

ASPH.	ASPHALT	ARC LENGTH	L
BENCH MARK	BENCH MARK	MANHOLE	M
BACK OF SIDEWALK	BACK OF SIDEWALK	OVERHEAD WIRES	OHW
CATCH BASIN	CATCH BASIN	PO	PO
CONCRETE STRUCTURE	CONCRETE STRUCTURE	PROPERTY LINE	PL
CURB	CURB	POINT OF BEGINNING	POB
CURB AND GUTTER	CURB AND GUTTER	POINT OF COMMENCEMENT	POC
CAST IRON	CAST IRON	POWER POLE	PP
CEILING	CEILING	POWER POLE CROSS CURVE	PPCC
CENTER LINE	CENTER LINE	POINT OF TANGENCY	PT
CHAIN LINK FENCE	CHAIN LINK FENCE	RADIUS	R
CONCRETE MONUMENT	CONCRETE MONUMENT	RIGHT-OF-WAY	R/W
CONCRETE	CONCRETE	SPRINKLER MARK	S.M.
DOOR	DOOR	TOP OF CURB	T.O.C.
DRIVE	DRIVE	WATER MAIN	W.M.
DUPLICATE MAN	DUPLICATE MAN	WALL	WALL
HIGH DENSITY POLYETHYLENE	HIGH DENSITY POLYETHYLENE	CENTRAL ANGLE	CA
HATCH INDICATES GRASS AREA	HATCH INDICATES GRASS AREA	DENOTES EXISTING ELEVATION	ELEV.

ELEVATIONS IT SHOWS HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM II
OF 1988 (NAVD 88) AND ARE BASED UPON RTK GPS LOCATIONS USING TOPCON HIPER II
RECEIVER WITH A TOPCON TESLA DATA COLLECTOR.
THE ELEVATIONS SHOWN HEREON ARE BASED UPON THE FOLLOWING LINES SHOWN BY PRSMA
AND ARE BASED ON A BOUNDARY SURVEY OF NORTH SHORE PARK, PREPARED BY PRSMA
(06/04/11-7700) FOR THE CITY OF MIAMI BEACH.
THE RECORD SURVEY THIS REFERENCE TO THE LOCATION OF CITY UTILITIES
AND THE RECORD SURVEY THIS REFERENCE TO THE LOCATION OF LOT CORNERS
COORDINATES (NORTHING AND EASTING) AND/OR BEARINGS IF REPORTED ON THIS
SURVEY MAP OR IN THE CAD FORMAT ARE BASED UPON THE FLORIDA STATE PLAT
BOOK 10, PAGE 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114,
(NAVD 1988) 200' TO 100' ADJUSTMENT. (GPS) MEASUREMENTS WERE CONDUCTED IN THE FIELD
TO ACQUIRE LOCATIONS OF IMPROVEMENTS AND ARE REFERENCED TO THE FLORIDA
STATE PLAT BOOK 10, PAGE 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114,
BASED ON THE FOLLOWING CONTINUOUSLY OPERATING REFERENCE STATIONS: MIAMI
BEACH (FL)MID AND DISTRICT 17 (FL)DO.
UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN AND STATED HEREON HAVE NOT
BEEN DETECTED BY THIS SURVEY/DATA ACQUISITION THIS APRIL 07, 2017.

I HEREBY CERTIFY: THAT THIS "RECORD" SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED AND DRAWN UNDER MY DIRECTION, AND THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

**BRIAN T. BELLINO, P.S.M.,
CITY SURVEYOR MANAGER
FLORIDA LICENSE NO.4973**

Attachment A



Overhead FPL Power Lines



August 21, 2019

Mr. David Martinez, P.E.
Director of Capital Improvement Projects
City of Miami Beach, CIP
1701 Meridian Ave CMB CIP Office 3rd Floor
Miami Beach, FL

RE: **Proposed Relocation of Transmission Facilities:
INDIAN CREEK-NORMANDY BEACH 69kV 17B17 to 17B20**

Dear Mr. Martinez,

We have evaluated your request to relocate the referenced FPL transmission structure(s). This estimate is not an offer from FPL to perform the requested work and should not be construed or used as such for detailed planning purposes. It is provided only to assist your decision-making, and will remain valid for 90 days from the date of this letter.

Cost Estimate

Overhead Relocation Option 1: The scope of the work includes installation of six (6) structures and removal of two (2) structures. This option assumes that construction will take place in 2021 and/or the engineering deposit is received after November 01, 2019. If you decide to request a detailed estimate on the above 'ballpark' estimate, the non-refundable deposit amount enabling us to commence the detailed design and estimating process is \$154,180. Estimated total cost is \$1,583,600.

Overhead Relocation Option 2: This is a reduced cost option is based on the City of Miami Beach commitment to accelerate their requested relocation timeframe. The \$555,000 cost reduction is driven by the cost avoidance of FPL's planned Hardening Project to replace three (3) structures within the current alignment that are scheduled for replacement in September 2020. This option assumes the engineering deposit is received no later than November 01, 2019 and all other requirements are met timely to allow construction to occur in September 2020. If you decide to request a detailed estimate on the above 'ballpark' estimate, the non-refundable deposit amount enabling us to commence the detailed design and estimating process is \$154,180. Estimated total cost is \$1,028,600.

Underground alternative: Based on the complexity and cost associated with this project, FPL will only be able to provide a 'Good Faith Estimate' of project costs. This good faith estimate will be followed by 'Progressive' estimates as the project progresses in design/engineering. In order to provide a point of comparison to the overhead relocation alternatives, underground transmission projects typically range from ten to fifteen times the cost of an overhead project.

In order for FPL to commence the design, a deposit of \$300,000 would be required. The deposit is required due to the complexity and time required to prepare a preliminary design for such a project, and would be applied towards the estimated amount owed to FPL for the next phase of the project. If the City chooses not to proceed to final detailed design, the deposit, less engineering fees, expenses, and overheads, will be refunded.

City Participation

There are several areas where FPL is agreeable to receive support from the City to encourage the timely execution of the relocation project:

- Provide assistance to secure Right of Way permits
- Provide assistance to secure Environmental permits
- Provide a liaison to address customer inquiries and concerns.
- Provide a secure staging site for the contractor to store materials and equipment in close proximity to the project.
- Coordination to resolve utility conflicts.
- Provide project security to ensure materials are not stolen.

The above non-binding Preliminary Estimates are based on our previous experience with similar relocations. However, due to the complex nature and variables associated with this type of work, the Preliminary Estimate may not accurately represent the actual costs the applicant would be obligated to pay FPL to relocate these facilities. By way of example, this Preliminary Estimate does not include the cost to perform activities related to right of way preparation including permitting. In addition, this preliminary estimate does not include the cost to relocate any distribution facilities, facilities belonging to another utility or potential third-party costs associated with the relocation, such as survey work; acquisition and recording of easements; clearing easements of trees and obstructions which are calculated on a case by case basis as part of the overall cost of the relocation. Additionally, this Preliminary Estimate is based upon favorable field conditions, which include the City's cooperation and the cooperation of any impacted third parties to eliminate conflicts.

If, based on this non-binding Preliminary Estimate, you would like to obtain a more comprehensive and detailed estimate of the potential costs we request that you execute the acknowledgement below and return an executed copy of this letter either as a PDF by e-mail to my attention at Roberto.Cruz@fpl.com or at: Florida Power & Light Company, Transmission Projects Department, 700 Universe Blvd., TS4/JW Juno Beach, Florida 33408. We will provide you an invoice for the required deposit amount with payment instructions (payable either by check or by wire transfer). Payment should not be sent to the address listed above, instead payment must be sent to the address listed in the invoice I will provide you upon receipt of the executed Preliminary Estimate acknowledgement. FPL will not begin work on the Detailed Estimate until both executed acknowledgement and the non-refundable deposit are received.

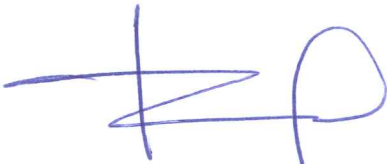
The non-refundable Deposit Amount is required due to the complexity and time required to create a Detailed Estimate for such a project, and will be applied towards the estimated amount

owed to FPL for the project, should you decide to proceed with the work, and enter into a Relocation Agreement for that work with FPL, within 90 days of the date the detailed estimate is provided. After 90 days the Detailed Estimate will no longer be valid and would be subject to change in the event of a work scope change.

Payment in full, execution of a Relocation Agreement and granting replacement easements will be required prior to commencement of engineering. Time of construction can vary depending upon easement execution, permitting, resource availability, material delivery and line clearances. Such projects are scheduled after everything is on hand.

Please feel free to contact me on (561) 904-3662, should you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink, appearing to be 'Roberto Cruz', with a stylized, cursive script.

Roberto Cruz, P.E.
Transmission Engineering Lead

ACKNOWLEDGEMENT

On this ____ day of ____, 20__, we acknowledge and agree to the conditions set forth above, and by our inclusion of a check for the non-refundable Deposit Amount request that FPL prepare a Detailed Estimate for the option (___) above referenced Scope of Work.

By: _____

Title: _____