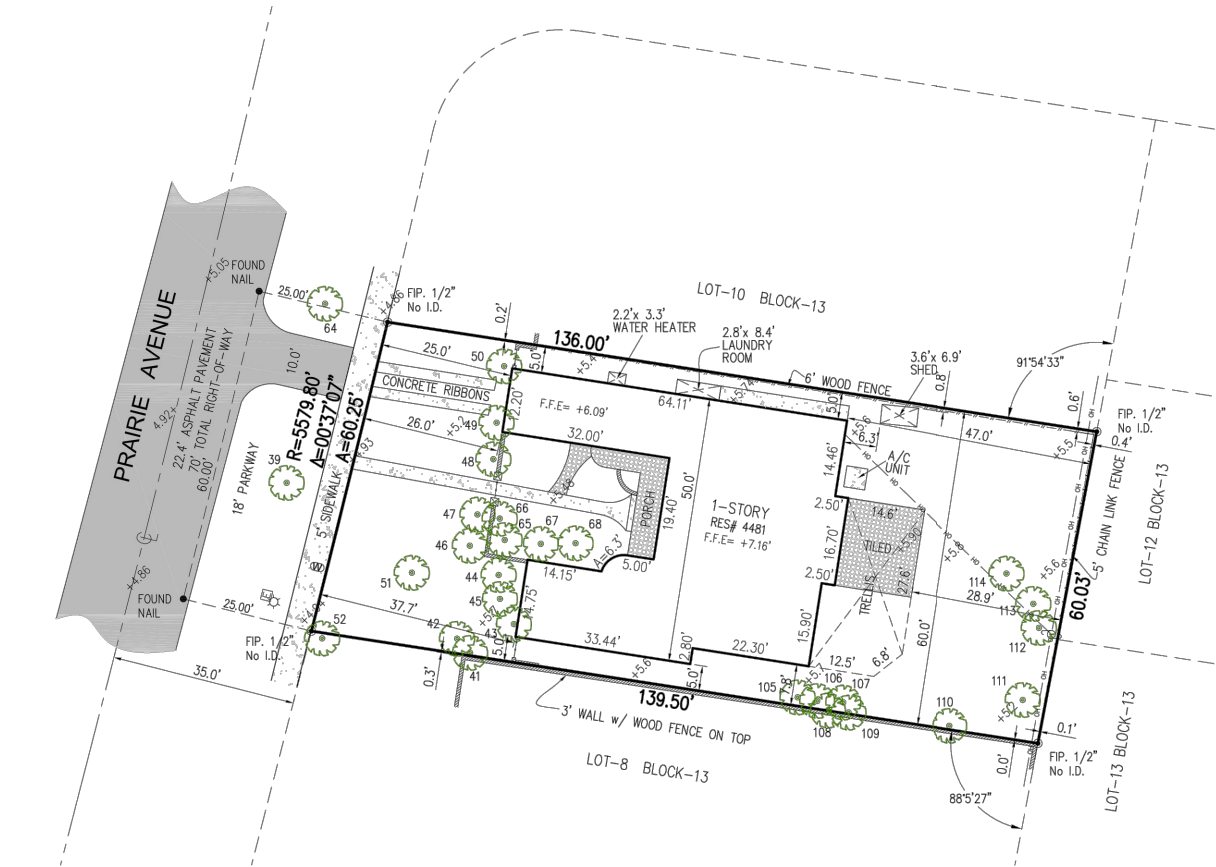
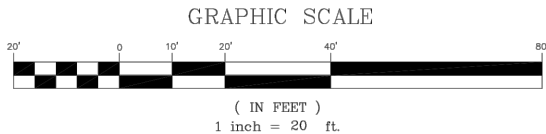


Submittal Graphic Symbols Definitions		FINAL SUBMITTAL: 12.09.19																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
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PROJECT GENERAL DATA & CODE SUMMARY

NAME OF THE PROJECT:	DANIAROV RESIDENCE
LOCATION:	4481 PRAIRIE AVENUE, MIAMI BEACH, FLORIDA 33140
PROPOSED USE:	RESIDENCE
PROJECT SUMMARY:	REMODELING AND ADDITION OF A TWO STORY RESIDENCE
CODE ENFORCEMENT JURISDICTION:	6TH EDITION (2017) OF THE FLORIDA BUILDING CODE FLORIDA BUILDING CODE, ACCESSIBILITY, 6TH EDITION (2017) 2015 NFPA 101 6TH EDITION OF THE FFPC (2017) CITY OF MIAMI BEACH ZONING CODE
ZONING:	RS-4 SINGLE-FAMILY RESIDENTIAL DISTRICT
LEGAL DESCRIPTION:	LOT 9, IN BLOCK 13, OF "ORCHARD SUBDIVISION NO.4", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, AT PAGE 30, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA
OWNER:	ITZHAK DANIAROV BELA ABAEV





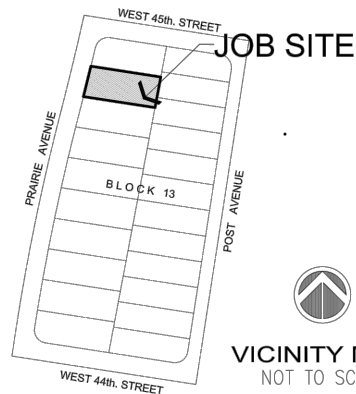
SITE AREA = 8,255 SQ/FT (0.1900826 +/- ACRES)

LEGEND

OH — OH	Overhead Wire Line	+	0.00'	Existing Elevations	A/C	= Air Conditioner
— // — //	Wood Fence	CB		Catch Basin	Conc.	= Concrete
— X — X	Chain Link Fence	EM		Electric Meter Box	C.B.S.	= Concrete Block & Stucco
— □ — □	Iron Fence	EB		Electric Box	(D)	= Dead
— — — —	Monument Line	SM		Sanitary Manhole	D.E.	= Drainage Easement
— — — —	Centerline	SP		Sprinkler Pump	D.M.E.	= Drainage Maintenance Easement
— — — —	Property Line	FDH		Found Drill Hole	F.F.E.	= Found Floor Elevation
A	= Arc	F.F.P.		Found Iron Pipe/Pin	F.I.P.	= Found Iron Pipe/Pin
BRG	= Bearing	F.I.R.		Found Iron Rebar	F.N.	= Found Nail
CH	= Chord	F.ND		Found Nail & Disc	F.P.L.	= Florida Power Light
L	= Length	H		Height	L.M.E.	= Lake Maintenance Easement
R	= Radius	(M)		Measured	(P)	= Platted
T	= Tangent	P.O.B.		Point of Beginning	P.O.C.	= Point of Commencement
Ø	= Diameter	(R)		Record	Res.	= Residence
		SIPR		Set Iron Pipe/Rebar	S	= Spread
		U.E.		Utility Easement		

TREE TABULATION DATA:

TREE ID #	TYPE (COMMON NAME)	DIAMETER (IN.) @ 4.5' (BREAST HEIGHT)	HEIGHT (OAH) FT	CANOPY (CAO) FT
39	TREE	18	35	40
41	PALM	28	35	10
42	PALM	6	15	5
43	3- PALMS	5	10	5
44	PALM	5	15	5
45	PALM	2	15	3
46	3- PALMS	5	15	5
47	3- PALMS	5	15	5
48	3- PALMS	4	15	5
49	3- PALMS	4	15	5
50	3- PALMS	5	15	5
51	TREE	4	15	15
52	PALM	6	15	10
64	PALM	12	40	10
65	COCONUT PALM	10	20	5
66	2- PALMS	4	12	5
67	2- PALMS	4	15	5
68	5- PALMS	5	15	5
105	TREE	6	15	15
106	PALM	4	18	5
107	PALM	12	18	10
108	PALM	4	15	5
109	PALM	3	15	5
110	PALM	5	18	5
111	MANGO	12	35	20
112	PALM	13	12	10
113	PALM	4	18	5
114	MANGO	20	40	25



PROPERTY ADDRESS:
4481 PRAIRIE AVENUE, MIAMI BEACH, FLORIDA 33140
Folio# 02-3222-001-2020

LEGAL DESCRIPTION:
Lot 9, in Block 13, of "ORCHARD SUBDIVISION NO. 4", according to the plat thereof, as recorded in Plat Book 25, at Page 30, of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S NOTES:

- The Legal Description was provided by the Client from most recent County Records available.
- This is not a Certification of Title, Zoning, Easements, or Freedom of Encumbrances. ABSTRACT NOT REVIEWED.
- There may be additional Restrictions not shown on this survey that may be found in the Public Records of this County. Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.
- Underground utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
- Contact the appropriate authority prior to any design work on the herein - described parcel for Building and Zoning information.
- The surveyor does not determine fence and/or wall ownership.
- Accuracy:
The Horizontal positional accuracy of well-defined improvement on this survey is +/-0.2'.
The Vertical accuracy of elevations of well-defined improvement on this survey is +/-0.1'.
- All measurements shown hereon are made in accordance with the United States Standard Feet.
- Type of survey BOUNDARY SURVEY.
- North arrow direction shown hereon based on recorded plat of "ORCHARD SUBDIVISION NO. 4", according to the plat thereof, as recorded in Plat Book 25, at Page 30, of the Public Records of Miami-Dade County, Florida.
- Elevations shown hereon are relative to National Geodetic Vertical Datum (1929 Mean Sea Level).
- Benchmark Used: Miami-Dade County Benchmark #44-03. Elevation = +3.92'.
- Flood Zone Data: Community Panel #120651/0309/L Dated: 9/11/09
Flood Zone: "AE" Base Flood Elevation = +7'
- This SURVEY has been prepared for the exclusive use of the entities named hereon.
The Certificate does not extend to any unnamed party.

- TATIANA FROUD

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY:
That this Survey meets the intent of the required Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey by other than the signing party are prohibited without written consent of the signing party.

For the Firm Royal Point Land Surveyors, Inc. L.B.# 7282
☐ JACOB GOMIS, PROFESSIONAL SURVEYOR AND MAPPER L.S.# 6231 STATE OF FLORIDA
☐ PABLO J. ALFONSO, PROFESSIONAL SURVEYOR AND MAPPER L.S.# 5880 STATE OF FLORIDA



LAND SURVEYORS, INC. L.B.# 7282
info@RoyalPointLS.com
6175 NW 153rd STREET, SUITE 321, MIAMI LAKES, FL. 33014 *** TEL: 305-822-6062 *** FAX: 305-827-9669

BOUNDARY SURVEY

TATIANA FROUD
4481 PRAIRIE AVENUE, MIAMI BEACH, FLORIDA

DRAWN: J.G.
CHECKED: P.J.A.
SCALE: 1" = 20'
FIELD DATE: 08/22/2019
JOB No.: RP19-0988
SHEET:
1
OF 1 SHEET

JOSE A. VIDAL
AR94535

BOUNDARY SURVEY
EX.01



13944 SW 8 STREET
SUITE 206
MIAMI, FL. 33184
T: 305.904.5117 F: 1.888.276.4095
WWW.V3ARCHITECTURALGROUP.COM

DANIAROV RESIDENCE
4481 PRAIRIE AVENUE, MIAMI BEACH, FLORIDA 33140
12.09.19

DRB19-0487
DESIGN REVIEW BOARD - FINAL SUBMITTAL DECEMBER 9TH, 2019

This Document is not full and complete without all Sheets, Containing a total of (1) Sheets



(11.08.2019)



(11.08.2019)



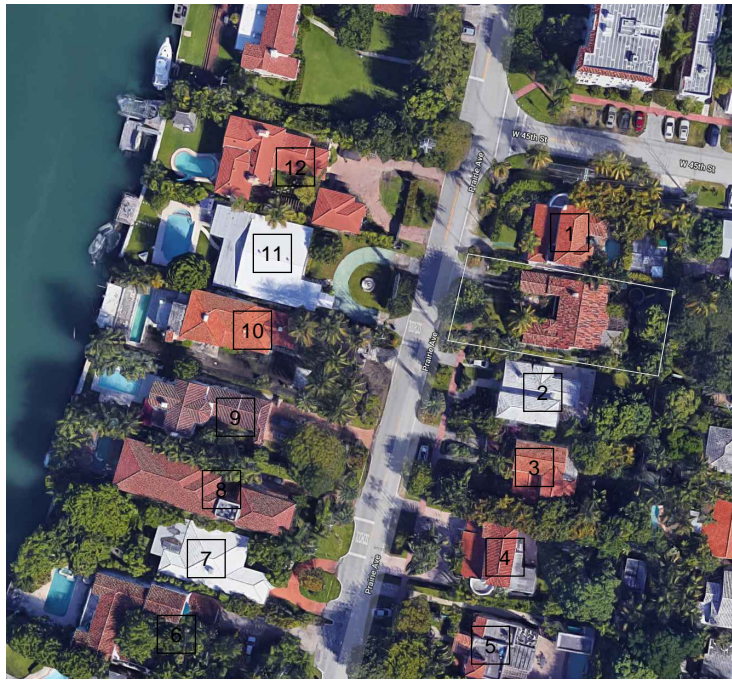
(11.08.2019)



(11.08.2019)

JOSE A. VIDAL
AR94535

EXISTING CONDITIONS
EX0.2



1 KEY DIRECTIONAL PLAN
N.T.S.



1 - 4491 PRAIRIE AVENUE (11.08.2019)



2 - 4473 PRAIRIE AVENUE (11.08.2019)



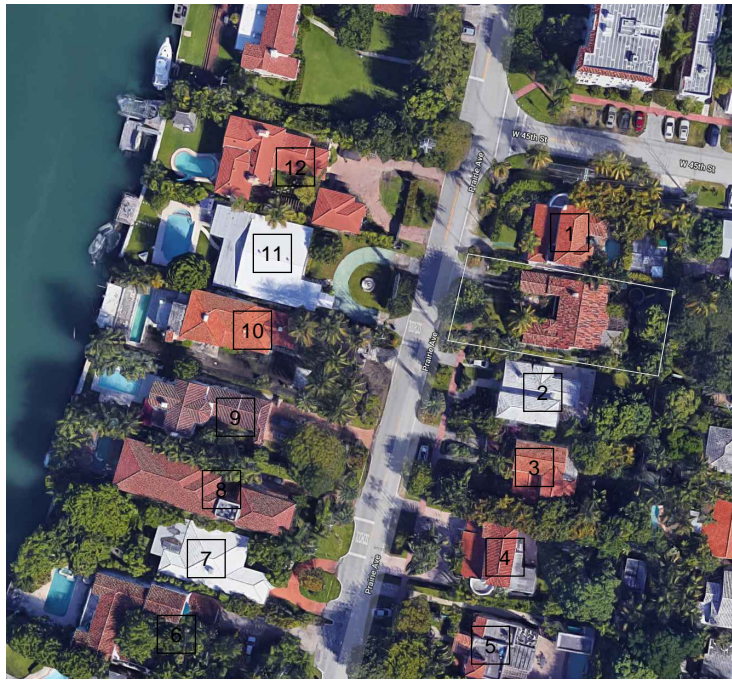
3 - 4455 PRAIRIE AVENUE (11.08.2019)



4 - 4443 PRAIRIE AVENUE (11.08.2019)

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**CONTEXT ANALYSIS
EX0.4**



1 KEY DIRECTIONAL PLAN
N.T.S.



5 - 4439 PRAIRIE AVENUE (11.08.2019)



6 - 4430 PRAIRIE AVENUE (11.08.2019)



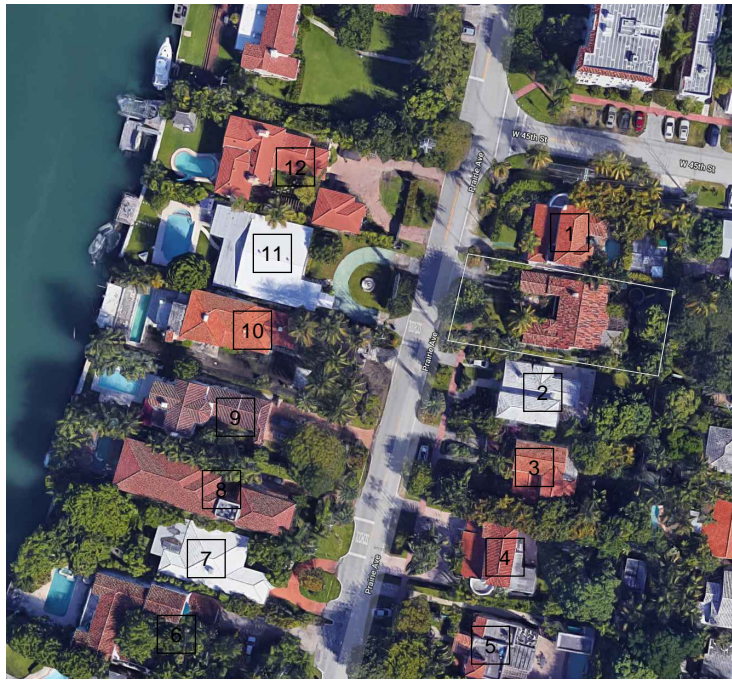
7 - 4440 PRAIRIE AVENUE (11.08.2019)



8 - 4442 PRAIRIE AVENUE (11.08.2019)

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**CONTEXT ANALYSIS
EX0.5**



1 KEY DIRECTIONAL PLAN
N.T.S.



9 - 4444 PRAIRIE AVENUE (11.08.2019)



10 - 4464 PRAIRIE AVENUE (11.08.2019)



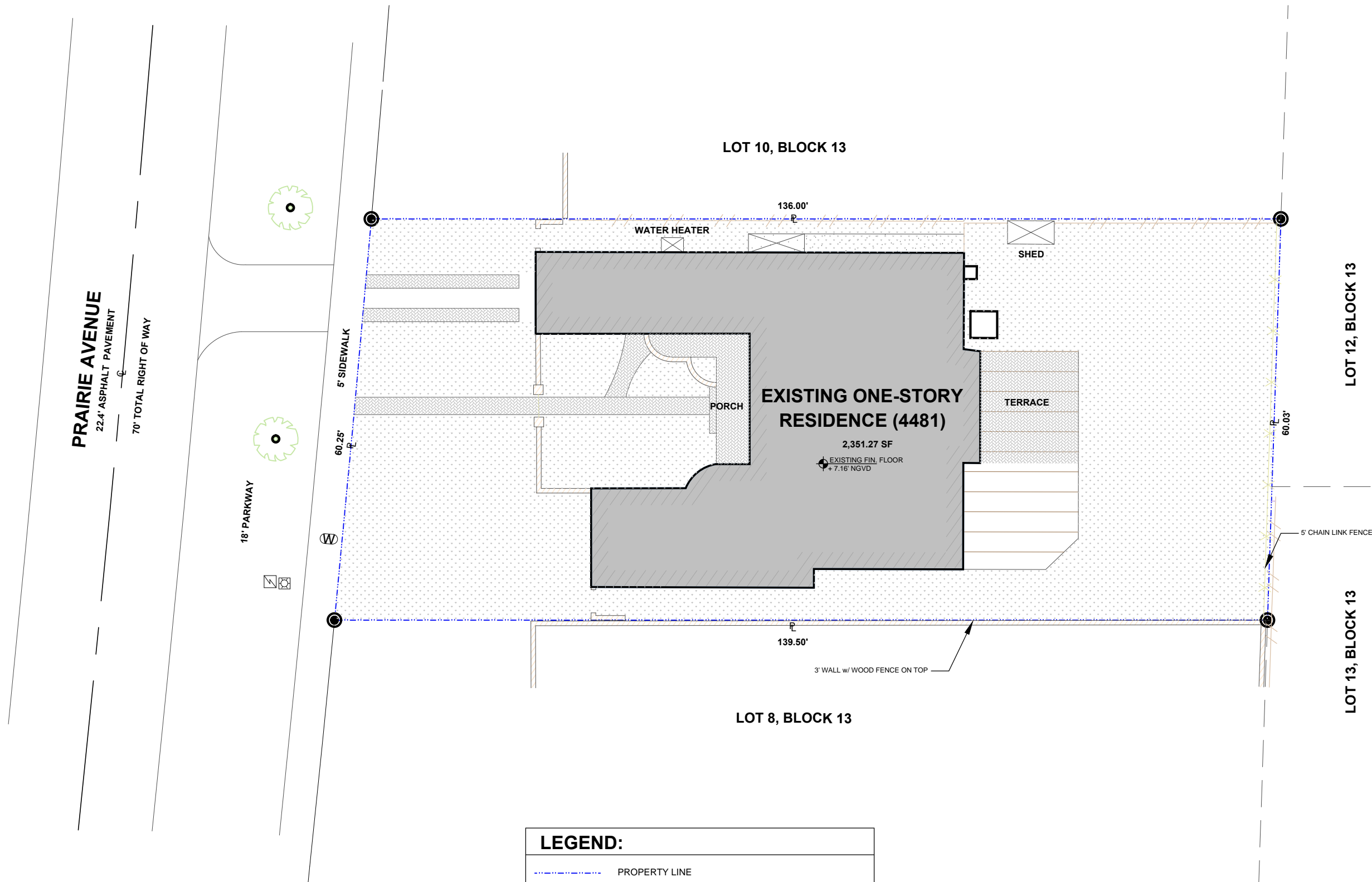
11 - 4466 PRAIRIE AVENUE (11.08.2019)



12 - 4488 PRAIRIE AVENUE (11.08.2019)

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**CONTEXT ANALYSIS
EX0.6**

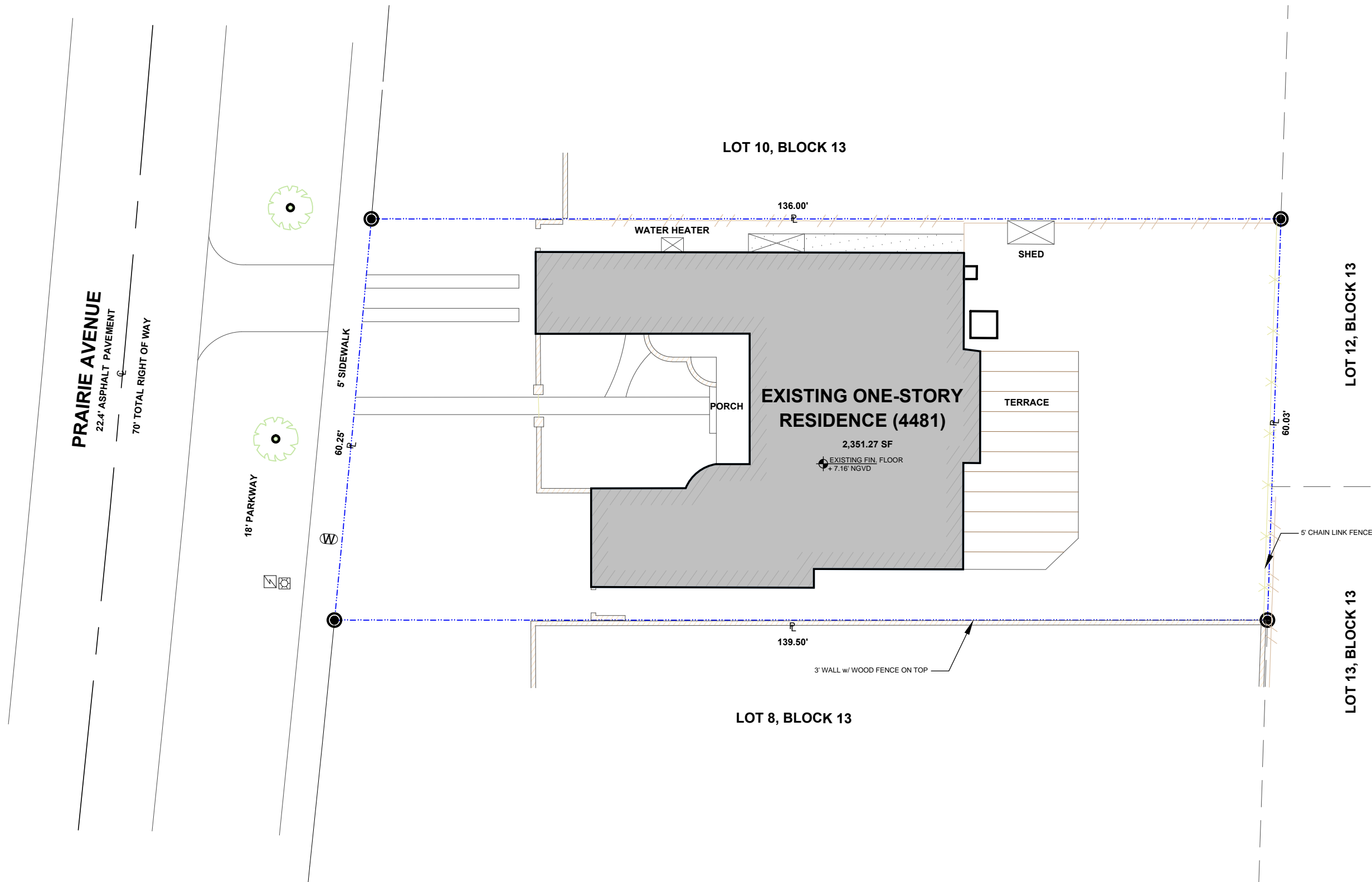


1 EXISTING LOT COVERAGE DIAGRAM
1/16" = 1'-0"



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AR94535

**EXISTING LOT COVERAGE DIAGRAM
EX1.0**



1 EXISTING UNIT SIZE DIAGRAM
1/16" = 1'-0"



LEGEND:

- - - - - PROPERTY LINE
- EXISTING UNIT SIZE

UNIT SIZE DATA

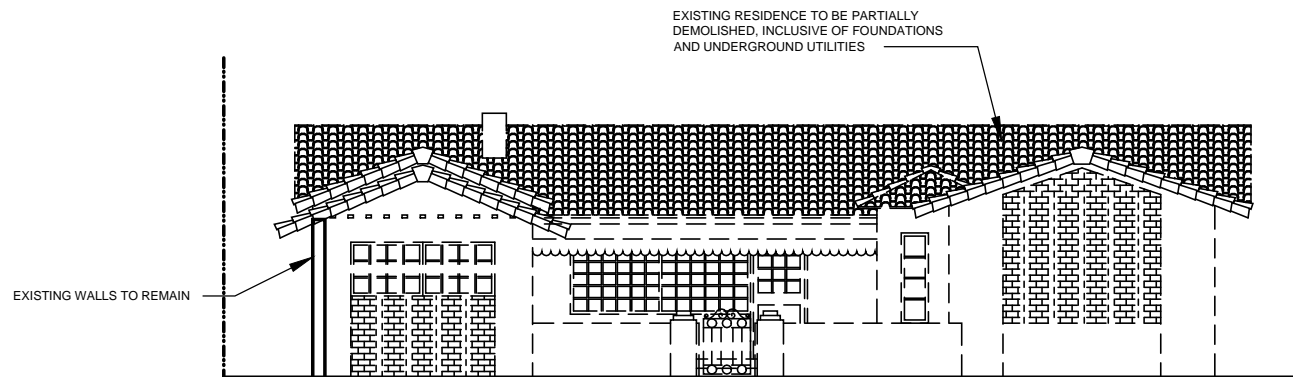
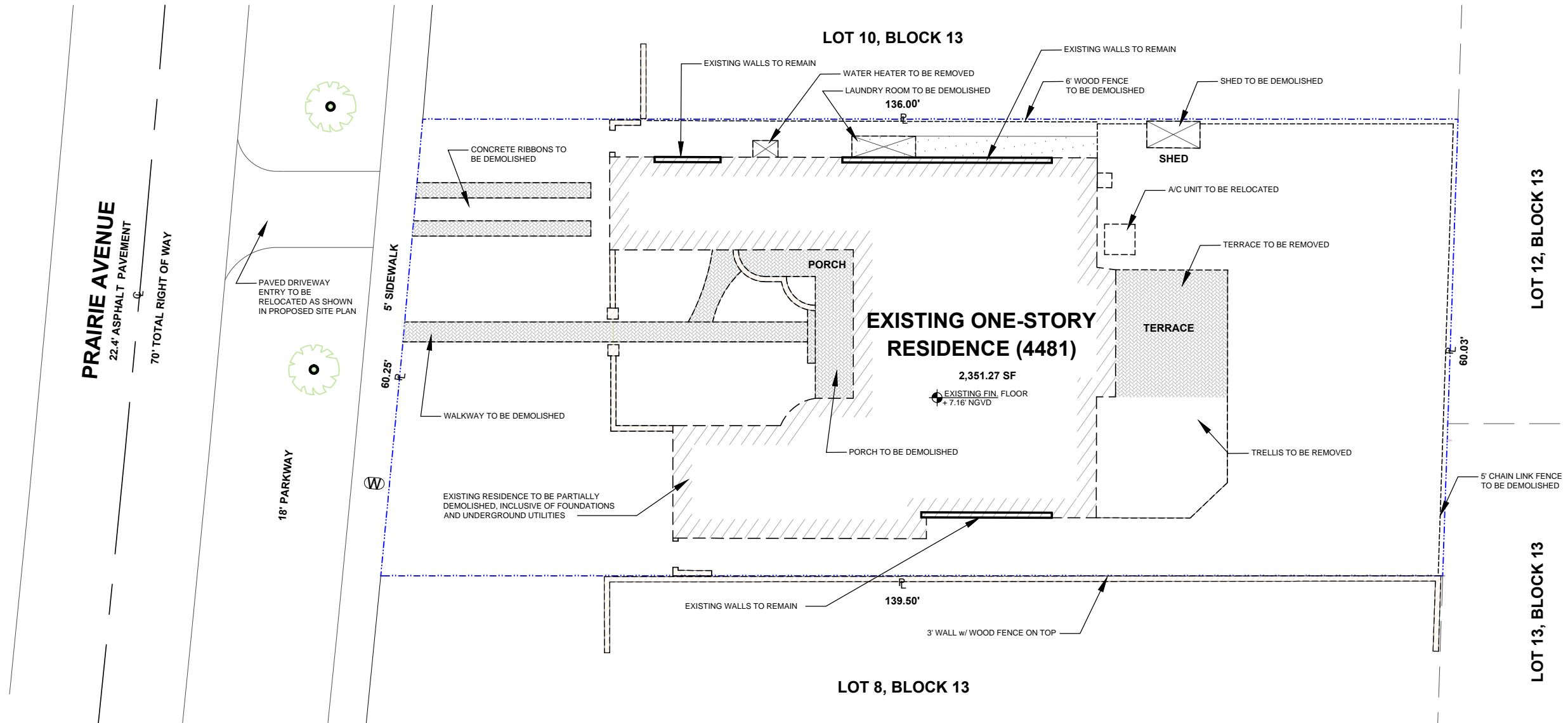
EXISTING LOT SIZE:	8,255.0 SF
EXISTING UNIT SIZE:	2,351.27 SF (28.4%)

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AR94535

**EXISTING UNIT SIZE DIAGRAM
EX1.1**

1 DEMOLITION SITE PLAN

1/16" = 1'-0"



2 DEMOLITION FRONT ELEVATION

1/8" = 1'-0"

DEMOLITION LEGEND:

----- DASH LINE DENOTES OBJECT TO BE DEMOLISHED OR REMOVED

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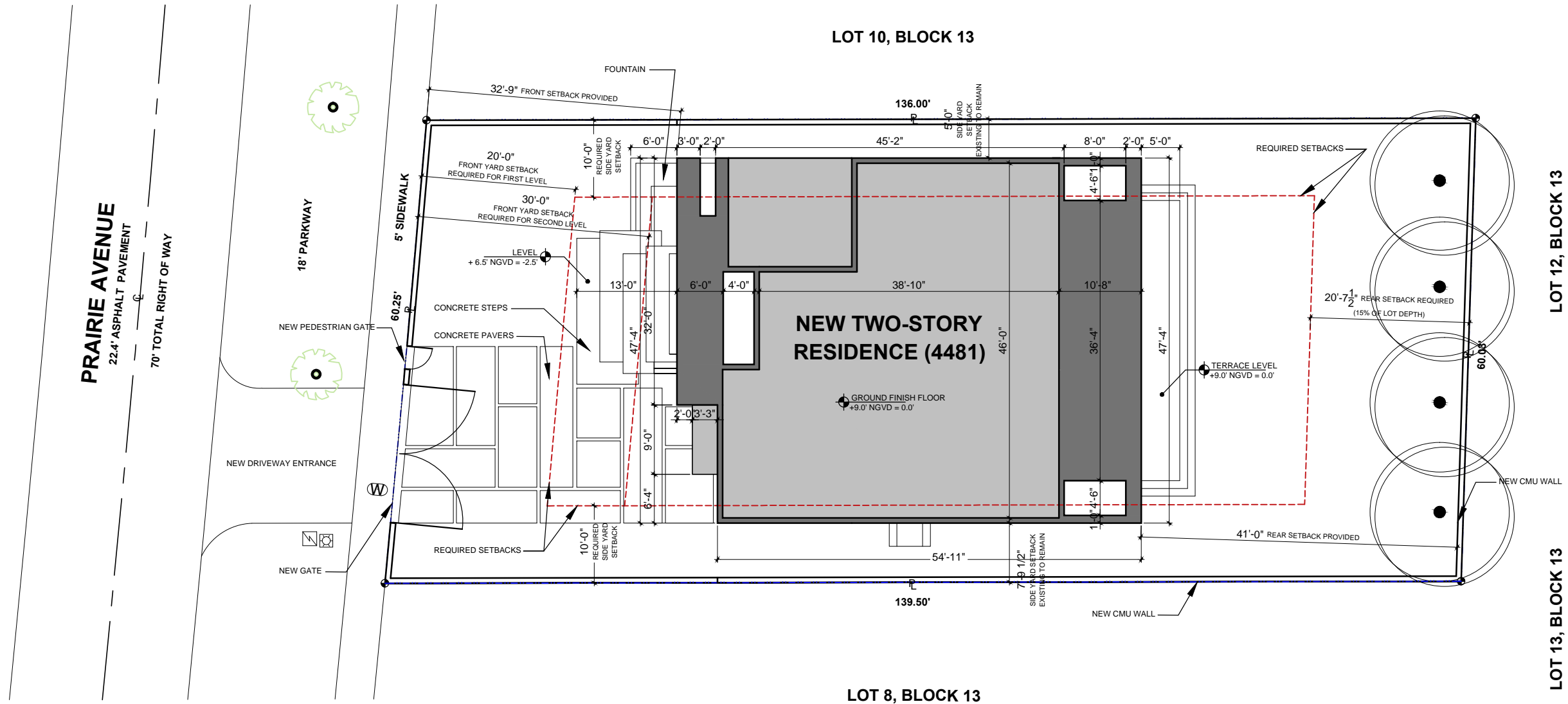
DEMOLITION PLAN D1.0

DANIAROV RESIDENCE
4481 PRAIRIE AVENUE, MIAMI BEACH, FLORIDA 33140
12.09.19

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1 SITE PLAN

1/16" = 1'-0"



FLOOD LEGEND:

- FLOOD ZONE: "AE"
- ADDRESS: 4481 PRAIRIE AVENUE, MIAMI BEACH, FLORIDA 33140
- LOT: 9, BLOCK: 13
- PLAT BOOK: 25, PAGE: 30
- OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
- HIGHEST CROWN OF ROAD ELEV.: 5.05 FT. N.G.V.D.
- HIGHEST CROWN OF ROAD ELEV WAS TAKEN FROM THE ATTACHED CERTIFIED SURVEY
- PREPARED BY: JACOB GOMIS, PLS LIC. # 6231
- LOWEST FLOOR ELEVATION: EXISTING: 6.09', PROPOSED: 9.0'
- GARAGE FLOOR ELEVATION: EXISTING TO REMAIN: N/A
- ADJACENT GRADE ELEVATION: EXISTING: SEE SURVEY
- ALL EQUIPMENT AND MACHINERIES AND UTILITIES SHALL BE ELEVATED AT OR ABOVE DESIGN FLOOD ELEVATION (+8.0' N.G.V.D.)
- ALL AREAS BELOW B.F.E. SHALL BE PROVIDE WITH A MINIMUM OF TWO (2) OPENINGS HAVING A TOTAL NET AREA OF LESS THAN ONE SQUARE INCH OF OPENING FOR EVERY SQUARE FOOT OF ENCLOSED AREA SUBJECT TO FLOODING. THE BOTTOM OF THE OPENING WILL BE NO HIGHER THAN ONE (1) FOOT ABOVE GRADE AND LOCATED ON DIFFERENT SIDES OF THE ENCLOSED AREA. OPENINGS WILL BE EQUIPPED WITH SCREENS OR LOUVERS.FLOOD RESISTANT MATERIALS WILL BE USED BELOW B.F.E.
- ALTERNATIVELY A CERTIFICATION BY: _____ P.E. ON THE PLAN NOTES INDICATING THAT THE DESIGN WILL ALLOWED FOR THE AUTOMATIC EQUALIZATION OF HYDROSTATIC FLOOD FORCES ON EXTERIOR WALLS.
- THE SITE WILL BE GRADE IN A MANNER TO PREVENT THE FLOODING AF ADJACENT PROPERTIES. WHERE NECESSARY INTERCEPTOR SWELLS WILL BE CONSTRUCTED ON-SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES.
- 0'-0"= 9.0' N.G.V.D.

JOSE A. VIDAL
AR94535

SITE PLAN A1.0

DANIAROV RESIDENCE
4481 PRAIRIE AVENUE, MIAMI BEACH, FLORIDA 33140
12.09.19

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SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	4481 PRAIRIE AVENUE, MIAMI BEACH, FLORIDA 33140		
2	Folio number(s):	02-3222-001-2020		
3	Board and file numbers :			
4	Year built:	1938	Zoning District:	RS 4 - SINGLE FAMILY RESIDENTIAL
5	Based Flood Elevation:	7.0' FEMA / 8.0' CMB	Grade value in NGVD:	4.93'
6	Adjusted grade (Flood+Grade/2):	6.46'	Free board:	1.0'
7	Lot Area:	8,255.0 Sq. Ft		
8	Lot width:	60.25'	Lot Depth:	139.5'
9	Max Lot Coverage SF and %:	2,476.5 Sq. Ft (30%)	Proposed Lot Coverage SF and %:	2,063.0 Sq. Ft (24.9%)
10	Existing Lot Coverage SF and %:	2,351.0 Sq. Ft (28.4%)	Lot coverage deducted (garage-storage) SF:	N/A
11	Front Yard Open Space SF and %:	754.7 Sq. Ft (62.7%)	Rear Yard Open Space SF and %:	1,169.7 Sq. Ft (94.6%)
12	Max Unit Size SF and %:	4,127.5 Sq. Ft (50%)	Proposed Unit Size SF and %:	3,982.8 Sq. Ft (48.2%)
13	Existing First Floor Unit Size:	2,351.0 Sq. Ft (28.4%)	Proposed First Floor Unit Size:	2,063.0 Sq. Ft (24.9%)
14	Existing Second Floor Unit Size	N/A	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB	N/A
15			Proposed Second Floor Unit Size SF and % :	1,919.8 Sq. Ft (23.3%)
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A

		Required	Existing	Proposed	Deficiencies
17	Height:	24.0'	N/A	24.0'	
18	Setbacks:				
19	Front First level:	20.0'	24.9'	32.7'	
20	Front Second level:	30.0'	N/A	32.7'	
21	Side 1:	10.0'	5.0'	5.0' EXISTING TO REMAIN	
22	Side 2 or (facing street):	10.0'	5.0'	7.8'	
23	Rear:	20.6'	28.9'	41.0'	
	Accessory Structure Side 1:				
24	Accessory Structure Side 2 or (facing street) :				
25	Accessory Structure Rear:				
26	Sum of Side yard :	20.0'	10.0'	12.8'	

27	Located within a Local Historic District?	NO
28	Designated as an individual Historic Single Family Residence?	NO
29	Determined to be Architecturally Significant?	NO

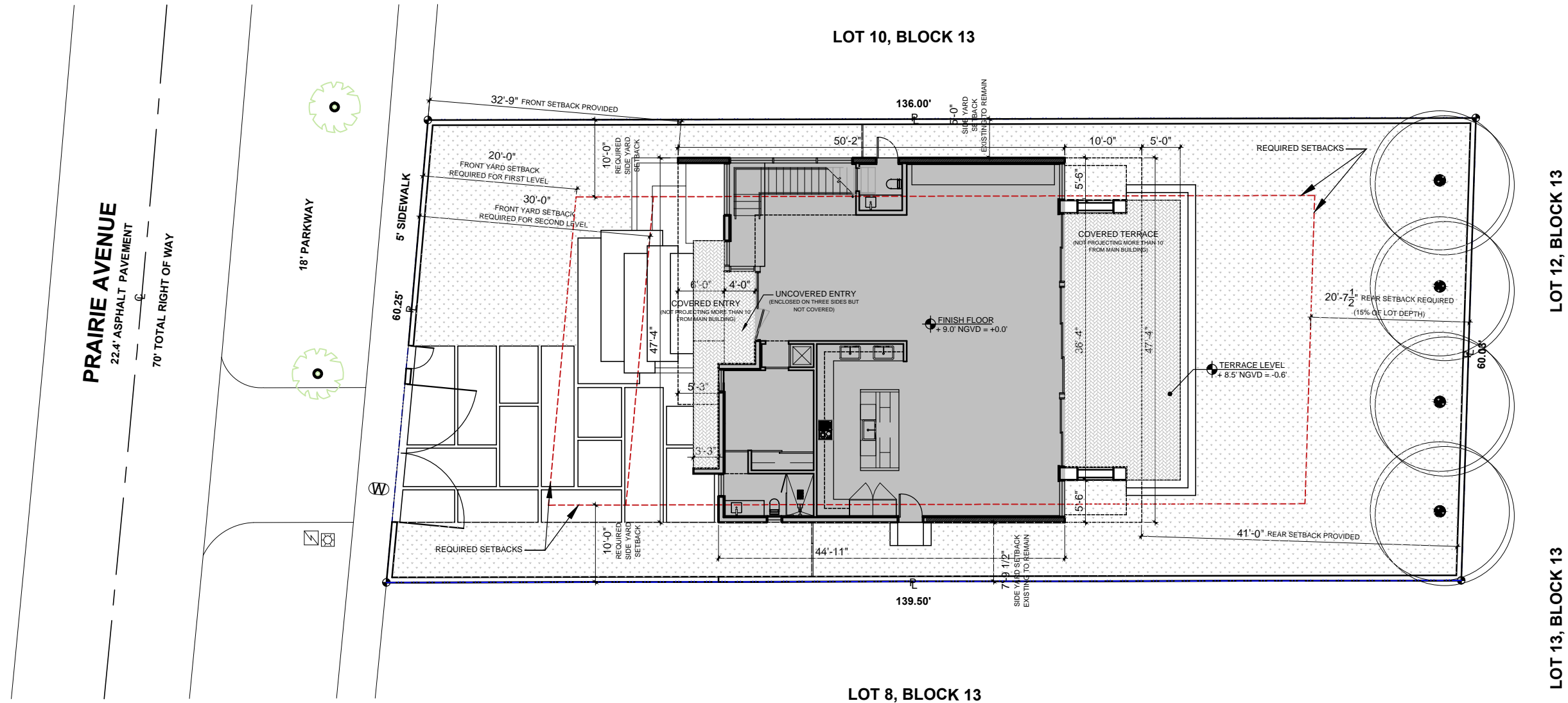
Notes:

If not applicable write N/A

All other data information should be presented like the above format

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ZONING DATA
A1.1



1 LOT COVERAGE DIAGRAM
1/16" = 1'-0"



LEGEND:

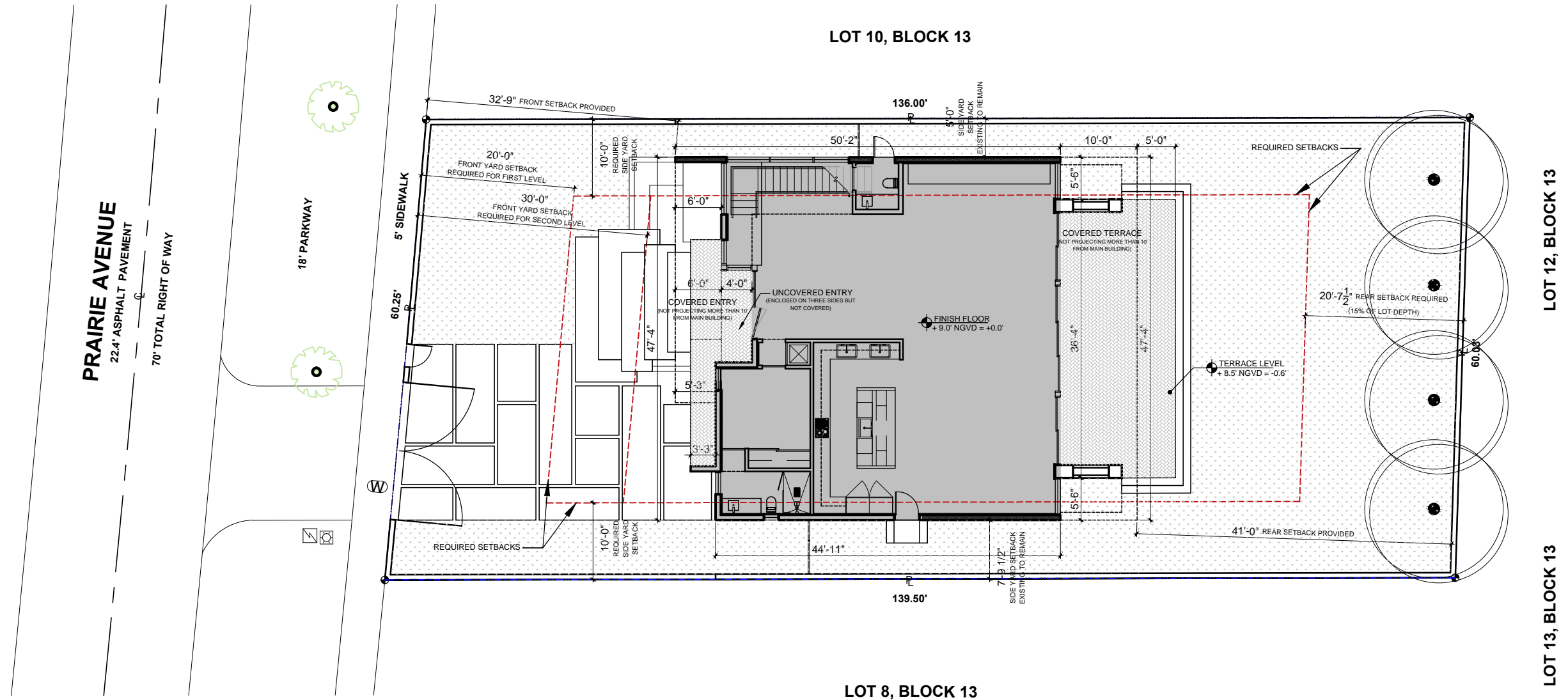
	PROPERTY LINE
	REQUIRED SETBACKS
	LOT COVERAGE
	EXISTING WALLS TO REMAIN
	TERRACE (DOES NOT COUNT TO LOT COVERAGE)
	GREEN AREA

LOT COVERAGE DATA:

EXISTING LOT SIZE:	8,255.0 SF
PROPOSED LOT COVERAGE:	2,063.0 SF (24.9%)

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**LOT COVERAGE DIAGRAM
A1.2**



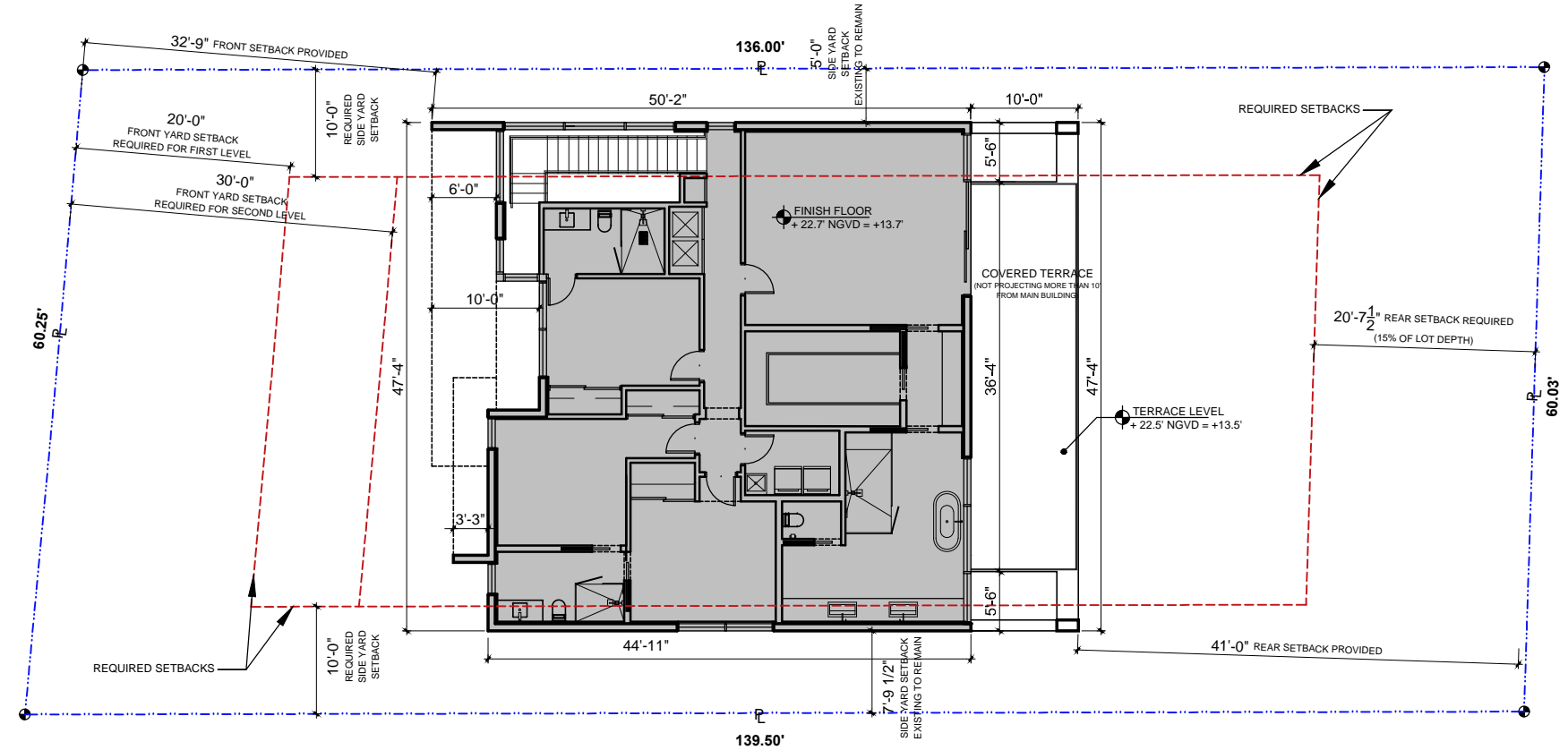
1 GROUND FLOOR UNIT SIZE DIAGRAM
1/16" = 1'-0"

LEGEND:	
	PROPERTY LINE
	REQUIRED SETBACKS
	UNIT SIZE
	EXISTING WALLS TO REMAIN
	TERRACE (DOES NOT COUNT TO UNIT SIZE)
	GREEN AREA

UNIT SIZE DATA:	
FIRST FLOOR UNIT SIZE:	2,063.0 SF (24.9% OF LOT SIZE)
SECOND FLOOR UNIT SIZE:	1,919.8 SF (23.3% OF LOT SIZE) FLOOR AREA RATIO DOES NOT APPLY
TOTAL UNIT SIZE:	
MAX. UNIT SIZE ALLOWED:	4,127.5 SF (50% OF LOT SIZE)
PROPOSED UNIT SIZE:	3,982.0 SF (48.2% OF LOT SIZE)

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GROUND FLOOR UNIT SIZE DIAGRAM A1.3



1 SECOND FLOOR UNIT SIZE DIAGRAM
1/16" = 1'-0"



LEGEND:

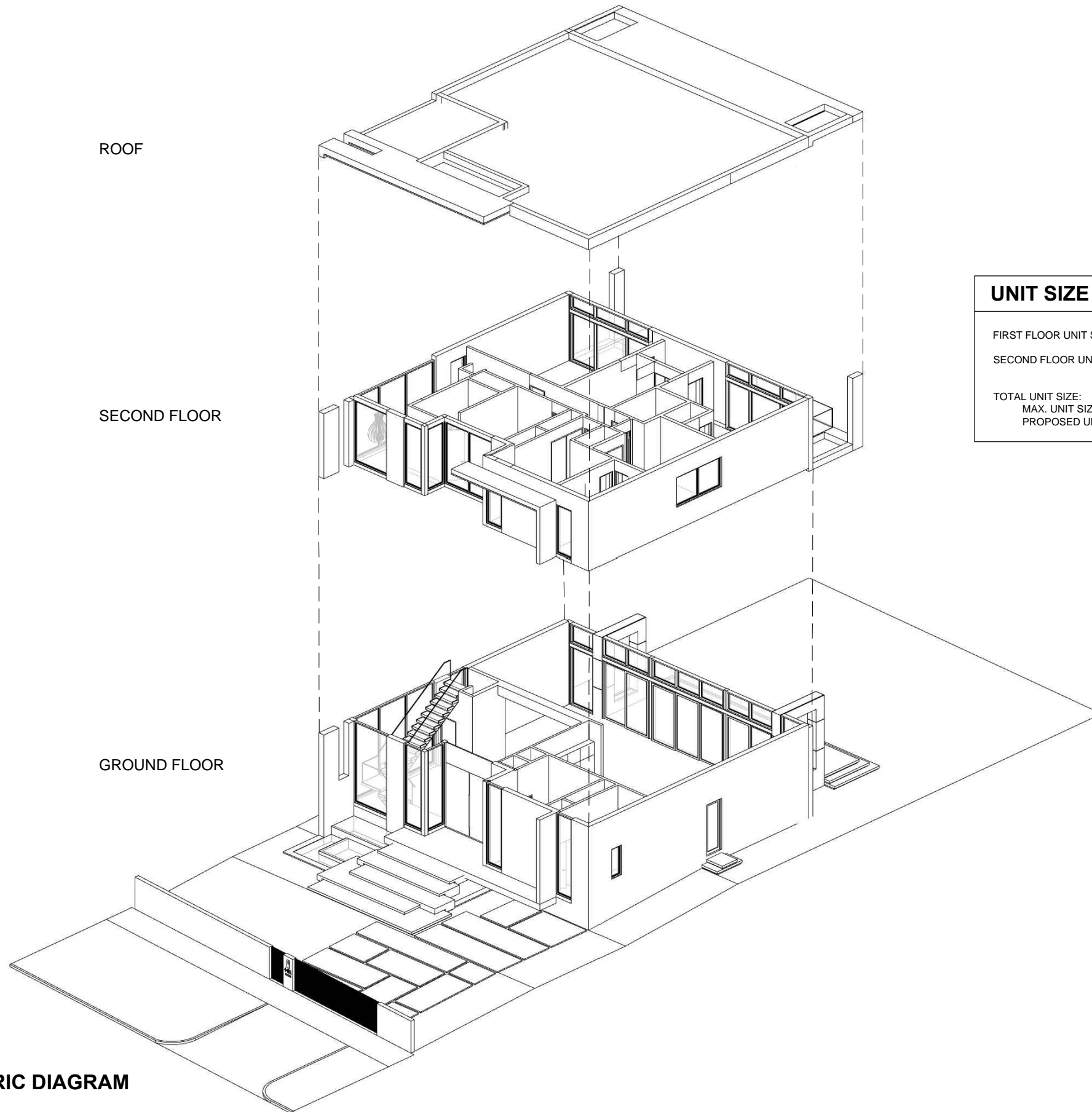
- PROPERTY LINE
- REQUIRED SETBACKS
- UNIT SIZE
- TERRACE (DOES NOT COUNT TO UNIT SIZE)
- GREEN AREA

UNIT SIZE DATA:

FIRST FLOOR UNIT SIZE:	2,063.0 SF (24.9% OF LOT SIZE)
SECOND FLOOR UNIT SIZE:	1,919.8 SF (23.3% OF LOT SIZE)
	FLOOR AREA RATIO DOES NOT APPLY
TOTAL UNIT SIZE:	
MAX. UNIT SIZE ALLOWED:	4,127.5 SF (50% OF LOT SIZE)
PROPOSED UNIT SIZE:	3,982.8 SF (48.2% OF LOT SIZE)

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**SECOND FLOOR UNIT SIZE DIAGRAM
A1.4**

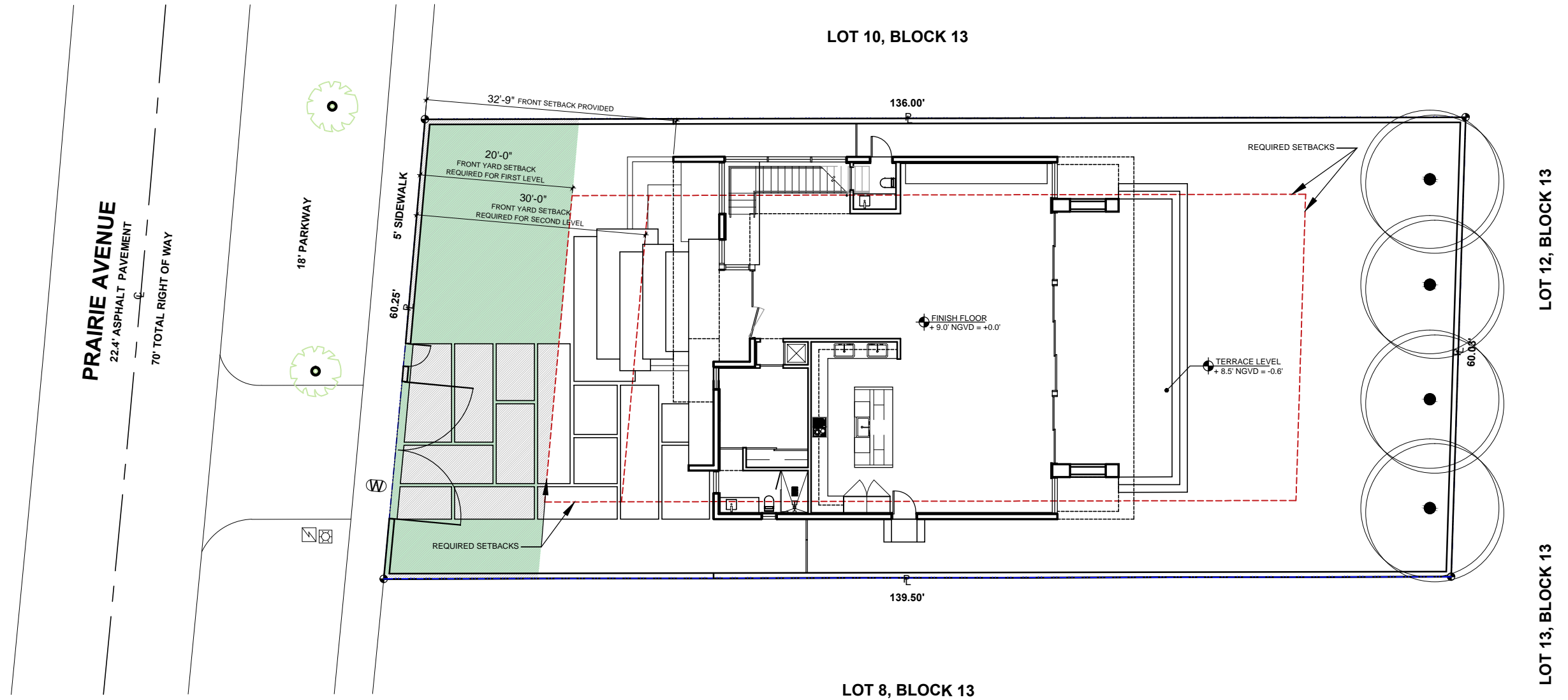


UNIT SIZE DATA:	
FIRST FLOOR UNIT SIZE:	2,063.0 SF (24.9% OF LOT SIZE)
SECOND FLOOR UNIT SIZE:	1,919.8 SF (23.3% OF LOT SIZE) FLOOR AREA RATIO DOES NOT APPLY
TOTAL UNIT SIZE:	
MAX. UNIT SIZE ALLOWED:	4,127.5 SF (50% OF LOT SIZE)
PROPOSED UNIT SIZE:	3,982.8 SF (48.2% OF LOT SIZE)

1 EXPLODED AXONOMETRIC DIAGRAM
N.T.S

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**AXONOMETRIC DIAGRAM
A1.5**



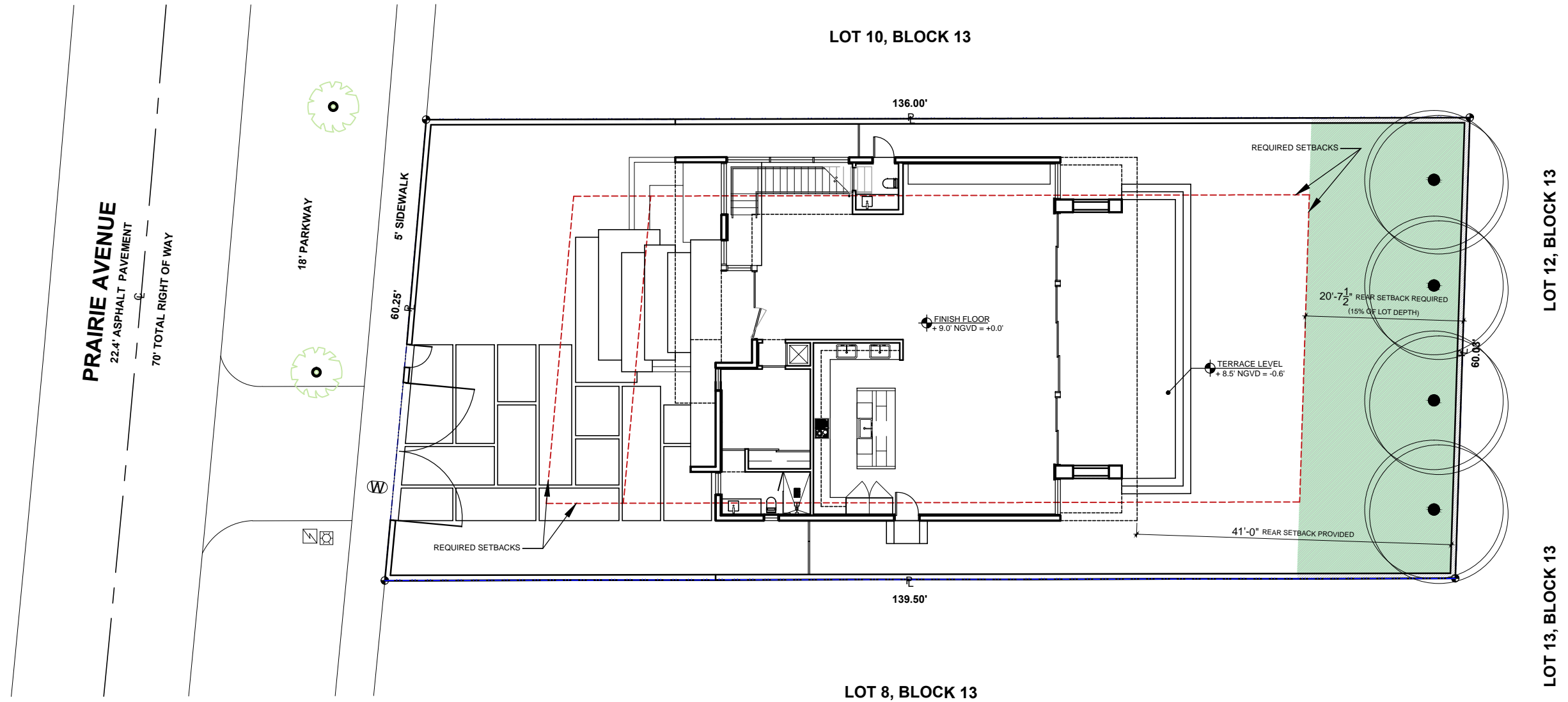
1 FRONT YARD OPEN SPACE DIAGRAM
1/16" = 1'-0"

LEGEND:	
	PROPERTY LINE
	REQUIRED SETBACKS
	PERVIOUS AREA PROVIDED WITHIN REQUIRED FRONT YARD
	TOTAL AREA OF REQUIRED FRONT YARD

FRONT YARD CALCULATION	
FRONT SETBACK REQUIRED:	20'-0" FOR FIRST FLOOR IN TWO STORY BUILDING
FRONT SETBACK PROVIDED:	32'-9"
FRONT YARD AREA:	1,204.0 SF
MINIMUM 50% OF REQUIRED FRONT YARD SHALL BE PERVIOUS	602.0 SF
YARD PERVIOUS AREA PROVIDED: (WITHIN THE REQUIRED FRONT YARD)	754.7 SF (62.7%)

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FRONT YARD OPEN SPACE DIAGRAM A1.6



1 REAR YARD OPEN SPACE DIAGRAM
1/16" = 1'-0"

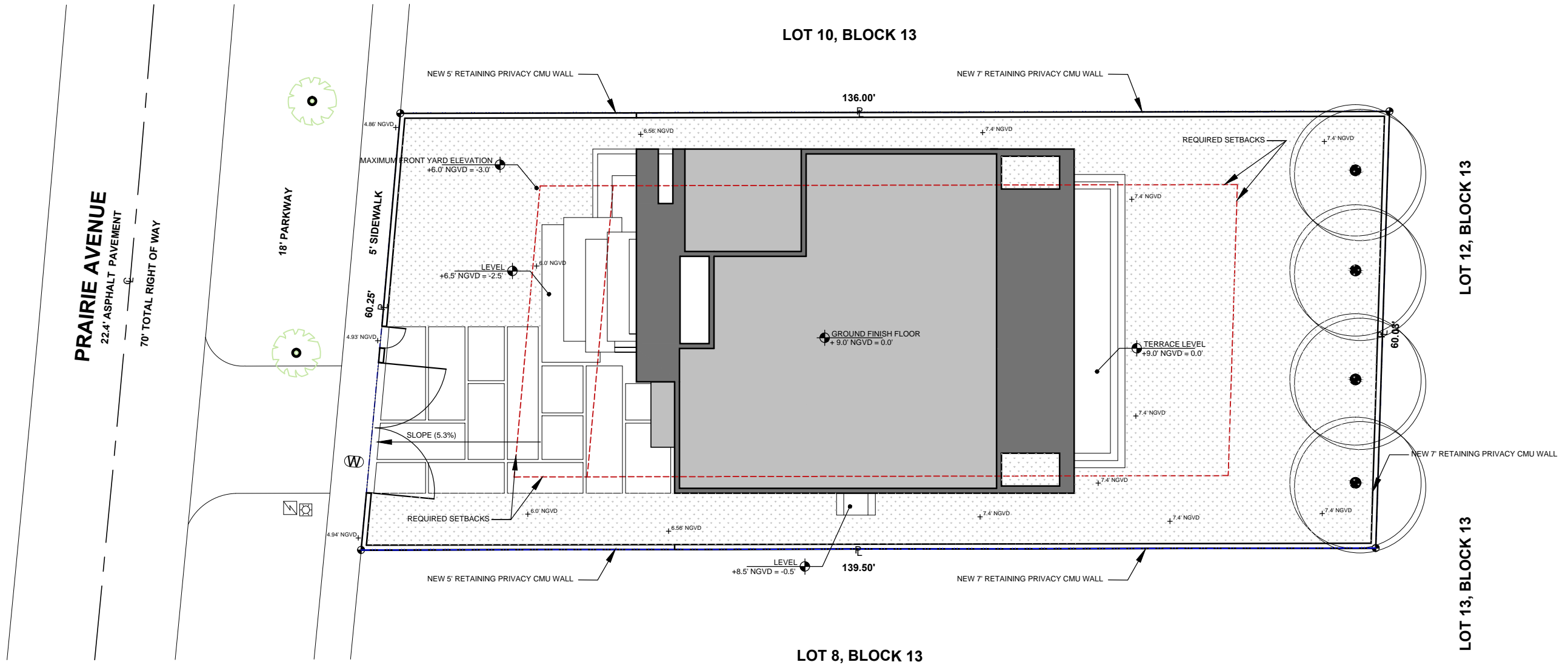


LEGEND:	
	PROPERTY LINE
	REQUIRED SETBACKS
	PERVIOUS AREA PROVIDED WITHIN REQUIRED REAR YARD
	TOTAL AREA OF REQUIRED REAR YARD

REAR YARD CALCULATION	
REAR SETBACK REQUIRED:	21'-7 1/2" (15% OF LOT DEPTH)
REAR SETBACK PROVIDED:	41'-0"
REAR YARD AREA:	1,236.3 SF
MINIMUM 70% OF REQUIRED REAR YARD SHALL BE PERVIOUS	865.4 SF
REAR YARD PERVIOUS AREA PROVIDED:	1,169.7 SF (94.6%)
(WITHIN THE REQUIRED REAR YARD)	

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REAR YARD OPEN SPACE DIAGRAM A1.7



1 GRADING PLAN

1/16" = 1'-0"

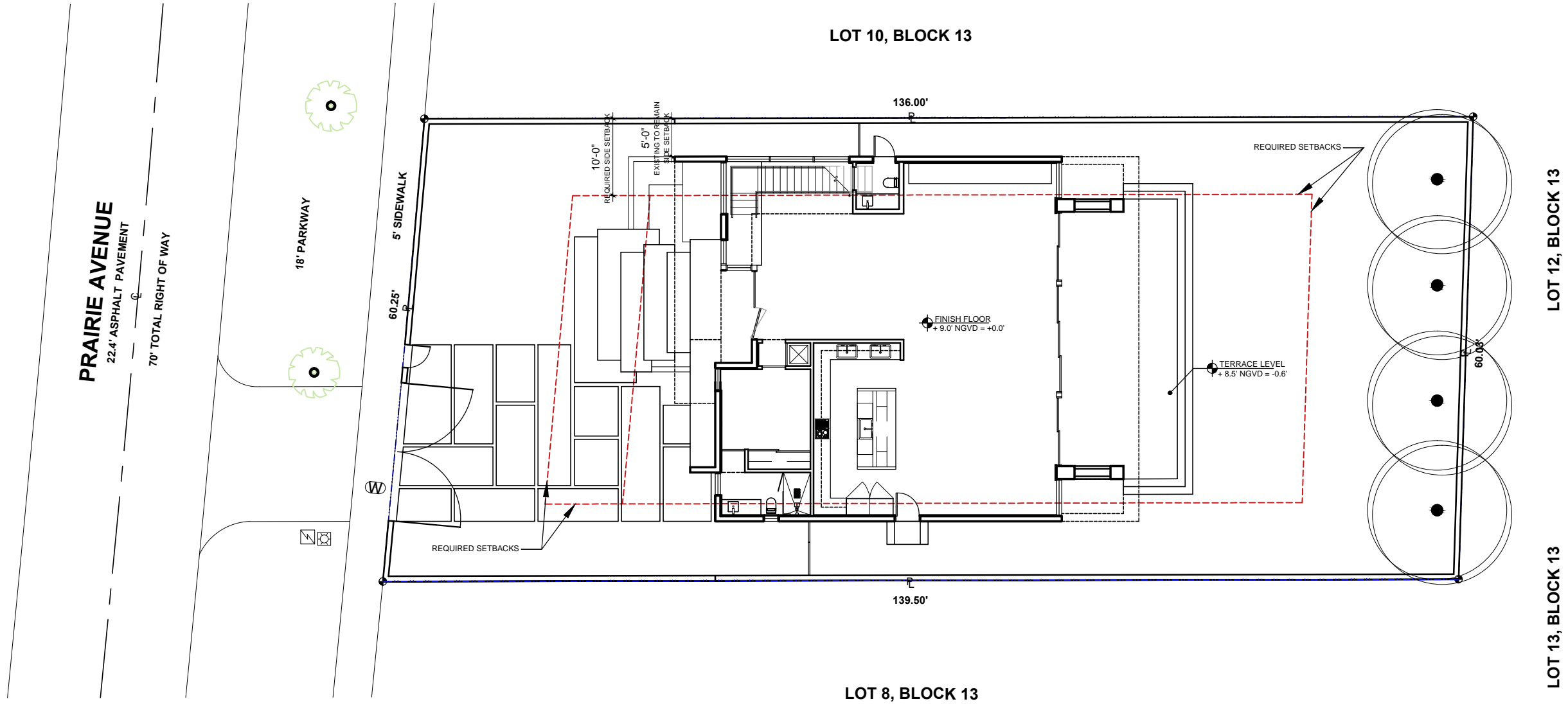


GRADING ELEVATION

EXISTING GRADE ELEVATION:	4.93' NGVD (SIDEWALK ELEVATION AT THE CENTERLINE OF THE FRONT OF THE PROPERTY)
BASE FLOOD ELEVATION:	8.0' NGVD + 1.0' NGVD (FREEBOARD) = 9.0' (GROUND FINISH FLOOR)
ADJUSTED GRADE:	6.46' NGVD
30" ABOVE GRADE:	7.43' NGVD
MINIMUM YARD ELEVATION:	6.56' NGVD
MAXIMUM FRONT YARD ELEVATION PROVIDED:	5.5' NGVD (7.43' NGVD MAXIMUM YARD ELEVATION ALLOWED)
FUTURE CROWN OF ROAD:	5.25' NGVD (PROVIDED BY CITY OF MIAMI BEACH)
FUTURE ADJUSTED GRADE:	7.125' NGVD (PROVIDED BY CITY OF MIAMI BEACH)

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GRADING PLAN A1.8



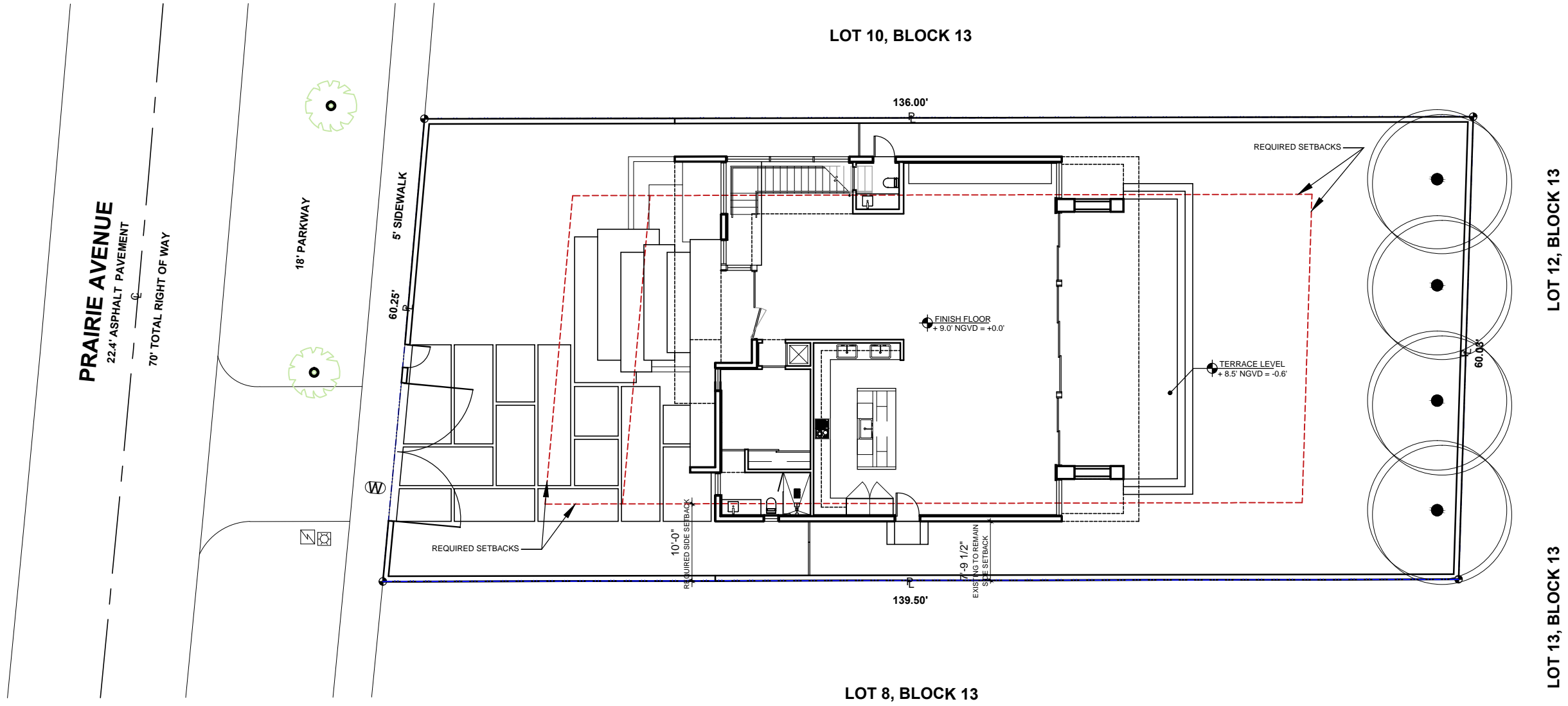
1 VARIANCE 1 DIAGRAM
 1/16" = 1'-0"

LEGEND:	
	PROPERTY LINE
	REQUIRED SETBACKS



VARIANCE 1	
NORTH SIDE SETBACK REQUIRED:	10'-0"
NORTH SIDE SETBACK EXISTING NON CONFORMING TO REMAIN:	5'-0"
THIS VARIANCE IS REQUESTED TO REDUCE THE REQUIRED SIDE SETBACK FROM 10'-0" TO 5'-0"	

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VARIANCE 1 DIAGRAM
A1.9



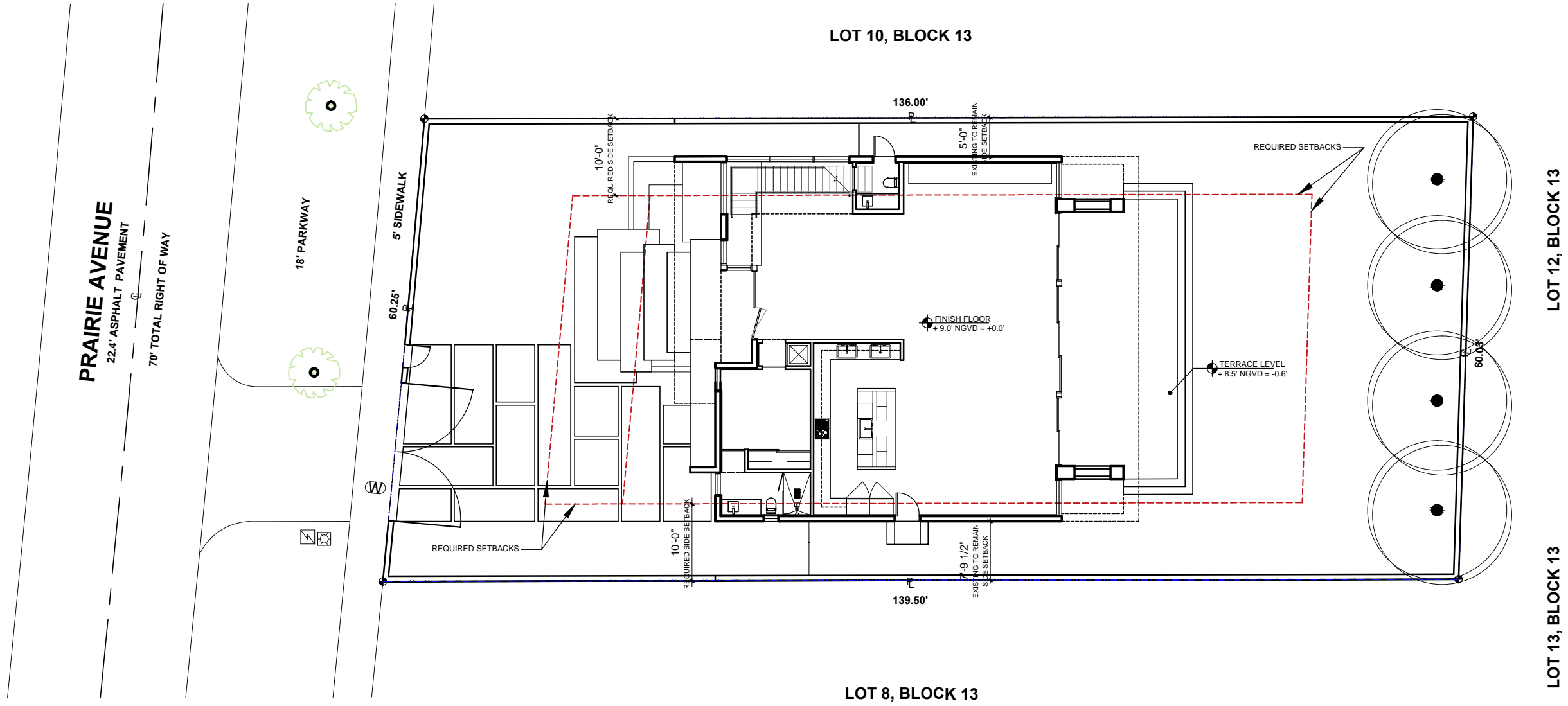
1 VARIANCE 2 DIAGRAM
1/16" = 1'-0"

LEGEND:	
	PROPERTY LINE
	REQUIRED SETBACKS

VARIANCE 2	
SOUTH SIDE SETBACK REQUIRED:	10'-0"
SOUTH SIDE SETBACK EXISTING NON CONFORMING TO REMAIN:	7'-9 1/2" (7.8')
THIS VARIANCE IS REQUESTED TO REDUCE THE REQUIRED SIDE SETBACK FROM 10'-0" TO 7'-9 1/2" (7.8')	

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VARIANCE 2 DIAGRAM
A1.10



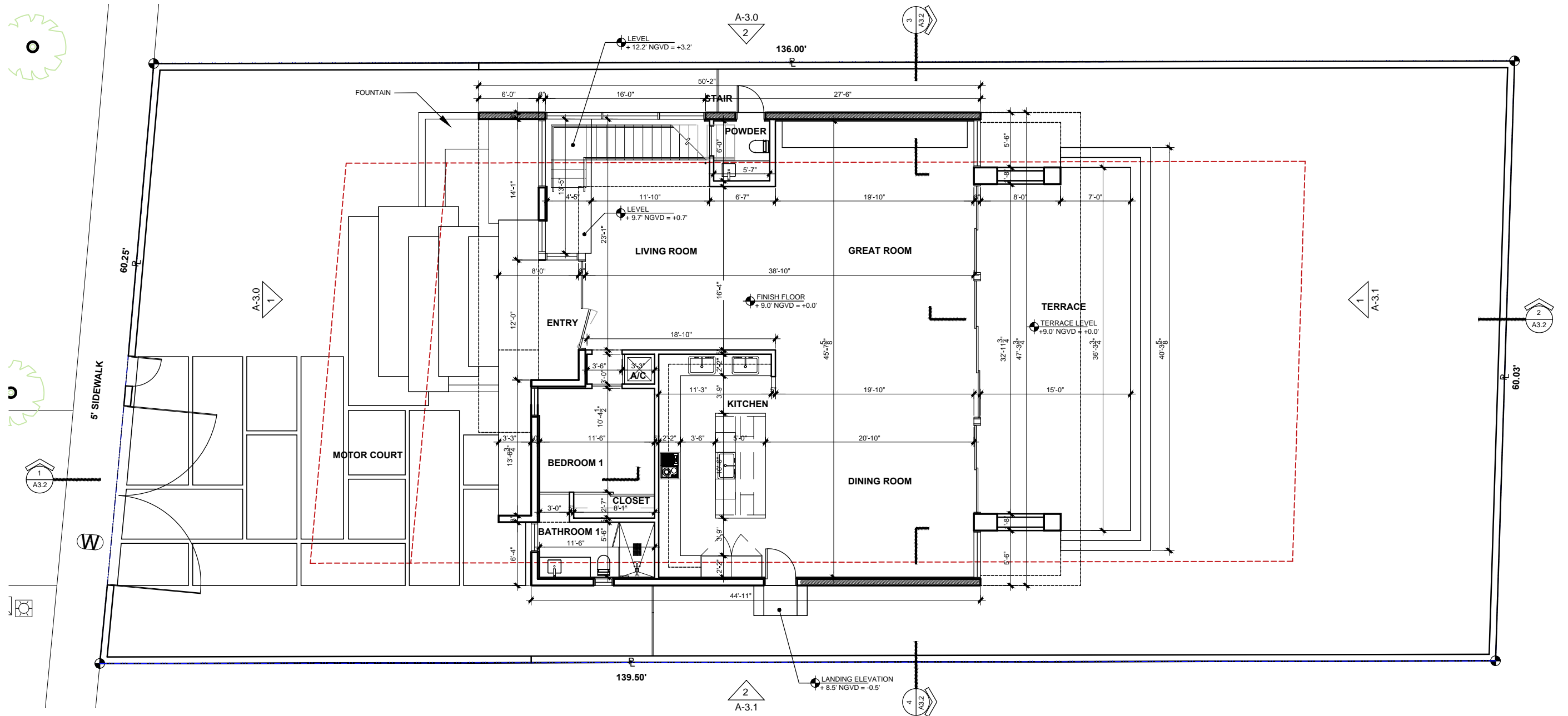
1 VARIANCE 3 DIAGRAM
1/16" = 1'-0"

LEGEND:	
	PROPERTY LINE
	REQUIRED SETBACKS

VARIANCE 3	
NORTH SIDE SETBACK REQUIRED:	10'-0"
SOUTH SIDE SETBACK REQUIRED:	10'-0"
SUM OF THE SIDE SETBACKS REQUIRED:	20'-0"
NORTH SIDE SETBACK EXISTING NON CONFORMING TO REMAIN:	5'-0"
SOUTH SIDE SETBACK EXISTING NON CONFORMING TO REMAIN:	7'-9 1/2" (7.8')
SUM OF THE SIDE SETBACKS PROVIDED:	12'-9 1/2" (12.8')
THIS VARIANCE IS REQUESTED TO REDUCE THE REQUIRED SUM OF THE SIDE SETBACKS FROM 20'-0" TO 12'-9 1/2" (12.8')	

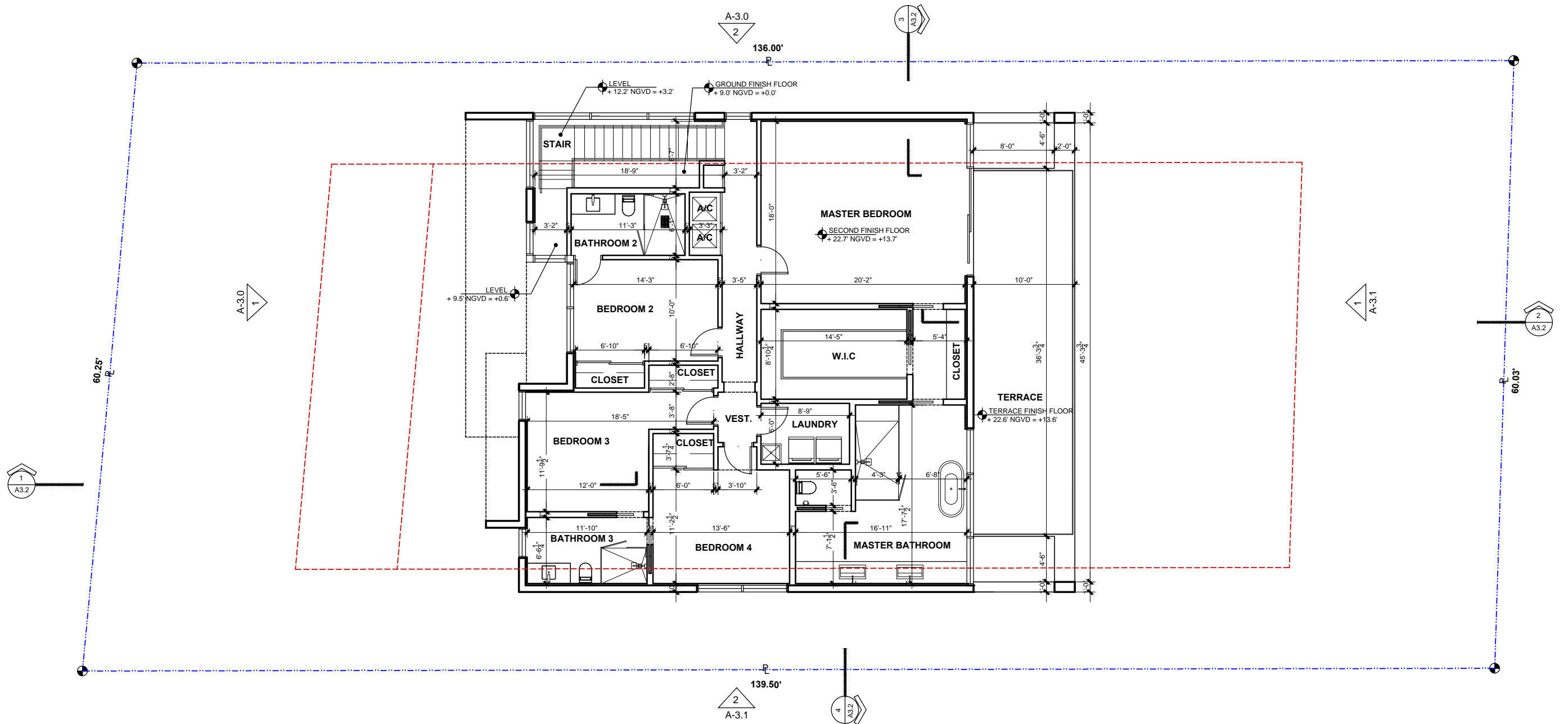
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VARIANCE 3 DIAGRAM
A1.11



1 GROUND FLOOR PLAN
3/32" = 1'-0"

GROUND FLOOR PLAN
A2.0

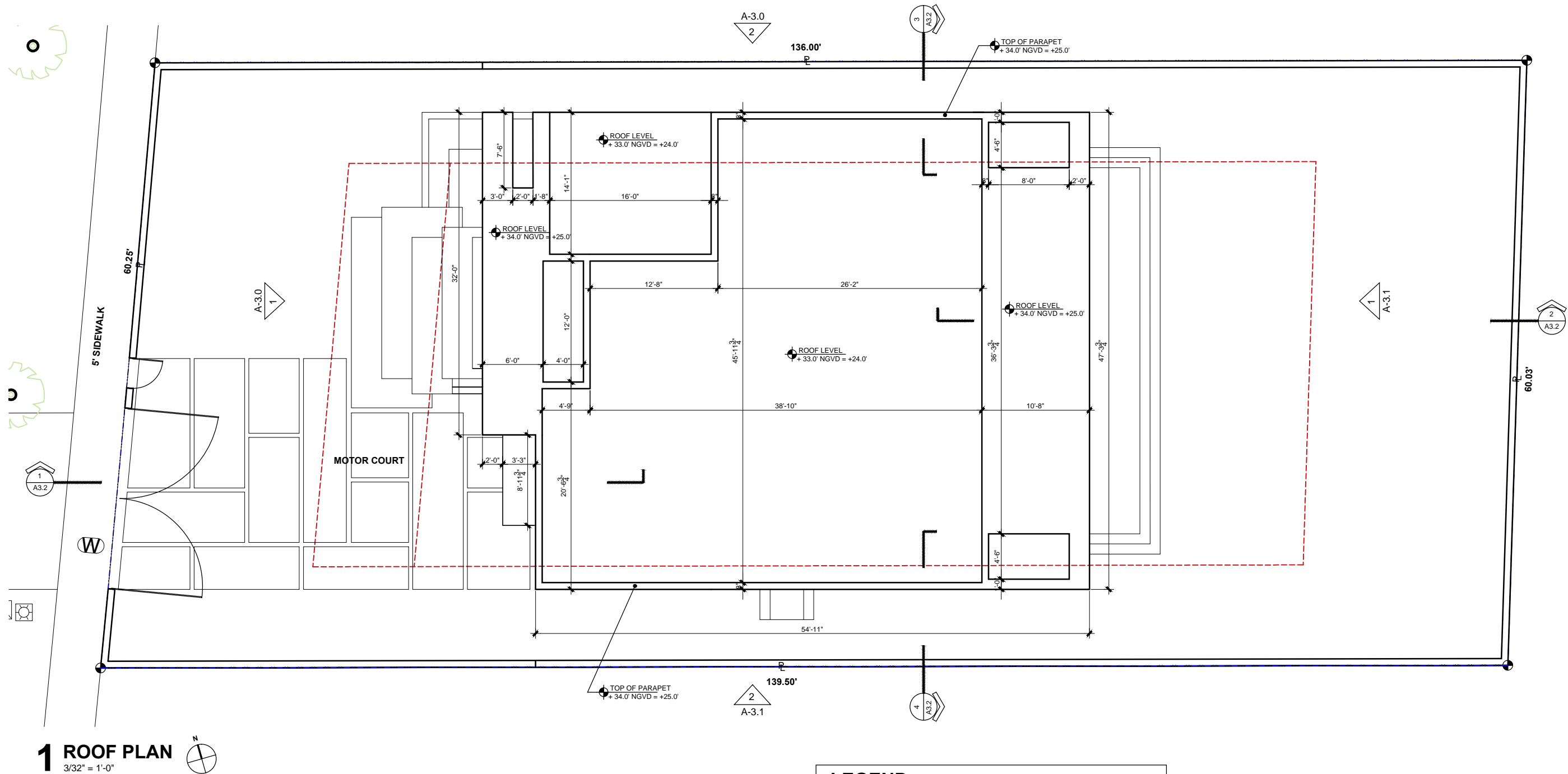


1 SECOND FLOOR PLAN
3/32" = 1'-0"

LEGEND:	
	PROPERTY LINE
	REQUIRED SETBACKS

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SECOND FLOOR PLAN
A2.1

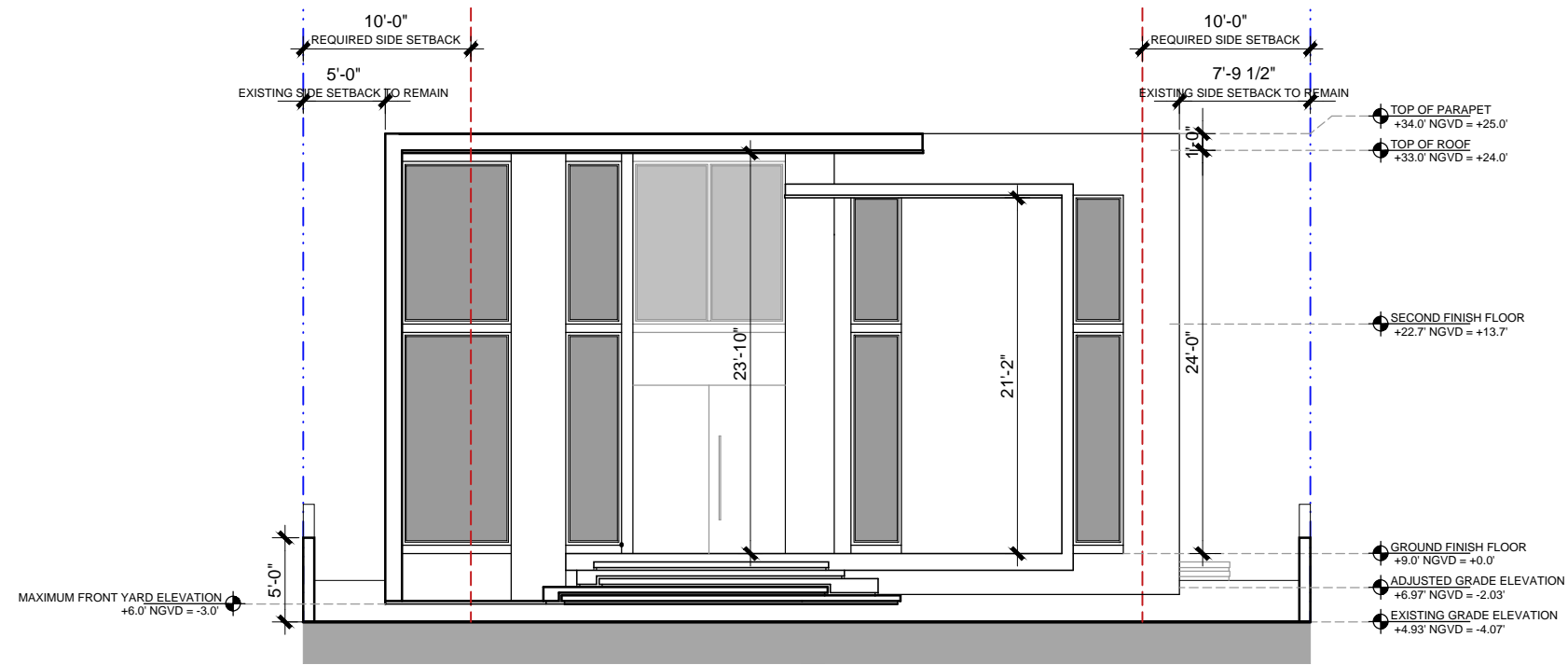


1 ROOF PLAN
3/32" = 1'-0"

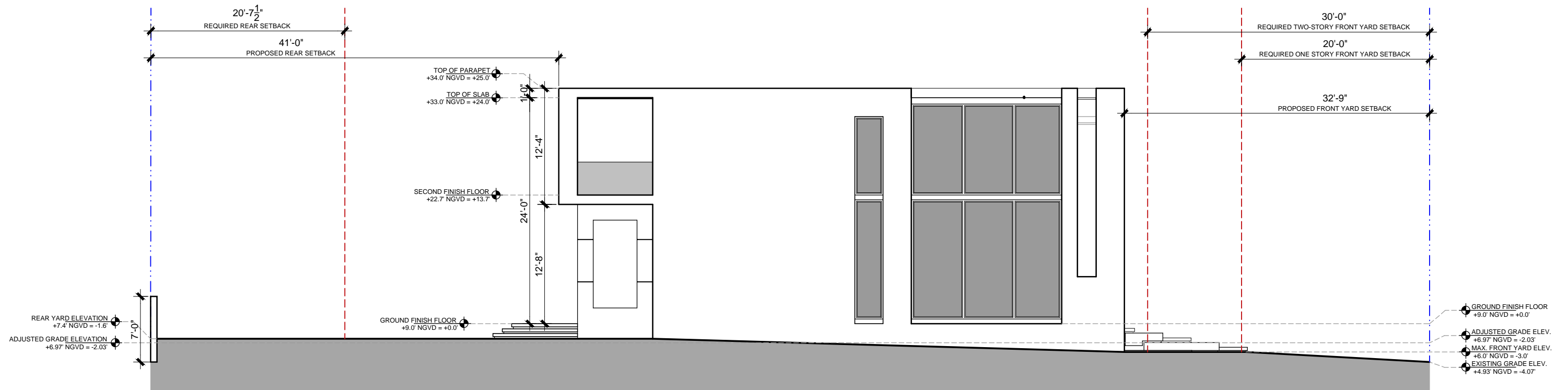
LEGEND:	
	PROPERTY LINE
	REQUIRED SETBACKS

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ROOF PLAN A2.2



1 WEST ELEVATION
3/32" = 1'-0"



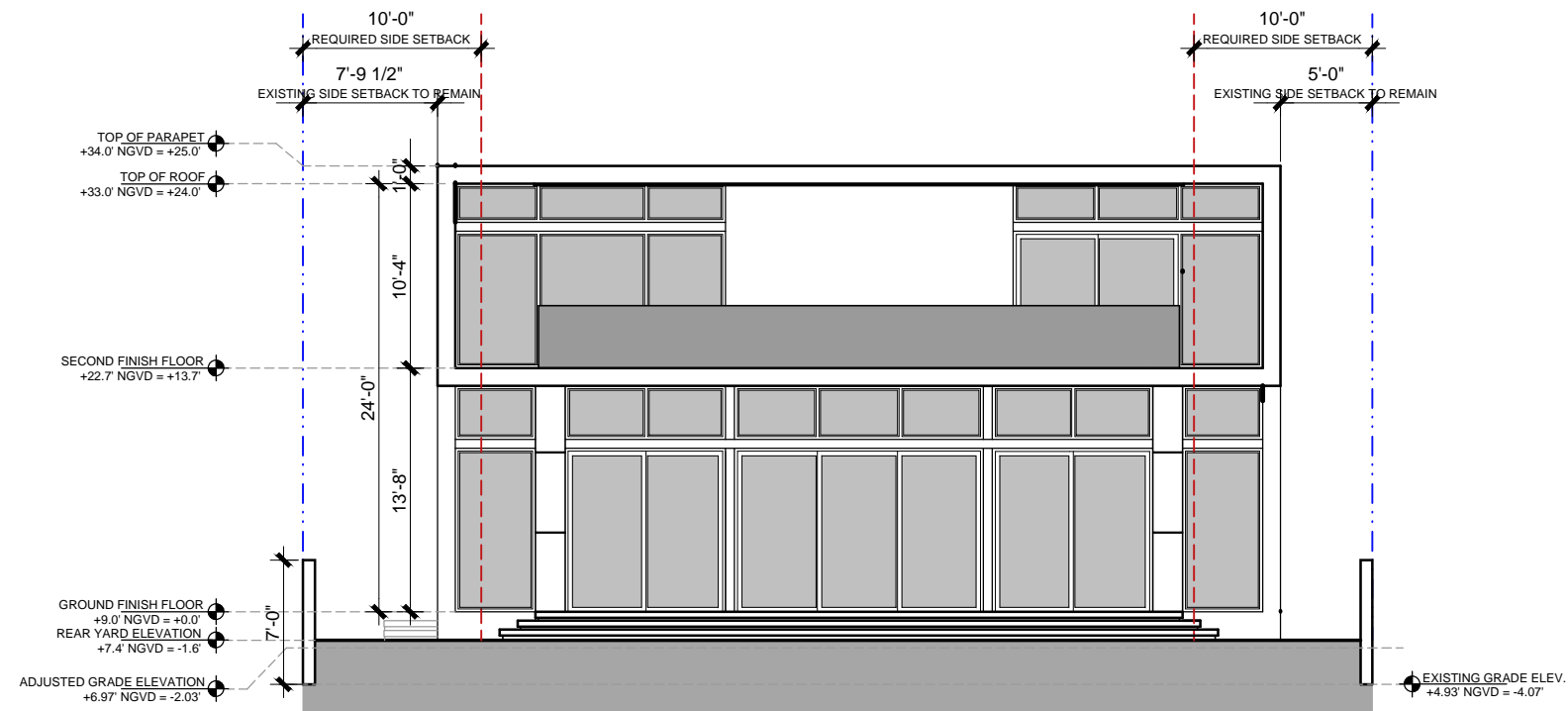
2 NORTH ELEVATION
3/32" = 1'-0"

LEGEND:

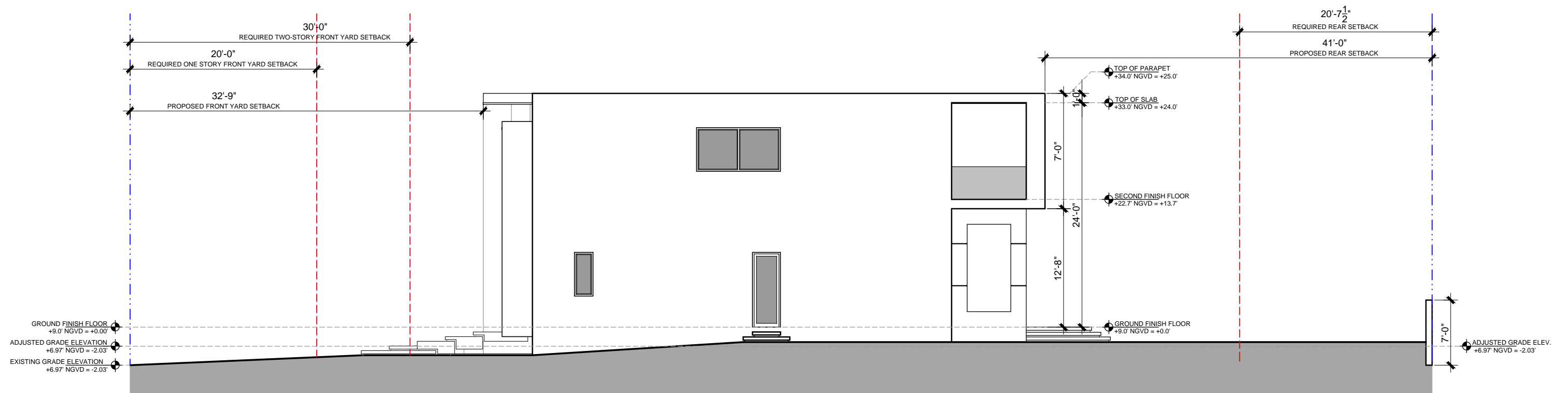
- PROPERTY LINE
- REQUIRED SETBACKS

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ELEVATIONS
A3.0



1 EAST ELEVATION
3/32" = 1'-0"



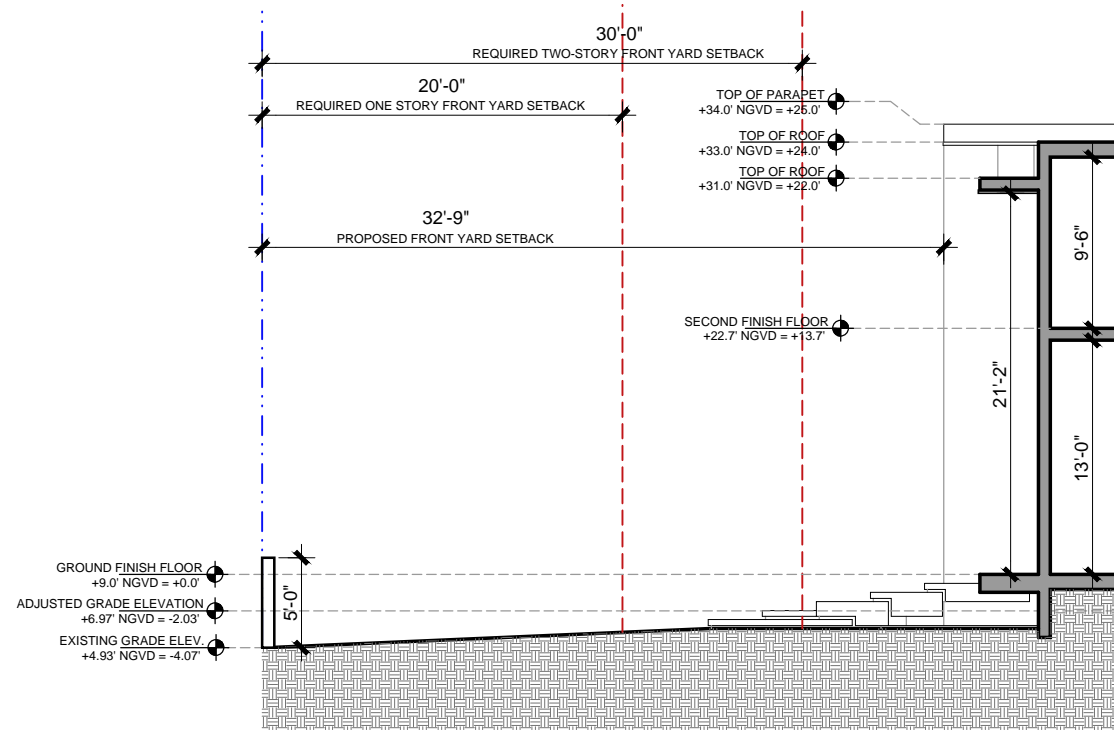
2 SOUTH ELEVATION
3/32" = 1'-0"

LEGEND:

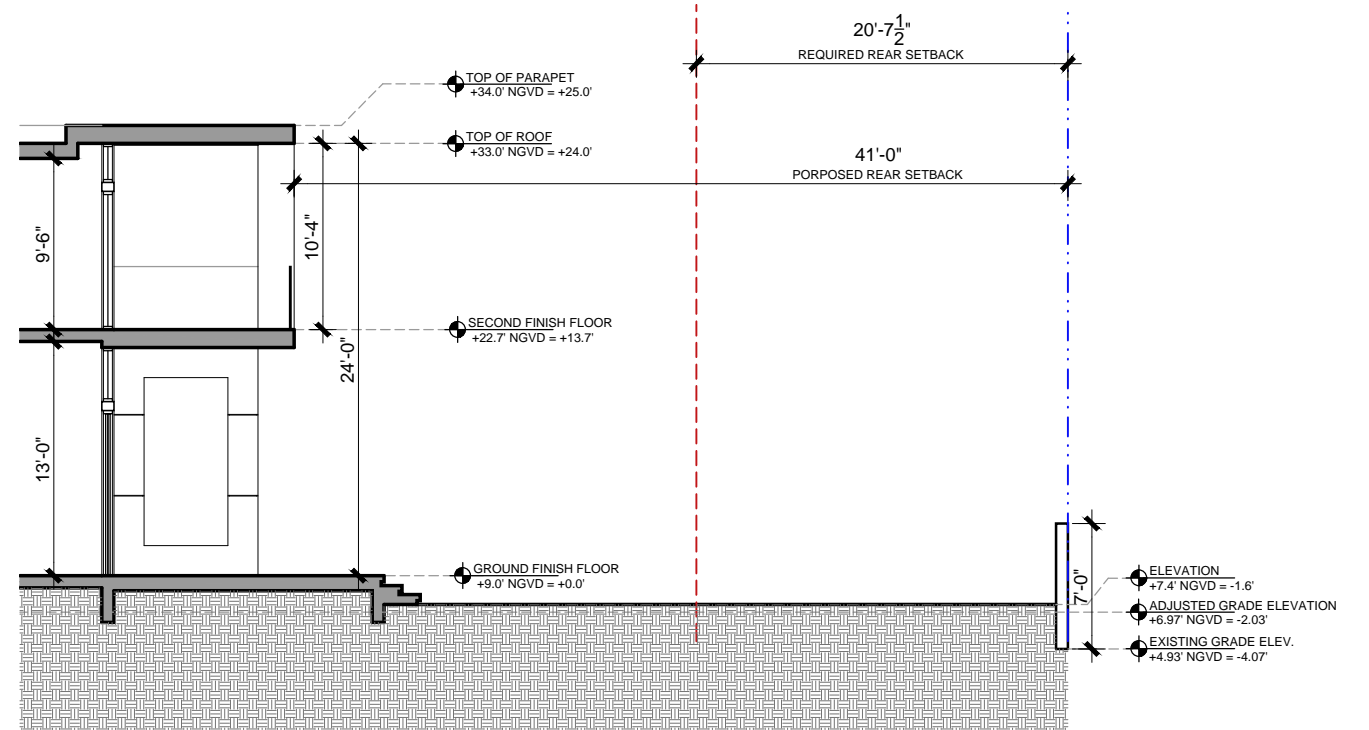
- PROPERTY LINE
- REQUIRED SETBACKS

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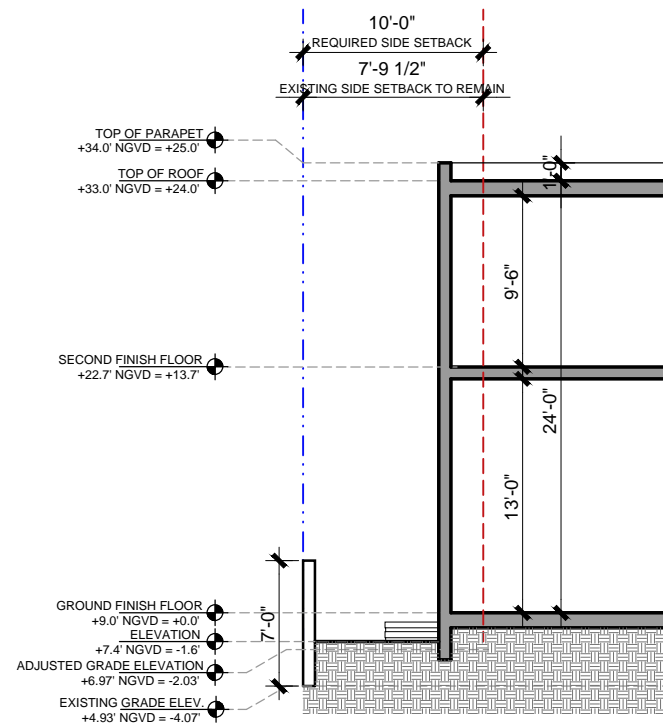
ELEVATIONS
A3.1



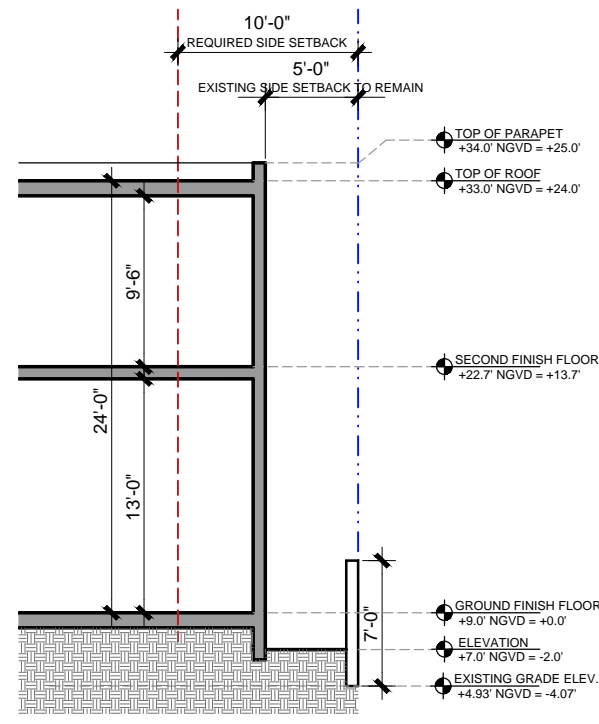
1 FRONT YARD SECTION
3/32" = 1'-0"



2 REAR YARD SECTION
3/32" = 1'-0"



3 SOUTH SIDE YARD SECTION
3/32" = 1'-0"



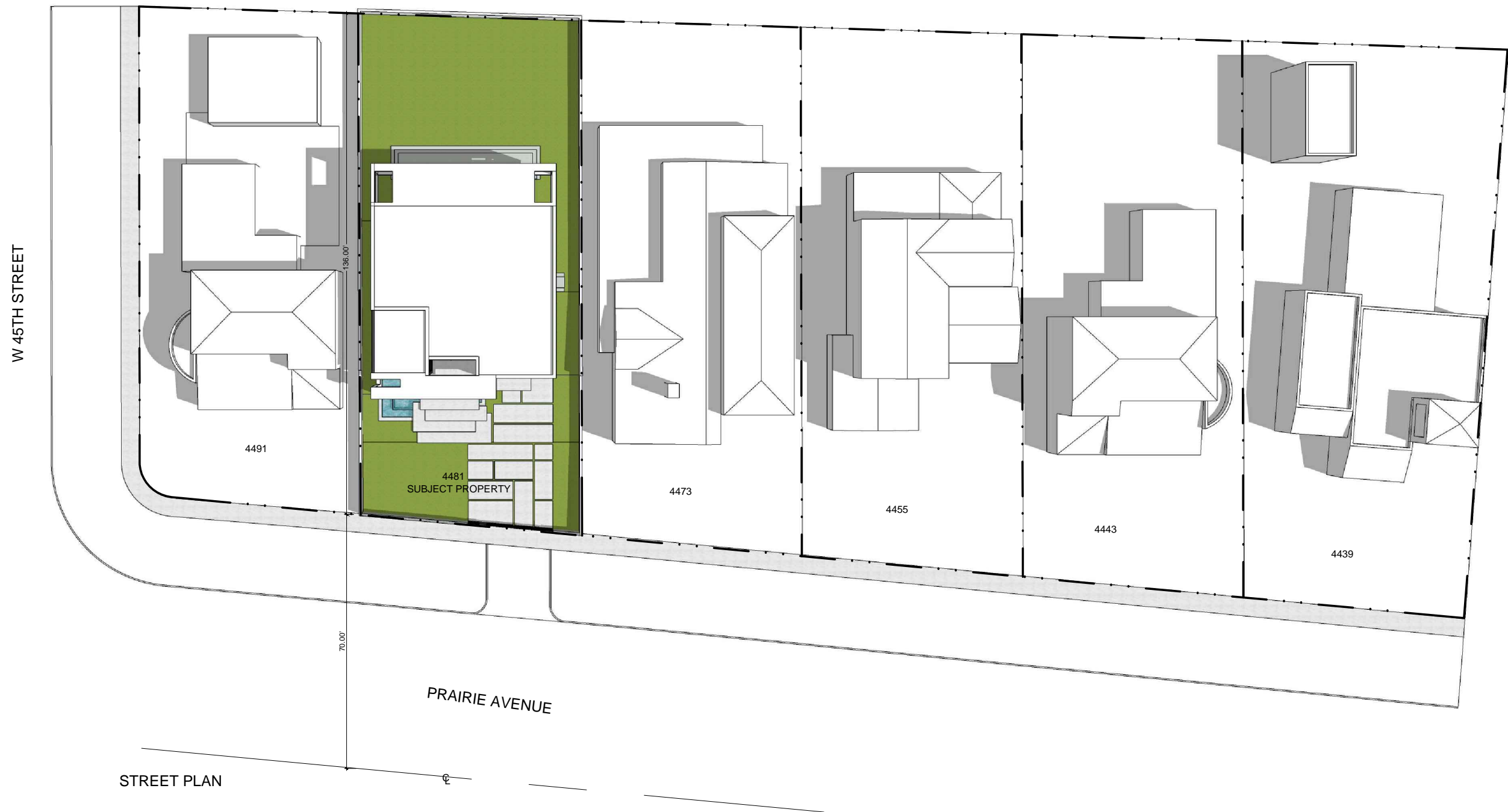
4 NORTH SIDE YARD SECTION
3/32" = 1'-0"

LEGEND:

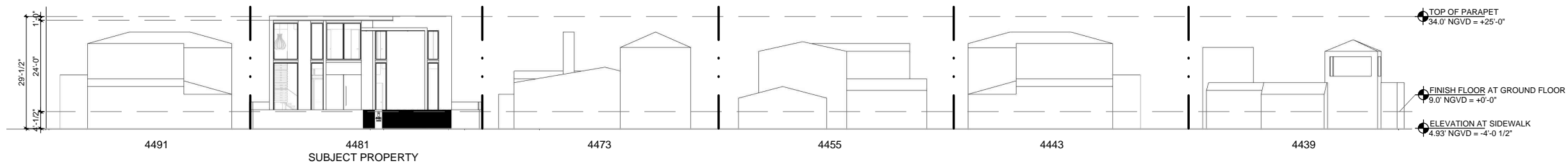
- PROPERTY LINE
- REQUIRED SETBACKS

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YARD SECTIONS
A3.2



STREET PLAN



STREET ELEVATION

1 BLOCK DIAGRAM

1/32" = 1'-0"

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BLOCK DIAGRAM A3.3

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12.09.19

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P-01 WHITE EXTERIOR STUCCO FINISH PAINTED



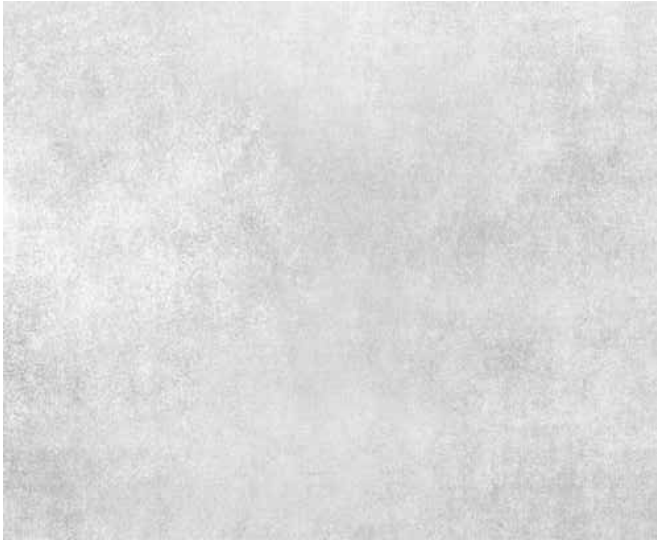
P-02 CONCRETE LOOK EXTERIOR STUCCO FINISH



T-01 EXTERIOR LIGHT BEIGE MATTE FINISH TILE



SM-01 EXTERIOR BROWN STONE FINISH



C-01 EXTERIOR CONCRETE FINISH



M-01 METAL & GLASS DOORS AND WINDOWS REFERENCE



M-02 METAL FENCE REFERENCE



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MATERIALS AND REFERENCE BOARD
A3.4



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RENDERINGS
A4.0

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RENDERINGS
A4.1

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**RENDERINGS
A4.2**

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RENDERINGS
A4.3

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RENDERINGS
A4.4

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RENDERINGS
A4.5

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