

6605 Collins Avenue

S.F. Land, LLC

Planning Board First Submission: September 3, 2019
Conditional Use Permit for Temporary Parking Lot

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OVERVIEW

The Applicant is desirous of creating a temporary parking lot on the vacant lot located at 6605 Collins Avenue, just north of the Sherry Frontenac Hotel. The purpose of the lot is to serve as self-parking for guests of the Sherry Frontenac Hotel, along with the general public.

The proposed temporary, open-air, lot will improve the existing conditions on the site and the curb appeal of the Property. It will be a more appealing and pedestrian friendly than the previous uses on the site.

This proposed use will also improve traffic circulation in the area, as guests from the Sherry Frontenac will not need to travel around the neighborhood seeking parking nor traverse to the parking lot located at 6750 Harding Avenue.

HOURS OF OPERATIONS | ACCESS

The parking lot will operate 24-hours per day.

Sherry Frontenac Hotel guests will be able to self-park at the parking lot at any time, as will the public. The general public will also be able to use the site for self-parking and may payments at a pay-station on-site.

No valet parking will take place on this site.

Access

Vehicular and pedestrian access to the site will be along the west side of the Property, on Collins Avenue.

STAFFING LEVELS/SECURITY

The Applicant will have employees on the site on a daily basis to ensure that the property is maintained free from debris and in an operational condition. For security purposes, a fence will be located along the perimeter of the site, with exception of the lot entrance. Employees will monitor the vehicles on-site to ensure vehicles are parked legally on the site.

SOUND

The Property is located along the, heavily traversed, Collins Avenue. The minimal parking count should not create any unwanted sound in the area nor have an impact on surrounding properties. Nevertheless, the Applicant will provide “no honking” signs, or any such other signs that the City deems necessary to mitigate sound impacts from the proposed use.

PARKING

The site will serve as a temporary, open-air, parking lot with 61 parking spaces. The property shall serve to alleviate traffic and parking demands from hotel guests and area residents and visitors.

DELIVERIES

Since this site is intended to be used as a temporary parking lot, no commercial deliveries are intended for this site.

COLLECTIONS

Trash receptacles will be located throughout the site and will be removed by staff on a daily basis (to be picked up by a waste management service at the neighboring hotel site).

July 22, 2019

6605 Collins
c/o Monika H. Entin, Esq.
Bercow Radell Fernandez & Larkin
200 S. Biscayne Boulevard, Suite 850
Miami, Florida 33131

Re: **6605 Collins Avenue – Traffic Statement**

Dear Monika:

Traf Tech Engineering, Inc. has conducted a trip generation comparison analysis between a previous residential building located at 6605 Collins Avenue and a proposed public parking lot with 64 parking stalls. The following is a summary of our findings:

Trip Generation Comparison Analysis

The trip generation comparison analysis was performed using the trip generation equations/rates published in the Institute of Transportation Engineer's (ITE) *Trip Generation Manual* (10th Edition). The trip generation comparison analysis was undertaken for daily and PM peak hour conditions. The analysis was based on the following assumptions:

PREVIOUS USE

- o Multifamily 2-story building (16 units – refer to Attachment A)

PROPOSED USE

- o Public Parking Lot (64 parking stalls – refer to site plan located in Attachment B)¹

¹ It is anticipated that the parking lot will be used by the general public, but will primarily be used by a hotel (The Sherry Frontanec).

According to ITE's *Trip Generation Manual* (10th Edition), the trip generation equations/rates used for the previous and proposed land uses are:

MULTIFAMILY HOUSING (ITE Land Use 220)

Daily Trip Generation

$$T = 7.56 (X) - 40.86$$

Where T = daily trips
 X = number of units

PM Peak Hour

$$\ln (T) = 0.89 \ln (X) - 0.02 \text{ (63\% inbound and 37\% outbound)}$$

Where T = PM peak hour trips
 X = number of units

HOTEL (ITE Land Use 310)

Daily Trip Generation

$$T = 11.29 (X) - 426.97$$

Where T = daily trips
 X = number of rooms

PM Peak Hour

$$T = 0.75 (X) - 26.02 \text{ (51\% inbound and 49\% outbound)}$$

Where T = PM peak hour trips
 X = number of units

Table 1 below compares the trip generation between the previous residential use and the proposed 64-space parking lot assuming the parking lot will be used primarily by hotel users.

TABLE 1 Trip Generation Comparison Analysis 6605 Collins Avenue					
Land Use	Size	Daily Trips	PM Peak Hour Trips		
			Total	Inbound	Outbound
PREVIOUS USE					
Residential	16 units	80	12	8	4
PROPOSED USE					
Parking Lot ²	64 stalls/rooms	296	22	11	11
Difference	-	+216	+10	+3	+7

² Primarily for hotel users, assumed 64 hotel rooms (1 space per room).

As indicated in Table 1, the proposed parking lot is projected to have approximately 10 PM peak hour trips more than the previous use, which is considered a minimal impact.

Table 2 below compares the trip generation between the previous residential use and the proposed 64-space parking lot assuming the parking lot will be used by nearby commercial/restaurant establishments. According to the Urban Land Institute (ULI), the parking utilization for family restaurants changes between 90% to 50% in the afternoon. This is the maximum drop in parking utilization for commercial/restaurant uses documented by ULI (refer to Attachment C). Using the 40% turnover documented in ULI, and assuming a 50% inbound 50% outbound split, Table 2 indicates that the proposed parking lot is projected to have approximately 14 PM peak hour trips more than the previous use, which is considered a minimal impact.

TABLE 2 Trip Generation Comparison Analysis 6605 Collins Avenue					
Land Use	Size	Daily Trips	PM Peak Hour Trips		
			Total	Inbound	Outbound
PREVIOUS USE					
Residential	16 units	80	12	8	4
PROPOSED USE					
Parking Lot ³	64 parking stalls	296	26	13	13
Difference	-	+216	+14	+5	+9

In summary, the proposed 64-space parking lot is projected to have a minimal traffic impact to the surrounding street system, when compared to the previous residential use at the site.

Please give me a call if you have any questions.

TRAFTech ENGINEERING, INC.

Joaquin E. Vargas, P.E.
Senior Transportation Engineer

³ Primarily for commercial/restaurant users.

ATTACHMENT A

**6605 Collins – Property Appraiser
Previous Use**



Address

Owner Name

Folio

SEARCH:

6605 collins Avenue

Suite



[Back to Search Results](#)

PROPERTY INFORMATION

Folio: 02-3211-007-0410

Sub-Division:

2ND OCEAN FRONT AMD

Property Address

6605 COLLINS AVE

Owner

S F LAND LLC

Mailing Address

6565 COLLINS AVE
MIAMI BEACH, FL 33141

PA Primary Zone

4100 MULTI-FAMILY - 101+ U/A

Primary Land Use

0303 MULTIFAMILY 10 UNITS PLUS : MULTIFAMILY 3 OR MORE UNITS

Beds / Baths / Half

17 / 15 / 0

Floors

2

Living Units

16

Actual Area

Living Area

Adjusted Area	11,173 Sq.Ft
Lot Size	24,825 Sq.Ft
Year Built	1935



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[Report Discrepancies](#)
[Special Taxing Districts and Other Non-Ad valorem Assessments](#)

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[Report Homestead Fraud](#)
[Tax Comparison](#)
[Tax Estimator](#)

ATTACHMENT B

6605 Collins Avenue Site Plan

DRAWING INDEX

LANDSCAPE ARCHITECT

GARDNER + SEMLER DESIGN
LANDSCAPE ARCHITECTURE
CORP. ID # 0000266
17670 NW 78th AVE., SUITE 210
MIAMI, FL 33015
TEL (305) 392 1016

LANDSCAPE
LA-101
LA-102
LA-201
LA-202

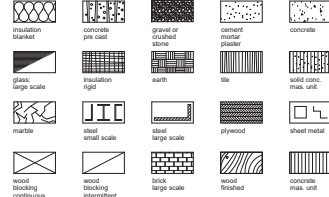
- PROJECT INFORMATION, INDEX
- DISTRICT MAPS
- AERIAL VIEWS
- GROUND SITE PLAN LEVEL

- PLANTING PLAN
- PLANTING NOTES SPECIFICATIONS, AND DETAILS
- IRRIGATION PLAN
- IRRIGATION NOTES SPECIFICATIONS, AND DETAILS

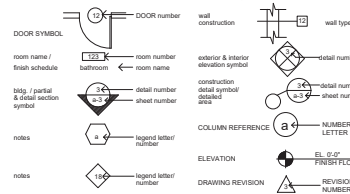
**BEILINSON,
GOMEZ**

ARCHITECTURE AAC001062
JOSE L. GOMEZ AR0015416
8101 BISCAYNE BLVD.
SUITE 309
MIAMI FL 33138-4664
TEL. (305) 559.1250
FAX (305) 551.1740
beilinsonarchitectspa.com

ACOUST.	ACOUSTICAL	GA.	GAUGE				RISER
A.C.	AIR CONDITIONING	GALV.	GALVANIZED			RAD.	RADIUS
A.D.	AREA DRAIN	G.B.	GENERAL CONTRACTOR			R.D.	ROOF DRAIN
ADJ.	ADJUSTABLE	G.C.				REF.	REFERENCE
AGGR.	AGGREGATE	GL.	GLASS			REFL.	REFLECTED
	ALUMINUM	GND.	GROUND			REFR.	REFRIGERATOR
	APPROXIMATE	GR.	GRADE			RF.	ROOF
APPROX.	ARCHITECTURAL	GYP.	GYP.			RGTR.	REGISTER
ASB.	ASBESTOS	H.B.	HYPNUM WALLBOARD			RENF.	REINFORCED
ASPH.	ASPHALT					REQ.	REQUIRED
						RESIL.	RESILIENT
						RM.	ROOM
BD.	BOARD	H.B.	HOSE BIB			R.O.	ROUGH OPENING
BID.	BIDIMENOUS	H.C.	HOLLOW CORE			R.W.	REDWOOD
BLDG.	BUILDING	HDWD.	HARD WOOD			R.W.L.	RAIN WATER LEADER
BLK.	BLOCK	HDWE.	HARDWARE				
BLKG.	BLOCKING	H.M.	HOLLOW METAL				
BLKHD.	BULKHEAD	HORIZ.	HORIZONTAL				
BM.	BEAM	HR.	HOUR				
BOT.	BOTTOM	HGT.	HEIGHT				
CAB.	CABINET	I.D.	INSIDE DIAMETER (DIM.)			S.	SOUTH
CARP.	CARPET	IN.	INCH			SABF.	SOUND ATTENUATION
C.B.	CATCH BASIN	INSUL.	INSULATION			S.	SOLID CORE
CEM.	CEMENT	INT.	INTERIOR			S.C.D.	SEAT COVER DISPENSER
CER.	CERAMIC	INV.	INVERT			SCHED.	SCHEDULE
C.I.	CAST IRON					S.D.	SOAP DISPENSER
C.G.	CORNER GUARD					SECT.	SECTION
C.L.G.	CEILING	JAN.	JANITOR			SHL.	SHOE
CLKG.	CAULKING	JST.	JOINT			SHR.	SHOWER
CLO.	CLOSET	JT.	JOINT			SHT.	SHEET
CLR.	CLEAR					SIM.	SIMILAR
C.M.U.	CONCRETE MASONRY UNIT					S.N.D.	SANITARY NAPKIN DISPENSER
C.O.	CASED OPENING	KIT.	KITCHEN			S.N.R.	SANITARY NAPKIN
C.O.L.	COLUMN					RECEP.TACLE	RECEP.TACLE
CONC.	CONCRETE					SPEC.	SPECIFICATION
CONN.	CONNECTION					SQ.	SQUARE
CONSTR.	CONSTRUCTION					S.S.T.	STAINLESS STEEL
CONT.	CONTINUOUS	LAB.	LABORATORY			S.S.K.	SERVICE SINK
CORR.	CORRIDOR	LAM.	LAMINATE			STA.	STAIR
CTBK.	COUNTERSINK	LAV.	LAVATORY			STD.	STANDARD
CNTR.	COUNTER	L.F.	LINEAR FEET			STL.	STEEL
C.T.	CERAMIC TILE	LKR.	LOCKER			STOR.	STORAGE
CTR.	CENTER	LT.	LIGHT			STR.	STRUCTURAL
		LTG.	LIGHTING			SUSP.	SUSPENDED
		LWT.	LIGHT WEIGHT			SYM.	SYMMETRICAL
DBL.	DOUBLE	MAX.	MAXIMUM			T.B.	TREAD
DEPT.	DEPARTMENT	M.C.	MEDICINE CABINET			T.R.	TOWEL BAR
D.F.	DRINKING FOUNTAIN	MACH.	MACHINE			T.C.	TOP OF CURB
DET.	DETAIL	MECH.	MECHANICAL			TEL.	TELEPHONE
DIA.	DIAMETER	MEMB.	MEMBRANE			TEMP.	TEMPERED
DIM.	DIMENSION	MET.	METAL			T. & G.	TONGUE AND GROOVE
DISP.	DISPENSER	MFR.	MANUFACTURER			THK.	THICK
DN.	DOWN	MH.	MANHOLE			TOIL.	TOILET
D.O.	DOOR OPENING	MIN.	MINIMUM			T.P.	TOP OF PAVEMENT
DR.	DOOR	MIR.	MIRROR			T.P.D.	TOILET PAPER DISPENSER
DWR.	DRAWER	MISC.	MISCELLANEOUS			T.V.	TELEVISION
DS.	DOWN SPOUT	M.L.	MATCH LINE			T.W.	TOP OF WALL
D.S.P.	DRY STANDPIPE	M.O.	MASONRY OPENING			T.Y.C.	TYPICAL
DWG.	DRAWING	MTD.	MOUNTED			T.O.B.	TOP OF BEAM
		MUL.	MULLION			T.O.P.	TOP OF CONCRETE
						T.O.S.	TOP OF SLAB
E.	EAST	N.	NORTH			UNF.	UNFINISHED
EA.	EACH	N.I.C.	NOT IN CONTRACT			U.O.N.	UNLESS OTHERWISE
E.J.	EXPANSION JOINT	NO. OR #	NUMBER			UR.	URNAL
EL.	ELEVATION	N.T.S.	NOMINAL				UNDERWRITERS LAB
ELEC.	ELECTRICAL		NOT TO SCALE				
ELEV.	ELEVATOR						
EMER.	EMERGENCY	O.A.	OVERALL			V.F.	VERIFY IN FIELD
ENCL.	ENCLOSURE	OBS.	OBSOLETE			V.I.F.	VERTICAL
E.P.	ELECTRICAL PANEL BOARD	O.C.	ON CENTER			V.N.Y.	VINYL TILE
EQ.	EQUAL	O.D.	OUTSIDE DIMENSION			V.B.	VESTIBULE
E.QPT.	EQUIPMENT	OFF.	OFFICE			VEST.	VESTIBULAR
E.S.	EMERGENCY OVERFLOW	OPNG.	OPENING				



APPLICABLE CODES



FIRE PROTECTION:

FLORIDA FIRE PREVENTION CODE - 2017 EDITION

THE SCOPE OF THIS PROJECT IS AN OPEN PARKING LOT ON GRADE FOR A TOTAL OF 64 PARKING SPACES

LOT 43, BLOCK 1, AMENDED PLAT OF SECOND FRONT SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 28, PAGE 28, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROJECT ADDRESS: 6605 COLLINS AVE

HISTORIC DISTRICT: TOWN OF DUNSTON		NORTH BEACH REFORM HISTORIC DISTRICT "866 COLLINS AVE." PROPERTY IS EXCLUDED FROM THE HISTORIC DISTRICT	
HISTORIC DISTRICT: TOWN OF DUNSTON		N/A (RESIDENTIAL MEDIUM-INTENSITY, HIGH INTENSITY)	
PRESENT / PROPOSED OCCUPANCY:		OPEN PARKING LOT	
		REQUIRED	PROVIDED
LOT AREA	MIN. 7,500 S.F.	MIN. 26,572 S.F.	10,576 sq. ft.
LOT WIDTH	MIN. 50 F.	75-33 F.	
HEIGHT	MAX. 200 F. (OCEAN FRONT)	N/A	
SETBACK REQUIREMENTS		AT GRADE PARKING LOT	
FRONT	20 F.	20'-0"	
SIDE/INTERIOR	5 F.	5'-0"	
REAR	50 F. (OCEAN FRONT)	7'-10" (EXISTING CONCRETE)	

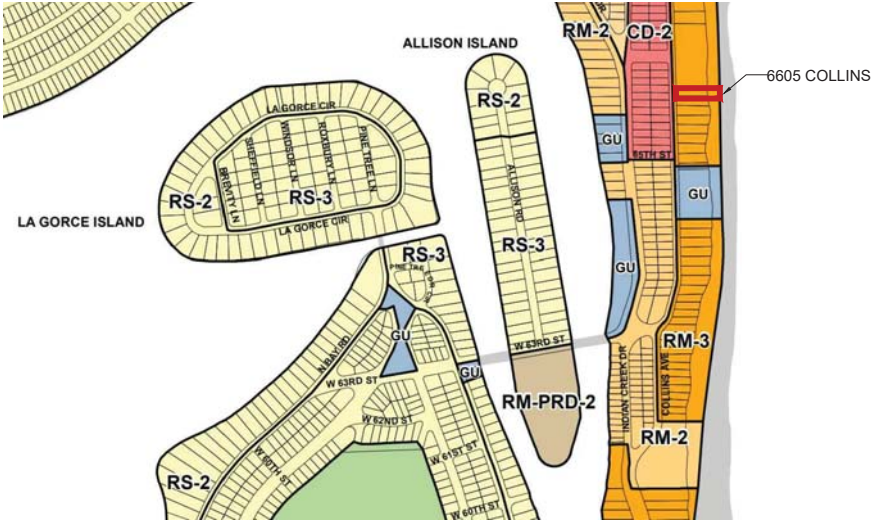


6605 COLLINS AVENUE
6605 COLLINS AVENUE
LEANSIDE, IL 60440

DATE	REVISION		
G. TITLE			
PROJECT INFORMATION INDEX			
SCALE		N.T.S.	
PROJECT NO.			
DATE		2018-24	
SHEET NUMBER		06-25-19	
A-001			

HPB FIRST SUBMITTAL 07-XX-19

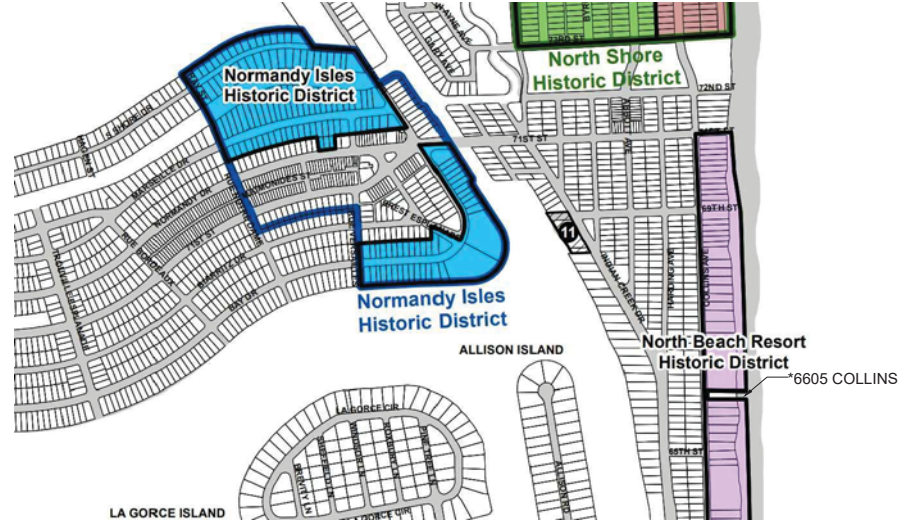
A-001



ZONING DISTRICTS

RS-1 Single family residential	CD-3 Commercial, high intensity	WD-2 Waterway district	CPS-4 Commercial performance standard, intensive phased beside
RS-2 Single family residential	I-1 Urban light industrial	RD Residential office	RMPS-1 Residential mixed use performance standard
RS-3 Single family residential	MXC Mixed use entertainment	GC Golf course	SPE Special public facilities educational district
RS-4 Single family residential	HD Hospital district	RPS-1 Residential performance standard, medium-low density	TC-1 North Beach Town Center core
TH Townhome residential	MRI Marine recreational	RPS-2 Residential performance standard, medium density	TC-2 North Beach Town Center mixed use
RM-1 Residential multifamily low intensity	GU Civic and government use	RPS-3 Residential performance standard, medium-high density	TC-3 North Beach Town Center residential/office
RM-2 Residential multifamily medium intensity	CCG Convention center district	RPS-4 Residential performance standard, high density	TC-3/CC North Beach Town Center residential/office with conditional neighborhood commercial
RM-3 Residential multifamily high intensity	RM-PRD Multifamily planned residential development district	CPS-1 Commercial performance standard, limited mixed use	
CD-1 Commercial, low intensity	RM-PRD-2 Multifamily planned residential development district	CPS-2 Commercial performance standard, general mixed use	
CD-2 Commercial, medium intensity	WD-1 Waterway district	CPS-3 Commercial performance standard, intensive mixed use	

FOR AN OFFICIAL ZONING DETERMINATION
PLEASE CONTACT THE PLANNING DEPARTMENT.



LOCAL HISTORIC DISTRICTS

Esplanade Way Historic District	Palm View Historic District
Admiral del Mar Historic District	Collins Waterfront Historic District
Flamingo Park Historic District	North Beach Resort Historic District
Ocean Drive/Collins Avenue Historic District	Flamingo Waterway Historic District
Museum Historic District	Morris Lapides/Mid 20th Century Historic District
Ocean Beach Historic District	North Shore Historic District
Handing Townsite Historic District	Normandy Isles Historic District

NATIONAL REGISTER HISTORIC DISTRICTS

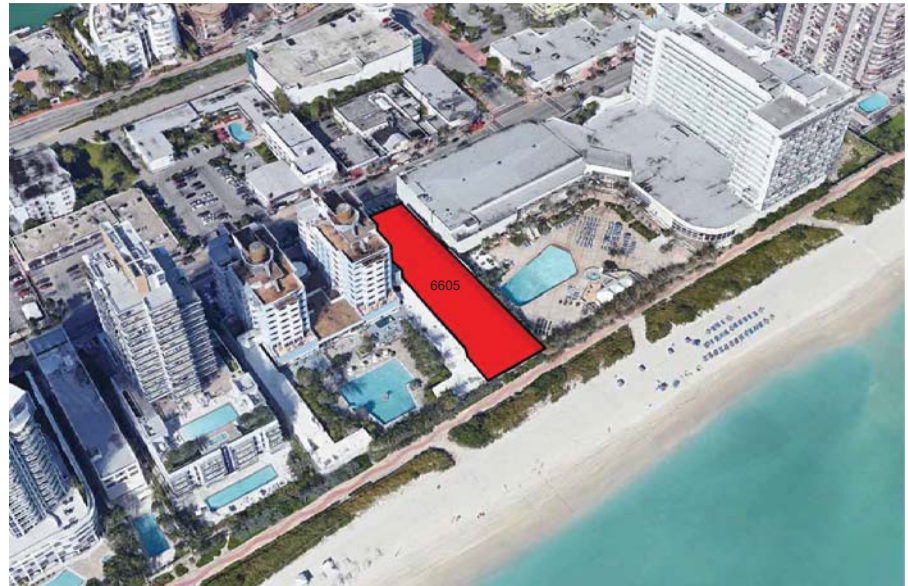
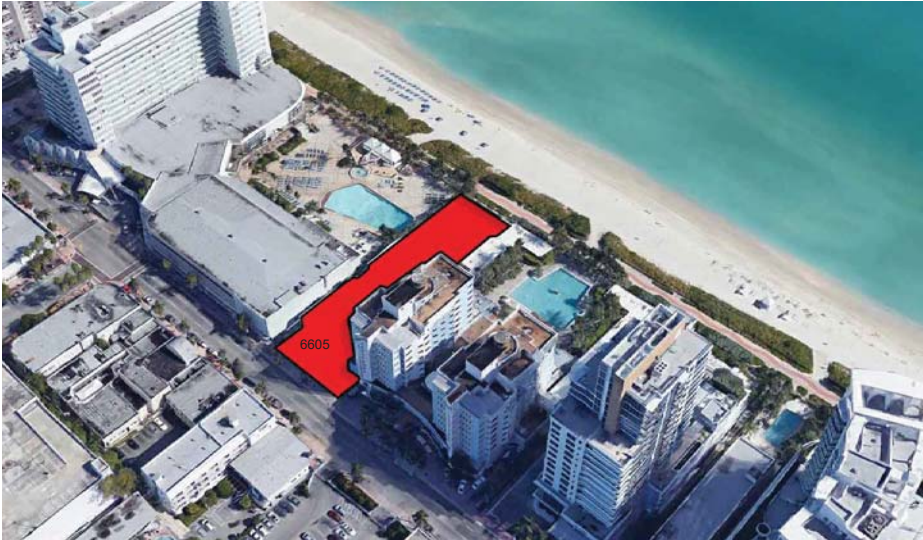
Normandy Isles Historic District
North Shore Historic District
Collins Waterfront Architectural District

LOCAL HISTORIC SITES

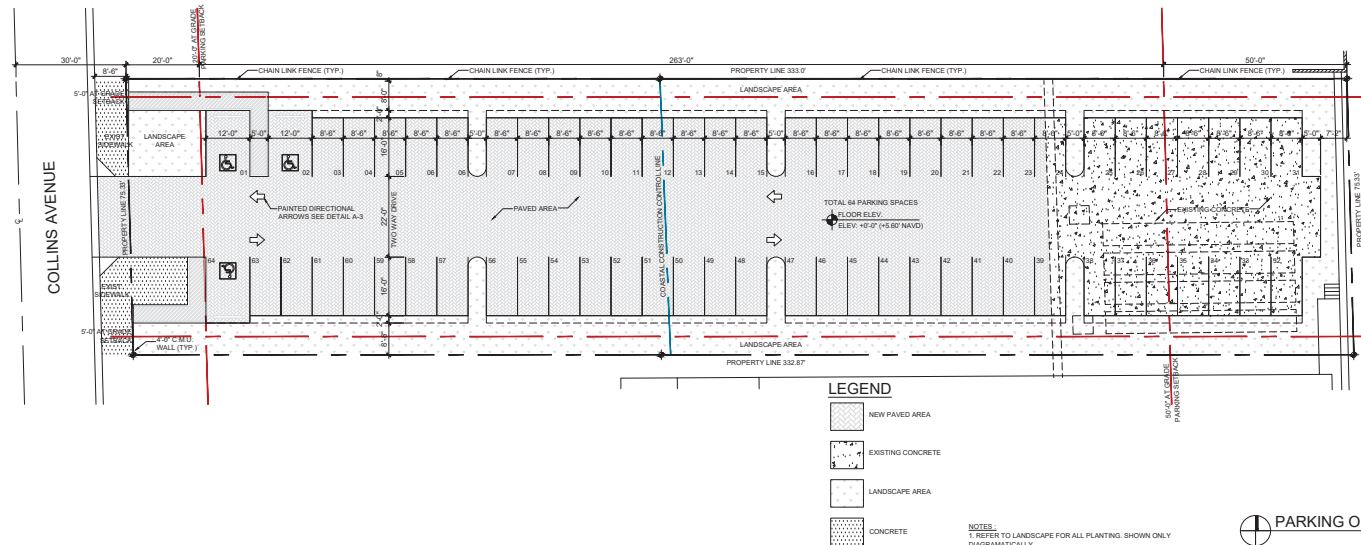
1 Old City Hall Historic Site	10 Decade Blvd Fire Station Historic Site
2 2nd St Recreation Center Historic Site	11 One Tree Dr Historic Waterway
3 Congregation Beth Jacob Historic Site	12 Flagler Memorial and Monument Island Historic Site
4 Venetian Causeway Historic Site	13 18th St Fire Station Historic Site
5 Miami Beach Woman's Club Historic Site	14 28th St Obelisk and Pumping Station Historic Structure
6 Sunset Island Bridges Historic Structures	15 1600 Lenox Ave Historic Site
7 The Bath Club Historic Site	16 36 Ocean Dr Historic Site
	17 1700 Alton Rd Historic Site

*6605 COLLINS AVENUE PROPERTY IS EXCLUDED FROM THE NORTH BEACH RESORT HISTORIC DISTRICT
*6605 COLLINS AVENUE IS NOT A HISTORIC PROPERTY

6605 COLLINS AVENUE
MIAMI BEACH, FL 33141

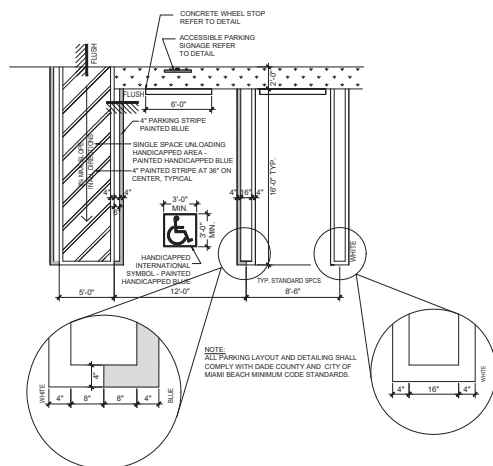


DATE	REVISION



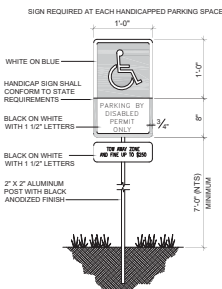
C1 PARKING SITE PLAN

SCALE: 1/16"=1'-0"



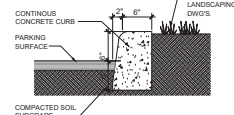
A1 PARKING DETAILS

SCALE: 3/16"=1'-0"



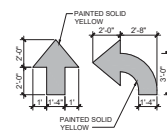
B3 PAVERS SECTION

SCALE: N.T.S



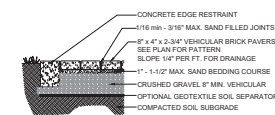
B4 CONCRETE CURB AND PAVEMENT SECTION

SCALE: N.T.S



B5 DIRECTION ARROWS

SCALE: N.T.S



PAVERS DETAIL SECTION

6605 COLLINS AVENUE
MIAMI BEACH, FL 33141

DATE	REVISION

DWG. TITLE	PROPOSED PARKING
SCALE	AS SHOWN
PROJECT NO.	2019-24
DATE	06-25-19
SHEET NUMBER	A-100

LANDSCAPE SPECIFICATIONS
PART 1 - GENERAL

1.1 SCOPE
A. Contractor shall provide all labor, materials, equipment, supervision, and related work necessary to complete the landscape work in accordance with the intent of the Landscape plans, schedule and these specifications. The extent of work shown on the drawings which are a part of this document.

1.2 CONTRACTOR QUALIFICATIONS
A. Landscape installation work shall be performed by a Contractor Certified by the Florida Nurserymen, Growers and Landscape Association (FNGA) as a Certified Landscape Contractor. Any person to be supervised as an Assistant, certified by the International Society of Arboriculture (ISA) and licensed in Miami-Dade County.

1.3 INVESTIGATION OF UTILITIES
A. Prior to beginning work, the Contractor shall be responsible to locate existing underground utilities. Check with all utility companies and Sunshine State, call (811).

1.4 SUBSTITUTIONS
A. Only materials specified will be accepted, unless approved in writing by the Landscape Architect in advance.

1.5 PLANT SIZES
A. All plant sizes shall equal or exceed the minimum size as specified in the plant list. When plant sizes are specified as a range or size, installed materials shall average the mean of the range specified. Plants shall be measured following pruning, with branches in normal position. All necessary pruning shall be done at the time of planting.

1.6 PLANT QUANTITY
A. All plant material shall be equal to or better than Florida No. 1 as classified by "Grades and Standards for Nursery Plants" by the Division of Plant Industry, Florida Department of Agriculture. They shall have a growth habit that is normal for the species, healthy, vigorous, free from insects, disease and injury.

1.7 THE OWNER or Landscape Architect reserves the right to allow any plant material which does not conform to the intent of the written specifications or design.

1.8 CIRCUMFERENCE ROOTS FOUND ON CONTAINER-GROWN MATERIAL WILL NOT BE ACCEPTED UNLESS REMEDIAL ROOT PRUNING, APPROVED BY THE LANDSCAPE ARCHITECT, OCCURS BEFORE PLANTING.

1.9 PLANT QUANTITY
A. The plant quantities shown on the plant list are to be used only as an aid to bid-lets. In the case of discrepancy between the plant list and the plan, the quantity on the plant list controls the plant list.

1.10 LIFT LIMITS
A. The maximum lifting shall be limited to the Owner and the Landscape Architect, or unit price breakdowns for all materials, and, in the case of a discrepancy between the unit price breakdown submitted and accepted by the Owner.

1.11 SUBMITTALS
A. Furnish: The Contractor shall submit to the Owner and Landscape Architect all documents that the Contractor uses for the selection of the materials specified and placed on the site specified in section 2.2 FERTILIZER.

1.12 PLANTING
A. The Contractor shall submit a sample of the planting (approximately 1 cu ft) to be approved by the Landscape Architect prior to delivery to the site.

1.13 CLEARANCE & MAINTENANCE OF TRAFFIC
A. Follow procedures in DOTD rules 600 for maintenance of traffic during construction.

1.14 At the end of each work day, the Contractor shall remove debris and shall barricade the un-filled holes in a manner appropriate to the paths of pedestrians and motorists.

1.15 Upon completion of the work or any major portion of the work or as directed by the Landscape Architect, all debris and surplus material from his work shall be removed from the job site.

1.16 MAINTENANCE PRIOR TO ACCEPTANCE
A. The Contractor is responsible to maintain the site during the time they are occupied under the provisions of 1.12 "ACCEPTANCE OF INSTALLATION".

1.17 Plants: Begin maintenance immediately following the final plant installation operation for plants and continue until plant installation is complete and accepted. Maintenance shall include watering of plants, weeding, mulching, and soil disease control, lighting and repairing of signs, repair of benches, removal of dead growth, watering of plants to proper growth or up-right position, restoration of plant source. One stop work in plant beds shall be required to ensure proper minimum grade of Florida No. 1.

1.18 Turt Areas: Begin maintenance immediately following the placement of and soil and continue until installation is complete and accepted. Maintenance shall include but not be limited to, watering, weeding, moving, weed and pest control, lawn and disease control and other necessary operations as determined by the Landscape Architect and good nursery practice.

1.19 Re-planting or straightening trees and palms:
A. The Contractor shall re-plant and/or straighten trees and palms as required at an additional cost to the Owner unless caused by sustained winds of 75 mph or more. Then, the costs of the operations may be charged to the owner. Re-plant trees within 48 hours.

1.20 ACCEPTANCE OF INSTALLATION
A. Inspection: Inspection of the work, to determine compliance of contract work, evaluation of the possible replacement of plants and soil, will be made by the Landscape Architect at the conclusion of the maintenance period. Written notice regarding such an inspection and submitted by the Contractor at least ten (10) days prior to the anticipated date.

1.21 GUARANTEE
A. Guarantee all plants for a period of one year (100%). Guarantee that contractors from the date of written acceptance. Plant material installed on the site and scheduled to be substituted is not covered by the guarantee except in the case of Contractor's negligence or work that has been done in an unconscionable fashion. The Contractor is not responsible for loss due to such of good, (i.e.) sustained winds of 75 mph or more, floods, tree, lightning, vandalism or theft.

1.22 REPLACEMENT
A. Replacement shall be made during the guarantee period or directed by the Landscape Architect within ten (10) days from time of notification. For all replacement plant material, the guarantee period shall extend for an additional thirty (30) days beyond the original guarantee period. The Contractor shall be responsible to provide water to the replacement plants in sufficient quantity to allow their establishment. At the end of the guarantee period, inspection will be made by the Landscape Architect, upon written notice requesting such inspection and submitted by the Contractor at least ten (10) days before the anticipated date. Replacement plants must meet the requirements of Florida No. 1 at time of inspection. Remove from the site all plants that are dead or in a state of unsatisfactory growth, as determined by the Landscape Architect. Replace them and any plants which die due to the Contractor's negligence or on-site conditions plan.

1.23 MATERIALS AND CONDITIONS
A. All replacement plants shall be of the same kind and size as indicated on the plant list. The Contractor shall supply and plant the plants as specified under planting operations.

1.24 REPLACEMENT
A. Contractor shall be responsible to cover the estimated cost of possible replacements, including material and labor will be returned by the Owner and paid to the Contractor after all replacements have been satisfactorily made and approved by the Landscape Architect.

PART 2 - MATERIALS

2.1 PLANTING SOIL
A. Planting soil for trees, shrubs and ground covers shall be of the composition noted on the plan and prepared by volume.

2.2 SOIL FOR SLOTTED AREAS
A. Soil for slotted areas shall be coarse brown sand.

2.3 FERTILIZER
A. Fertilizer for trees, palms, shrubs, and groundcovers shall be as follows: 15-50-10 Plant Special 13-3-13 or equal. Sulfur coated with iron and other elements and maximum of 2% chlorine, or based with equal analysis. The fertilizer shall be incorporated, dry and low flowing and shall be delivered to the site in the original compressed container, bearing the manufacturer's guaranteed analysis. Fertilizer for soil and mulched areas shall be 8-8-8, 50% organically derived nitrogen, or equal.

2.4 WATER
A. The Contractor shall provide portable water or site, available from the start of planting. The Contractor is responsible to ascertain the location and availability of the water source. The Contractor is responsible to provide the means of distribution (i.e. water truck, hoses, etc.) for distribution of water to the planting areas.

2.5 MULCH
A. Mulch shall be shredded Mulchex Mulch (Formulux) as manufactured by Fomby Resources, Inc. or equal.

2.6 ROOT BARRIER MATERIAL
A. Root barrier material shall be 24" deep polypropylene geotextile by Geotextile or approved equal.

2.7 Install per details in the plans.

PART 3 - INSTALLATION PROCEDURES

3.1 LAYOUT

A. Verify location of all underground utilities and obstructions prior to excavation.

3.2 HERBICIDE TREATMENT

A. In all areas infested with weed and/or grass growth, a systemic herbicide shall be applied per manufacturer's directions. When it has been established there will be done, the systemic herbicide shall be applied in accordance with manufacturer's labeling to kill all noxious growth. Contractor shall schedule the work to remove noxious growth from the site or at least 95% kill of undesirable growth. If necessary, Contractor shall conduct a test to establish suitability of product and application to be used on this project, prior to execution of the full application.

3.3 PLANT RIGORATION AND BACKFILLING

A. Trees: See the Planting and Bracing Details and notes.

A. All planting holes shall be hand dug where machine dug holes may adversely affect utility or improvements.

C. Shrubs and Groundcover: Shrubs and groundcover shall be planted in a soil bed as described in the notes and details. Space shrubs and provide setback from cuts and pavements as shown in the plans.

D. Watering of field-grown plants: Thoroughly puddle in water to remove any air pockets in the plant hole.

E. The Contractor is responsible to provide the water for all new plants and transplants and means of distribution (i.e. hand watering or water truck) during the maintenance period and watering until the general other acceptance until the field is suitable as listed below is complete. Water for trees and other large field grown plants shall be supplemented by hand or water truck, in addition to the irrigation system, if one is provided. Contractor must accept watering schedule during heavy rain season upon approval of the Landscape Architect.

3.4 WATERING

A. The Contractor is responsible to provide the water for all new plants and transplants and means of distribution (i.e. hand watering or water truck) during the maintenance period and watering until the general other acceptance until the field is suitable as listed below is complete. Water for trees and other large field grown plants shall be supplemented by hand or water truck, in addition to the irrigation system, if one is provided. Contractor must accept watering schedule during heavy rain season upon approval of the Landscape Architect.

3.5 FREQUENTCY OF WATER

For trees up to 5 inch caliper - 3 gallons
From 5 to 8 inch caliper - 25 gallons
9 inch and over caliper - 50 gallons

1 time per week for weeks 2 - 5
1 time per week for weeks 6 - 8
1 time per week for weeks 9 - 12

B. Water in plants by thoroughly watering of the entire root ball immediately after planting. For large trees and shrubs, add water while backfilling holes to eliminate any pockets in the soil around the root ball.

C. Water shrubs, soil and groundcover a minimum of once daily for a week or until an irrigation system is fully operational. If no irrigation system is to be installed, the Contractor shall be responsible for watering the shrubs, soil, and groundcover for the time specified above, until installation of each section of the planting is completed.

3.6 FERTILIZING

A. Add fertilizer on top of the surface of shrubs beds and trees and palms root balls two (2) months after installation. Fertilize and within two (2) days after installing other planting of each segment of the job. Fertilizer shall be applied after soil has been well mulched. Fertilizer shall be worked into all plant leaves and stems immediately after application. Apply at the following rates:

1. Trees and Large Shrubs: One (1) pound per inch of trunk diameter, spread evenly over the root ball area.

2. Shrubs: One half (1/2) handful per shrub, spread evenly over the root ball area.

3. Groundcover: Twelve (12) pounds per 100 sq. ft. of bed area.

4. Soil: Twelve (12) pounds per 1,000 sq. ft. Wash fertilizer off blades immediately after spreading.

5. Add: Twelve (12) pounds per 1,000 sq. ft. Wash fertilizer off blades immediately after spreading.

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90. Add: Twelve (12) pounds per 1,000 sq. ft. Wash fertilizer off blades immediately after spreading.



SIZE:

8" X 1/2" (8.25MM X 14.0MM) .0072" (1.82MM) THICK

W/12" (3.05MM) EXPOSED TOP LIP

FINISH LEGEND:

(MFL) MFL FINISH-NATURAL ALUMINUM

NOTES:

1. INSTALL PER MANUFACTURER'S "INSTALLATION GUIDELINES"

2. 8" (2.44 M) SECTIONS TO INCLUDE 1/2" (12.7 MM) ALUMINUM STRIPS

3. ALUMINUM STRIPS TO INCLUDE 1/2" (12.7 MM) ABOVE SURFACE MATERIAL

CORNER: CUT BASE EDGING UP HALFWAY

4. FORM A CONTINUOUS CORNER. FERNALOC CLEANLINE AS MANUFACTURED BY

PERMALOC CORPORATION, HOLLAND MI.

(800) 358-8660

(616) 399-9600

CONTRACTOR'S NOTE: FOR PRODUCT AND PURCHASING INFORMATION VISIT WWW.PERMALOC.COM

ALUMINUM EDGING DETAIL

N.T.S.

PLAN VIEW

N.T.S.

SHRUB SPACING DIAGRAM

N.T.S.

ROOT BARRIER INSTALLATION DETAIL

N.T.S.

SHRUB INSTALLATION DETAIL

N.T.S.

PLANT BED PREPARATION NOTES

1. In all areas where new soil and shrub and groundcover masses are to be planted, fill all existing weeds by treating with Round-up prior to beginning soil preparation.

2. In all shrub and groundcover beds, prepare soil as described for other condition, over the entire area to be planted.

Condition A:

If any compacted road base or asphalt or rocky soil is encountered, remove compacted material entirely to allow an 18" depth of planting soil per plant list unless otherwise stated. Backfill the entire area of the shrub and groundcover beds with 18" depth of planting soil as specified in Plants to within 12 inches of the adjacent pavement or top of curb. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before planting.

Condition B:

Where no compacted soil is encountered, thoroughly mix 6 inches of planting soil per plant list into the existing soil to a depth of 18 inches unless otherwise stated. If required, excavate and remove the existing soil to a lower grade, so that the prepared mix is finished to a minimum of 2 inches below top of curb or adjacent pavement. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before planting.

For all soil areas, spread a 2" deep layer of lawn sand prior to installing. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before planting. Remove, if required, existing soil so that top of soil is flush with and adjacent top of curb or pavement.

For Trees and shrubs larger than 2" girth, Add Dethan® transplant inoculant supplied by Horticultural Alliance, Inc. (800-628-6375) or equal. Mix into top 8-10 inches of planting hole, making sure it is contact with the root ball. Add at a rate specified by manufacturer (typically 4oz. per 1 inch of trunk caliper or 7 gallon cwt).

SPACING OF PLANTS (SEE PLANT SPACING DETAILS)

1. Plants shall be planted sufficiently away from edges of pavements or curbs, to allow for growth beyond the edges of the bed.

PROTECTION OF PLANTS

1. The Contractor shall be responsible to protect existing trees and shrubs in and adjacent to the area of work. Erect barriers as necessary to protect trees and shrubs and materials, any toxic material, away from the canopy drip line of trees and shrubs. DO NOT PILE SOIL OR DEBRIS AGAINST TREE TRUNKS OR ROOTS. NO TOXIC, NOXIOUS BUILDING SUPPLIES OR CHEMICALS WITHIN THE DRIP LINE.

2. The Contractor shall be responsible to protect existing trees and shrubs in and adjacent to the area of work. Erect barriers as necessary to protect trees and shrubs and materials, any toxic material, away from the canopy drip line of trees and shrubs. DO NOT PILE SOIL OR DEBRIS AGAINST TREE TRUNKS OR ROOTS. NO TOXIC, NOXIOUS BUILDING SUPPLIES OR CHEMICALS WITHIN THE DRIP LINE.

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10. The Contractor shall be responsible to protect existing trees and shrubs in and adjacent to the area of work. Erect barriers as necessary to protect trees and shrubs and materials, any toxic material, away from the canopy drip line of trees and shrubs. DO NOT PILE SOIL OR DEBRIS AGAINST TREE TRUNKS OR ROOT

IRRIGATION MATERIALS LIST

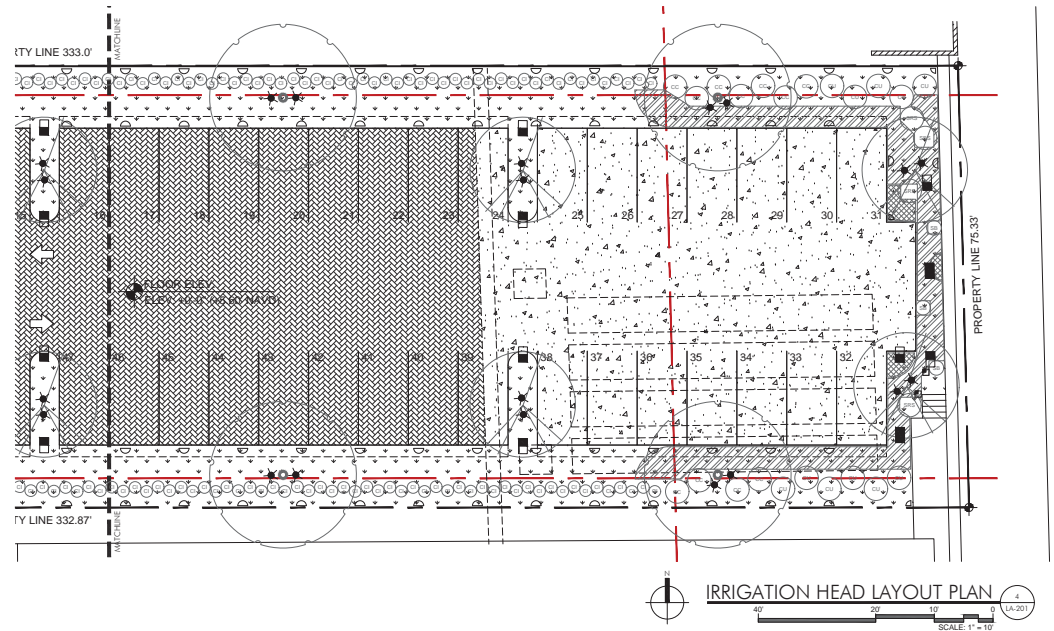
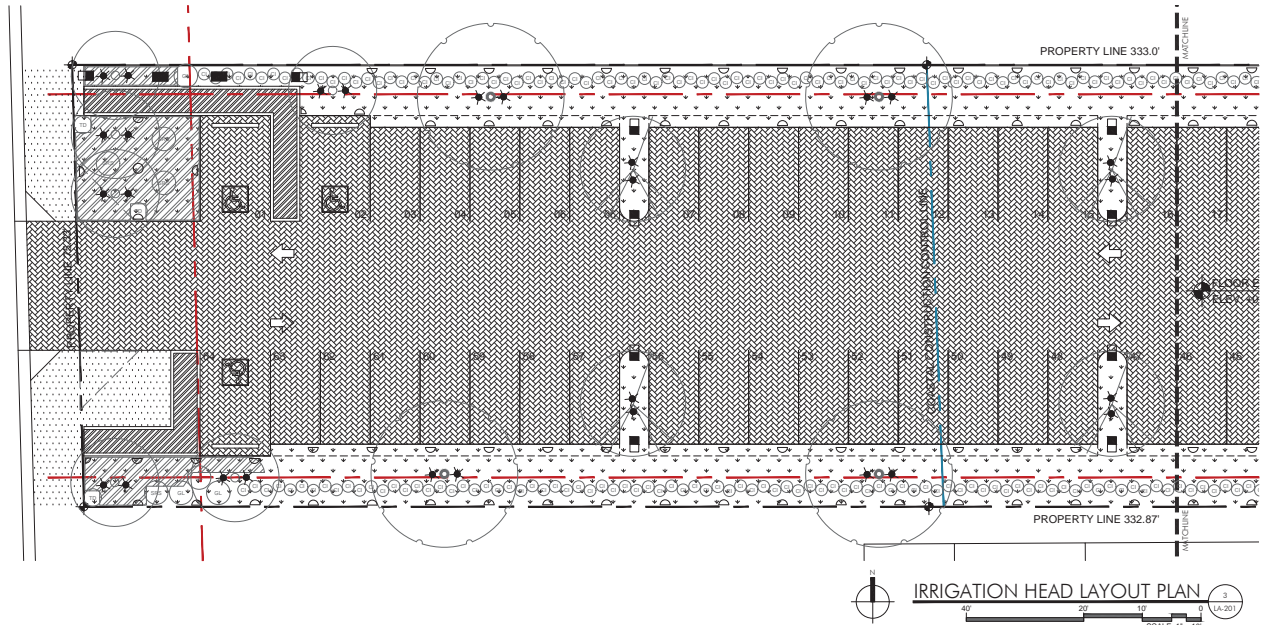
KEY	ITEM	QTY.
---	PVC laterals & mains shall be schedule 40 PVC (used as shown on plans)	as required
---	MAIN	as required
---	PVC sleeves shall be Schedule 40 PVC (used 2 sizes larger than the pipe running through it)	as required
---	Flexible PVC or Polytype (for swing joints)	as required
W	WATER METER (See Civil Plans)	1
EC	Electric Controller RAINBIRD ESP-Me Series Controller	1
▲	Rainbird RSD Series Rain Sensor (locate in area of free rainfall)	1
●	RAINBIRD 200-PESS 2" Electromechanical Solenoid Control Valve	as required
---	Irrigation Control Wire	as required
---	RAINBIRD Spray Heads 1800 (@ 30 PSI) Series w/MPE nozzles	as required
---	8" pop-up in grass areas	
---	12" pop-up on mians in shrub beds	
15-ut	(1.21 gpm)	
15-cat	(1.21 gpm)	
15-ast	(.61 gpm)	
9-ut	(1.73 gpm)	
10-F	(1.58 gpm)	
10-TQ	(1.18 gpm)	
10-H	(.79 gpm)	
10-T	(.53 gpm)	
10-Q	(.39 gpm)	
5-F	(.41 gpm)	
5-TQ	(.33 gpm)	
5-H	(.20 gpm)	
5-T	(.13 gpm)	
5-Q	(.10 gpm)	
★	RAINBIRD 1300A-F Adjustable Flood Bubbler 1300A-F (1.5 gpm)	as required

LATERAL PIPE SIZING

The Contractor is responsible to properly size all laterals. All laterals shall be sized according to the following schedule. Total gpm per pipe section shall be calculated by adding the GPM per head for every head downstream of the pipe.

SIZE	GPM
1/2"	6-4 GPM
3/4"	4-6 GPM
1"	6-10 GPM
1 1/2"	10-18 GPM
2"	18-25 GPM
2 1/2"	25-40 GPM
3"	40-60 GPM
3 1/2"	60-90 GPM

COLLINS AVENUE



BEHLINSON
ARCHITECTURE
8101 BRISCAVNE BLVD
SUITE 200
MIAMI FL 33138-4804
TEL (305) 558-1555
FAX (305) 551-1740
behlinsonarchitects.com

GS
DESIGN
GARDNER - SCHLES
LANDSCAPE ARCHITECTS
WWW.GSDESIGN.COM
12701 79TH AVENUE
SUITE 100
MIAMI BEACH, FL 33516
TEL (305) 444-1111
FAX (305) 444-1111

6605 COLLINS AVENUE
MIAMI BEACH, FL 33141

DATE	REVISION
2018-23	06-25-19
LA-201	

1. SCOPE OF WORK: The Contractor shall furnish all labor, machinery, tools, supplies, and equipment as necessary to construct and provide an operating system, as indicated in the Plans. The work shall include, but not be limited to, furnishing materials (pipe, valves, sprinkler heads, fittings, controllers, electrical, wire and fittings, primer, glue, etc.), layout, protection to the public, excavation, assembly, installation, backfilling, connection, repair of road or pavement surfaces, controller and low voltage feed to the valves, clean-up, maintenance and guarantee, and as-built plans.

2. Contractor shall coordinate with General Contractor or other pertinent Contractors on the job to insure that sleeves are provided and installed under hard surfaces to allow access to all areas to be irrigated. All sleeves shall be constructed of Schedule 40 PVC. Bury all sleeves a minimum of 24" below the surface. Sleeve to be 2 times the size of the pipe running through it. Sleeve shall extend 24" past the edge of pavement into the area to be irrigated.

3. **GUARANTEE:** The irrigation system shall be guaranteed for a minimum of one calendar year from the time of final acceptance.

4. **REPAIR UTILITIES:** The Contractor shall be responsible to verify the location of all utilities by hand excavation or other appropriate measures before performing any work that may result in damage to utilities structures, or property. The Contractor shall take immediate steps to repair, replace, or restore all services to any utilities which are disrupted due to his operations. All costs involved in disruption of service and repairs due to negligence on part of the Contractor shall be his responsibility.

5. **AS-BUILT DRAWINGS:** Prints of the plans will be supplied to the Contractor for recording as-built information. Immediately upon installation of any work which deviates from what is shown on the plans, the Contractor shall clearly indicate such changes in red pencil on the prints. Such changes shall include, but shall not be limited to, changes in (1) materials; (2) sizes of material; (3) location; and (4) quantities.

6. The entire installation shall fully comply with all applicable local and state codes and ordinances. The Contractor shall take out all required plumbing and electrical applications and permits, arrange for all necessary inspections and shall pay all fees and expenses in connection with same as part of work under the contract.

7. **UNIT PRICES:** The successful bidder shall furnish, to the Owner, a unit price breakdown for all materials. The Owner may at his own discretion, add to or delete from the materials, using the unit price breakdown submitted to and accepted by the Owner.

8. **MAINTENANCE PERIOD:** The irrigation system shall be maintained for a period of 90 days after final acceptance of installation. Maintenance shall include checking of the system 2 times per week. Contractor shall be responsible to replace/repair any broken or malfunctioning parts of the system including those damaged by accidents or vandalism. Repairs shall be made immediately at the time of inspection or when notified by the Landscape Architect.

9. The irrigation system shall provide 100% coverage with a minimum of 90% overlap of water spray.

10. The system is design to provide sprinkler precipitation rates that are nearly equal in each zone. Mixing of sprinklers with widely varying precipitation rates in a zone will not be accepted.

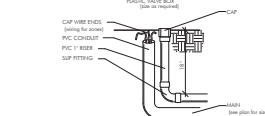
11. All pipe shall be made of Schedule 40 PVC, except flexible PVC (or Taro honey pipe) for flexible moving pipe and Schedule 80 galvanized steel pipe for all above ground fittings. Pipe locations shall be adjusted in the field. When laying out mains and laterals, locate pipe run along edge of pavement or against buildings where possible, to save space, to give clear right-of-way. Consider pipe locations with plantings. Bury all mains 18" below surface and laterals 12". Depth shall be measured to top of pipe.

13. All heads located in shrub or groundcover beds shall be installed on a riser as per details in the plans. All other heads shall be installed on a swing joint as per details in the plans.

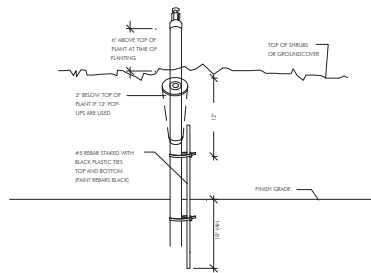
14. Place irrigation control wire in conduit in the same trench as mains and under the main. ASI wire shall be #14 or larger solid copper U.L. approved underground direct burial cable and shall be continuous with no splices from controller to solenoid valve.

15. Value locations are schematic and shall be adjusted in the field. Each value shall be in a separate value box (10" x 36" min.). When grouping value boxes in grass or groundcover areas, set boxes a minimum of 12" apart to allow grass or groundcover to grow between them. When possible, hide value boxes in shrub beds, a minimum of 12" from edge of beds. Set all value boxes, concrete or plastic, in ground with cover flush with finish grade, and level, with a minimum of 6" of pea gravel at the bottom of the box, with at least 2" of clearance from the bottom of the value to the top of the gravel.

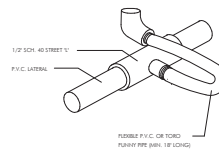
16. **TESTING:** Notify the Landscape Architect in writing when testing will be conducted. Conduct test in the presence of the Landscape Architect. After all PVC assembly is completed the lines shall be flushed to insure that no rocks, sand, or other foreign debris remains in the lines. The mains shall be filled with water and all outlets shall be capped and plugged. The main shall be pressurized to 100 PSI for a minimum of one hour. No section of the main will be approved if the pressure drops more than 5 PSI at the end of the one hour period. Leaks shall be repaired immediately and the system shall be re-tested until found satisfactory by the Landscape Architect.



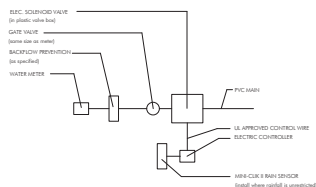
NTS.



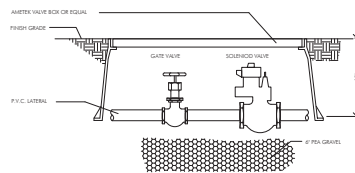
N.T.S.



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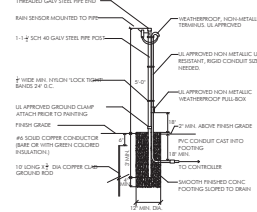


N.T.S.



N.T.S.

NOTE:
ALL WIRE CONNECTIONS SHALL BE APPROVED WATERTIGHT CONNECTIONS.
FINISH ENTIRE ASSEMBLY, EXCEPT FOR EQUIPMENT, WITH FLAT BLACK ACRYLIC ENAMEL PAINT
PRIME METALLIC SURFACES WITH ZINC CHROMATE PRIOR TO FINISHING.



94.7.5.

ATTACHMENT C

Urban Land Institute Parking Utilization by Hour

Recommended Time-of-Day Factors for Weekdays

Land Use	User	6 a.m.	7 a.m.	8 a.m.	9 a.m.	10 a.m.	11 a.m.	Noon	1 p.m.	2 p.m.
Shopping Center—Typical Peak December Late December	Customer	1%	5%	15%	35%	65%	85%	95%	100%	95%
	Customer	1%	5%	15%	30%	55%	75%	90%	100%	100%
	Customer	1%	5%	10%	20%	40%	65%	90%	100%	100%
	Employee	10%	15%	40%	75%	85%	95%	100%	100%	100%
Fine/Casual Dining	Customer	—	—	—	—	15%	40%	75%	75%	65%
	Employee	—	20%	50%	75%	90%	90%	90%	90%	90%
Family Restaurant	Customer	25%	50%	60%	75%	85%	90%	100%	90%	50%
	Employee	50%	75%	90%	90%	100%	100%	100%	100%	100%
Fast Food	Customer	5%	10%	20%	30%	55%	85%	100%	100%	90%
	Employee	15%	20%	30%	40%	75%	100%	100%	100%	95%
Nightclub	Customer	—	—	—	—	—	—	—	—	—
	Employee	—	—	—	5%	5%	5%	5%	10%	10%
Cineplex—Typical Late December	Customer	—	—	—	—	—	—	20%	45%	55%
	Customer	—	—	—	—	—	—	35%	60%	75%
	Employee	—	—	—	—	—	—	50%	60%	60%
Performing Arts Theater No matinee	Customer	—	—	—	1%	1%	1%	1%	1%	1%
	Employee	—	10%	10%	20%	20%	20%	30%	30%	30%
Arena	Customer	—	—	—	1%	1%	1%	1%	1%	1%
	Employee	—	10%	10%	20%	20%	20%	30%	30%	30%
Stadium 8 p.m. start	Customer	—	—	—	1%	1%	1%	5%	5%	5%
	Employee	—	10%	10%	20%	20%	20%	30%	30%	30%
Health Club	Customer	70%	40%	40%	70%	70%	80%	60%	70%	70%
	Employee	75%	75%	75%	75%	75%	75%	75%	75%	75%
Convention Center	Visitor	—	—	50%	100%	100%	100%	100%	100%	100%
	Employee	5%	30%	33%	33%	100%	100%	100%	100%	100%
Hotel—Business	Guest	95%	90%	80%	70%	60%	60%	55%	55%	60%
	Guest	95%	95%	90%	80%	70%	70%	65%	65%	70%
Hotel—Leisure Restaurant/Lounge	Customer	—	10%	30%	10%	10%	5%	100%	100%	33%
	Customer	—	—	30%	60%	60%	60%	65%	65%	65%
Conference/Banquet Convention	Customer	—	—	50%	100%	100%	100%	100%	100%	100%
	Employee	5%	30%	90%	90%	100%	100%	100%	100%	100%
Residential	Guest	—	10%	20%	20%	20%	20%	20%	20%	20%
	Reserved	100%	100%	100%	100%	100%	100%	100%	100%	100%
Residential	Resident	100%	90%	85%	80%	75%	70%	65%	70%	70%
	Visitor	—	1%	20%	60%	100%	45%	15%	45%	100%
Office	Employee	—	—	—	—	—	—	—	—	—

3 p.m.	4 p.m.	5 p.m.	6 p.m.	7 p.m.	8 p.m.	9 p.m.	10 p.m.	11 p.m.
90%	90%	95%	95%	95%	80%	50%	30%	10%
100%	95%	85%	80%	75%	65%	50%	30%	10%
100%	95%	85%	70%	55%	40%	25%	15%	5%
100%	100%	95%	95%	95%	90%	75%	40%	15%
40%	50%	75%	95%	100%	100%	100%	95%	75%
75%	75%	100%	100%	100%	100%	100%	100%	85%
45%	45%	75%	80%	80%	80%	60%	55%	50%
75%	75%	95%	95%	95%	95%	80%	65%	65%
60%	55%	60%	85%	80%	50%	30%	20%	10%
70%	60%	70%	90%	90%	60%	40%	30%	20%
—	—	—	25%	50%	75%	100%	100%	100%
10%	20%	45%	70%	100%	100%	100%	100%	100%
55%	55%	60%	60%	80%	100%	100%	80%	65%
80%	80%	80%	70%	80%	100%	100%	85%	70%
75%	75%	100%	100%	100%	100%	100%	100%	70%
1%	1%	1%	1%	25%	100%	100%	—	—
30%	30%	30%	100%	100%	100%	100%	30%	10%
1%	1%	1%	10%	25%	100%	100%	85%	—
30%	30%	30%	100%	100%	100%	100%	30%	10%
5%	5%	5%	10%	50%	100%	100%	85%	25%
30%	30%	30%	100%	100%	100%	100%	100%	25%
70%	80%	90%	100%	90%	80%	70%	35%	10%
75%	75%	100%	100%	75%	50%	20%	20%	20%
100%	100%	100%	50%	30%	30%	10%	—	—
100%	90%	70%	40%	25%	20%	20%	5%	—
60%	65%	70%	75%	75%	80%	85%	95%	100%
70%	75%	80%	85%	85%	90%	95%	95%	100%
10%	10%	30%	55%	60%	70%	67%	60%	40%
65%	65%	100%	100%	100%	100%	100%	50%	—
100%	100%	100%	50%	30%	30%	10%	—	—
100%	90%	70%	40%	20%	20%	20%	20%	10%
20%	20%	40%	60%	100%	100%	100%	100%	80%
100%	100%	100%	100%	100%	100%	100%	100%	100%
70%	75%	85%	90%	97%	98%	99%	100%	100%
45%	15%	10%	5%	2%	1%	—	—	—