

1 LOCATION PLAN
SCALE: 1/16" = 1'-0"



[STRANG]

2900 SW 28TH TERRACE, SUITE 301
MIAMI, FL 33133

PH: 305-373-4990 | FX: 305-373-4991
FIRM LICENSE # AA26001123
WWW.STRANG.DESIGN

PROJECT LOCATION:
220 W DILIDO DR
MIAMI BEACH, FL 33139, USA

PROJECT CLIENT(S) / OWNER(S):
MAESTRIA REAL ESTATE, INC.

ARCHITECT:
MAX WILSON STRANG, FAIA
LICENSE # AR0017183
2900 SW 28TH TERRACE, SUITE 301
MIAMI, FL 33133
STRUCTURAL ENGINEERING:
TBD

MEP ENGINEERING:
TBD

LANDSCAPE ARCHITECT:
ENEA GARDEN DESIGN
7580 NE 4TH. CT. – STUDIO 105
MIAMI, FL, 33138

CIVIL ENGINEER:
TBD

PROJECT NAME:
220 WEST DILIDO

PROFESSIONAL SEAL(S):



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| | 08/05/19 | DRB SUBMITTAL |
| No. | DATE | DESCRIPTION |

SHEET ISSUE / REVISION LOG

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| | |
|---------------------------|------------------------|
| Project ID: SOCRI RES. | Drawn By: LE / SSM |
| Print Date: 08/05/2019 | Scale: AS INDICATED |

Sheet Title:

LOCATION
PLAN

Sheet No:

A-000

PH: 305-373-4990 | FX: 305-373-4991
FIRM LICENSE # AA26001123
WWW.STRANG.DESIGN

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220 W DILIDO DR
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LICENSE # AR0017183
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MIAMI, FL 33133

STRUCTURAL ENGINEERING:
TBD

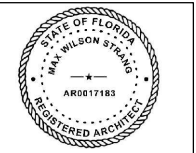
MEP ENGINEERING:
TBD

LANDSCAPE ARCHITECT:
 ENEA GARDEN DESIGN
 7580 NE 4TH. CT. – STUDIO 105
 MIAMI, FL, 33138

CIVIL ENGINEER:
TBD

PROJECT NAME:
20 WEST DILIDO

PROFESSIONAL SEAL(S):



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| | | |
| | | |
| No. | DATE | DESCRIPTION |

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| | |
|---------------------------|------------------------|
| Project ID: SOCRI RES. | Drawn By: LE / SSM |
| Print Date: 08/05/2019 | Scale: AS INDICATED |

Sheet Title:

1/2 MILE RADIUS PLAN

Sheet No:

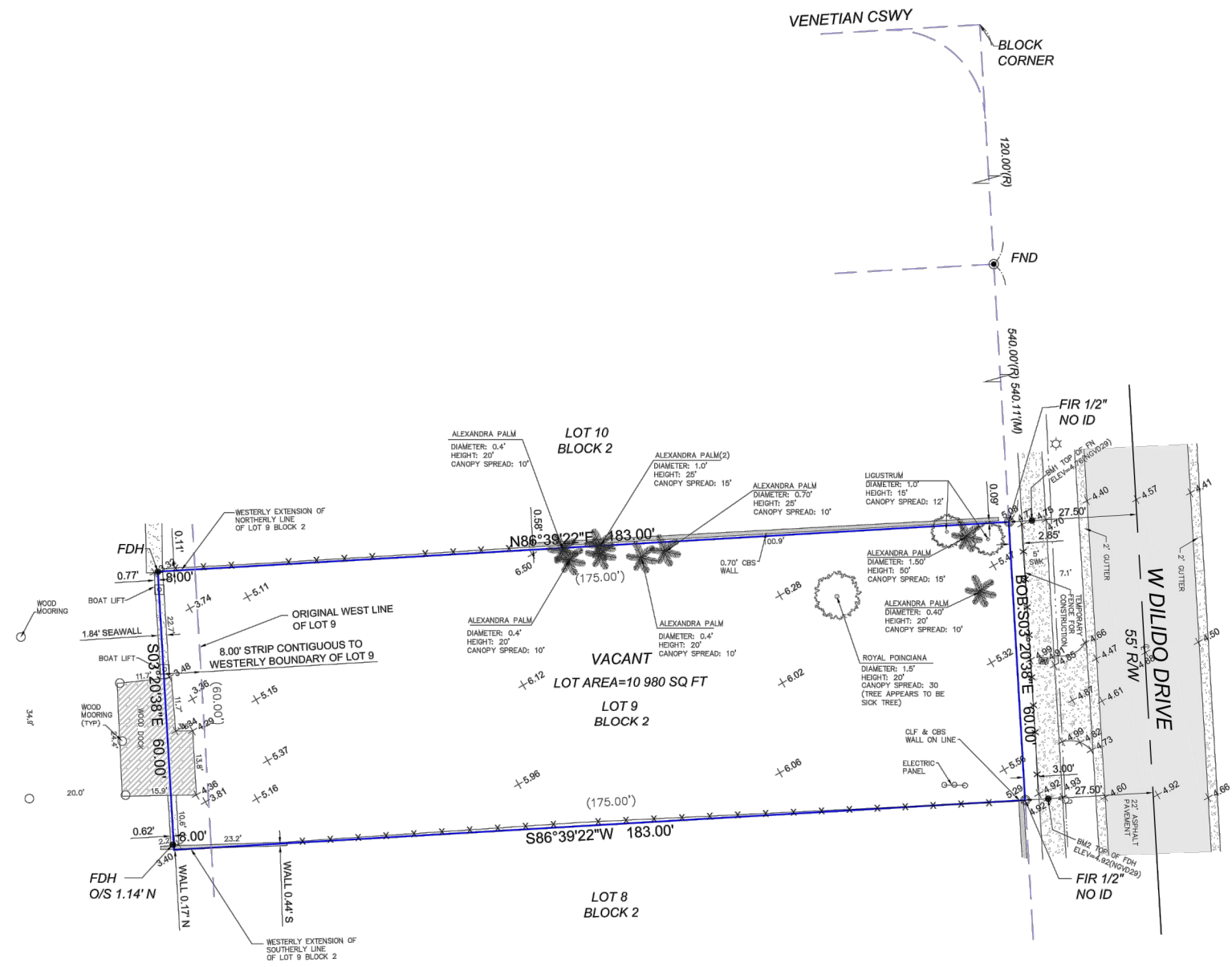
A-000a



MAP OF BOUNDARY, TOPOGRAPHIC & TREE SURVEY



BISCAYNE BAY



SURVEY PROVIDED BY SUAREZ SURVEYING & MAPPING, INC.

SURVEYOR'S NOTES:
1. ELEVATIONS WHEN SHOWN REFER TO 1929 NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929).
2. NO ATTEMPT WAS MADE TO LOCATE FOOTINGS/FOUNDATIONS, OR UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED. NO MARKINGS FOR UNDERGROUND UTILITIES FOUND AT TIME OF SURVEY.
3. THE LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED IN REGARDS TO MATTERS OF INTEREST BY OTHER PARTIES, SUCH AS EASEMENTS, RIGHTS OF WAYS, RESERVATIONS, ETC. ONLY PLATTED EASEMENTS ARE SHOWN.
4. THIS SURVEY WAS PREPARED FOR AND CERTIFIED TO THE PARTY(IES) INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE.
5. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
6. IMPROVEMENTS SHOWN HAVE BEEN MEASURED TO THE NEAREST 10TH OF A FOOT. TIES SHOWN HAVE BEEN MEASURED TO THE NEAREST 100TH OF A FOOT.
7. ALL BOUNDARY LIMIT INDICATORS SET ARE STAMPED LB# 7104.
8. THE BOUNDARY LIMITS ESTABLISHED ON THIS SURVEY ARE BASED ON THE LEGAL DESCRIPTION PROVIDED BY CLIENT OR ITS REPRESENTATIVE.
9. FENCE OWNERSHIP NOT DETERMINED.
10. BEARINGS WHEN SHOWN ARE TO AN ASSUMED MERIDIAN, THE EAST LINE OF WEST DILIDO DRIVE HAS BEEN ASSIGNED A BEARING OF S03°20'38"E.
11. TYPE OF SURVEY: BOUNDARY, TOPOGRAPHIC & TREE

LEGAL DESCRIPTION:
LOT 9, BLOCK 2, OF DI LIDO ISLAND, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 36, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND ALSO AN EIGHT FOOT STRIP CONTIGUOUS TO THE WESTERLY BOUNDARY LINE OF LOT 9, IN BLOCK 2, OF DI LIDO ISLAND, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 36, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA LYING BETWEEN WESTERLY EXTENSION OF NORTHERLY AND SOUTHERLY LINES OF LOT 9, BLOCK 2, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 36, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY DIRECTION AND MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS IN CHAPTER SJ-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTE.

Authentic Copies of this Survey shall bear the Original Signature and Raised Seal of the Attesting Registered Surveyor and Mapper

Juan A. Suarez
Professional Surveyor and Mapper
State of Florida Lic. # 8220

suarez surveying & mapping, inc.
CERTIFICATE OF AUTHORIZATION # LB-7104
15190 SW 136th Street, Suite 20, Miami, Florida 33196
Tel: 305.596.1799 Fax: 305.596.1886
www.suarezsurveying.com

PLAT IMAGE:
NOT TO SCALE

- LEGEND**
ABBREVIATIONS:
A = ARC DISTANCE
A/C = AIR CONDITIONER PAD
B/C = BROWARD COUNTY RECORDS
BLDG = BUILDING
BM = BENCH MARK
BOB = BASIS OF BEARINGS
CBS = CONCRETE BLOCK & STUCCO
(C) = CALCULATED
CB = CATCH BASIN
CHB = CHORD BEARING
C&G = CURB & GUTTER
CLF = CHAIN LINK FENCE
COL = COLUMN
CONC = CONCRETE
DE = DRAINAGE EASEMENT
DME = DRAINAGE & MAINTENANCE EASEMENT
D/W = DRIVE-WAY
EB = ELECTRIC BOX
ENC = ENCROACHMENT
EP = EDGE OF PAVEMENT
EW = EDGE OF WATER
FDH = FOUND DRILL HOLE
FP = FINISHED FLOOR ELEVATION
FIP = FOUND IRON PIPE
FIR = FOUND IRON ROD
FN = FOUND NAIL (NO ID)
FND = FOUND NAIL & DISK
FPL = FLORIDA POWER & LIGHT TRANSFORMER PAD
LE = LANDSCAPE EASEMENT
LME = LAKE MAINTENANCE EASEMENT
(M) = MEASURED
MDC = MIAMI-DADE COUNTY RECORDS
MH = MAN HOLE
ML = MONUMENT LINE
ORB = OFFICIAL RECORDS BOOK
O/S = OFF-SET
(P) = PLAT
PBC = PALM BEACH COUNTY
PB = PLAT BOOK
PC = POINT OF CURVATURE
PCP = PERMANENT CONTROL POINT
PE = POOL EQUIPMENT PAD
PG = PAGE
PI = POINT OF INTERSECTION
PK = PARKER KASLOW (SURVEY NAIL)
PL = PLANTER
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
PRC = POINT OF REVERSE CURVATURE
PRM = PERMANENT REFERENCE MONUMENT
PT = POINT OF TANGENCY
R = RADIUS DISTANCE
(R) = RECORD
R/W = RIGHT OF WAY
RES = RESIDENCE
SIP = SET IRON PIPE
SND = SET NAIL & DISK (PK)
STL = SURVEY TIE LINE
SWK = SIDEWALK
(TYP) = TYPICAL
UB = UTILITY BOX
UE = UTILITY EASEMENT
WF = WOOD FENCE
WMDE = WALL MAINTENANCE DRAINAGE EASEMENT
- SYMBOLS:**
[Symbol] = HAND HOLE
[Symbol] = GUARD RAIL
[Symbol] = TELEPHONE RISER
[Symbol] = CABLE TV RISER
[Symbol] = WATER METER
[Symbol] = WATER VALVE
[Symbol] = CURB INLET
[Symbol] = FIRE HYDRANT
[Symbol] = LIGHT POLE
[Symbol] = DRAIN
[Symbol] = VALVE
[Symbol] = GAS VALVE
[Symbol] = BACKFLOW PREVENTER
[Symbol] = BOLLARDS
(O) = ORIGINAL LOT DISTANCE
[Symbol] = CENTER LINE
[Symbol] = CATCH BASIN
[Symbol] = UTILITY POLE
[Symbol] = CONC. POLE
[Symbol] = DRAINAGE MANHOLE
[Symbol] = SEWER MANHOLE
[Symbol] = COMMUNICATION MANHOLE
[Symbol] = FPL MANHOLE
[Symbol] = SIGN
- SURFACE:**
[Symbol] = ASPHALT
[Symbol] = CONCRETE
[Symbol] = PAVERS
[Symbol] = BUILDING
[Symbol] = TILES
[Symbol] = WOOD
[Symbol] = COVER

[STRANG]
2900 SW 28TH TERRACE, SUITE 301
MIAMI, FL 33133

PH: 305-373-4990 | FX: 305-373-4991
FIRM LICENSE # AA26001123
WWW.STRANG.DESIGN

PROJECT LOCATION:
220 W DILIDO DR
MIAMI BEACH, FL 33139, USA

PROJECT CLIENT(S) / OWNER(S):
MAESTRIA REAL ESTATE, INC.

ARCHITECT:
MAX WILSON STRANG, FAIA
LICENSE # AR0017183
2900 SW 28TH TERRACE, SUITE 301
MIAMI, FL 33133

STRUCTURAL ENGINEERING:
TBD

MEP ENGINEERING:
TBD

LANDSCAPE ARCHITECT:
Enea Garden Design
7580 NE 4TH CT. - STUDIO 105
MIAMI, FL 33138

CIVIL ENGINEER:
TBD

PROJECT NAME:
220 WEST DILIDO

PROFESSIONAL SEAL(S):

| No. | DATE | DESCRIPTION |
|-----|----------|---------------|
| | 08/05/19 | DRB SUBMITTAL |

SHEET ISSUE / REVISION LOG

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| | |
|-------------|--------------|
| Project ID: | Drawn By: |
| SOCRI RES. | LE / SSM |
| Print Date: | Scale: |
| 08/05/2019 | AS INDICATED |

Sheet Title:
EXISTING SURVEY

Sheet No:
A-001

BENCHMARK REFERENCE:
NAME: D-171
ELEV(NGVD29): 7.71
LOCATION: VENETIAN CSWY --- 19' NORTH OF C/L
LOCATION: DI LIDO ISLAND --- WEST BRIDGE
DESCRIPTION: PK NAIL AND BRASS WASHER IN CONCRETE SIDEWALK AT NE CORNER OF BRIDGE.

DATE OF SURVEY:
05/29/2019
JOB #: 190529115
FILE #: C-20466
PROJECT NAME:
SURVEYS 2019
FILE(R): CHAMON
PARTY CHIEF:
JORGE
F.B.: -- PG. --
SHEET 1 OF 1

CERTIFIED TO:
M. NICOLAS CHAMON
MAESTRIA REAL ESTATE INC.
C/O GIANESE-PITTMAN P.A.
NEW WORLD TOWER
100 NORTH BISCAYNE BLVD.
SUITE 3070
MIAMI, FL 33132
U.S.A.
ADDED LOT AREA 07/16/2019
REVISIONS:

PROPERTY ADDRESS:
220 WEST DI LIDO DRIVE, MIAMI BEACH, FLORIDA 33139

FLOOD ZONE INFORMATION:
BASED ON THE FLOOD INSURANCE RATE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY REVISED ON 09/11/09 AND INDEX MAP REVISED ON 09/11/09 THE GRAPHICALLY DEPICTED BUILDING(S) SHOWN ON THIS MAP OF SURVEY IS WITHIN ZONE AE BASE FLOOD ELEVATION 9 COMMUNITY NAME & NUMBER MIAMI BEACH 120651 MAP & PANEL NUMBER 12086G0316 SUFFIX L



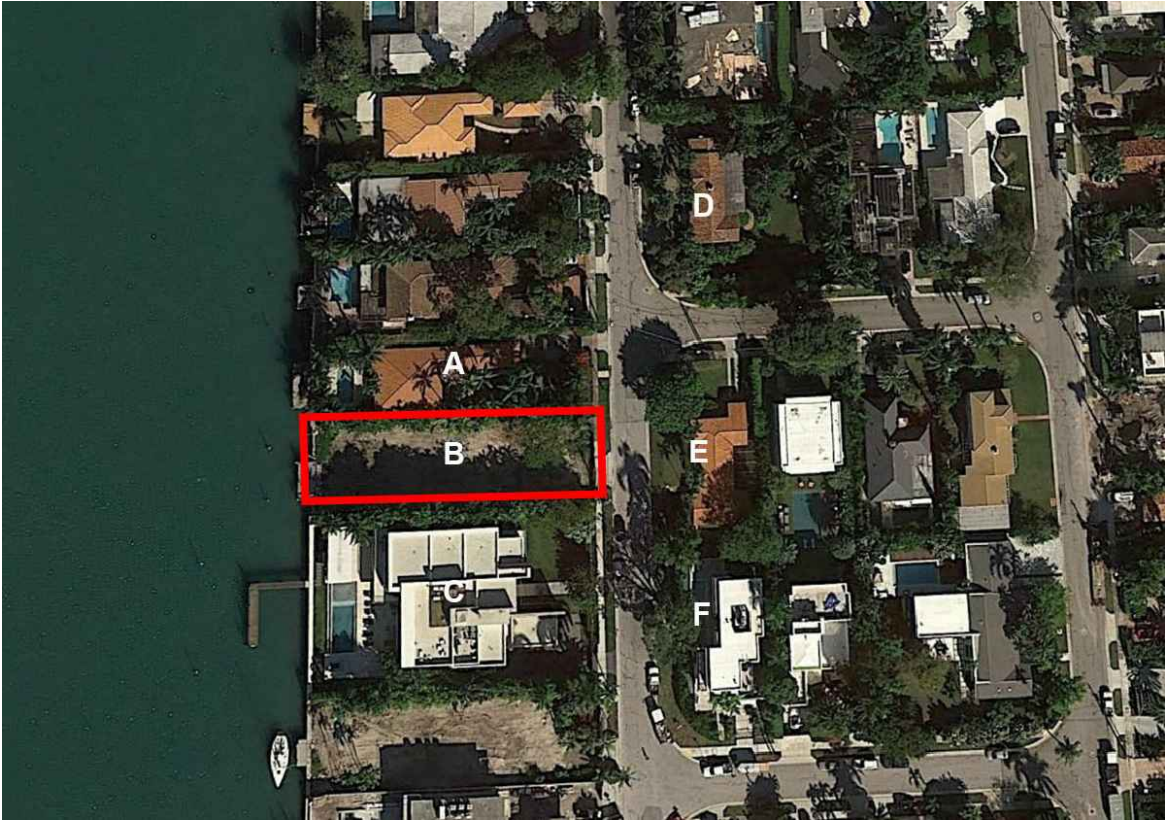
A



B



C



CONTEXT PHOTOS KEY



[STRANG]

2900 SW 28TH TERRACE, SUITE 301
MIAMI, FL 33133

PH: 305-373-4990 | FX: 305-373-4991
FIRM LICENSE # AA26001123
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2900 SW 28TH TERRACE, SUITE 301
MIAMI, FL 33133
STRUCTURAL ENGINEERING:
TBD

MEP ENGINEERING:
TBD

LANDSCAPE ARCHITECT:
ENEA GARDEN DESIGN
7580 NE 4TH. CT. – STUDIO 105
MIAMI, FL, 33138

CIVIL ENGINEER:
TBD

PROJECT NAME:
220 WEST DILIDO

PROFESSIONAL SEAL(S):



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| | 08/05/19 | DRB SUBMITTAL |
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| | |
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| Project ID: SOCRI RES. | Drawn By: LE / SSM |
| Print Date: 08/05/2019 | Scale: AS INDICATED |

Sheet Title:

CONTEXT
PHOTOGRAPHS

Sheet No:

A-006



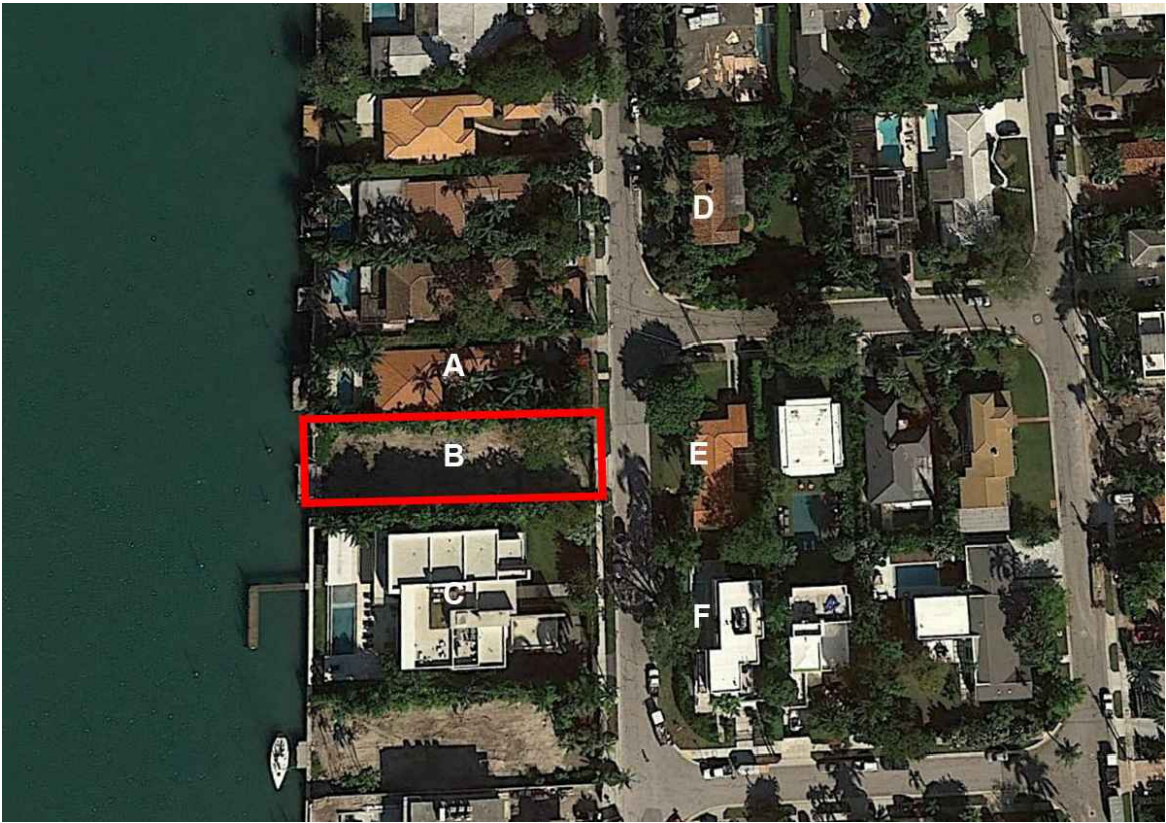
D



E



F



CONTEXT PHOTOS KEY



[STRANG]

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MIAMI, FL 33133

PH: 305-373-4990 | FX: 305-373-4991
FIRM LICENSE # AA26001123
WWW.STRANG.DESIGN

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STRUCTURAL ENGINEERING:
TBD

MEP ENGINEERING:
TBD

LANDSCAPE ARCHITECT:
ENEA GARDEN DESIGN
7580 NE 4TH. CT. - STUDIO 105
MIAMI, FL, 33138

CIVIL ENGINEER:
TBD

PROJECT NAME:
220 WEST DILIDO

PROFESSIONAL SEAL(S):



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| Project ID: SOCRI RES. | Drawn By: LE / SSM |
| Print Date: 08/05/2019 | Scale: AS INDICATED |

Sheet Title:

CONTEXT
PHOTOGRAPHS

Sheet No:

A-007

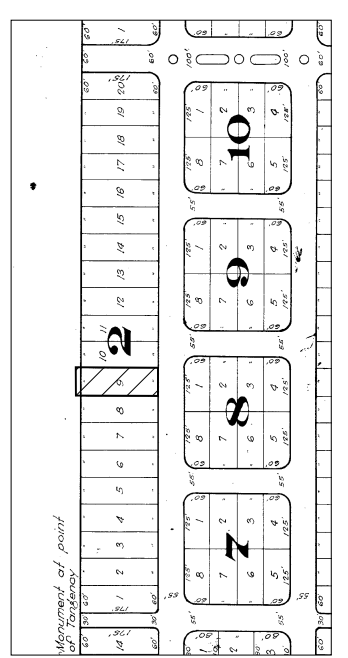
MAP OF BOUNDARY, TOPOGRAPHIC & TREE SURVEY






CERTIFICATE OF AUTHORIZATION # LB-7104
suarez surveying & mapping, inc.
15190 SW 136th Street, Suite 20, Miami, Florida 33196
Tel: 305.596.1799 Fax: 305.596.1886
www.suarezsurveying.com

PLAT IMAGE:
NOT TO SCALE

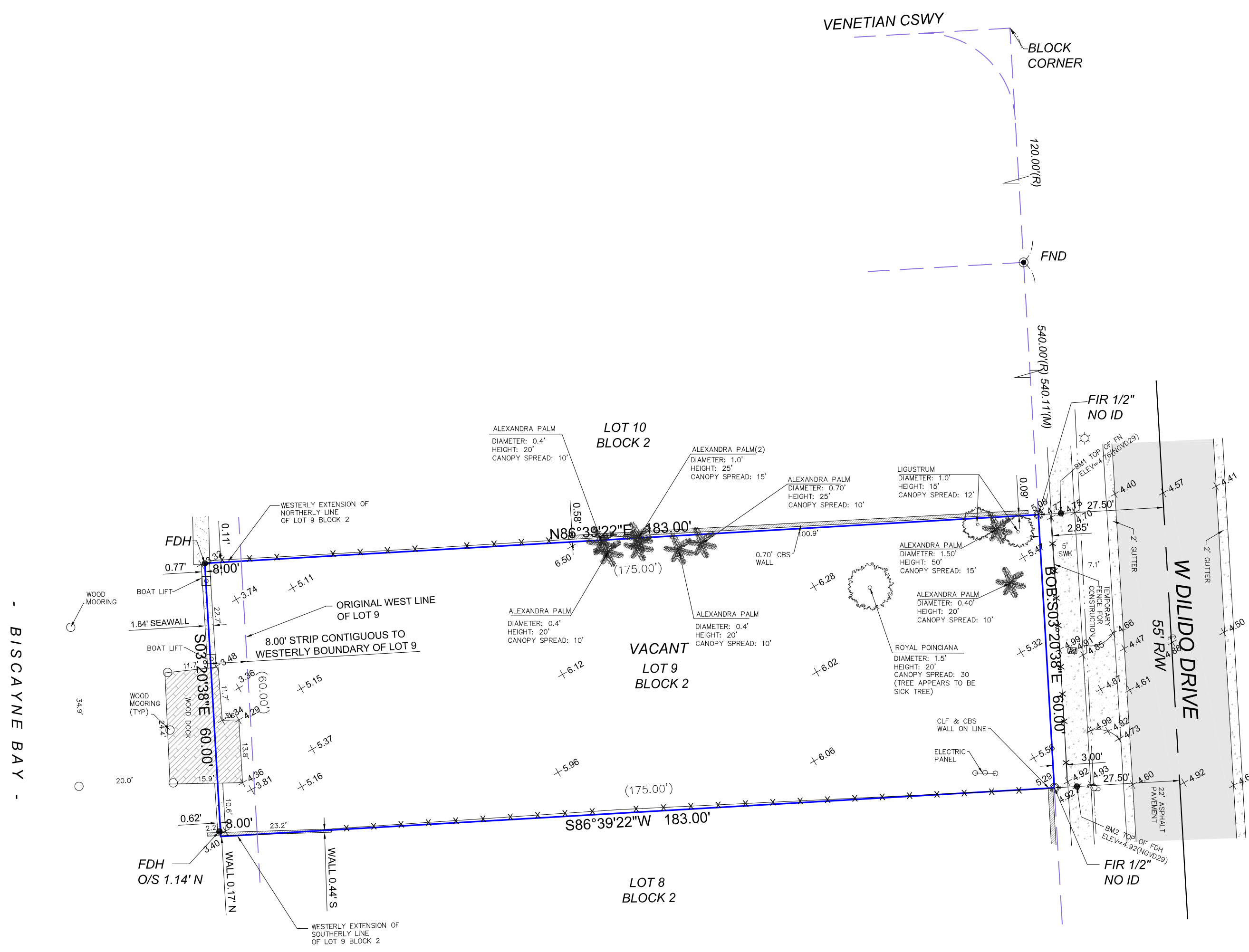



NORTH

LEGEND
ABBREVIATIONS:
A = ARC DISTANCE
AC = AIR CONDITIONER PAD
BCR = BROWARD COUNTY RECORDS
BLDG = BUILDING
BM = BENCH MARK
BOB = BASIS OF BEARINGS
CBS = CONCRETE BLOCK & STUCCO
(C) = CALCULATED
CB = CATCH BASIN
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C&G = CURB & GUTTER
CLF = CHAIN LINK FENCE
COL = COLUMN
CONC = CONCRETE
DE = DRAINAGE EASEMENT
DME = DRAINAGE & MAINTENANCE EASEMENT
DW = DRIVE-WAY
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FF = FINISHED FLOOR ELEVATION
FIP = FOUND IRON PIPE
FIR = FOUND IRON ROD
FN = FOUND NAIL (NO ID)
FND = FOUND NAIL & DISK
FPL = FLORIDA POWER & LIGHT TRANSFORMER PAD
LE = LANDSCAPE EASEMENT
LME = LAKE MAINTENANCE EASEMENT
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MDCR = MIAMI-DADE COUNTY RECORDS
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PCP = PERMANENT CONTROL POINT
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R/W = RIGHT OF WAY
RES. = RESIDENCE
SIP = SET IRON PIPE
SND = SET NAIL & DISK (PK)
STL = SURVEY TIE LINE
SWK = SIDEWALK
(TYP) = TYPICAL
UB = UTILITY BOX
UE = UTILITY EASEMENT
W/F = WOOD FENCE
WMDE = WALL MAINTENANCE DRAINAGE EASEMENT

SYMBOLS:
 = HAND HOLE
 = ELECTRIC BOX
 = TELEPHONE RISER
 = CABLE TV RISER
 = WATER METER
 = WATER VALVE
 = CURB INLET
 = FIRE HYDRANT
 = LIGHT POLE
 = DRAIN
 = VALVE
 = GAS VALVE
 = BACKFLOW PREVENTER
 = BOLLARDS
(O/S) = ORIGINAL LOT DISTANCE
 = CENTER LINE
 = CATCH BASIN
 = UTILITY POLE
 = CONC. POLE
 = DRAINAGE MANHOLE
 = SEWER MANHOLE
 = COMMUNICATION MANHOLE
 = FPL MANHOLE
 = SIGN
 = ANCHOR
 = GUARD RAIL
 = IRON FENCE
 = WOOD FENCE
 = CHAIN LINK FENCE
 = OVERHEAD UTILITY WIRE
 = LIMITED ACCESS RIGHT-OF-WAY LINE
 = BOUNDARY LINE
 = ELEVATION
x 0.00

SURFACE:
 ASPHALT
 CONCRETE
 PAVERS
 BUILDING
 TILES
 WOOD
 COVER



BENCHMARK REFERENCE:
NAME: D-171
ELEV(NGVD29): 7.71
LOCATION1: VENETIAN CSWY --- 19' NORTH OF C/L
LOCATION2: DI LIDO ISLAND ---- WEST BRIDGE
DESCRIPTION: PK NAIL AND BRASS WASHER IN CONCRETE
SIDEWALK AT NE CORNER OF BRIDGE.

DATE OF SURVEY :
05/29/2019
JOB # : 190529115
FILE # : C-20466
PROJECT NAME:
SURVEYS 2019
FILE(R): CHAMBER
PARTY CHIEF:
JORGE
F.B.: -- PG. --
SHEET 1 OF 1

CERTIFIED TO:
M. NICOLAS CHAMBER
MAESTRIA REAL ESTATE INC.
C/O GIANESE-PITTMAN P.A.
NEW WORLD TOWER
100 NORTH BISCAYNE BLVD.
SUITE 3070
MIAMI, FL 33132
U.S.A.

REVISIONS:

PROPERTY ADDRESS:
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SURVEYOR'S NOTES:
1. ELEVATIONS WHEN SHOWN REFER TO 1929 NATIONAL GEODETIC VERTICAL DATUM (NGVD 1929).
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9. FENCE OWNERSHIP NOT DETERMINED.
10. BEARINGS WHEN SHOWN ARE TO AN ASSUMED MERIDIAN, THE EAST LINE OF WEST DI LIDO DRIVE HAS BEEN ASSIGNED A BEARING OF S03°20'38"E.
11. TYPE OF SURVEY: BOUNDARY, TOPOGRAPHIC & TREE

LEGAL DESCRIPTION:
LOT 9, BLOCK 2, OF DI LIDO ISLAND, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 36, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND ALSO AN EIGHT FOOT STRIP CONTIGUOUS TO THE WESTERLY BOUNDARY LINE OF LOT 9, IN BLOCK 2, OF DI LIDO ISLAND, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 36, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA LYING BETWEEN WESTERLY EXTENSION OF NORTHERLY AND SOUTHERLY LINES OF LOT 9, BLOCK 2, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 36, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY DIRECTION AND MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTE.

AUTHENTIC COPIES OF THIS SURVEY SHALL BEAR THE ORIGINAL SIGNATURE AND RAISED SEAL OF THE ATTESTING REGISTERED SURVEYOR AND MAPPER

SEAL

JUAN A. SUAREZ
PROFESSIONAL SURVEYOR & MAPPER
STATE OF FLORIDA LIC. # 6220