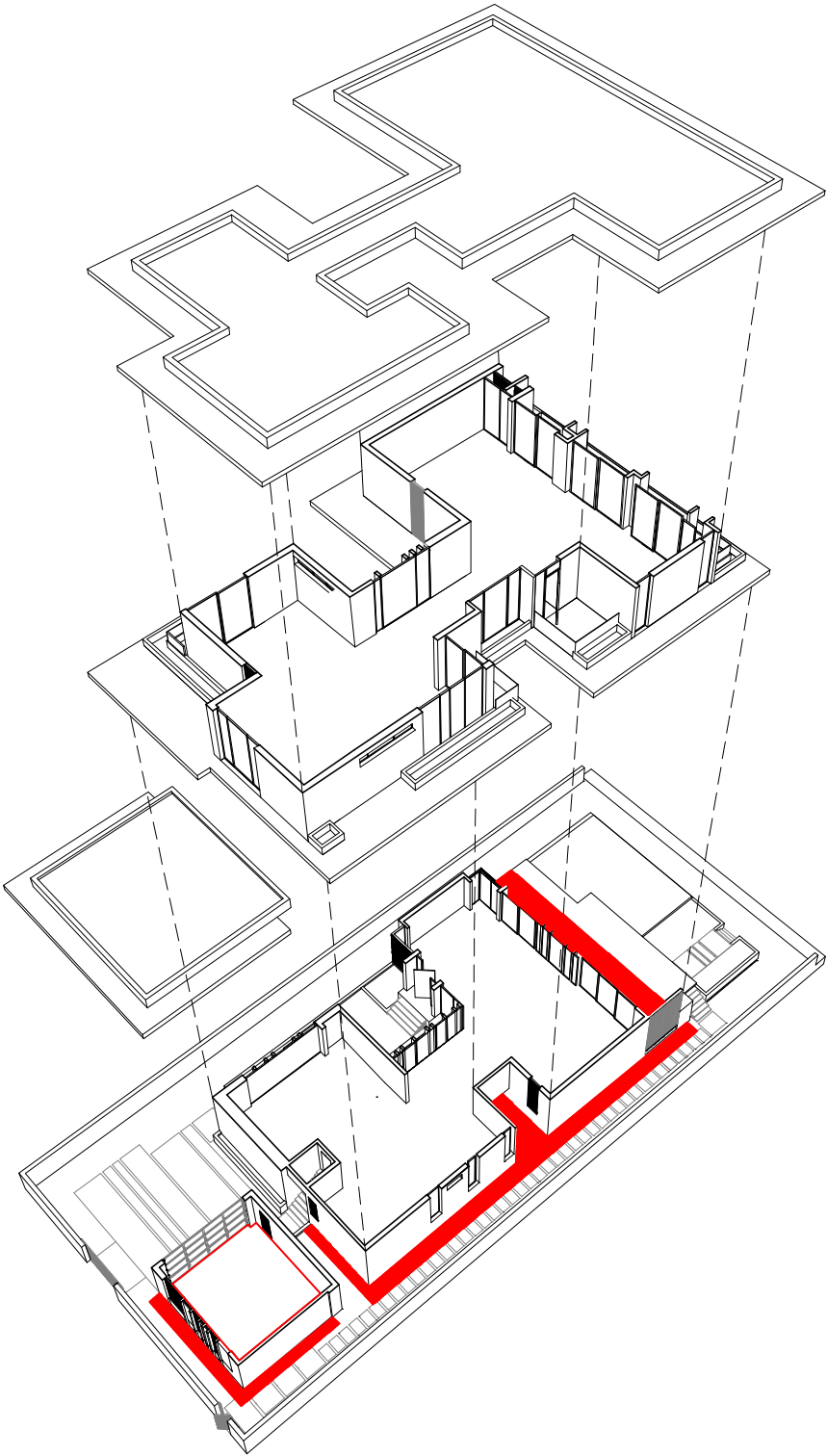
Project ID: BRADWAY RES.	Drawn By: SSM
Print Date: 12/6/2019	Scale: AS INDICATED

Sheet Title:

SECOND FLOOR  
RATIO DIAGRAM

Sheet No:

A-1004



 **EXTERIOR COVERED SPACES RATIO**  
1,507 SF (11.5% OF LOT AREA)

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Sheet Title:

SECOND FLOOR  
RATIO DIAGRAM

Sheet No:

A-1005

