ZONING DATA SHEET

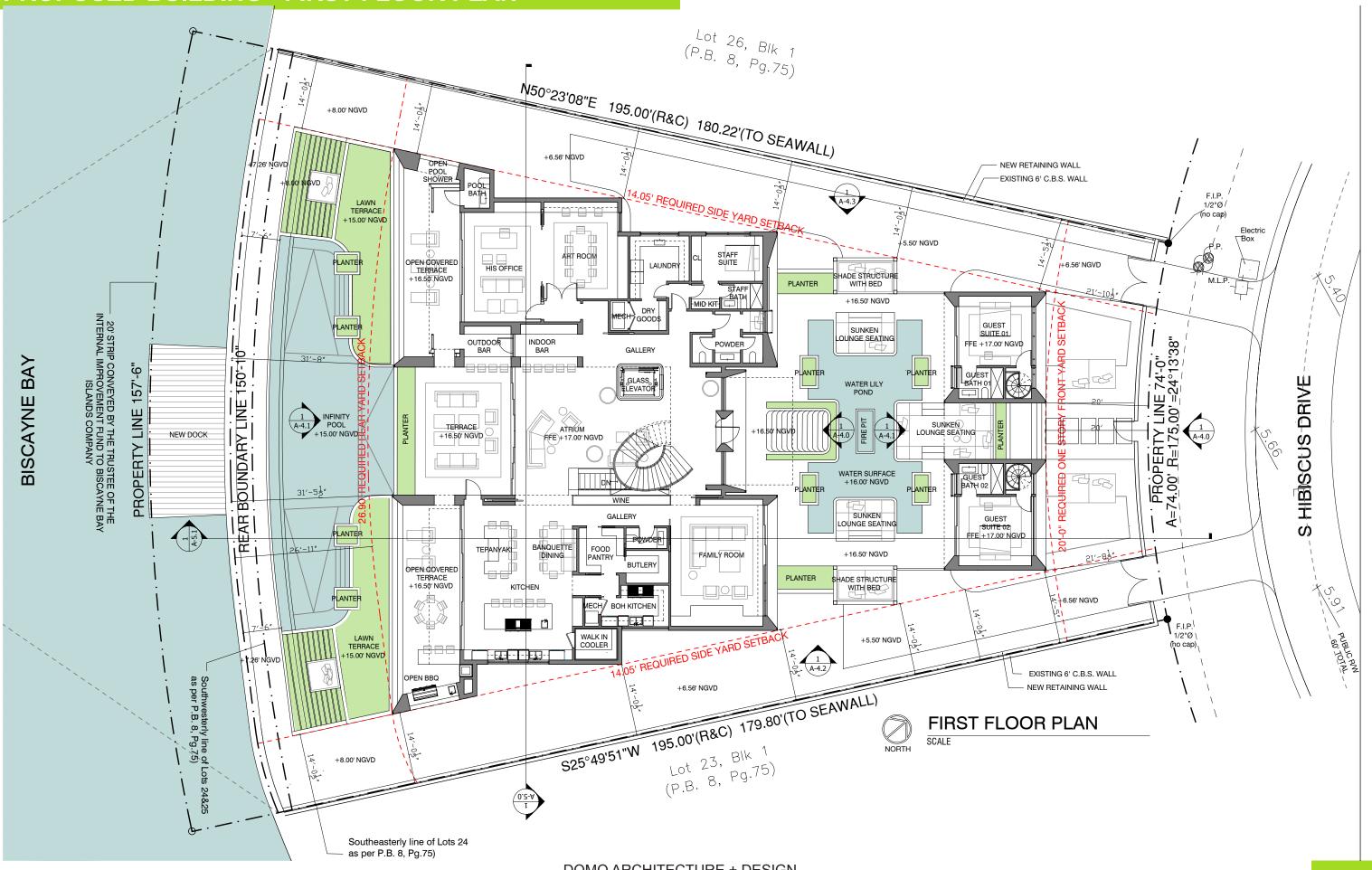
Planning Department, 1700 Convention Center Drive Miami Beach, Florida 33139, www.miamibeachfl.gov 305.673.7550

| | SING | LE FAMILY RESIDENT | TIAL - ZONING DAT | TA SHEET | |
|-----------|--|-------------------------|---|--|---------------------|
| | | | | | |
| ITEM # | Zoning Information | | | | |
| 1 | Address: | 420 S HIBISCUS DRIVE MI | AMI BEACH FL33139 | | |
| 2 | Folio number(s): | 02-3232-006-0210 | | | |
| 3 | Board and file numbers : | | ş | | |
| 4 | Year built: | 1937 | Zoning District: | | RS-3 |
| 5 | Based Flood Elevation: | +10'-0"NGVD | Grade value in NGVD: | | +5.66' NGVD |
| 6 | Adjusted grade (Flood+Grade/2): | +7.83' NGVD | Free board: | | +5.00' |
| 7 | Lot Area: | 19,687sf | | | |
| 8 | Lot width: | 112.42' | Lot Depth: | | 179.33' |
| 9 | Max Lot Coverage SF and %: | 5,906.10sf (30%) | Proposed Lot Coverage S | SF and %: | 5,829.73sf (29.61%) |
| 10 | Existing Lot Coverage SF and %: | TBD | Lot coverage deducted | (garage-storage) SF: | |
| 11 | Front Yard Open Space SF and %: | 1.095.51sf (70.00%) | Rear Yard Open Space SI | F and %: | 2,830.38sf (72.50%) |
| 12 | Max Unit Size SF and %: | 9,843.50sf (50%) | Proposed Unit Size SF ar | nd %: | 9,805.74sf (49.81%) |
| 13 | Existing First Floor Unit Size: | TBD | Proposed First Floor Uni | t Size: | 5,563.88sf |
| 14 | Existing Second Floor Unit Size | | and % (Note: to exceed | Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval) | |
| 15 | | TBD | Proposed Second Floor l | Jnit Size SF and %: | 3,974.95sf |
| 16 | | | Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below): | | 986.88sf (24.83%) |
| | | Required | Existing | Proposed | Deficiencies |
| 17 | Height: | 24'-0" (28'-0" w/DRB) | TBD | 28'-0" | N/A |
| 18 | Setbacks: | | | | |
| 19 | Front First level: | 20'-0" | TBD | 20'-0" | N/A |
| 20 | Front Second level: | 30'-0" | N/A | 30'-0" | N/A |
| 21 | Side 1: | 14.05' | TBD | 14.05' | N/A |
| 22 | Side 2 or (facing street): | 14.05' | TBD | 14.05' | N/A |
| 23 | Rear: | 26.09' | TBD | 26.09' | N/A |
| | Accessory Structure Side 1: | N/A | N/A | | N/A |
| 24 | Accessory Structure Side 2 or (facing street): | N/A | N/A | | N/A |
| 25 | Accessory Structure Rear: | N/A | N/A | N/A | N/A |
| 26 | Sum of Side yard : | 28.10' | TBD | 28.10' | 3'-0" |
| 27 | Located within a Local Historic District? |) | no | | |
| 28 | Designated as an individual Historic Single Family Residence Site? | | no | | |
| 29 | Determined to be Architecturally Significant? | | <u> </u> | no | |
| Notes: | | | | | |
| If not | applicable write N/A | | | | |
| All oth | her data information should be presented | d like the above format | | | |
| | | | | | |
| | | | | | |

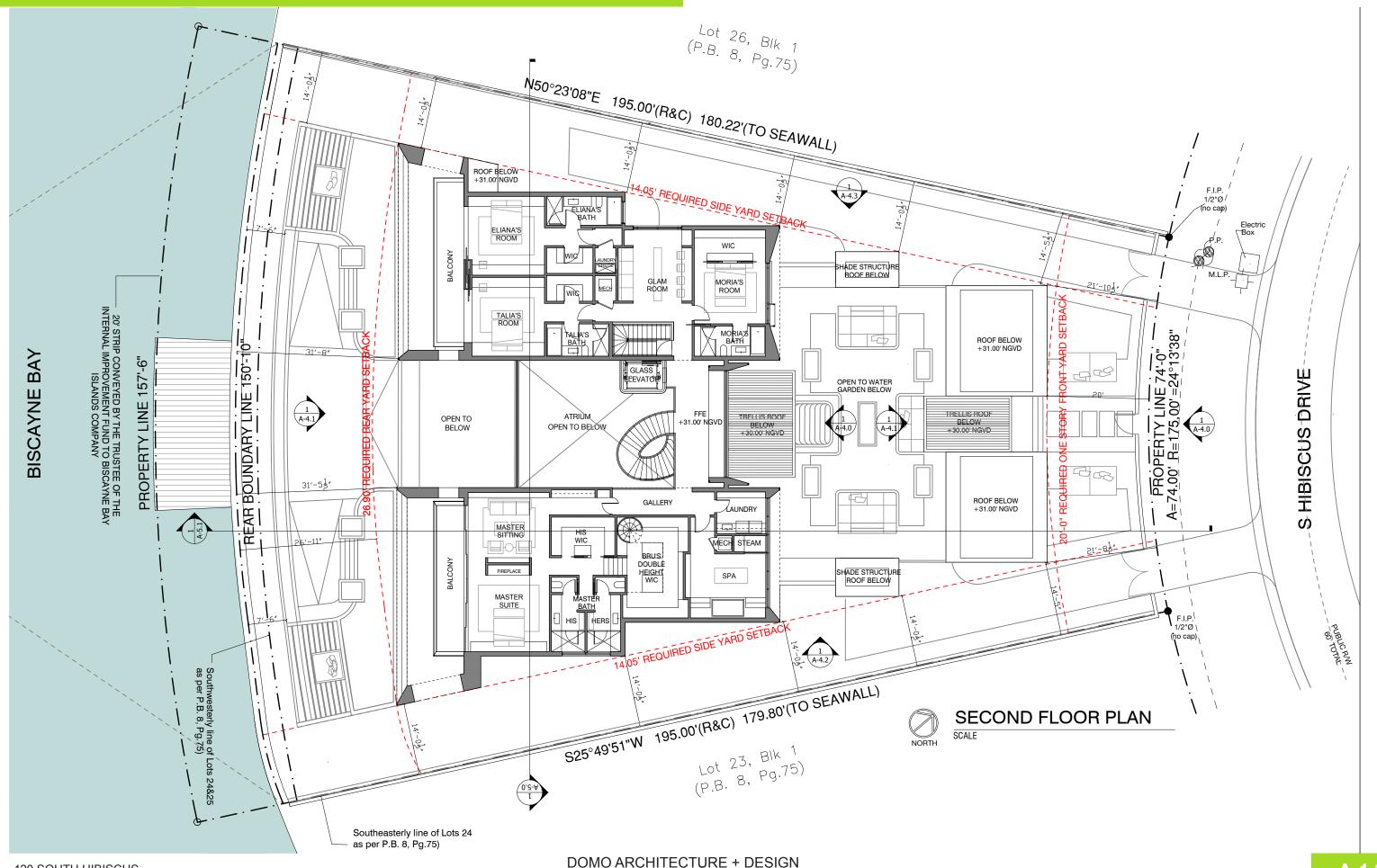
PROPOSED BUILDING - SITE PLAN Lot 26, Blk 1 (P.B. 8, Pg.75) N50°23'08"E 195.00'(R&C) 180.22'(TO SEAWALL) +8.00' NGVD NEW RETAINING WALL ROOF BELOW +31.00' NGVD REQUIRED SIDE YARD SE F.I.P. LAWN TERRACE 1/2"Ø/ (no cap) Electric ⊤Box 5.50' NGVD ROOF PLANTE +6.56' NGVD +43.00' NGVD HADE STRUCTURE M.L.P. ROOF BELOW PLANTER FFE +43.50' NGVD 20' STRIP CONVEYED BY THE TRUSTEE OF THE INTERNAL IMPROVEMENT FUND TO BISCAYNE BAY ISLANDS COMPANY PLANTER SUNKEN PROPERTY LINE 74-0" =74.00' R=175.00'=24°13'38" OUNGE SEATING ROOF BELOW BOUNDARY LINE 150'-10" +31.00' NGVD **BISCAYNE BAY** OPEN TO WATER GARDEN BELOW PROPERTY LINE 157'-6" de, HIBISCUS DRIVE WATER LILY 1 A-4.1 NEW ONE STORY NÉW TWO STOR' ORNAMENTAL ROOF FRAME +46.50' NGVD TRELLIS ROOF BELOW +30.00' NGVD OPEN TO NEW DOCK BELOW STRUCTURE SINGLE FAMIL RESIDENCE WATER SURFACE +16.00' NGVD PLANTER PLANTER 31'-5¹/₂" ROOF BELOW ROOF TERRACE 986.88sf (24.83%) SUNKEN REAR +31.00' NGVD LOUNGE SEATING S PLANTER SECOND FLOOR AREA=3,974.95sf 25%=993,74sf 21'-87 FFE +43.50' NGVD SHADE STRUCTURE ROOF +6.56' NGVD PLANTER +43.00' NGVD F.I.P. 14,05' REQUIRED SIDE YARD SETBAL PUBLIC AM 1/2"Ø\ +5.50 NGVD TERRACE +15.00' NGVD Southwesterly line of Lots 24&25 as per P.B. 8, Pg.75) \$25°49'51"W 195.00'(R&C) 179.80'(TO SEAWALL) NEW RETAINING WALL SITE PLAN Lot 23, Blk 1 (P.B. 8, Pg.75) NORTH +8.00' NGVD Southeasterly line of Lots 24 as per P.B. 8, Pg.75) **DOMO ARCHITECTURE + DESIGN** 420 SOUTH HIBISCUS ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING MIAMI BEACH, FLORIDA A26002383

PROPOSED BUILDING - UNDERSTORYPLAN Lot 26, Blk 1 (P.B. 8, Pg.75) N50°23'08"E 195.00'(R&C) 180.22'(TO SEAWALL) LANDSCAPE +8.00' NGVD NEW RETAINING WALL EXISTING 6' C.B.S. WALL REQUIRED SIDE YARD SETBACK F.I.P. 1/2"Ø/ LANDSCAPE (no cap) Electric Box +6 56' NGVD :XU OPEN AIR UNDERSTORY SAND SET PAVERS +5.25' NGVD LANDSCAPE +5.25' NGVD 20' STRIP CONVEYED BY THE TRUSTEE OF THE INTERNAL IMPROVEMENT FUND TO BISCAYNE BAY ISLANDS COMPANY A=74.00' R=175.00'=24°13'38" OPEN AIR UNDERSTORY GARDEN 50-10 SAND SET PAVERS **BISCAYNE BAY** +5.25' NGVD PROPERTY LINE 157'-6" COVERED DRIVEWAY DRIVE SAND SET PAVERS BOUNDARY LINE 1 +5.25' NGVD OPEN AIR $\frac{1}{A-4.1}$ WATER FEATURE UNDERSTORY A4.1 SLOPED GRAND STAIR TO WATER GARDEN COVERED POOL SAND SET PAVERS +5.25' NGVD CASCADE PEDESTRIAN ENTRY J 1.00 J NEW DOCK WATER SURFACE +5.00' NGVD HIBISCUS RESIDENTIAL UP LOWER FOYER LOWER OPEN AIR UNDERSTORY SAND SET PAVERS GARDEN AR +5.25' NGVD S OPEN AIR LANDSCAPE +5.25' NGVD FIXED SCREEN-UNDERSTORY (50% OPEN) SAND SET PAVERS +5.25' NGVD 10 +6.56 NGVD EXISTING 6' C.B.S. WALL Southwesterly line of Lots 24&25 as per P.B. 8, Pg. 75) \$25°49'51"W 195.00'(R&C) 179.80'(TO SEAWALL) NEW RETAINING WALL **UNDERSTORY PLAN** Lot 23, BIK 1 (P.B. 8, Pg.75) NORTH LANDSCAPE Southeasterly line of Lots 24 as per P.B. 8, Pg.75)

PROPOSED BUILDING - FIRST FLOOR PLAN



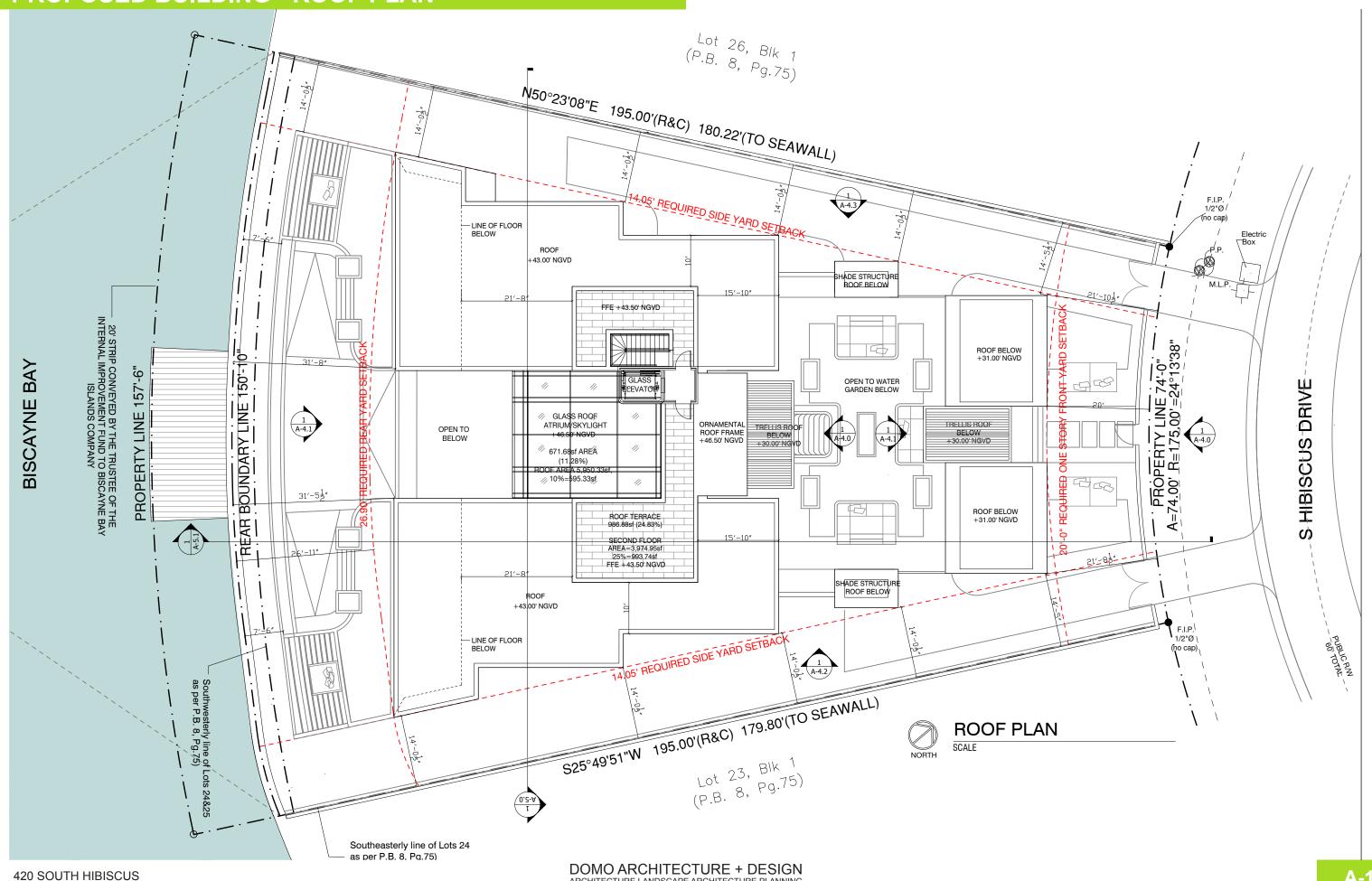
PROPOSED BUILDING - SECOND FLOOR PLAN



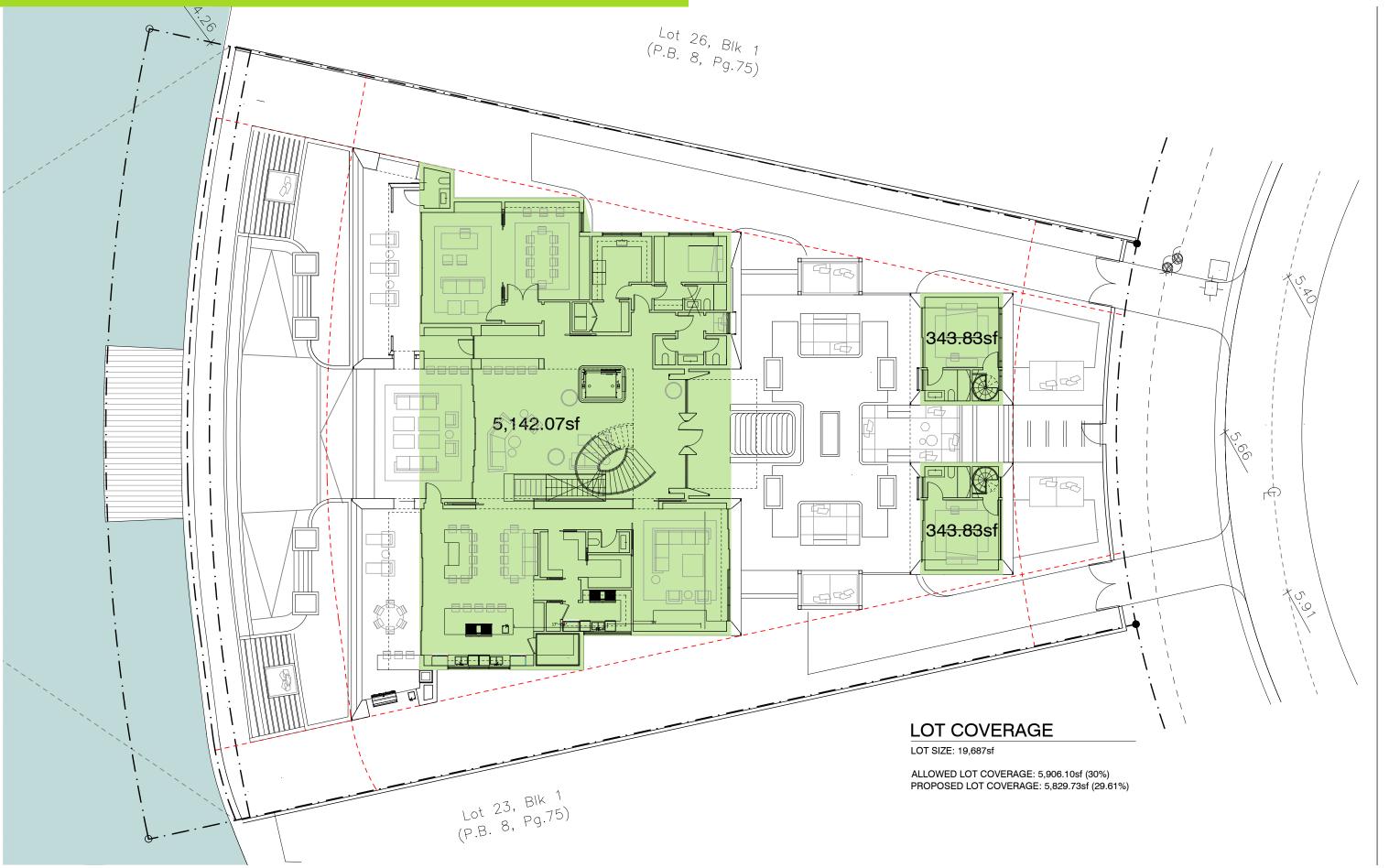
420 SOUTH HIBISCUS MIAMI BEACH, FLORIDA DOMO ARCHITECTURE + DESIGN ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING A26002383

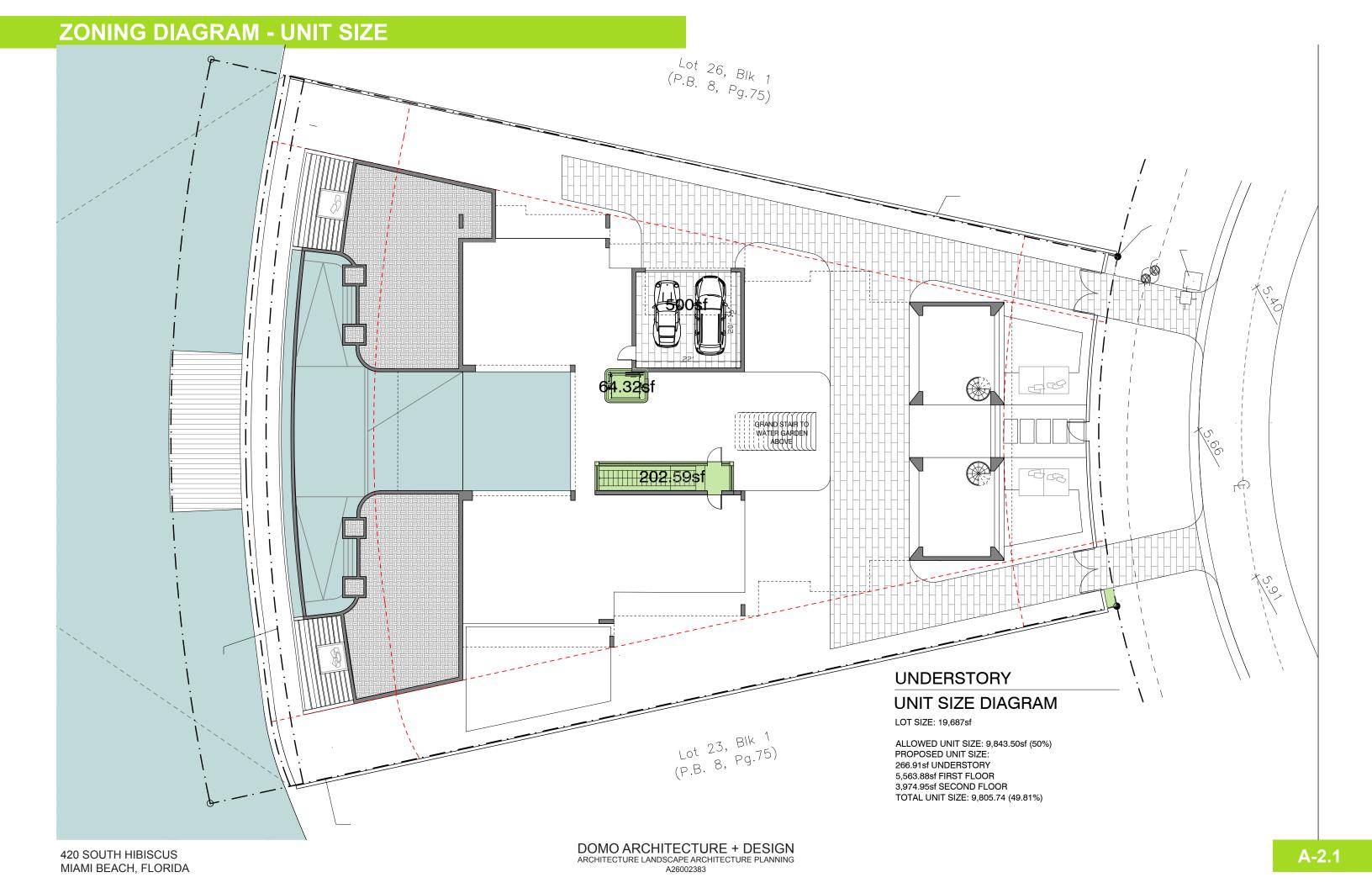
PROPOSED BUILDING - ROOF PLAN

MIAMI BEACH, FLORIDA



ZONING DIAGRAM - LOT COVERAGE





ZONING DIAGRAM - UNIT SIZE Lot 26, Blk 1 (P.B. 8, Pg.75) 122.36sf ·801 343.83sf 93 4,619.47sf tu.00 4 343.83sf 134.39sf * to FIRST FLOOR PLAN **UNIT SIZE DIAGRAM** LOT SIZE: 19,687sf ALLOWED UNIT SIZE: 9,843.50sf (50%) PROPOSED UNIT SIZE: Lot 23, Blk 1 (P.B. 8, Pg.75) 266.91sf UNDERSTORY 5,563.88sf FIRST FLOOR 3,974.95sf SECOND FLOOR TOTAL UNIT SIZE: 9,805.74 (49.81%) DOMO ARCHITECTURE + DESIGN ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING A-2.2 420 SOUTH HIBISCUS MIAMI BEACH, FLORIDA A26002383

ZONING DIAGRAM - UNIT SIZE Lot 26, Blk 1 (P.B. 8, Pg.75) 98 3,974.95sf 4000 SECOND FLOOR PLAN **UNIT SIZE DIAGRAM** LOT SIZE: 19,687sf Lot 23, Blk 1 (P.B. 8, Pg.75) ALLOWED UNIT SIZE: 9,843.50sf (50%) PROPOSED UNIT SIZE: 266.91sf UNDERSTORY 5,563.88sf FIRST FLOOR 3,974.95sf SECOND FLOOR TOTAL UNIT SIZE: 9,805.74 (49.81%) DOMO ARCHITECTURE + DESIGN ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING A-2.3 420 SOUTH HIBISCUS MIAMI BEACH, FLORIDA A26002383

ZONING DIAGRAM - OPEN SPACE Lot 26, Blk 1 (P.B. 8, Pg.75) 134.73sf 249.47sf 77.31sf 27.34sf 426.37sf 96.80sf **POOL** 1,424.10sf 1,182.39\$f x.5=591.20sf4 417.67sf 27.34sf -- E -------242.83sf 133 18sf -------FIRST FLOOR PLAN **OPEN SPACE DIAGRAM** FRONT YARD AREA: 1,564.96sf Lot 23, Blk 1 (P.B. 8, Pg.75) REQUIRED OPEN SPACE: 1,095.47sf (70.00%) PROPOSED OPEN SPACE: 1,095.51sf (70.00%) REAR YARD AREA: 3,903.75sf REQUIRED OPEN SPACE: 2,732.63sf (70.00%) PROPOSED OPEN SPACE: 2,830.38sf (72.50%) DOMO ARCHITECTURE + DESIGN ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING A-2.4 420 SOUTH HIBISCUS MIAMI BEACH, FLORIDA A26002383

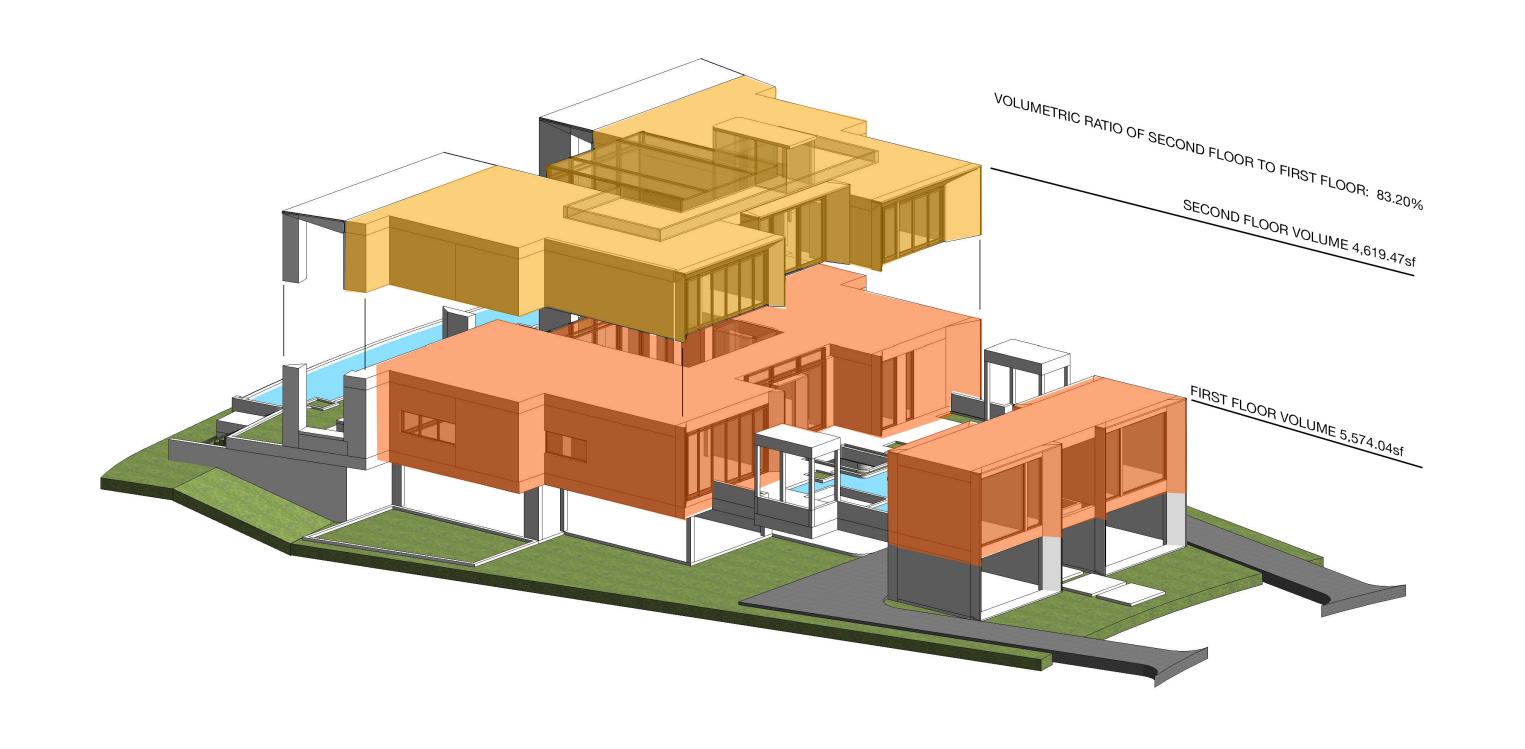
AXONOMETRIC VIEWS





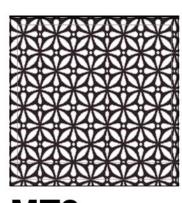








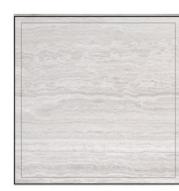
MT1
ALUMINUM MULLIONS
- BRONZE FINISH



MT2
ALUMINUM SCREEN
- BRONZE FINISH



WD1
ALUMINUM WALL
CLADDING- WOOD FINISH



ST1
STONE CLADDING



PS1
PAINTED STUCCO
FINISH

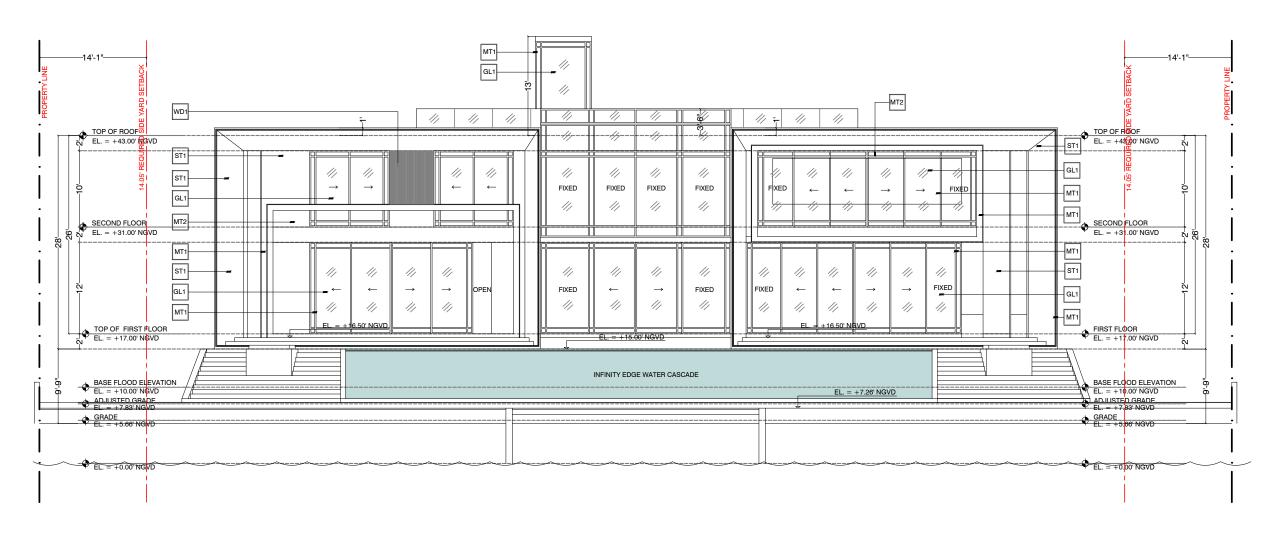


GL1
CLEAR IMPACT GLAS

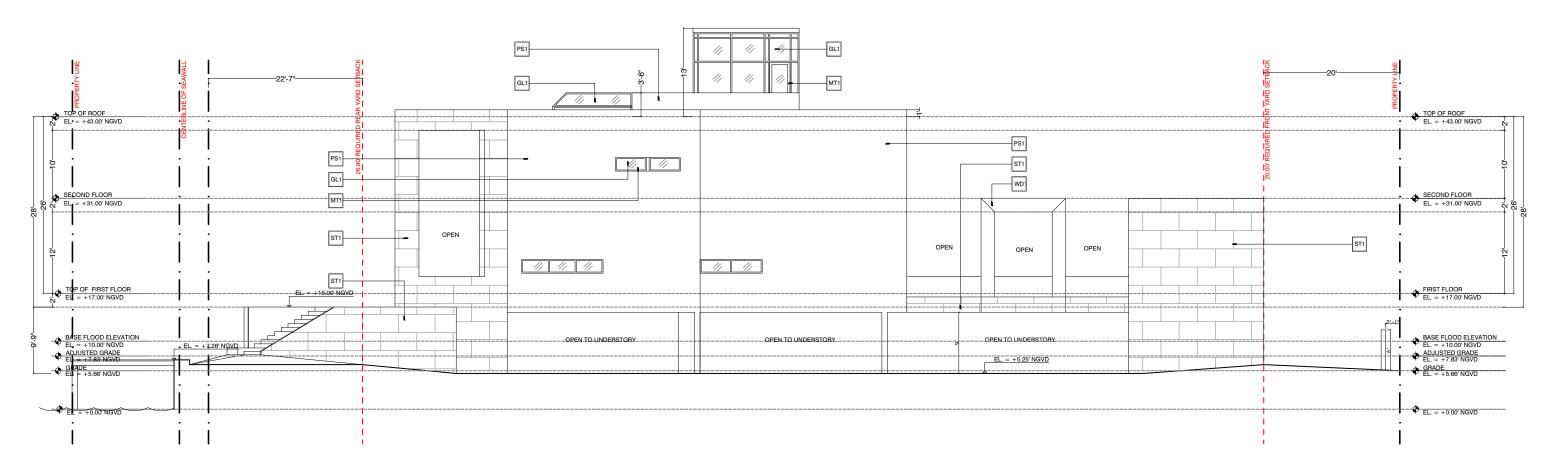


2 NORTH ELEVATION

SCALE - 1/8" = 1'-0"

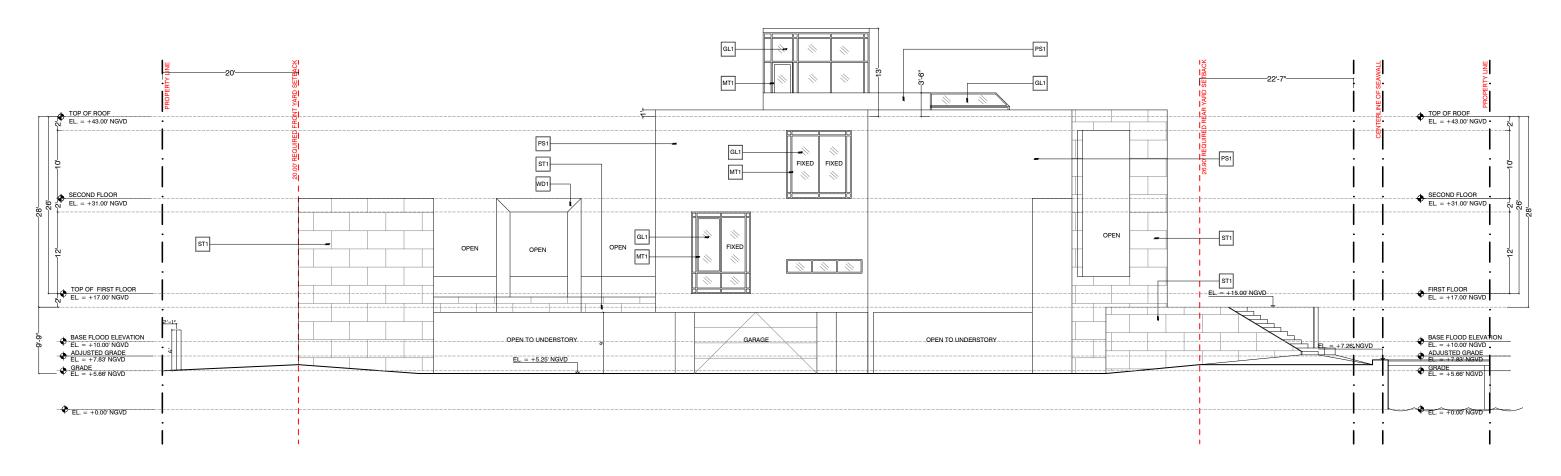


1 SOUTH ELEVATION
SCALE - 1/8" = 1'-0"

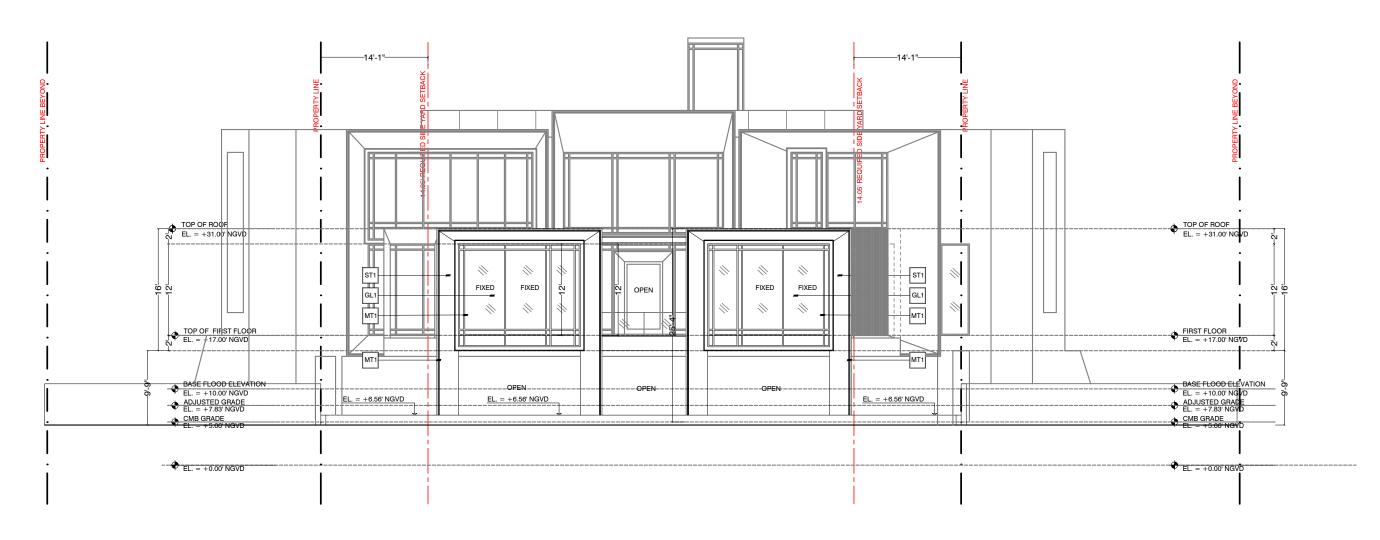


1 EAST ELEVATION

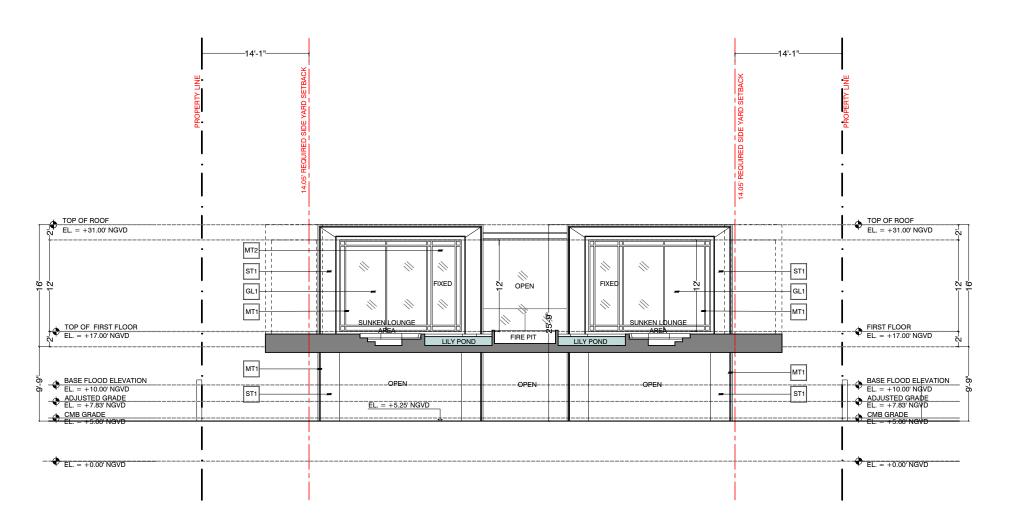
SCALE - 1/8" = 1'-0"



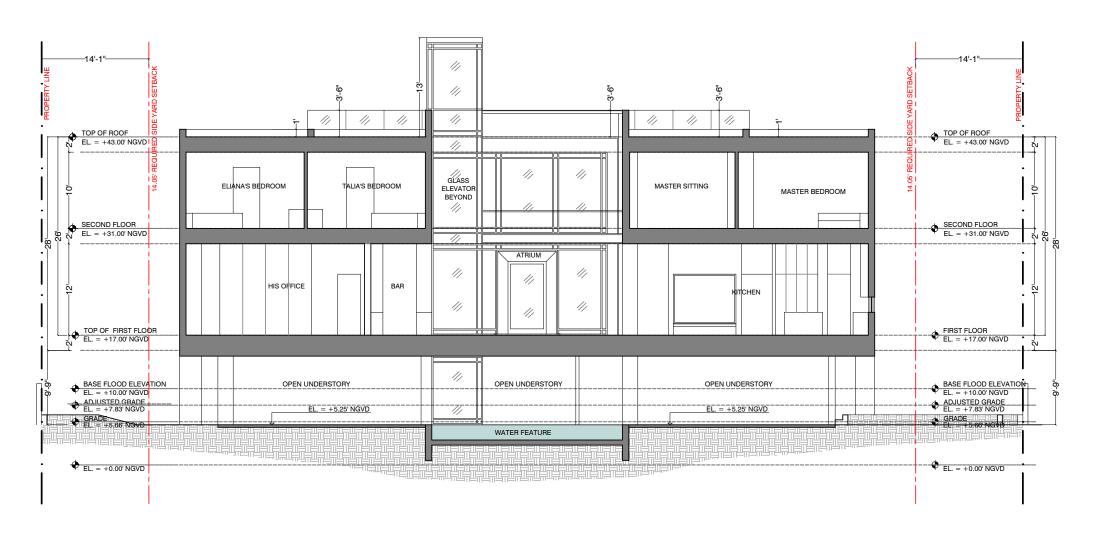
1 WEST ELEVATION
SCALE - 1/8" = 1'-0"



1 NORTH ELEVATION - GUEST HOUSE SCALE - 1/8" = 1'-0"

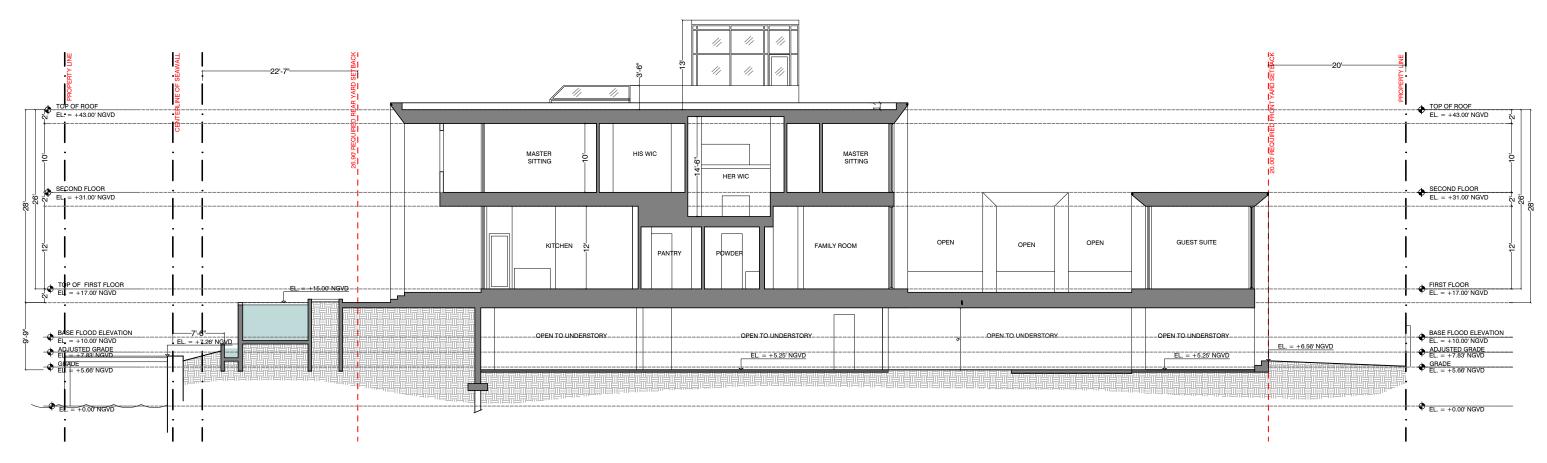


1 SOUTH ELEVATION - GUEST HOUSE SCALE - 1/8" = 1'-0"

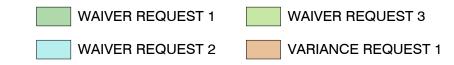


TRANSVERSE SECTION

SCALE - 1/8" = 1'-0"

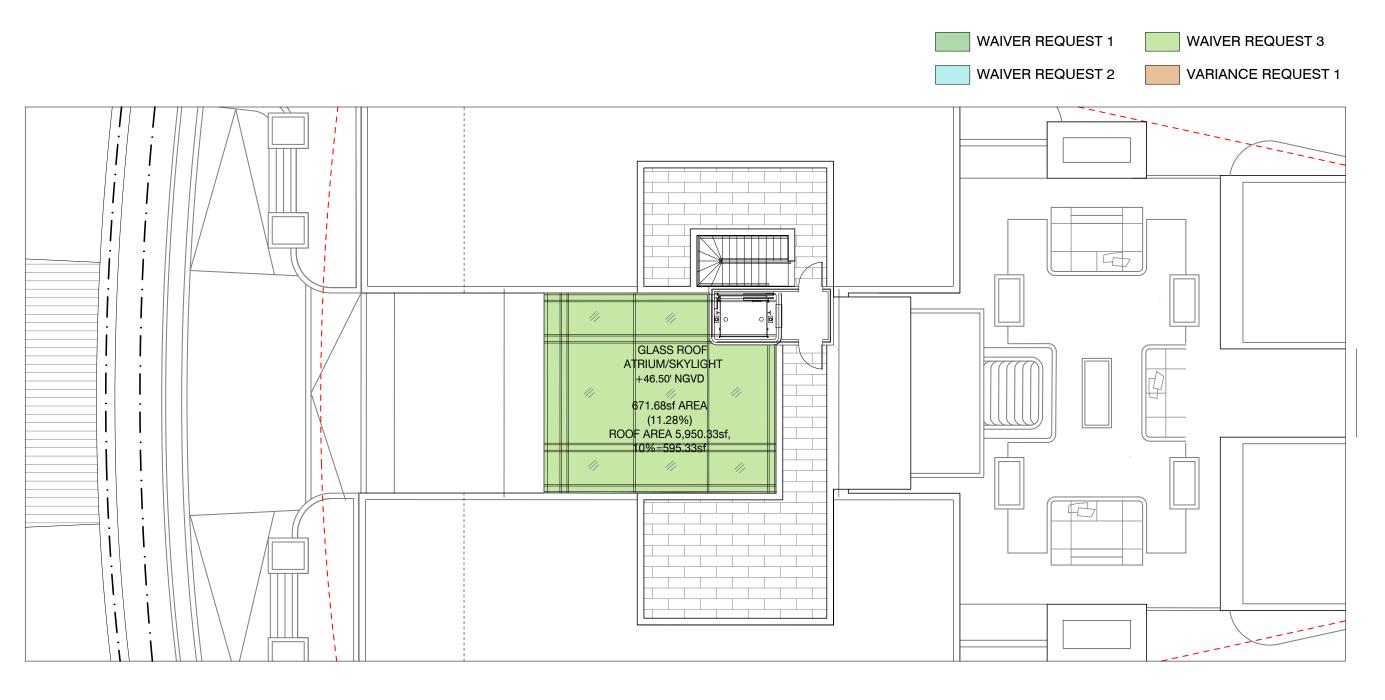


1 | LONGITUDINAL SECTION | SCALE - 1/8" = 1'-0"





1 WAIVER/VARIANCE DIAGRAM
SCALE - 1/8" = 1'-0"



WAIVER/VARIANCE DIAGRAM

SCALE - 1/8" = 1'-0"

CMB YARD GRADE CACULATIONS

| Calculation of Minimum ar | nd Maximum Yards | |
|---------------------------|---------------------------------------|--------|
| PROPERTY CONDITIONS | | |
| | Waterfront Lot (Yes/No) | YES |
| | Corner property (Yes/No) | NO |
| | Sidewalk (yes/no) | NO |
| | Sidewalk elevation at the centerline | |
| | of the front of the property | 0.000 |
| | Crown of road at center of property | |
| | (if no sidwalk exists or is proposed) | 5.660 |
| | Flood Elevation | 10.000 |
| | Freeboard (provided) | 5.000 |
| | | |
| INITEDIOD CIDEVADO CONO | III. 0.1.0 | |

INTERIOR SIDEYARD CONDITIONS

Inidcate yes only for the condition that applies

Max. Yard Elevation

| | Default Condion unless one of the below applies | |
|-----|--|--------|
| Yes | Maximum Yard Elevation | 8.160 |
| | Is the average grade of adjacent lot along the | |
| | abutting side yard equal or greater than adjusted grade? | 10.330 |
| | | |
| | Is the abutting property vacant? | 10.330 |
| | Is their a joint agreement between abutting properties, | |
| | for a higher elevation, not to exceed flood elevation? | 10.000 |

REAR YARD CONDITIONS

Inidcate yes only for the condition that applies

Max. Yard Elevation

| | Default Condion unless one of the below applies | |
|-----|--|--------|
| Yes | Maximum Yard Elevation | 8.160 |
| | Is the average grade of adjacent lot along the | |
| | abutting side yard equal or greater than adjusted grade? | 10.330 |
| | | |
| | Is the abutting property vacant? | 10.330 |
| | Is their a joint agreement between abutting properties, | |
| | for a higher elevation, not to exceed flood elevation? | 10.000 |

RESULTS

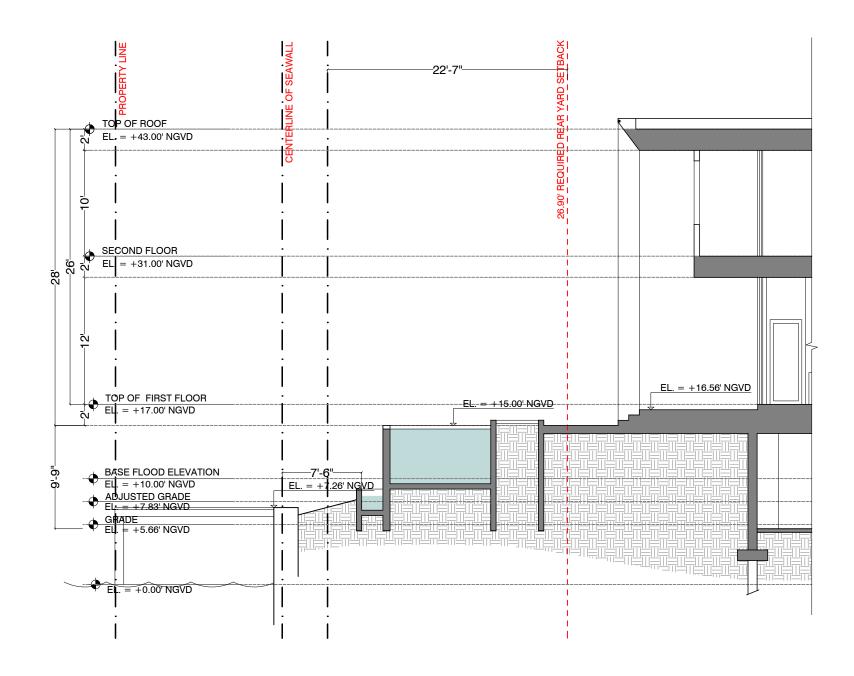
420 SOUTH HIBISCUS MIAMI BEACH, FLORIDA

| Grade | 5.66 |
|------------------------------|--------|
| Adjusted Grade | 7.83 |
| 30" above Grade | 8.16 |
| Future Crown of Road | 5.25 |
| Future Adjusted Grade | 8.125 |
| Minimum Freeboard Elev. | 11.000 |
| Maximum Freeboard Elev. | 15.000 |
| Minimum Yard Elevation | 6.56 |
| Min. Garage elevation (for a | |
| detached or attached garage, | |
| not under the house | 7.83 |
| Minimum garage ceiling | |
| elevation | 19.000 |
| | |

| Front Yard | | |
|--------------------|--------|--|
| Min Yard Elevation | 6.560 | |
| Max Yard Elevation | 8.160 | |
| Interior Side | | |
| Min Yard Elevation | 6.560 | |
| Max Yard Elevation | 8.160 | |
| Interior Side | | |
| Min Yard Elevation | 6.560 | |
| Max yard Elevation | 8.160 | |
| Waterfront | | |
| Min Yard Elevation | 6.560 | |
| Max Yard Elevation | 15.000 | |
| | | |

| | Waterfront Minimum Yard Elevation: 6.560 Maximum Yard Elevation: 15.000 | |
|---|---|--|
| Interior Side Yard Minimum Yard Elevatir6.560 Maximum Yard Elevati8.160 | | Interior Side Minimum Yard Elevatir 6.560 Maximum Yard Elevati 8.160 |
| | Front Yard Minimum Yard Elevation: 6.560 Maximum Yard Elevation: 8.160 | |

FRONT AND REAR YARD SECTION



GUEST SUITE

SECOND FLOOR
EL = +31.00 NGVD

PIRST FLOOR
EL = +117.00 NGVD

PIRST FLOOR
EL = +110.00 NGVD

BASE FLOOD ELEVATION
EL = +10.00 NGVD

EL = +10.00 NGVD

GRADE
EL = +5.56 NGVD

EL = +5.66 NGVD

EL = +5.66 NGVD

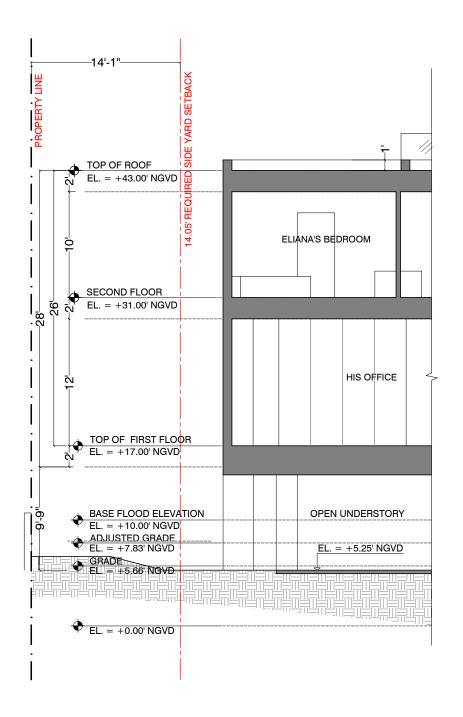
TOP OF ROOF

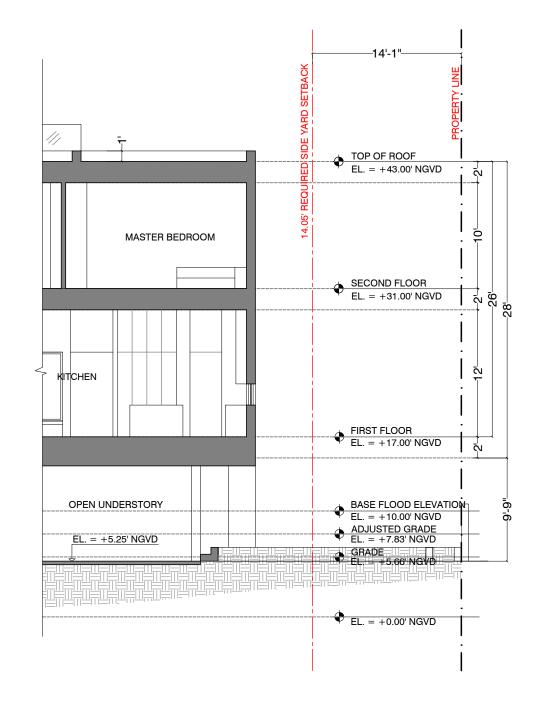
EL. = +43.00' NGVD

1 REAR YARD SECTION
SCALE - 1/8" = 1'-0"

2 FRONT YARD SECTION
SCALE - 1/8" = 1'-0"

SIDE YARDS SECTIONS





1 EAST SIDE YARD SECTION
SCALE - 1/8" = 1'-0"

2 WEST SIDE YARD SECTION
SCALE - 1/8" = 1'-0"

