

220 W . RESIDENCE

220 WEST DILIDO DRIVE | MIAMI BEACH, FLORIDA 33139

FOLIO: 02-3232-011-0180

DRB19-0451

SCOPE OF WORK

NEW 2-STORY HOME ON VACANT LOT  
WITH WAIVERS FOR SECOND FLOOR  
AREA AND LOCATION OF ELEVATOR.  
AND ADDITIONAL OPEN SPACE.



FINAL SUBMITTAL

AUGUST 05, 2019

[STRANG] ARCHITECTURE

FIRM LICENSE NO. AA26001123

2900 SW 28th TERRACE, STE 301 MIAMI, FL 33133

PH:305.373.4990      FAX: 305.373.4991

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PROJECT LOCATION:  
20 W DILIDO DR  
MIAMI BEACH, FL 33139, USA

PROJECT CLIENT(S) / OWNER(S):  
MAESTRIA REAL ESTATE, INC.

ARCHITECT:  
MAX WILSON STRANG, FAIA  
LICENSE # AR0017183  
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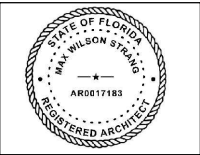
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LANDSCAPE ARCHITECT:  
 PENELOPE GARDEN DESIGN  
 7580 NE 4TH. CT. – STUDIO 105  
 MIAMI, FL, 33138

CIVIL ENGINEER:  
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PROJECT NAME:  
20 WEST DILIDO

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## Sheet No:

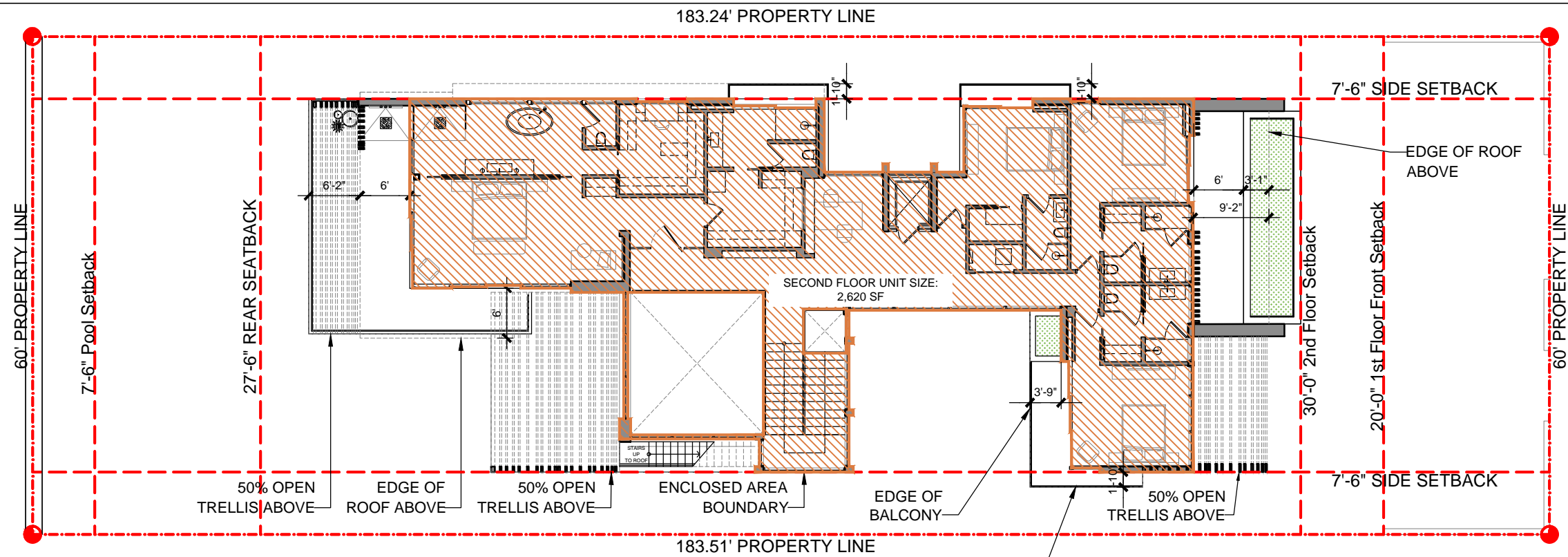
# A-002

ITEM #	ZONING INFORMATION				
1	ADDRESS:	220 W. DI LIDO D, MIAMI BEACH, FL 33139			
2	FOLIO NUMBER(S):	02-3232-011-0180			
3	BOARD & FILE NUMBERS:	DRB19-0451			
4	YEAR BUILT:	N/A	ZONING DISTRICT:	RS-3	
5	BASE FLOOD ELEVATION:	(AE) + 9.0' NGVD	GRADE VALUE IN NGVD:	+ 4.99' NGVD	
6	ADJUSTED GRADE :	+ 6.995' NGVD	FREE BOARD:	+5 FT	
7	LOT AREA:	10,980 SF			
8	LOT WIDTH:	60 FT	LOT DEPTH:	183 FT	
9	MAX LOT COVERAGE SF AND %:	3,294 SF (30%)	PROPOSED LOT COVERAGE SF AND %:	3,262 SF (29.7%)	
10	EXISTING LOT COVERAGE SF AND %:	N/A	LOT COVERAGE DEDUCTED (GARAGE/STORAGE) SF:	600 SF	
11	FRONT YARD OPEN SPACE SF AND %:	665 SF (55.4%)	REAR YARD OPEN SPACE SF AND %:	1,191 SF (72.2%)	
12	MAX UNIT SIZE ALLOWED SF AND %:	5,490 SF (50%)	PROPOSED UNIT SIZE TOTAL SF AND %:	5,488 SF (49.9%)	
13	EXISTING FIRST FLOOR UNIT SIZE:	N/A	PROPOSED FIRST FLOOR UNIT SIZE:	2,750 SF	
14	EXISTING SECOND FLOOR UNIT SIZE:	N/A	PROPOSED SECOND FLOOR VOLUMETRIC SIZE SF AND %	* 112% OF FIRST FLOOR SIZE.	
15			PROPOSED SECOND FLOOR UNIT SIZE:	2,620 SF	
16			PROPOSED UNDERGROUND FLOOR UNIT SIZE:	48 SF	
17			PROPOSED ROOF LEVEL UNIT SIZE:	70 SF	
18			PROPOSED ROOF DECK AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	** 734 SF	
* VOLUMETRIC SIZE CALCULATED AS FOLLOWS: 2ND FLOOR ENCLOSED AREA DIVIDED BY 1ST FLOOR ENCLOSED AREA = VOLUMETRIC SIZE. PER SEC. 142.105(b)(4)c. "WAIVER REQUEST"					
** ROOF DECK AT 734 S.F. IS 24.8% OF ENCLOSED SECOND FLOOR AREA.					
ITEM #		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
19	HEIGHT:	24' FLAT	N/A	24'-0"	N/A
20	SETBACKS:				
21	FRONT FIRST LEVEL:	30'	N/A	30'	N/A
22	FRONT SECOND LEVEL:	30'	N/A	42'-11"	N/A
23	SIDES:	7'-6"	N/A	7'-6"	N/A
24	REAR:	27'-6" OR 15% OF LOT DEPTH	N/A	40'-10"	N/A
	ACCESSORY STRUCTURE SIDE 1:	7'-6"	N/A	N/A	N/A
25	ACCESSORY STRUCTURE SIDE 2:	7'-6"	N/A	N/A	N/A
26	ACCESSORY STRUCTURE REAR:	15'	N/A	N/A	N/A
27	SUM OF SIDE YARD:	25% OF LOT WIDTH	N/A	15'-0"	N/A
28	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?			NO	
29	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE?			NO	
30	DETERMINED TO BE ARCHITECTURALLY SIGNIFICANT?			NO	

**1 ZONING LEGEND**  
SCALE: N.T.S.

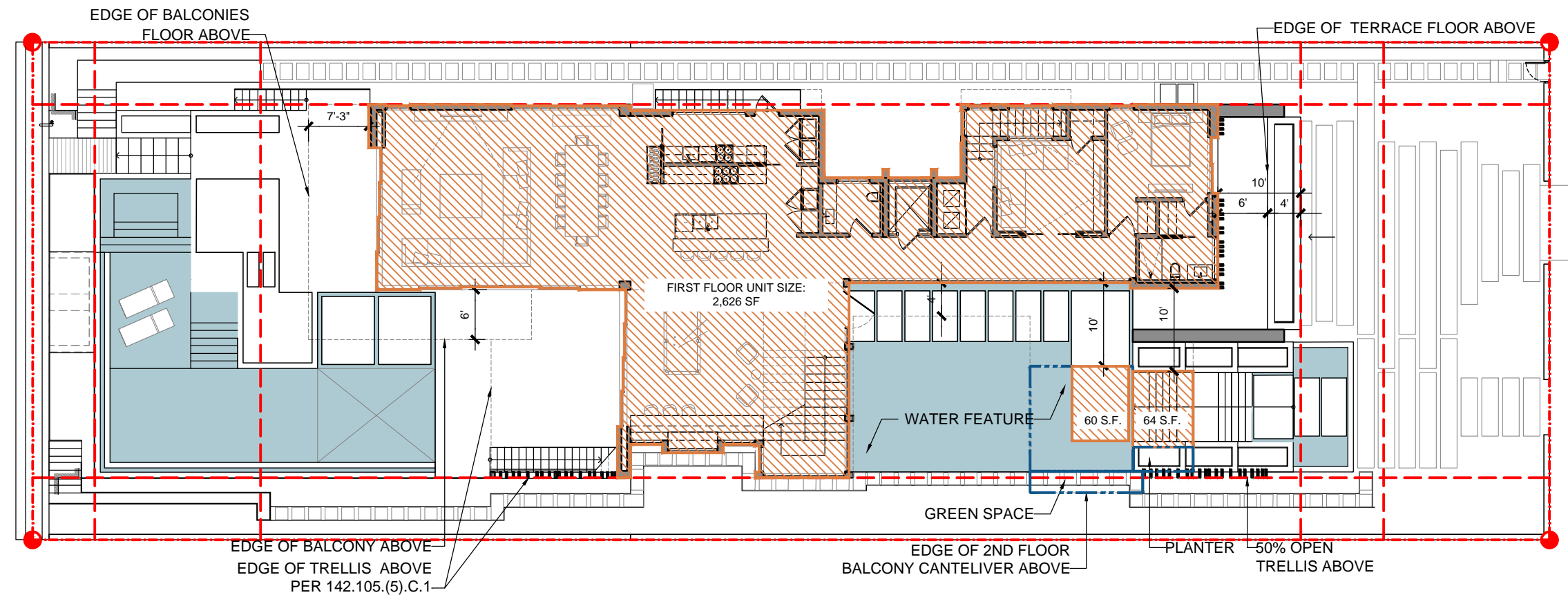
NOTE: SEE SHEET A-003, A-004 & A-005 FOR  
ADDITIONAL AREA CALCULATION DIAGRAM.





SECOND FLOOR BALCONY, TYP.  
MAX EXTENSION INTO SETBACK PER SEC.  
142-1132 (O) OF THE MIAMI BEACH ZONING  
ORDINANCES.

**2 PROPOSED SECOND FLOOR UNIT SIZE**  
SCALE: 1/16" = 1'-0"  
2ND FLOOR UNIT SIZE : 2,620 SQ. FT  
2ND FLOOR ENCLOSED AREA: 2,953 SQ. FT\*



NON-HABITABLE COVERED AREA NOT  
COUNTED IN UNIT SIZE CALCULATIONS

**1 PROPOSED FIRST FLOOR UNIT SIZE**  
SCALE: 1/16" = 1'-0"  
1ST FLOOR UNIT SIZE: 2,750 SQ. FT  
1ST FLOOR ENCLOSED AREA: 2,626 SQ. FT\*  
\*WAIVER OF SECOND FLOOR VOLUME

NOTE: SEE SHEET A-003, A-004 & A-005 FOR  
ADDITIONAL AREA CALCULATION DIAGRAMS.

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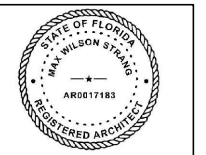
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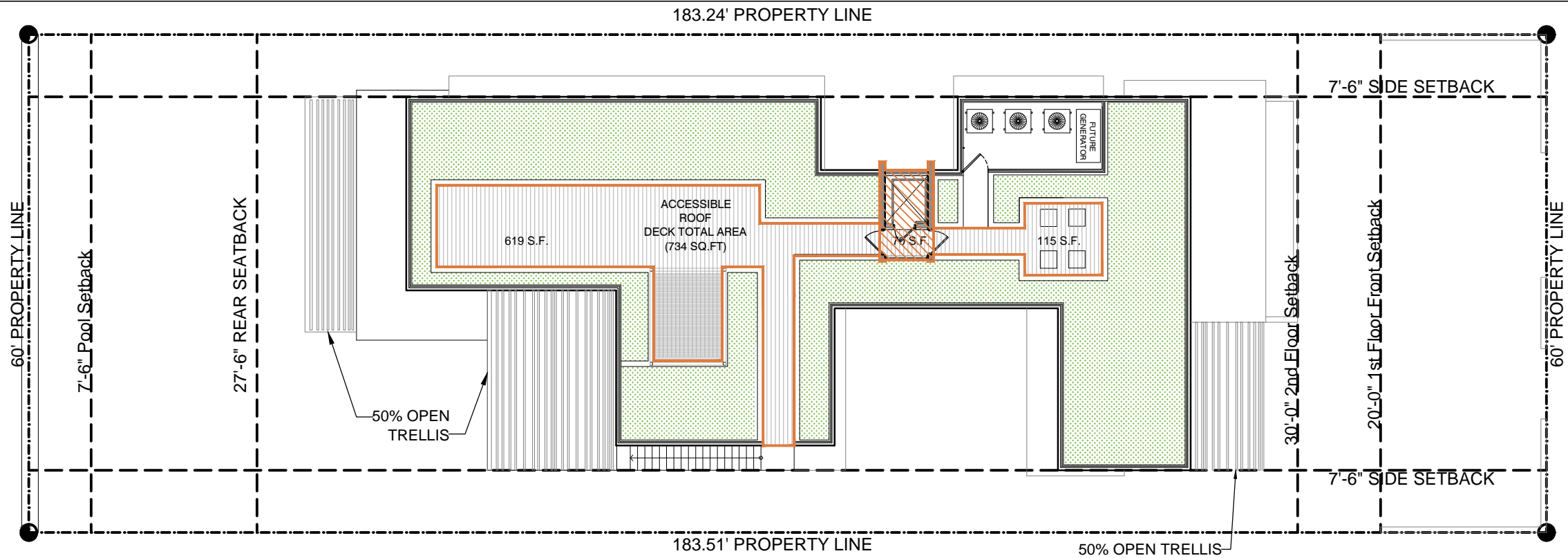
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**ZONING  
DIAGRAMS**

Sheet No:

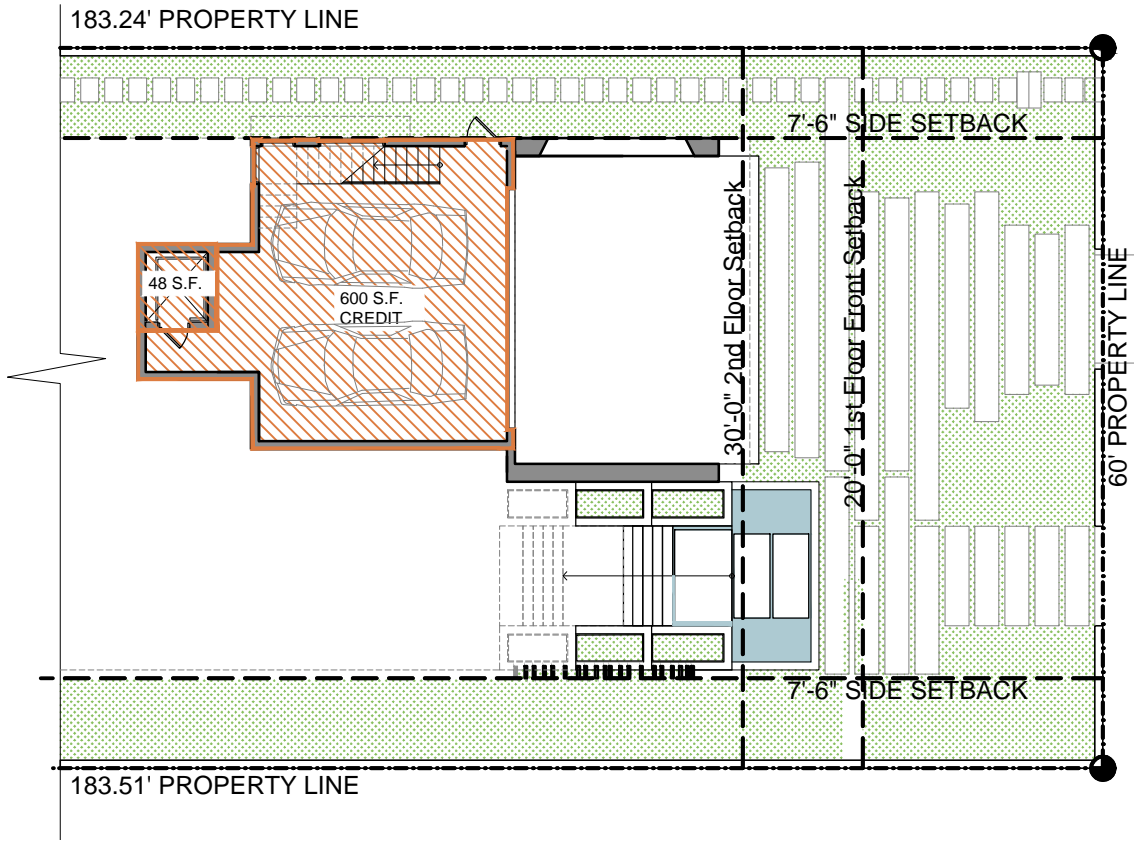
**A-003**



ROOF DECK AREA (25% OF ENCLOSED AREA DIRECTLY BELOW):  
2ND FLOOR ENCLOSED AREA: 2,953 SQ. F.T.  
25% OF 2953 S.F. = 738 SQ. F.T. (MAX. ALLOWED)

2 ROOF UNIT SIZE  
SCALE: 1/16" = 1'-0"

ROOF UNIT SIZE:  
ROOF DECK AREA (PROPOSED) : 70 SQ. FT.  
734 SQ. FT.



1 PROPOSED UNDERGROUND FLOOR UNIT SIZE  
SCALE: 1/16" = 1'-0"

UNDERGROUND FLOOR UNIT SIZE:  
GARAGE CREDIT: 48 SQ. FT  
600 SQ. FT

NOTE: SEE SHEET A-003, A-004 & A-005 FOR  
ADDITIONAL AREA CALCULATION DIAGRAMS.

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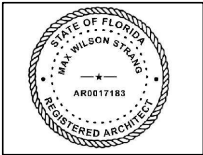
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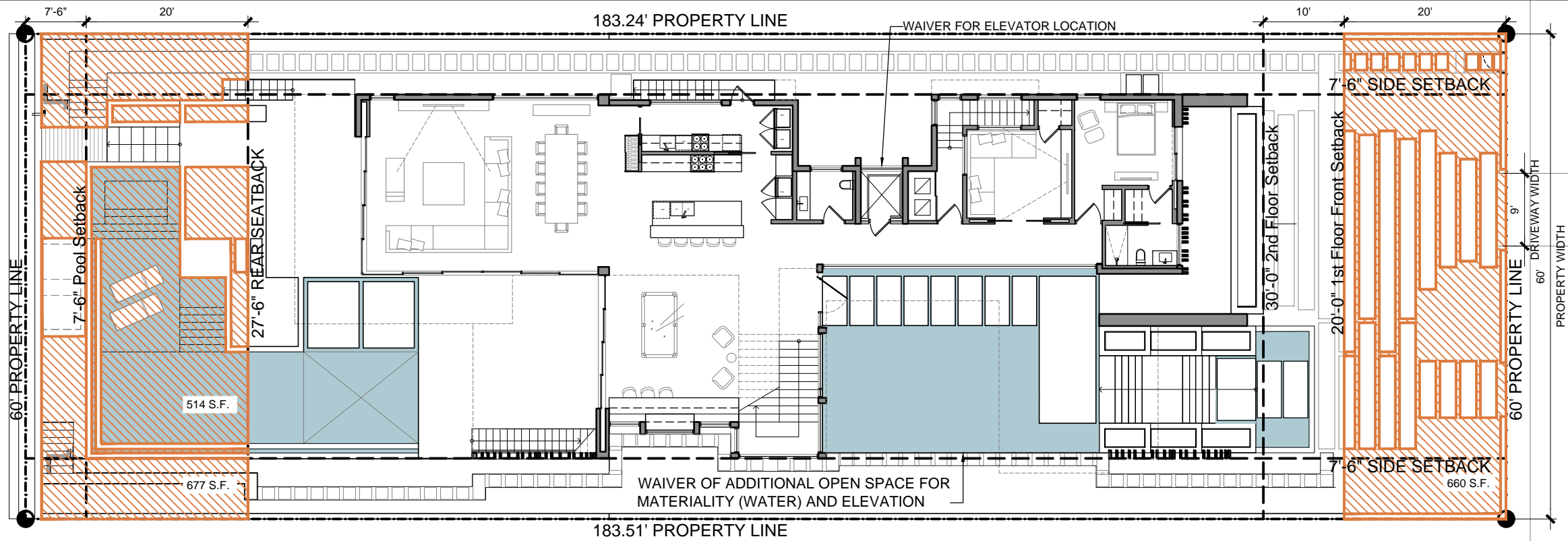
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ZONING  
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Sheet No:

A-004

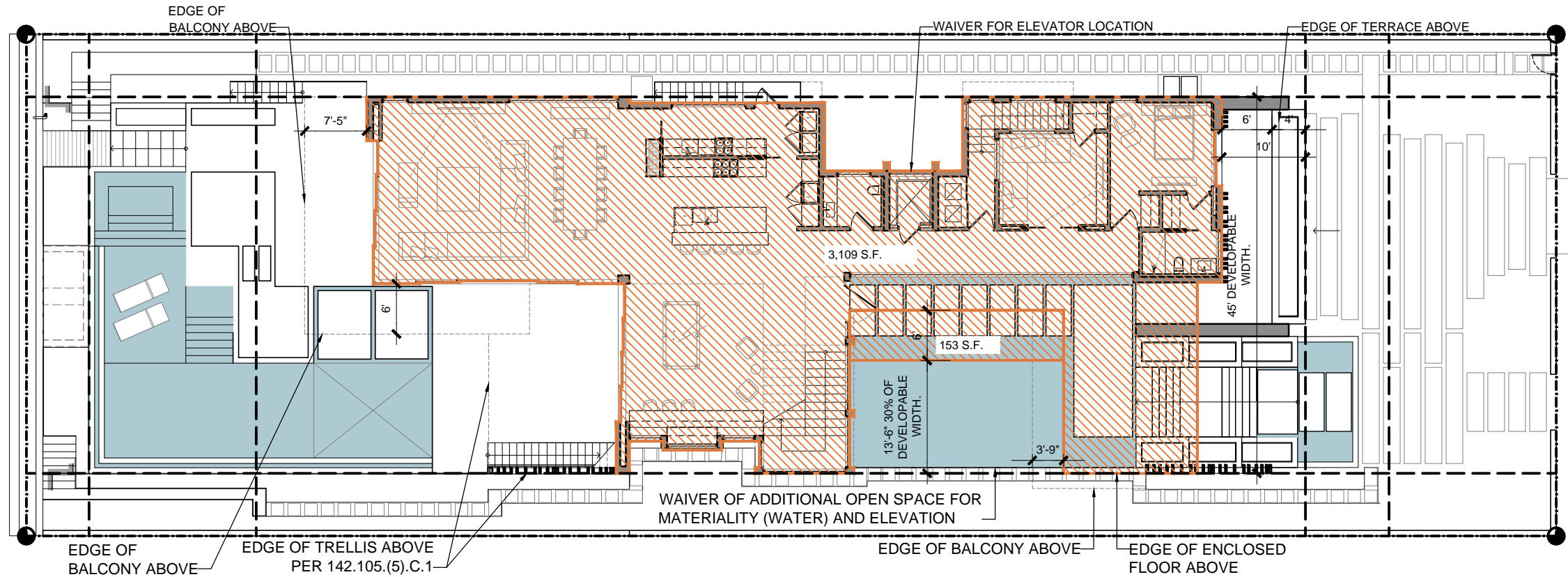




REAR YARD:  
REAR YARD TOTAL AREA :1650 S.F.  
REQUIRED: 70% OF 1,650 SF :1,156 S. F. (70%)  
PROPOSED: TOTAL PERMEABLE :1,191 S. F. (72.2%)  
PERMEABLE AREA :677 S.F.  
POOL WATER AREA :514 S.F.

2 PROPOSED OPEN SPACE DIAGRAMS  
SCALE: 1/16" = 1'-0"

FRONT YARD:  
REQUIRED: 50% OF 1,200 SQ. FT.: 600 SQ. FT. (50%)  
PROPOSED PERMEABLE AREA: 665 SQ. FT. (55.4%)



1 PROPOSED LOT COVERAGE CALCULATION  
SCALE: 1/16" = 1'-0"

NOTE: SEE SHEET A-003, A-004 & A-005 FOR  
ADDITIONAL AREA CALCULATION DIAGRAMS.

LOT COVERAGE (PROPOSED): 3,262 SQ. FT.  
GARAGE BELOW MAIN STRUCTURE: 600 SQ. FT. CREDIT

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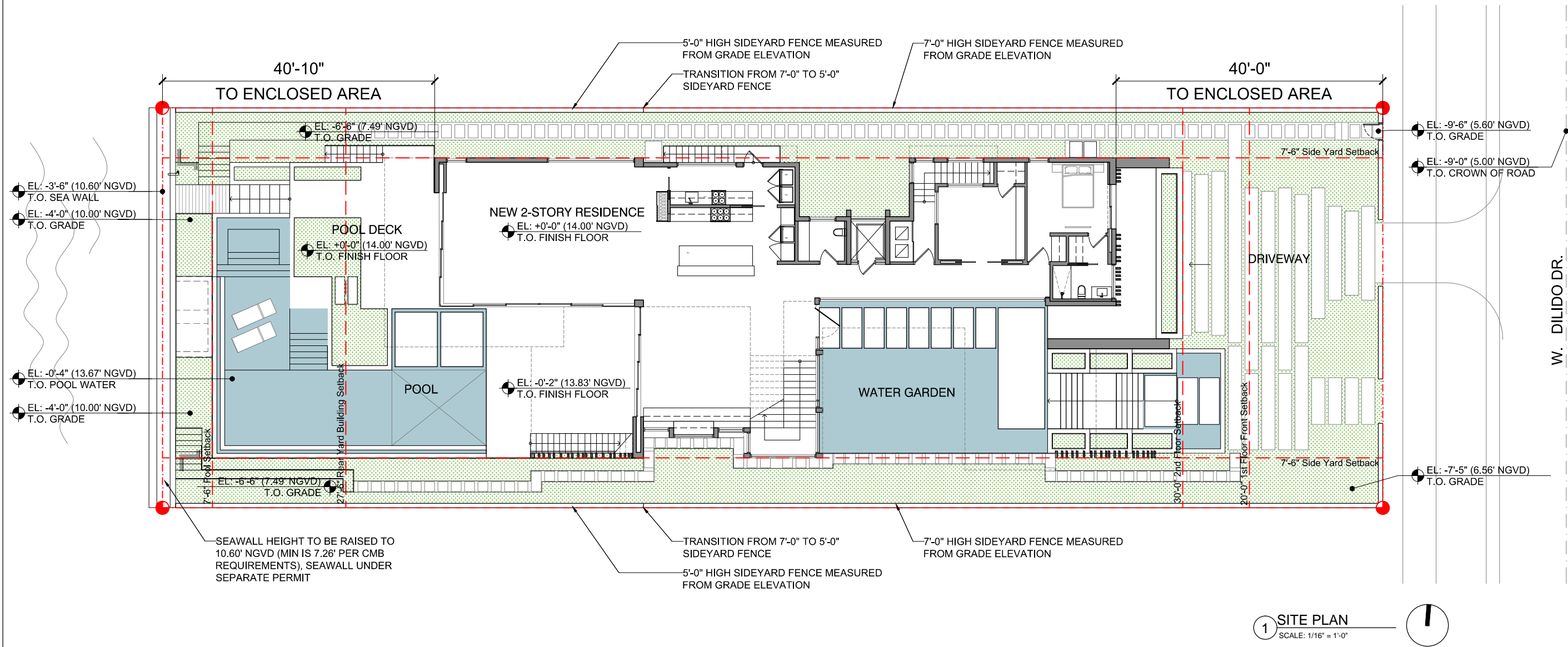
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ZONING  
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A-005



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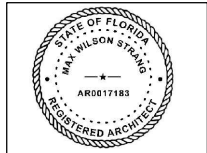
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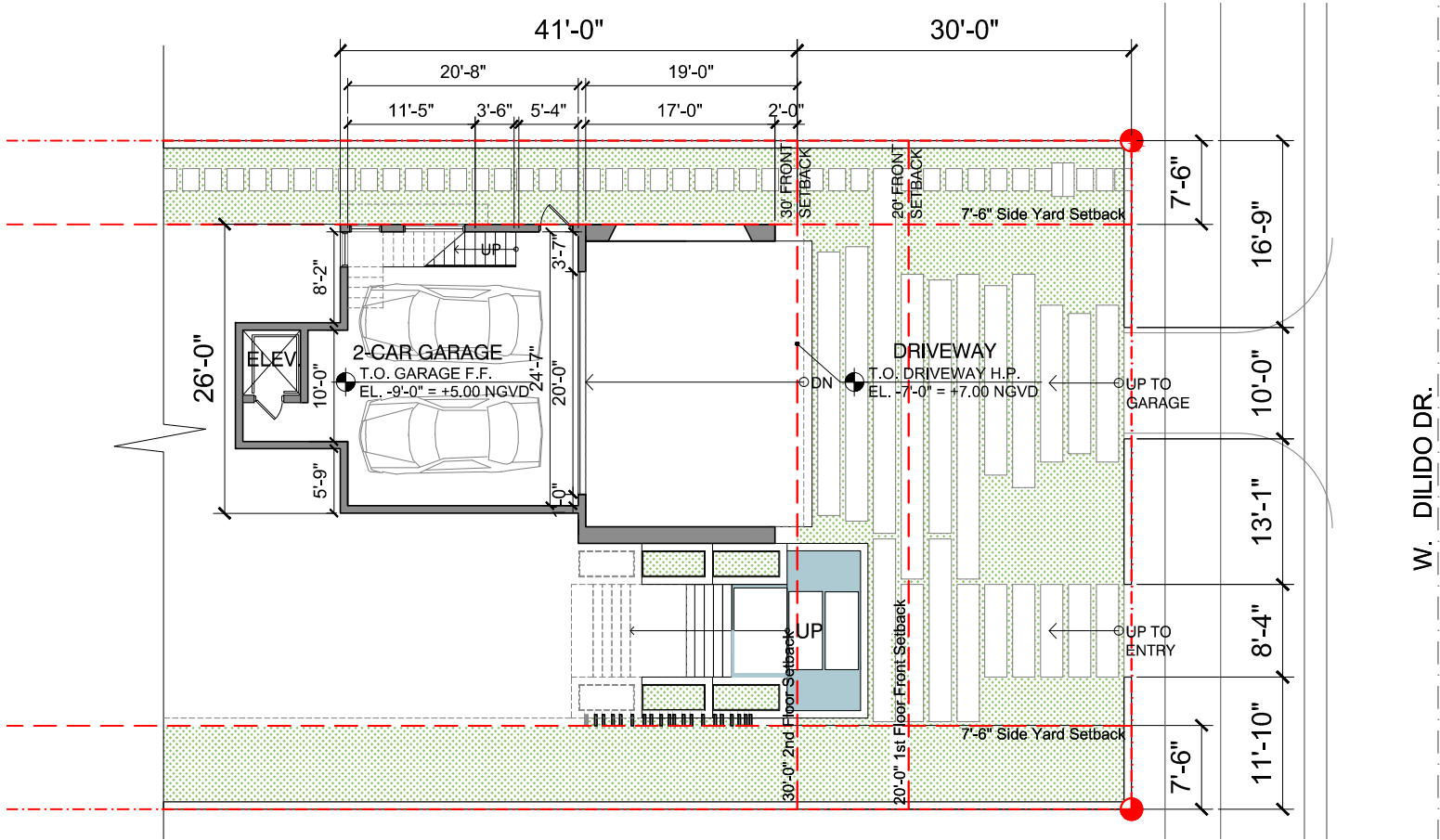
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SITE PLAN

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A-100



1 GROUND FLOOR PLAN  
SCALE: 1/16" = 1'-0"



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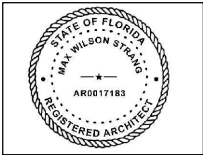
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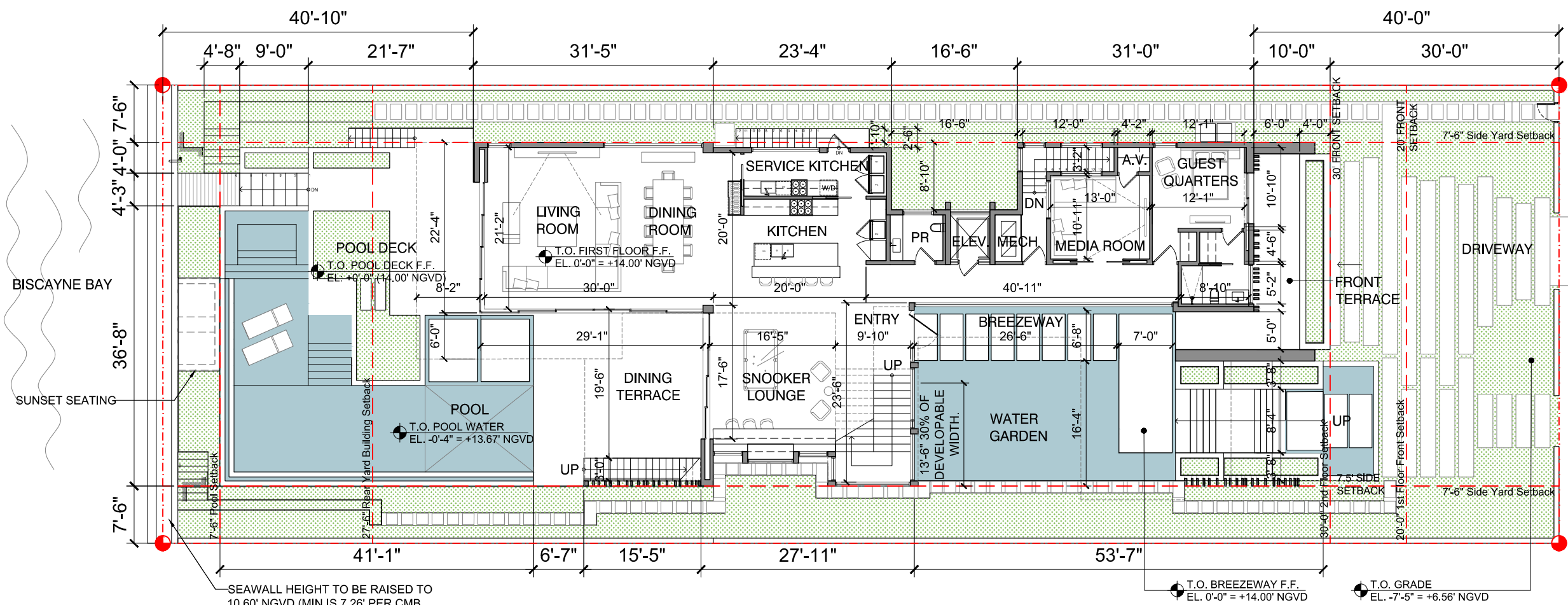
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GROUND  
FLOOR PLAN

Sheet No:

A-101





1 FIRST FLOOR PLAN  
SCALE: 1/16" = 1'-0"



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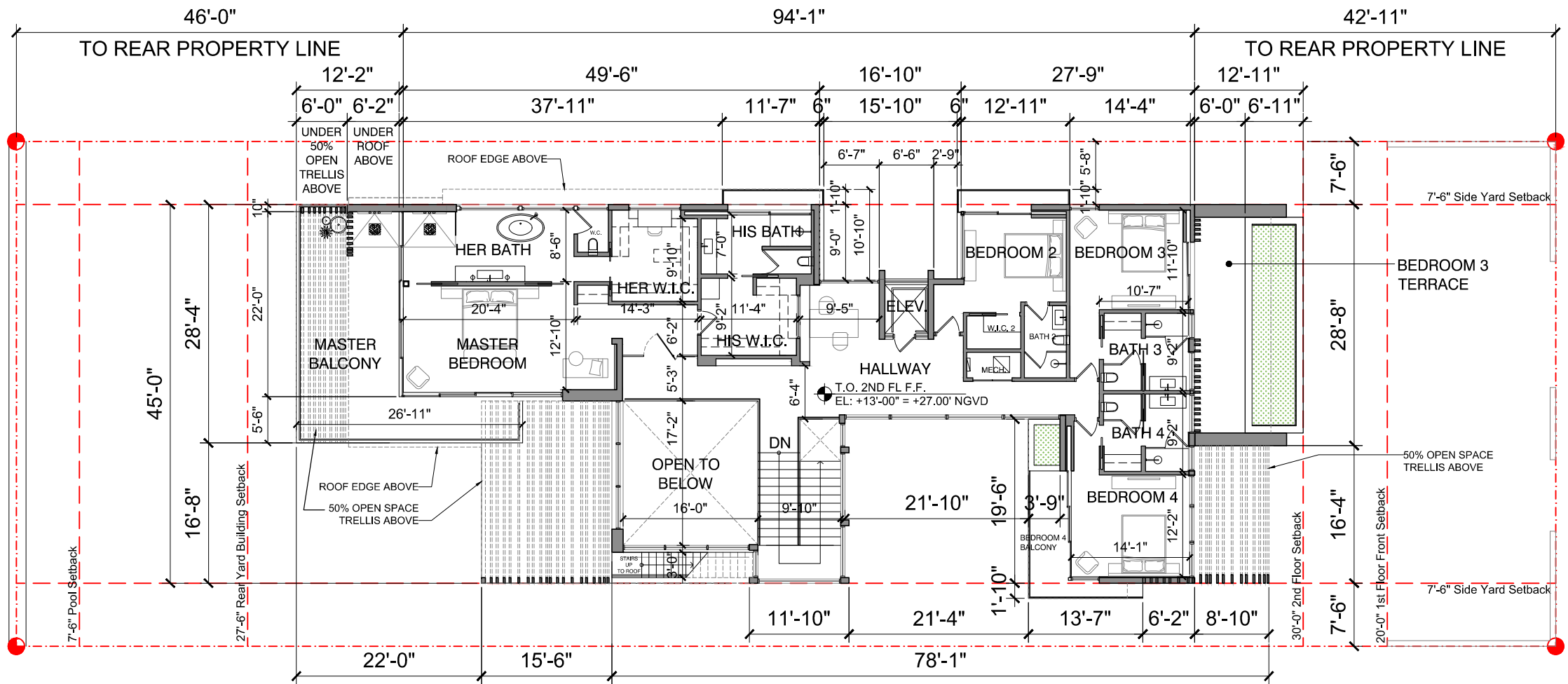
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Sheet Title:  
**FIRST  
FLOOR PLAN**

Sheet No:  
**A-102**

BISCAYNE BAY



1 SECOND FLOOR PLAN  
SCALE: 1/16" = 1'-0"

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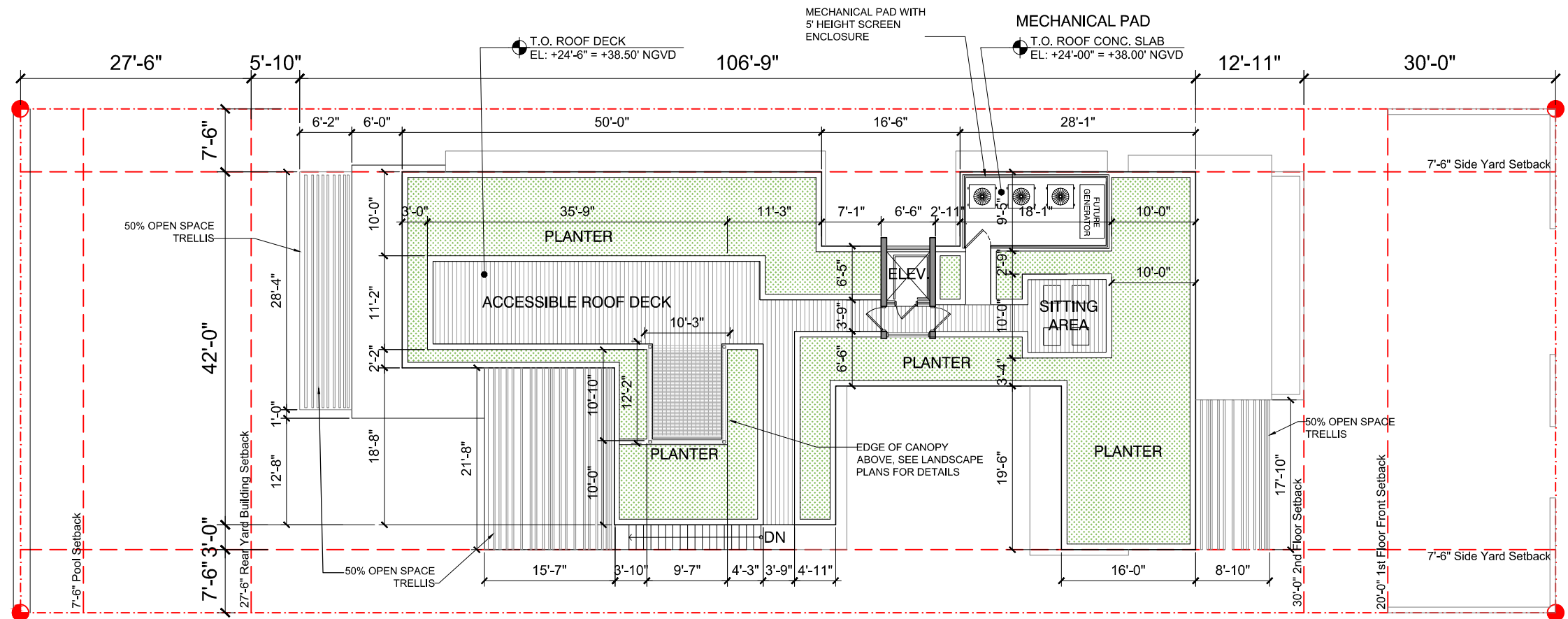
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SECOND FLOOR  
PLAN

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Sheet No:

**A-104**



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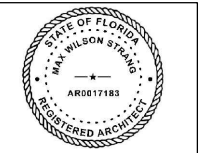
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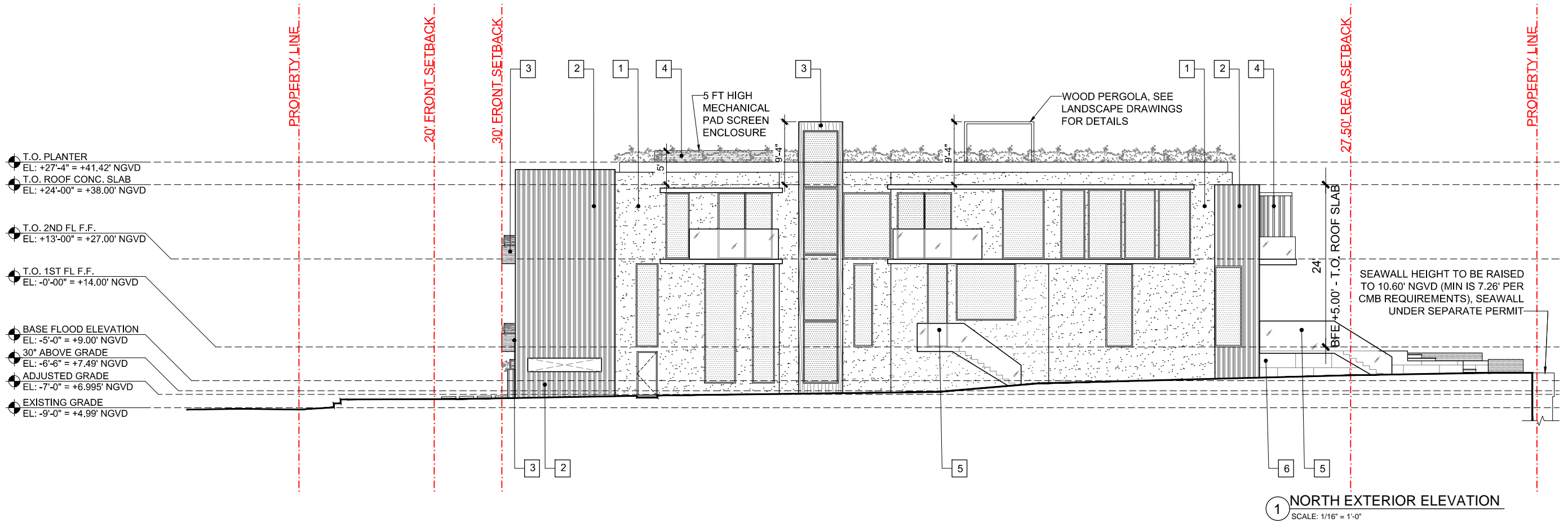
Project ID: SOCRI RES.	Drawn By: LE / SSM
Print Date: 08/05/2019	Scale: AS INDICATED

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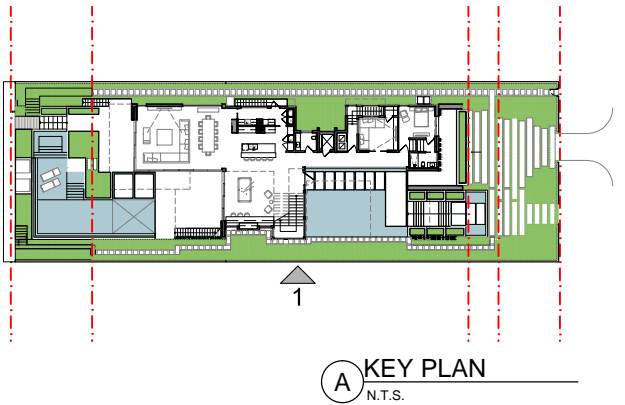
# EXTERIOR ELEVATION

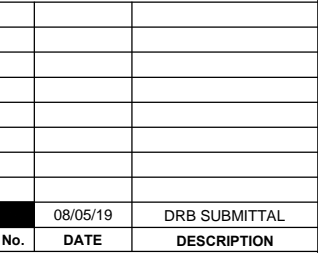
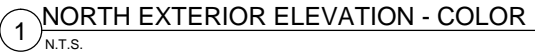
Sheet No:

# A-200



EXTERIOR FINISH LEGEND	
1	WHITE PAINT FINISH OVER 5/8" SMOOTH STUCCO
2	STONE CLADDING
3	WOOD SIDING
4	ALUMINUM LOUVERS WITH WOOD-LOOK POWDER COAT FINISH
5	IMPACT GLASS
6	TILE





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Sheet Title:

EXTERIOR  
ELEVATION

Sheet No:

**A-200a**

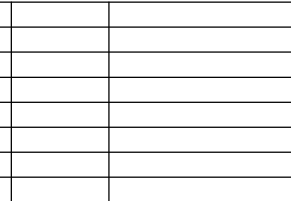


PH: 305-373-4990 | FX: 305-373-4991  
FIRM LICENSE # AA26001123  
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PROJECT CLIENT(S) / OWNER(S):  
MAESTRIA REAL ESTATE, INC.

IVIL ENGINEER:  
TBD

PROFESSIONAL SEAL(S):



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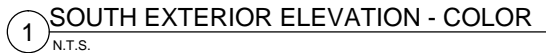
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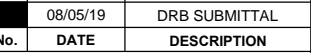
Sheet No:

**KEY PLAN**  
N.T.S.





1 SOUTH EXTERIOR ELEVATION - COLOR  
N.T.S.



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Sheet Title:

# EXTERIOR ELEVATION

Sheet No:

# A-201a



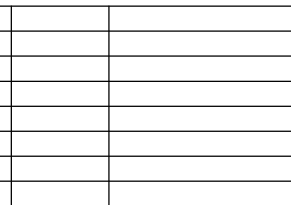
**KEY PLAN**  
N.T.S.

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PROFESSIONAL SEAL(S):



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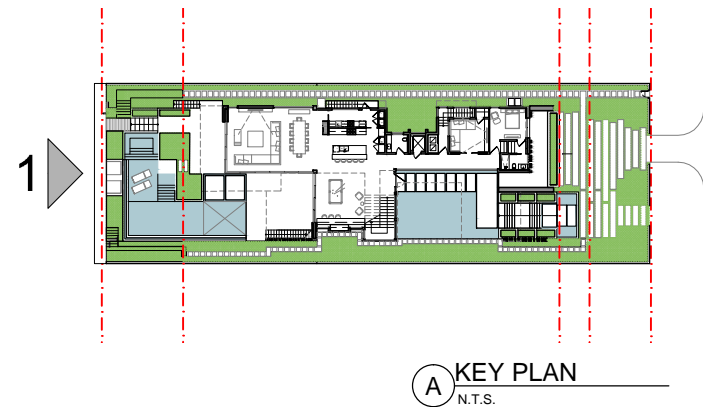
Sheet Title:

Sheet No:

A-202



EXTERIOR FINISH LEGEND	
1	WHITE PAINT FINISH OVER 5/8" SMOOTH STUCCO
2	STONE CLADDING
3	WOOD SIDING
4	ALUMINUM LOUVERS WITH WOOD-LOOK POWDER COAT FINISH
5	IMPACT GLASS
6	TILE



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PROJECT CLIENT(S) / OWNER(S):  
MAESTRIA REAL ESTATE, INC.

ARCHITECT:  
MAX WILSON STRANG, FAIA  
LICENSE # AR0017183  
2900 SW 28TH TERRACE, SUITE 301  
MIAMI, FL 33133

STRUCTURAL ENGINEERING:  
TBD

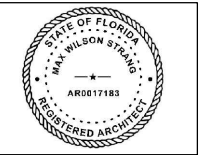
MEP ENGINEERING:  
TBD

LANDSCAPE ARCHITECT:  
 ENEA GARDEN DESIGN  
 7580 NE 4TH. CT. – STUDIO 105  
 MIAMI, FL, 33138

IVIL ENGINEER:  
TBD

PROJECT NAME:  
20 WEST DILIDO

PROFESSIONAL SEAL(S):

[illegible]

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Sheet Title:

# EXTERIOR ELEVATION

Sheet No:

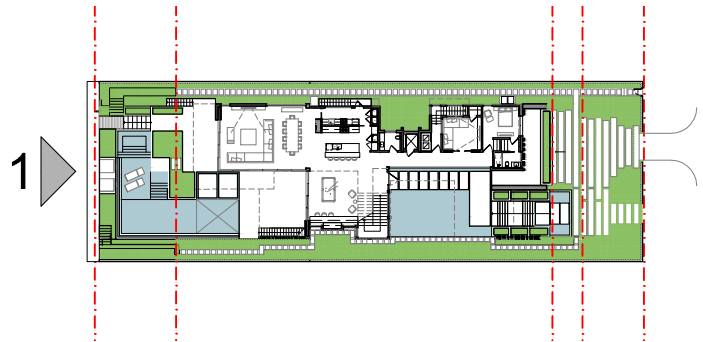
# A-202a



1 WEST EXTERIOR ELEVATION - COLOR  
N.T.S.

## EXTERIOR FINISH LEGEND

1	WHITE PAINT FINISH OVER 5/8" SMOOTH STUCCO
2	STONE CLADDING
3	WOOD SIDING
4	ALUMINUM LOUVERS WITH WOOD-LOOK POWDER COAT FINISH
5	IMPACT GLASS
6	TILE



**A** KEY PLAN  
N.T.S.



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MIAMI, FL 33133

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PROJECT LOCATION:  
220 W DILIDO DR  
MIAMI BEACH, FL 33139, USA

PROJECT CLIENT(S) / OWNER(S):  
MAESTRIA REAL ESTATE, INC.

ARCHITECT:  
MAX WILSON STRANG, FAIA  
LICENSE # AR0017183  
2900 SW 28TH TERRACE, SUITE 301  
MIAMI, FL 33133  
STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

LANDSCAPE ARCHITECT:  
ENEA GARDEN DESIGN  
7580 NE 4TH. CT. - STUDIO 105  
MIAMI, FL, 33138

CIVIL ENGINEER:  
TBD

PROJECT NAME:  
220 WEST DILIDO

PROFESSIONAL SEAL(S):



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No.	DATE	DESCRIPTION

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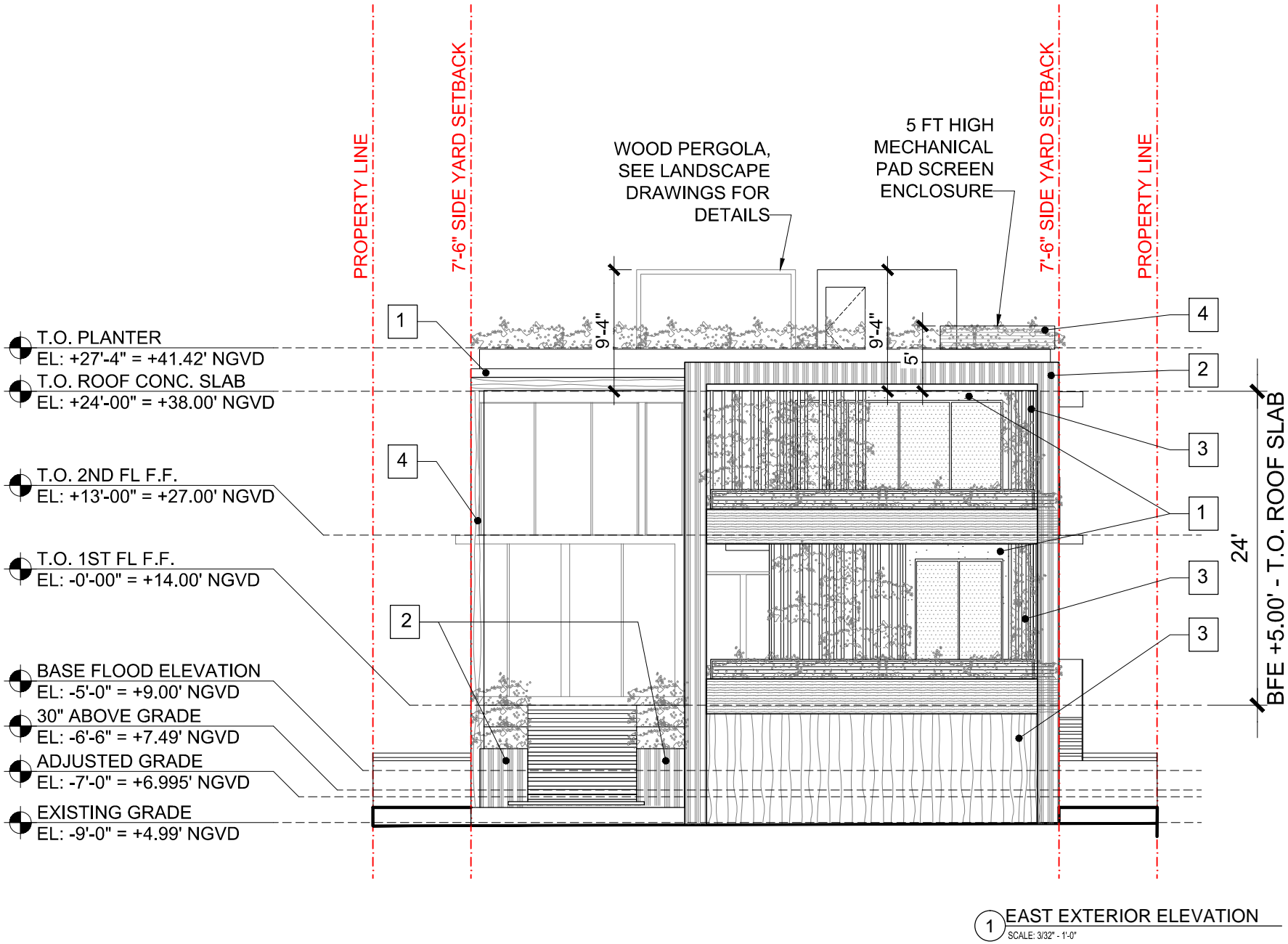
Project ID: SOCRI RES.	Drawn By: LE / SSM
Print Date: 08/05/2019	Scale: AS INDICATED

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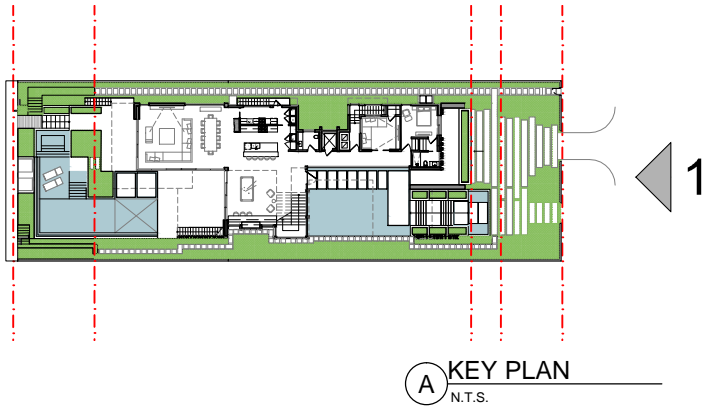
EXTERIOR  
ELEVATION

Sheet No:

A-203



1 EAST EXTERIOR ELEVATION  
SCALE: 3/32" = 1'-0"



A KEY PLAN  
N.T.S.

EXTERIOR FINISH LEGEND

1	WHITE PAINT FINISH OVER 5/8" SMOOTH STUCCO
2	STONE CLADDING
3	WOOD SIDING
4	ALUMINUM LOUVERS WITH WOOD-LOOK POWDER COAT FINISH
5	IMPACT GLASS
6	TILE



**KEY PLAN**  
N.T.S.

A-203a



A dark gray, textured background resembling a fine, woven fabric or a coarse, dark paper. The texture is uniform across the entire surface, with subtle variations in tone and a fine, grid-like pattern.

A close-up photograph of a wooden surface composed of horizontal planks. The wood has a warm, medium-brown tone with prominent, wavy grain patterns and several dark, circular knots. The lighting is even, highlighting the texture and natural imperfections of the wood.

A large, rectangular, translucent green glass panel, likely a window or door, set against a plain white background. The panel is slightly tilted, showing its thickness and the edges. It has a smooth, slightly reflective surface.

EXTERIOR FINISH LEGEND	
1	WHITE PAINT FINISH OVER 5/8" SMOOTH STUCCO
2	STONE CLADDING
3	WOOD SIDING
4	ALUMINUM LOUVERS WITH WOOD-LOOK POWDER COAT FINISH
5	IMPACT GLASS
6	TILE

# A-204



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PROJECT LOCATION:  
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MIAMI BEACH, FL 33139, USA

PROJECT CLIENT(S) / OWNER(S):  
MAESTRIA REAL ESTATE, INC.

ARCHITECT:  
MAX WILSON STRANG, RA / AIA  
LICENSE # AR0017183  
3326 MARY ST #301  
MIAMI, FL 33133  
STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

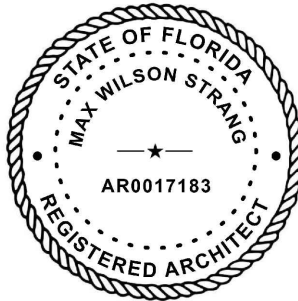
CIVIL ENGINEERING  
TBD

LANDSCAPE ARCHITECT  
TBD

GENERAL CONTRACTOR  
TBD

PROJECT NAME:  
EISENBERG RESIDENCE

PROFESSIONAL SEAL(S):




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Sheet Title:

CONTEXT  
ELEVATIONS

Sheet No:

A-208



A STREET FRONT ELEVATIONS  
N.T.S.



B WATER FRONT ELEVATIONS  
N.T.S.





C



B



A



E



D



G



F



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PROJECT LOCATION:  
220 W DILDO DR  
MIAMI BEACH, FL 33139, USA

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MAESTRIA REAL ESTATE, INC.

ARCHITECT:  
MAX WILSON STRANG, RA / AIA  
LICENSE # AR0017183  
3326 MARY ST #301  
MIAMI, FL 33133  
STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

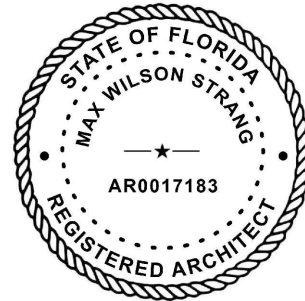
CIVIL ENGINEERING  
TBD

LANDSCAPE ARCHITECT  
TBD

GENERAL CONTRACTOR  
TBD

PROJECT NAME:  
EISENBERG RESIDENCE

PROFESSIONAL SEAL(S):



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Sheet Title:

# CONTEXT PHOTOS

Sheet No:

# A-209



T.O. PLANTER  
EL: +27'-4" = +41.42' NGVD  
T.O. ROOF CONC. SLAB  
EL: +24'-00" = +38.00' NGVD

T.O. 2ND FL F.F.  
EL: +13'-00" = +27.00' NGVD

T.O. 1ST FL F.F.  
EL: -0'-00" = +14.00' NGVD

BASE FLOOD ELEVATION  
EL: -5'-0" = +9.00' NGVD

30" ABOVE GRADE  
EL: -6'-6" = +7.49' NGVD

ADJUSTED GRADE  
EL: -7'-0" = +6.995' NGVD

EXISTING GRADE  
EL: -9'-0" = +4.99' NGVD

SEAWALL HEIGHT TO BE RAISED  
TO 10.60' NGVD (MIN IS 7.26' PER  
CMB REQUIREMENTS), SEAWALL  
UNDER SEPARATE PERMIT

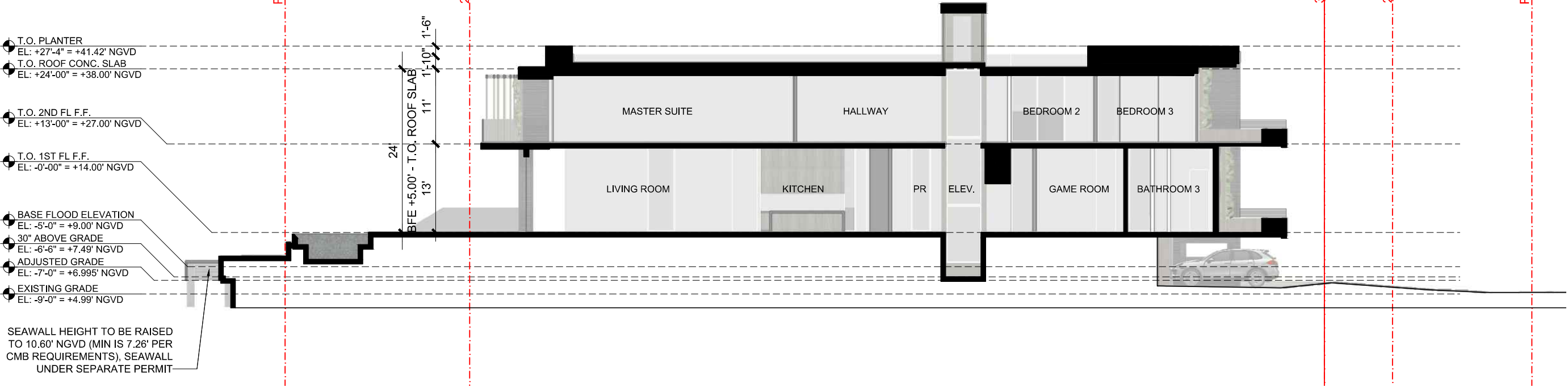
24'  
BFE +5.00' - T.O. ROOF SLAB  
13'  
1'-10" 1'-6"

27'-50" REAR SETBACK

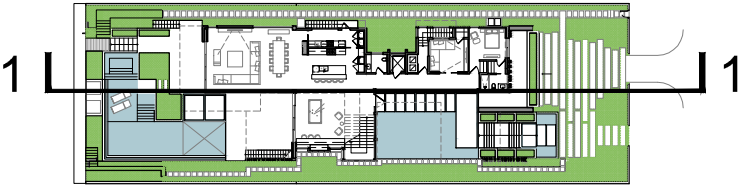
30' FRONT SETBACK

20' FRONT SETBACK

PROPERTY LINE



1 LONGITUDINAL SECTION  
SCALE: 1/16" = 1'-0"



A KEY PLAN  
N.T.S.

[STRANG]

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MIAMI, FL 33133

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PROJECT LOCATION:  
220 W DILIDO DR  
MIAMI BEACH, FL 33139, USA

PROJECT CLIENT(S) / OWNER(S):  
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ARCHITECT:  
MAX WILSON STRANG, FAIA  
LICENSE # AR0017183  
2900 SW 28TH TERRACE, SUITE 301  
MIAMI, FL 33133  
STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

LANDSCAPE ARCHITECT:  
ENEA GARDEN DESIGN  
7580 NE 4TH. CT. - STUDIO 105  
MIAMI, FL, 33138

CIVIL ENGINEER:  
TBD

PROJECT NAME:  
220 WEST DILIDO

PROFESSIONAL SEAL(S):



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Sheet Title:

BUILDING  
SECTIONS

Sheet No:

A-300



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PROJECT LOCATION:  
220 W DILIDO DR  
MIAMI BEACH, FL 33139, USA

PROJECT CLIENT(S) / OWNER(S):  
MAESTRIA REAL ESTATE, INC.

ARCHITECT:  
MAX WILSON STRANG, FAIA  
LICENSE # AR0017183  
2900 SW 28TH TERRACE, SUITE 301  
MIAMI, FL 33133  
STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

LANDSCAPE ARCHITECT:  
ENEA GARDEN DESIGN  
7580 NE 4TH. CT. – STUDIO 105  
MIAMI, FL, 33138

CIVIL ENGINEER:  
TBD

PROJECT NAME:  
220 WEST DILIDO

PROFESSIONAL SEAL(S):



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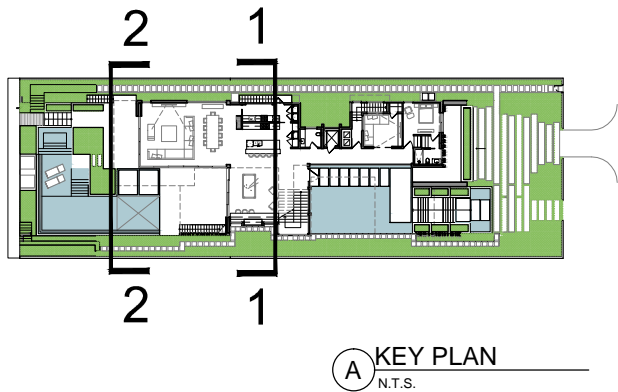
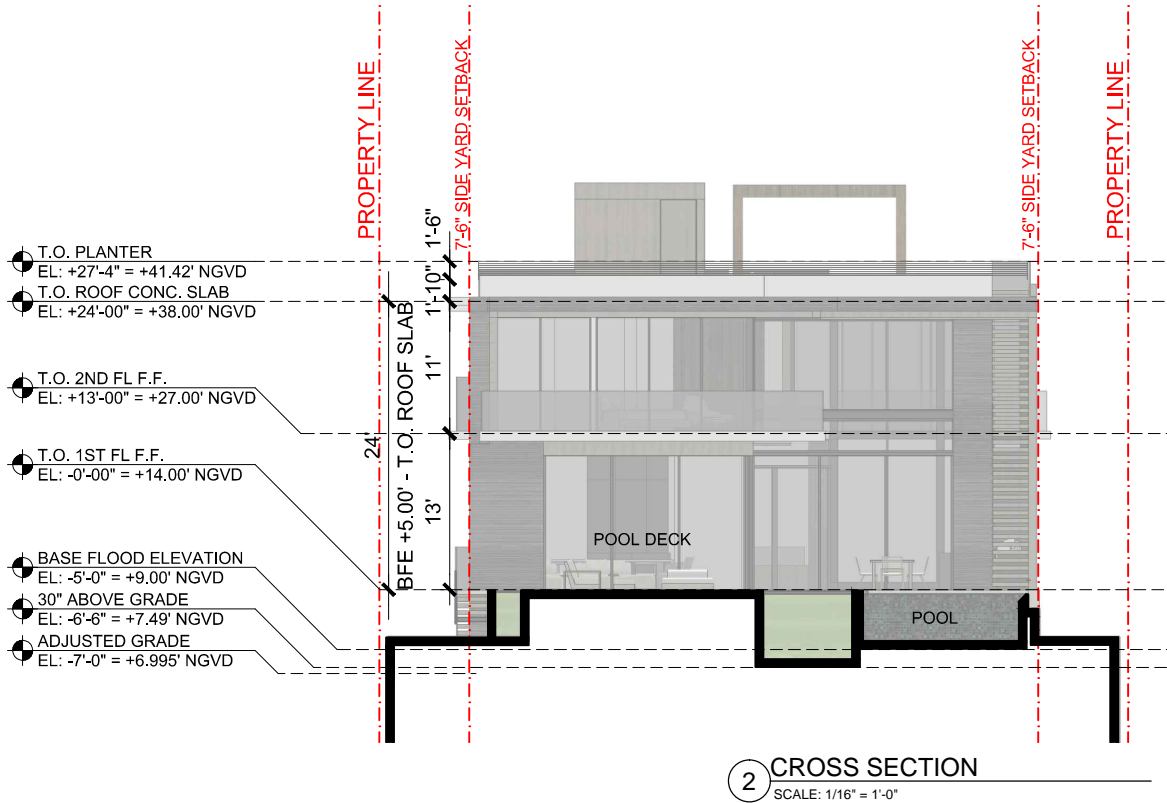
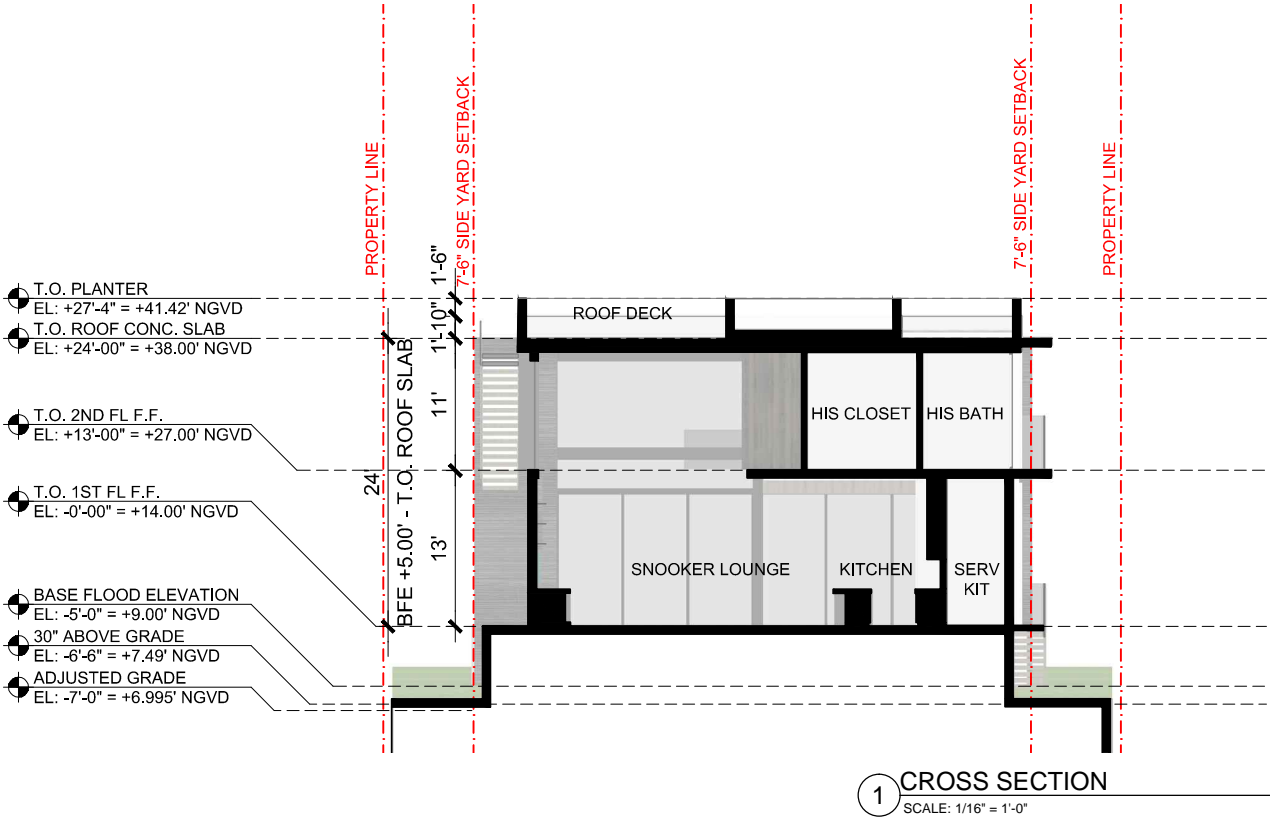
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Print Date: 08/05/2019	Scale: AS INDICATED

Sheet Title:

BUILDING  
SECTIONS

Sheet No:

A-301



PROJECT LOCATION:  
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MIAMI BEACH, FL 33139, USA

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ARCHITECT:  
MAX WILSON STRANG, FAIA  
LICENSE # AR0017183  
2900 SW 28TH TERRACE, SUITE 301  
MIAMI, FL 33133  
STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

LANDSCAPE ARCHITECT:  
ENEA GARDEN DESIGN  
7580 NE 4TH. CT. - STUDIO 105  
MIAMI, FL, 33138

CIVIL ENGINEER:  
TBD

PROJECT NAME:  
220 WEST DILIDO

PROFESSIONAL SEAL(S):



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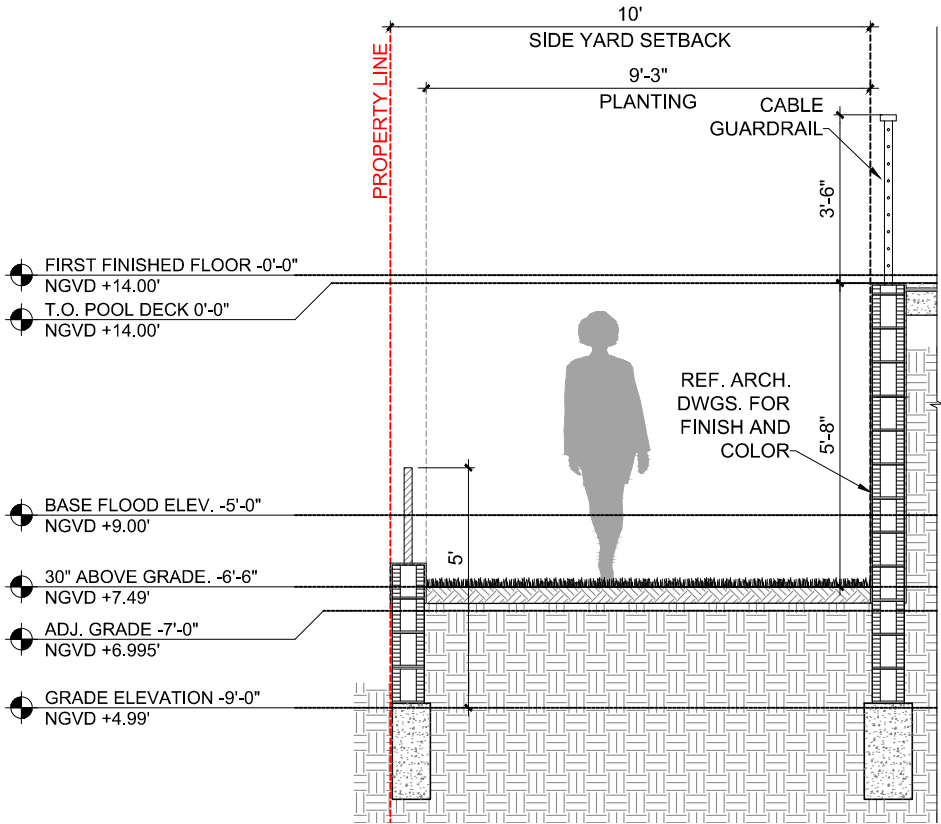
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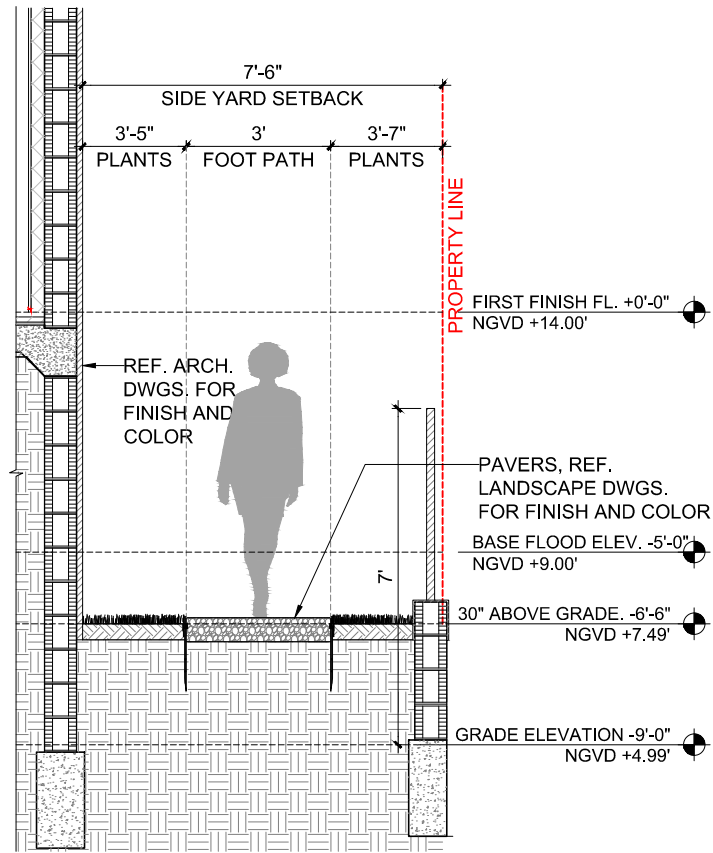
YARD  
SECTIONS

Sheet No:

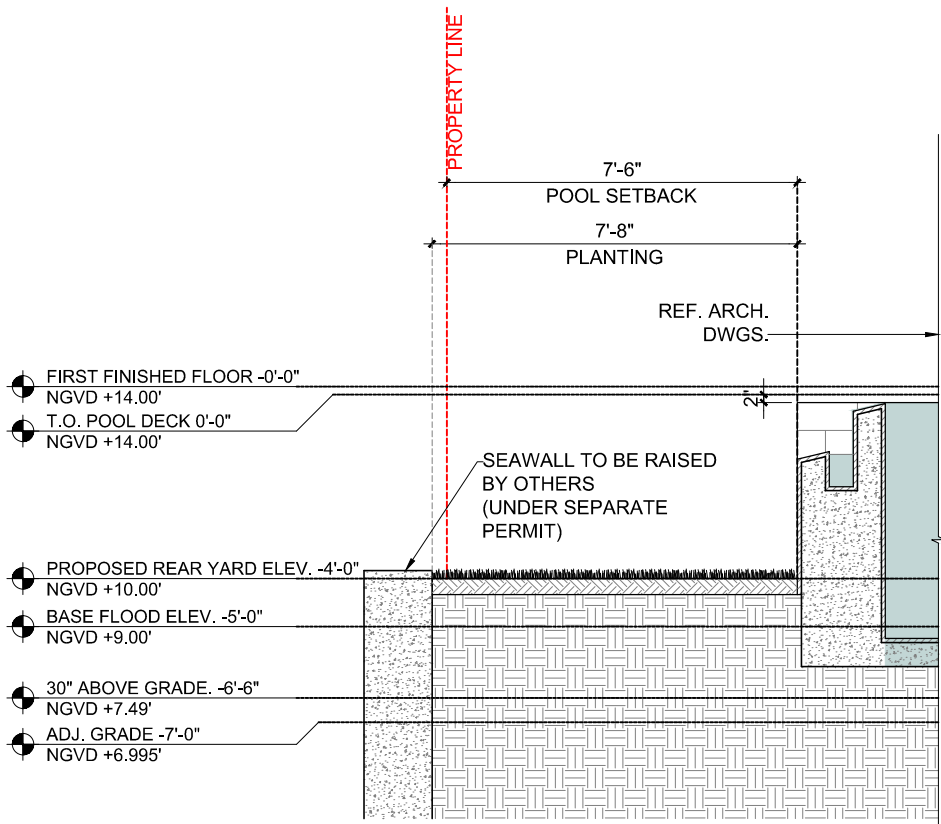
A-302



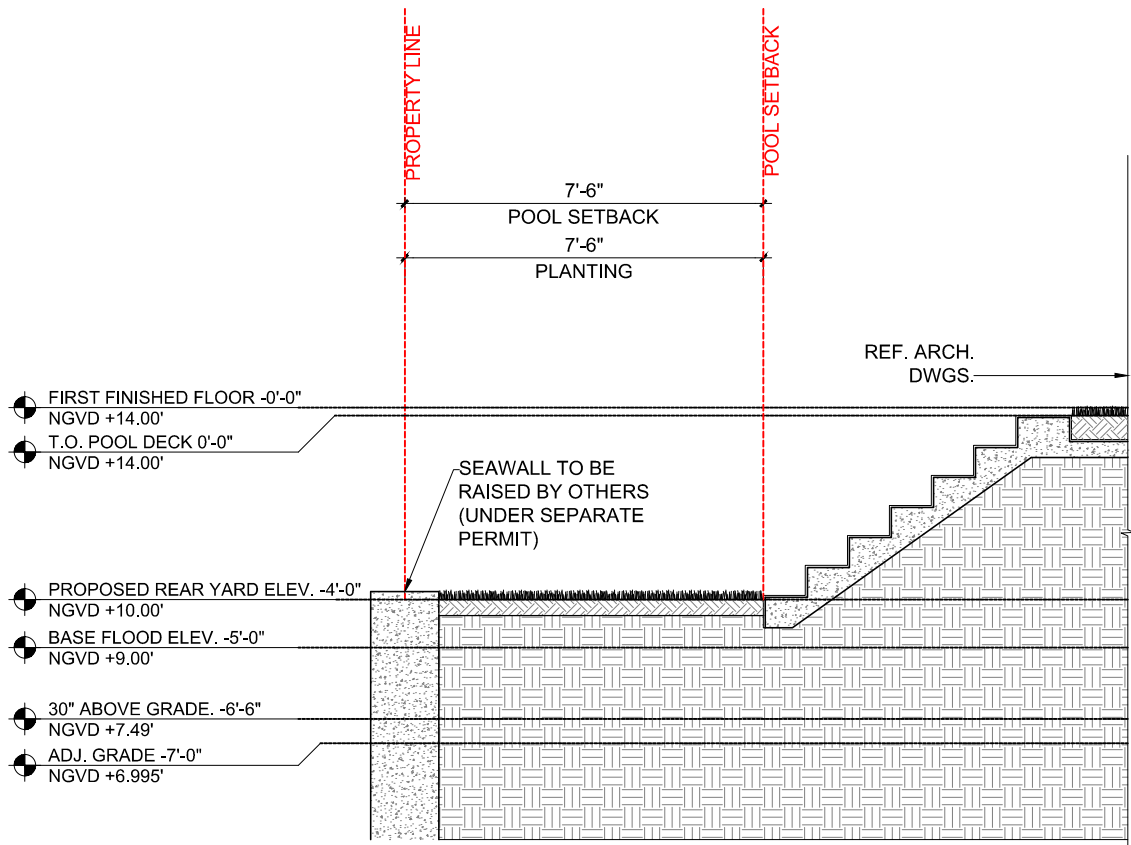
2 SIDE SIDEYARD DETAIL  
SCALE: 1/4" = 1'-0"



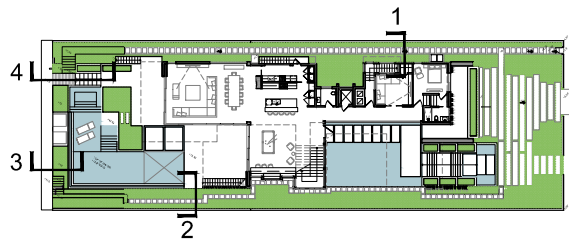
1 SIDEYARD DETAIL  
SCALE: 1/4" = 1'-0"



3 INFINITY POOL EDGE DETAIL  
SCALE: 1/4" = 1'-0"



4 REAR YARD STAIR DETAIL  
SCALE: 1/4" = 1'-0"



A KEY PLAN  
N.T.S.

[STRANG]

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MIAMI, FL 33133

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PROJECT LOCATION:  
220 W DILIDO DR  
MIAMI BEACH, FL 33139, USA

PROJECT CLIENT(S) / OWNER(S):  
MAESTRIA REAL ESTATE, INC.

ARCHITECT:  
MAX WILSON STRANG, FAIA  
LICENSE # AR0017183  
2900 SW 28TH TERRACE, SUITE 301  
MIAMI, FL 33133  
STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

LANDSCAPE ARCHITECT:  
ENEA GARDEN DESIGN  
7580 NE 4TH. CT. - STUDIO 105  
MIAMI, FL, 33138

CIVIL ENGINEER:  
TBD

PROJECT NAME:  
220 WEST DILIDO

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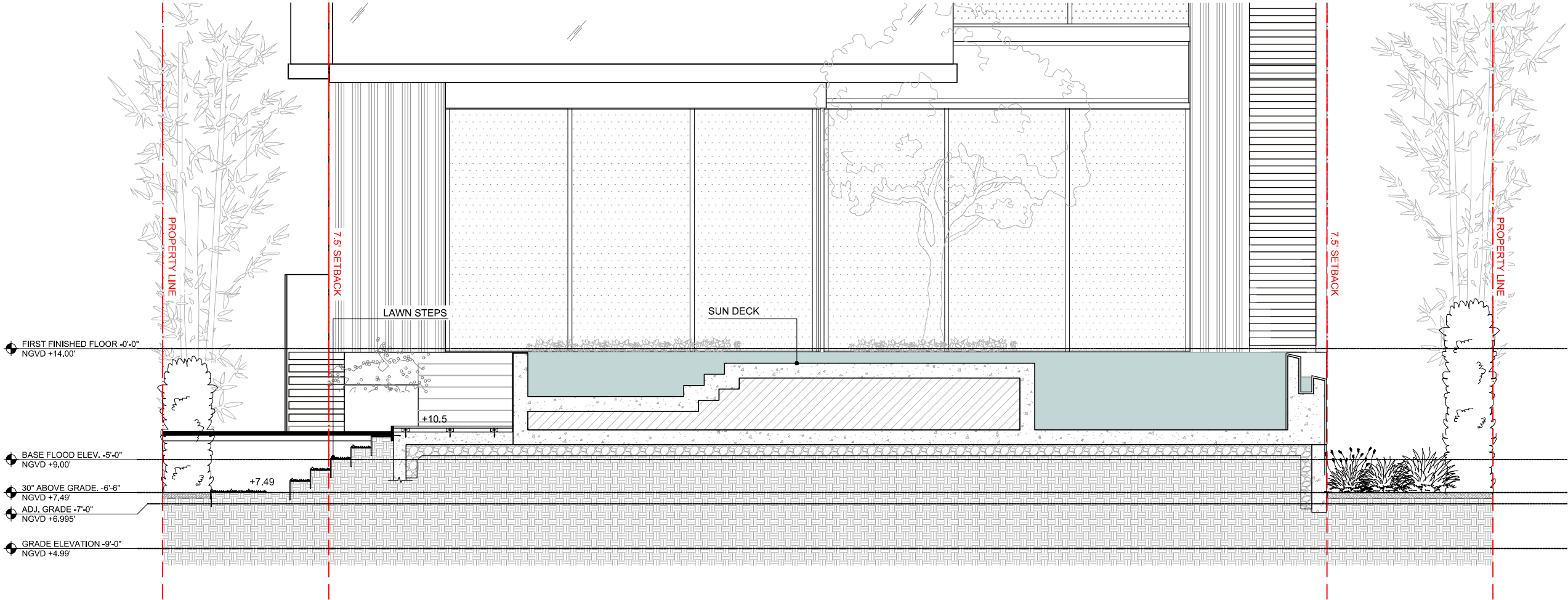
Project ID: SOCRI RES.	Drawn By: LE / SSM
Print Date: 08/05/2019	Scale: AS INDICATED

Sheet Title:

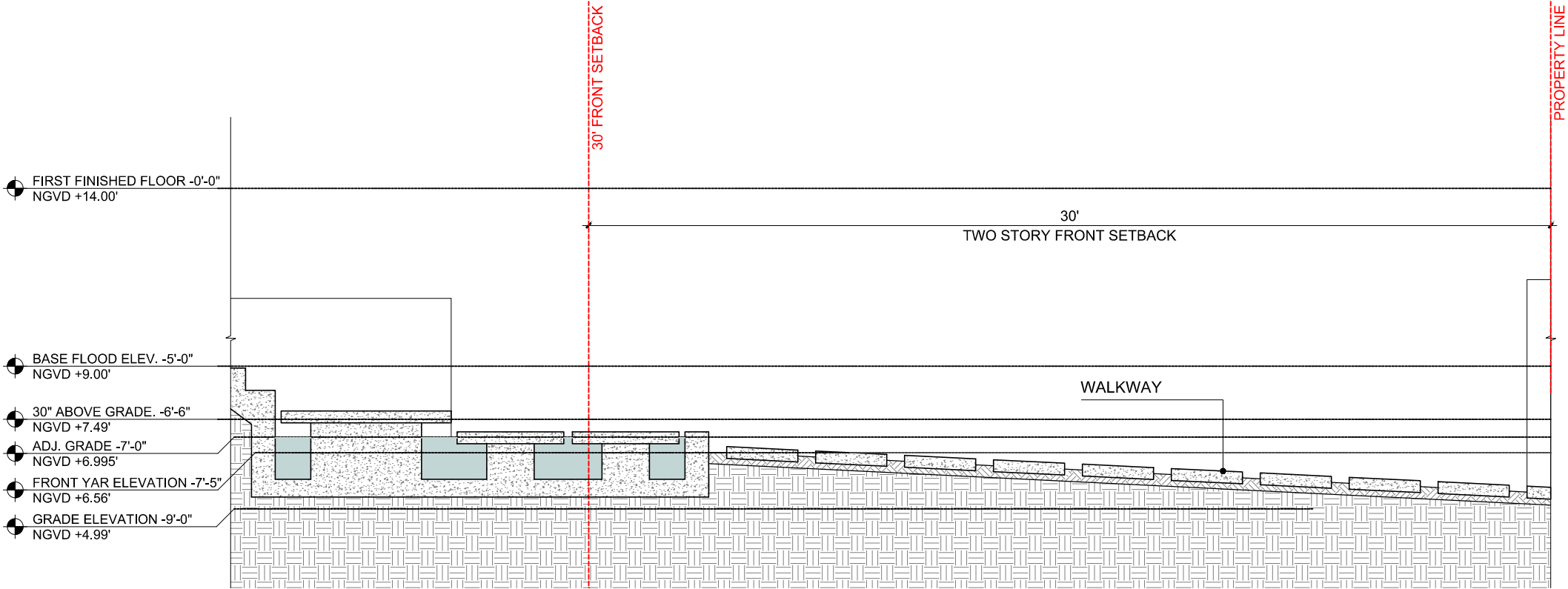
YARD  
SECTIONS

Sheet No:

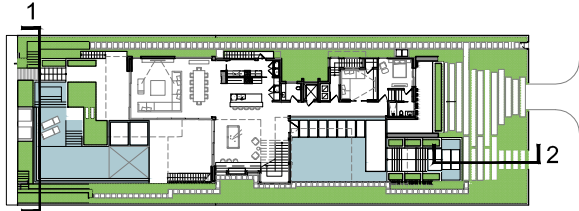
A-303



1 REAR YARD STAIR DETAIL  
SCALE: 3/16" = 1'-0"



2 SIDEYARD DETAIL  
SCALE: 1/4" = 1'-0"



A KEY PLAN  
N.T.S.



[STRANG]

2900 SW 28TH TERRACE, SUITE 301  
MIAMI, FL 33133

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PROJECT LOCATION:  
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ARCHITECT:  
MAX WILSON STRANG, FAIA  
LICENSE # AR0017183  
2900 SW 28TH TERRACE, SUITE 301  
MIAMI, FL 33133  
STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

LANDSCAPE ARCHITECT:  
ENEA GARDEN DESIGN  
7580 NE 4TH. CT. - STUDIO 105  
MIAMI, FL, 33138

CIVIL ENGINEER:  
TBD

PROJECT NAME:  
220 WEST DILIDO

PROFESSIONAL SEAL(S):




	08/05/19	DRB SUBMITTAL
No.	DATE	DESCRIPTION

SHEET ISSUE / REVISION LOG

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Project ID:	Drawn By:
SOCRI RES.	LE / SSM

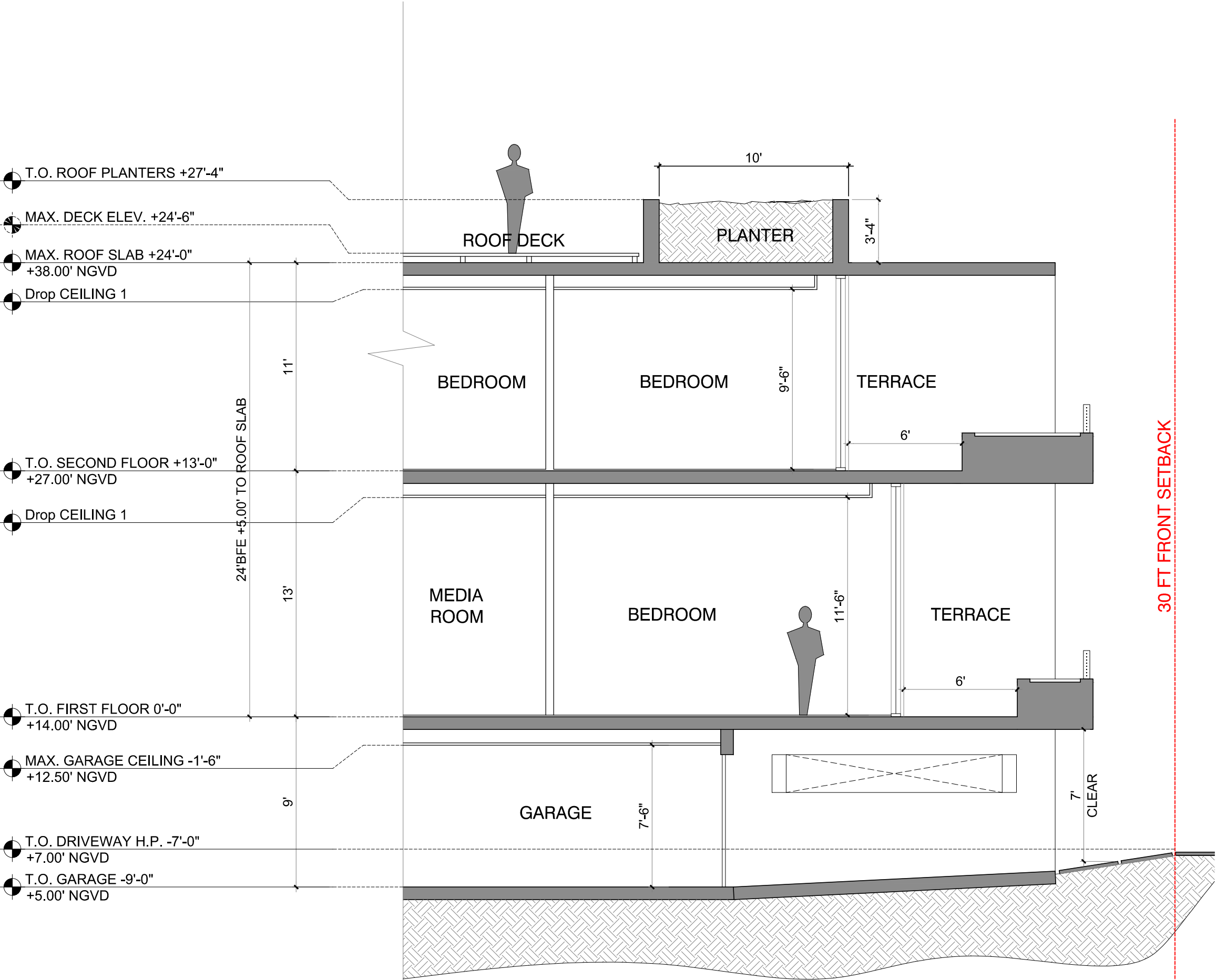
Print Date:	Scale:
08/05/2019	AS INDICATED

Sheet Title:

GARAGE SECTION

Sheet No:

A-304



1 GARAGE SECTION  
SCALE: 3/16" = 1'-0"





[STRANG]

2900 SW 28TH TERRACE, SUITE 301  
MIAMI, FL 33133

PH: 305-373-4990 | FX: 305-373-4991  
FIRM LICENSE # AA26001123  
WWW.STRANG.DESIGN

PROJECT LOCATION:  
220 W DILIDO DR  
MIAMI BEACH, FL 33139, USA

PROJECT CLIENT(S) / OWNER(S):  
MAESTRIA REAL ESTATE, INC.

ARCHITECT:  
MAX WILSON STRANG, FAIA  
LICENSE # AR0017183  
2900 SW 28TH TERRACE, SUITE 301  
MIAMI, FL 33133

STRUCTURAL ENGINEERING:  
TBD

MEP ENGINEERING:  
TBD

LANDSCAPE ARCHITECT:  
ENEA GARDEN DESIGN  
7580 NE 4TH CT. - STUDIO 105  
MIAMI, FL 33138

CIVIL ENGINEER:  
TBD

PROJECT NAME:  
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Project ID: SOCRI RES.	Drawn By: LE / SSM
Print Date: 08/05/2019	Scale: AS INDICATED

Sheet Title:

PERSPECTIVE

Sheet No:

A-900











# A-1001